

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

SITE PLAN REVIEW

LEGAL DESCRIPTION

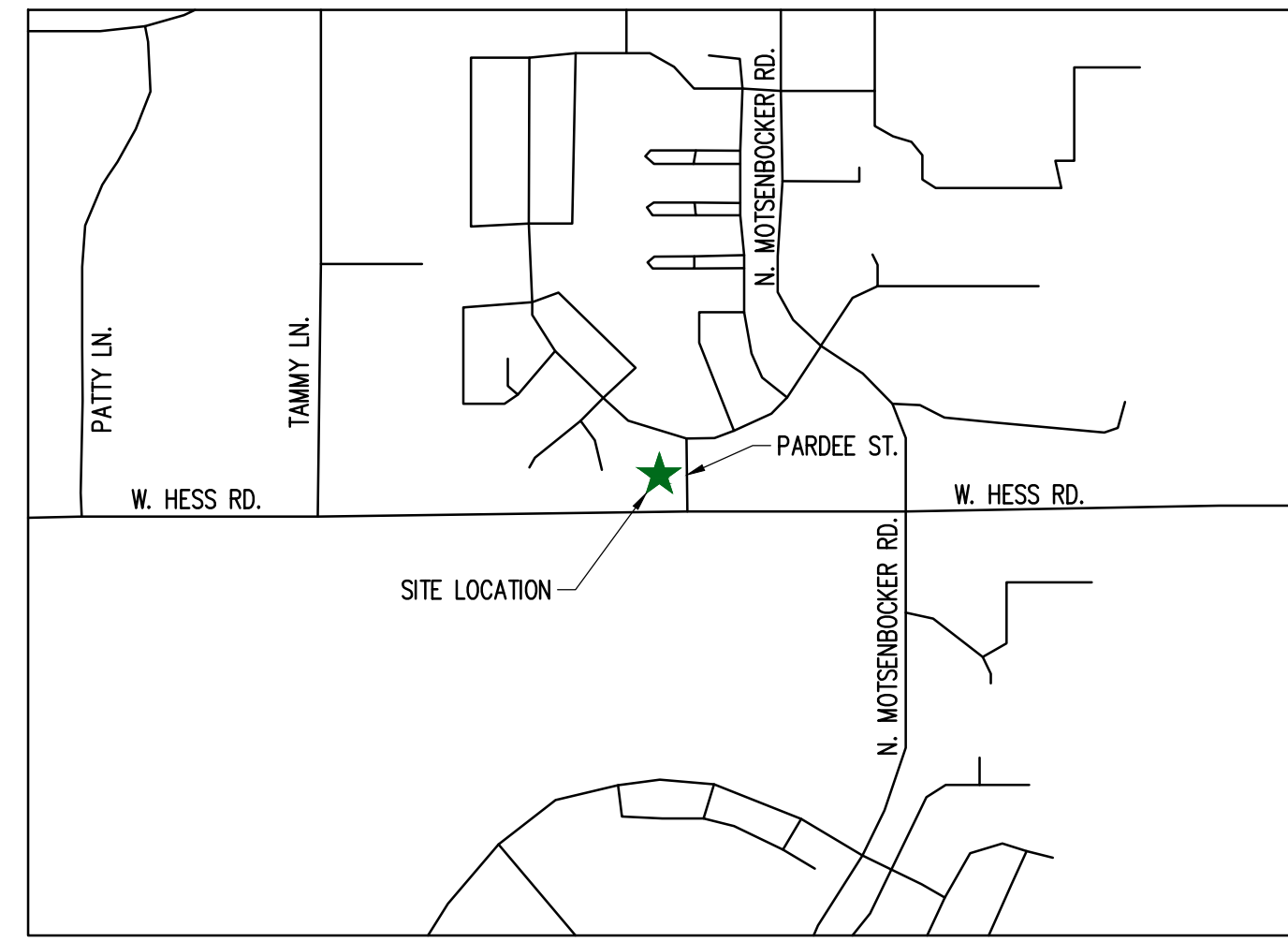
LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONTAINING 41,493 SF (0.953 AC), MORE OR LESS.

