



# SITE PLAN LES SCHWAB TIRE CENTER

LYING IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 29, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## TOWN OF PARKER STANDARD NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2,4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



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EX.1	FIRE TRUCK MOVEMENT

## LEGAL DESCRIPTION

LEGAL DESCRIPTION:  
THE LAND SHOWN IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN FIRST TITLE INSURANCE COMPANY ORDER NO.NCS-1169584-QR1, EFFECTIVE DATE MARCH 08, 2023 AT 5:00PM FOR THIS INFORMATION.  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF DOUGLAS, STATE OF COLORADO, AND IS DESCRIBED AS FOLLOWS.  
PARCEL II:  
LOT 8, DOUGLAS 234 FILING 6, AMMENDMENT 1, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 21, 2022, AT RECEPTION NO. 2022004920, COUNTY OF DOUGLAS, STATE OF COLORADO.  
PARCEL I:  
THOSE BENEFICIAL EASEMENTS AS SET FORTH IN THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED APRIL 15, 2021 AT RECEPTION NO.2021049514, COUNTY OF DOUGLAS, STATE OF COLORADO.  
CONTAINING ±42,141 SQUARE FEET OR ±0.967 ACRES MORE OR LESS  
ALSO KNOWN AS: NO POSTED ADDRESS

## BASIS OF BEARING

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE SOUTH QUARTER CORNER BY A 3.25" ALUMINUM CAP "PLS STAMPED 35593" IN A RANGE BOX, AND MONUMENTED AT THE SOUTH QUARTER CORNER BY 3.25" ALUMINUM CAP "PLS STAMPED 22561." SAID SOUTH SECTION LINE BEARS NORTH 89°15'13" EAST A DISTANCE OF 2639.29 FEET WITH ALL BEARINGS HEREON BEING RELATIVE THERETO.

## PROJECT BENCHMARK

DOUGLAS COUNTY GIS BENCHMARK 1074010, STAMPED "1.074010" LOCATED ON THE WEST SIDE OF DOUBLE ANGLE ROAD, NEAR THE SOUTH ENTRANCE TO THE PARKING LOT AT 9345 DOUBLE ANGLE ROAD.  
PUBLISHED NAVD 1989 ELEVATION=6028.60 FEET

## SITE DATA

PROJECT NAME	LES SCHWAB TIRE CENTER	
PROJECT DESCRIPTION	NEW AUTOMOBILE TIRE SERVICE CENTER	
PROJECT LOCATION	SLICEROD DRIVE NEAR HESS DRIVE	
PARCEL NUMBER	2233-294-20-008	
ZONING	SITE	DOUGLAS 234, PLANNED DEVELOPMENT
	NORTH	DOUGLAS 234, PLANNED DEVELOPMENT
	SOUTH	DOUGLAS 234, PLANNED DEVELOPMENT
	EAST	DOUGLAS 234, PLANNED DEVELOPMENT
	WEST	DOUGLAS 234, PLANNED DEVELOPMENT
SITE AREA	0.967 ACRES	
OPEN SPACE	8,917 SF PROVIDED, 8,428 SF REQUIRED (20%)	
BUILDING AREA	10,037 SF	
BUILDING HEIGHT	30 FEET PROPOSED, 60 FOOT MAXIMUM	
SETBACKS	FRONT	20 FEET
	SIDE	10 FEET, 25 FEET ADJACENT TO RESIDENTIAL
	REAR	10 FEET
PARKING	REQUIRED	1 SPACE PER 450 NLA, 3 PER BAY 2,700 SF OF NLA, 6 BAYS PROPOSED 24 SPACES REQUIRED = (2700 SF / 450 SF) + (6 BAYS * 3 SPACES)
	PROVIDED	28 PARKING SPACES

## DEVELOPER/OWNER

OWNER/DEVELOPER  
SFP-E, LLC  
GEORGE BUNTING  
PO BOX 5350  
20900 COOLEY RD.  
BEND, OR 97701

## JURISDICTIONAL

PARKER COMMUNITY DEVELOPMENT AND TOWN PLANNING DEPARTMENT  
20120 MAIN STREET,  
PARKER, COLORADO 80138  
(303) 841-2332

SANITARY SEWER  
PARKER WATER & SANITATION DISTRICT  
18100 E WOODMAN DR,  
PARKER, CO 80134  
(303) 841-4627

WATER  
PARKER WATER & SANITATION DISTRICT  
18100 E WOODMAN DR,  
PARKER, CO 80134  
(303) 841-4627

FIRE PROTECTION  
SOUTH METRO FIRE DISTRICT  
9195 E MINERAL AVE,  
CENTENNIAL, CO  
(720) 989-2000

## CONSULTANT TEAM

ARCHITECT  
CUSHING TERRELL  
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GEOTECHNICAL ENGINEER  
VIVID ENGINEERING GROUP, INC.  
THOMAS J. NEVIN  
3885 FOREST ST,  
DENVER, CO 80207  
(303) 994-5153

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE

(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

12236 SLICEROD DR, PARKER, CO 80134  
6-BAY LINEAR STORE  
**LES SCHWAB TIRE CENTER - PARKER, CO**

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CIVIL CDS

04.17.2024  
DRAWN BY | CAMPOS  
CHECKED BY | WALKER  
REVISIONS

COVER SHEET

C000

## ABBREVIATIONS

@	AT	LT	LEFT
AB	ABANDONED	MEG	MATCH EXISTING GRADE
AHJ	AUTHORITIES HAVING JURISDICTION	MH	MANHOLE
APPROX	APPROXIMATE	MTR	METER
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	NTS	NOT TO SCALE
BC	BACK OF CURB	OC	ON CENTER
BCR	BACK OF CURB RADIUS	OH, OHP	OVERHEAD, OVERHEAD POWER
BM	BENCHMARK	OHU	OVERHEAD UTILITIES
BOTT	BOTTOM	PB	PULL BOX
BP	BURIED POWER	PC	POINT OF CURVATURE
BT	BURIED TELEPHONE	PIP	PROTECT IN PLACE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
C&G	CURB & GUTTER	PP	POWER POLE
CATV, TV	CABLE TELEVISION	PRC	POINT OF REVERSE CURVE
CI	CAST IRON	PT	POINT OF TANGENCY
CIPP	CURED IN PLACE PIPE	PVC	POLYVINYL CHLORIDE PIPE
CL	CENTERLINE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	RIM	RIM OF MANHOLE LID OR GRATE
CO	CLEANOUT	ROW	RIGHT OF WAY
D, DIA	DIAMETER	SF	SQUARE FOOT, SQUARE FEET
DG	DECOMPOSED GRANITE	SP	SPECIAL PROVISIONS
DI	DUCTILE IRON	SS	SANITARY SEWER
DIP	DUCTILE IRON PIPE	SSMH	SANITARY SEWER MANHOLE
DOM	DOMESTIC WATER	ST	STORM DRAIN
DW	DRIVEWAY	STA	STATION
DWG	DRAWING	STCB	STORM CATCH BASIN
EG	EXISTING GRADE	STCI	STORM CURB INLET
ELEC, E	ELECTRIC	STD	STANDARD
EL, ELEV	ELEVATION	STMH	STORM MANHOLE
EP, EP	EDGE OF PAVEMENT	STYD	STORM YARD DRAIN
ESCP	EROSION AND SEDIMENT CONTROL PLAN	SW	SIDEWALK
EX	EXISTING	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FC	FACE OF CURB	SY	SQUARE YARD
FG	FINISHED GRADE	T, TEL	TELEPHONE
FH, HYD	FIRE HYDRANT	TA	TOP OF ASPHALT
FL	FLOW LINE	TBC	TOP BACK OF CURB
FT	FOOT, FEET	TC	TOP OF CONCRETE
G	GAS	TEMP	TEMPORARY
GM	GAS METER	TRANS	TRANSITION
GV	GAS VALVE	TW	TOP OF WALL
GW	GUY WIRE	TYP	TYPICAL
HP	HIGH PRESSURE	VCP	VITRIFIED CLAY PIPE
IE	INVERT ELEVATION	WM	WATER MAIN
INT	INTERSECTION	WV	WATER VALVE
IRR	IRRIGATION	W	WITH
L	LENGTH	Δ	DELTA
LF	LINEAL FOOT, LINEAR FEET		
LS	LANDSCAPING		

## LEGEND

EXISTING	PROPOSED	
		ASPHALT
		CONCRETE
		FIBER CONCRETE
		WATER MAIN
		FIRE SERVICE
		DOMESTIC WATER SERVICE
		STORM DRAIN
		SANITARY SEWER
		BURIED POWER
		OVERHEAD POWER
		BURIED TELEPHONE
		BURIED GAS
		BURIED FIBER OPTIC
		BUILDING
		BUILDING ROOF OVERHANG
		VERTICAL CURB
		CURB AND GUTTER
		CURB AND GUTTER - CATCH
		CURB AND GUTTER - SPILL
		VEGETATION EXTENTS
		PROPERTY LINE - SUBJECT
		PROPERTY LINE - ADJACENT
		EASEMENT
		CONTROL POINT
		FOUND PROPERTY CORNER AS NOTED
		FIRE HYDRANT/ CONTROL POINT HYDRANT
		WATER VALVE
		WATER SHUTOFF
		WATER WELL
		STORM DRAIN MANHOLE
		STORM DRAIN INLET STRUCTURE
		STORM DRAIN CURB INLET
		STORM DRAIN OUTLET STRUCTURE
		STORM DRAIN ROOF DOWNSPOUT
		STORM DRAIN CLEANOUT
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		UTILITY POLE
		GUY WIRE
		LIGHT POLE (ONE LIGHT AND DIRECTION)
		LIGHT POLE
		TRANSFORMER
		POWER METER OR POWER HANDHOLE
		GAS METER
		TELEPHONE PEDESTAL
		IRRIGATION CONTROL VALVE
		POLE SIGN AND DOUBLE POLE SIGN
		BOLLARD (OR AS NOTED)
		PARKING STALL COUNT
		DECIDUOUS TREE
		CONIFEROUS TREE
		BUSH

**NOTE:** ALL EXISTING LAYERS SUBJECT TO DEMOLITION TO BE SHOWN DARKER THAN INDICATED IN THIS LEGEND.

## GENERAL NOTES

- ALL WORK, MATERIALS AND DETAILS PERTAINING TO CONSTRUCTION SHALL BE IN COMPLETE ACCORDANCE WITH THE TOWN OF PARKER COLORADO ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, PROJECT SPECIFICATIONS, AND ALL OTHER GOVERNING AGENCIES' STANDARDS. REFER TO THE PROJECT SPECIFICATIONS FOR COMPLETE WORK COVERAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STORM WATER QUALITY DURING CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL CURRENT REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), AND LOCAL MS4 REQUIREMENTS WHERE APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION AND MAINTENANCE OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES, PUBLIC AND PRIVATE, AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTROL DUST IN ACCORDANCE WITH REGULATIONS OF LOCAL AIR POLLUTION CONTROL AUTHORITY.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, SIGNS AND EXISTING STRUCTURES. THE CONTRACTOR IS RESPONSIBLE TO REPAIR BACK TO ORIGINAL OR BETTER CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
- CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND COORDINATE WITH OWNER, TOWN OF PARKER AND ENGINEER / ARCHITECT PRIOR TO DEMOLITION ACTIVITIES.
- TRAFFIC, BOTH VEHICULAR AND PEDESTRIAN SHALL BE PROTECTED BY EFFECTIVE BARRICADES AND SIGNS IN ACCORDANCE WITH MUTCD GUIDANCE. EFFECTIVE LIGHTING OF OBSTRUCTIONS SHALL BE PROVIDED AT NIGHT.
- OWNER WILL SECURE ALL NECESSARY UTILITY PERMITS REQUIRED FOR THE COMPLETION OF THE PROJECT. CONTRACTOR SHALL PERFORM ALL WORK IN STRICT ACCORDANCE WITH PERMIT REQUIREMENTS.
- UNLESS OTHERWISE INDICATED, ALL CONSTRUCTION STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A COLORADO LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES. ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS SHALL BE NOTED ON THIS SET. THE LOCATION AND DEPTH OF ALL UTILITIES ENCOUNTERED SHALL BE RECORDED AND KEPT UP TO DATE AT ALL TIMES AND AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE UPON REQUEST. FAILURE TO COMPLY MAY RESULT IN DELAY IN PAYMENT AND/OR FINAL ACCEPTANCE OF THE PROJECT.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A CLEAN SET OF FIELD DRAWINGS CONTAINING ALL AS-BUILT INFORMATION TO THE ENGINEER.
- IF WITHIN ONE YEAR OF THE FINAL ACCEPTANCE BY THE OWNER, ANY WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND/OR DRAWINGS, AND UPON WRITTEN NOTICE FROM THE ENGINEER OR OWNER, THE CONTRACTOR SHALL CORRECT ANY WORK BEGINNING WITHIN SEVEN (7) CALENDAR DAYS OF RECEIPT OF NOTICE. SHOULD THE CONTRACTOR FAIL TO RESPOND TO THE WRITTEN NOTICE, THE OWNER MAY CORRECT THE WORK AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING AND/OR EXPORTING ALL MATERIAL AS REQUIRED TO PROPERLY GRADE THIS SITE TO THE FINISHED ELEVATIONS SHOWN HEREON AS WELL AS THE LEGAL DISPOSAL OF WASTE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE WORK WITH ALL OTHER TRADES.
- SAFETY - NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR COMPLIANCE WITH SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

## SHOP AND FABRICATION NOTES

- THE CONTRACTOR SHALL PREPARE AND SUBMIT FABRICATION DRAWINGS, DESIGN MIX INFORMATION, MATERIAL TESTING COMPLIANCE DATA, AND ANY OTHER PERTINENT DATA TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF MATERIALS. FOLLOWING REVIEW, THE CONTRACTOR SHALL RESUBMIT COPIES OF ANY DRAWINGS WHICH REQUIRE REVISION OR CORRECTIONS.
- ANY REVIEW BY THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR FOR RESPONSIBILITY FOR ERRORS OR OMISSIONS, OR SCHEDULE REQUIREMENTS. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR FULL AND COMPLETE PERFORMANCE IN ACCORDANCE WITH THE TERMS, CONDITIONS, PROVISIONS, DRAWINGS, AND SPECIFICATIONS.

## ACCESS NOTES

- CONTRACTOR SHALL COORDINATE ACCESS, STAGING AND STOCKPILE LOCATIONS WITH OWNER.
- CONTRACTOR SHALL RESTORE DISTURBED AREAS TO PRE-CONSTRUCTION OR BETTER CONDITIONS.

## EXISTING UTILITY NOTES

- EXISTING UNDERGROUND INSTALLATIONS AND PUBLIC UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER AND DEPICTED ON THESE PLANS TO A LEVEL OF QUALITY IN ACCORDANCE WITH ASCE 38-02.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING AND VERIFYING MATERIAL TYPES OF ALL EXISTING UTILITY INSTALLATIONS ABOVE AND BELOW GROUND IN ADVANCE OF THE PROJECT BY CONTACTING THEIR RESPECTIVE OWNERS. ALL COSTS RELATED TO LOCATING EXISTING UTILITIES ARE INCIDENTAL AND SHALL NOT BE PAID SEPARATELY. NOT ALL UTILITIES ARE IDENTIFIED ON THE PLANS. NOTIFY ENGINEER OF POTENTIAL CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TOWN OF PARKER A MINIMUM OF 5 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.

## GEOTECHNICAL REPORT

- ALL GEOTECHNICAL RECOMMENDATIONS ARE TAKEN FROM THE REPORT TITLED "GEOTECHNICAL EVALUATION REPORT" BY VIVID ENGINEERING GROUP, INC. DATED 4/04/2023.
- ALL REFERENCES MADE TO THE GEOTECHNICAL REPORT IN THIS PLAN SET SHALL CONSULT THE AFOREMENTIONED REPORT.

## TOWN OF PARKER STRIPING AND SIGNAGE NOTES

- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL. FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
- A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKINGS SHALL BE PERFORMED BY THE TOWN OF PARKER.
- THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
- TYPE III (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" AND "TO BE EXTENDED" WARNING SIGNS SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
- SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
- WHERE STOP SIGN CONTROL IS APPROPRIATE, 36 INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
- A 7 FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND. THIS REQUIREMENT FOR VERTICAL CLEARANCE IS FOR ALL SIGNS.
- DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
- RAISED MEDIAN ISLAND NOSES SHALL HAVE R4-7 SIGNS AT EACH END AND A 4"x12" HIGH INTENSITY YELLOW SIGN BLANK LOCATED MIDWAY BETWEEN THE R4-7 SIGN AND FINISHED GRADE ON EACH POST.
- SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO THE INITIATION OF ANY WARRANTY PERIOD, THE TOWN OF PARKER RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT CONDITIONS WARRANT SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO-YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
- DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL USE HIGH INTENSITY GRADE SHEETING. NO FLUORESCENT YELLOW GREEN SHEETING SHALL BE USED UNLESS SPECIFICALLY APPROVED BY THE TOWN OF PARKER.
- ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES. ARTERIAL AND COLLECTOR STREET NAME SIGNS SHALL BE 9 INCH BLADES AND HAVE MIXED CASE LETTERING. LOCAL STREET NAME SIGNS SHALL BE 6 INCHES BLADES WITH MIXED CASE LETTERING.
- ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.
- CROSSWALKS SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL. SHALL BE LONGITUDINAL 2 FEET BY 10 FEET (CONTINENTAL) TYPE OR OTHER APPROVED BY THE TOWN OF PARKER. SHALL LINE UP WITH HANDICAP RAMPS. SHALL BE CENTERED WITHIN LANES AND PLACED ON LANE AND CURB LINES SO AS TO AVOID VEHICLE WHEEL PATHS.
- ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS:
  - FOR CONCRETE SURFACE: LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER. WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE METHYL-MYTHACRALATE, PREFORMED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), OR AS SPECIFIED. (SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS.)
  - FOR ASPHALT SURFACE: LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER. WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE HOT APPLIED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), ETHYL-MYTHACRALATE, OR AS SPECIFIED.
- INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY TOWN OF PARKER DEVELOPMENT REVIEW ENGINEER (CALL 303-840-9546) PRIOR TO APPLICATION OF FINAL STRIPING.

## TOWN OF PARKER ROADWAY NOTES

- Paving shall not commence until a soils report and pavement design is approved by the Town of Parker and subgrade compaction tests are submitted to and approved by the Town Inspector.
- Standard Town of Parker Curb Ramps are to be constructed at all curb returns and at all "T" intersections in accordance with the latest Town of Parker standards.
- All stationing is based on centerline of roadways unless otherwise noted.
- All elevations are on USGS DATUM with date. Range point or monument shall be shown on the construction plans.
- Except where otherwise provided for in these plans and specifications, the Colorado Department of Highways Standard Specifications for Road and Bridge Construction, the Colorado Department of Highways M and S Standards, and the Town of Parker Roadway Design and Construction Criteria Manual, latest edition, shall apply.



**PROJECT CONDITIONS**

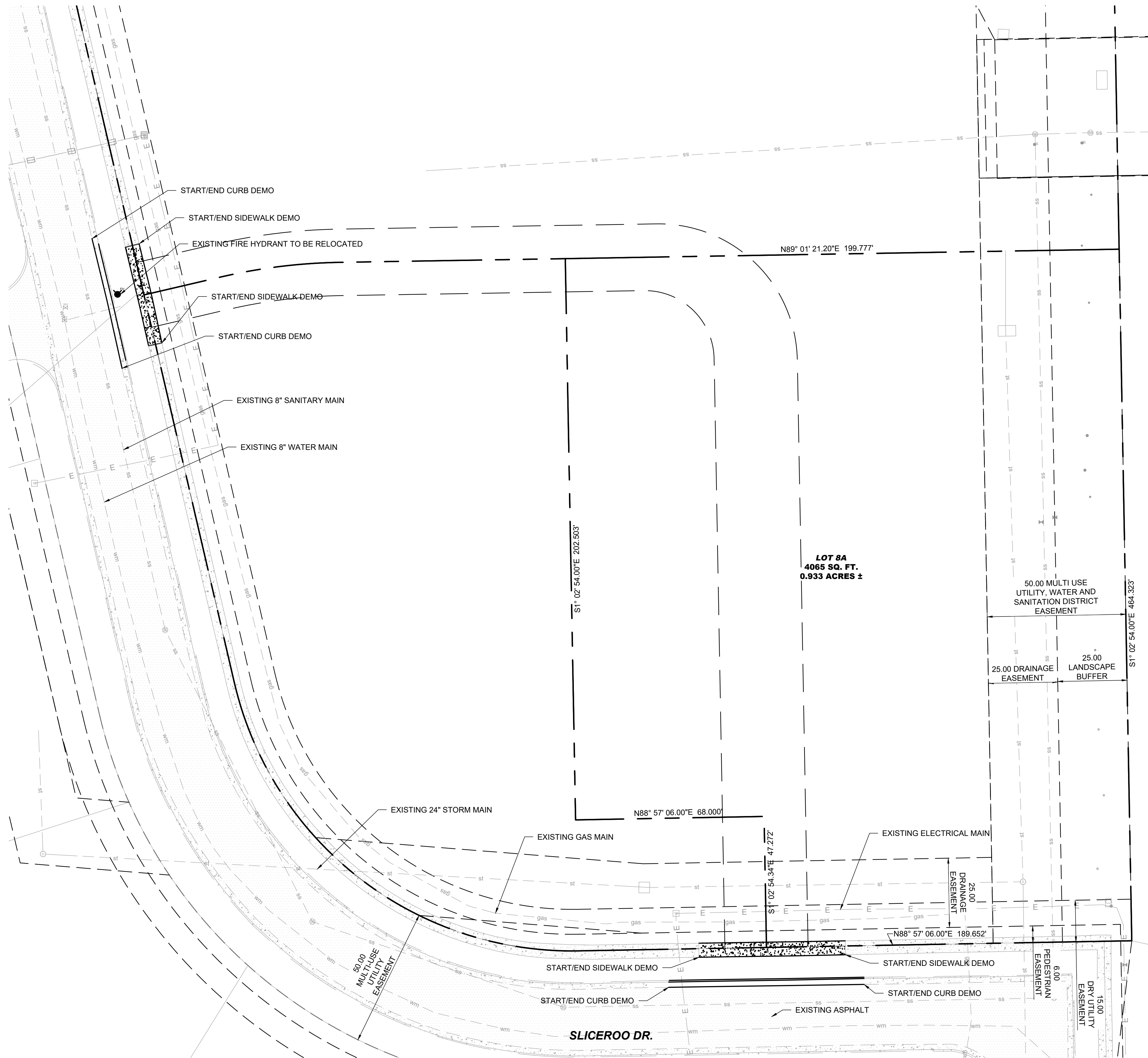
- STRUCTURES TO BE DEMOLISHED WILL BE DISCONTINUED IN USE AND VACATED PRIOR TO THE START OF WORK.
- THE OWNER ASSUMES NO RESPONSIBILITY FOR CONDITION OF STRUCTURES TO BE DEMOLISHED.
- CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER AS PRACTICABLE. VARIATIONS WITHIN STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
- UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS OR SPECIFIED BY THE OWNER, ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR SHALL BE REMOVED FROM SITE AND STRUCTURES. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED AND SHALL NOT INTERFERE WITH OTHER WORK SPECIFIED IN CONTRACT DOCUMENTS.
- EXPLOSIVES SHALL NOT BE BROUGHT TO SITE OR USED WITHOUT WRITTEN CONSENT OF AUTHORITIES HAVING JURISDICTION. SUCH WRITTEN CONSENT WILL NOT RELIEVE CONTRACTOR OF TOTAL RESPONSIBILITY FOR INJURY TO PERSONS OR FOR DAMAGE TO PROPERTY DUE TO BLASTING OPERATIONS. PERFORMANCE OF REQUIRED BLASTING SHALL COMPLY WITH GOVERNING REGULATIONS.

**SITE PREPARATION**

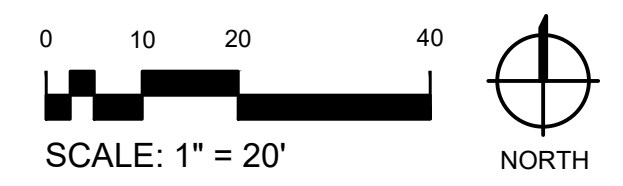
- PROVIDE, ERECT, AND MAINTAIN EROSION CONTROL DEVICES, TEMPORARY BARRIERS, AND SECURITY DEVICES PRIOR TO THE START OF DEMOLITION.
- PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES, AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING AS NEEDED.
- MARK LOCATION OF UTILITIES. PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION UTILITIES THAT ARE TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICE TO OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES AND OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY DEMOLITION ACTIVITIES.

**DEMOLITION NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND PINS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING DEMOLITION, WHICH INCLUDES BUT IS NOT LIMITED TO CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
- THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT OWNER AS TO SPECIFIC DETAILS REGARDING REMOVAL OF EXISTING BUILDINGS, CONTENTS AND ASSOCIATED APPURTENANCES.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT THE SITE PRIOR TO BIDDING AND INCLUDE IN THE BID ANY AND ALL ITEMS TO BE REMOVED, DEMOLISHED, OR MAINTAINED AS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
- ALL MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE INDICATED BY THE OWNER. AN APPROPRIATE DUMP SITE SHALL BE NOMINATED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND MATERIAL TYPES OF ALL UTILITIES PRIOR TO THE START OF DEMOLITION.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- TRAFFIC, BOTH VEHICULAR AND PEDESTRIAN SHALL BE PROTECTED BY EFFECTIVE BARRICADES AND SIGNS IN ACCORDANCE WITH MUTCD GUIDANCE AND AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY. EFFECTIVE LIGHTING OF OBSTRUCTIONS SHALL BE PROVIDED AT NIGHT.
- PROTECTION OF PROPERTY - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE PROPERTY ADJACENT TO HIS WORK, AND SHALL EXERCISE DUE CAUTION TO AVOID DAMAGE TO SUCH PROPERTY. THE CONTRACTOR SHALL REPLACE OR REPAIR TO THEIR ORIGINAL CONDITION, ALL IMPROVEMENTS WITHIN OR ADJACENT TO THE WORK AREA WHICH ARE NOT DESIGNATED FOR REMOVAL, AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF OPERATIONS.



1 DEMOLITION PLAN  
C002



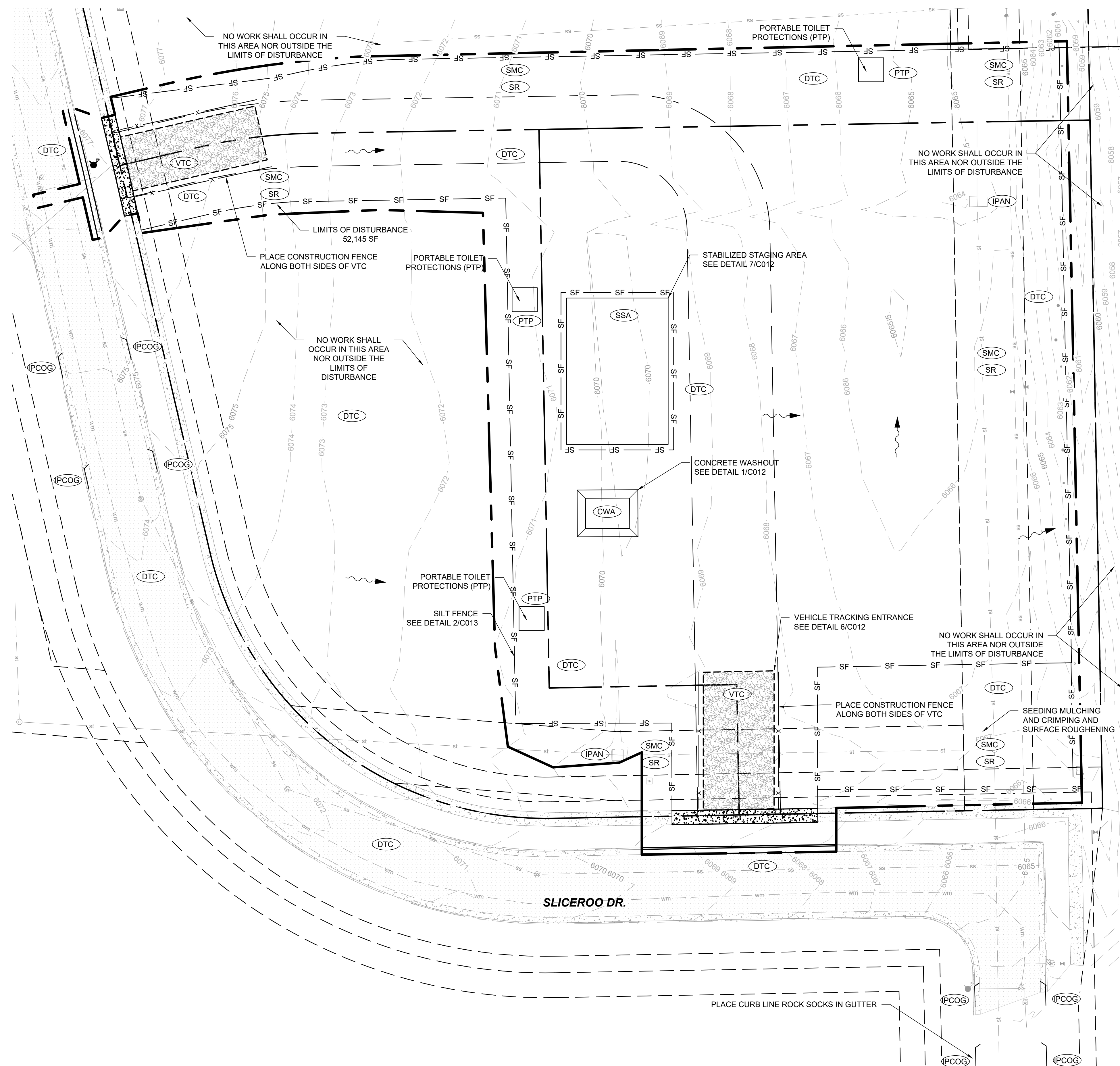


EROSION CONTROL PLAN LEGEND

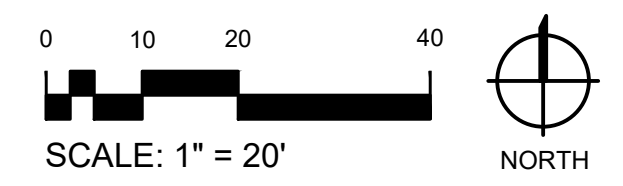
	FLOW ARROW
	LIMITS OF DISTURBANCE
	SILT FENCE
	CONSTRUCTION ENTRANCE
	INLET PROTECTION
	STABILIZED STAGING AREA
	CONCRETE WASHOUT
	PARKER CBMP LEGEND. REFER TO SHEET C013

EROSION CONTROL NOTES:

1. THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
2. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
3. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS.
5. MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
6. ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.



1 INITIAL EROSION CONTROL PLAN  
C010



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD, REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

12236 SLICEROO DR. PARKER, CO 80134  
6-BAY LINEAR STORE

LES SCHWAB TIRE CENTER - PARKER, CO

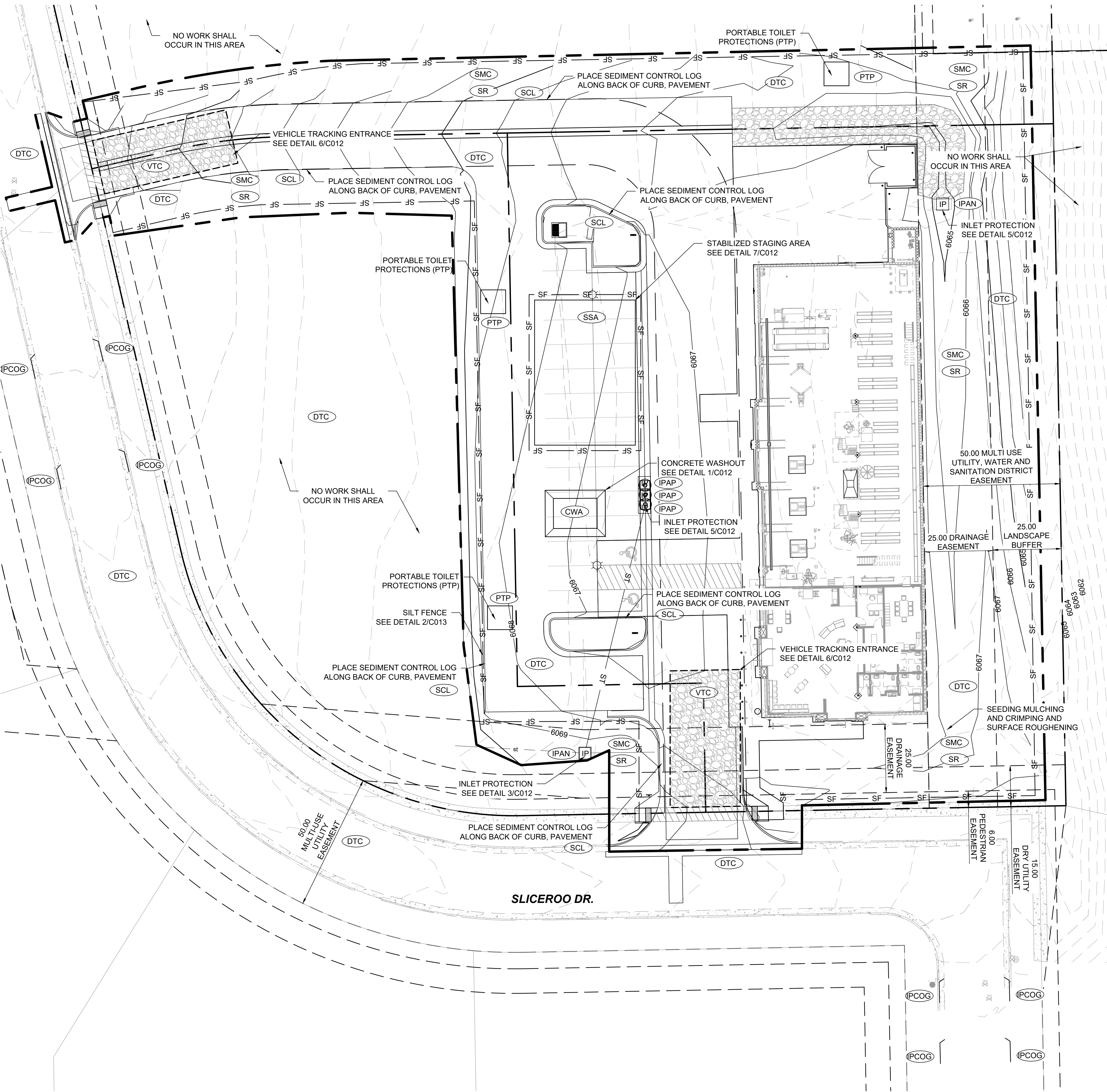
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REVISIONS

EROSION SHEET INITIAL

C010



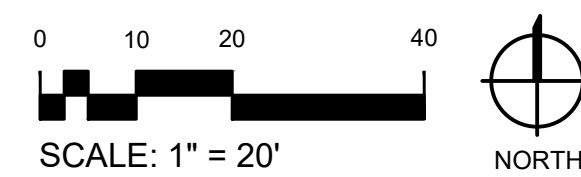
**EROSION CONTROL PLAN LEGEND**

- FLOW ARROW
- LIMITS OF DISTURBANCE
- SILT FENCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- STABILIZED STAGING AREA
- CONCRETE WASHOUT
- PARKER CBMP LEGEND. REFER TO SHEET C013.

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1 INTERIM/FINAL EROSION CONTROL PLAN  
C011



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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



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**LES SCHWAB TIRE CENTER - PARKER, CO**

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REVISIONS  
EROSION SHEET INTERIM/FINAL  
**C011**



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	CD	CHECK DAM
	CF	CONSTRUCTION FENCE
	CP	CULVERT PROTECTION
	CWA	CONCRETE WASHOUT AREA
	D	DEWATERING
	DD	DIVERSION DITCH
	DP	DETENTION POND PROTECTION
	DTC	DEBRIS TRASH CONTROL
	ECB	EROSION CONTROL BLANKET
	IPAN	INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
	IPAP	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPCOG	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
	IPCOS	INLET PROTECTION, CURB ON SUMP, TYPE R INLET

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	LP	LOT PROTECTION
	MWP	MASONRY WORK PROTECTION
	PTP	PORTABLE TOILET PROTECTION
	RCSC	ROUGH CUT STREET CONTROL
	RS	ROCK SOCK
	RSS	ROCK SOCK IN SWALE
	SB	STRAW BALE
	SCL	SEDIMENT CONTROL LOGS
	SF	SILT FENCE
	SMC	SEEDING, MULCHING AND CRIMPING
	SR	SURFACE ROUGHING
	SSA	STABILIZED STAGING AREA
	STP	SIDEWALK TRANSITION PROTECTION

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	TI	TEMPORARY IRRIGATION
	TSB	TEMPORARY SEDIMENT BASIN
	VTC	VEHICLE TRACKING CONTROL

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
3 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (e.g., CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
  - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
GEN NOTES  
1 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
GEN NOTES  
2 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER, RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
- GRADING SECURITY RELEASE REQUIREMENTS:
  - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
    - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
    - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
    - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
    - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
    - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
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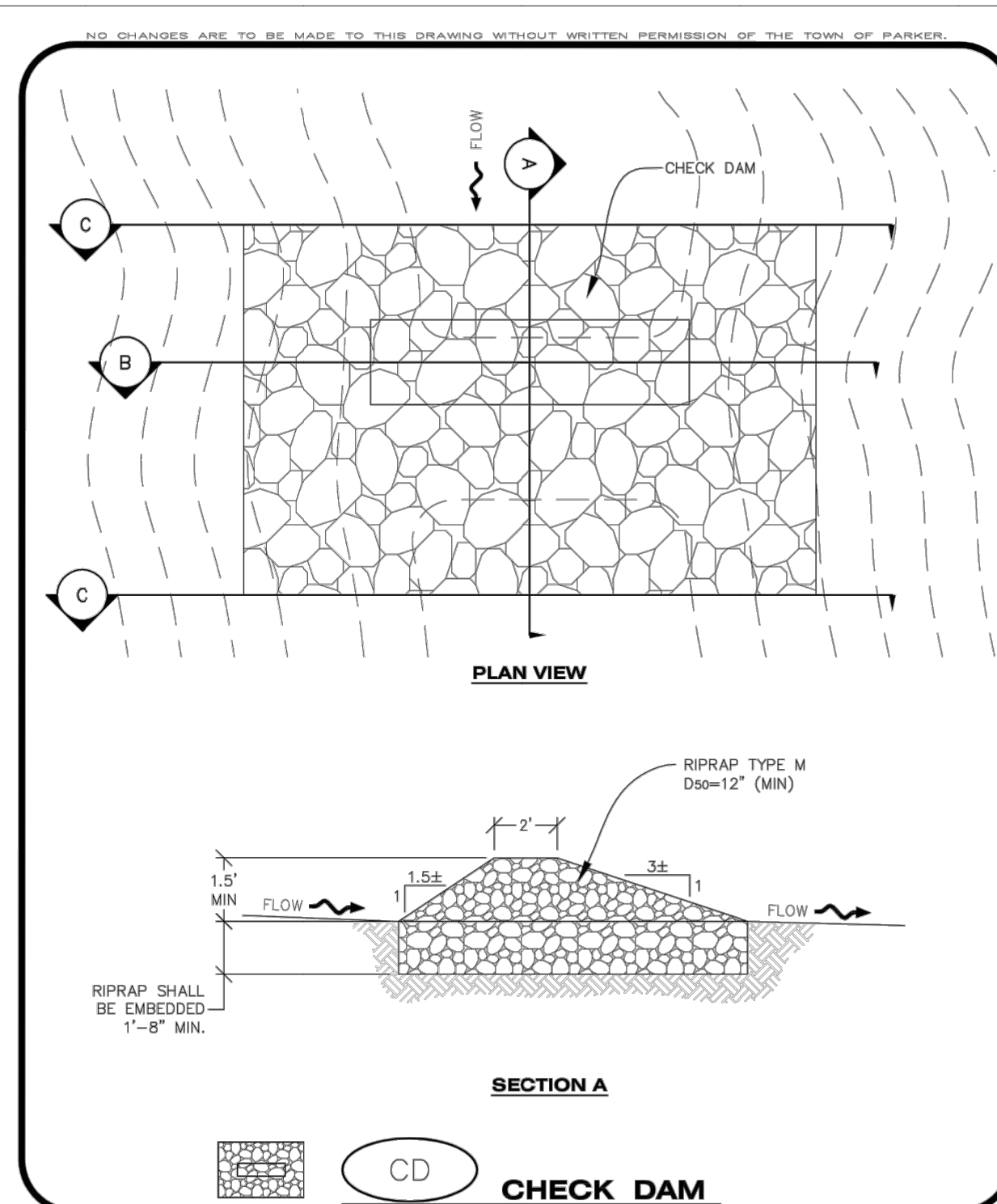
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
  - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
  - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
  - EROSION IS NEGLECTABLE, IF EVEN PRESENT.
  - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OR DESIRABLE VEGETATION INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
  - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
  - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
  - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
  - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:
 

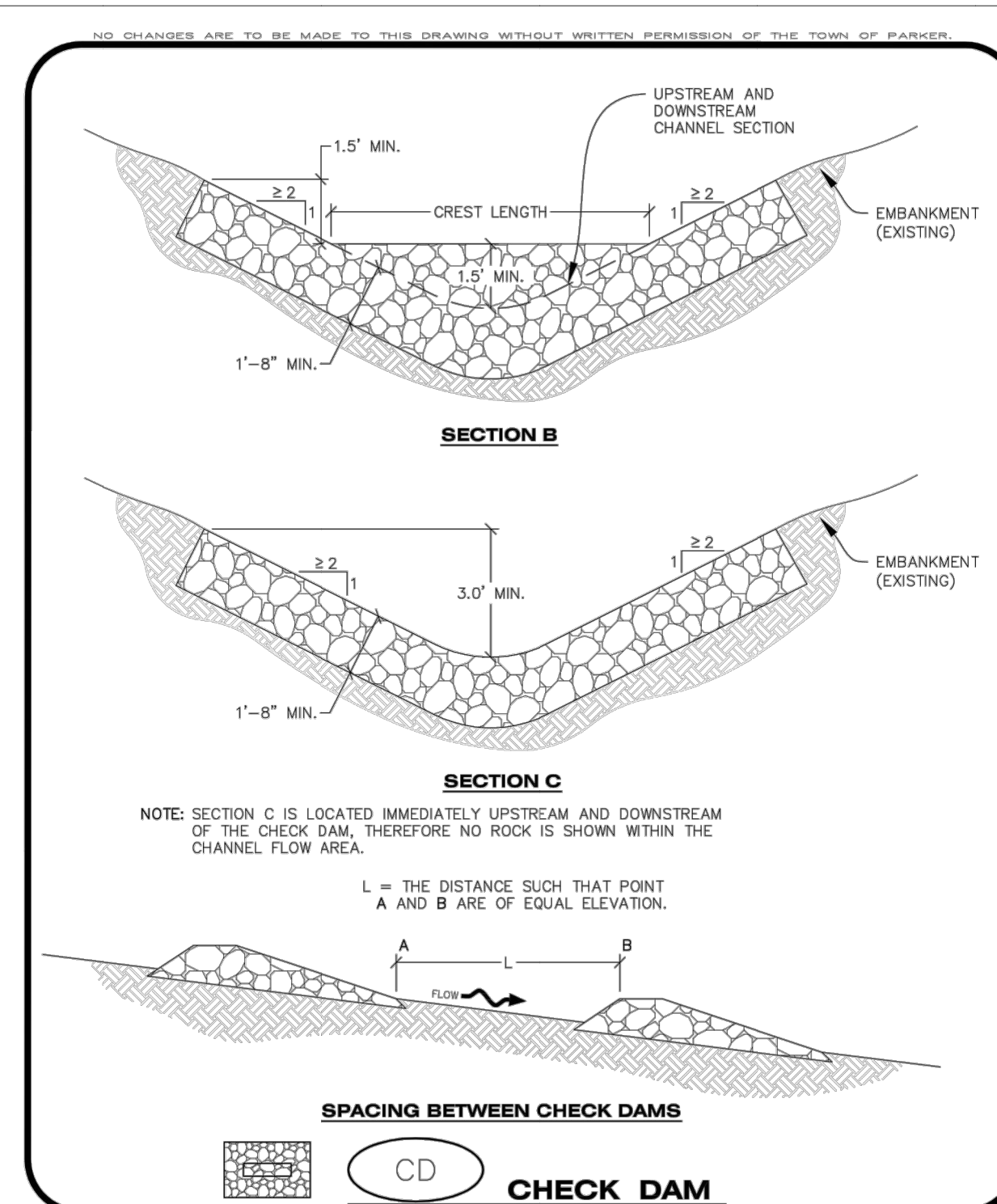
DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.

NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN OF PARKER ALSO MAY SEEK TO COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS IS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
GEN NOTES  
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**CD CHECK DAM**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CD 1 OF 3 Oct. 2013



**CD CHECK DAM**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CD 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

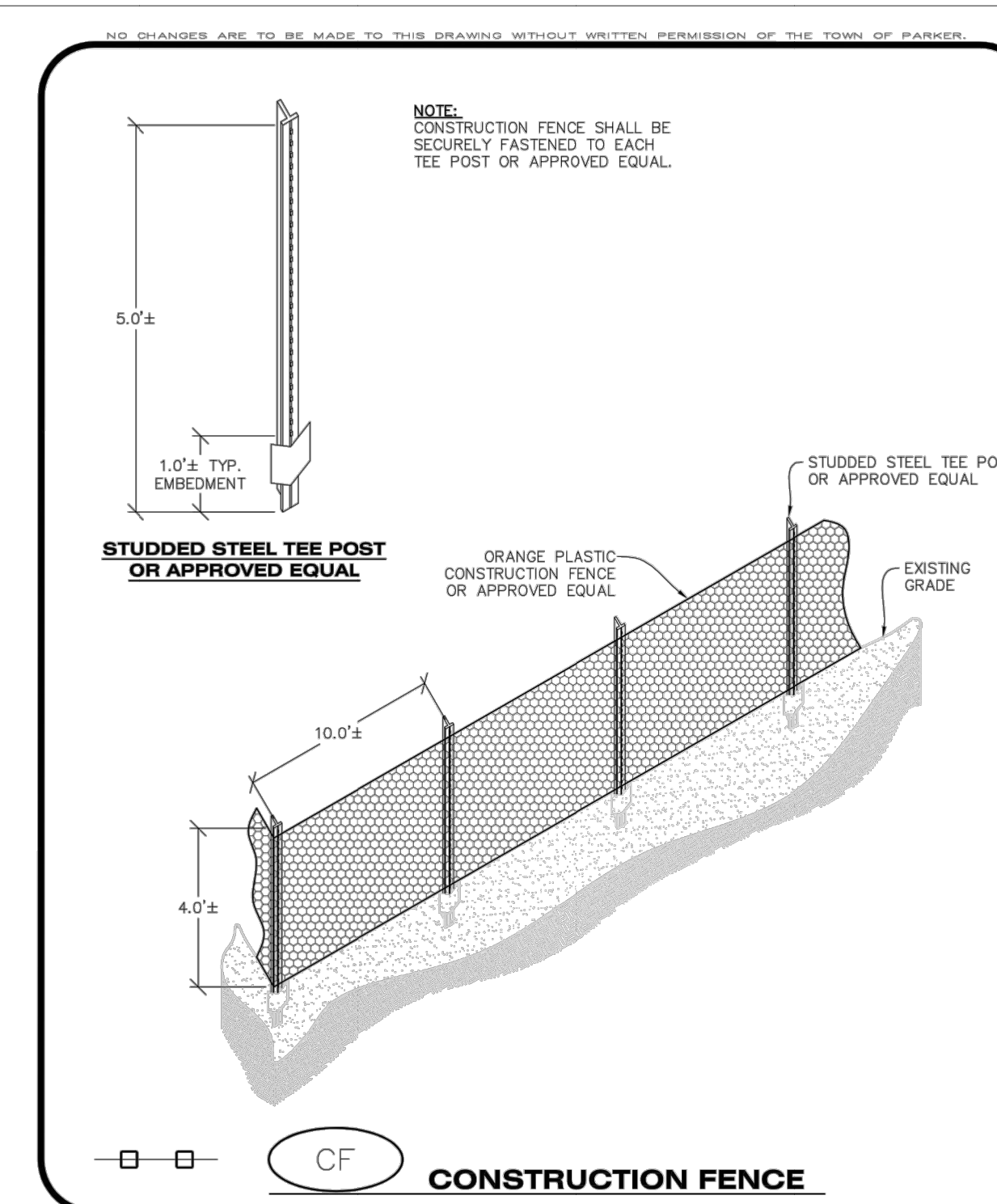
**CHECK DAM INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
- CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
- RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
- RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
- THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

**CHECK DAM INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

**CD CHECK DAM**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CD 3 OF 3 Oct. 2013



**CF CONSTRUCTION FENCE**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CF 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

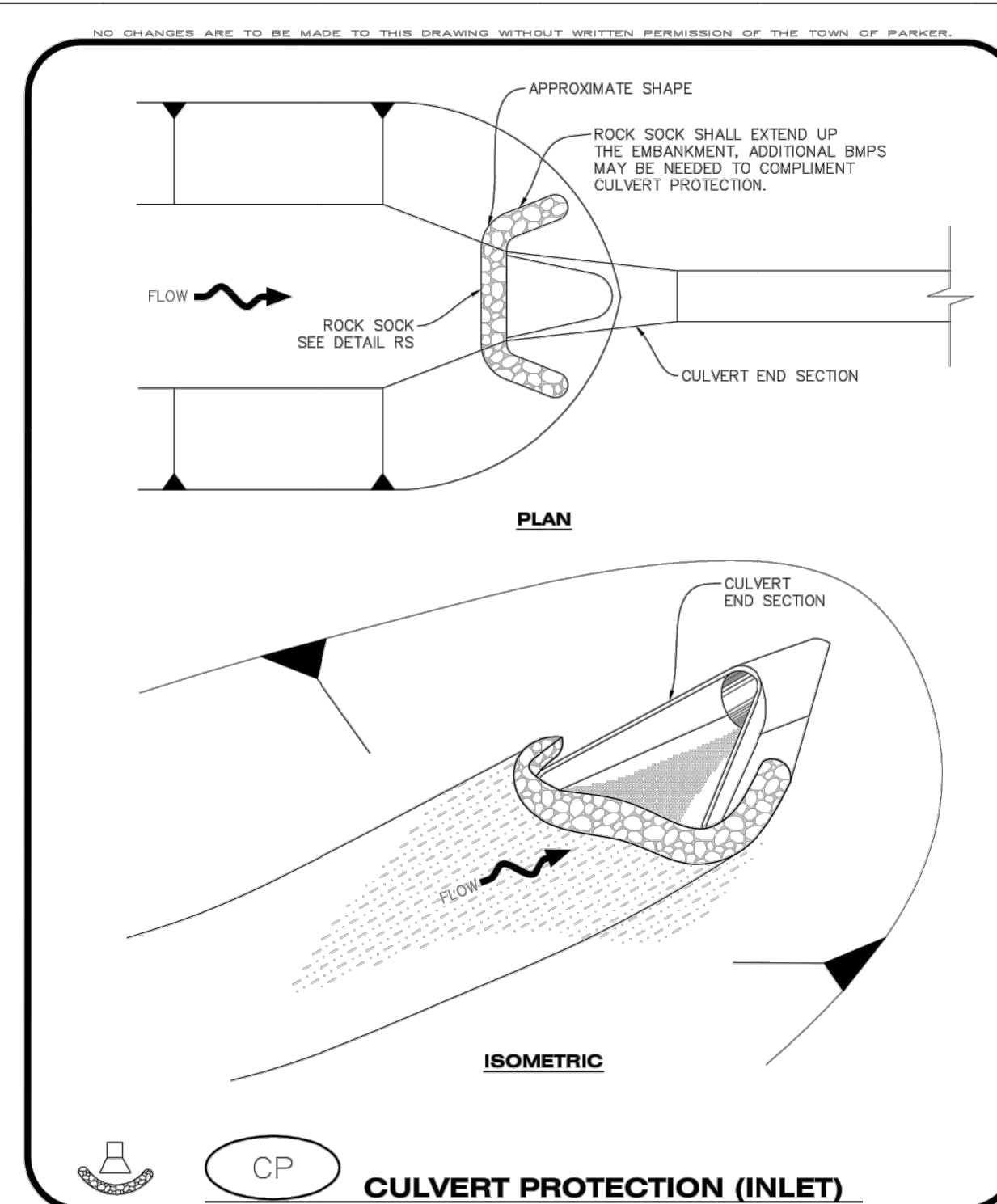
**CONSTRUCTION FENCE INSTALLATION NOTES**

- THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

**CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
- CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

**CF CONSTRUCTION FENCE**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CF 2 OF 2 Oct. 2013



**CP CULVERT PROTECTION (INLET)**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CP 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

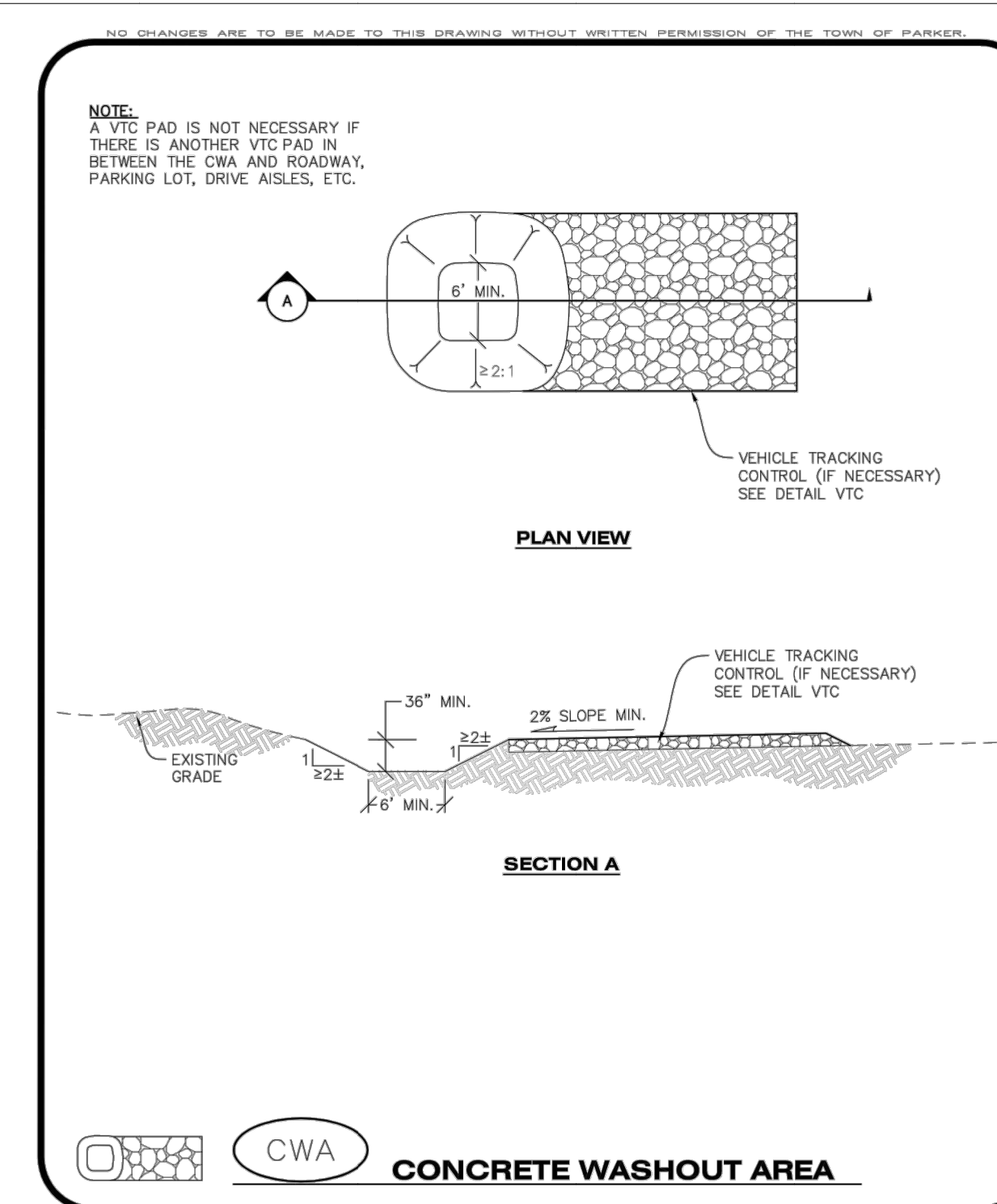
**CULVERT PROTECTION (INLET) INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
- ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

**CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
- AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
- CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CP CULVERT PROTECTION (INLET)**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CP 2 OF 2 Oct. 2013



**CWA CONCRETE WASHOUT AREA**  
 CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES  
 CWA 1 OF 2 Oct. 2013

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN  
 12236 SLICEROO DR PARKER, CO 80134  
 6-BAY LINEAR STORE  
**LES SCHWAB TIRE CENTER - PARKER, CO**  
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 DRAWN BY | CAMPOS  
 CHECKED BY | WALKER  
 REVISIONS  
 EROSION SHEET DETAILS  
**C013**



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**CONCRETE WASHOUT AREA INSTALLATION NOTES**

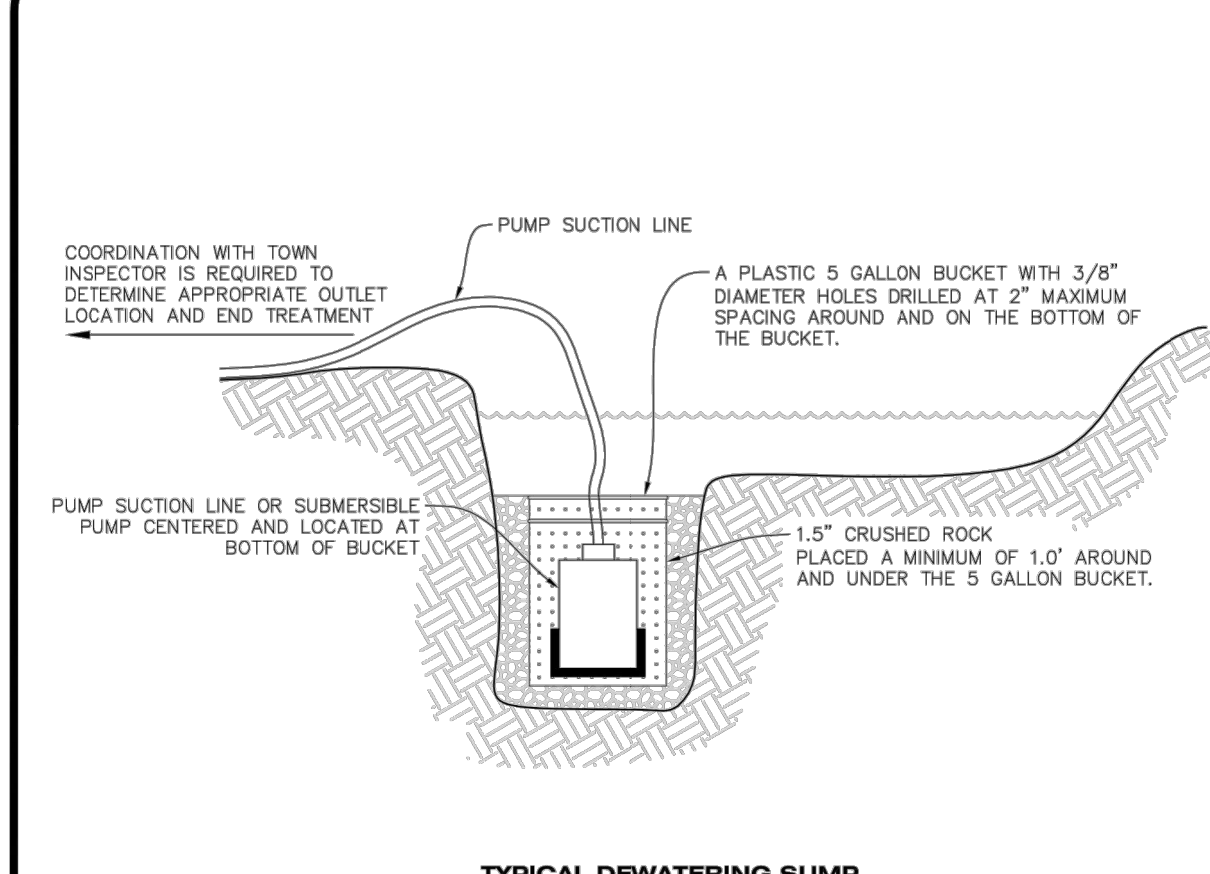
1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VIC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

**CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL. ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **CWA** | 2 OF 2 | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



**TYPICAL DEWATERING SUMP**

NOTE:  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE APPROPRIATE MEASURES TO PROTECT PUMPING EQUIPMENT AND MINIMIZE SEDIMENT. USE OF A PLASTIC 5 GALLON BUCKET IS SUGGESTED BUT NOT REQUIRED. THE CONTRACTOR SHALL NOT HOLD THE TOWN LIABLE FOR DAMAGE TO PUMPING EQUIPMENT REGARDLESS OF METHODS USED.

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **D** | 1 OF 2 | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

**DEWATERING INSTALLATION NOTES**

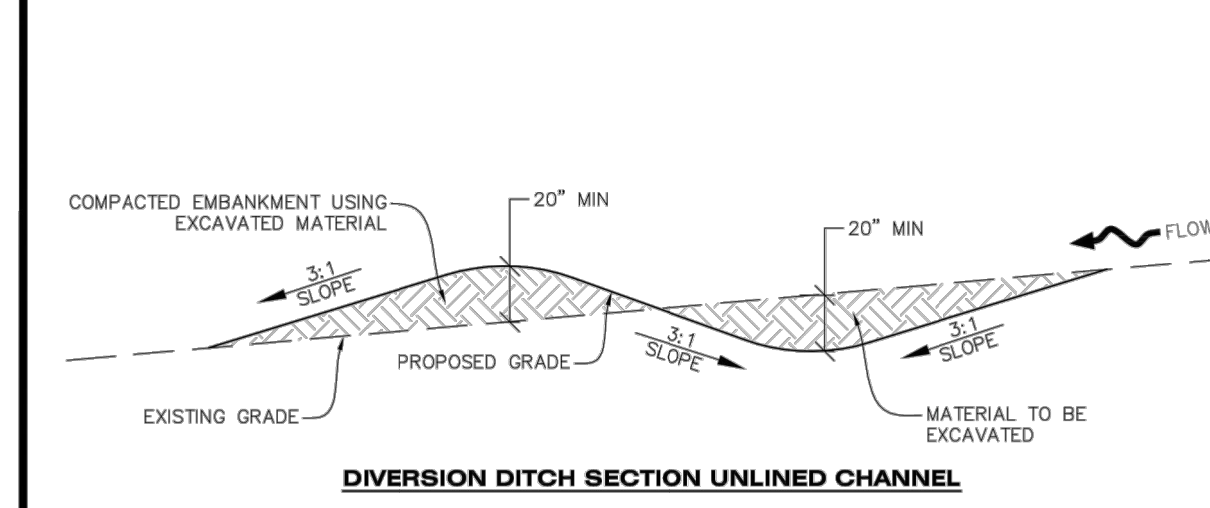
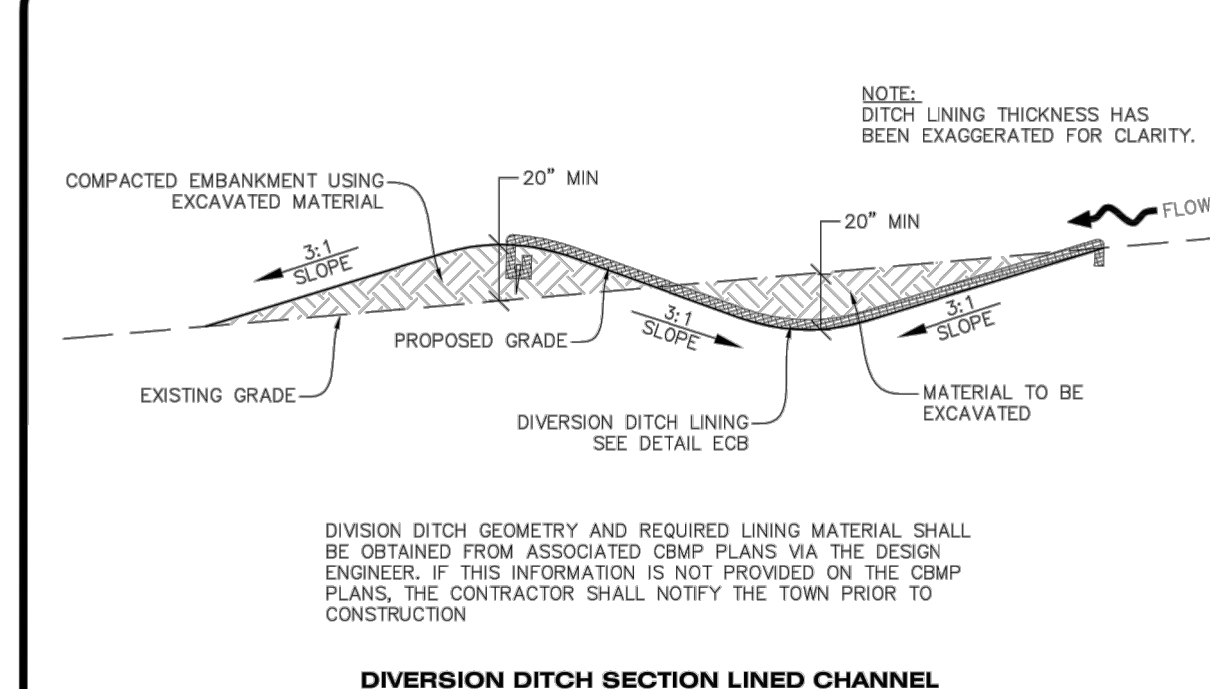
1. IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

**DEWATERING MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **D** | 2 OF 2 | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



**DD DIVERSION DITCH**

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **DD** | 1 OF 2 | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

**DIVERSION DITCH INSTALLATION NOTES**

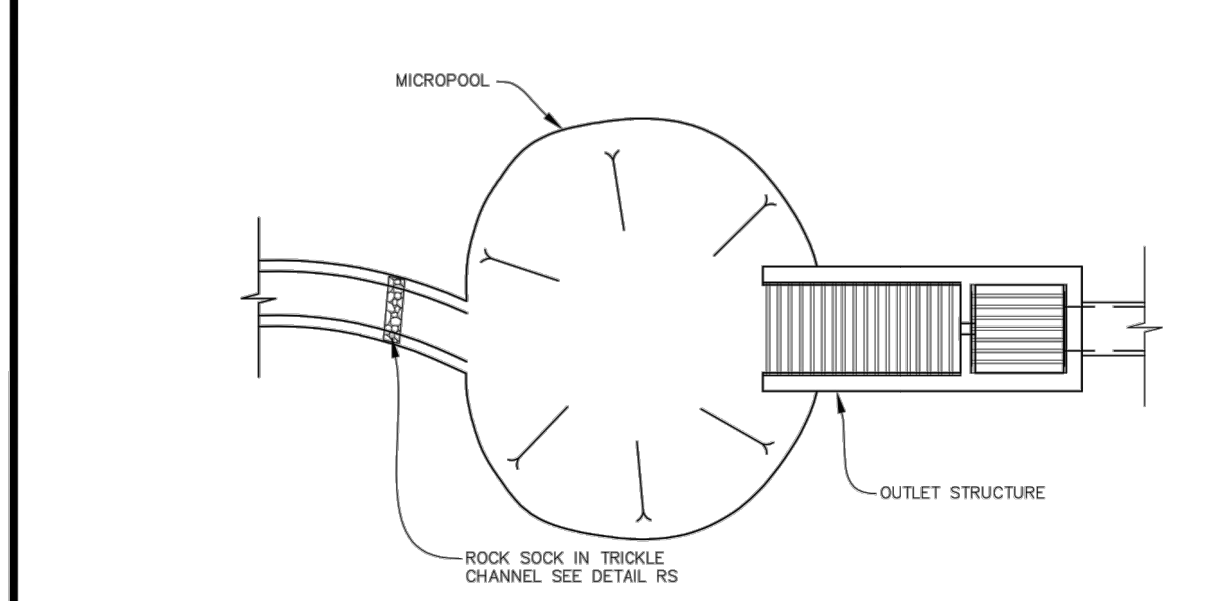
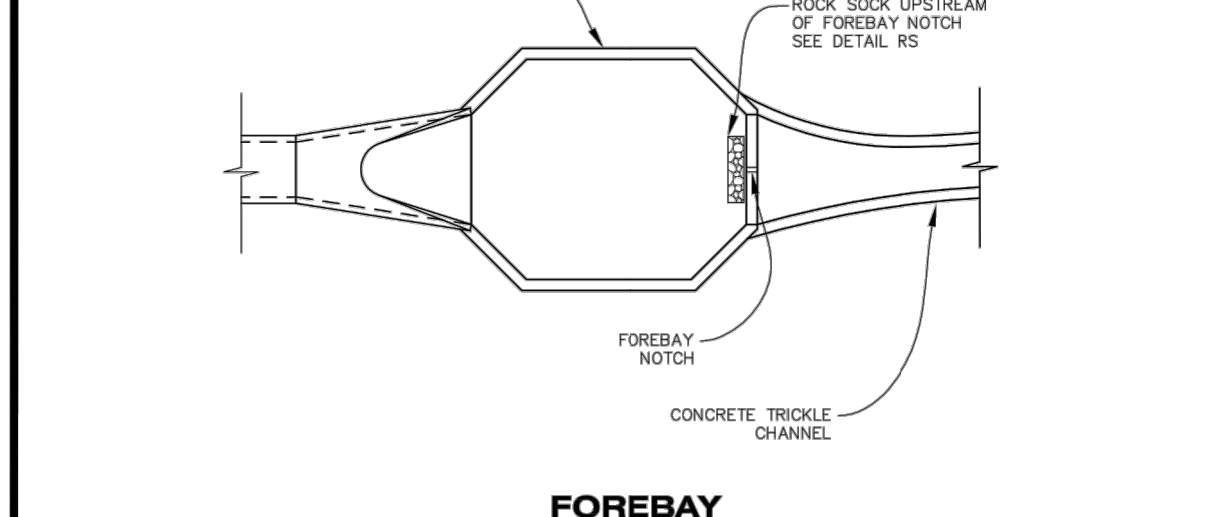
1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
2. A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
3. ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
4. THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
5. THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

**DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
3. DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
4. DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **DD** | 2 OF 2 | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



**DP DETENTION POND PROTECTION**

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **DP** | 1 OF 2 | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

**DETENTION POND PROTECTION INSTALLATION NOTES**

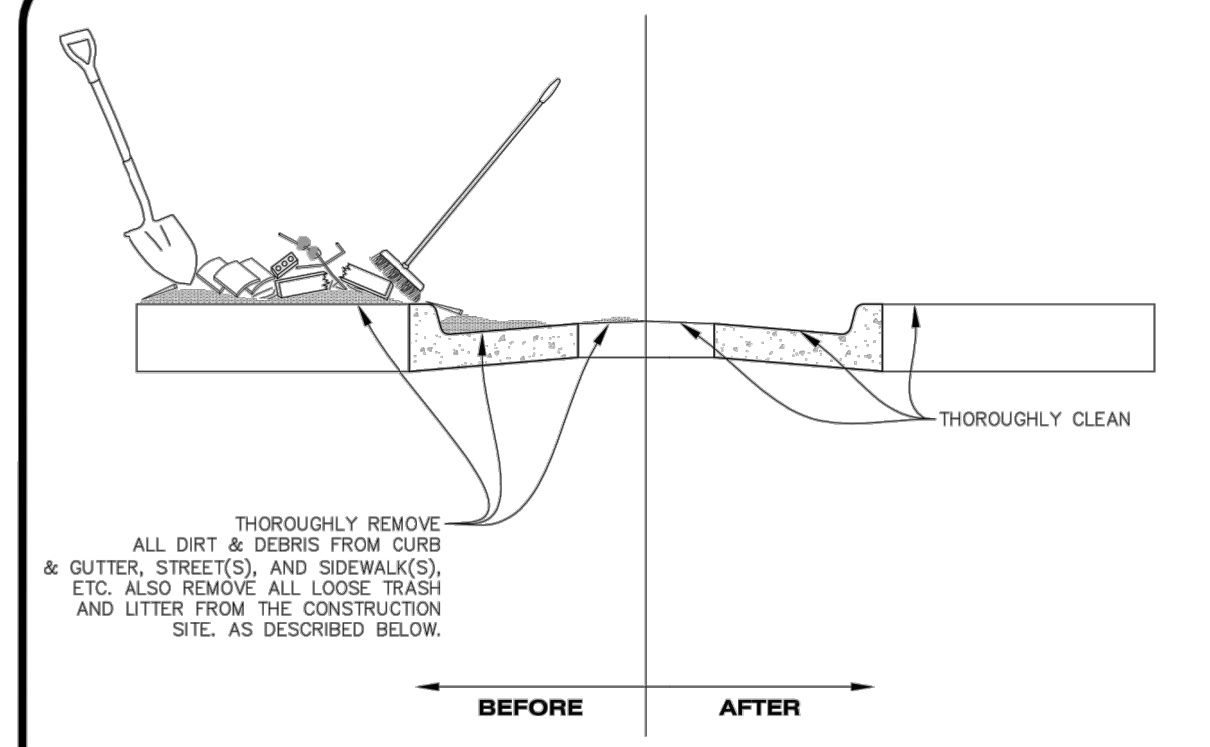
1. DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

**DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
3. OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **DP** | 2 OF 2 | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



**DTC DEBRIS AND TRASH CONTROL**

**CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **DTC** | 1 OF 2 | Oct. 2013



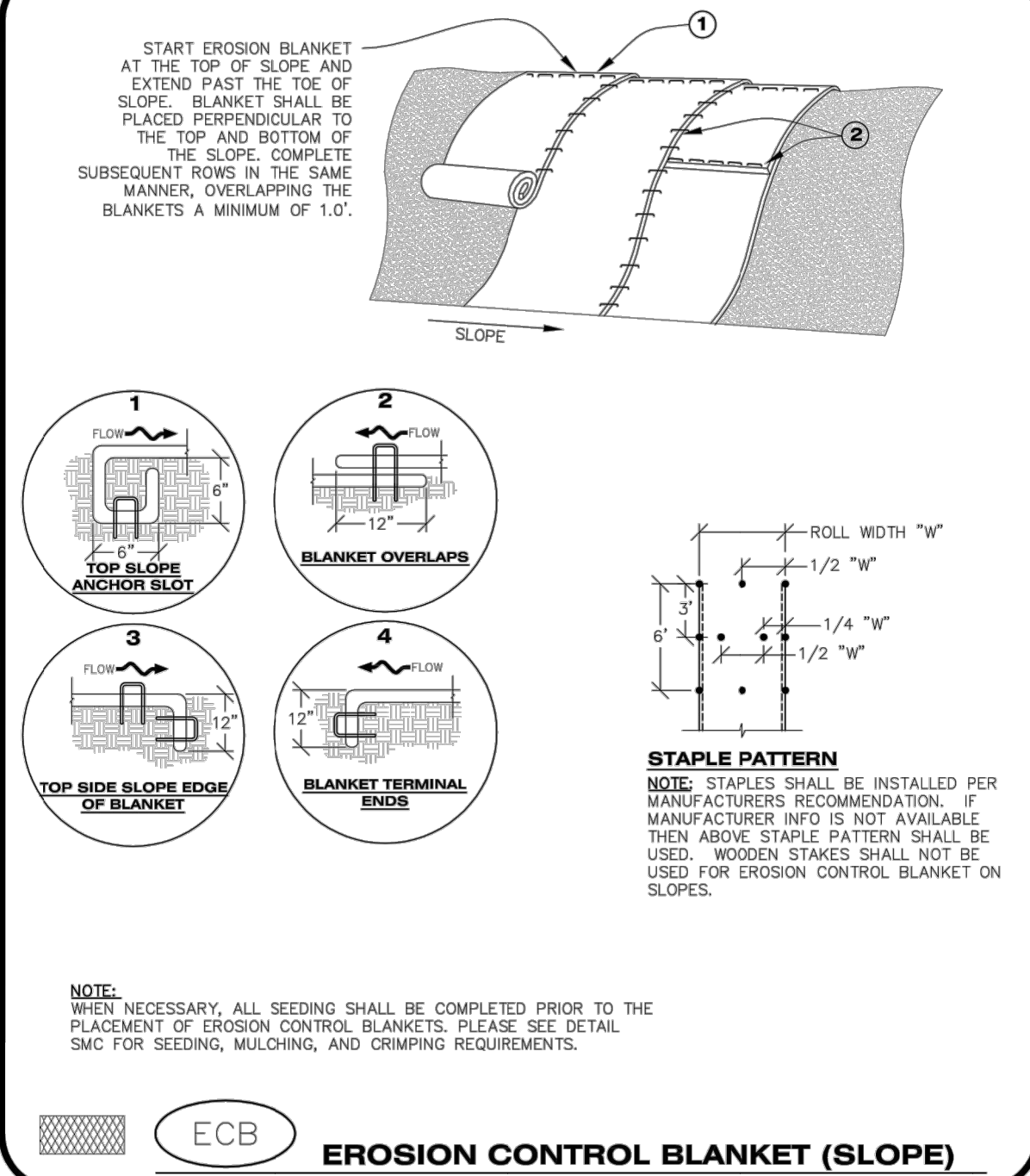
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**DEBRIS CONTROL NOTES:**

1. A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
2. ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
3. ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

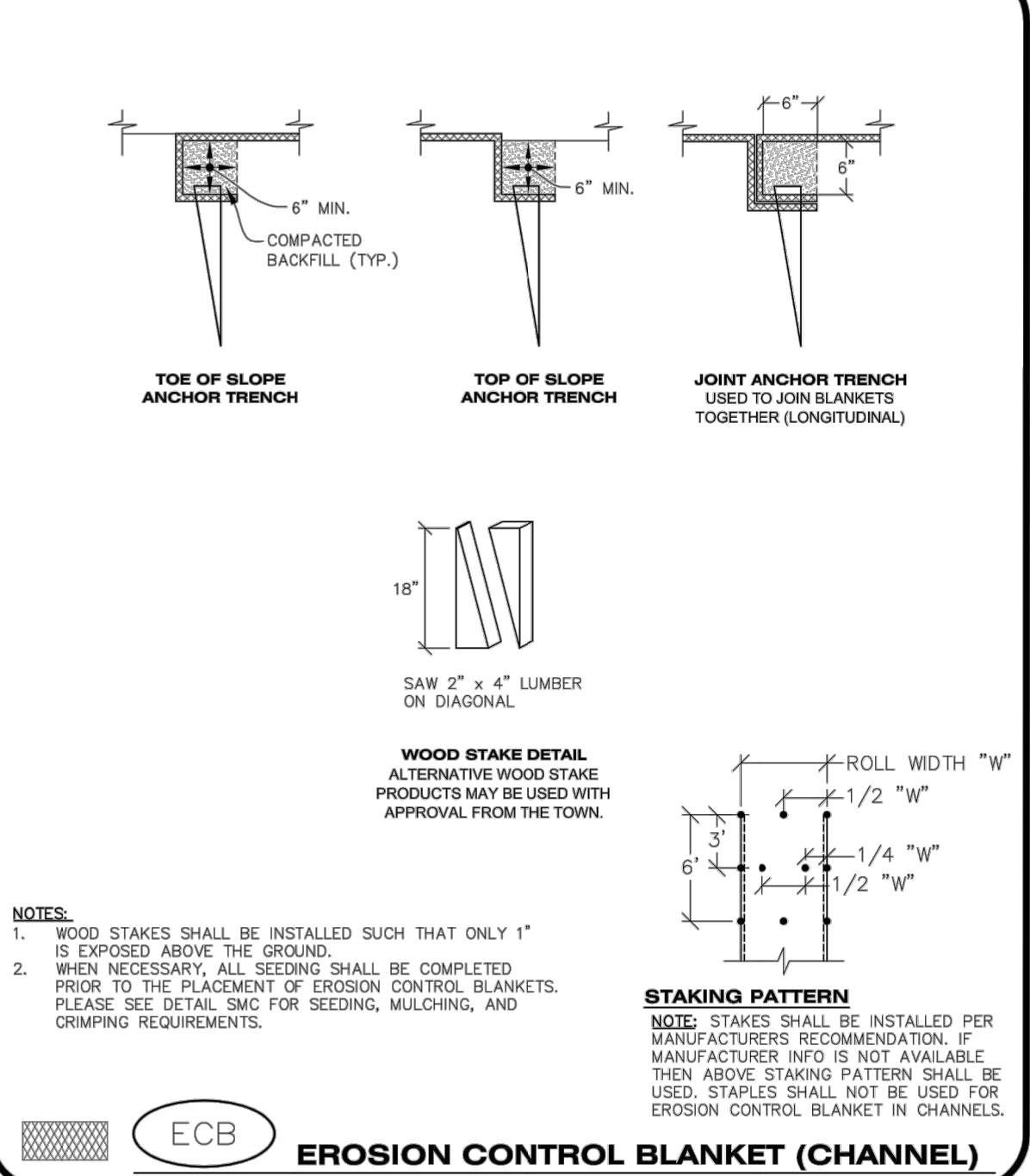
**CBMP** **DTC**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** **ECB**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** **ECB**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- EROSION CONTROL BLANKET INSTALLATION NOTES**
1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
  2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
  3. IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
  4. EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
  5. ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
  6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.
  7. IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

**EROSION CONTROL BLANKET MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

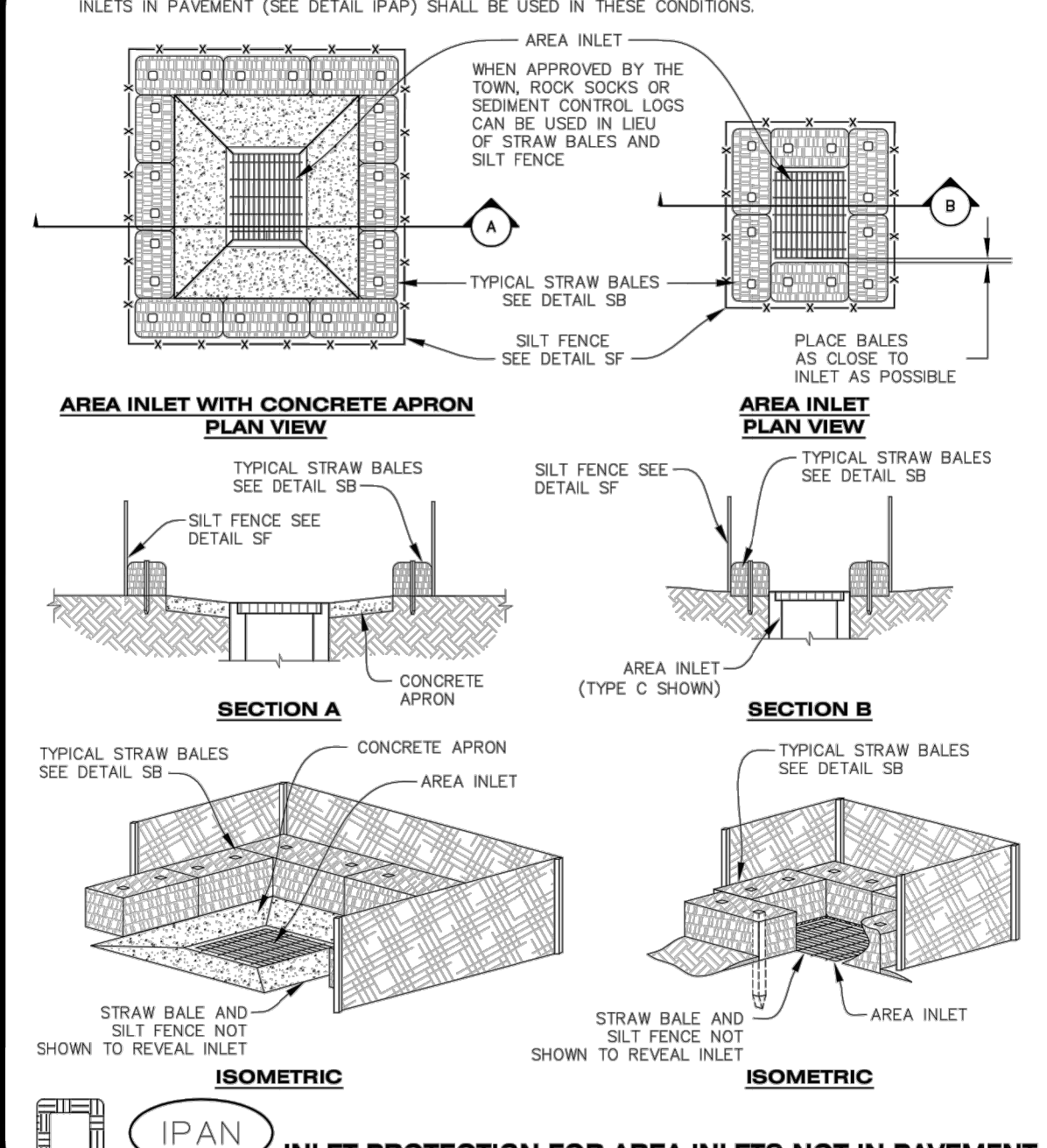
**CBMP** **ECB**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- AREA INLET PROTECTION INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
  2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.
- AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
  2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
  3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
  4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

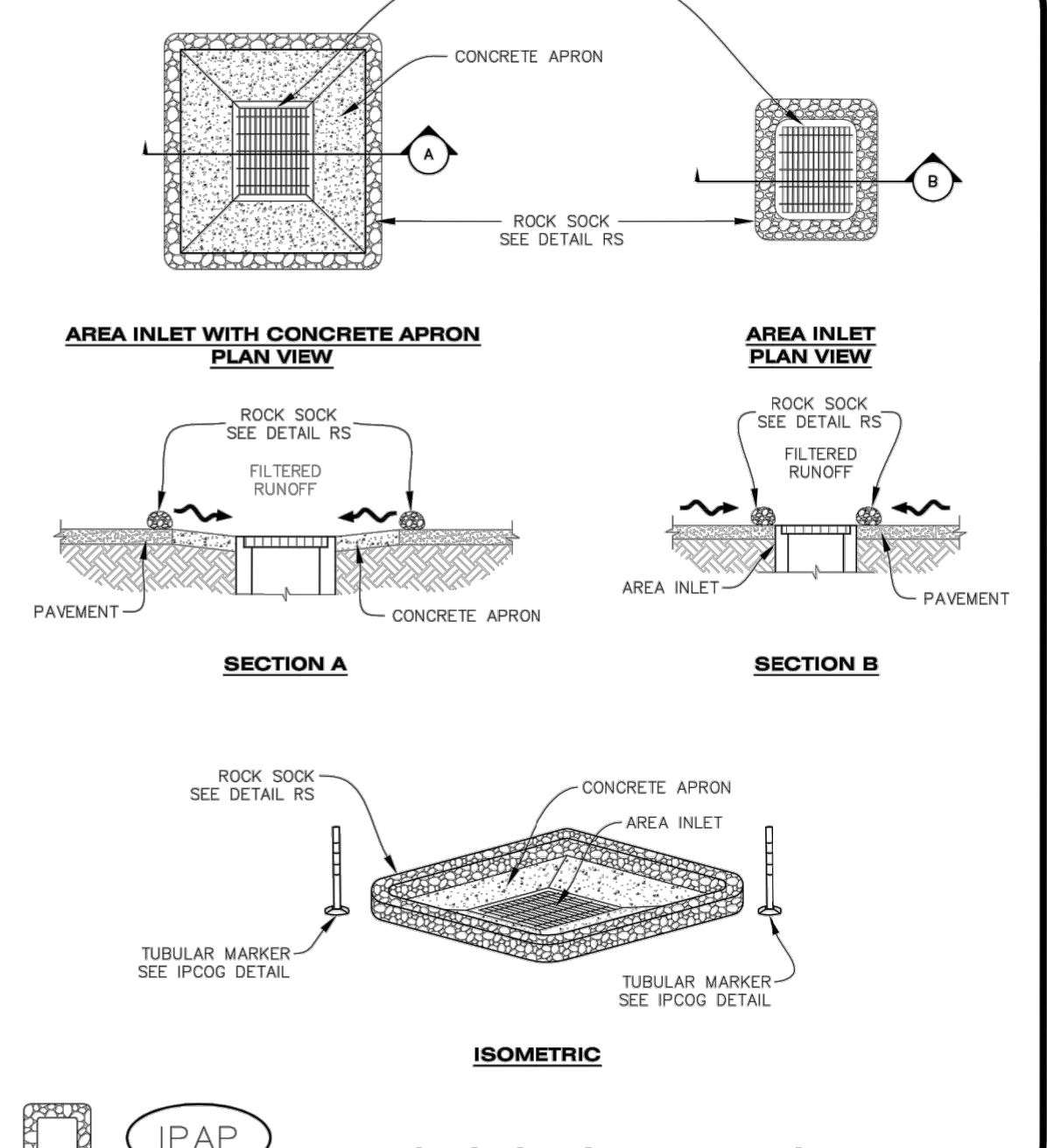
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CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



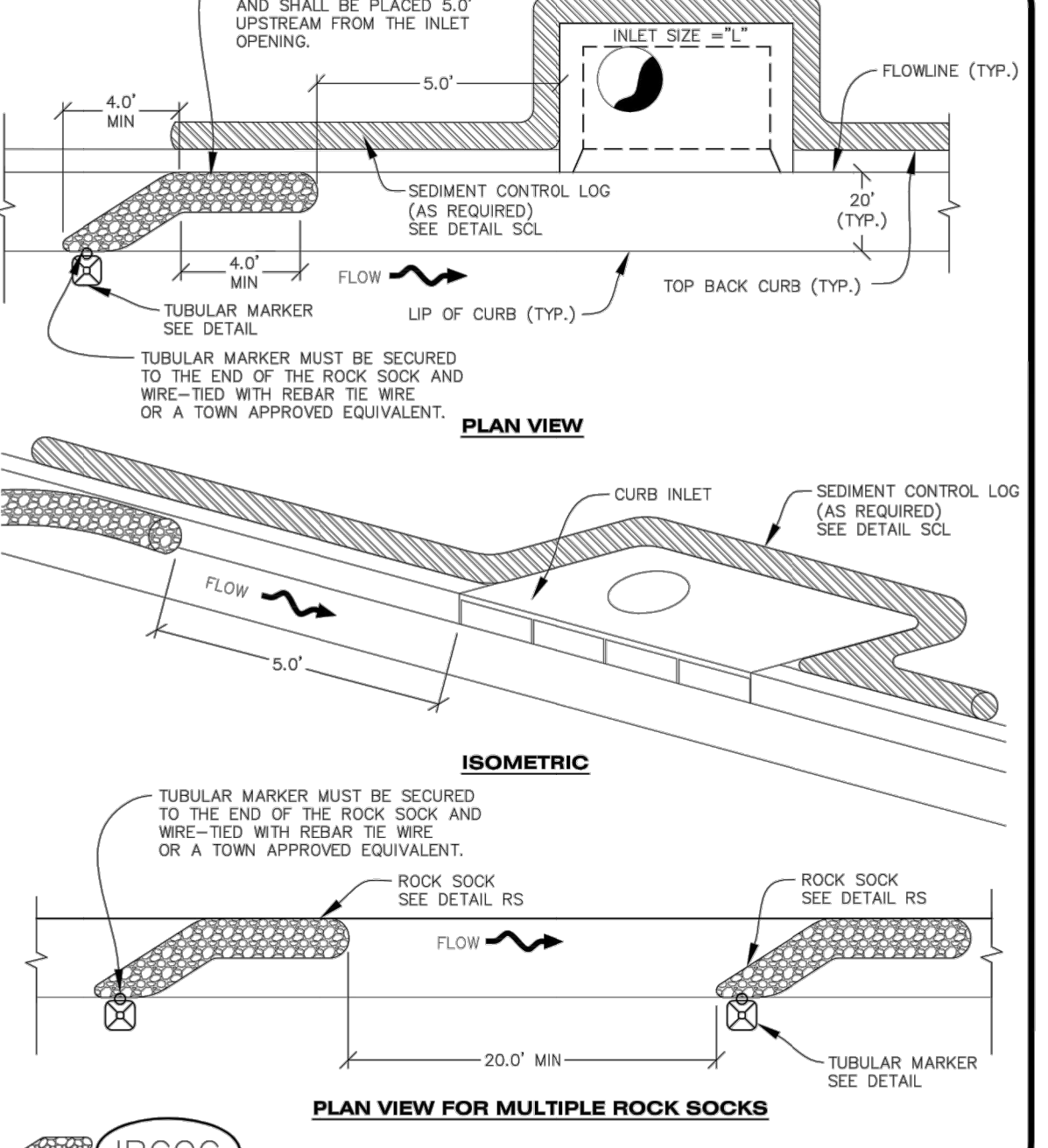
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CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



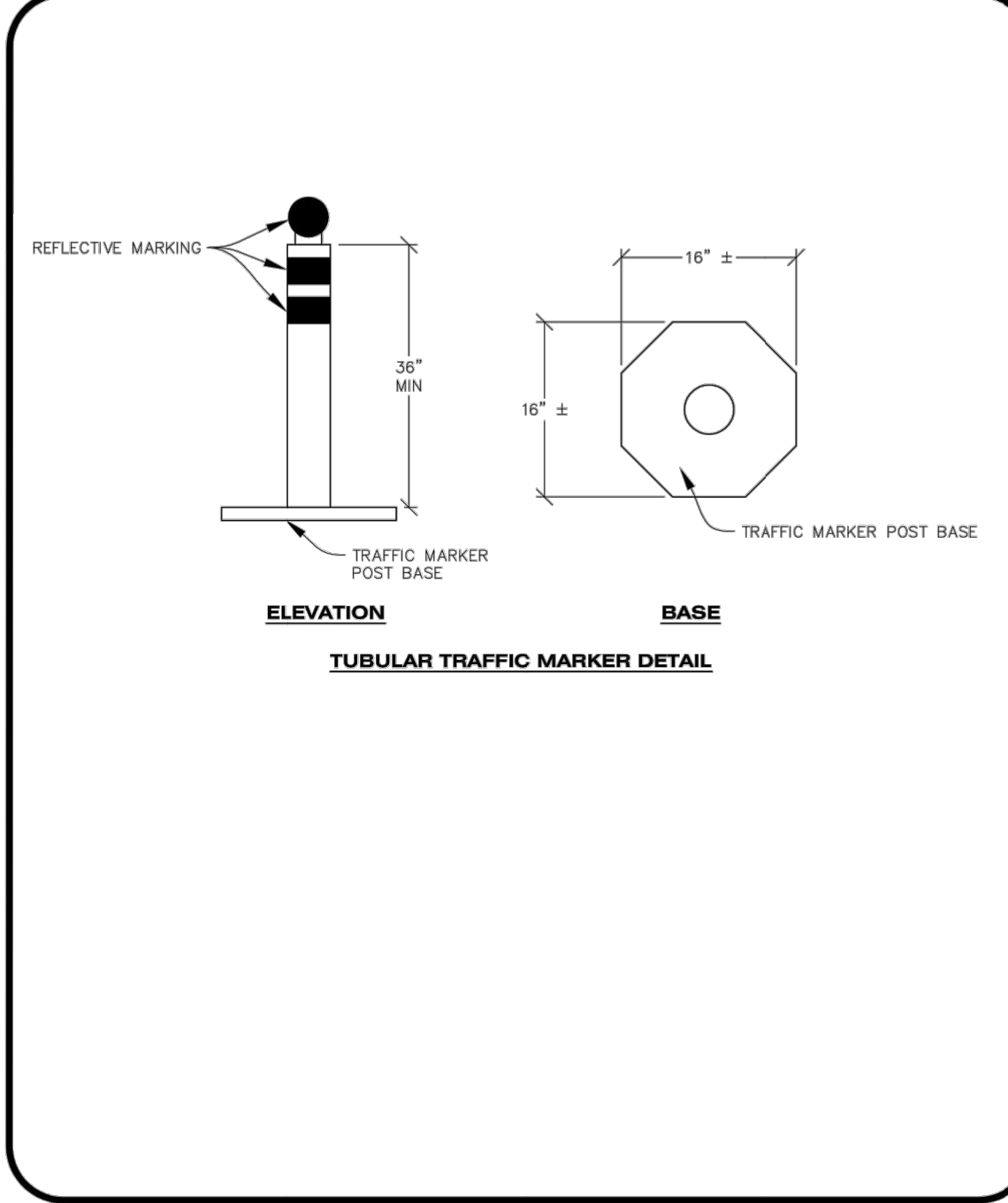
**CBMP** **IPAP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** **IPCOG**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