TOWN OF PARKER - CONSTRUCTION NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- A TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
EXAMPLES: WATER TIE-IN SHEET 3
STORM SEWER CONNECTION SHEET 6
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



VICINITY MAP

SHEET INDEX

CV-1.0	COVER SHEET
C-1.0	SITE PLAN
A-1	PROPOSED EXTERIOR ELEVATIONS
A-2	SIGNAGE DETAILS
ESP1.1	PHOTOMETRIC PLAN
ESP1.2	PHOTOMETRIC CUT SHEET
LS 1.0	LANDSCAPE PLAN
LS-1.1	LANDSCAPE DETAILS
LS 1.2	IRRIGATION PLAN

PROJECT CONTACTS:

PROPERTY OWNER
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

PARKER PUBLIC WORKS
ASSOCIATE PLANNER
20120 E. MAIN STREET
PARKER, CO 80138
(303) 805-3199
CONTACT: STACEY NERGER

APPLICANT
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

GAS
XCEL ENERGY
180 LARIMER ST.
DENVER, CO 80202
(800) 895-2999

CIVIL ENGINEER
RIDGETOP ENGINEERING AND CONSULTING, LLC
541 E. GARDEN DRIVE, UNIT N
WINDSOR, CO 80550
(970) 663-4552
CONTACT: MIKE BEACH, P.E.

SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
(720) 488-7200
CONTACT: RANDY CAPRA

ARCHITECT
ROGUE ARCHITECTURE
4100 WADSWORTH BLVD, SUITE 300
WHEAT RIDGE, CO 80033
(720) 599-3330
CONTACT: SCOTT BODUCH

INTERNATIONAL RURAL ELECTRIC ASSOC.
5496 NORTH US HWY 85
P.O. BOX DRAWER A
SEDALIA, CO 80135
(303) 688-3100
CONTACT: BROOK KAUFMAN

SURVEYOR
P.L.S. GROUP
532 WEST 66TH STREET
LOVELAND, CO 80538
(970) 669-2100
CONTACT: BRYAN SHORT

SITE DATA

BUILDING:	4,713 SF (0.11 AC)
LANDSCAPE:	15,471 SF (0.35 AC)
SIDEWALK:	2,041 SF (0.05 AC)
PAVED:	19,187 SF (0.44 AC)
TOTAL:	41,412 SF (0.95 AC)

USE:	RESTAURANT/RETAIL
BUILDINGS:	4,713 SF
ZONE:	PLANNED DEVELOPMENT

REQUIRED PARKING
RETAIL: 1 PER 300 SF
3356/300 = 10.7 OR 11 STALLS
RESTAURANT: 1 PER 100 SF
1500/100 = 15 STALLS

STANDARD PARKING PROVIDED	25
HC STALLS	2
TOTAL PARKING PROVIDED	27

BICYCLE PARKING: 7

STANDARD STALL DIMENSIONS: 9' X 19'
STALLS NEXT TO LANDSCAPE: 10' X 19'

DRIVE AISLE WIDTH: 25'

BUILDING DATA

RESTAURANT (DRIVE THROUGH)	= 1,500 SF
RETAIL	= 3,213 SF
TOTAL	= 4,713 SF

SIGHT DISTANCE CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, PARKER TLE AND RETAIL, IS DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.

MICHAEL R. BEACH, PE #45088

ENGINEER'S CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, THE BIG TOOL BOX, IS DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.

MICHAEL R. BEACH, PE #45088

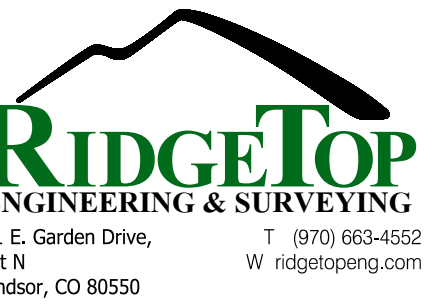
The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering

Date

LOGO



SEAL

PROJECT TITLE

RETAIL

12225 PARDEE ST.
PARKER, CO 80134

PREPARED FOR

DRAKE REAL
ESTATE
SERVICES

496 S BROADWAY
DENVER, CO 80209

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: BSA

CHECKED BY: MRB

PROJECT NO.: 18-075-001

REVISIONS

2ND SUBMITTAL 10/31/2019

3RD SUBMITTAL 02/18/2020

4TH SUBMITTAL 04/01/2020

AMENDMENT 1 02/28/2022

AMENDMENT 2 05/04/2023

DATE

02/28/2022

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1

1 of 2

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

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A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