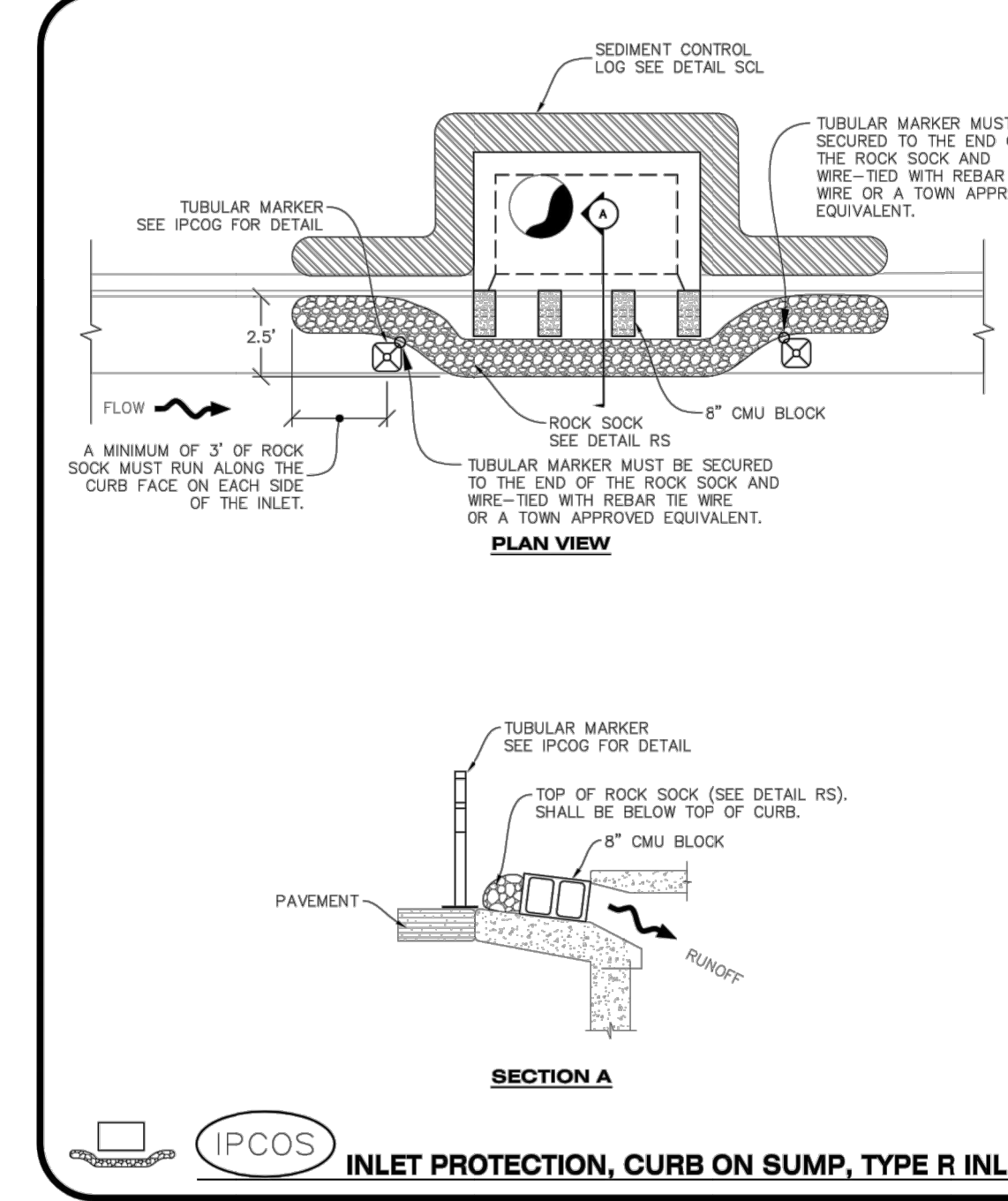
**CBMP** | **IPCOG**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
  - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
  - ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
  - ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
  - ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
  - TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
  - THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.
- ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
  - ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** | **IPCOG**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



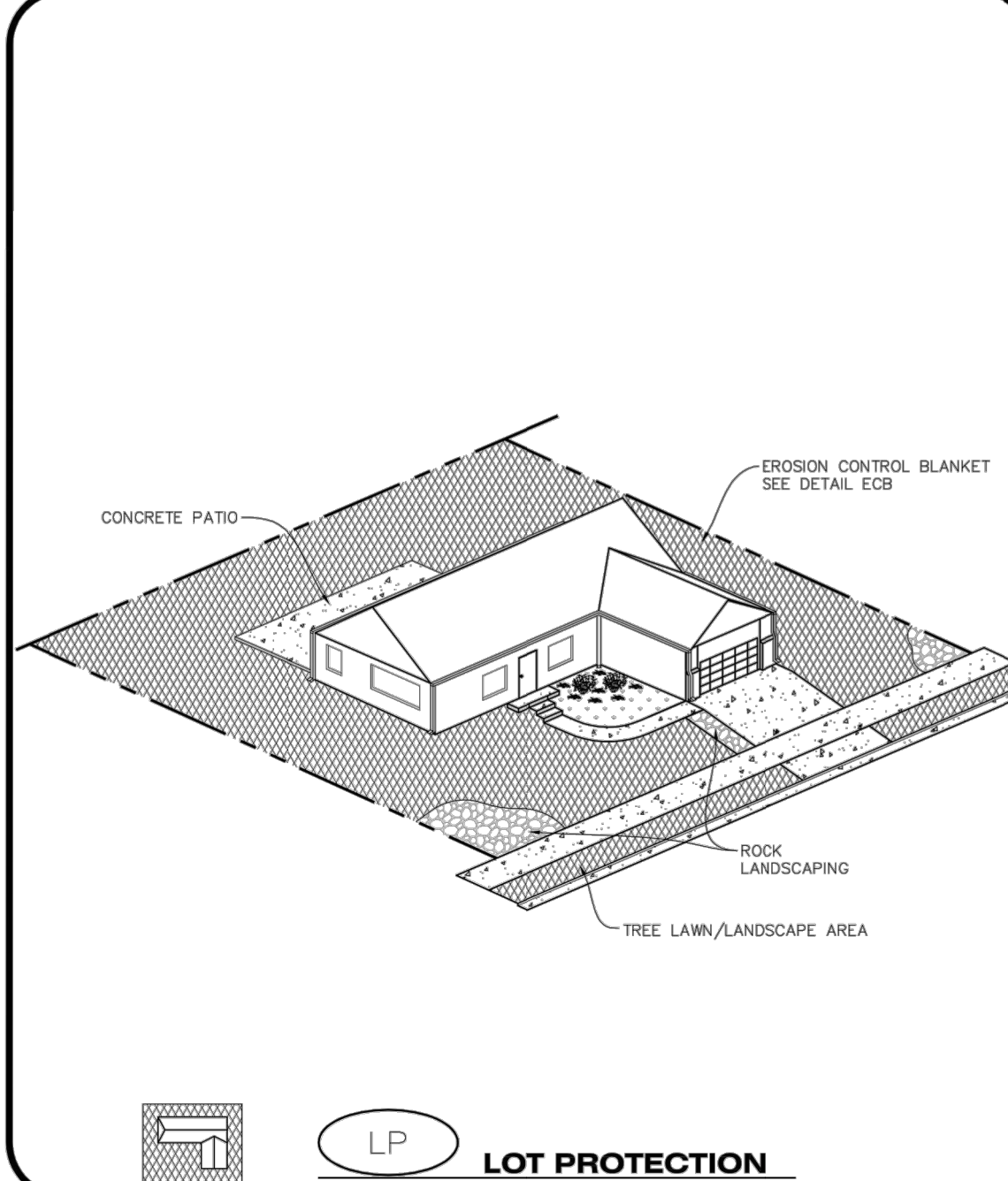
**CBMP** | **IPCOG**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- CURB INLET PROTECTION INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
  - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
  - ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
  - ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
  - ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
  - TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
  - THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.
- CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
  - CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** | **IPCOG**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **LP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Parker COLORADO | Oct. 2013

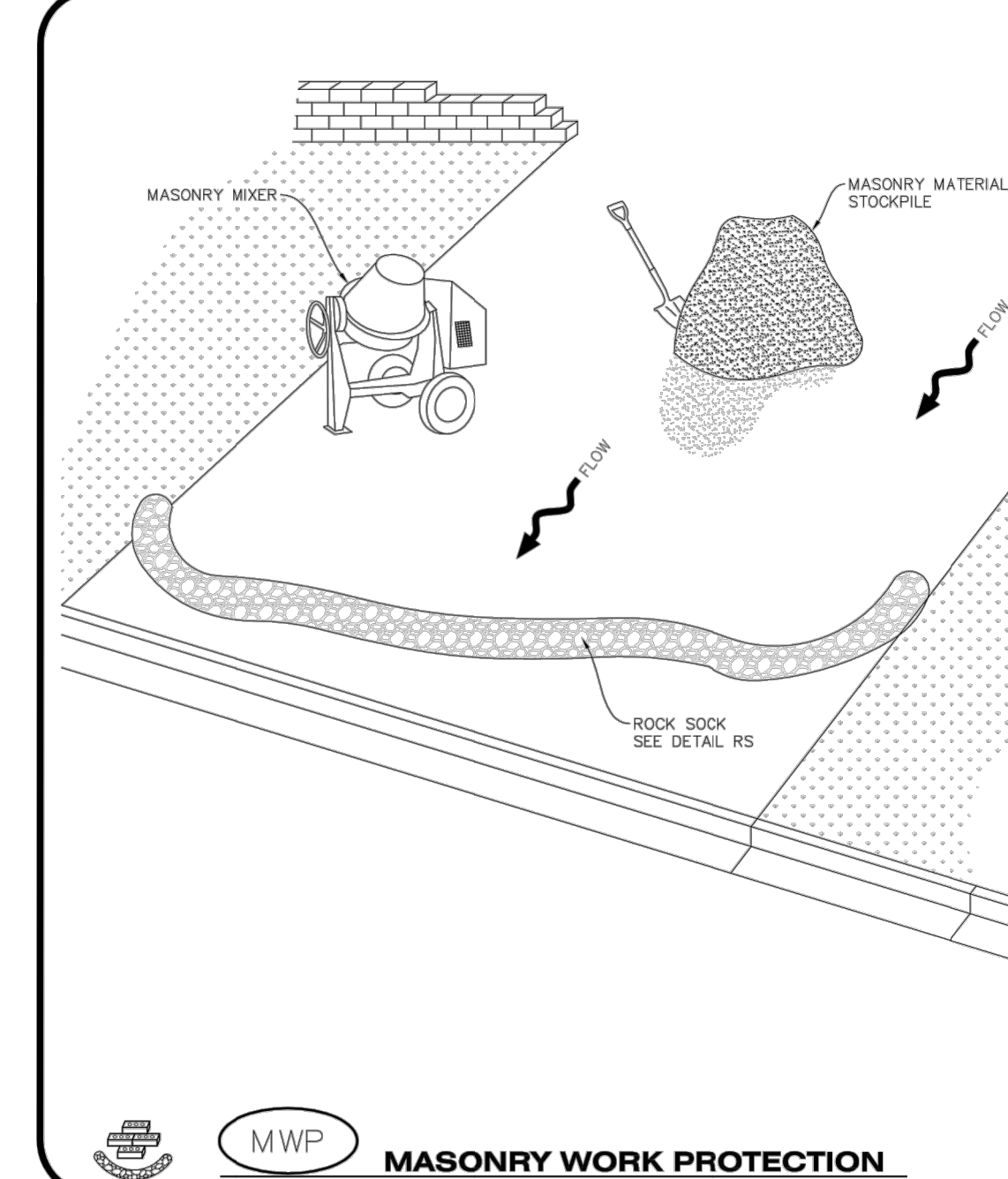
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES**
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN	S150 BN
APPROVED EQUAL	APPROVED EQUAL
  - ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
    - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
    - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADIENT EDGES BEING PLACED ON TOP OF THE DOWN-GRADIENT EDGE OF THE ADJACENT BLANKET.
    - THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
    - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
  - ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.
  - THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.
- EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
  - EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

**CBMP** | **LP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

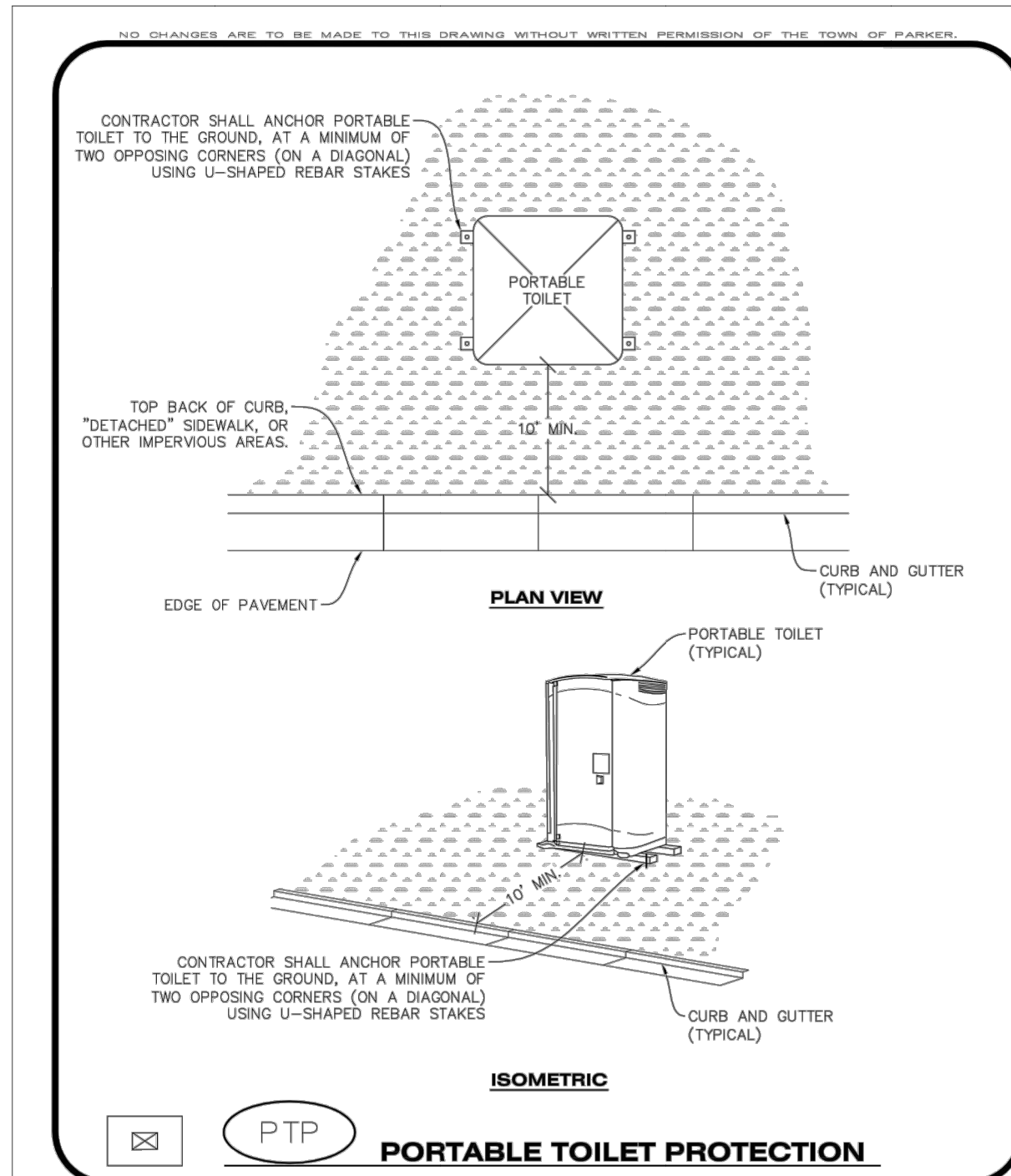


**CBMP** | **MWP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Parker COLORADO | Oct. 2013

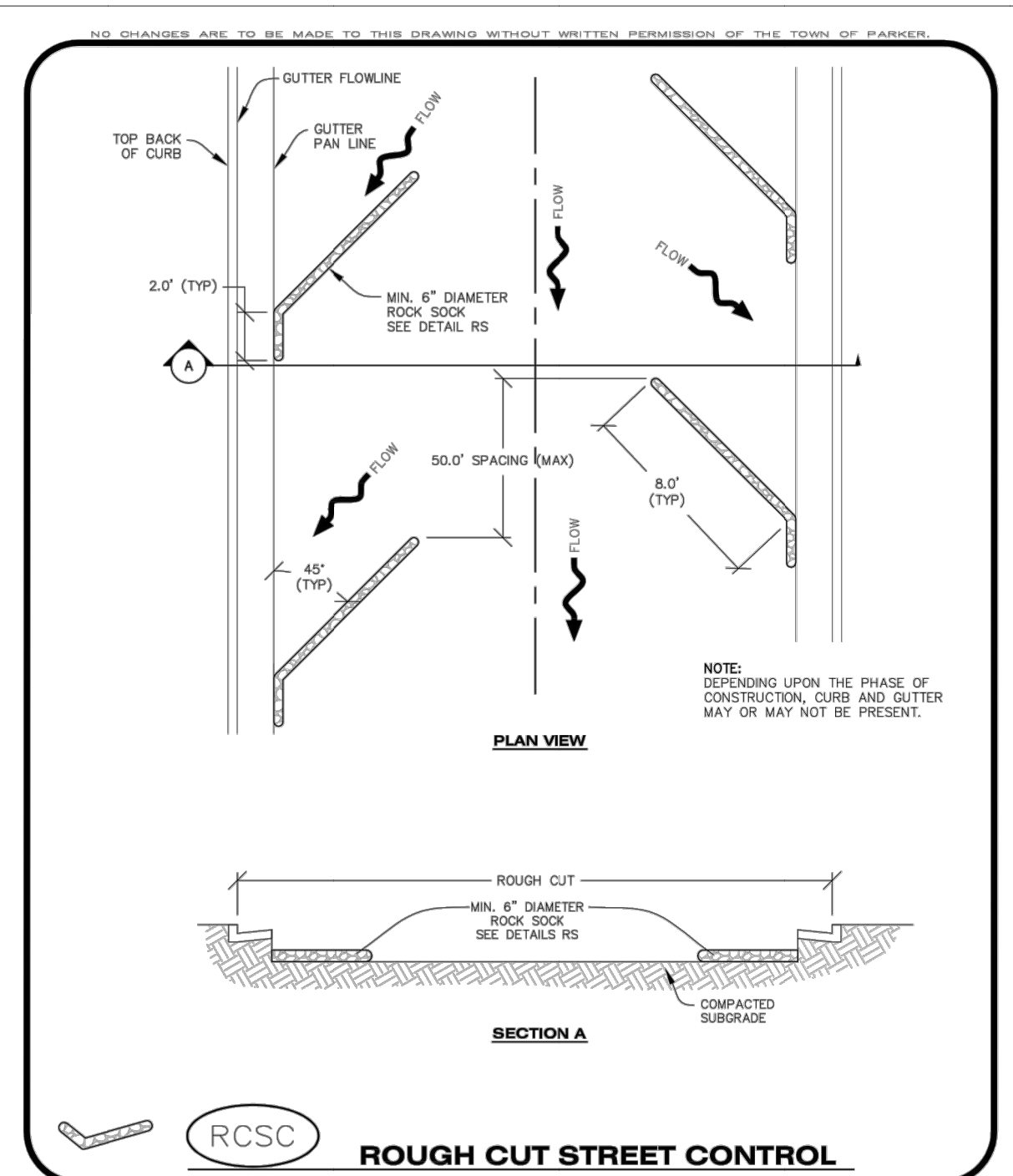
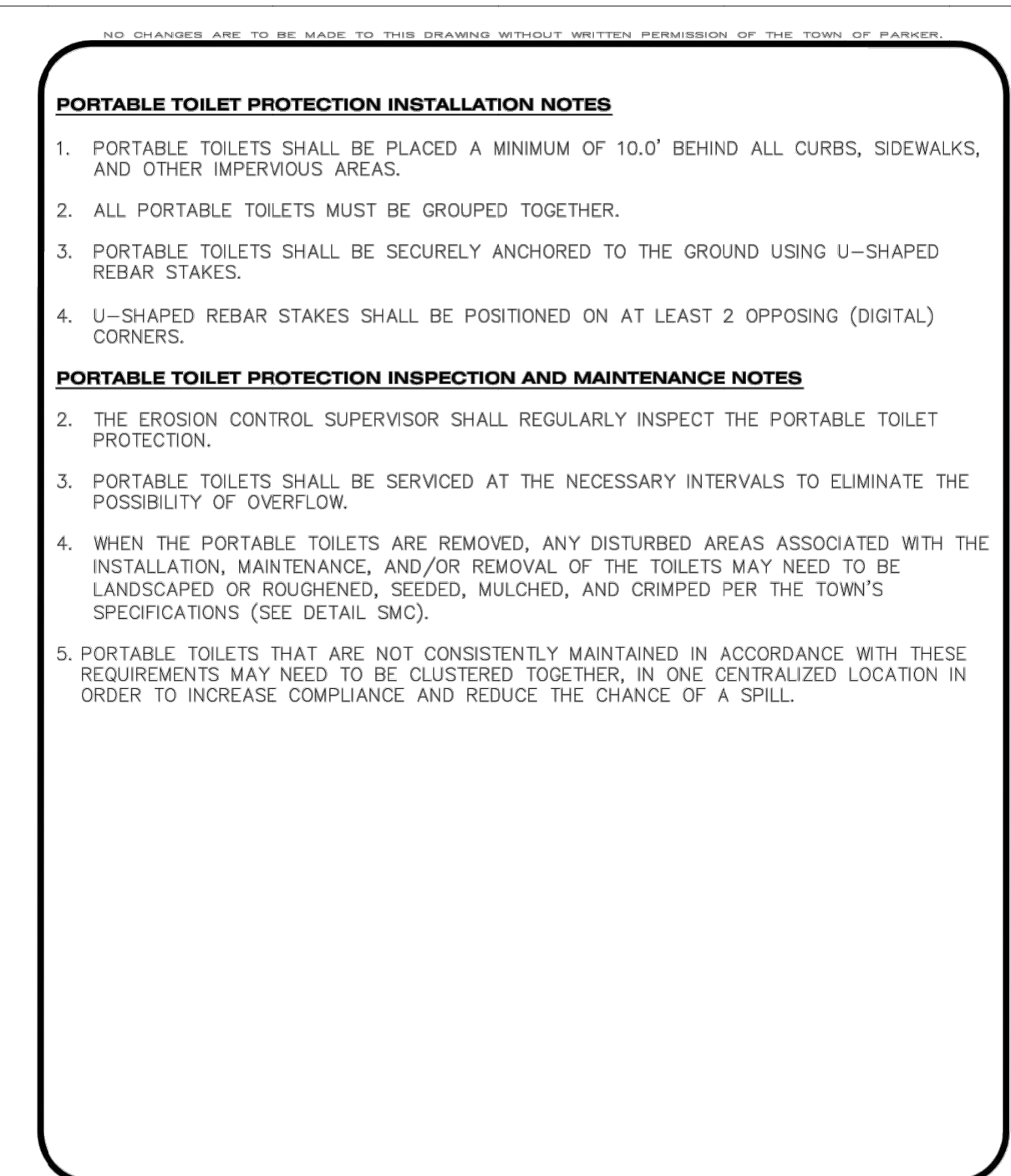
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- MASONRY WORK PROTECTION INSTALLATION NOTES**
- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
  - A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
  - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
  - ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
  - ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
  - ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

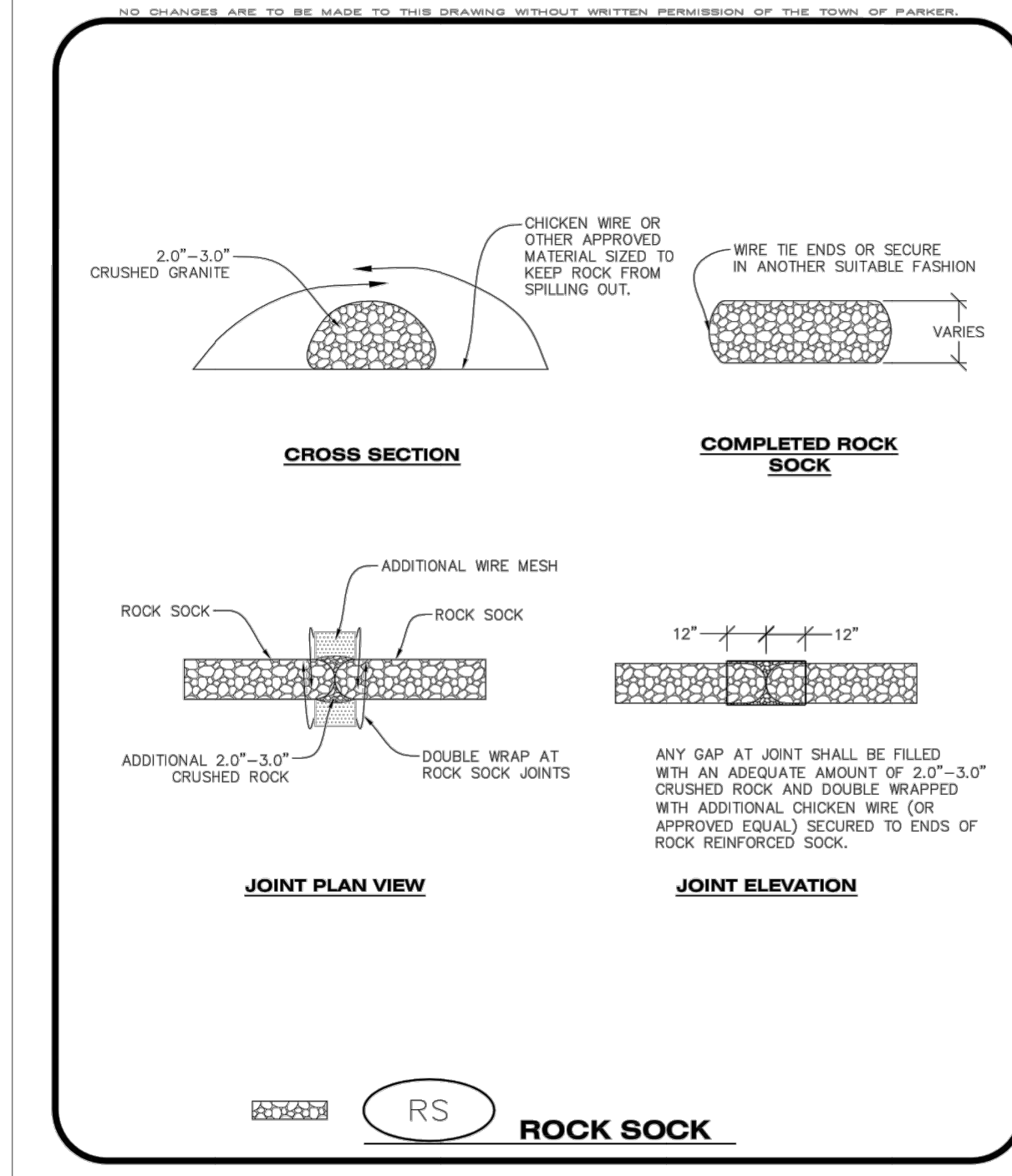
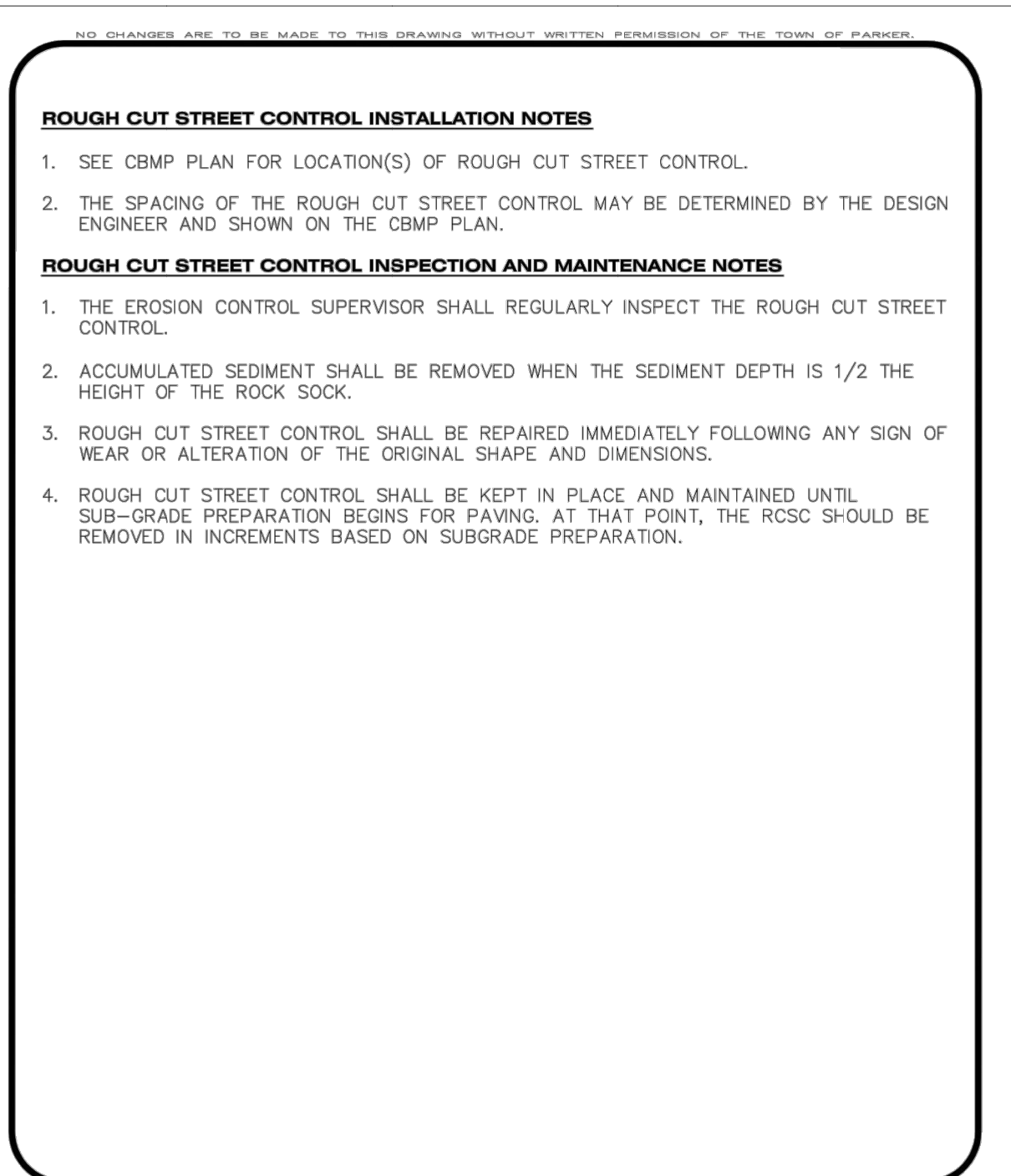
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Parker COLORADO | Oct. 2013



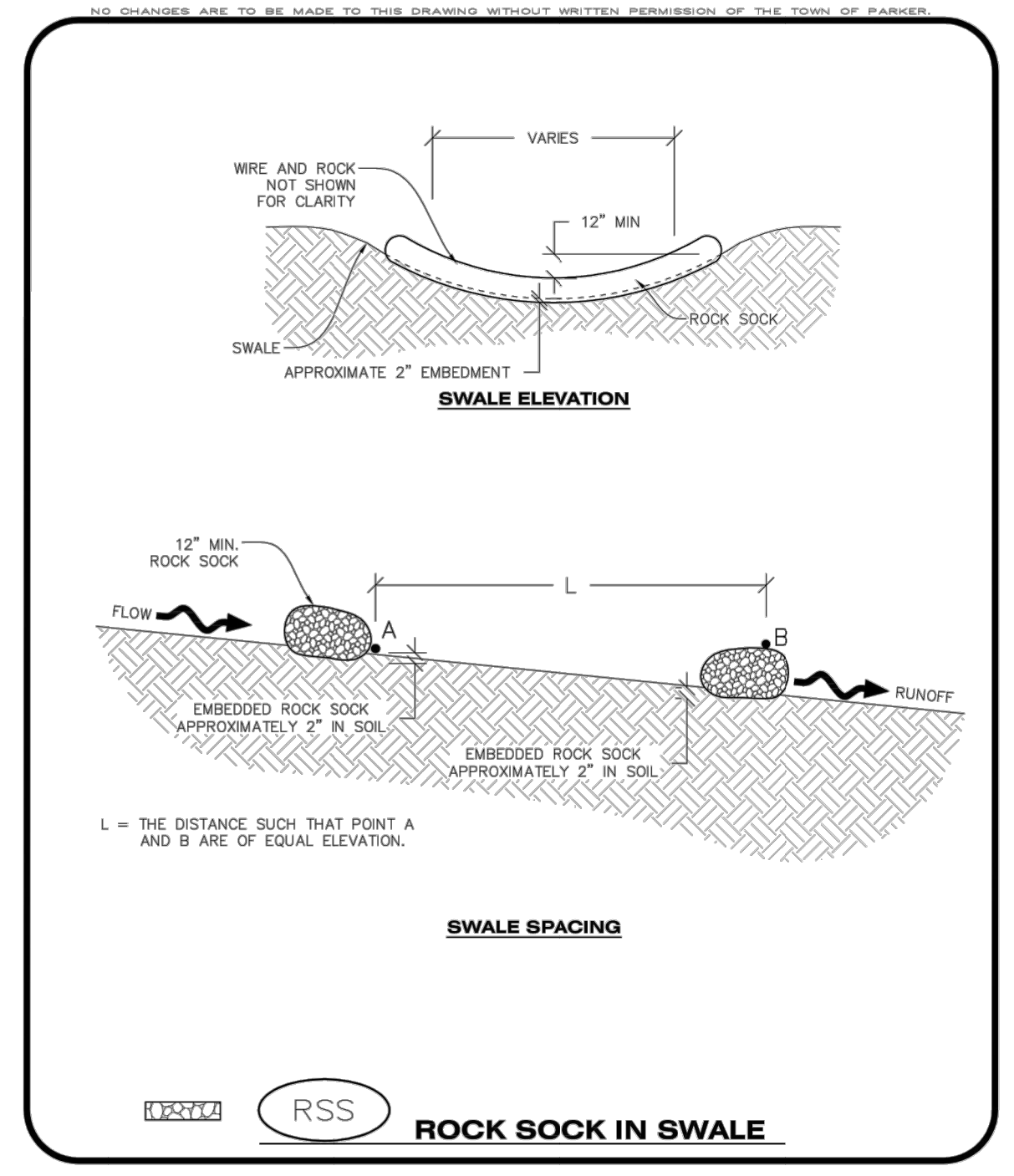
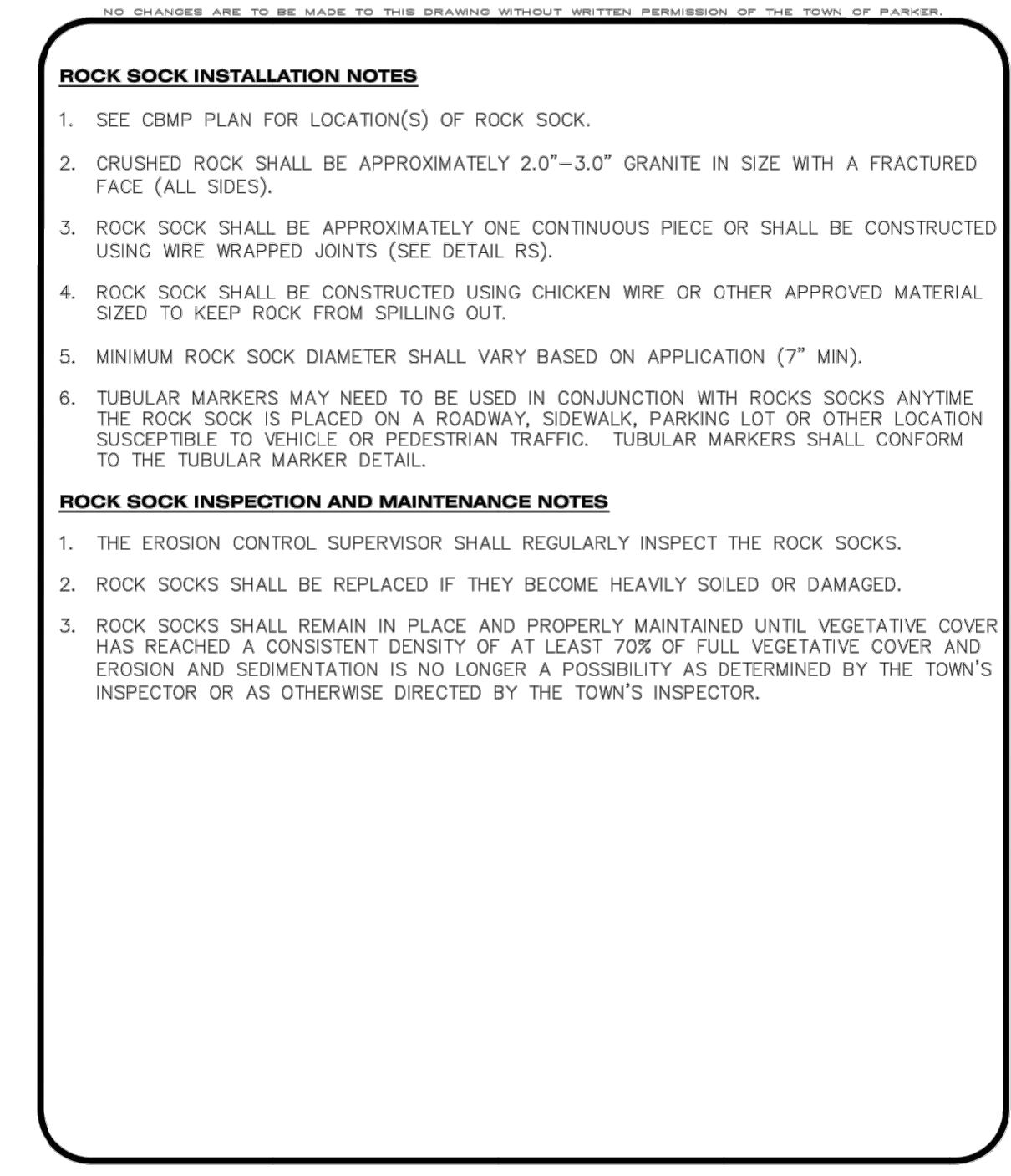
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Oct. 2013



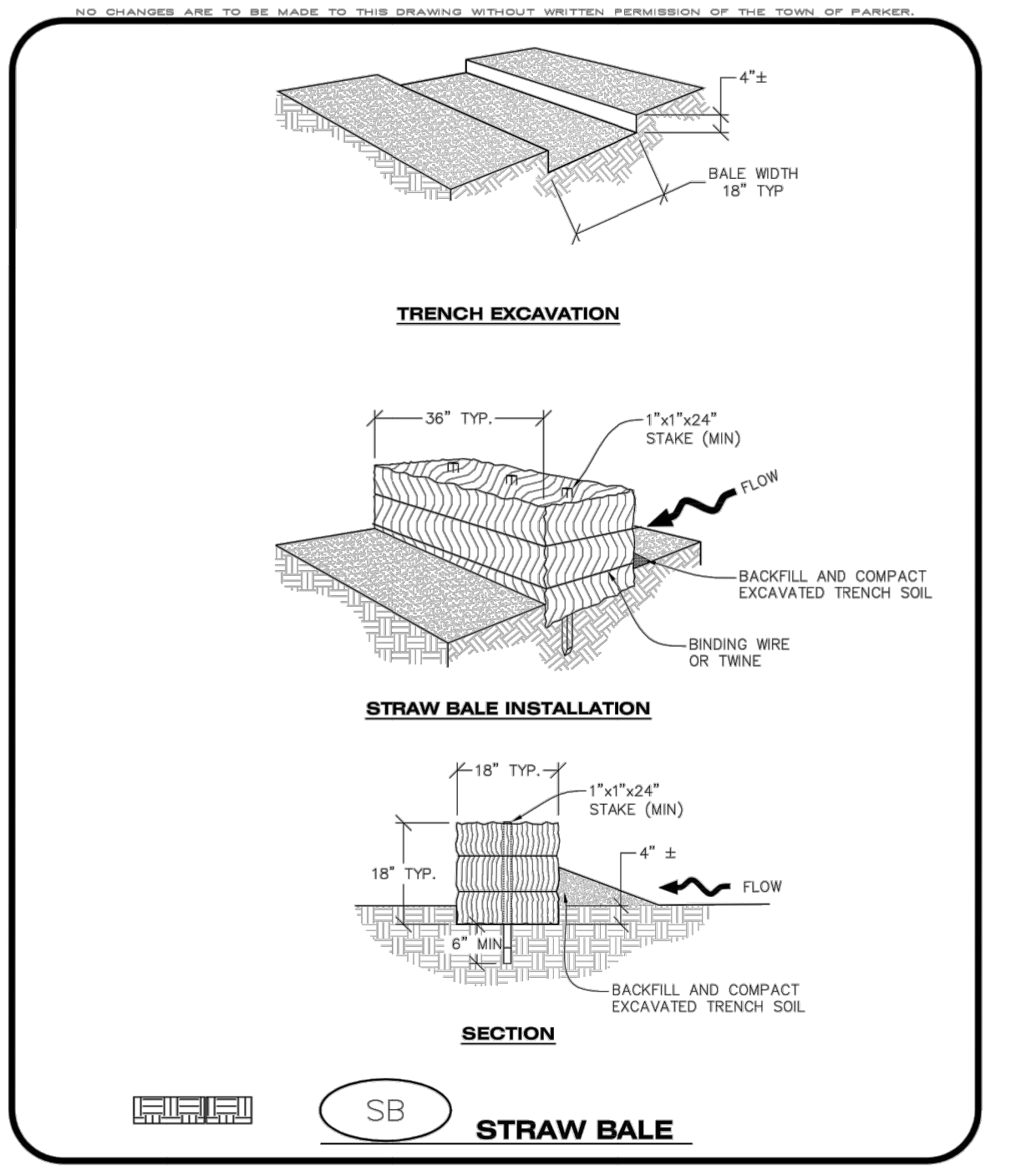
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Oct. 2013



**Parker COLORADO** | **CBMP** | **RS**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Oct. 2013



**Parker COLORADO** | **CBMP** | **RSS**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
Oct. 2013



**Parker COLORADO** | **CBMP** | **SB**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Oct. 2013

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

12236 SLICEROO DR, PARKER, CO 80134  
6-BAY LINEAR STORE  
**LES SCHWAB TIRE CENTER - PARKER, CO**

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CIVIL CDS

04.17.2024  
DRAWN BY | CAMPOS  
CHECKED BY | WALKER  
REVISIONS

EROSION SHEET DETAILS

**C017**



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**STRAW BALE INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
- TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"x18"x18".
- TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
- WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
- STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.

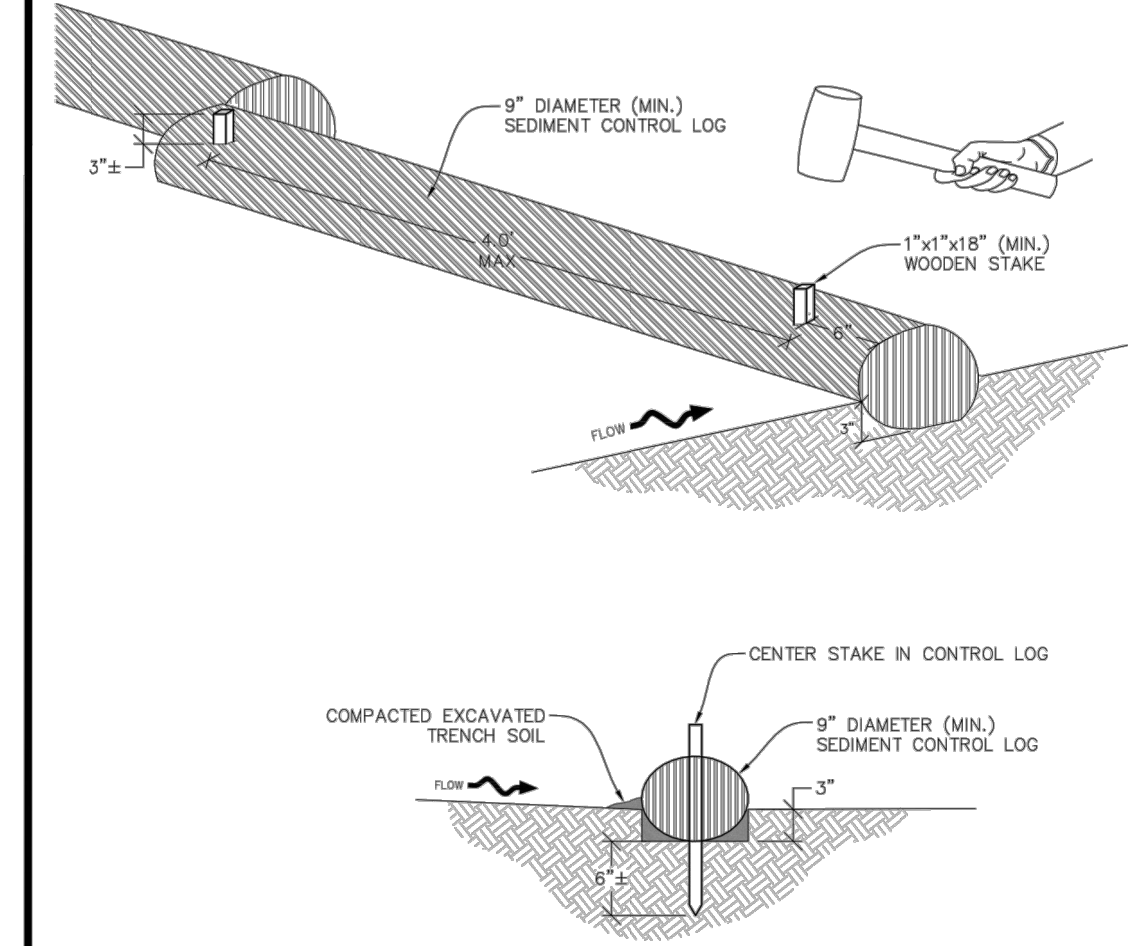
**STRAW BALE INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
- STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
- STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN INSPECTOR.
- WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**Parker COLORADO** | **CBMP** | **SB**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SECTION A**

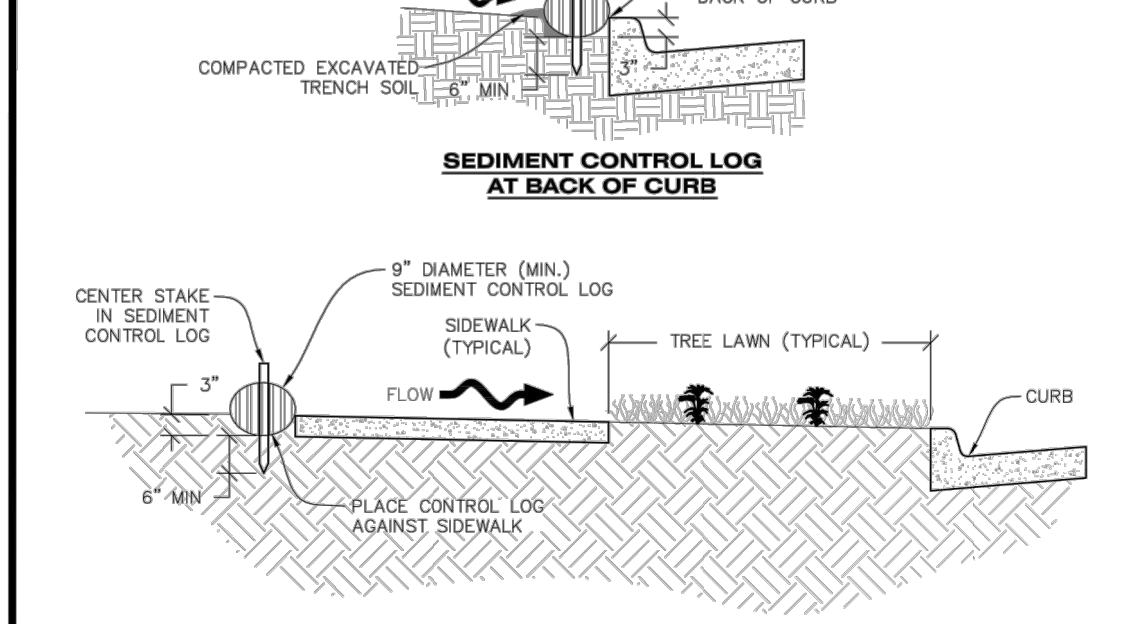


**SCL** | **SEDIMENT CONTROL LOG**

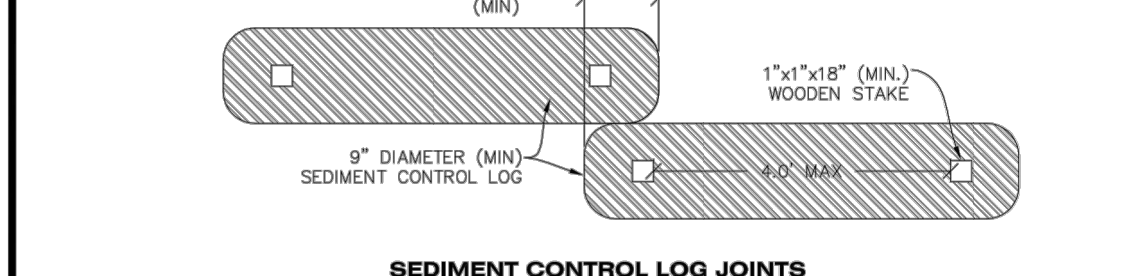
**Parker COLORADO** | **CBMP** | **SCL**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SEDIMENT CONTROL LOG AT BACK OF CURB**



**SEDIMENT CONTROL LOG AT SIDEWALK WITH TREE LAWN**



**SCL** | **SEDIMENT CONTROL LOG**

**Parker COLORADO** | **CBMP** | **SCL**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SEDIMENT CONTROL LOG INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
- ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
- A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHAPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
- ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
- ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAKS.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL, OR SIMILAR DEVICE.
- SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SCL IN PLACE.
- STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
- SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADE SIDE OF THE LOGS.
- SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
- SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

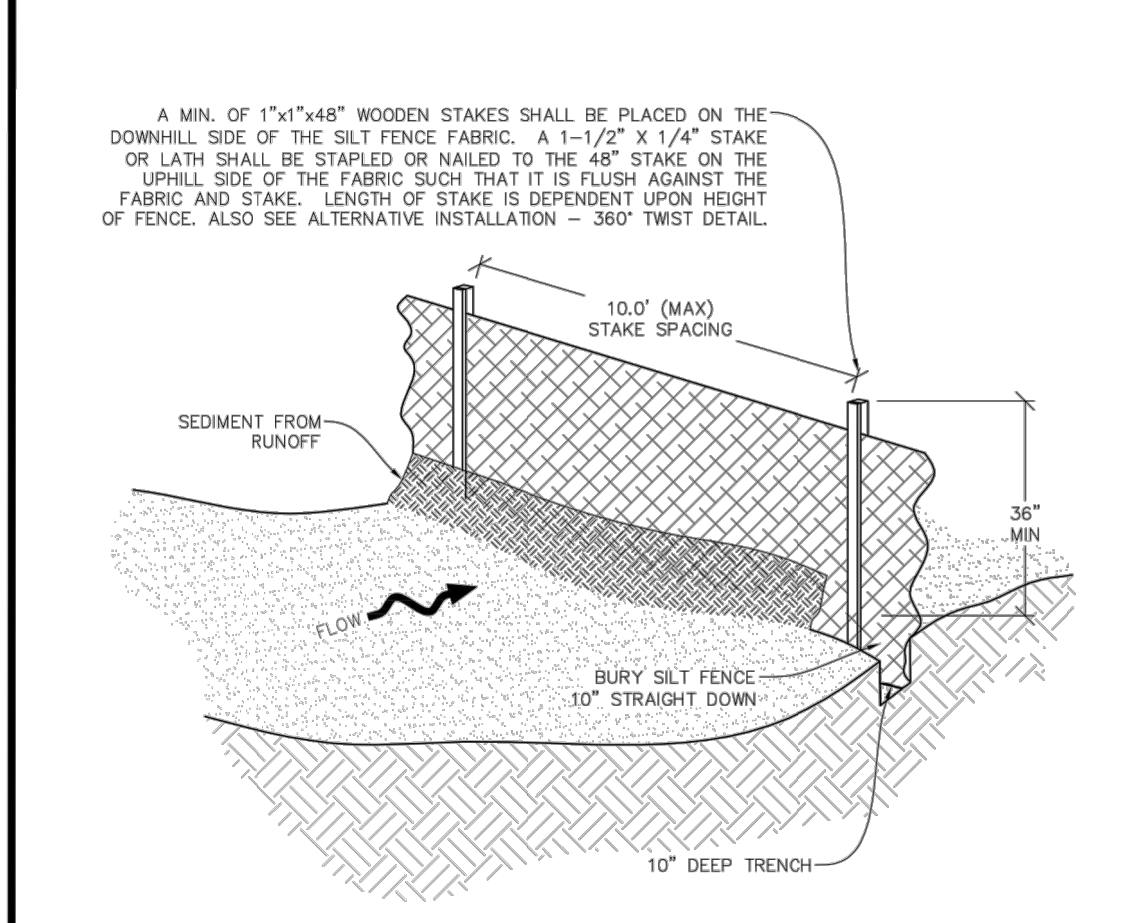
**SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
- SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
- WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**Parker COLORADO** | **CBMP** | **SCL**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**INSTALLATION DETAIL**

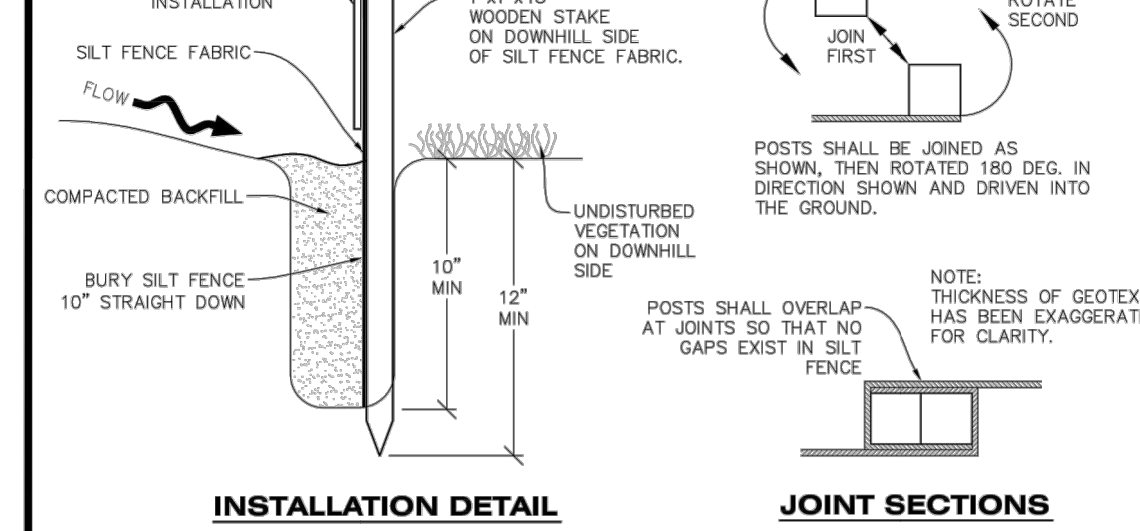


**SF** | **SILT FENCE**

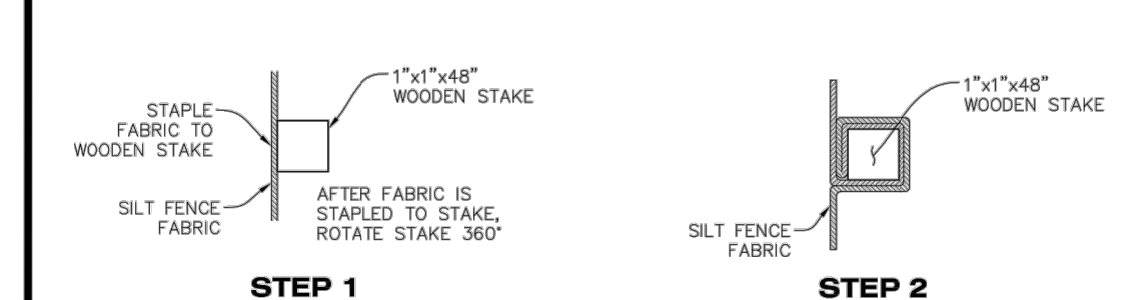
**Parker COLORADO** | **CBMP** | **SF**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**INSTALLATION DETAIL**



**ALTERNATIVE INSTALLATION - 360° TWIST**



**SF** | **SILT FENCE**

**Parker COLORADO** | **CBMP** | **SF**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SILT FENCE INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
- ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
- A 10" DEEP ANCHOR SLIT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
- ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
- THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRADE SIDE OF THE SILT FENCE.
- STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x4"x24".
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH. ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
- SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:

PROPERTIES	TEST METHOD	MANDATORY REQUIREMENTS
GRAB TENSILE STRENGTH	ASTM D 4632	≥ 124 LBS
MULLEN BURST STRENGTH	ASTM D 3796	≥ 300 PSI
PUNCTURE STRENGTH	ASTM D 4833	≥ 60 LBS
TRAPEZOID TEAR STRENGTH	ASTM D 4533	≥ 65 LBS
UV RESISTANCE	ASTM D 4355	≥ 80% AT 500 HOURS OF UV EXPOSURE
FLOW RATE	ASTM D 4491	≥ 10 GAL./MIN./FT2

**Parker COLORADO** | **CBMP** | **SF**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SILT FENCE INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
- ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
- SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
- WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**Parker COLORADO** | **CBMP** | **SF**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 4 OF 4  
Oct. 2013

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

12236 SLICEROO DR, PARKER, CO 80134  
6-BAY LINEAR STORE

LES SCHWAB TIRE CENTER - PARKER, CO

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04.17.2024  
DRAWN BY | CAMPOS  
CHECKED BY | WALKER  
REVISIONS

EROSION SHEET DETAILS

C018



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE.**

- SEE PLAN VIEW FOR:
  - LOCATION(S) OF SEEDING AND MULCHING
  - TYPE OF SEED MIX
- SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
- SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
- AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
- IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.
- ALL AREAS TO BE SEEDING AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
- WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF ¼ - ½ INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
- ALL AREAS INCAPABLE OF BEING DRILL SEEDING SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDING RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF ¼ - ½ INCH.
- AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
- IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

**Parker COLORADO** | **CBMP** | **SMC**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SEEDING AND MULCHING MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
- ANY SEEDING AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

**WEED MANAGEMENT**

- ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
- HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
- AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
- HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

**Parker COLORADO** | **CBMP** | **SMC**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**TOWN OF PARKER, SEED MIX 1**

20% CANADA WILDRIE  
15% CRESTED WHEATGRASS  
15% SLENDER WHEATGRASS  
10% ANNUAL RYEGRASS  
10% SHEEP FESCUE  
10% BIG BLUESTEM  
10% SIDEOATS GRAMA  
5% CANADA BLUEGRASS  
5% BLUE GRAMA

**SEEDING RATE:**  
DRILLED: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE

**TOWN OF PARKER, SEED MIX 2**

22% SLENDER WHEATGRASS  
18% SODAR STREAMBANK WHEATGRASS  
13% ARIZONA FESCUE  
13% BLUE GRAMA  
12% BUFFALOGRASS  
12% BARLEY OR OATS  
5% SPIKE MUHLY  
5% INDIAN RICEGRASS

**SEEDING RATE:**  
DRILLED: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE

**TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)**

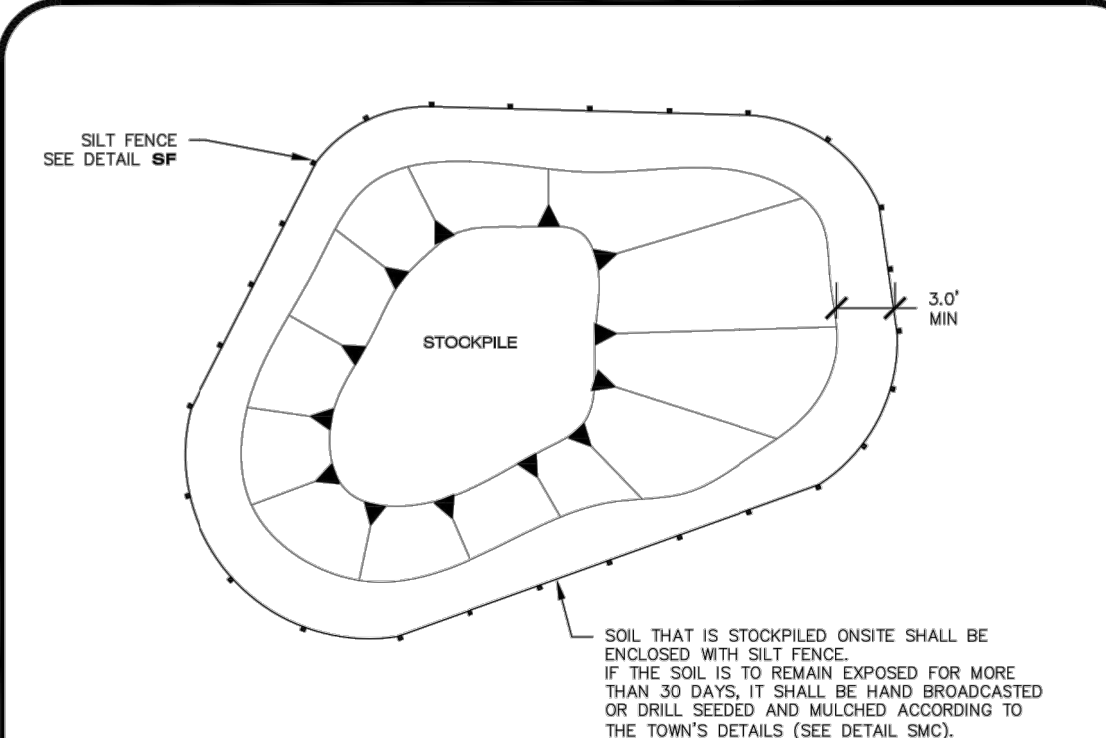
25% EPHRAIM CRESTED WHEATGRASS  
23% SHEEP FESCUE  
18% PERENNIAL RYEGRASS  
13% CANADA BLUEGRASS  
12% BARLEY OR OATS  
9% BLUE FESCUE

**SEEDING RATE:**  
DRILLED: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE

**SEED MIX 4:**  
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

**Parker COLORADO** | **CBMP** | **SMC**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



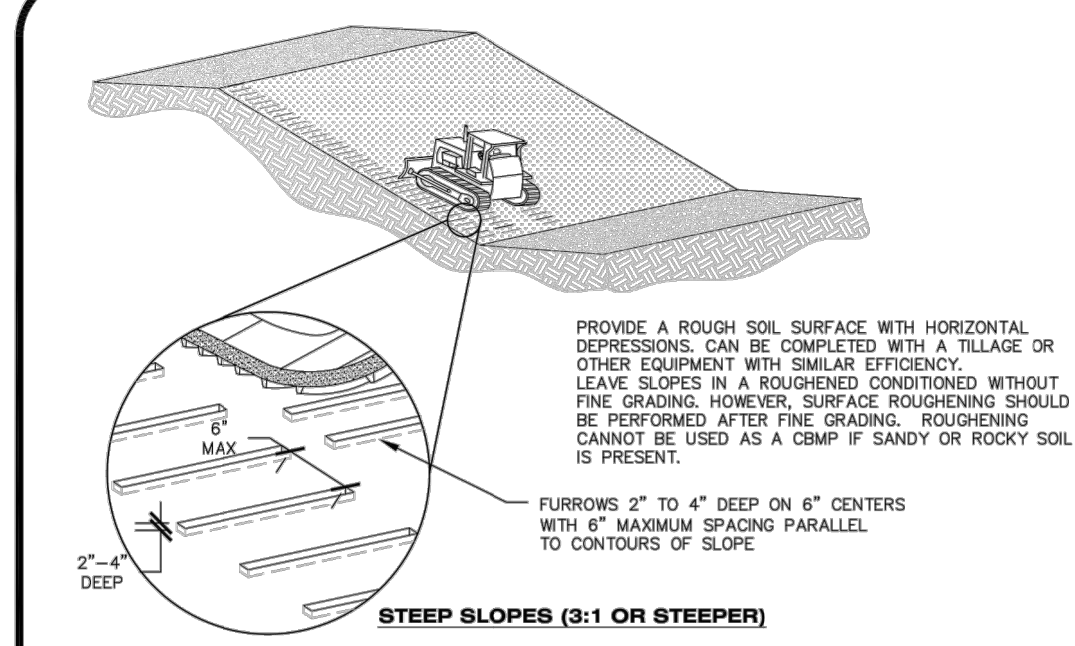
**STOCKPILE PROTECTION**

SOIL THAT IS STOCKPILED ON-SITE SHALL BE ENCLOSED WITH SILT FENCE. IF THE SOIL IS TO REMAIN EXPOSED FOR MORE THAN 30 DAYS, IT SHALL BE HAND BROADCASTED OR DRILL SEEDING AND MULCHED ACCORDING TO THE TOWN'S DETAILS (SEE DETAIL SMC).

STOCKPILES SHALL BE LOCATED ON-SITE PER THE APPROVED CBMP PLAN.

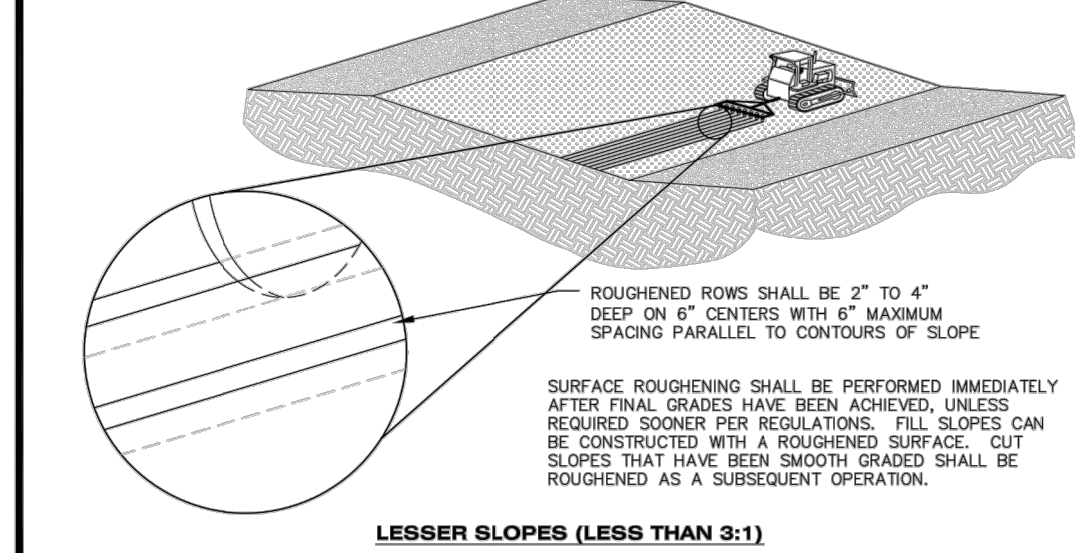
**Parker COLORADO** | **CBMP** | **SP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | JUNE 2008

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**STEEP SLOPES (3:1 OR STEEPER)**

FURROWS 2" TO 4" DEEP ON 8" CENTERS WITH 6" MAXIMUM SPACING PARALLEL TO CONTOURS OF SLOPE.



**LESSER SLOPES (LESS THAN 3:1)**

ROUGHENED ROWS SHALL BE 2" TO 4" DEEP ON 8" CENTERS WITH 6" MAXIMUM SPACING PARALLEL TO CONTOURS OF SLOPE.

SURFACE ROUGHENING SHALL BE PERFORMED IMMEDIATELY AFTER FINAL GRADES HAVE BEEN ACHIEVED, UNLESS REQUIRED SOONER PER REGULATION. ALL SLOPES CAN BE CONSTRUCTED WITH A ROUGHENED SURFACE. CUT SLOPES THAT HAVE BEEN SMOOTH GRADED SHALL BE ROUGHENED AS A SUBSEQUENT OPERATION.

**Parker COLORADO** | **CBMP** | **SR**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | JUNE 2008

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SURFACE ROUGHENING INSTALLATION NOTES**

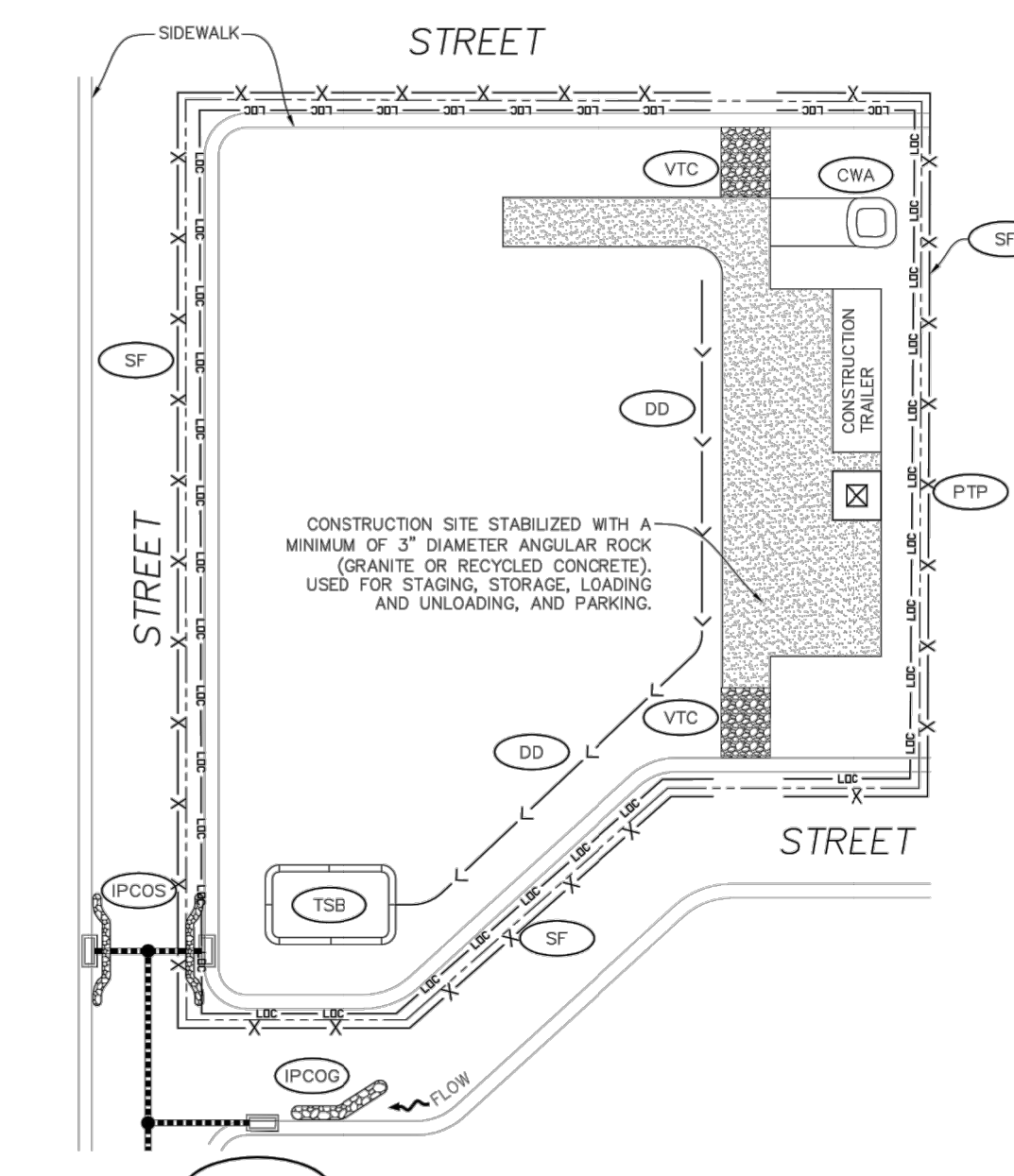
- SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
- ANY DISTURBED LAND THAT REMAINS INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS MUST RECEIVE SURFACE ROUGHENING. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
- SURFACE ROUGHENING SHALL BE PERFORMED PERPENDICULAR TO THE SLOPE.
- SOIL SHALL BE ROUGHENED A MINIMUM OF 6-INCHES DEEP USING RIGID SHANKS.
- A FARMING DISC SHALL NOT BE USED FOR SURFACE ROUGHENING.
- FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.

**SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE SURFACE ROUGHENING AT THE FOLLOWING INTERVALS:
  - IMMEDIATELY FOLLOWING INITIAL INSTALLATION.
  - EVERY 7 DAYS DURING ACTIVE CONSTRUCTION.
  - IMMEDIATELY FOLLOWING ANY STORM EVENT.

**Parker COLORADO** | **CBMP** | **SR**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | JUNE 2008

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**STABILIZED STAGING AREA**

CONSTRUCTION SITE STABILIZED WITH A MINIMUM OF 3" DIAMETER ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE), USED FOR STAGING, STORAGE, LOADING AND UNLOADING, AND PARKING.

**Parker COLORADO** | **CBMP** | **SSA**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

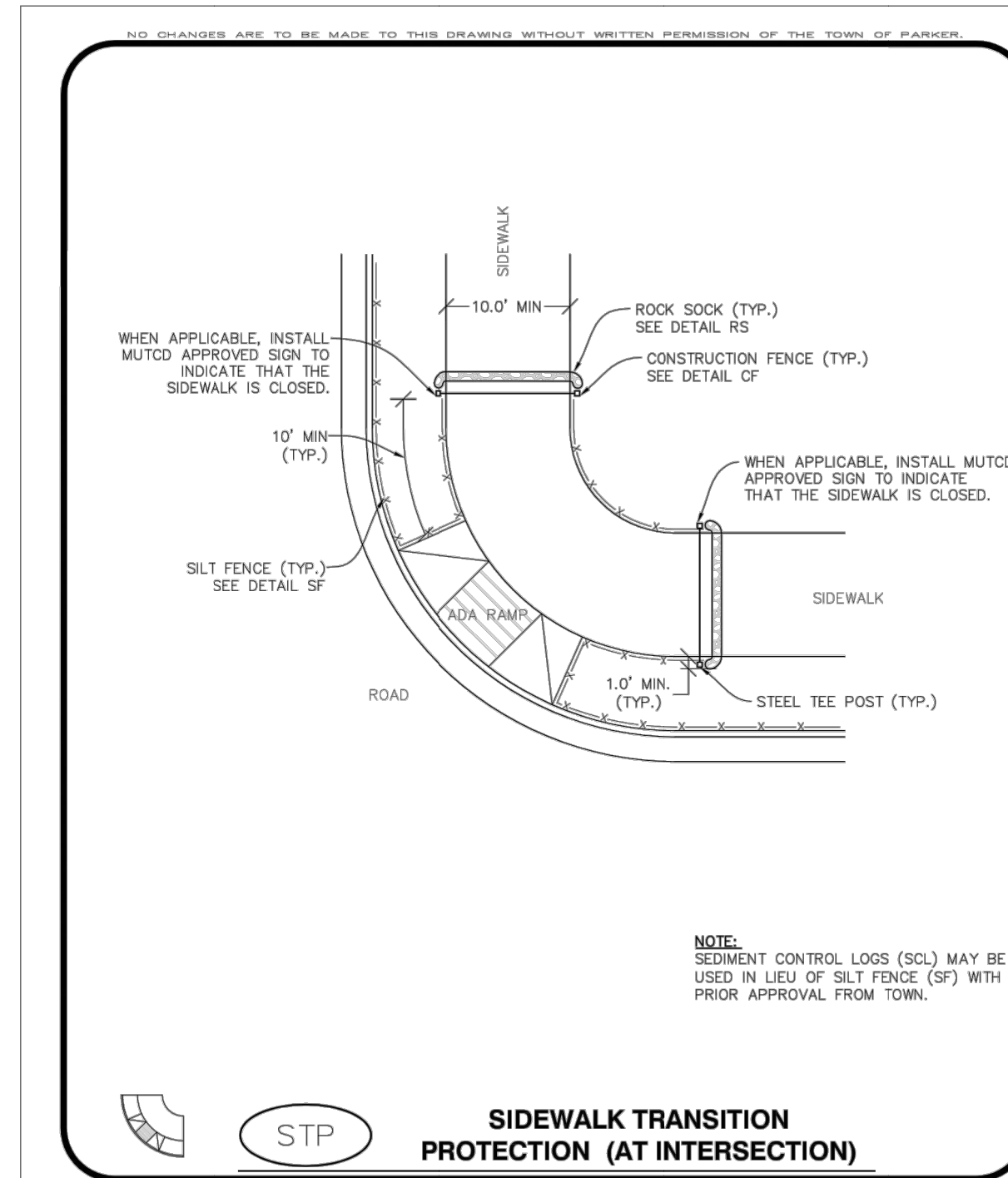
**STABILIZED STAGING AREA INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
- STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
- SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

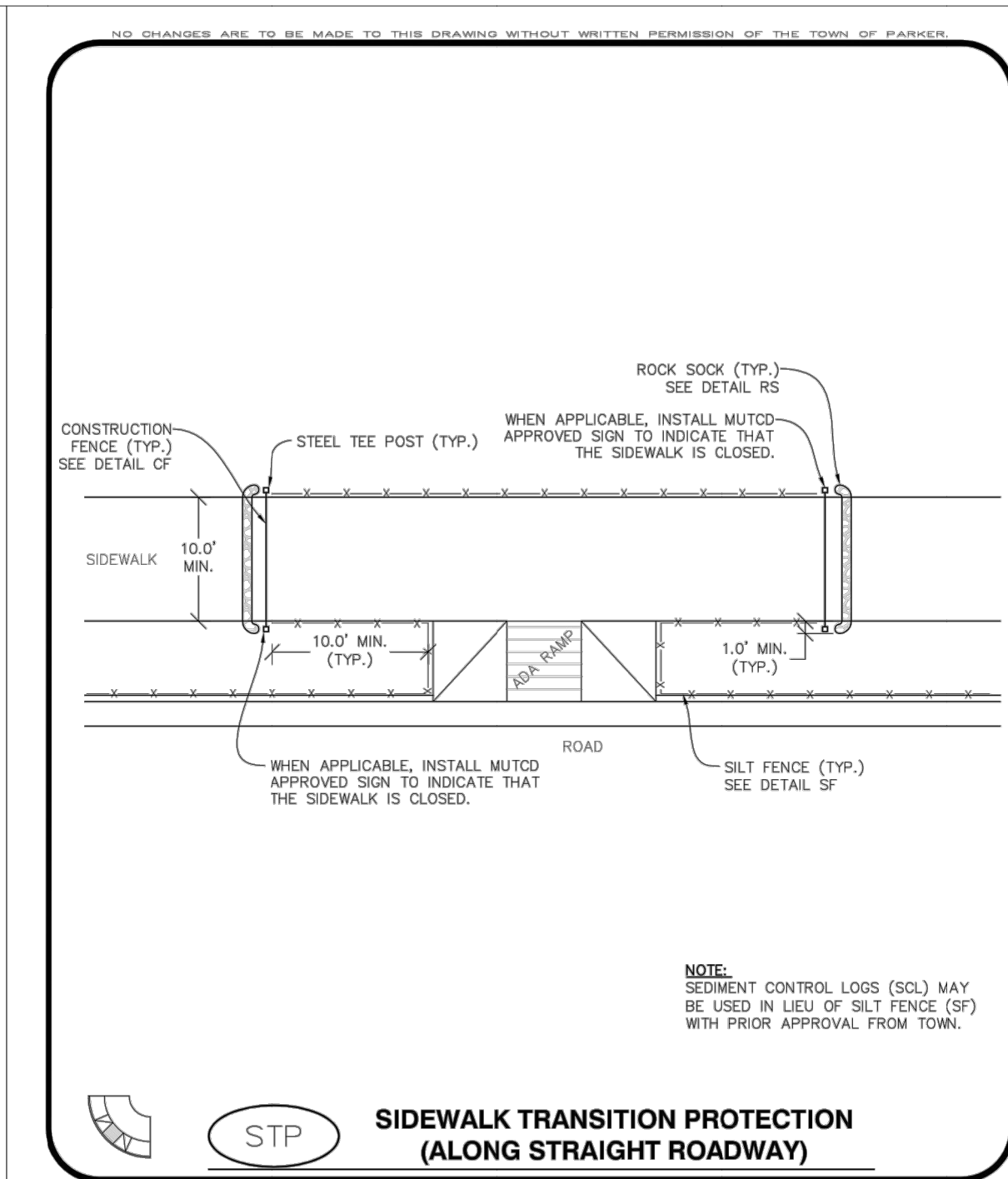
**STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
- STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

**Parker COLORADO** | **CBMP** | **SSA**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Oct. 2013



**STP**  
**SIDWALK TRANSITION PROTECTION (AT INTERSECTION)**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 3  
Oct. 2013



**STP**  
**SIDWALK TRANSITION PROTECTION (ALONG STRAIGHT ROADWAY)**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 3  
Oct. 2013

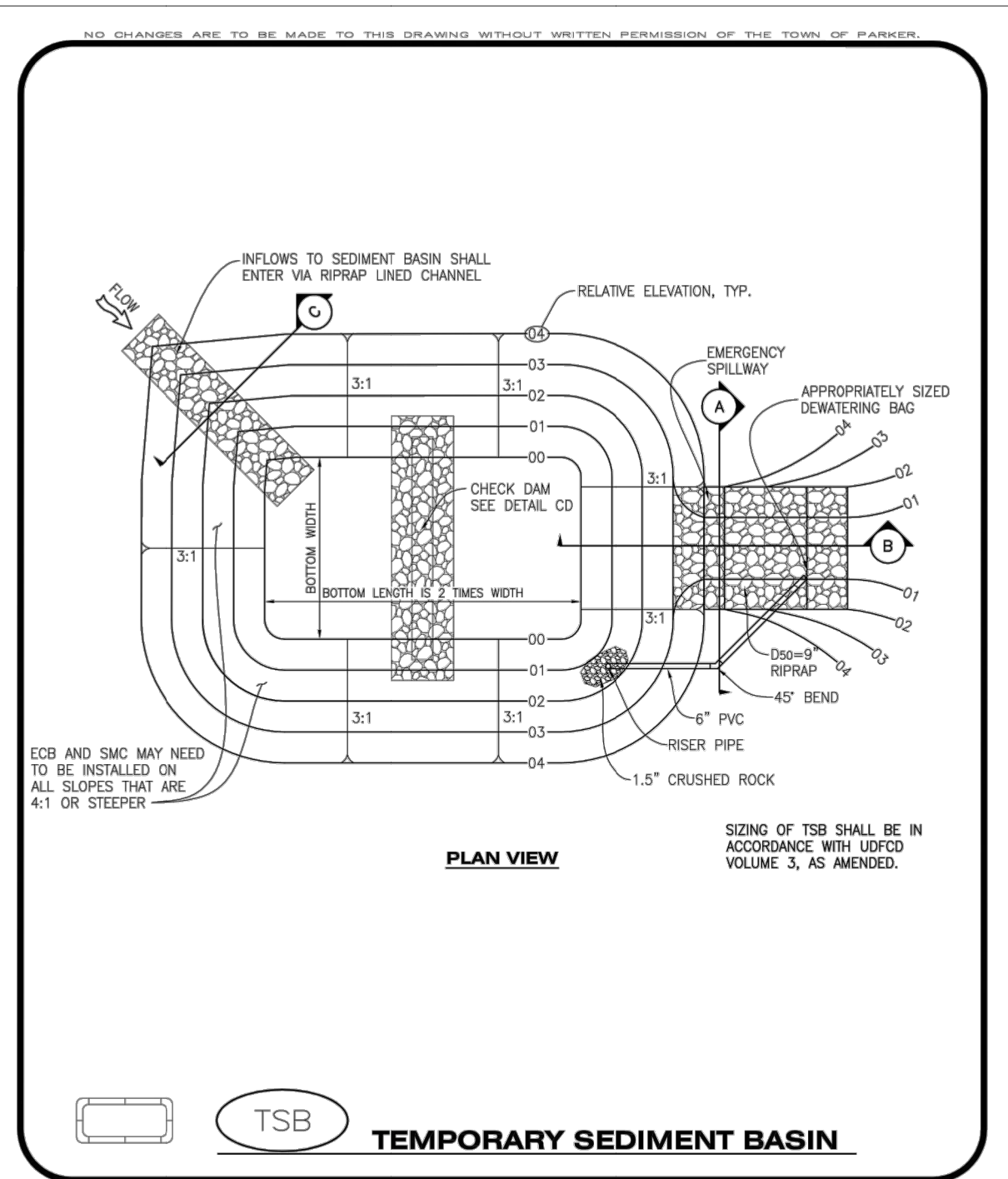
**SIDWALK TRANSITION PROTECTION INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION(S) OF SIDWALK TRANSITION PROTECTION.
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
- CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
- SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

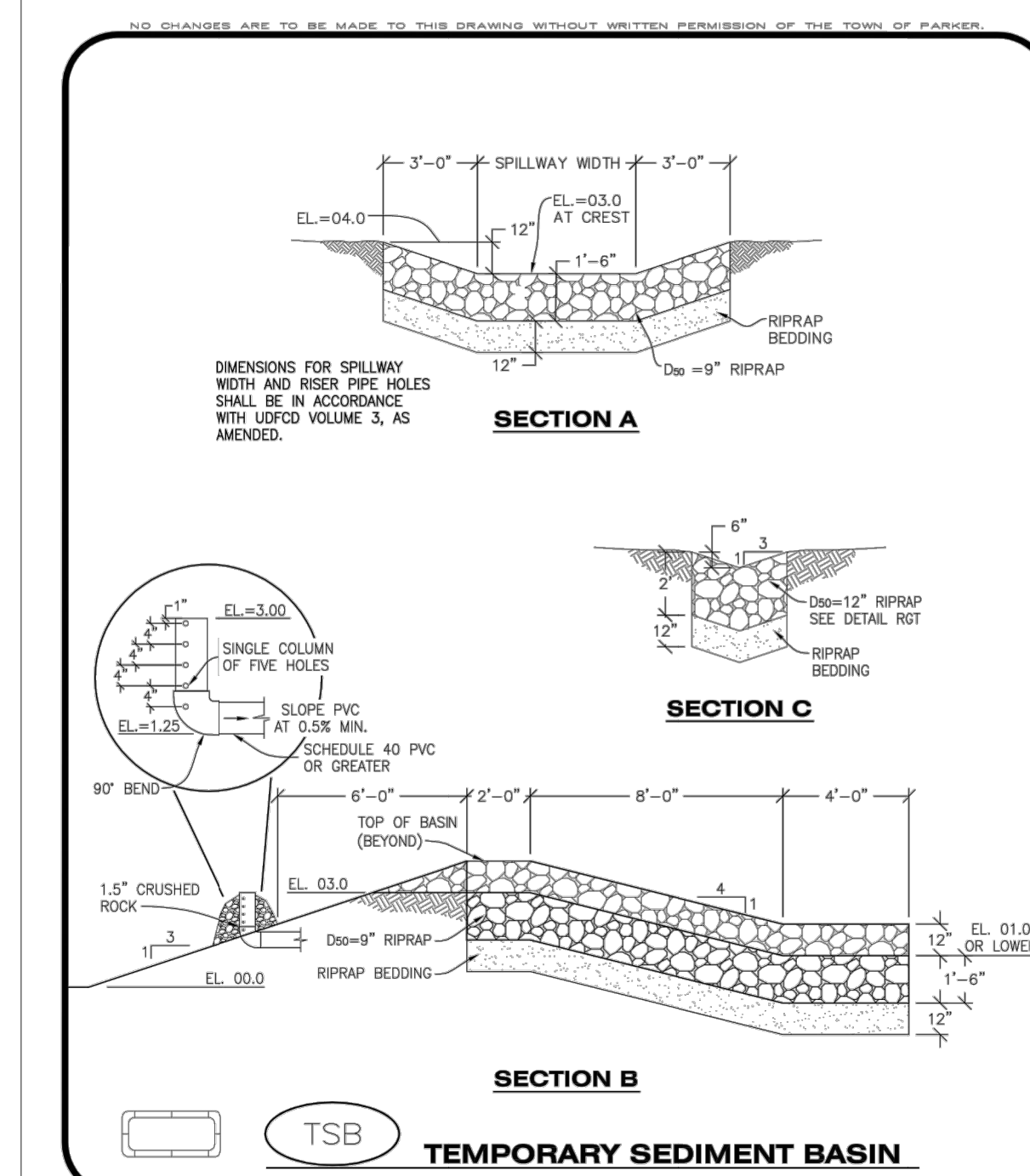
**SIDWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDWALK TRANSITION INSPECTION.

**CBMP**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
3 OF 3  
Oct. 2013



**TSB**  
**TEMPORARY SEDIMENT BASIN**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 3  
Oct. 2013



**TSB**  
**TEMPORARY SEDIMENT BASIN**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 3  
Oct. 2013

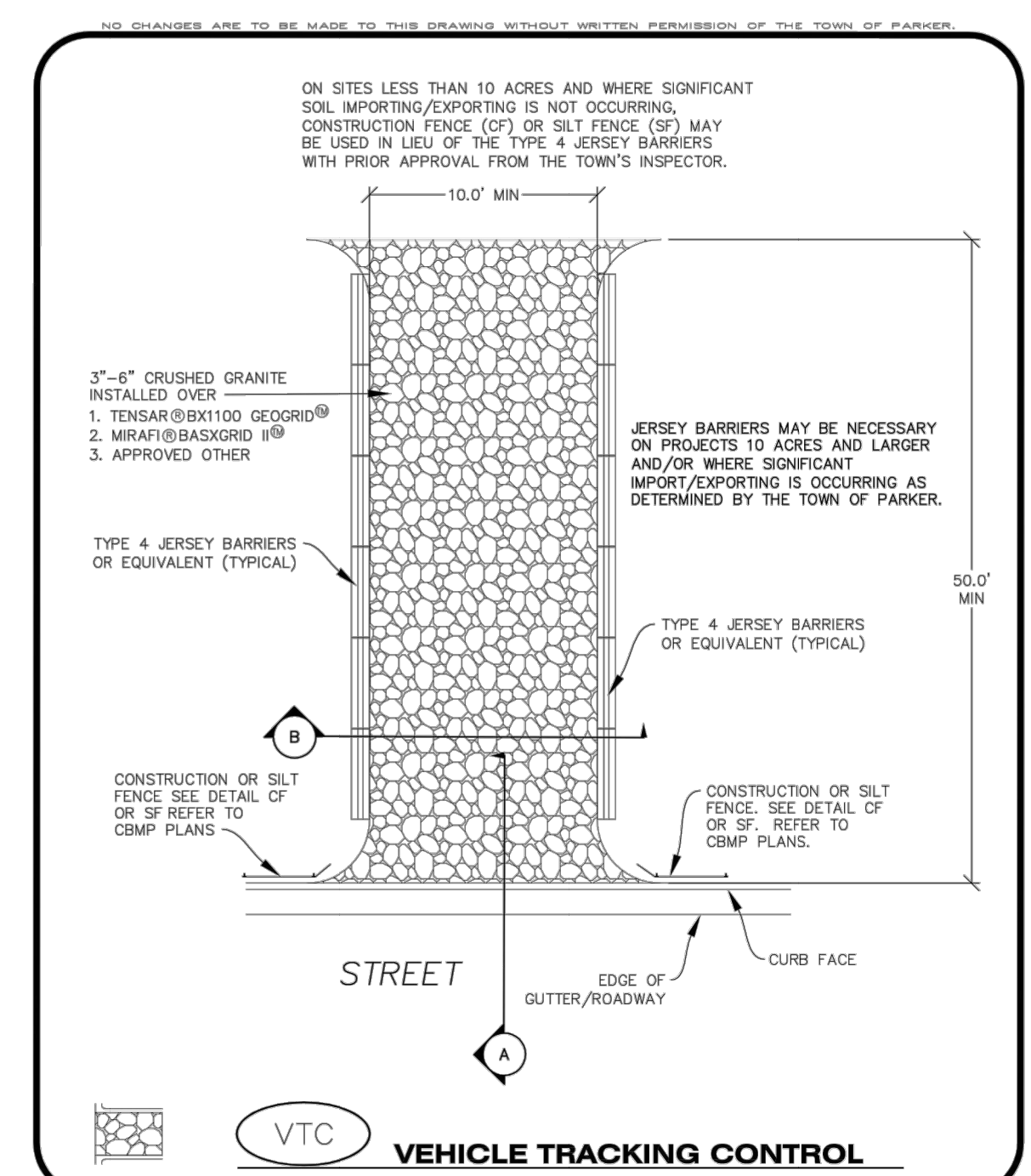
**TEMPORARY SEDIMENT BASIN INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT BASIN(S).
- THE TEMPORARY SEDIMENT BASIN(S) SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY OTHER GRADING ACTIVITIES.
- THE EXACT DIMENSIONS AND DETAILS OF THE TEMPORARY SEDIMENT BASIN SHALL BE DETERMINED BY THE DESIGN ENGINEER, IN ACCORDANCE WITH UDFCD VOLUME 3, AS AMENDED.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3" AND SHALL HAVE A MINIMUM OF 15% BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY, AND WITHIN +/- 2% OF OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D698.
- AN APPROPRIATELY SIZED DEWATERING BAG SHALL BE SECURED TO THE END OF THE DISCHARGE PIPE. THE DEWATERING BAG SHALL BE REPLACED ONCE SEDIMENT ACCUMULATION REACHES 50%.

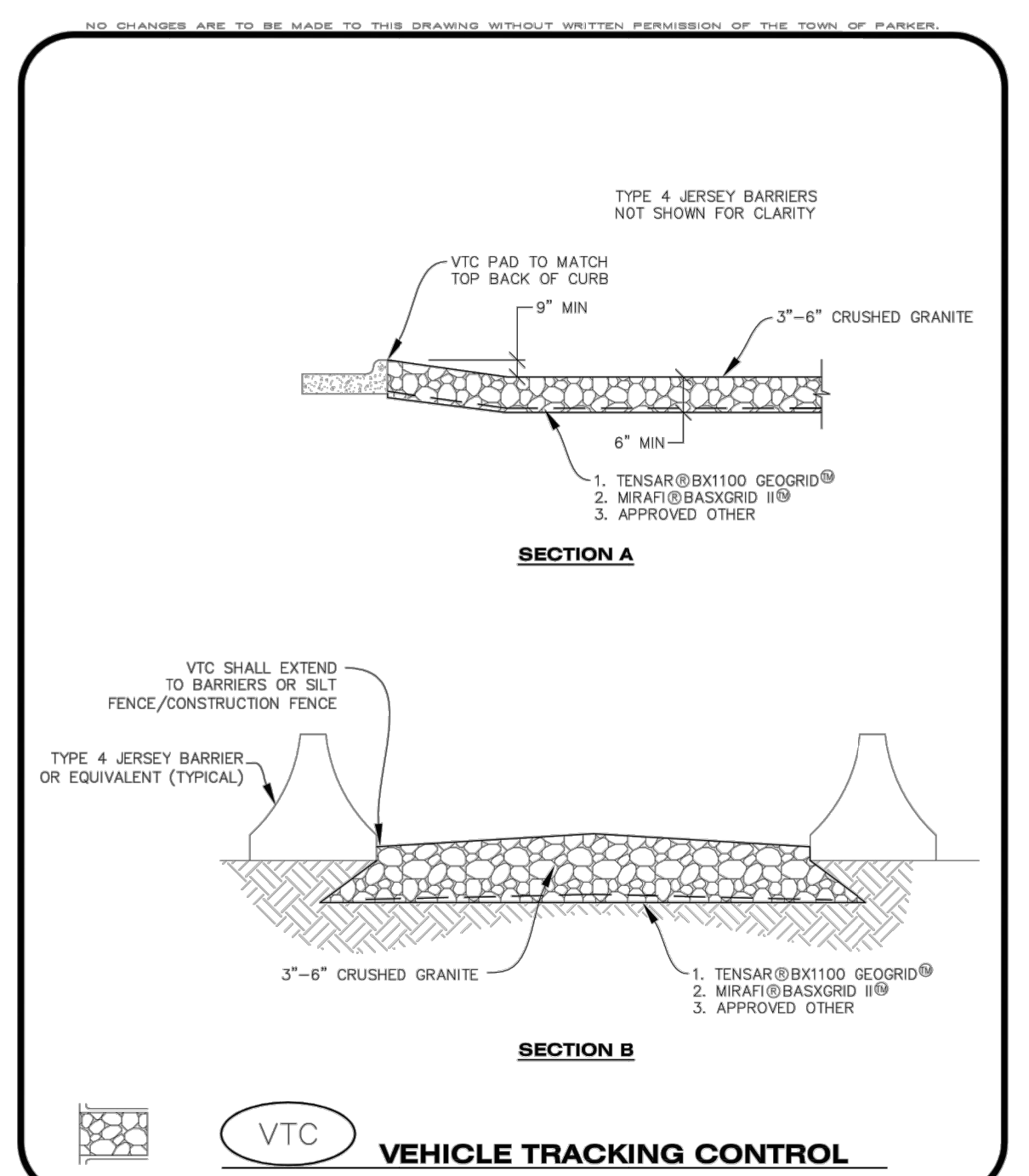
**TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE TEMPORARY SEDIMENT BASIN.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT REACHES A DEPTH OF 2.0', OR WITHIN 2.0' OF THE SPILLWAY CREST, OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL UPSTREAM VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.

**TSB**  
**TEMPORARY SEDIMENT BASIN**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
3 OF 3  
Oct. 2013



**VTC**  
**VEHICLE TRACKING CONTROL**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 3  
Oct. 2013



**VTC**  
**VEHICLE TRACKING CONTROL**  
Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 3  
Oct. 2013



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**VEHICLE TRACKING CONTROL PAD INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF VEHICLE TRACKING CONTROL PAD(S).
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50-FEET LONG AND 10-FEET WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.
- A BIAXIAL GEO-GRID SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY VOIDS, ROCKS AND DEBRIS. THE BIAXIAL GEO-GRID SHALL BE TENSAR BX1100, MIRAFI BASXGRID II, OR AN APPROVED EQUAL. GEO-GRID SHALL BE PLACED, AND APPROPRIATELY OVERLAPPED IF NECESSARY, TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.
- CRUSHED ROCK SHALL BE A MINIMUM OF 3-6" GRANITE WITH A FRACTURED FACE (ALL SIDES).

**VEHICLE TRACKING CONTROL PAD INSTALLATION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.
- WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS RELATIVELY LOOSE AND ACCUMULATED MUD AND OTHER DEBRIS IS REGULARLY REMOVED.