SITE PLAN REVIEW



LEGEND

- CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- LANDSCAPED AREA
- PROPERTY LINE
- CONCRETE CURB & GUTTER
- EASEMENT
- BUILDING SETBACK

SITE DATA

BUILDING:	4,713 SF (0.11 AC)
LANDSCAPE:	15,471 SF (0.35 AC)
SIDEWALK:	2,041 SF (0.05 AC)
PAVED:	19,187 SF (0.44 AC)
TOTAL:	41,412 SF (0.95 AC)

USE: RESTAURANT/RETAIL
 BUILDINGS: 4,713 SF
 ZONE: PLANNED DEVELOPMENT

REQUIRED PARKING
 RETAIL: 1 PER 300 SF
 3213/300 = 10.7 OR 11 STALLS
 RESTAURANT: 1 PER 100 SF
 1500/100 = 15 STALLS

STANDARD PARKING PROVIDED 25
 HC STALLS 2
 TOTAL PARKING PROVIDED 27

REQUIRED BICYCLE PARKING (4 FOR RESTAURANT, 2 PER 10,000 GFA)

BICYCLE PARKING: 6

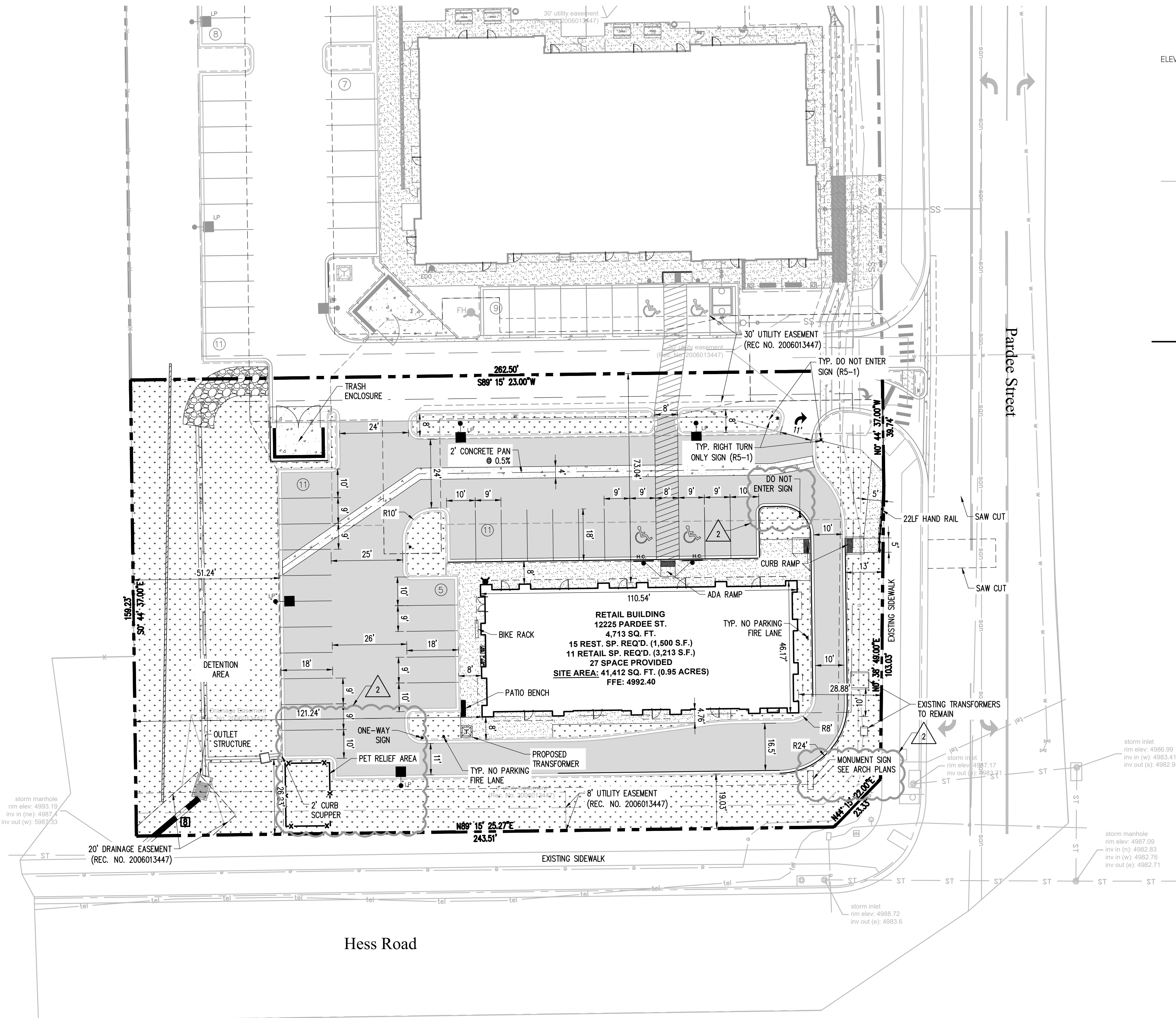
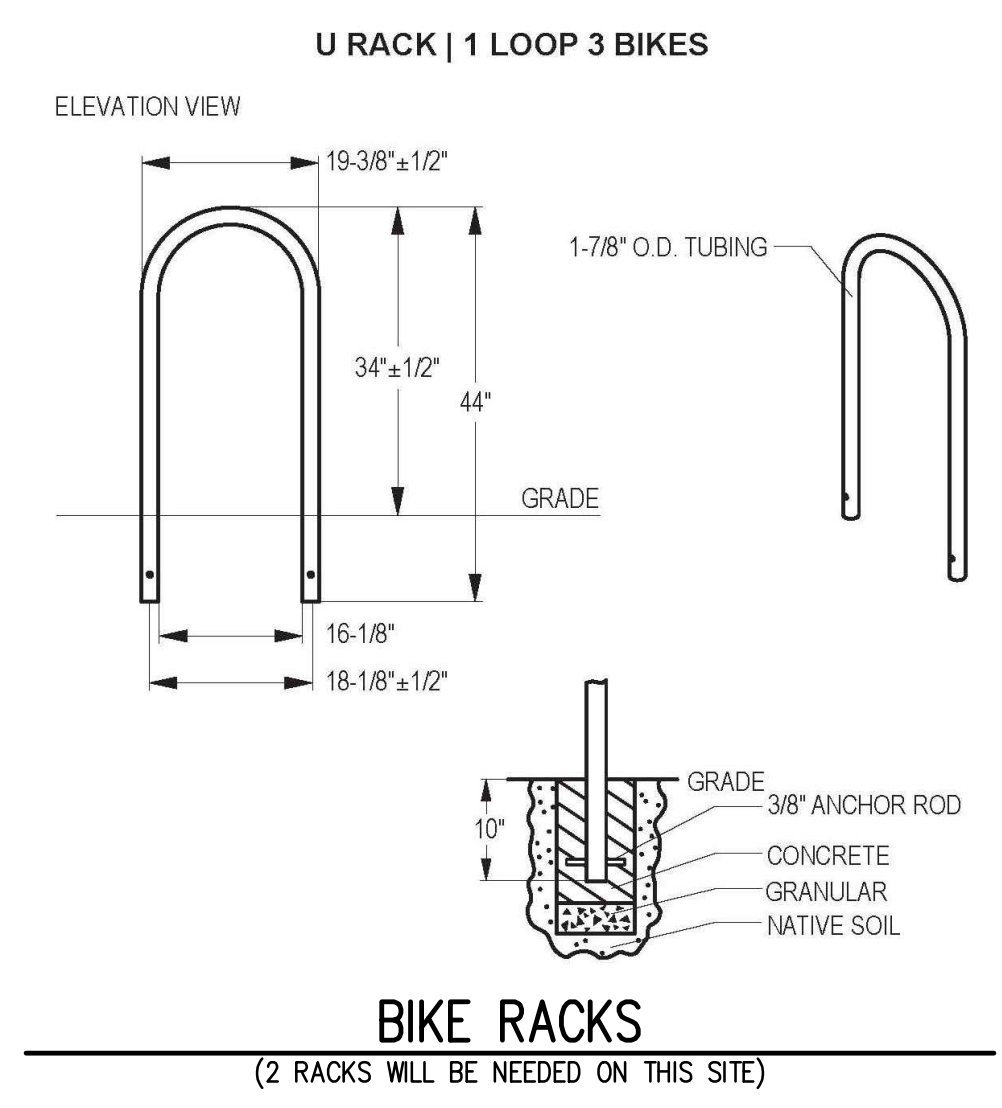
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DRIVE AISLE WIDTH: 25'