	<b>CBMP</b> <small>CONSTRUCTION BEST MANAGEMENT PRACTICES</small>	<b>VTC</b> <small>3 OF 3 Oct. 2013</small>
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12236 SLICEROO DR, PARKER, CO 80134  
6-BAY LINEAR STORE

**LES SCHWAB TIRE CENTER - PARKER, CO**

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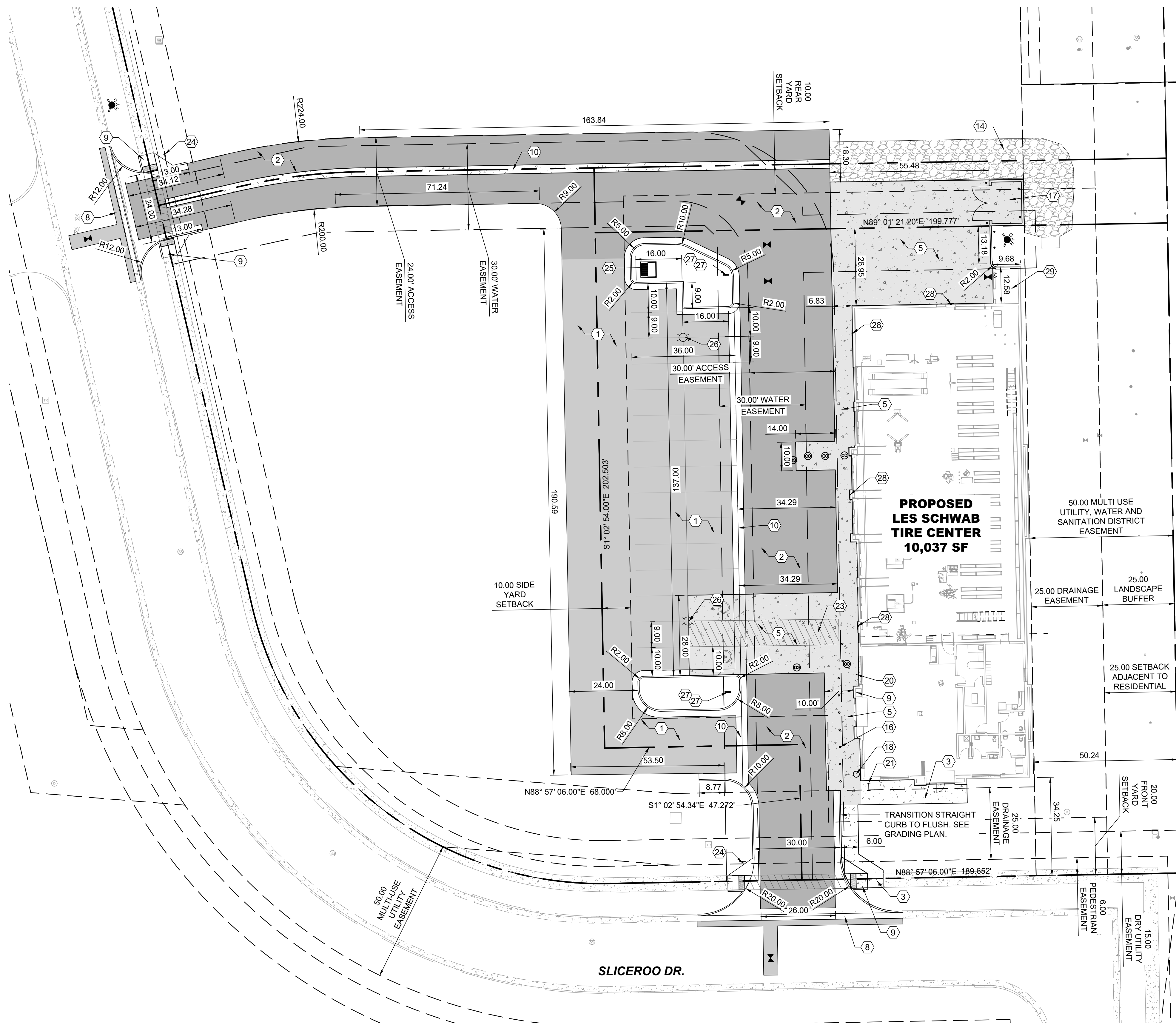
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DRAWN BY | CAMPOS  
CHECKED BY | WALKER  
REVISIONS

EROSION SHEET DETAILS

**C021**



LAND USE TABLE		
USE	SIZE SF / ACRES	PERCENTAGE
BUILDING	10,037 / 0.23	24%
PARKING	4,824 / 0.11	12%
DRIVE LANES	14,145 / 0.32	33%
SIDEWALKS	4,218 / 0.10	10%
OPEN SPACE / LANDSCAPING	8,917 / 0.20	21%
TOTAL	42,141 / .97	100%



**CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL REFER TO BUILDING PLANS FOR LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, TRUCK DOCKS, BUILDING DIMENSIONS, BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS AND SIZES OF ROOF DOWNSPOUTS.
2. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM CONTROL DEVICES FOR STREETS AND HIGHWAYS EXCEPT AS NOTED ON THE PLANS.
3. ALL CURB RADII SHOWN ARE TO FACE OF CURB.
4. ALL PAVING DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
5. ALL COORDINATES SHOWN ARE TO FACE OF CURB OR OUTSIDE OF WALL.
6. THE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
7. THE CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS, UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
9. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
10. NO VERTICAL CONSTRUCTION IS ALLOWED TO OCCUR UNTIL CURB AND GUTTER AND THE FIRST LIFTS OF ASPHALT ARE INSTALLED. A SITE INSPECTION WILL BE REQUIRED TO ENSURE THAT THIS REQUIREMENT IS MADE PRIOR TO THE ALLOWANCE OF VERTICAL CONSTRUCTION TO COMMENCE.

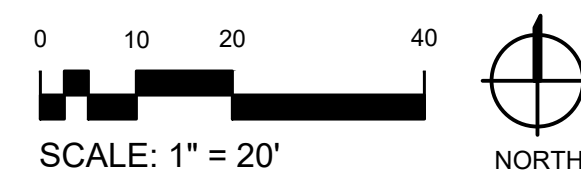
**PAVING NOTES**

1. PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
2. PAVEMENT SECTION RECOMMENDATIONS WERE TAKEN FROM THE GEOTECHNICAL REPORT.

**#KEYNOTES**

1. ASPHALT PAVEMENT - STANDARD DUTY. SEE DETAIL 1/C402
2. ASPHALT PAVEMENT - HEAVY DUTY. SEE DETAIL 2/C402
3. CONCRETE SIDEWALK. SEE DETAIL 1/C401
4. CONCRETE PAVEMENT - STANDARD DUTY. SEE DETAIL 3/C402.
5. CONCRETE PAVEMENT - HEAVY DUTY. SEE DETAIL 4/C402.
6. CURB & GUTTER (CATCH). SEE DETAIL 5/C400
7. CURB & GUTTER (SPILL). SEE DETAIL 5/C400
8. DRIVEWAY CUT. SEE DETAIL 1&3/C400
9. ADA RAMP. SEE DETAIL 2/C400
10. CONCRETE CROSS PAN. SEE DETAIL 1/C400
11. ADA STRIPING. SEE DETAIL 7/C402
12. ACCESSIBLE PARKING STRIPING. SEE DETAIL 8/C401.
13. 4" WIDE WHITE PARKING STRIPING.
14. RIP RAP. SEE DETAIL 12/C402
15. LANDSCAPE AREA. SEE LANDSCAPE PLANS.
16. BOLLARDS (TYP. OF 9). SEE DETAIL 5/C402
17. CMU TRASH ENCLOSURE. SEE ARCH FOR DETAILS
18. TRASH RECEPTACLE. SEE DETAIL 10/C402.
19. KEYKEEPER WITH STAND. SEE DETAIL 11/C402.
20. BENCH. SEE DETAIL 9/C402
21. BIKE RACK. SEE DETAIL 8/C402
22. CROSSWALK STRIPING (TYP.)
23. PROVIDE TEXTURED CONCRETE PATTERN AT ADA CROSSING (TYP.)
24. STOP SIGN (R1-1) TYPICAL. PROVIDE STREET NAME IDENTIFIER ON TOP OF STOP SIGN.
25. TRANSFORMER PAD. SEE ELECTRICAL FOR DETAILS.
26. SITE LIGHTING. SEE ELECTRICAL FOR DETAILS.
27. NO PARKING - FIRE LANE SIGNS, TYPE 'C' & 'D'
28. NO PARKING - FIRE LANE SIGN, TYPE 'B'
29. FIRE RISER ROOM. SEE MEP AND ARCH PLANS FOR DETAIL

1 SITE PLAN  
C100



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

12236 SLICEROO DR. PARKER, CO 80134  
6-BAY LINEAR STORE

LES SCHWAB TIRE CENTER - PARKER, CO

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SITE PLAN SHEET

C100

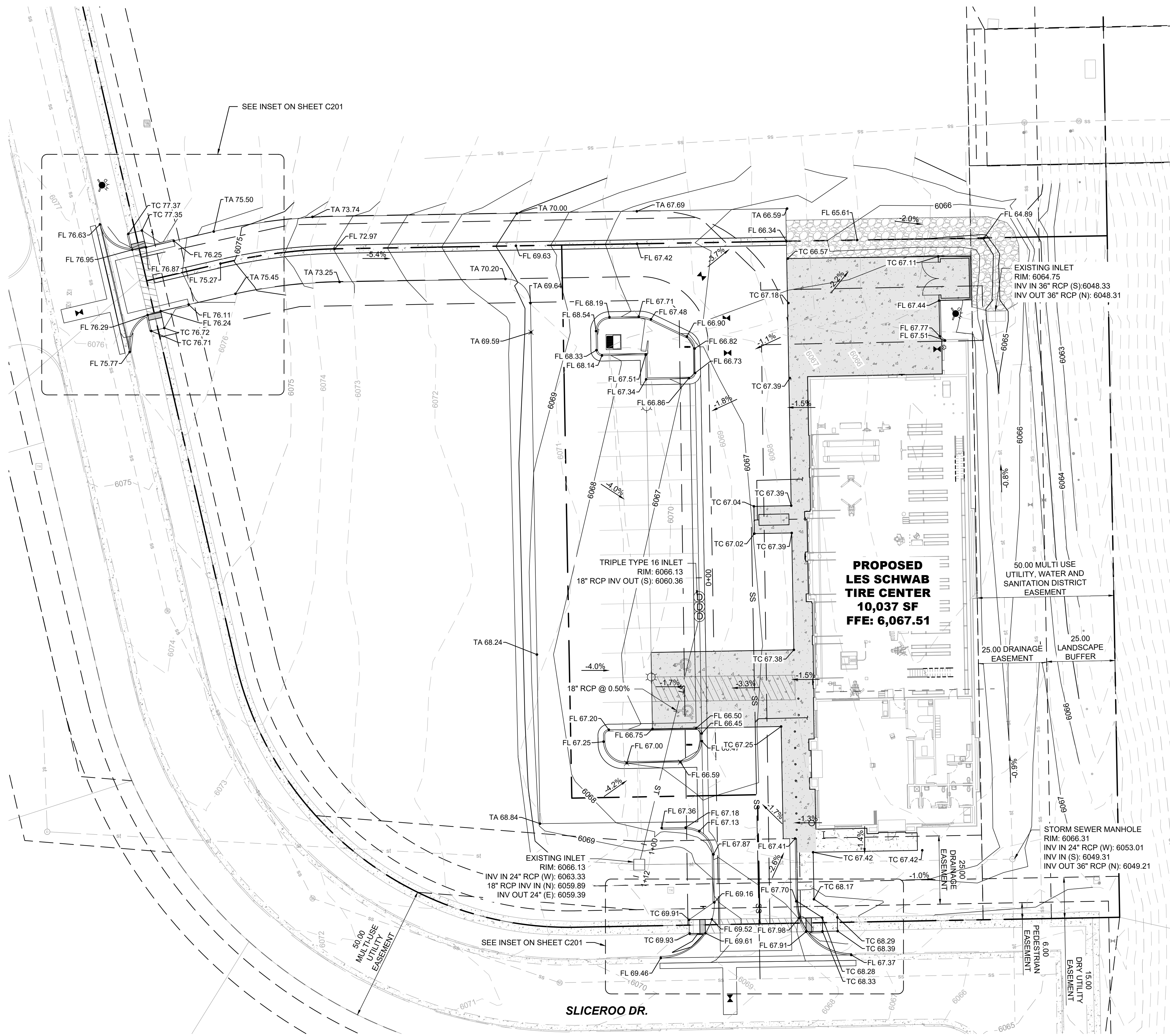


**GRADING NOTES**

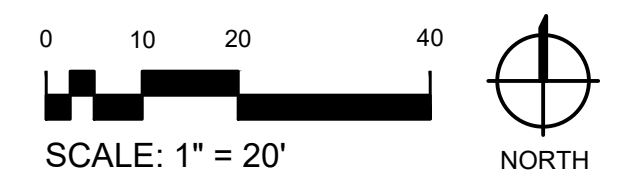
1. SITE GRADING SHALL NOT PROCEED UNTIL THE SWPPP HAS BEEN IMPLEMENTED.
2. ALL EARTHWORK AND GRADING SHALL PROCEED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
3. NO MATERIAL SHALL BE EXCAVATED, MOVED, OR COMPACTED WITHOUT THE PRESENCE OR AUTHORIZATION OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS AND LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCING EARTH. NOTIFY ENGINEER OF ANY UNFORESEEN CONDITIONS.
5. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. GRADES SHOWN REPRESENT FINISH GRADES UNLESS OTHERWISE NOTED.
8. SPOT ELEVATIONS INDICATE TOP OF ASPHALT, UNLESS OTHERWISE INDICATED.
9. FINISHED GRADE SPOT ELEVATIONS HAVE BEEN TRUNCATED. ADD 6000 FOR ACTUAL ELEVATION.
10. LONGITUDINAL SLOPES OF ALL SIDEWALKS SHALL NOT EXCEED 5%, EXCEPT FOR ON INDICATED RAMPS.
11. CROSS SLOPES OF ALL SIDEWALKS SHALL NOT EXCEED 2%. 1.5% IS PREFERRED.
12. PEDESTRIAN RAMPS SHALL NOT EXCEED 12H:1V IN ANY DIRECTION.
13. ADA PARKING AND ADA UNLOADING/LOADING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY GRADES OF BASE MATERIAL AND FORMS BEFORE PAVING INSTALLATION.
14. EXTERIOR CONCRETE FLATWORK ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDING AND NOT EXCEED 2%. 1% IS THE MINIMUM.
15. PROPOSED GRADE CONTOUR INTERVAL SHOWN AT ONE FOOT (1').
16. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING.
17. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH BUILDING PLANS AND SPECIFICATIONS.
18. THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

**STORMWATER NOTES**

1. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY.
2. TRENCHES SHALL BE PREPARED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
3. ALL PIPE MATERIAL, FITTINGS AND STRUCTURES SHALL FOLLOW THE CONSTRUCTION DRAWINGS AND CITY REQUIREMENTS. ALL STORMWATER PIPING SHALL BE ADS N-12 OR APPROVED EQUAL.
4. ALL STORMWATER TRENCHING, BEDDING AND PIPE LAYING, SHALL FOLLOW THE CURRENT CITY REQUIREMENTS.
5. ALL JOINTS SHALL BE "WATERTIGHT".
6. PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL FLUSH AND CLEAN ALL STORM DRAINS AND REMOVE ALL FOREIGN MATERIAL FROM THE PIPING, MANHOLES, AND DRAINAGE INLETS.
7. CONTRACTOR SHALL SUPPLY ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPES IN ACCORDANCE WITH CITY CONSTRUCTION SPECIFICATIONS. COST OF ALL TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. STORM SEWER PIPE AND MANHOLES SHALL BE TESTED FOR LEAKAGE PER CURRENT CITY STANDARDS.



1 GRADING PLAN  
C200



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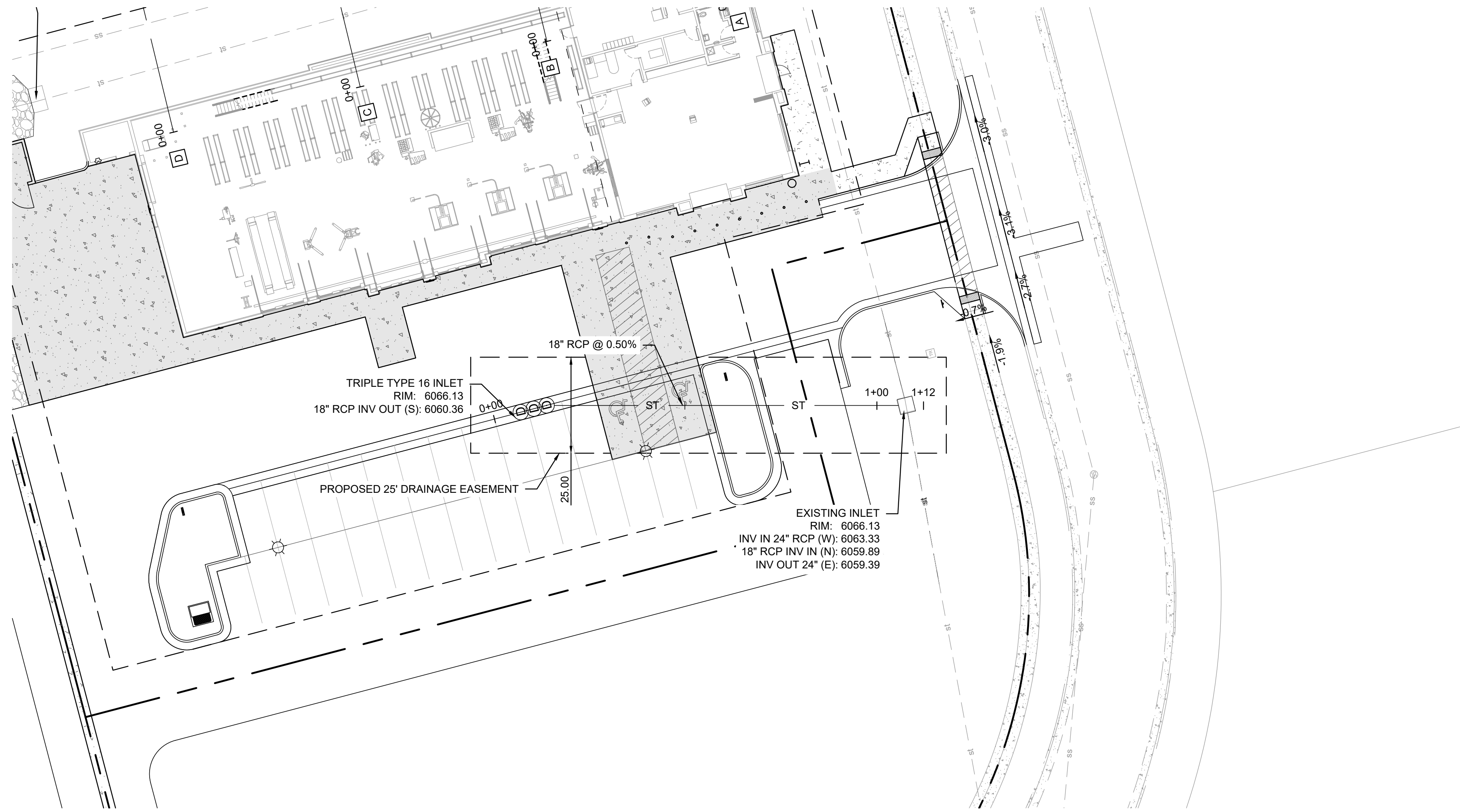
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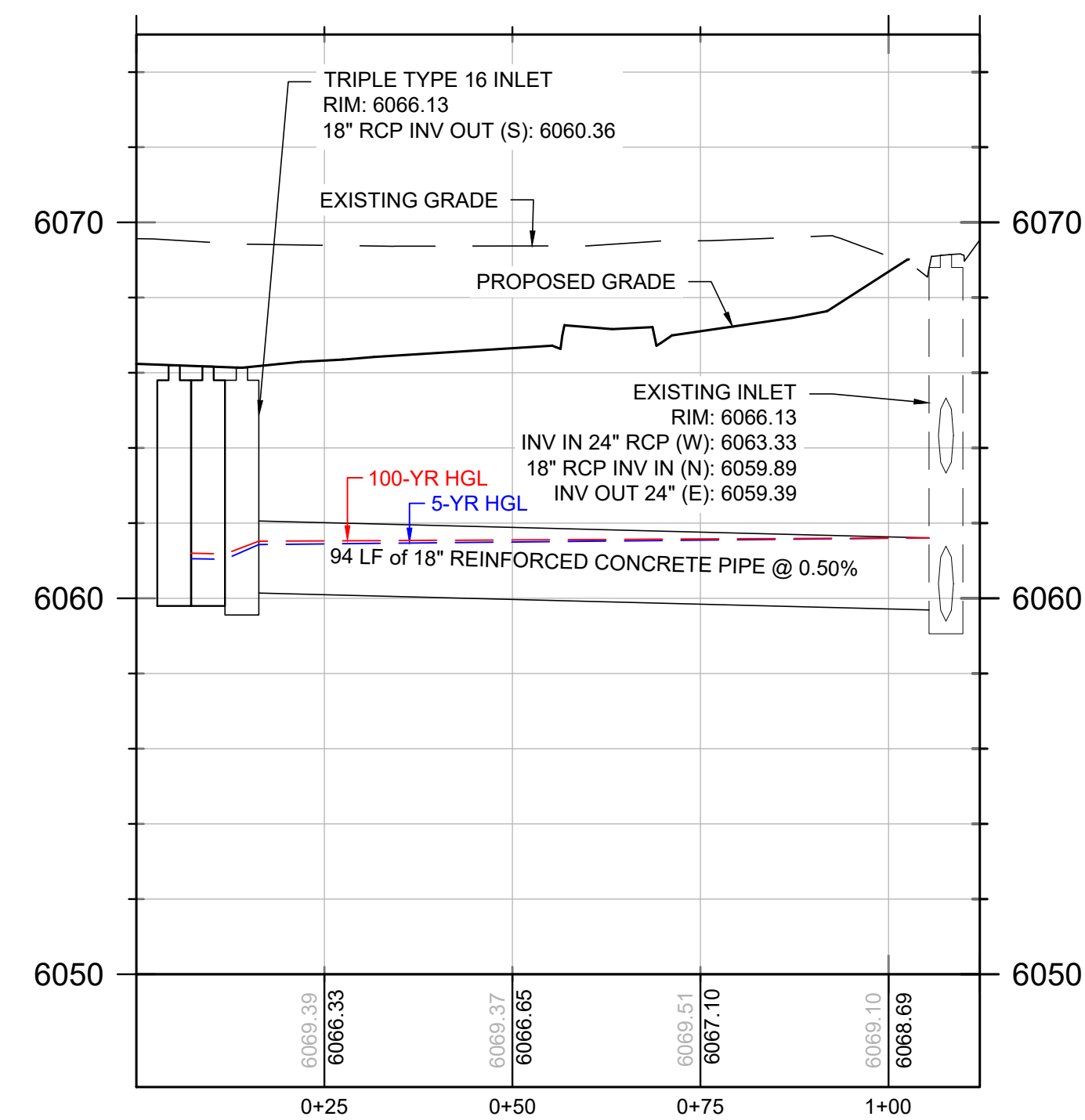
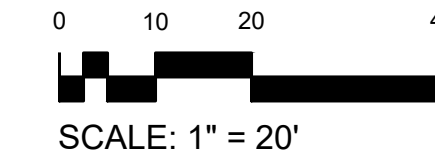
GRADING PLAN

C200

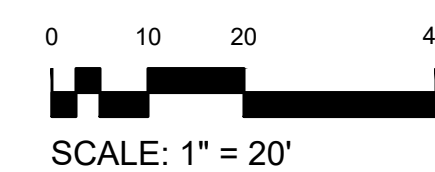




2 STORM SEWER PLAN  
C200



3 STORM SEWER PROFILE  
C200



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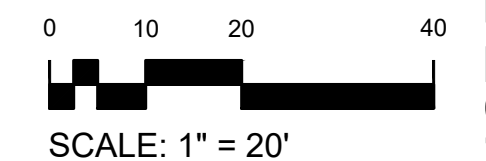
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STORM PLAN AND PROFILE

C202





**WATER NOTES**

- UNLESS OTHERWISE NOTED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS MANUAL, JANUARY 2017.
- UNLESS OTHERWISE SPECIFIED, WATER LINES SHALL BE PVC C900 IN CONFORMANCE WITH AWWA C900. ALL SERVICES AND CONNECTIONS SHALL BE PE-AL-PE WITH A PRESSURE RATING OF 200 PSI AND CONFORM TO THE PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS MANUAL, JANUARY 2017.
- THE CONTRACTOR SHALL SUPPLY ALL NECESSARY FITTINGS, COUPLING, AND SPOOL PIECES FOR CONNECTING NEW UTILITIES TO EXISTING UTILITIES. THESE PLANS MAY NOT SHOW ALL REQUIRED COMPONENTS FOR MAKING THE CONNECTIONS.
- THE MINIMUM DEPTH OF BURY TO THE TOP OF PIPE FOR WATER LINES IS 4.5 FT. WHERE AT LEAST 4.5 FT OF COVER CANNOT BE MAINTAINED, INSTALL RIGID INSULATION BOARD ABOVE PIPING AS INDICATED ON PLANS.
- THE CONTRACTOR MUST ENSURE THAT A MINIMUM OF 10 FEET (OUTSIDE PIPE WALL TO OUTSIDE PIPE WALL) OF CLEARANCE IS MAINTAINED ON THE HORIZONTAL PLANE BETWEEN ALL WATER AND SEWER MAINS. ADDITIONALLY, THE CONTRACTOR MUST ALSO ENSURE THAT 18 INCHES OF VERTICAL CLEARANCE IS MAINTAINED BETWEEN WATER AND SEWER MAINS THAT CROSS. IMMEDIATELY NOTIFY ENGINEER OF CONFLICTS.
- LOCATIONS OF FITTINGS, BENDS, VALVES, AND OTHER APPURTENANCE ARE APPROXIMATE. PROVIDE ADEQUATE SPACING BETWEEN FIXTURES TO MAINTAIN PIPE INTEGRITY. PROVIDE AS BUILT LOCATIONS FOR ALL FIXTURES.
- ANY EXISTING OR NEW VALVES THAT CONTROL THE TOWN OF PARKER WATER SUPPLY SHALL BE OPERATED BY CITY PERSONNEL ONLY.
- PRESSURE TEST AND DISINFECT ALL WATER LINES IN ACCORDANCE WITH THE PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS MANUAL, JANUARY 2017 AND ALL OTHER GOVERNING AGENCIES' STANDARDS.
- ALL FITTINGS SHALL BE MECHANICAL JOINT WITH CONCRETE THRUST BLOCKS MEETING PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS MANUAL, JANUARY 2017 AND ALL OTHER GOVERNING AGENCIES' STANDARDS.
- ALL DUCTILE IRON FITTINGS TO BE WRAPPED IN POLYWRAP.
- PER THE CURRENT COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT REQUIREMENTS, THE CONTRACTOR SHALL HAVE THE WATER MAIN WORK (i.e. CUT, GATE VALVES & PIPE INSTALLATION) INSPECTED AND TESTED PER CURRENT CDPHE PROCEDURES AND OBSERVED BY A DESIGNATED OWNERS INSPECTOR.

**SEWER NOTES**

- UNLESS OTHERWISE NOTED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS AND ANY APPLICABLE TOWN OF PARKER MODIFICATIONS OR APPROPRIATE MASTER SPECIFICATION.
- UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D-3034, SDR 26. ALL SERVICES AND CONNECTIONS SHALL CONFORM TO THE CURRENT PARKER WATER & SANITATION DISTRICT STANDARD SPECIFICATIONS AND SPECIFICATIONS AND ANY APPLICABLE TOWN OF PARKER MODIFICATIONS.
- ALL PIPES SHALL BE BEDDED WITH TYPE 1 BEDDING PER CURRENT PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS & ANY APPLICABLE TOWN OF PARKER MODIFICATIONS.
- PER CURRENT COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT REQUIREMENTS, THE CONTRACTOR SHALL HAVE THE SEWER WORK INSPECTED AND TESTED PER DEQ PROCEDURES AND OBSERVED BY A DESIGNATED OWNERS INSPECTOR. MANHOLE TESTING SHALL BE PERFORMED PRIOR TO FINAL SURFACE RESTORATION.
- CONTRACTOR SHALL SUPPLY ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPES IN ACCORDANCE WITH PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS COST OF ALL TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SANITARY SEWER PIPE AND MANHOLES SHALL BE TESTED FOR LEAKAGE PER CURRENT PARKER WATER & SANITATION DISTRICT STANDARDS AND SPECIFICATIONS AND ANY APPLICABLE TOWN OF PARKER STANDARDS.
- AT THE DISCRETION OF THE ENGINEER, THE CONTRACTOR SHALL CONDUCT DEFLECTION TESTING OF SANITARY SEWER PIPES BY PULLING AN APPROVED MANDREL THROUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL BE 95% OF THE DESIGNED PIPE DIAMETER. TESTING SHALL BE CONDUCTED NO MORE THAN 7 DAYS AFTER THE TRENCH HAS BEEN BACKFILLED AND COMPACTED.
- PRIOR TO MANDREL TESTING AND/OR TV INSPECTION, THE CONTRACTOR SHALL FLUSH AND CLEAN ALL SEWER PIPE AND MANHOLES.
- CONTRACTOR SHALL FIELD VERIFY LINE AND GRADE OF ANY EXISTING AND PROPOSED UTILITY.

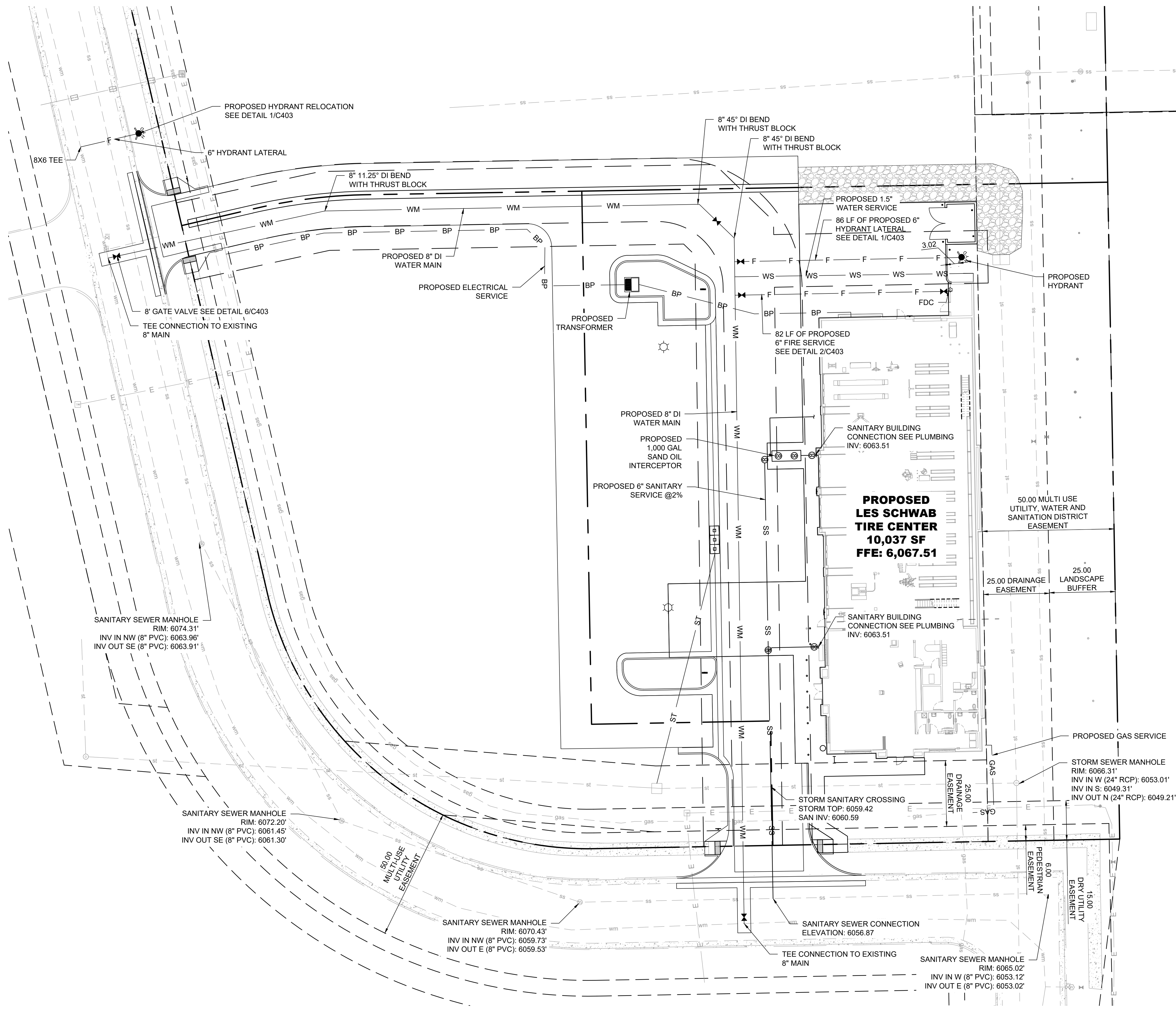
**DRY UTILITY NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL "DRY" UTILITIES (ELECTRIC, GAS, TELEPHONE) WITH SERVICE PROVIDERS.
- REFER TO ELECTRICAL PLANS FOR ADDITIONAL CONDUIT AND SITE LIGHTING REQUIREMENTS.
- REFER TO LANDSCAPE PLANS FOR IRRIGATION CONDUIT.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

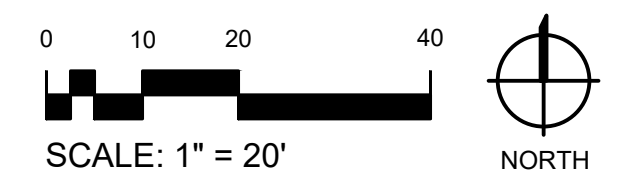
ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)



1 UTILITY PLAN  
C300



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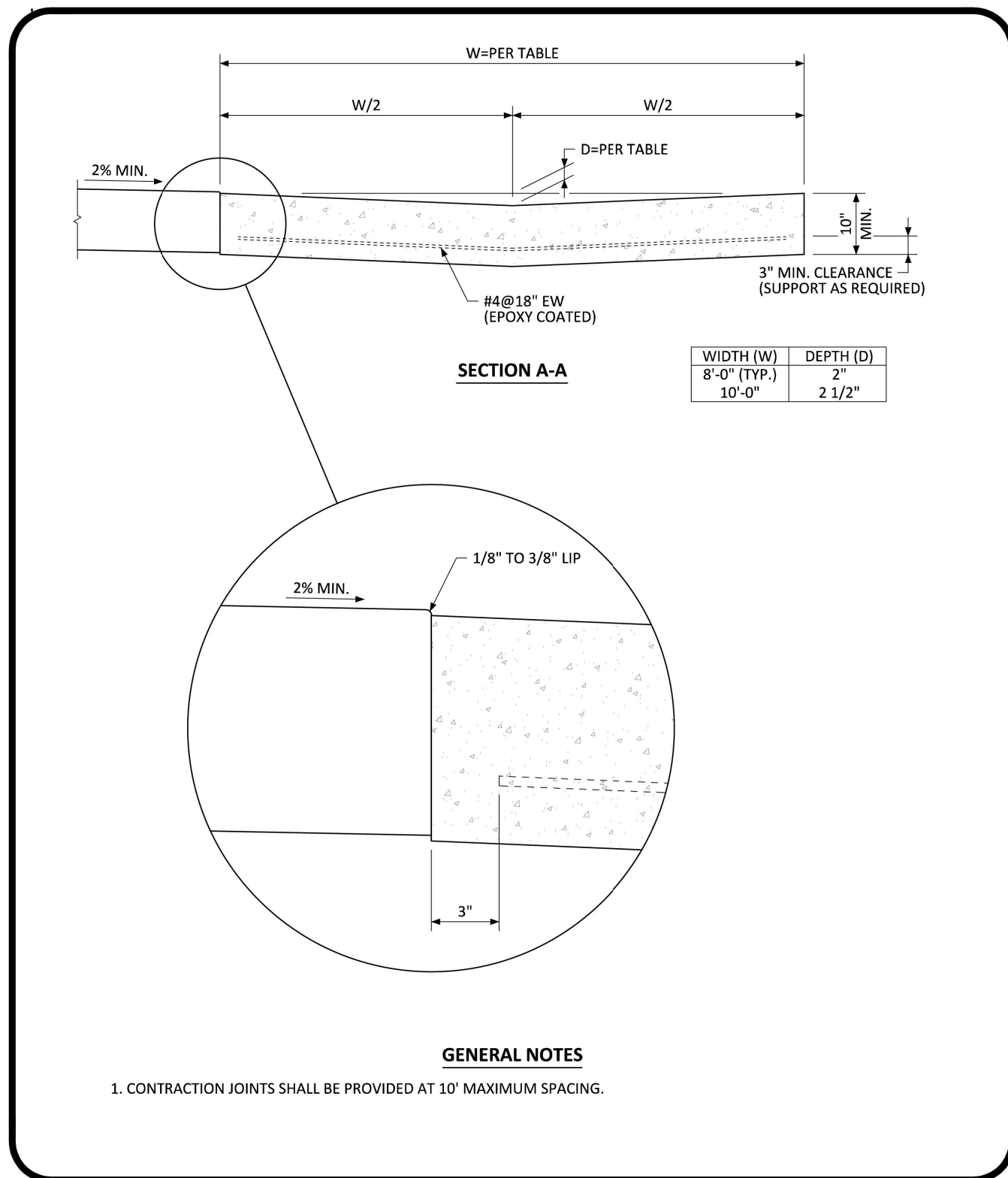
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CIVIL CDS

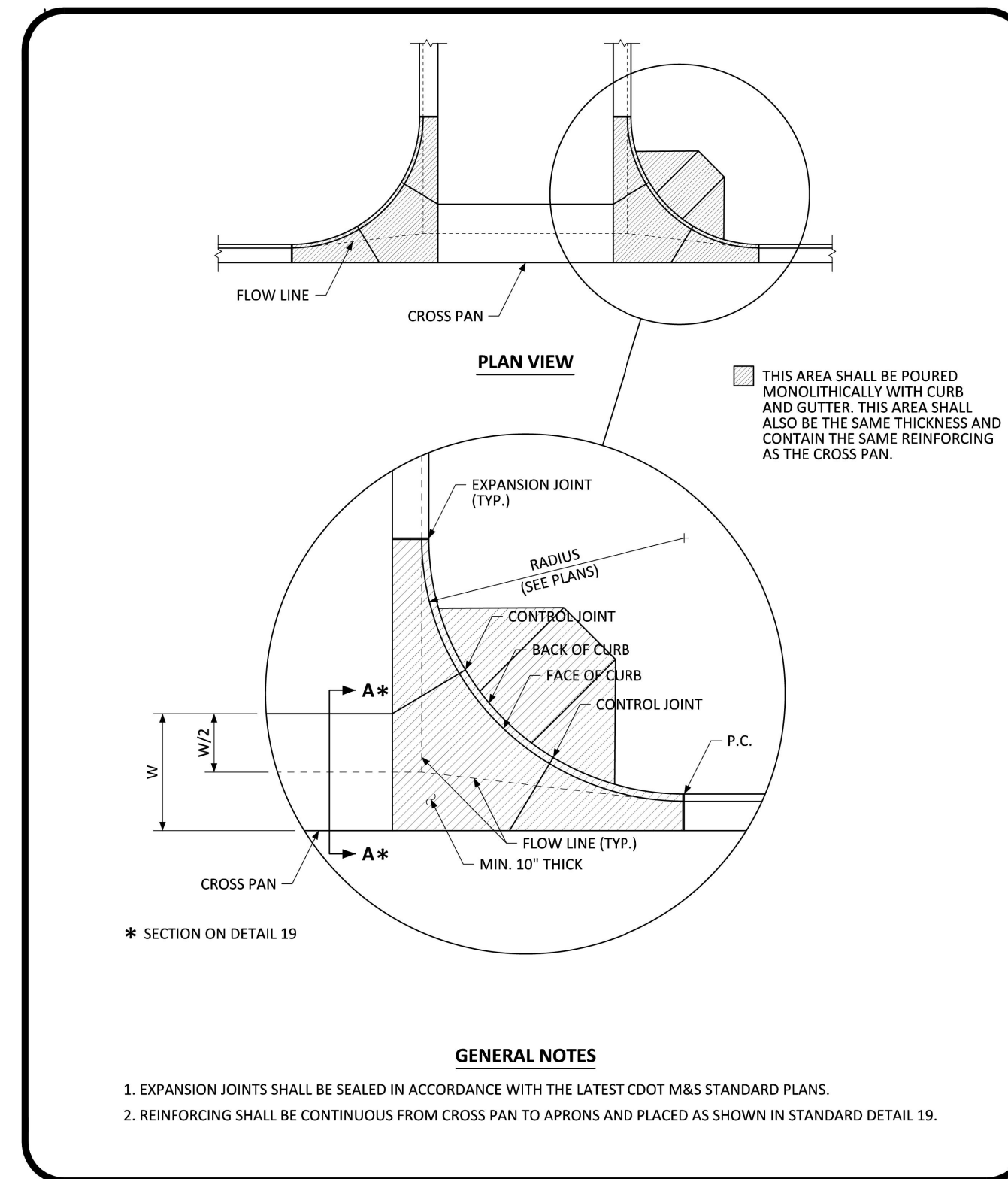
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UTILITY PLAN

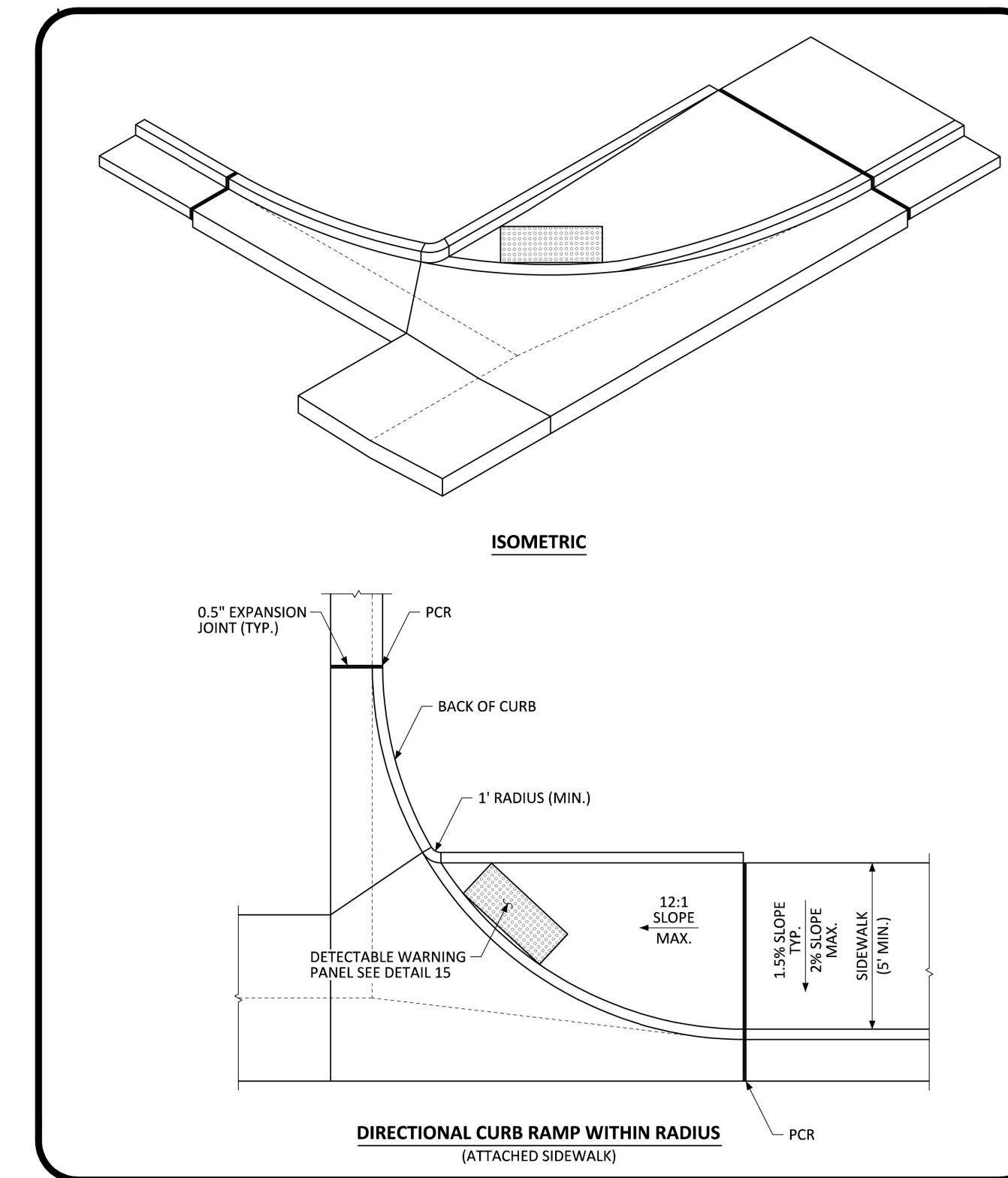
C300



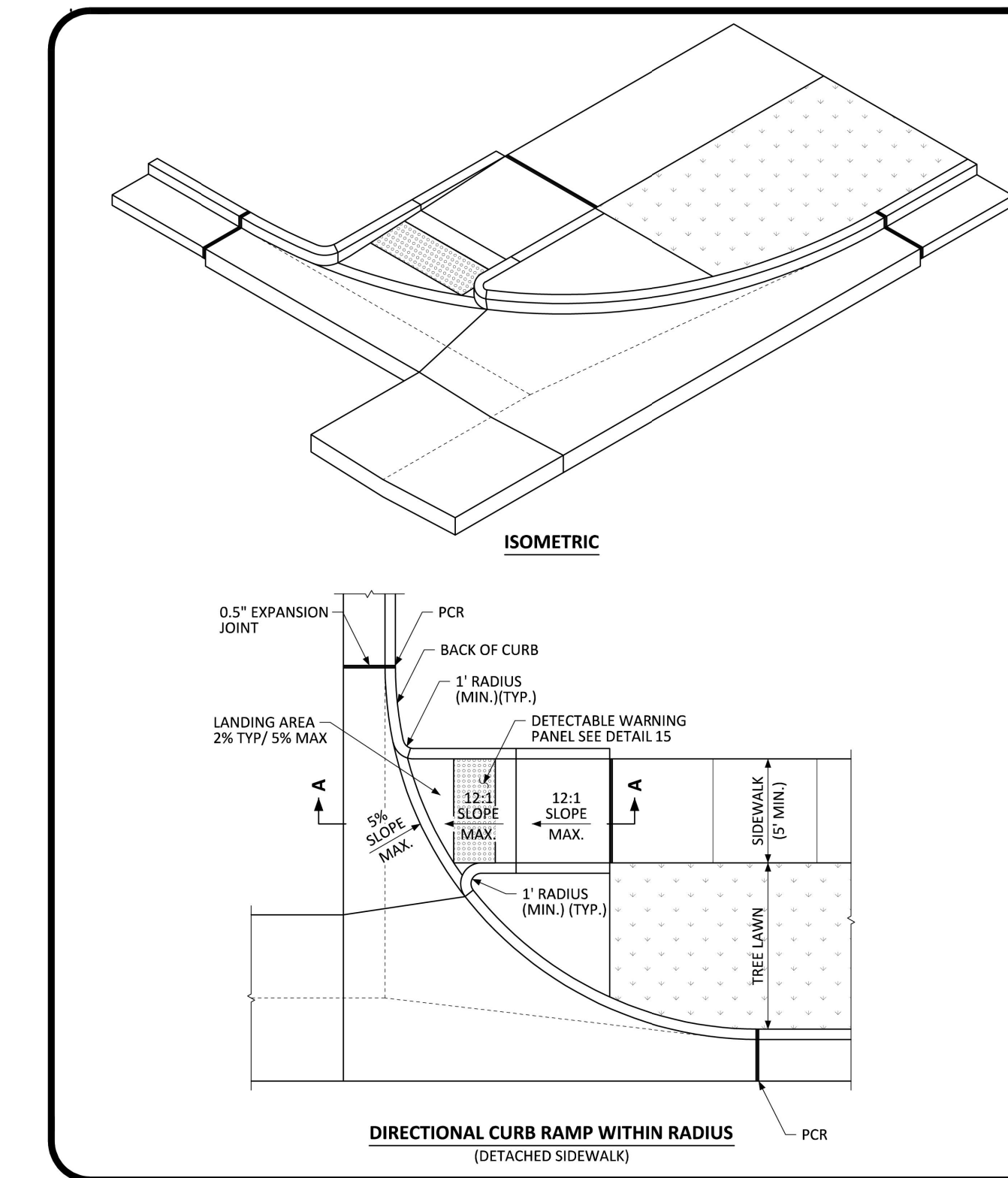
**PARKER COLORADO** INTERSECTION CROSS PAN LAYOUT STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 19 1 OF 2



**PARKER COLORADO** INTERSECTION CROSS PAN LAYOUT STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 19 2 OF 2



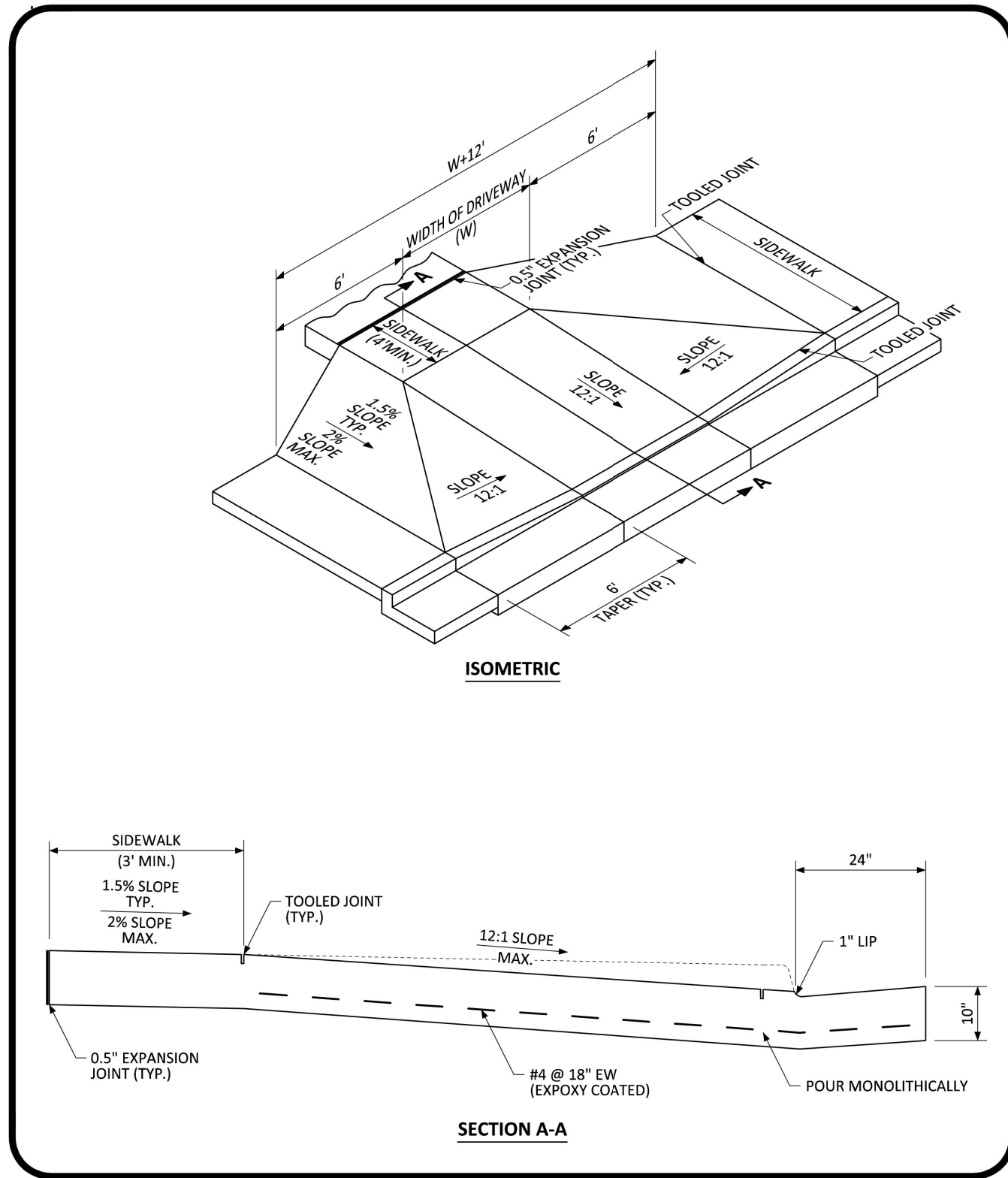
**PARKER COLORADO** DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 18 1 OF 2



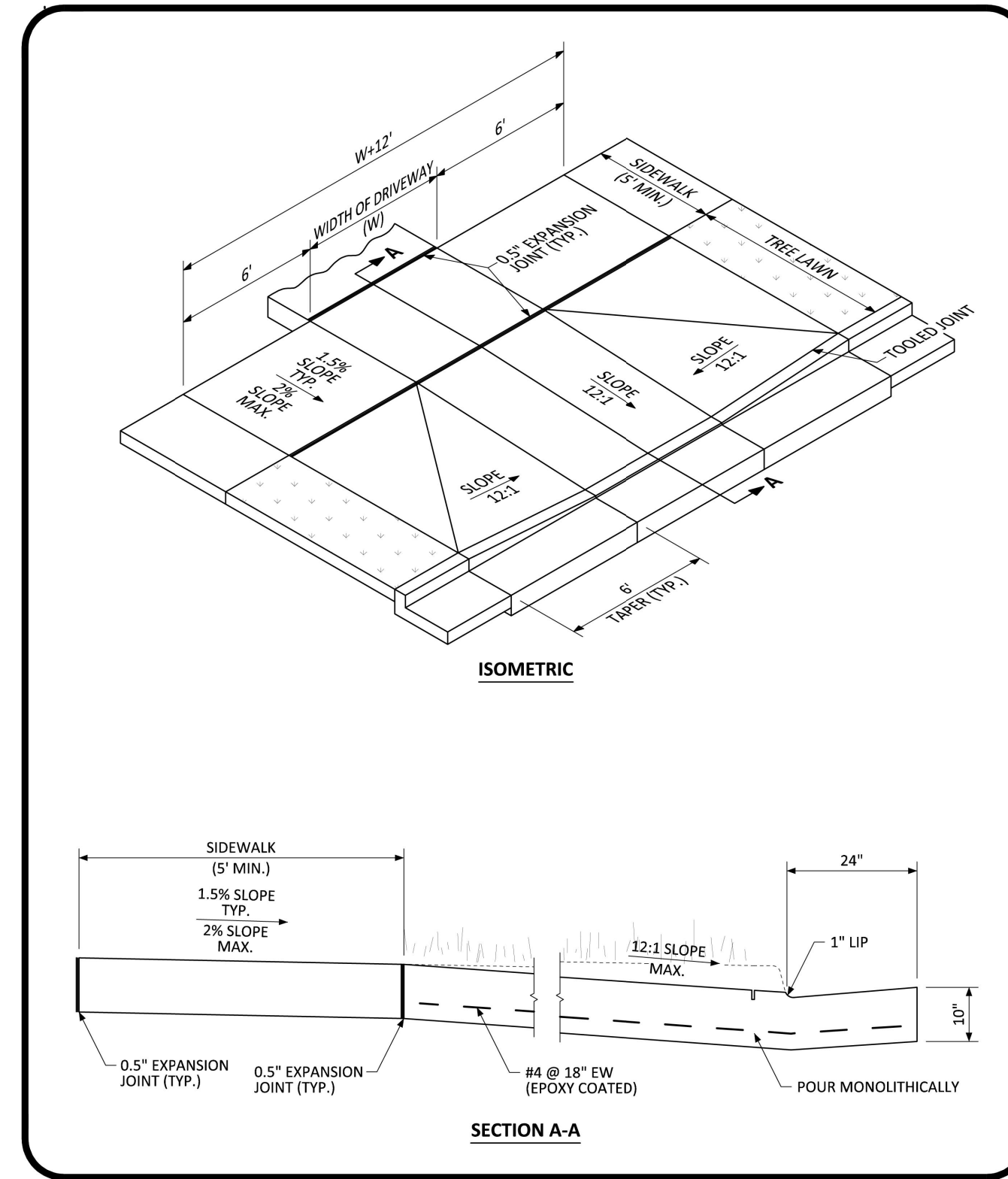
**PARKER COLORADO** DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 18 2 OF 2

1 CROSSPAN  
C400

2 CURB RAMP  
C400

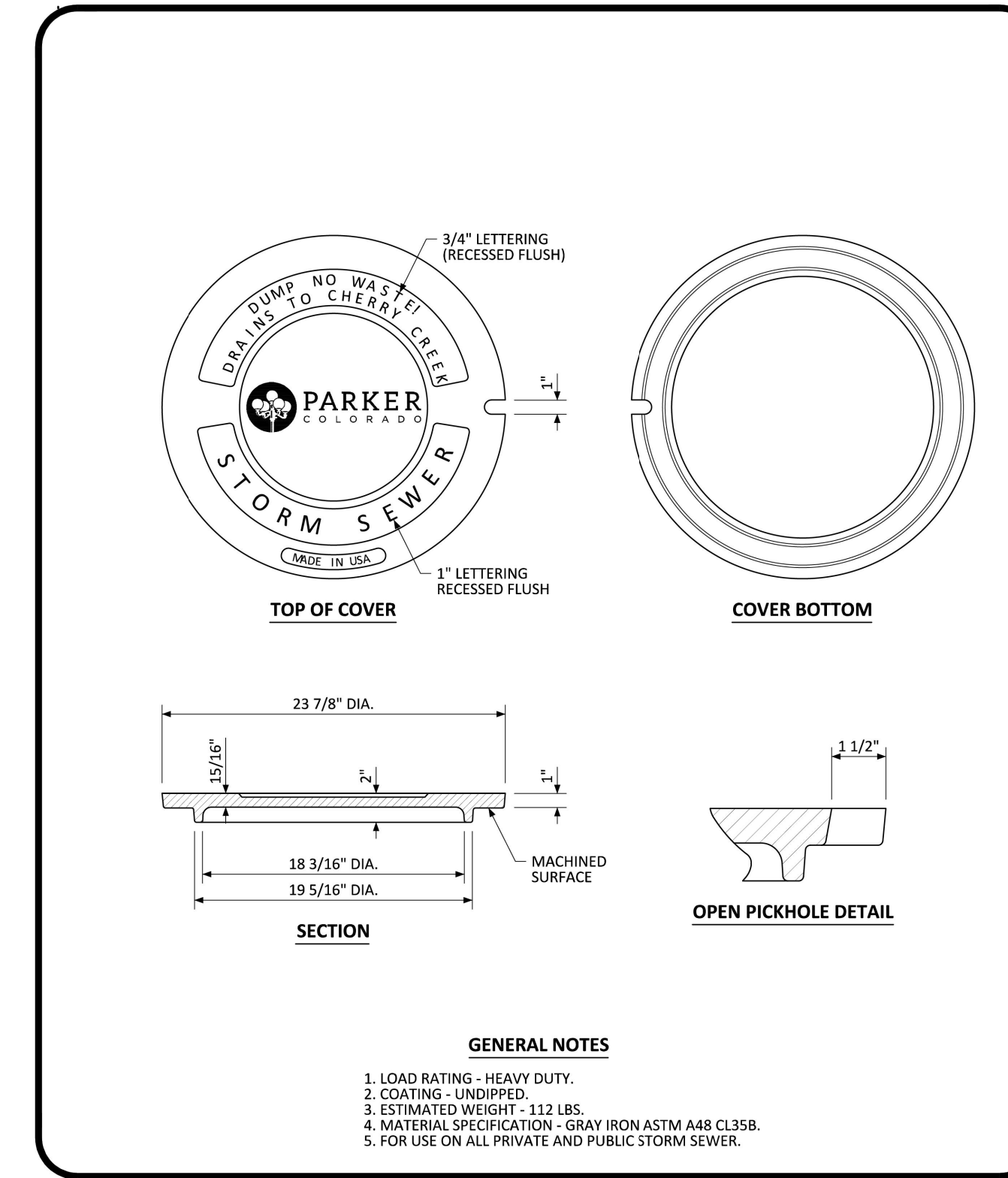


**PARKER COLORADO** COMMERCIAL DRIVEWAY WITH ATTACHED SIDEWALK STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 20 1 OF 2



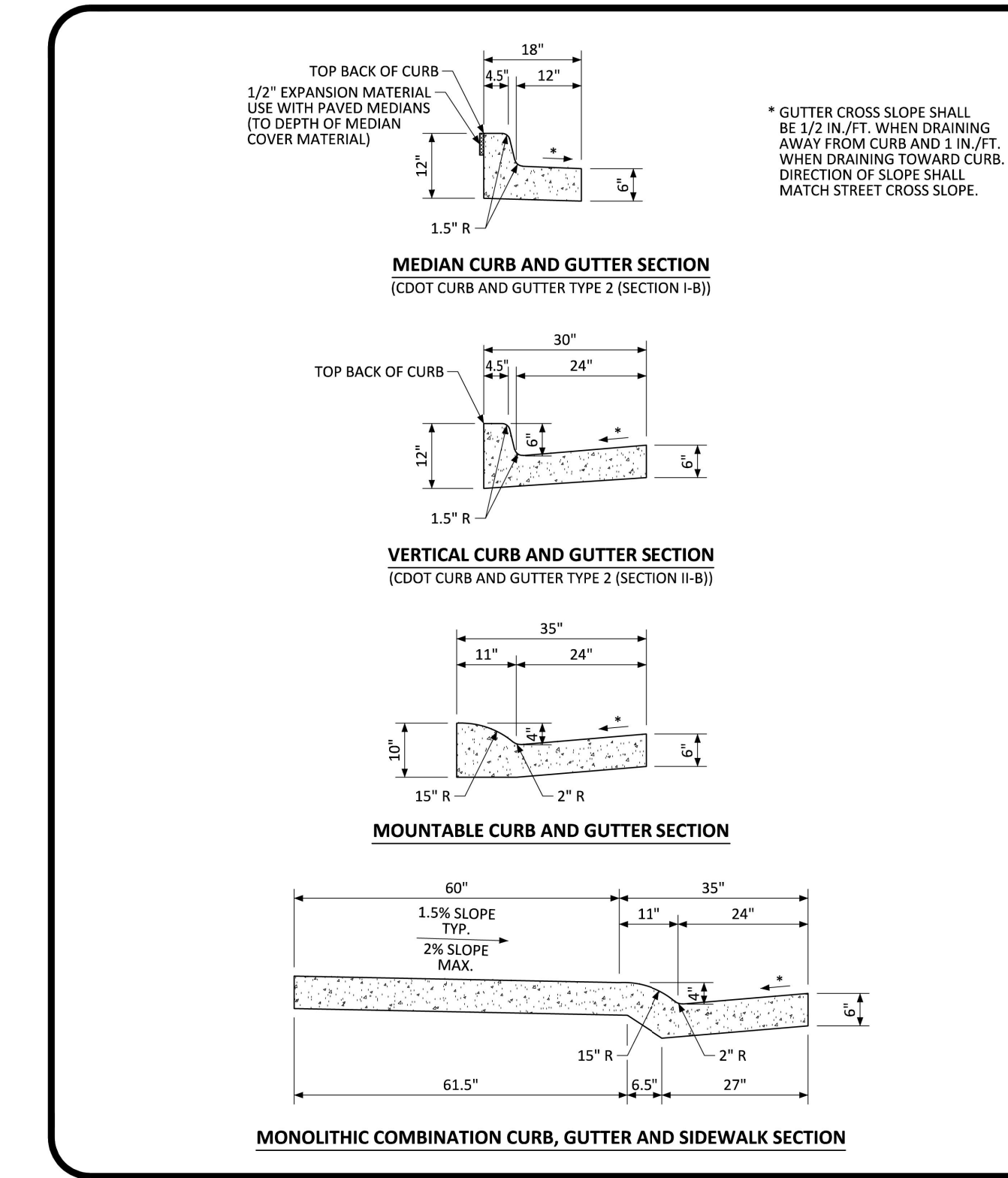
**PARKER COLORADO** COMMERCIAL DRIVEWAY WITH DETACHED SIDEWALK STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 20 2 OF 2

3 DRIVEWAY CUT  
C400



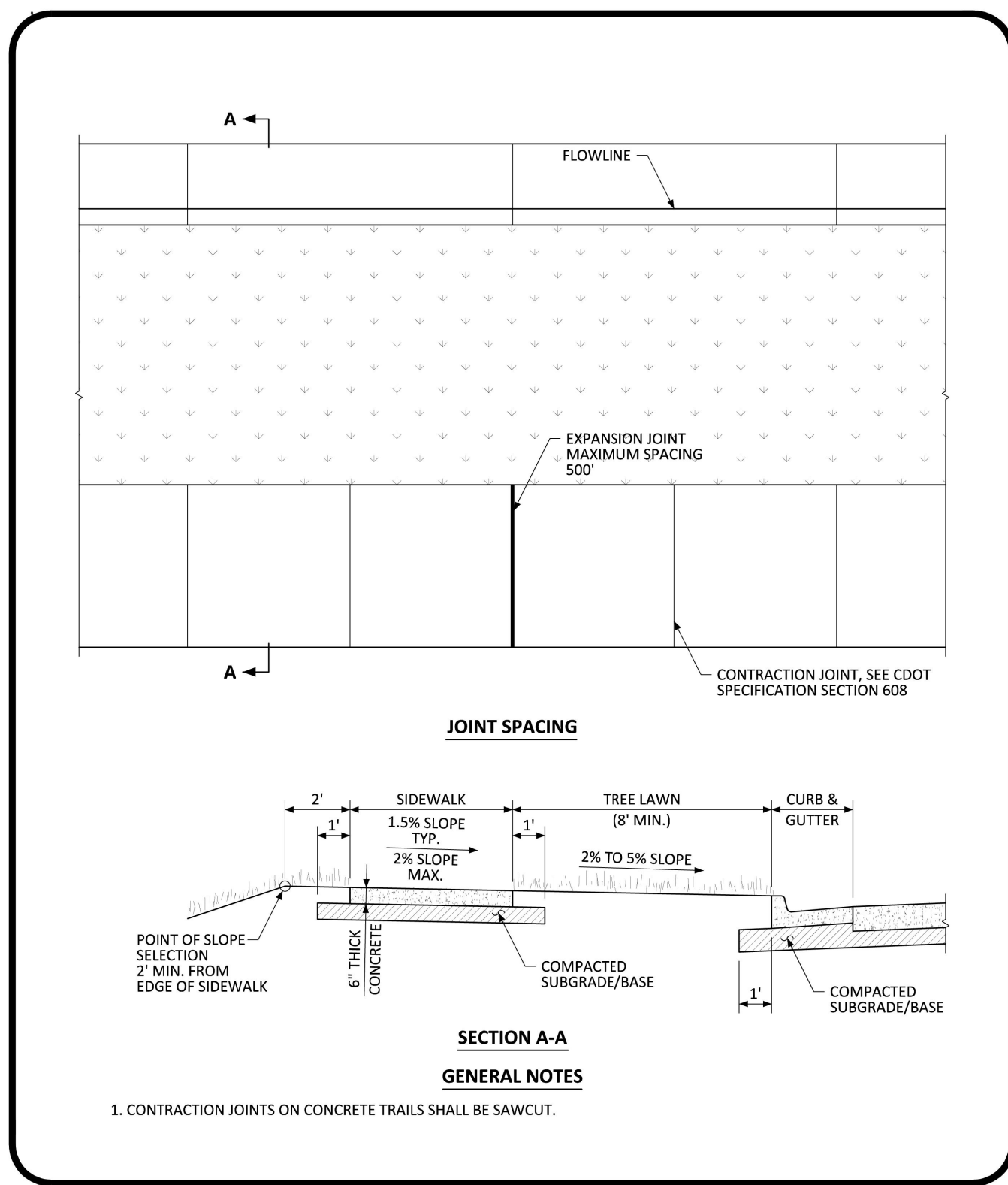
**PARKER COLORADO** MANHOLE COVER STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 33 1 OF 1

4 STORM MANHOLE  
C400



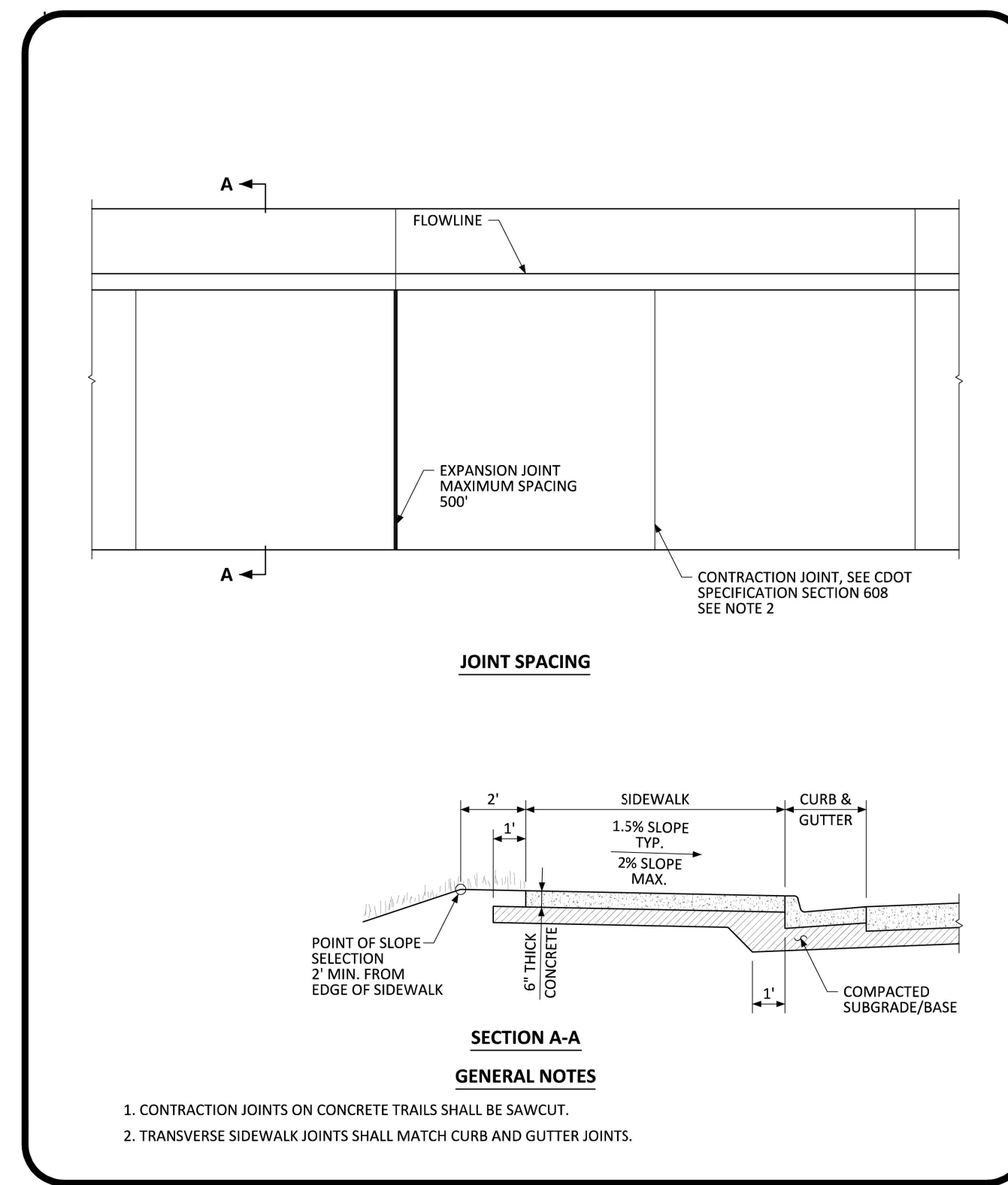
**PARKER COLORADO** CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 3 1 OF 1