BUILDING DATA

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TOTAL	= 4,713 SF

PIPE TABLE				
#	SIZE	LENGTH	MATERIAL	SLOPE
8	18"	31'	Concrete Pipe	0.50%



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Town of Parker, Director of Engineering Date

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RETAIL

12225 PARDEE ST.
 PARKER, CO 80134

PREPARED FOR
DRAKE REAL ESTATE SERVICES

496 S BROADWAY
 DENVER, CO 80209

SUBMITTAL
SITE PLAN REVIEW

DRAWN BY: BSA
 CHECKED BY: MRB
 PROJECT NO.: 18-075-001

REVISIONS
 2ND SUBMITTAL 10/31/2019
 3RD SUBMITTAL 02/18/2020
 4TH SUBMITTAL 04/01/2020

AMENDMENT 1 02/28/2022
 AMENDMENT 2 05/04/2023

DATE
02/28/2022

SHEET TITLE
SITE PLAN

SHEET INFORMATION
C-1.0

2 of 2

File: RE - SPR - ROP1005.dwg Path: P:\Colorado\Parker (Drake Real Estate)\23-24-001 Parker TLE & Retail\2 Drawings\ Plotted by: Nicholas Date: 31-May-23 8:55:54am

PRELIMINARY
NOT FOR
BIDDING OR
CONSTRUCTION

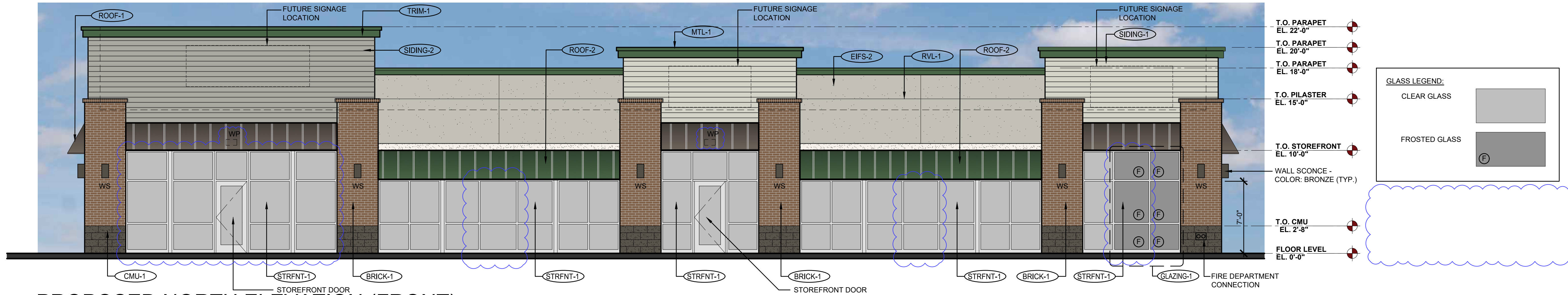
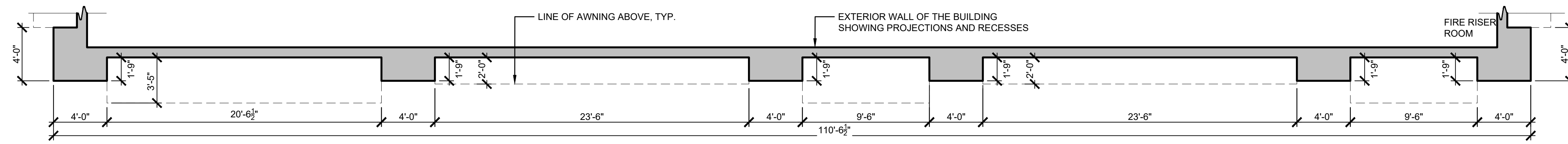
DATE: 06.26.2023
ISSUE: SITE PLAN ADJMT.