5 CURB & GUTTER  
C400



**1 DETACHED SIDEWALK STANDARD DETAIL**

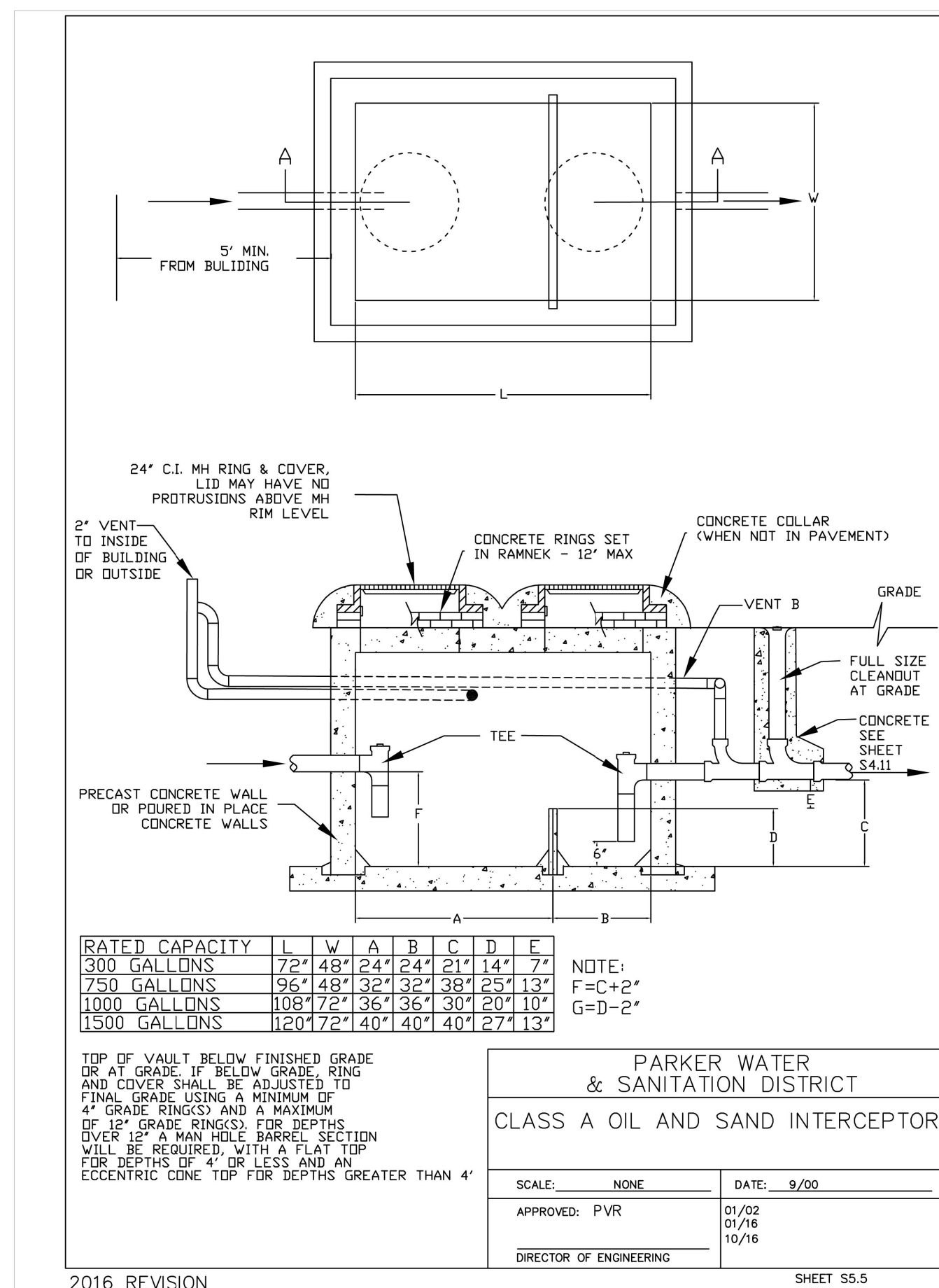
DATE NOVEMBER 2020  
DETAIL 4  
1 OF 2



**2 ATTACHED SIDEWALK STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 4  
2 OF 2

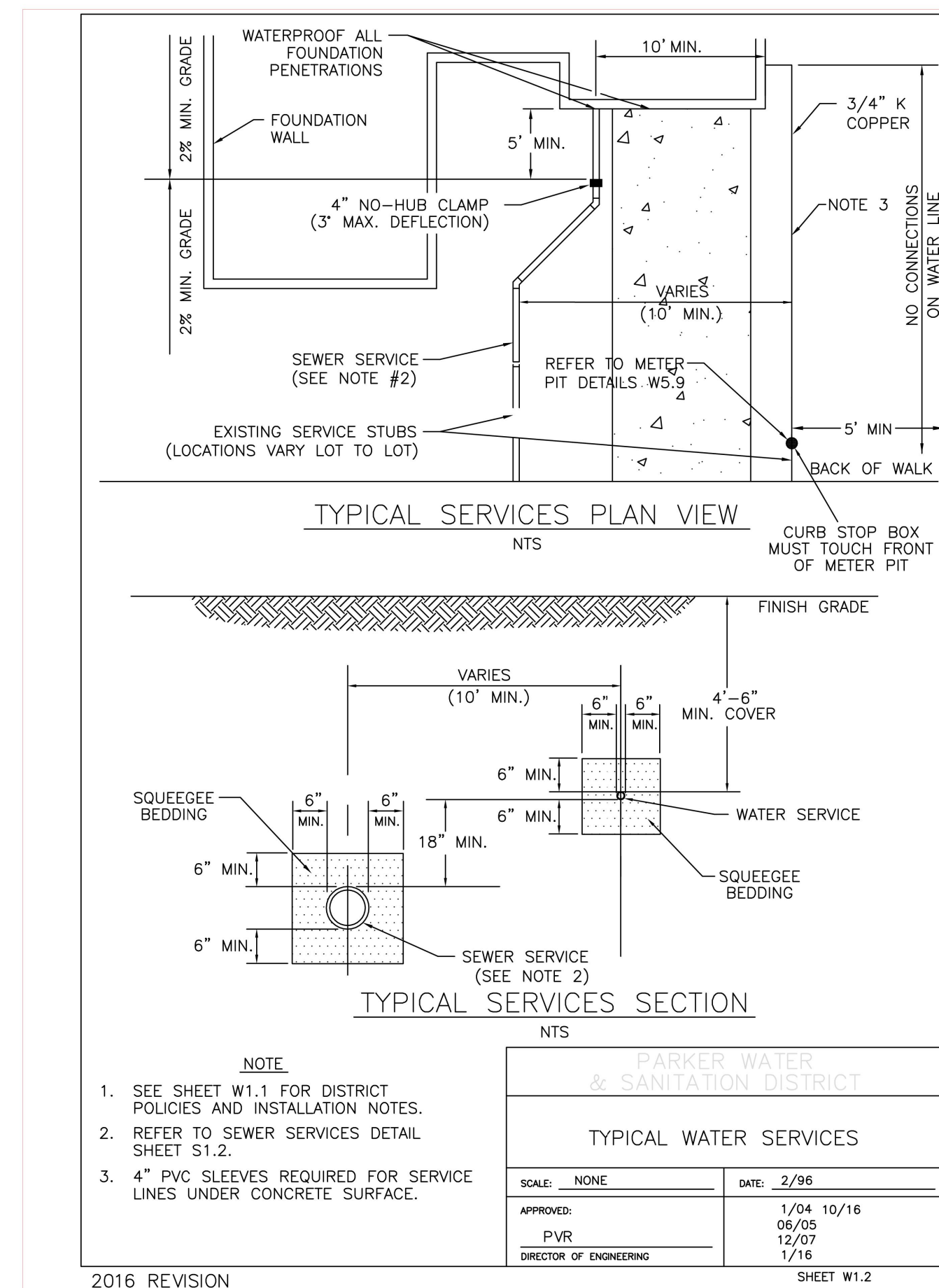
1 SIDEWALK  
C401



**3 SAND OIL INTERCEPTOR**

DATE: 9/20  
APPROVED: PVR  
DIRECTOR OF ENGINEERING

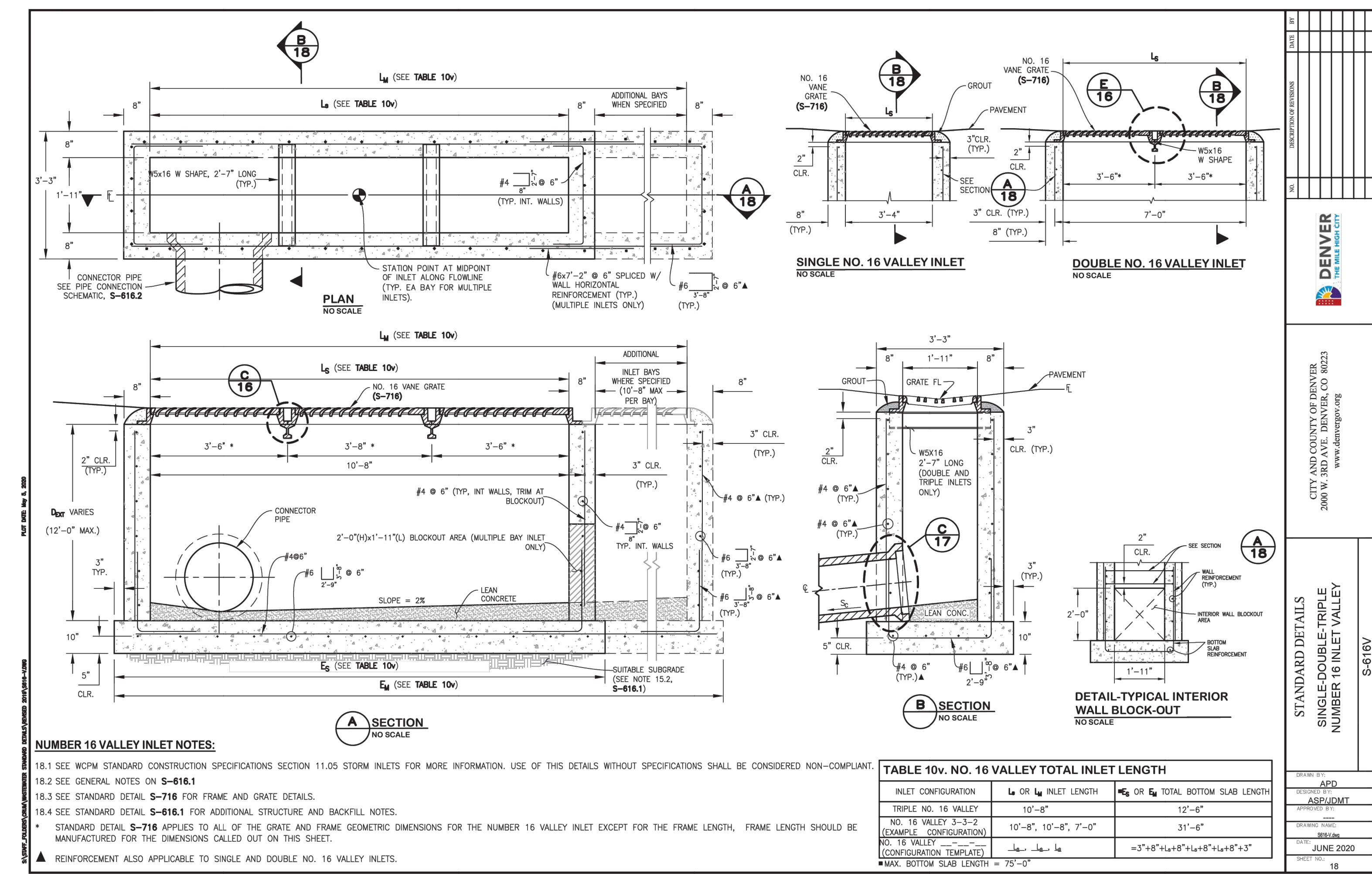
2 SAND OIL INTERCEPTOR  
C401



**4 TYPICAL WATER SERVICES**

DATE: 2/96  
APPROVED: PVR  
DIRECTOR OF ENGINEERING

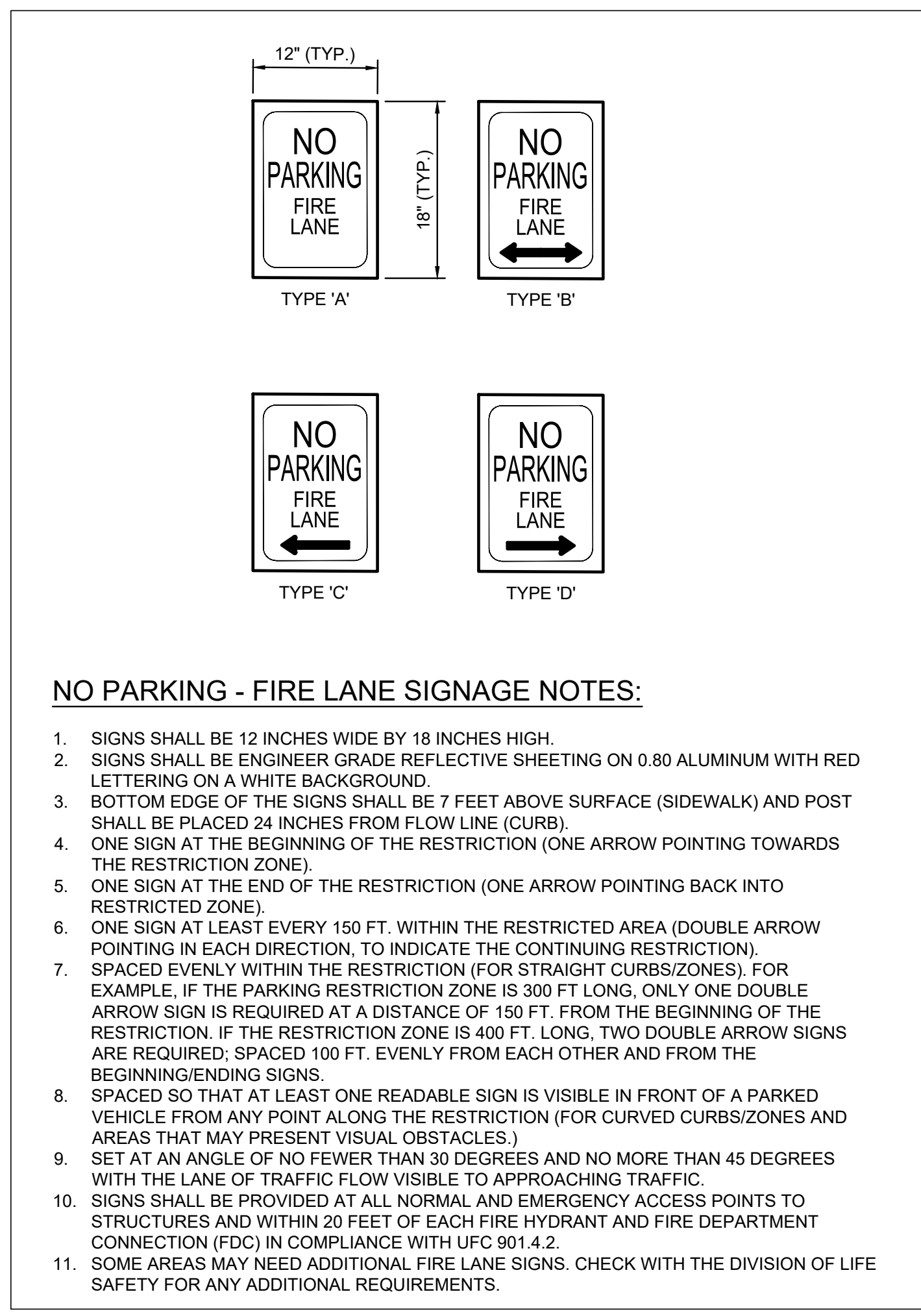
3 TYPICAL WATER SERVICES  
C401



**4 TYPE 16 STORM INLET**

DATE: JUNE 2020  
APPROVED: APD  
DIRECTOR OF ENGINEERING

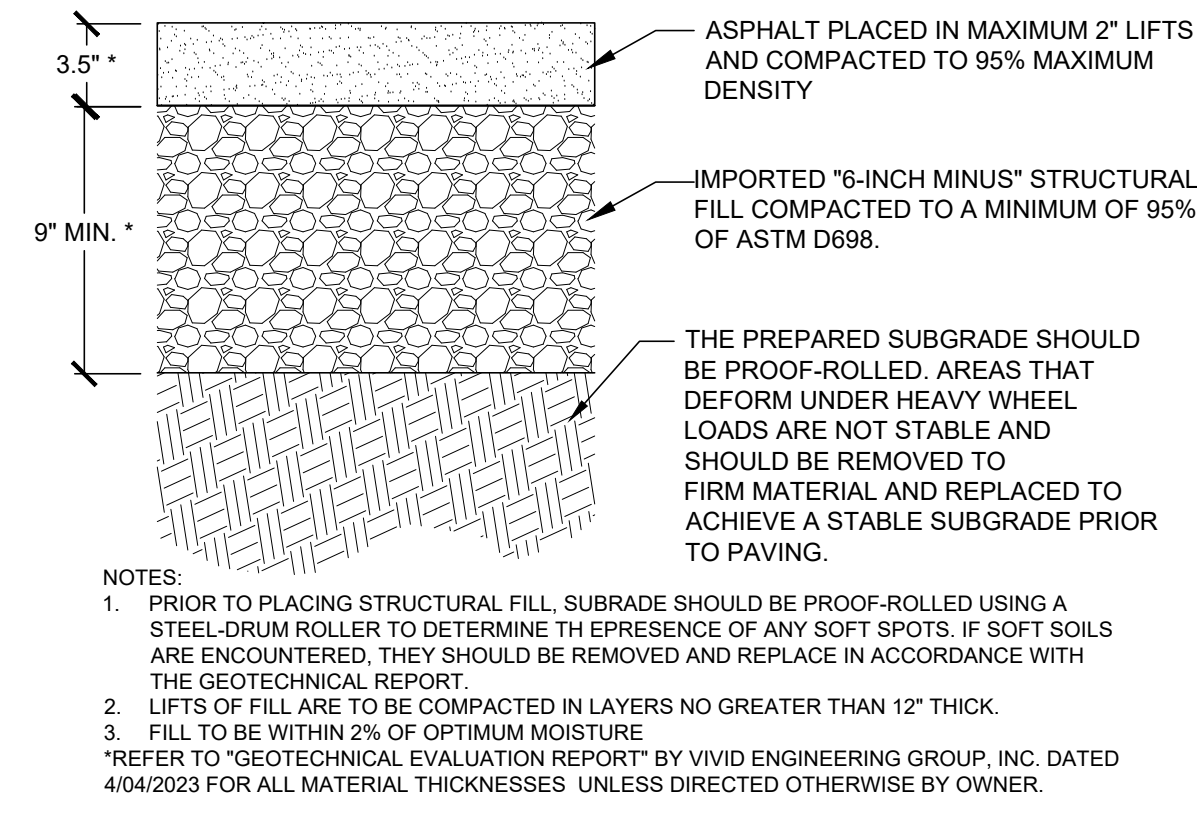
4 TYPE 16 STORM INLET  
C401



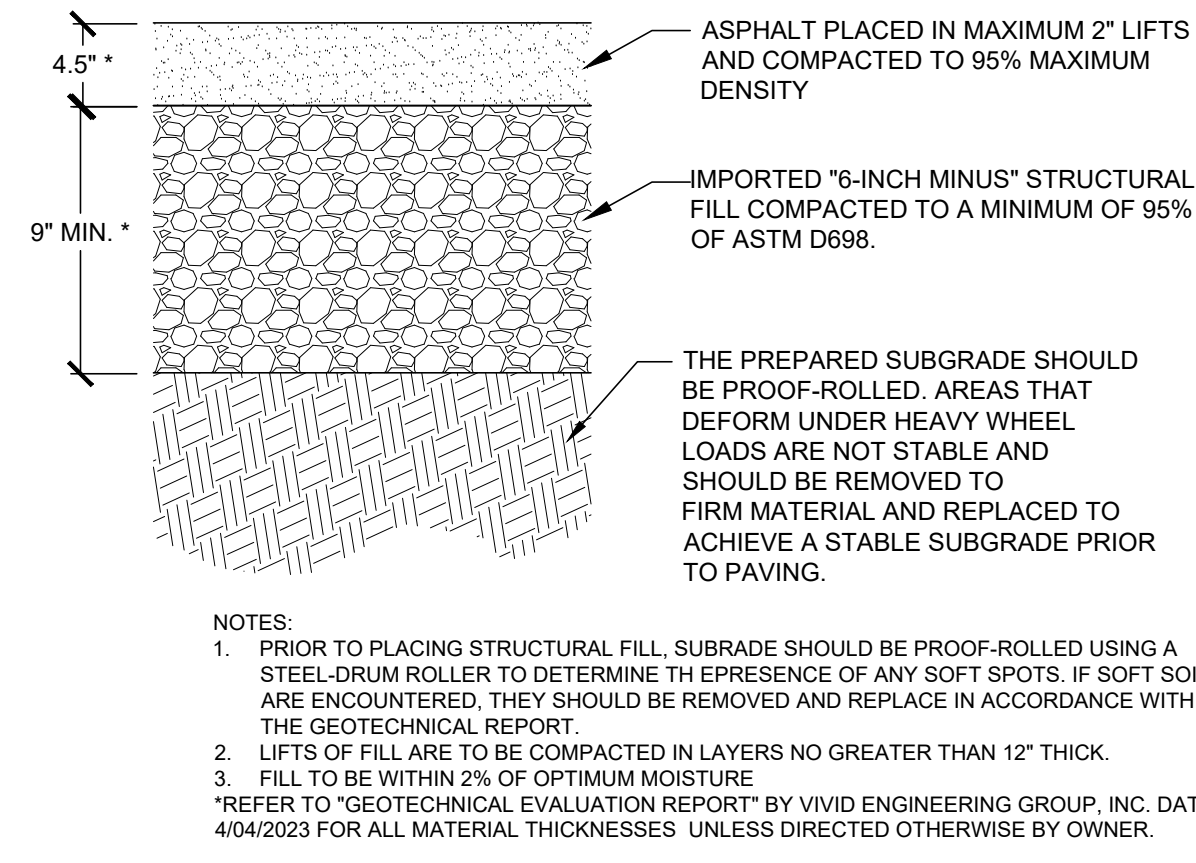
**5 NO PARKING FIRE LANE SIGN**

DATE: JUNE 2020  
APPROVED: APD  
DIRECTOR OF ENGINEERING

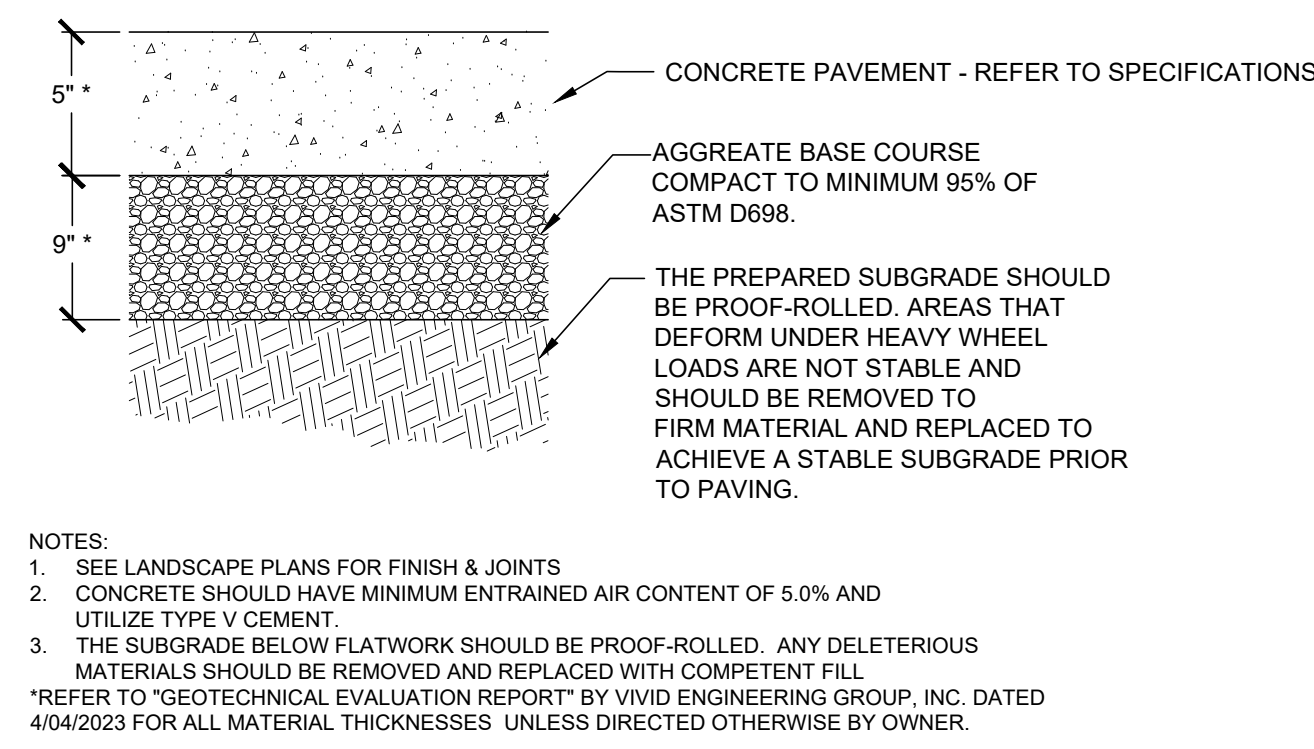
5 NO PARKING FIRE LANE SIGN  
C401



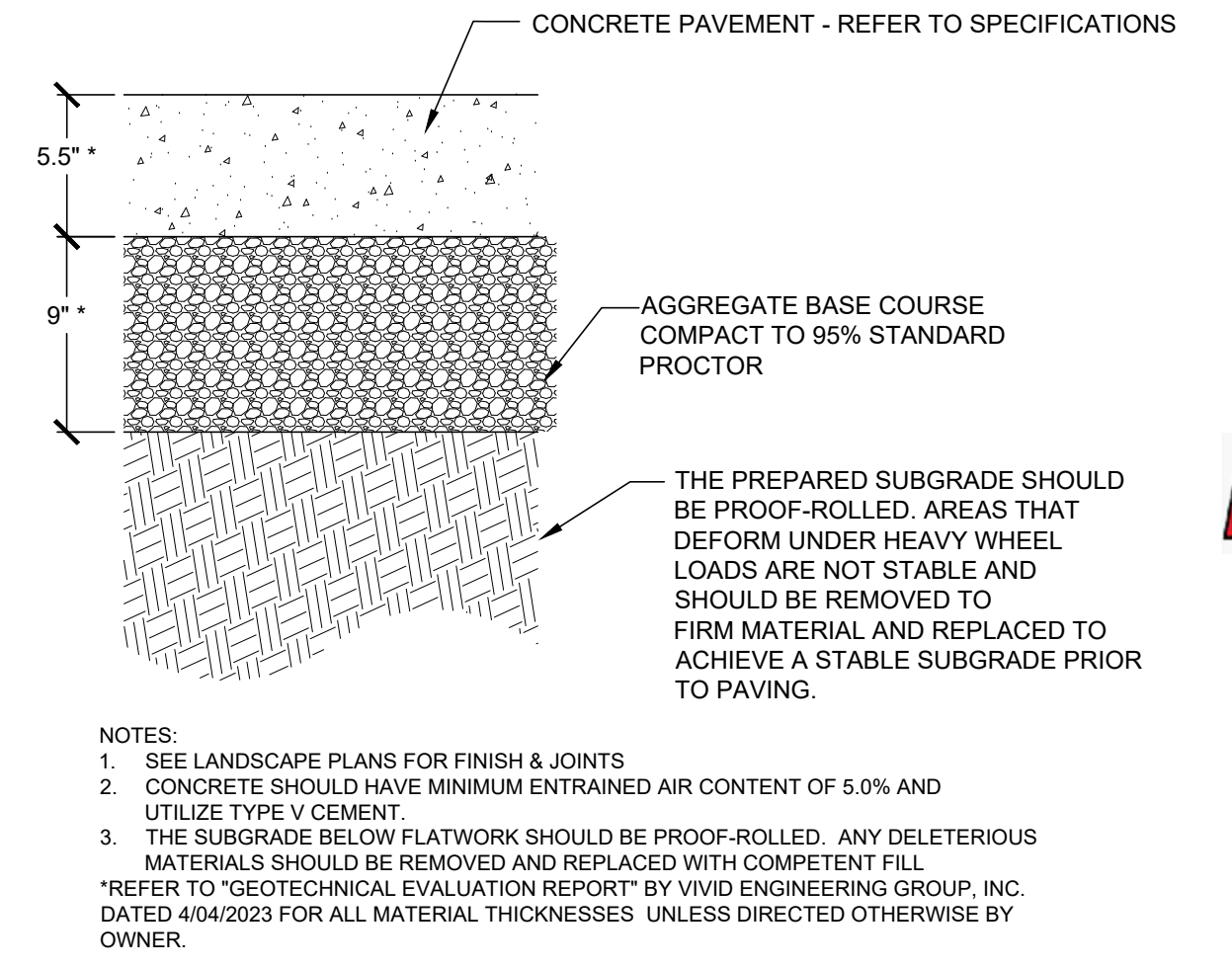
1 ASPHALT PAVEMENT STANDARD DUTY



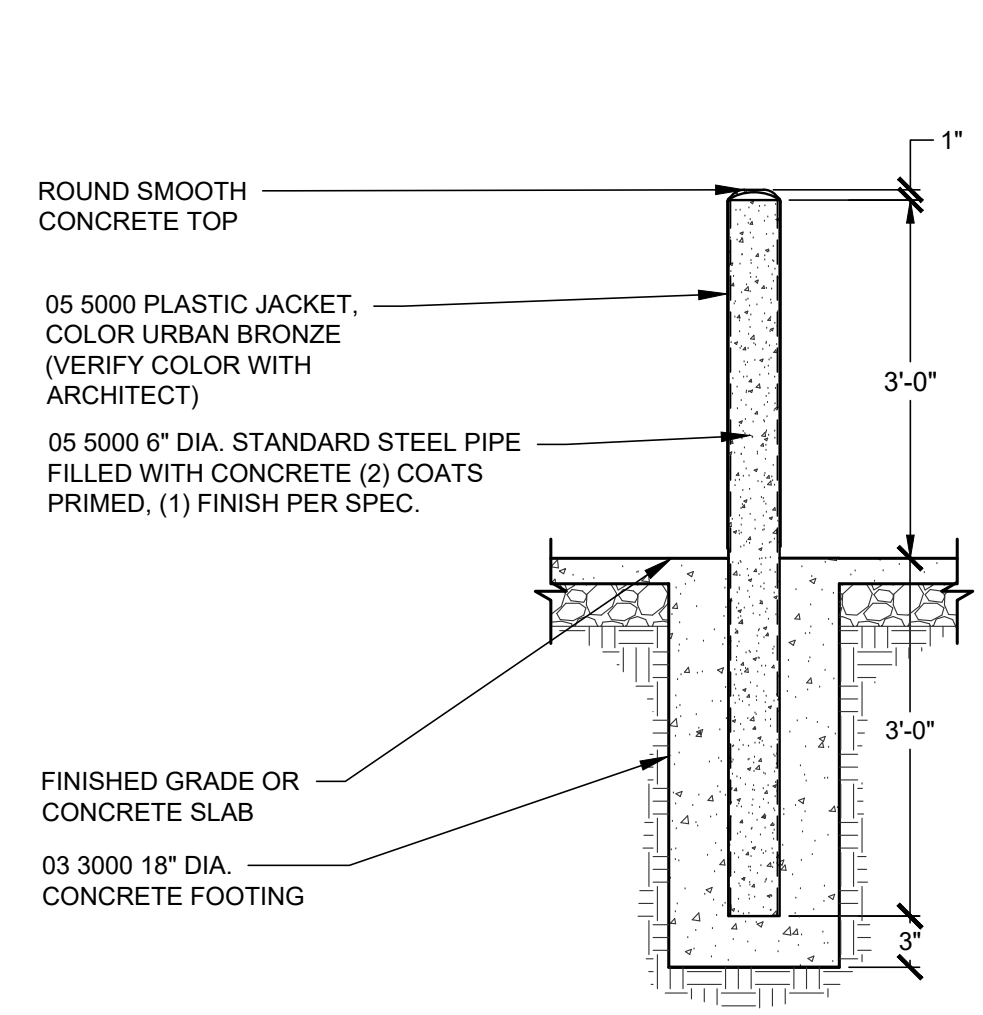
2 ASPHALT PAVEMENT HEAVY DUTY



3 CONCRETE PAVEMENT STANDARD DUTY

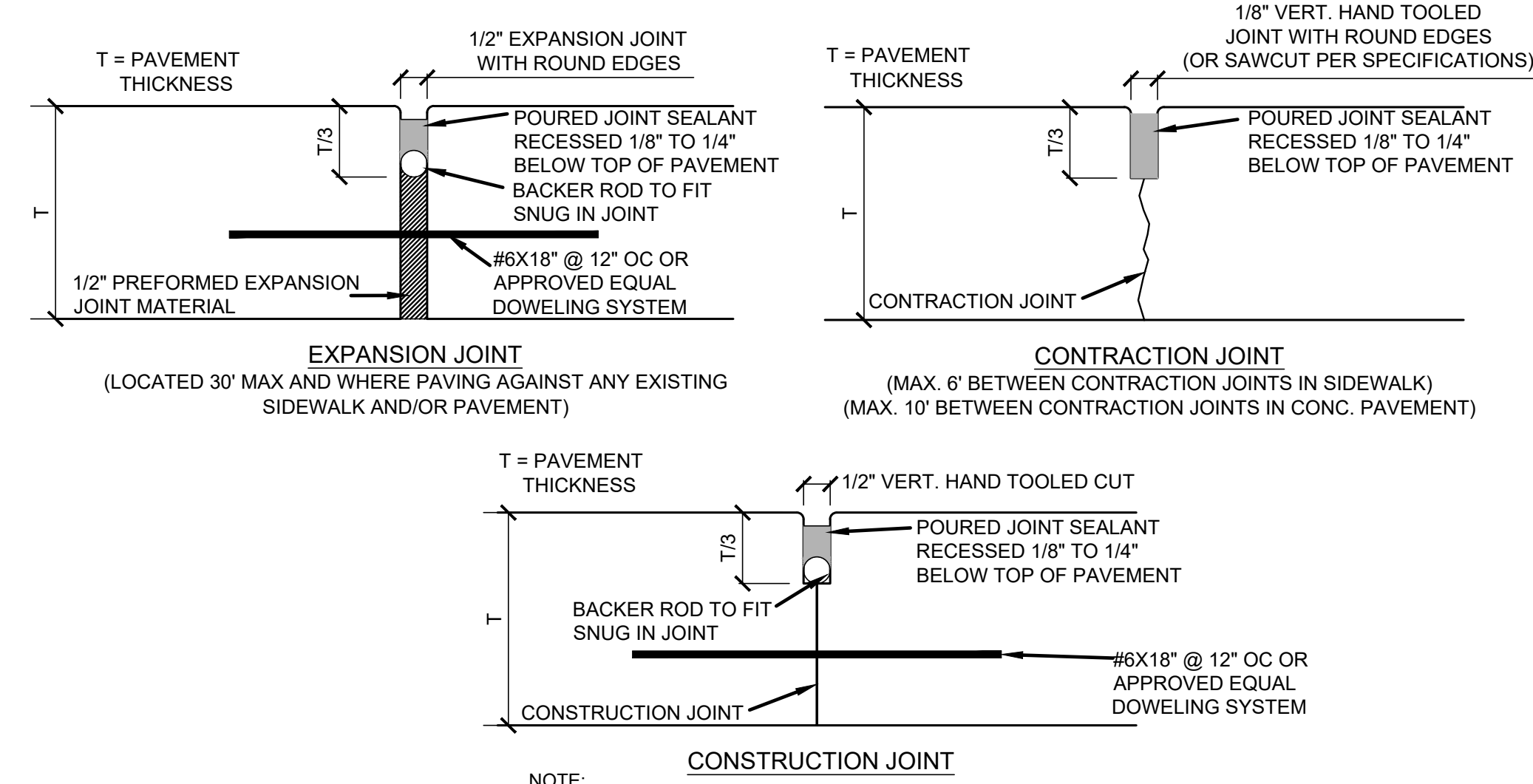


4 CONCRETE PAVEMENT HEAVY DUTY



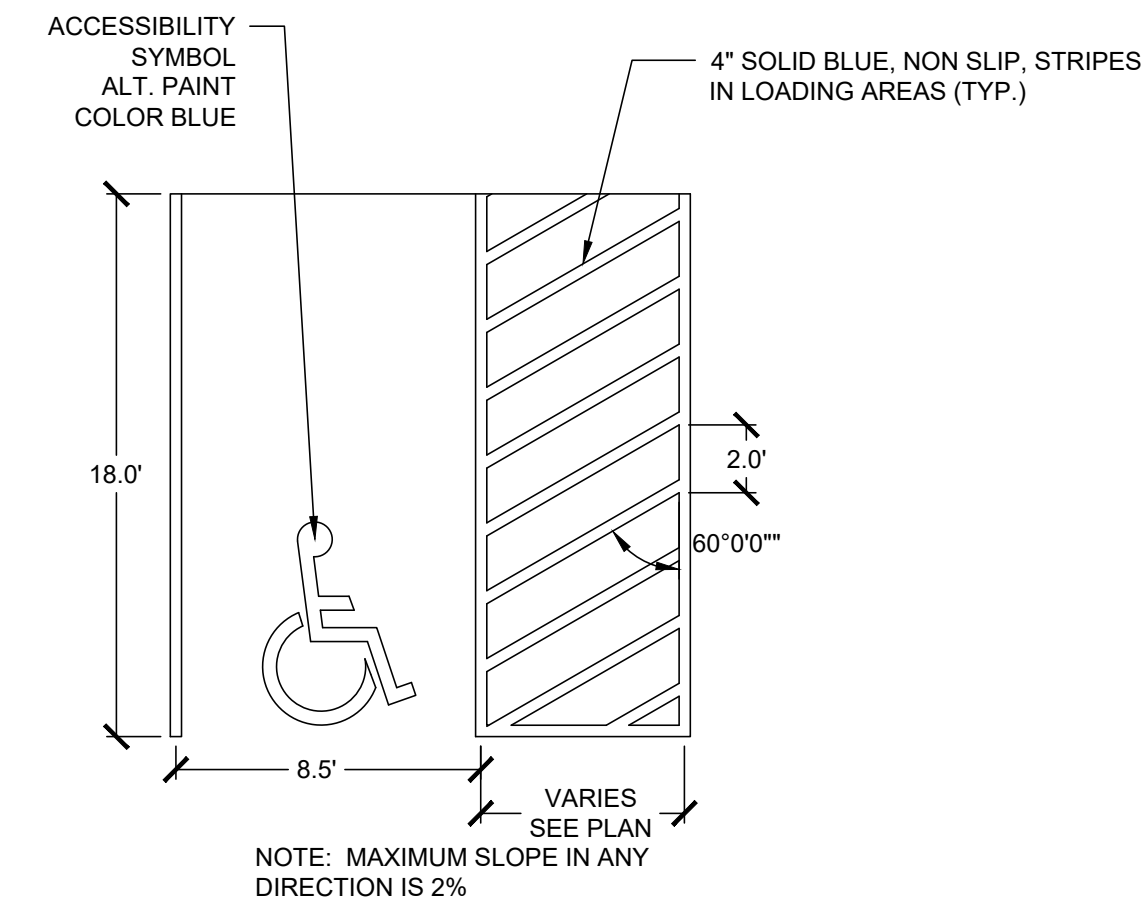
5 6" BOLLARD

EXTERIOR BOLLARD NOTES:  
 1. 05 5000 PLASTIC JACKET, COLOR URBAN BRONZE (VERIFY COLOR WITH ARCHITECT).  
 2. ROUND SMOOTH CONCRETE TOP  
 3. 05 5000 6" DIA. STANDARD STEEL PIPE FILLED WITH CONCRETE (2 COATS PRIMED TO EXTEND 3'-0" ABOVE FINISHED GRADE, UNLESS NOTED OTHERWISE ON PLANS.

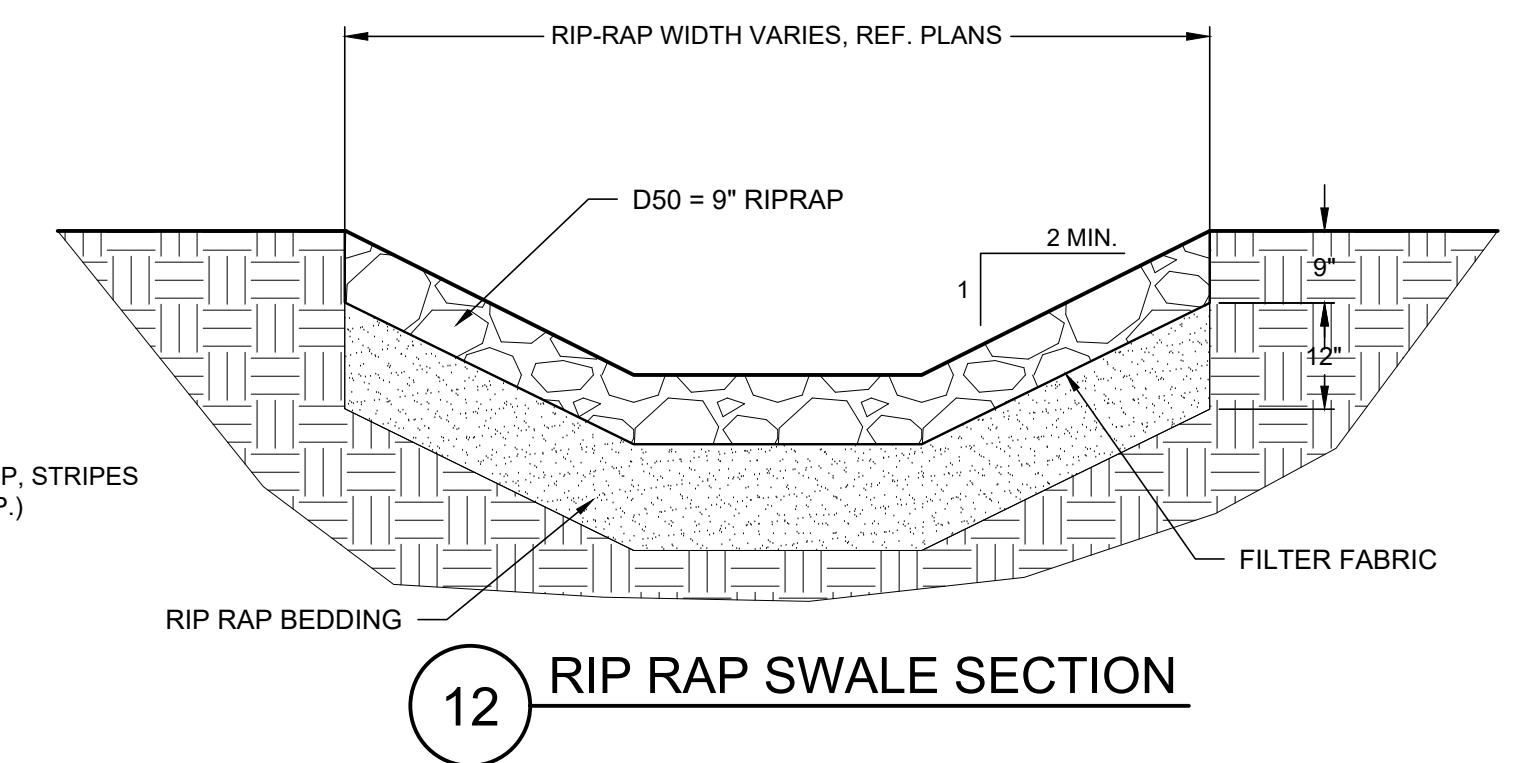


8 CONCRETE JOINTING

NOTE:  
 1. ALL CONCRETE SURFACE TO HAVE LIGHT BROOM FINISH.  
 2. CONTRACTOR TO PROVIDE A CONSTRUCTION JOINT WHERE CONCRETE PAVEMENT MEETS CURB AND GUTTER. (DOWELING NOT REQUIRED AT CURB AND GUTTER)  
 3. PROVIDE EXPANSION JOINT FILLER AT BUILDING PER SPECIFICATIONS. DOWEL TO BUILDING ONLY PER STRUCTURAL DRAWINGS



7 ADA STRIPING



12 RIP RAP SWALE SECTION

KeyKeeper Withstand Product Specifications

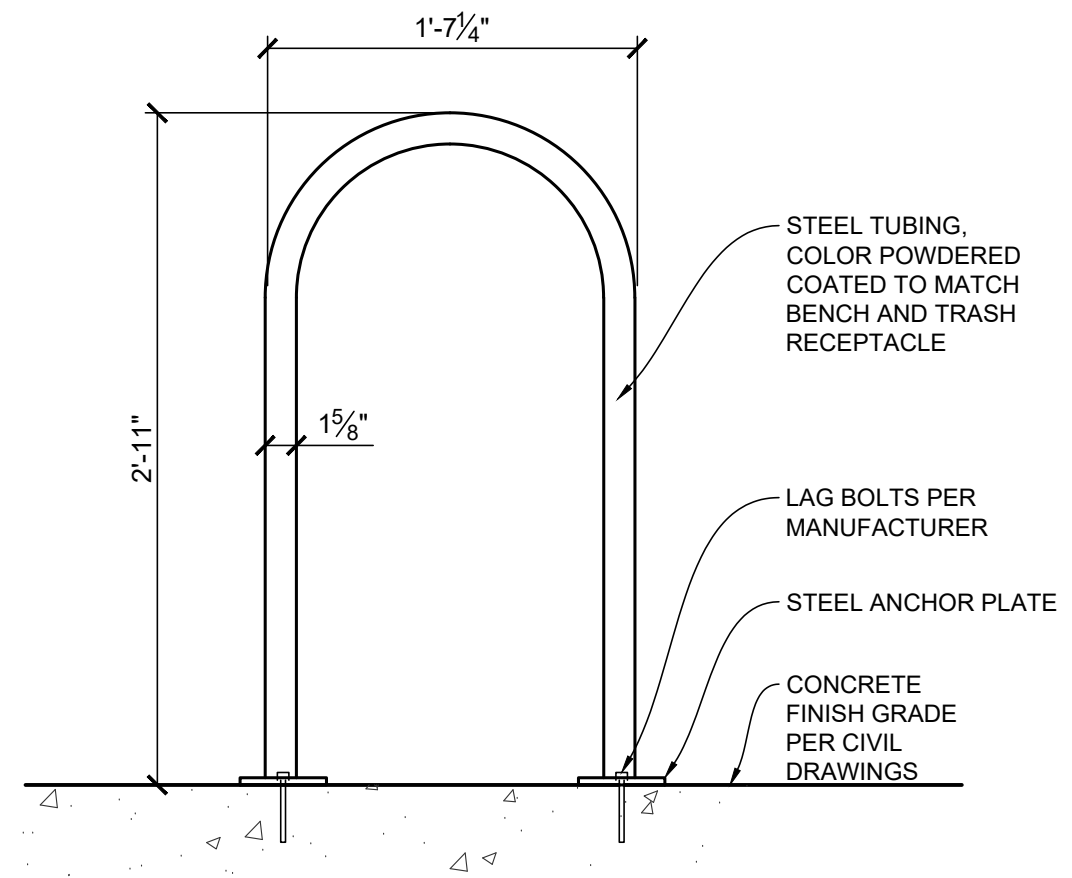
KeyKeeper Withstand is a freestanding version of our widely used KeyKeeper key drop system. KeyKeeper Withstand mounts to a concrete slab using four high-tensile spikes. KeyKeeper Withstand accepts approximately 100 sets of keys for after hour drops. KeyKeeper Withstand normally ships in a gray epoxy finish.



Weight: 87 lbs., Shipping: 1 Carton, ships via UPS  
 Installation Time: 1 hour on average  
 Compartment Size: Holds approx. 100 sets of keys  
 Security: 1/2" plate steel fabrication, Master 6270 High Security padlock  
 Mounting: Bolts to concrete using four high tensile Spikes

To order, call us toll free at 1-800-666-1283  
 Secure Industries / KeyKeeper  
 57 Galaxy Blvd., Bldg. 6, Toronto, ON M9W 5P1

11 KEYKEEPER WITH STAND



8 BIKE RACK

NOTE:  
 1. MAGLIN MBR500-00003 (MBR500-S), SURFACE MOUNTED, COLOR TO MATCH BENCH AND TRASH.  
 2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



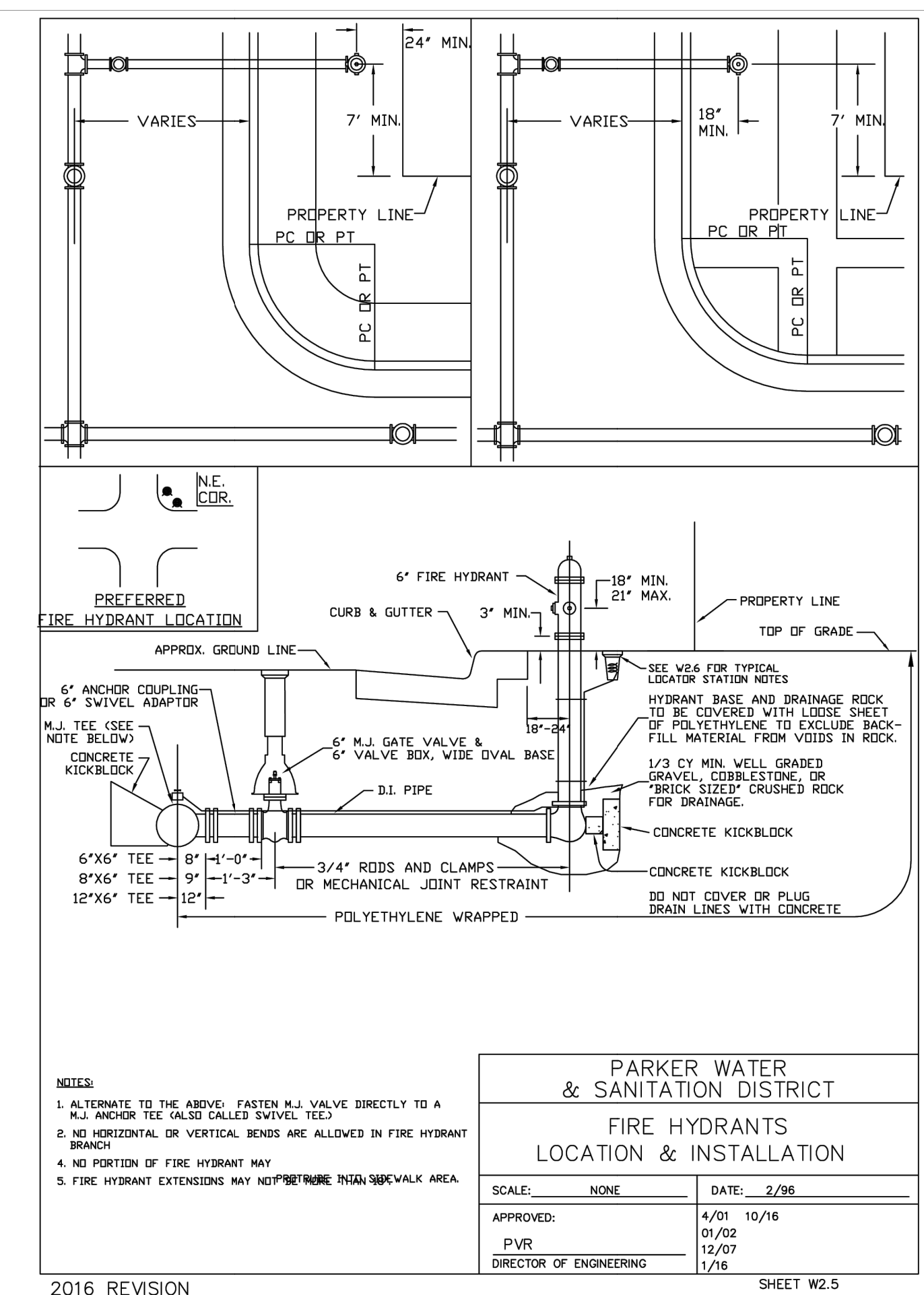
9 BENCH

NOTE:  
 1. GLOBAL INDUSTRIAL: 6' OUTDOOR PARK BENCH WITH BLACK, STEEL SLAT, BLACK #79F694854BK.  
 2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.  
 3. SEE SHEET A150 FOR LOCATIONS(S).

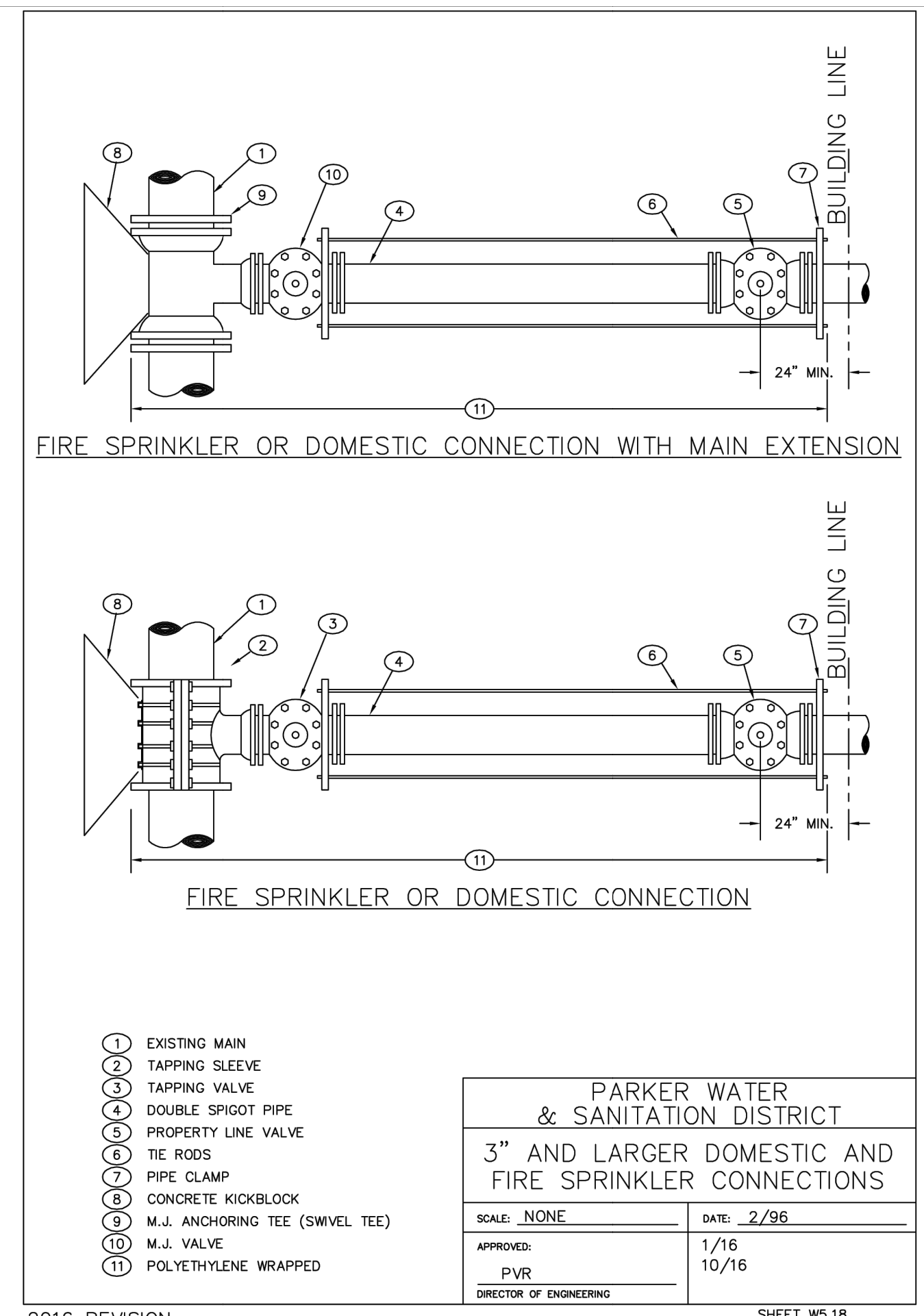
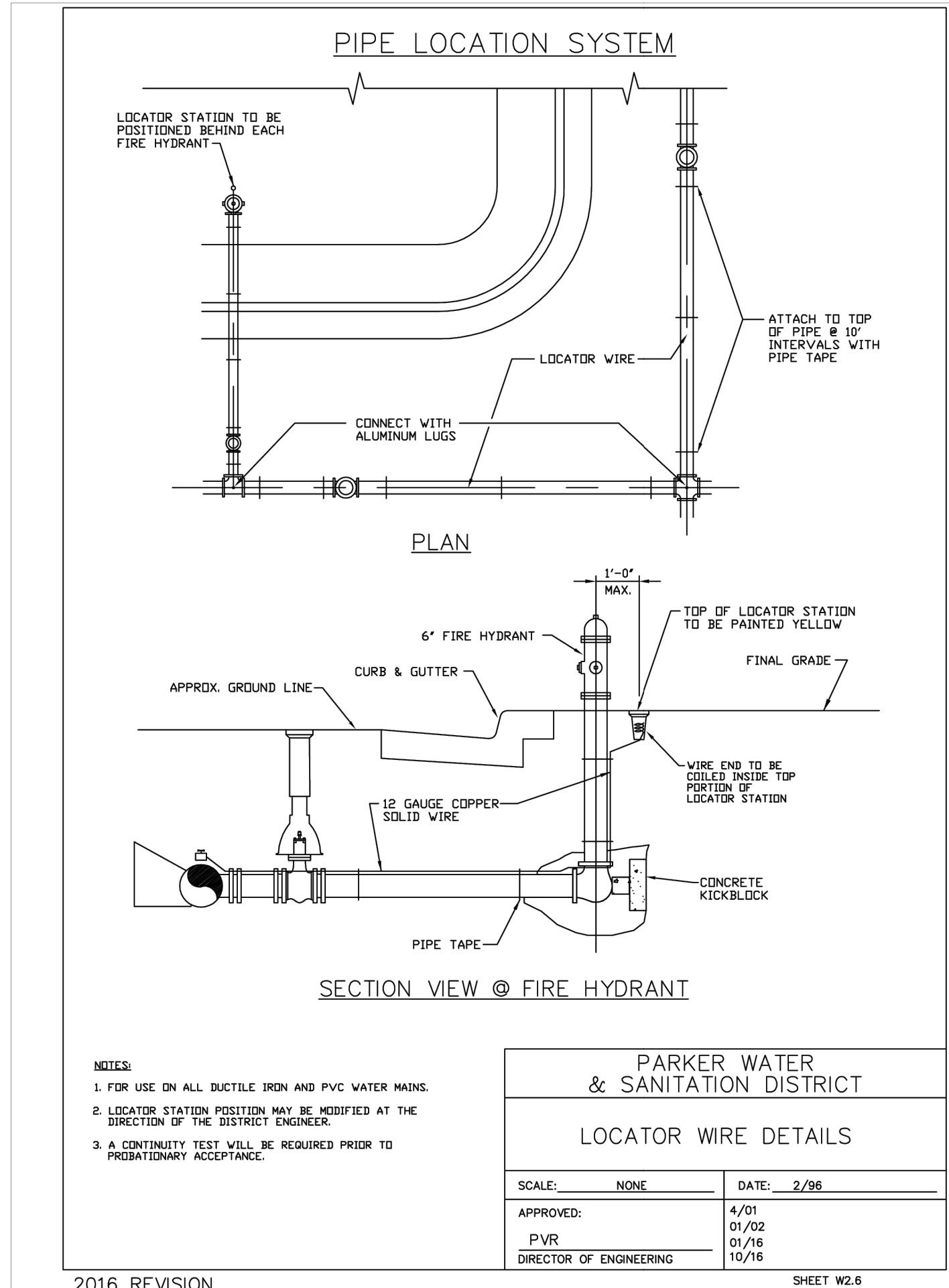


10 TRASH RECEPTACLE

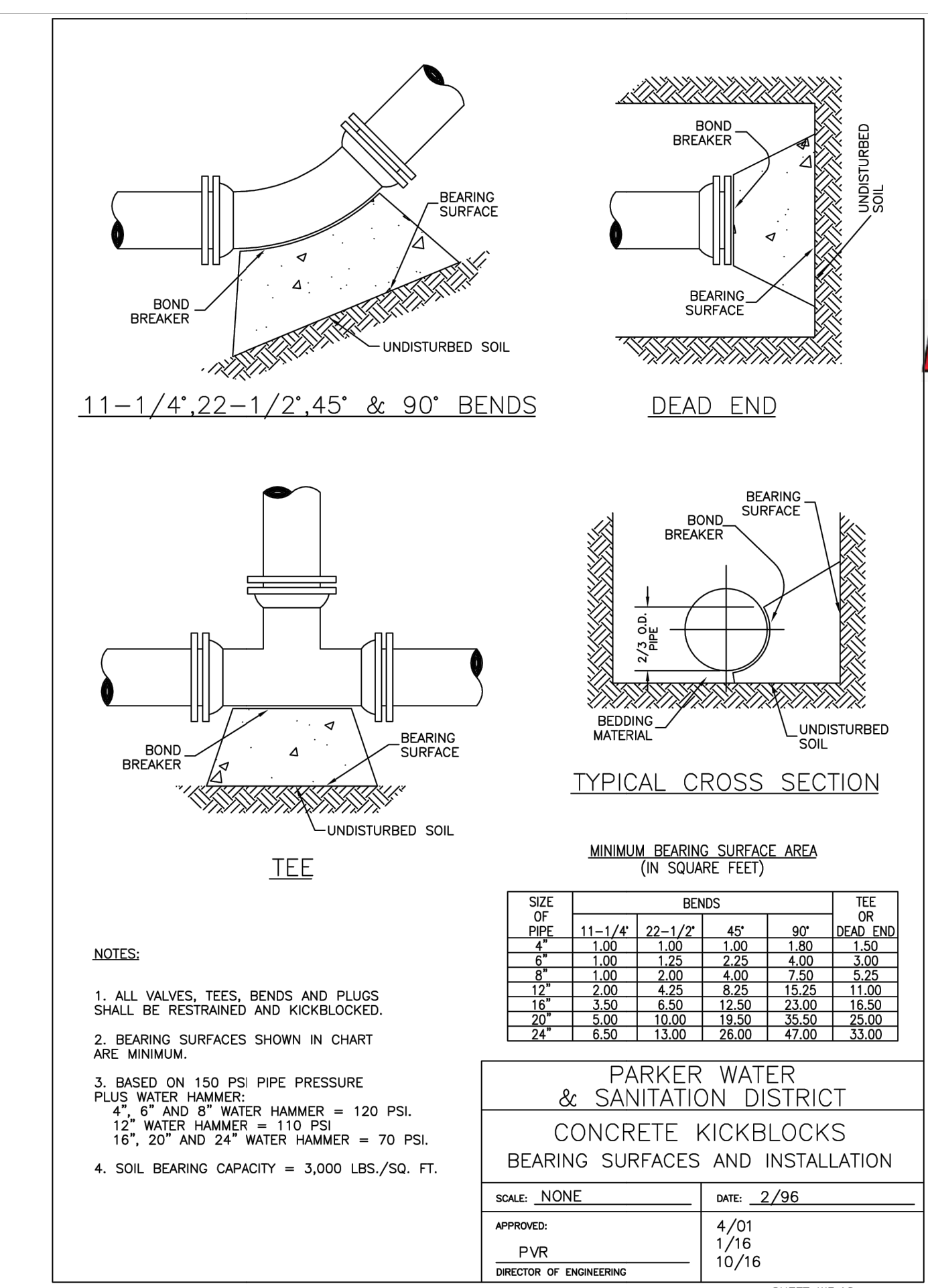
NOTE:  
 1. GLOBAL INDUSTRIAL: OUTDOOR SLATTED STEEL TRASH CAN WITH RAIN BONNET LID, 36 GALLON, BLACK #79F260804BK.  
 2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.  
 3. SEE SHEET A150 FOR LOCATIONS(S).



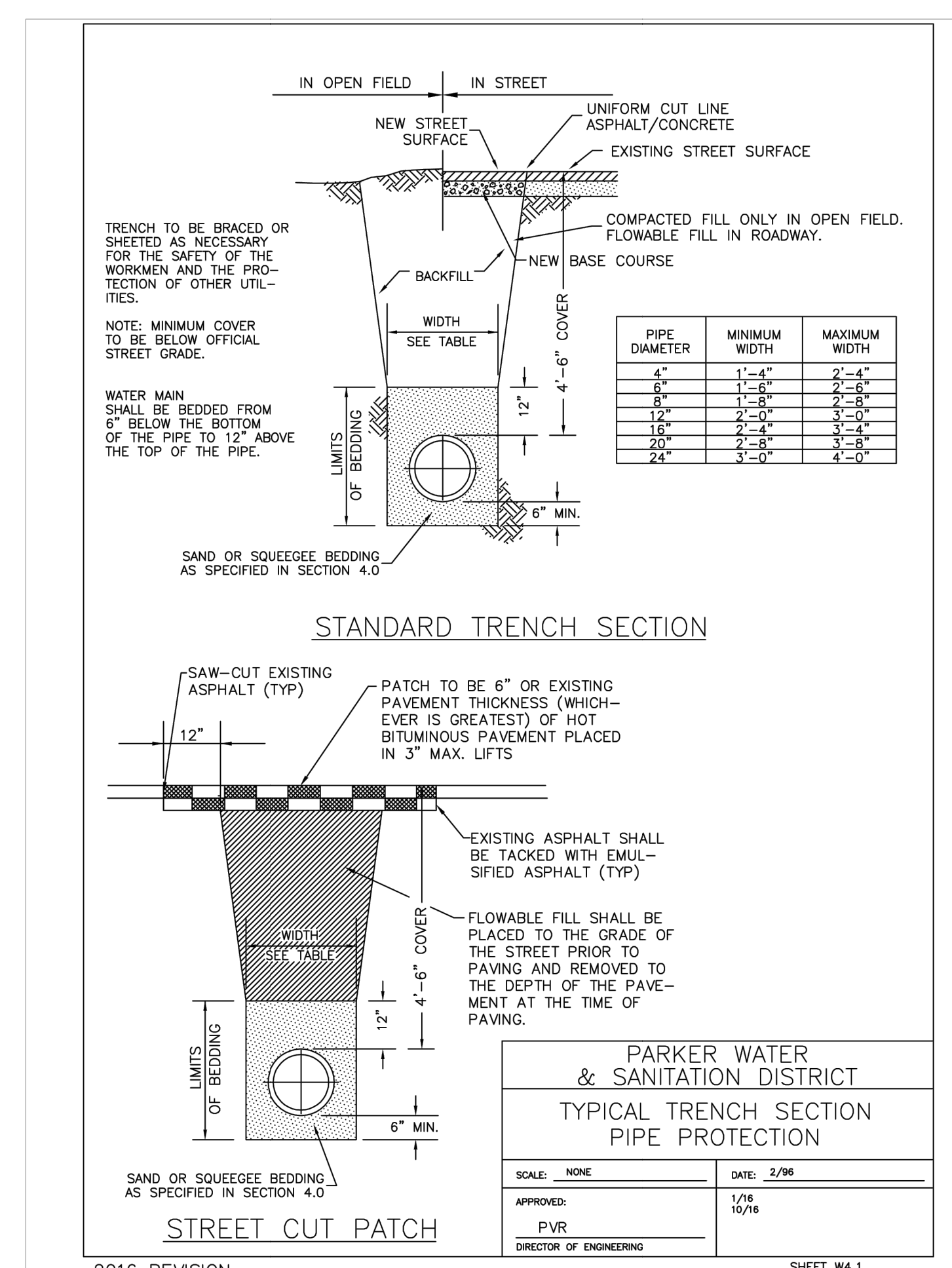
1 FIRE HYDRANT



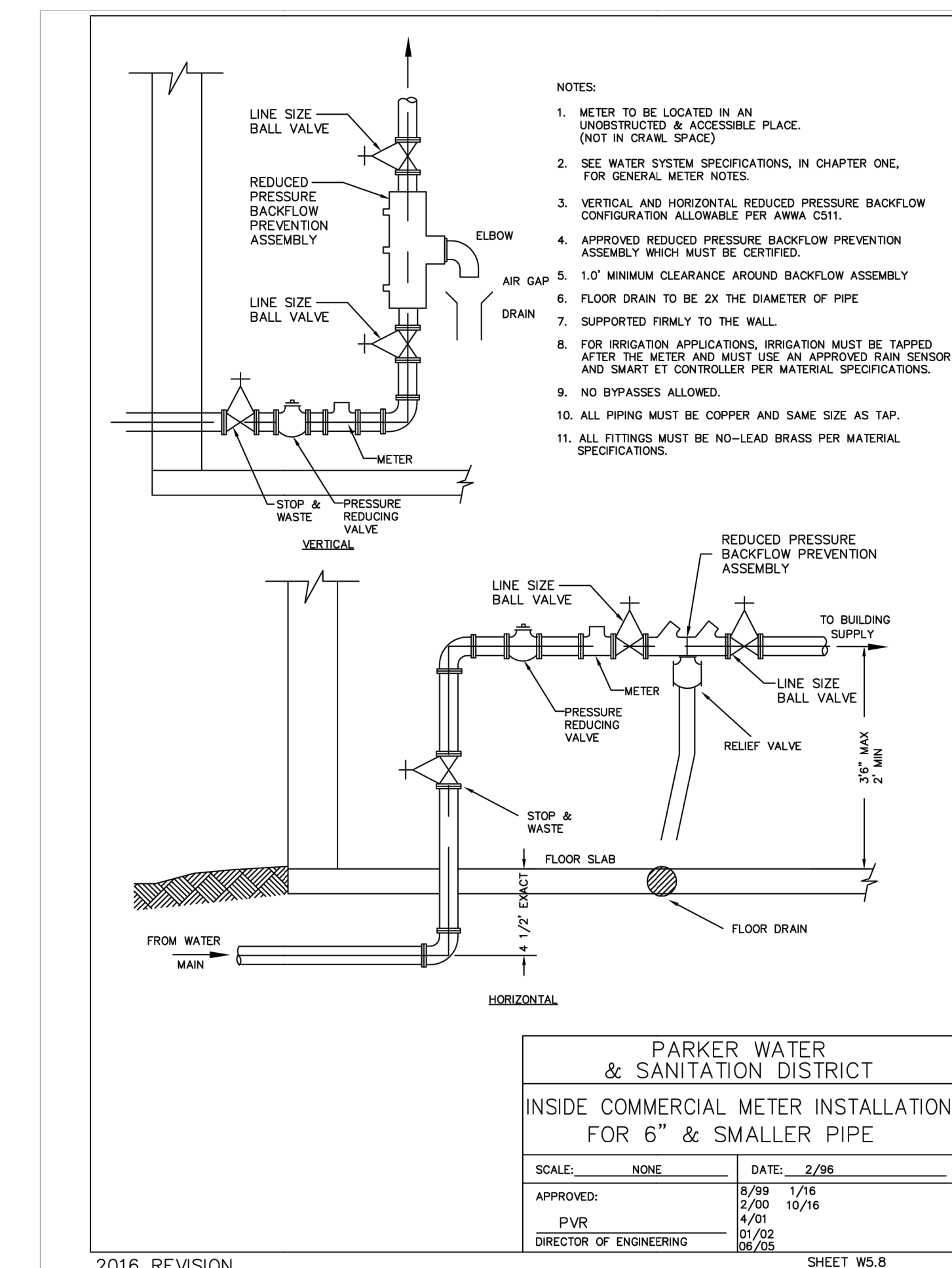
2 FIRE SERVICE



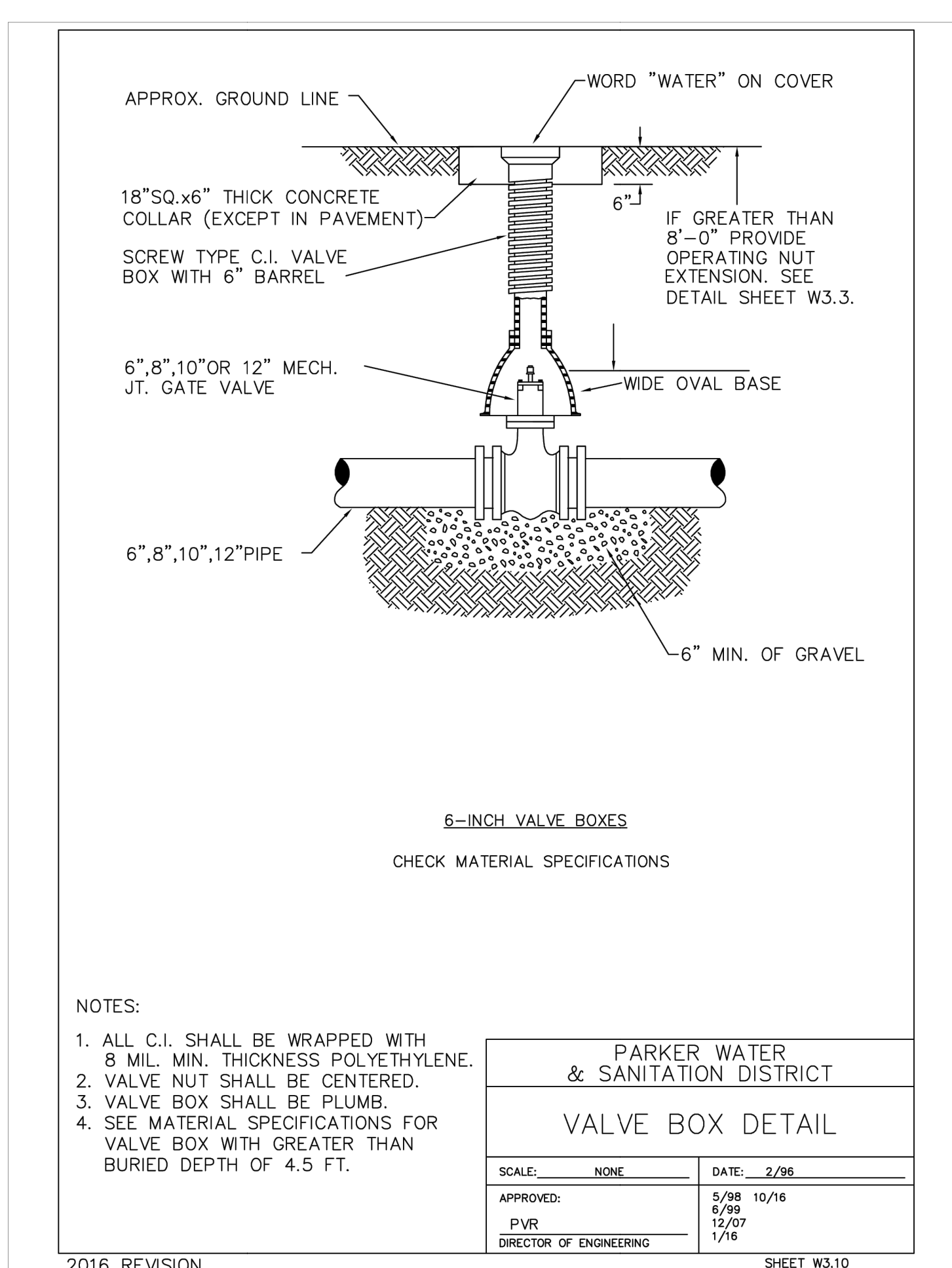
3 THRUST BLOCK



4 UTILITY TRENCH



5 WATER METER



6 VALVE BOX



- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
- THE CONTRACTOR SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72" (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGEE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
  - 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
  - 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLY FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 1/8" INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
- JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
- EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
- PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
- TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
- PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

12236 SLICEROO DR, PARKER, CO 80134  
6-BAY LINEAR STORE  
LES SCHWAB TIRE CENTER - PARKER, CO

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-B-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
- GRADING SECURITY RELEASE REQUIREMENTS:
  - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
    - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
    - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
    - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
    - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
  - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
  - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
  - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
  - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE, SEASONALLY SCATTERED, WIDELY DISTRIBUTED, WIDELY SCATTERED VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
  - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
  - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
  - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
  - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. SUCH SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
  - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**GEN NOTES** 1 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**GEN NOTES** 2 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**GEN NOTES** 3 OF 4 Oct. 2013

- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
    - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
    - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE, SEASONALLY SCATTERED, WIDELY DISTRIBUTED, WIDELY SCATTERED VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
    - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
    - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
    - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
    - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
    - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:**
- DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
- NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT, EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
  - ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
  - THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**GEN NOTES** 4 OF 4 Oct. 2013

**PIPE INSTALLATION**

**PIPE INSTALLATION (WITH 0.7 PROJECTION RATIO)**

NOTE: Be is the OUTSIDE DIMENSION FOR DIAMETER, SPAN OR RISE.