DATE: 03.16.2023
DRAWN: BDG
CHECKED: SAB
BDG ARCH NO.: 23.005

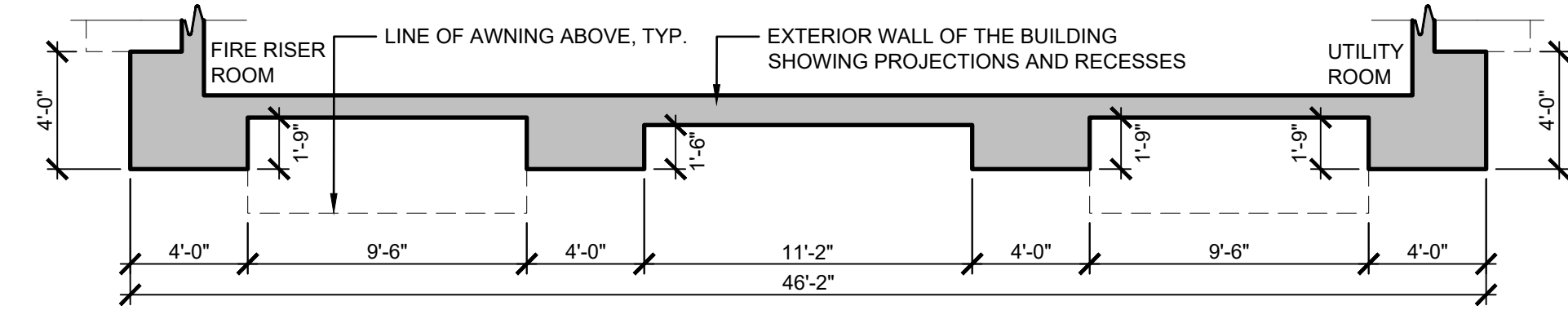
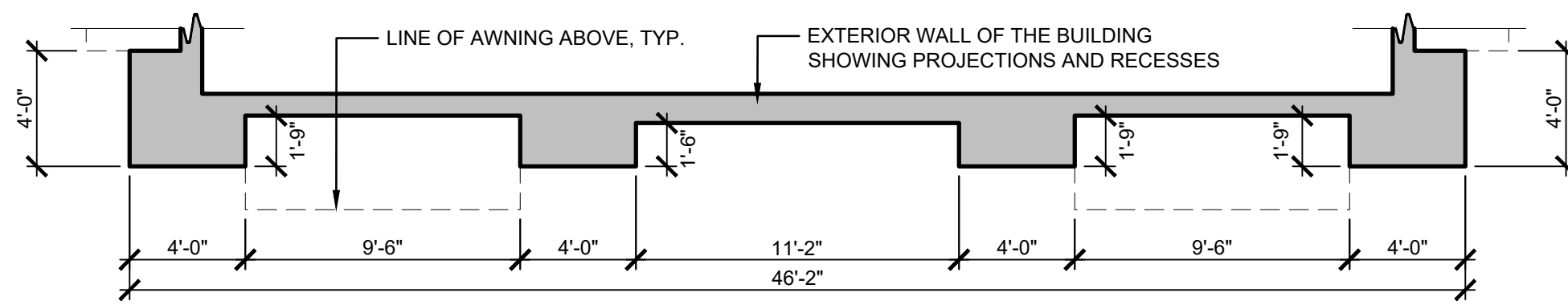
PROPOSED
EXTERIOR ELEVATIONS

A-1

SITE PLAN ADJUSTMENT - 06.26.2023



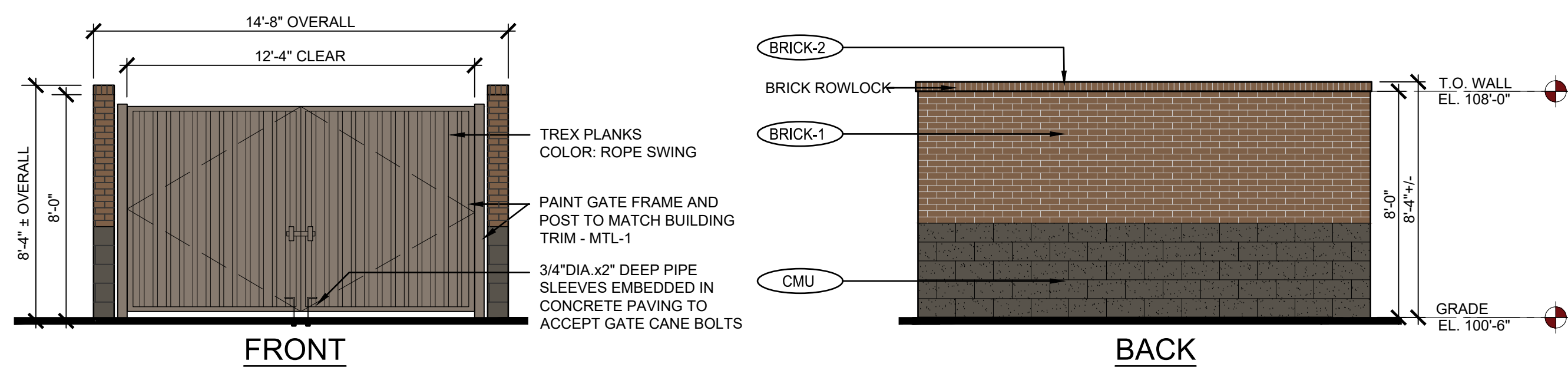
1
A-1
PROPOSED NORTH ELEVATION (FRONT)
SCALE: 3/16" = 1'-0"



2
A-1
PROPOSED EAST ELEVATION (LEFT SIDE)
SCALE: 3/16" = 1'-0"



3
A-1
PROPOSED WEST ELEVATION (RIGHT SIDE)
SCALE: 3/16" = 1'-0"



4
A-1
PROPOSED TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE				EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR	LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STRFNT-1	KAWNEER	TRIFAB 451	CLEAR ANODIZED W/ CLEAR GLASS	SIDING-1	JAMES HARDIE	HARDIEPLANK LAP SIDING PRODUCT: CEDARMILL 21 27-60	COLOR: BENJAMIN MOORE FEATHER GRAY
BRICK-1	SUMMIT BRICK (OR EQUIV.)	MODULAR	GRAPHITE GRAIN	SIDING-2	JAMES HARDIE	HARDIEPLANK LAP SIDING PRODUCT: CEDARMILL	COLOR: COBBLESTONE
BRICK-2	SUMMIT BRICK (OR EQUIV.)	ROWLOCK SILL	GRAPHITE GRAIN	TRIM-1	JAMES HARDIE	HARDIETRIM BOARDS	PRODUCT: 5/4 SMOOTH COLOR: SW #704-B URBANE BRONZE
CMU-1	BASALITE (OR EQUIV.)	INTEGRAL COLOR W/ ASSOCIATED CAP	CHARCOAL #G05 SPLIT-FACE	ROOF-1	MBCI	AWNING	BURNISHED SLATE
EIFS-1	DRYVIT OR SIMILAR	FIELD (DARK)	DRYVIT, SUEDE #105 PEBBLE TEXTURE	ROOF-2	MBCI	AWNING	HUNTER GREEN
EIFS-2	DRYVIT OR SIMILAR	BANDING (LIGHT)	DRYVIT LIGHT SERENITY #300 PEBBLE TEXTURE	MTL-1	MBCI	METAL TRIM # DOWNSPOUTS	HUNTER GREEN
EIFS-3	DRYVIT OR SIMILAR	FIELD (MEDIUM)	DRYVIT PRAIRIE CLAY #111 PEBBLE TEXTURE	PAINT-1	BENJAMIN MOORE	DOORS & FRAMES	SHERWIN WILLIAMS #G073 PERFECT GREIGE
RVL-1	DRYVIT OR SIMILAR	3/4" ROUTED REVEAL	COLOR TO MATCH ADJACENT FINISH	SCREEN-1	ACCURATE PERFORATING (OR EQUIV.)	RS234	BENJAMIN MOORE #2108-05 SILVER FOX
GLAZING-1	---	SEE STOREFRONT NOTE THIS PAGE	---				