CIRCULAR (CR)				VERTICAL ELLIPTICAL (VE)				HORIZONTAL ELLIPTICAL (HE)			
PIPE SIZE - $\Delta$ (INSIDE DIA)	WALL THICKNESS (INSIDE DIA)	0.3 $\Delta$ (OUTSIDE DIA)	0.3 $\Delta$ (OUTSIDE DIA)	SPAN	RISE	WALL THICKNESS	0.3 $\Delta$ (OUTSIDE RISE)	SPAN	RISE	WALL THICKNESS	0.3 $\Delta$ (OUTSIDE RISE)
IN.	IN.	FT.	FT.	IN.	IN.	IN.	FT.	IN.	IN.	IN.	FT.
12	2	0.40						23	14	2-3/4	0.49
15	2-1/4	0.49						30	19	3-1/4	0.73
18	2-1/2	0.58						34	22	3-1/2	0.63
21	2-3/4	0.66						38	24	3-3/4	0.79
24	3	0.75						45	29	4-1/2	0.95
27	3-1/4	0.84		29	45	4-1/2	1.35	45	29	4-1/2	0.95
30	3-1/2	0.92						53	34	5	1.10
33	3-3/4	1.01						60	38	5-1/2	1.23
36	4	1.10		42	68	5	1.58	60	38	5-1/2	1.23
42	4-1/2	1.28	34	53	5	1.58	53	34	5	1.10	
48	5	1.45	38	60	5-1/2	1.78	60	38	5-1/2	1.23	
54	5-1/2	1.62	43	68	6	2.00	68	43	6	1.38	
60	6	1.80	48	76	6-1/2	2.23	76	48	6-1/2	1.53	
66	6-1/2	1.97	53	83	7	2.43	83	53	7	1.68	
72	7	2.15	58	91	7-1/2	2.65	91	58	7-1/2	1.83	
78	7-1/2	2.32	63	98	8	2.85	98	63	8	1.98	
84	8	2.50	68	106	8-1/2	3.08	106	68	8-1/2	2.13	
90	8-1/2	2.68	72	113	9	3.28	113	72	9	2.25	
96	9	2.85	77	121	9-1/2	3.50	121	77	9-1/2	2.40	
102	9-1/2	3.02	82	128	9-3/4	3.69	128	82	9-3/4	2.54	
108	10	3.20	87	136	10	3.90	136	87	10	2.68	

$\Delta$  ALSO EQUIVALENT ROUND DIMENSION FOR ELLIPTICAL PIPE.

**DIMENSIONS FOR REINFORCED CONCRETE PIPE** (FOR INFORMATION ONLY)

**CONCRETE PIPE WITH END SECTIONS**

NOTE: USE THE H THAT IS GREATER FOR MAXIMUM ALLOWABLE FILL HEIGHT.

H = HEIGHT OF FILL OVER TOP OF PIPE, INCLUDING PAVEMENT THICKNESS.

L<sub>1</sub> = LENGTH OF PIPE TO BE MEASURED WHEN PLACED IN ACCORDANCE WITH SECTION 624.

L<sub>2</sub> = LENGTH OF PIPE TO BE MEASURED WHEN PLACED IN ACCORDANCE WITH SECTION 603.

**CONCRETE PIPE WITHOUT END SECTIONS**

NOTE: USE THE H THAT IS GREATER FOR MAXIMUM ALLOWABLE FILL HEIGHT.

H = HEIGHT OF FILL OVER TOP OF PIPE, INCLUDING PAVEMENT THICKNESS.

L<sub>1</sub> OR L<sub>2</sub> = LENGTH OF PIPE TO BE MEASURED WHEN PLACED IN ACCORDANCE WITH SECTION 624.

**MINIMUM COVER FOR RIGID PIPE**

CONSTRUCTION MINIMUM COVER FOR RIGID PIPE

**GENERAL NOTES**

**REINFORCED CONCRETE PIPE**

- FILL HEIGHTS GREATER THAN MAXIMUM ALLOWED IN THE HEIGHTS OF FILL TABLE ON THIS SHEET REQUIRE SPECIAL DESIGN OF STRUCTURE.
- PIPE DESIGN IS BASED ON SAFETY FACTOR OF 1.33 ON ULTIMATE STRENGTH.
- THE HEIGHTS OF FILL OVER TOP OF PIPE ARE BASED ON UNIT WEIGHT OF SOIL AT 135 LBS. PER CUBIC FT.
- PIPE CLASS IS DETERMINED FROM 0.01 IN. CRACK D-LOAD.
- BEDDING IS CLASS B (MODIFIED) FROM CONCRETE PIPE DESIGN MANUAL-AMERICAN CONCRETE PIPE ASSOCIATION WITH SETTLEMENT RATIO R = 0.0 (YIELDING BED). BEDDING MATERIAL FOR RIGID PIPE IN SOIL SHALL BE 3 IN. LOOSE THICKNESS STRUCTURE BACKFILL CLASS 2. BEDDING MATERIAL FOR RIGID PIPE IN ROCK SHALL BE 12 IN. LOOSE THICKNESS STRUCTURE BACKFILL CLASS 1.
- CHANGES IN DESIGN FACTORS REQUIRE COMPENSATING CHANGES IN PIPE DESIGN.
- MINIMUM WALL THICKNESS DIMENSIONS ARE BASED ON AASHTO M 170 (WALL B) FOR CIRCULAR PIPE, AND AASHTO M 207 FOR ELLIPTICAL PIPE.
- SPACING FOR MULTIPLE PIPE INSTALLATIONS SHALL CONFORM TO THE DETAILS SHOWN ON STANDARD PLAN M-200-1.
- WHEN A PIPE IS TO BE EXTENDED, THE SAME PIPE MATERIAL AND SIZE AS IN THE ORIGINAL PIPE INSTALLATION SHALL BE USED.

**NONREINFORCED CONCRETE PIPE**

- AT THE OPTION OF THE CONTRACTOR, NONREINFORCED CONCRETE PIPE CONFORMING TO AASHTO M 86 MAY BE USED IN LEV OF REINFORCED CONCRETE PIPE FOR ALL SIZES 36 INCHES IN DIAMETER AND SMALLER. THE NONREINFORCED CONCRETE PIPE SHALL MEET THE SAME D-LOAD TO PRODUCE THE ULTIMATE LOAD UNDER THE THREE-EDGE BEARING METHOD AS SPECIFIED FOR REINFORCED CONCRETE PIPE IN CONFORMANCE WITH AASHTO M 170. THE CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION OF CONFORMANCE. THE WALL THICKNESS OF THE NONREINFORCED PIPE MAY BE INCREASED AS REQUIRED TO MEET D-LOAD REQUIREMENT.
- ALL REQUIREMENTS FOR REINFORCED CONCRETE PIPE, EXCEPT THOSE REFERRING TO REINFORCEMENT, SHALL APPLY TO NONREINFORCED CONCRETE PIPE.

TYPE OF PIPE	HEIGHT OF FILL OVER TOP OF PIPE, H (FEET)					
	CLASS CR II	CLASS CR III	CLASS CR IV	CLASS CR V	CLASS CR VI	CLASS VE VI
CIRCULAR (CR)	1000 D	1350 D	2000 D	3000 D	4000 D	
VERTICAL ELLIPTICAL (VE)	1:10 18	1:10 25	+ 25 TO 37	+ 37 TO 45		
HORIZONTAL ELLIPTICAL (HE)	1:10 18	1:10 25	+ 25 TO 37	+ 37 TO 45	+ 45 TO 62	

**ALLOWABLE RANGE OF HEIGHTS FOR FILL OVER REINFORCED CONCRETE PIPE** (ALL SIZES)

TYPE OF PIPE	CLASS CR II	CLASS CR III	CLASS CR IV	CLASS CR V	CLASS CR VI	CLASS VE VI
CIRCULAR (CR)	1:10 18	1:10 25	+ 25 TO 37	+ 37 TO 45		
VERTICAL ELLIPTICAL (VE)	1:10 18	1:10 25	+ 25 TO 37	+ 37 TO 45	+ 45 TO 62	
HORIZONTAL ELLIPTICAL (HE)	1:10 18	1:10 25	+ 25 TO 37	+ 37 TO 45	+ 45 TO 62	

**Computer File Information**

Creation Date: 07/31/19  
Designer Initials: JBK  
Last Modification Date: 07/31/19  
Detailer Initials: LTA

**Sheet Revisions**

Date:	Comments:

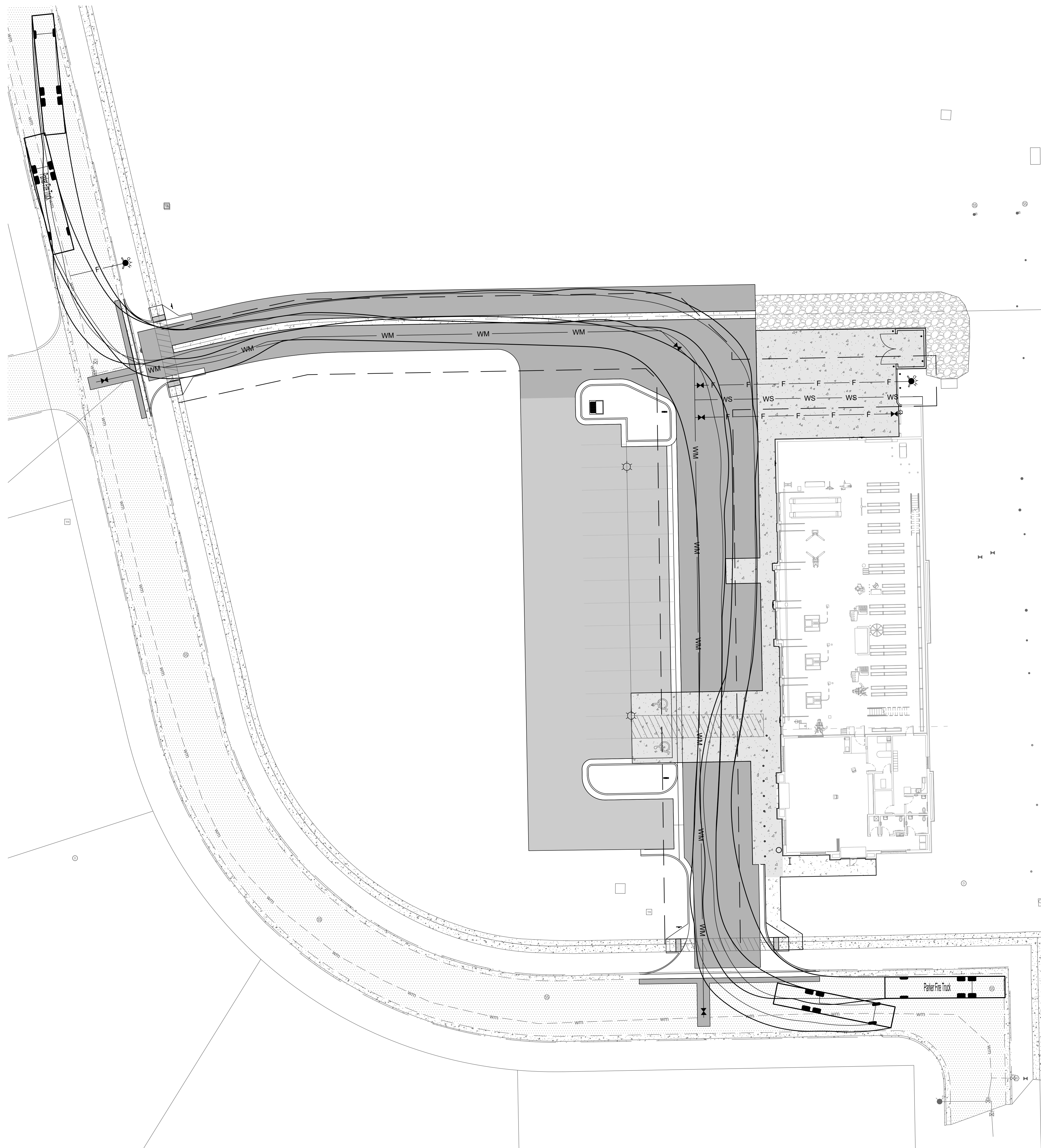
**Colorado Department of Transportation**  
2829 West Howard Place  
CDOT HQ, 3rd Floor  
Denver, CO 80204  
Phone: 303-757-9021 FAX: 303-757-9868

**Project Development Branch** JBK

**REINFORCED CONCRETE PIPE**

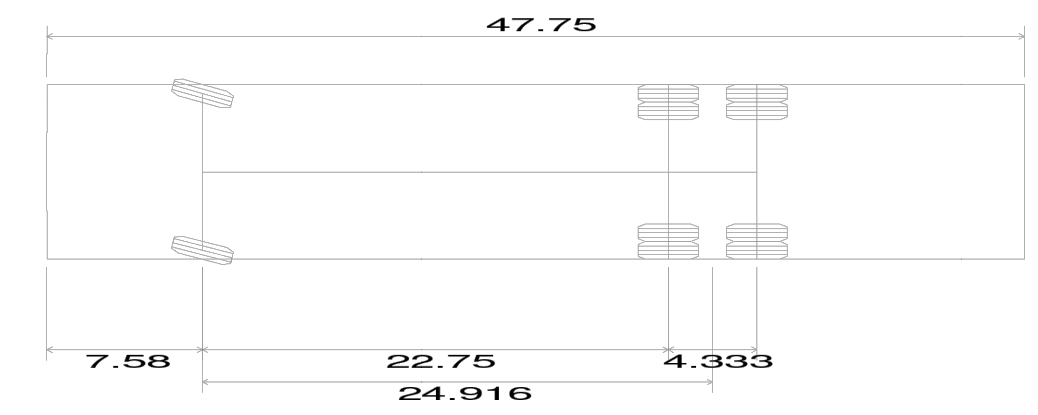
Issued by the Project Development Branch: July 31, 2019 Project Sheet Number:

**STANDARD PLAN NO.**  
M-603-2  
Standard Sheet No. 1 of 1



Vehicle Tracking v23.00 - Pool

Vehicle Tracking Vehicle Details	Ref:
Vehicle Name:	Parker Fire Truck
Type:	Rigid vehicle
Category:	(Unspecified)
Classification:	(Unspecified)
Source:	
Description:	Cyclone II Chassis
Notes:	
Unit 1 Name:	Parker Fire Truck Tractor



Parker Fire Truck	
Overall Length	47.750ft
Overall Width	8.500ft
Overall Body Height	11.000ft
Min Body Ground Clearance	1.422ft
Track Width	8.500ft
Lock-to-lock time	6.00s
Max Wheel Angle	40.00°

Every Effort Has Been Made To Ensure The Accuracy Of This Information  
Please Check Data From Your Own Sources

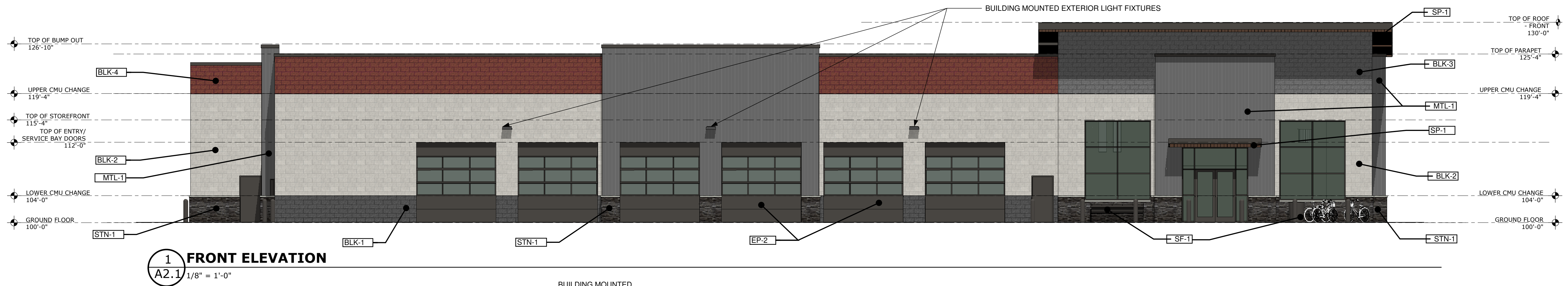
Vehicle Tracking v23.00 - Pool

Vehicle Tracking Vehicle Details	Ref:
Unit Name:	Parker Fire Truck Tractor
Type:	Tractor (with driver controlled steering)
Body style:	Fire Tender
Classification:	(Unspecified)
Source:	No data
Description:	No data
Notes:	No data
Datum:	Front Primary Axle
Front Axle(s):	1 Ackerman (axles fixed, wheels turn)
Primary Front Axle Offset:	0.000ft
Effective Front Axle Offset:	0.000ft (Auto Calculated)
Maximum Wheel Angle:	40.000deg (Any Front Wheel)
Status:	Active Non Self-Steered
Track Width:	8.500ft
Total Wheels:	2 (positioned at the ends of the axle)
Tire Width:	0.850ft (Auto Calculated - proportion of Track Width)
Tire Diameter:	2.975ft (Auto Calculated - proportion of Track Width)
Rear Axle(s):	2 Fixed (All axles identical)
Primary Rear Axle Offset:	22.750ft (Innermost Axle behind Front Primary Axle)
Effective Rear Axle Offset:	24.916ft (Auto Calculated)
Maximum Wheel Angle:	Unlimited
Rear Axle Spacing:	4.333ft
Status:	Active Non Self-Steered
Track Width:	8.500ft
Total Wheels:	4 (positioned at the ends of the axle)
Tire Width:	0.850ft (Auto Calculated - proportion of Track Width)
Tire Diameter:	2.975ft (Auto Calculated - proportion of Track Width)
Steering:	Front Axle(s): See Front Axles: Maximum Wheel Angle
Calculated Maximum Wheel Angle:	40.000deg
Lock-to-Lock Time (Fwd/Rev):	6.0sec / 6.0sec
Driver / Pilot	
Driver Offset Longitudinally:	-2.659ft (in front of Front Primary Axle)
Driver / Pilot Offset Laterally:	-1.969ft (Right of Centerline)
Driver Height:	8.202ft (Above ground level)
Front Coupling:	None
Rear Coupling:	None
Body outline (plan):	
Outline Type:	Rectangle
Offset (X,Y):	-7.580ft, 0.000ft
Length / Width:	47.750ft / 8.500ft

Every Effort Has Been Made To Ensure The Accuracy Of This Information  
Please Check Data From Your Own Sources

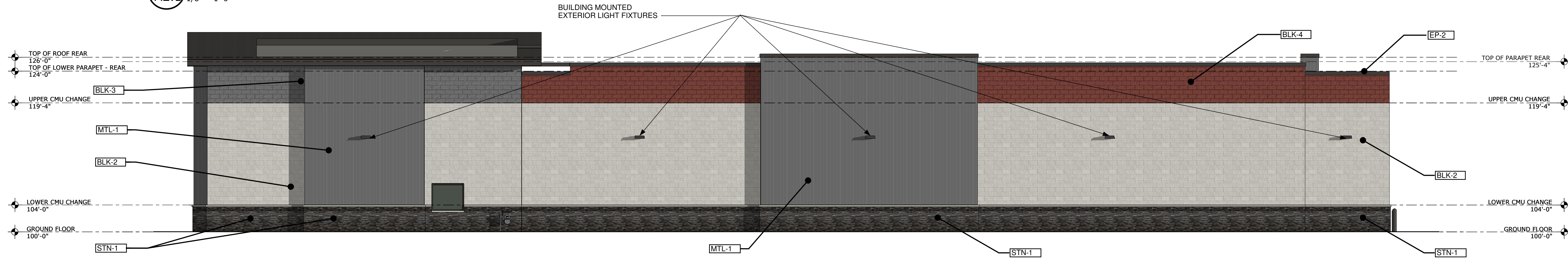


NOT FOR CONSTRUCTION - PRELIMINARY DESIGN  
 12236 SLICEROO DR, PARKER, CO 80134  
 6-BAY LINEAR STORE  
**LES SCHWAB TIRE CENTER - PARKER, CO**  
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 CIVIL CDS  
 04.17.2024  
 DRAWN BY | GRAHAM  
 CHECKED BY | GRAHAM  
 REVISIONS  
 FIRE TRUCK MOVEMENT  
**EX.1**



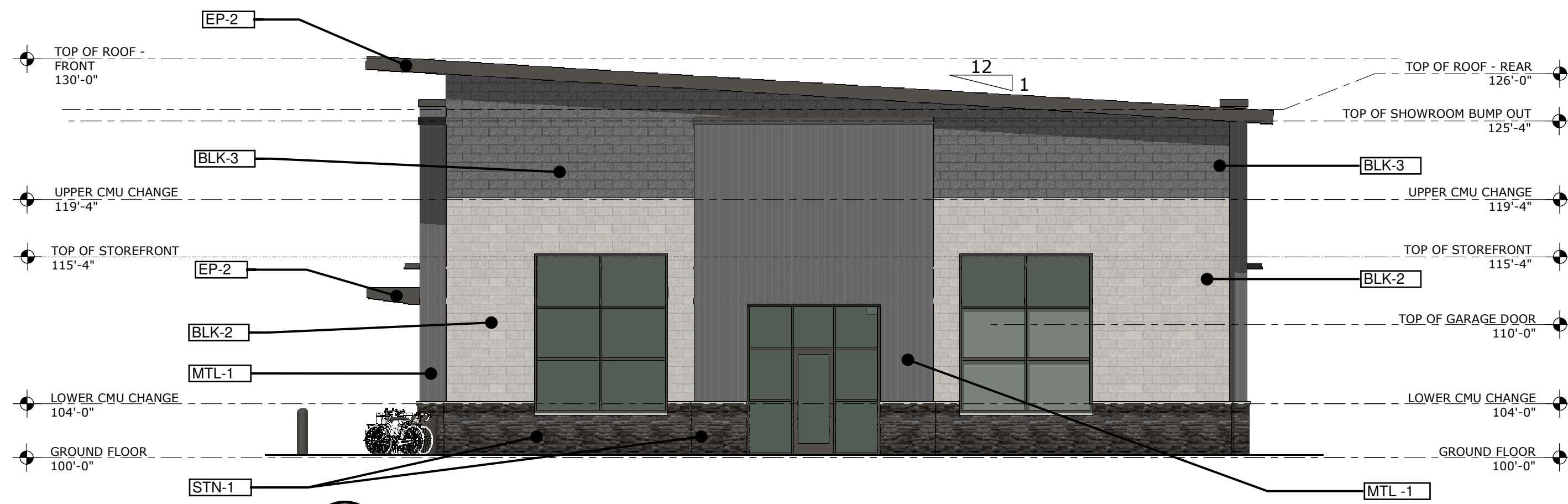
**1 FRONT ELEVATION**

A2.1 1/8" = 1'-0"



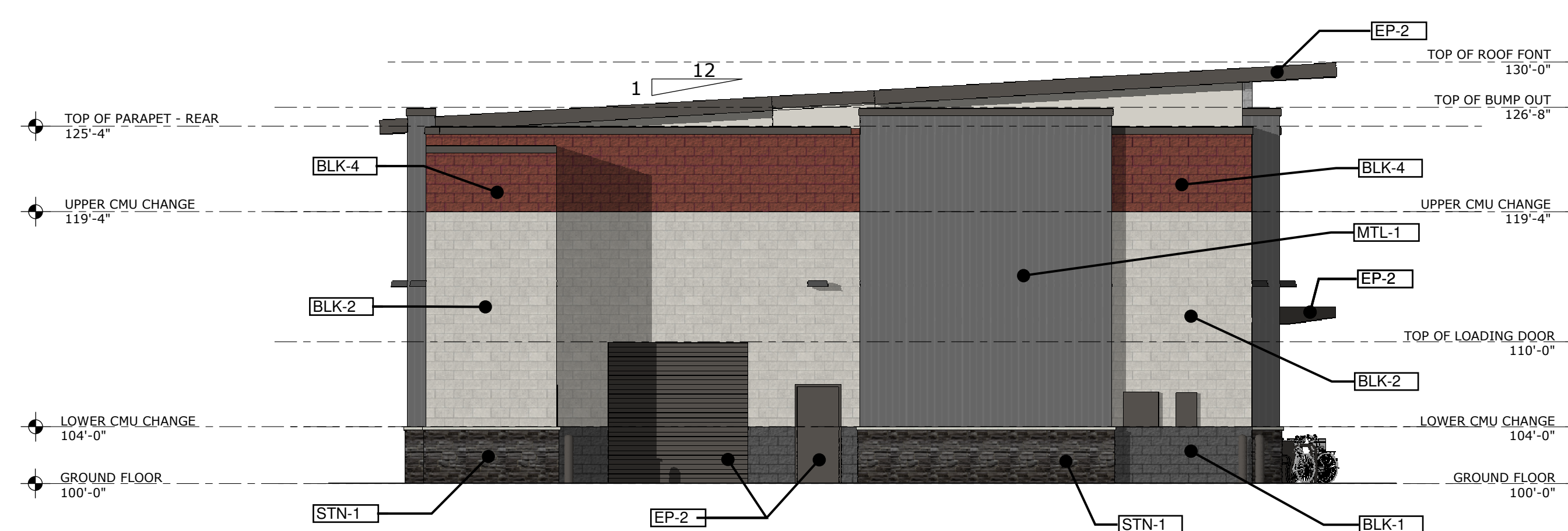
**2 REAR ELEVATION**

A2.1 1/8" = 1'-0"



**3 SHOW ROOM SIDE ELEVATION**

A2.1 1/8" = 1'-0"



**4 SIDE ELEVATION**

A2.1 1/8" = 1'-0"

**ELEVATION GENERAL NOTES**

- A) ANY SIGNAGE DEPICTED ON ELEVATIONS IS TO BE PERMITTED SEPARATELY, BY OWNER.
- B) ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR.
- C) REF CIVIL AND STRUCTURAL DRAWINGS FOR GRADE CHANGES AND RETAINING WALL DIMENSIONS AND LOCATIONS
- D) CONNECT ALL ROOF DRAINS AND DOWNSPOUTS TO SUBGRADE DRAINAGE SYSTEM. REF CIVIL DRAWINGS
- E) COORDINATE WITH SIGNAGE PLANS REQUIRED STRUCTURAL BACKING IN METAL PANEL SYSTEM AND REQUIRED ELECTRICAL ROUGH-IN LOCATIONS
- F) PROVIDE BACKING AT LOCATIONS WHERE EXTERIOR LIGHTS ARE SHOWN ON METAL PANEL SYSTEM.
- G) EXPOSED STEM CONCRETE WALL IN LANDSCAPED AREAS ARE TO HAVE MULCH OR GROUND COVER AGAINST EXPOSED CONCRETE TO HIDE FOOTING
- H) REFER TO SHEET E501 LIGHTING FIXTURE SCHEDULE FOR EXTERIOR LIGHT FIXTURE MOUNTING HEIGHTS
- I) VERIFY LOCAL FIRE DEPARTMENT REQUIREMENTS FOR ADDRESS NUMBER LOCATION

**MATERIAL LEGEND:**

- BLK - 1** BASALITE CMU - SPLIT FACE, (#807 WR)
- BLK - 2** BASALITE CMU - GROUND FACE, (#720 WR)
- BLK - 3** BASALITE CMU - SPLIT FACE, (#803 WR)
- BLK - 4** BASALITE CMU - SPLIT FACE, (#869 WR)
- SP-1** SOFFIT PANEL PAC-CLAD FLUSH SOLID W/ PVDF WOOD GRAIN FINISH (COPPER)
- SF-1** SITE FURNISHINGS IN DARK BRONZE, TRASH RECEPTICLE AND BENCH
- EP-2** EXTERIOR PAINT SUPERPAINT EXTERIOR ACRYLIC LATEX SATIN A89W01151 (MATCH KAWNEER #40 DARK BRONZE), REF SPEC
- STN-1** CULTURED STONE VENEER - (GUNNISON)
- MTL-1** PAC-CLAD VERTICAL METAL SIDING - (GRAY)

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ENTITLEMENT SET  
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DATE  
03.12.2024

DRAWN BY - HENDRICKS

COLOR EXTERIOR  
ELEVATIONS

**A2.1**



1 **STN-1**  
N.T.S.



4 **BLK-3**  
N.T.S.



7 **SP-1**  
N.T.S.



2 **BLK-1**  
N.T.S.



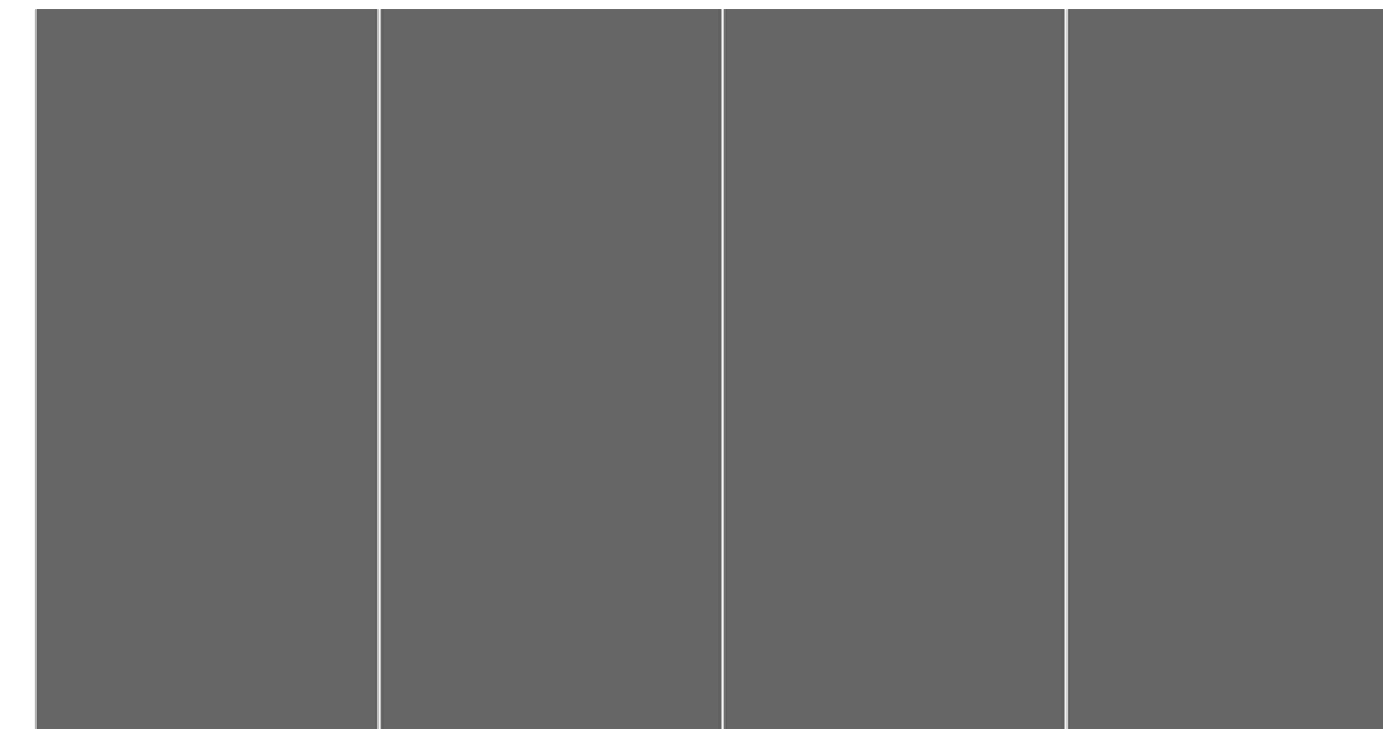
5 **BLK-4**  
N.T.S.



8 **EP-2**  
N.T.S.



3 **BLK-2**  
N.T.S.



6 **MTL-1**  
N.T.S.

**MATERIAL LEGEND:**

- BLK - 1** BASALITE CMU - SPLIT FACE, (#807 WR)
- BLK - 2** BASALITE CMU - GROUND FACE, (#720 WR)
- BLK - 3** BASALITE CMU - SPLIT FACE, (#803 WR)
- BLK - 4** BASALITE CMU - SPLIT FACE, (#869 WR)
- EP-2** EXTERIOR PAINT SUPERPAINT EXTERIOR ACRYLIC LATEX SATIN A89W01151 (MATCH KAWNEER #40 DARK BRONZE), REF SPEC
- MTL-1** PAC-CLAD VERTICAL SIDING - SLATE GRAY
- SP-1** SOFFIT PANEL PAC-CLAD FLUSH SOLID W/ PVDF WOOD GRAIN FINISH (COPPER)
- STN-1** CULTURED STONE VENEER - (GUNNISON)

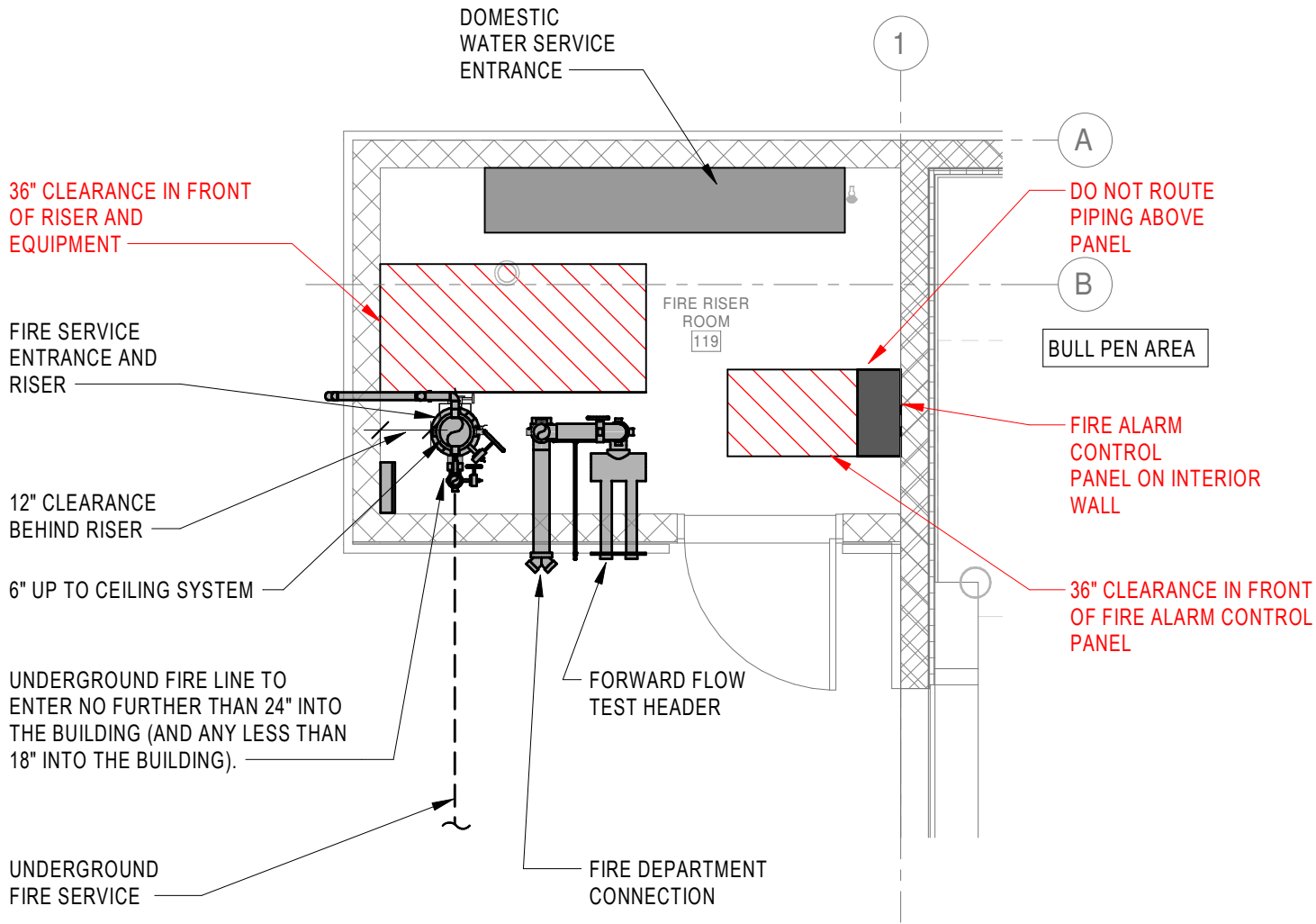
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**ENTITLEMENT SET**  
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03.12.2024

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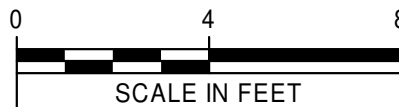
MATERIAL BOARD



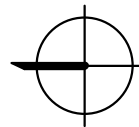
1  
FP101P

# FIRE PROTECTION RISER ROOM PLAN

1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



NORTH REF



12236 SLICEDROO DR, PARKER, CO 80134

6 BAY LH LINEAR STORE - PROTOTYPE Q4 2022

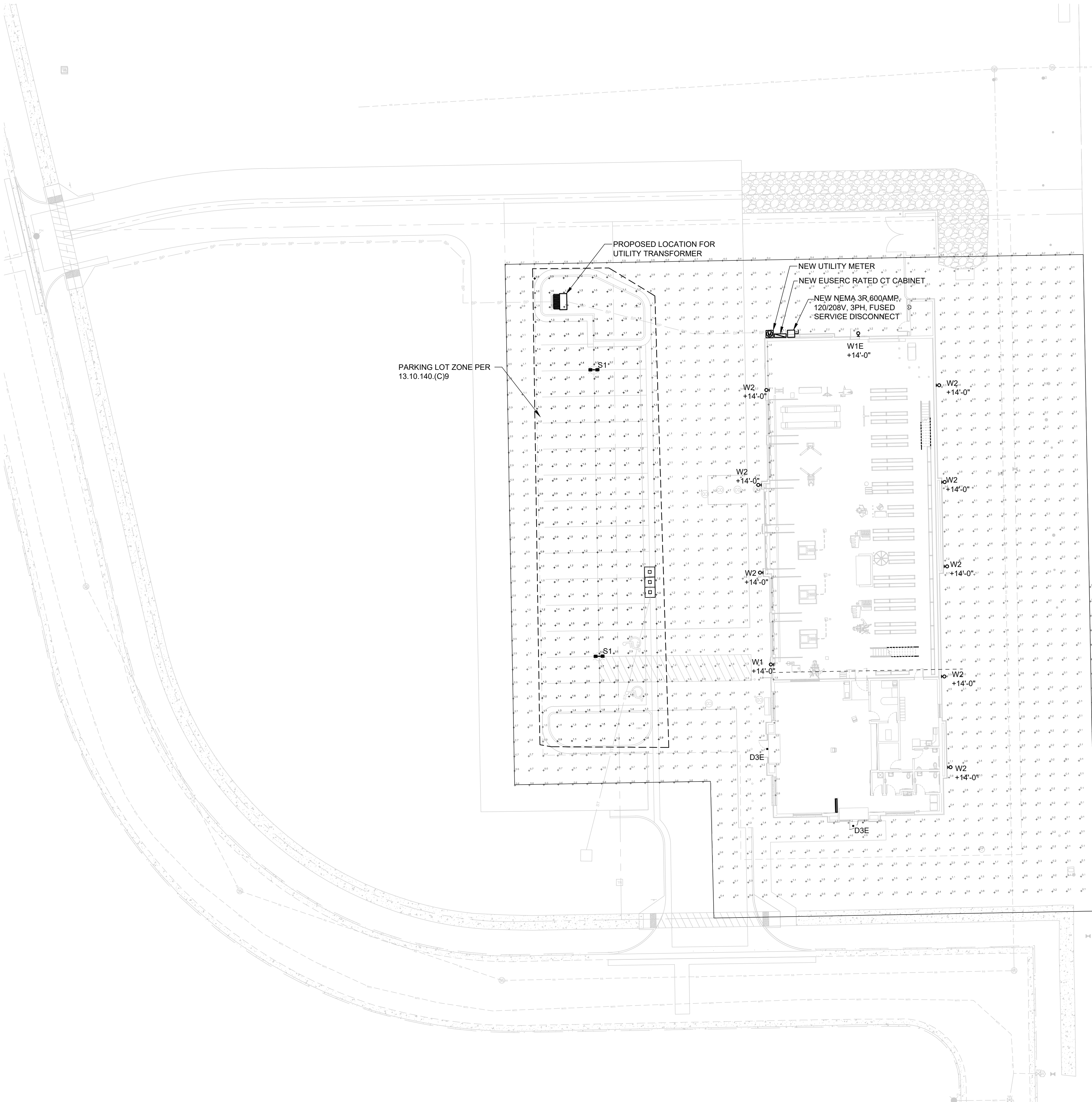
**Cushing  
Terrell.**

**LES SCHWAB TIRE CENTER -  
PARKER, CO**

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DRAWN BY  
LISTOE  
CHECKED BY  
KOPP

SHEET  
**FP101P**



GENERAL NOTES

- A. PHOTOMETRIC CALCULATIONS DO NOT INCLUDE CONTRIBUTION FROM STREET LIGHTING OR LIGHTING FROM ADJACENT PROPERTY.
- B. ALL FIXTURES SHALL BE FULL CUTOFF AND MOUNTED IN FULL CUTOFF POSITION. ALL SITE POLES SHALL BE ROUND AND PAINTED IN A DARK, NON-REFLECTIVE COLOR.

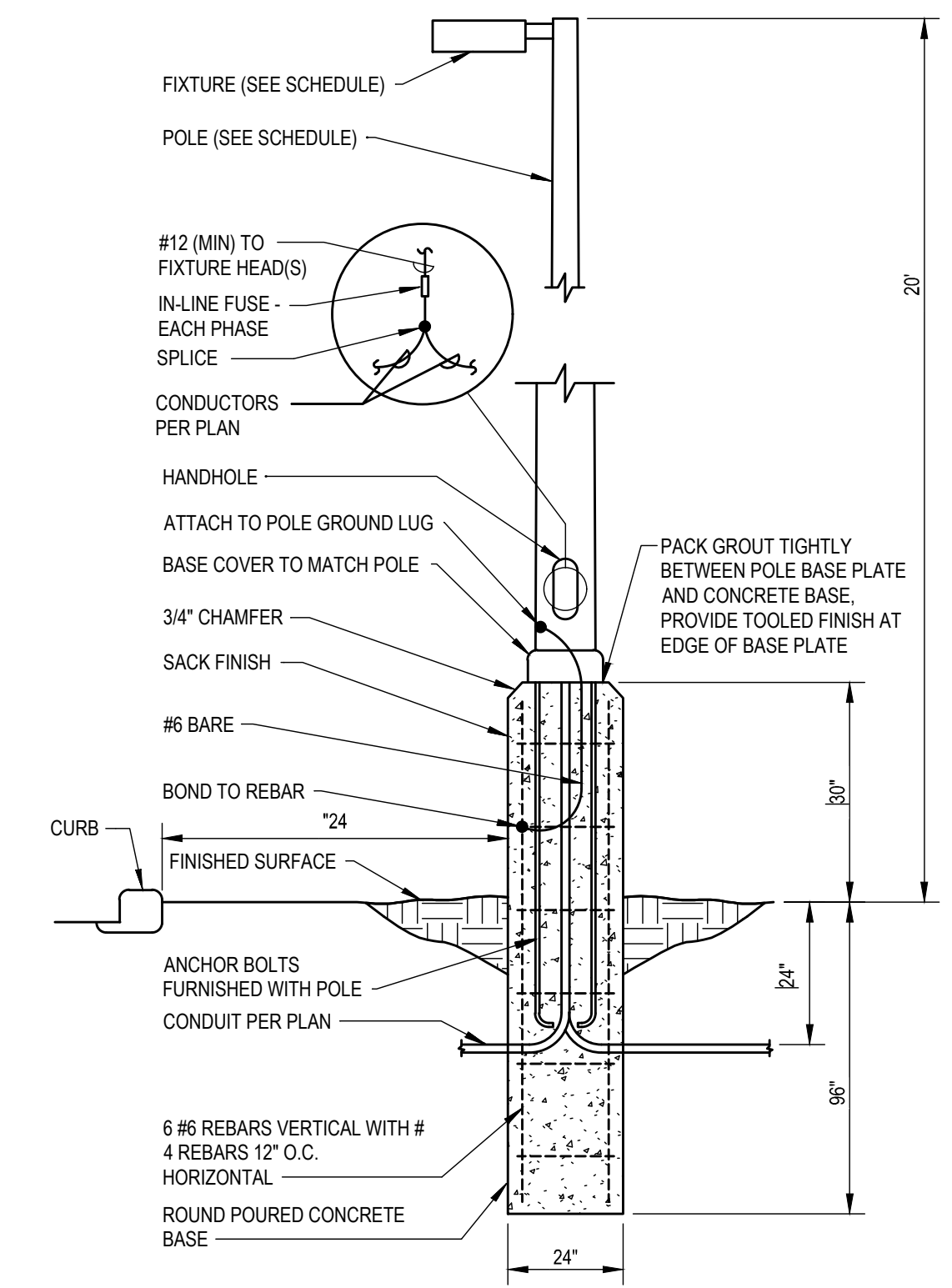
LEGEND

- POLE MOUNTED LIGHT
- WALL MOUNTED LIGHT
- RECESSED CAN LIGHT

SITE LIGHTING SCHEDULE											
FIXTURES		MOUNTING		LAMP							
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	NOTES	VOLTS	LUMENS	WATTS	TYPE	HEIGHT	TYPE	
D3E	6.2' WET LOCATION RECESSED DOWNLIGHT WITH REMOTE EMERGENCY BATTERY	ZUMTOBEL	PRNDC-DN-150-RL-11W-830-CB-W-E-1500L-R-11W-2x1 BOONE SS, TC-CSTJU		2	120	1,848	11	RECESSED	12"	LED, 3500K
S1	LED POLE MOUNTED FIXTURE, TWIN HEAD @ 180 DEGREE, TYPE 3 DISTRIBUTION WITH SPILL CONTROL, AND MOTION SENSOR CONTROLLED DIMMING	MCGRAW EDISON	GLEON-SA1E-740-U-SL3-BZ-FF-MS/DIM-L40W		1, 2, 3	208	5,985 / 11,070	44 / 88	POLE	20'	LED, 4000K
S201E	ROUND STRAIGHT STEEL POLE, DARK BRONZE, 20' MOUNTING HEIGHT	MCGRAW EDISON	RSSxxxS-F-14-2-X-G		1, 4						
W1E	LED WALL MOUNTED FIXTURE, FULL CUTOFF, DARK BRONZE FINISH WITH MOTION SENSOR AND DIMMING, PROVIDE BATTERY BACKUP WHERE LABELED 'W1E'	MCGRAW EDISON	ST-SA1E-740-U-SL2-BZ-CBP-MS/DIM-L20		1, 2	120	7,000	50	WALL	14"	LED, 4000K
W2	LED WALL MOUNTED FIXTURE, FULL CUTOFF, DARK BRONZE FINISH	MCGRAW EDISON	ST-SA1E-740-U-SL2-BZ-MS/DIM-L20		1, 2	120	5,846	45	WALL	12"	LED, 4000K

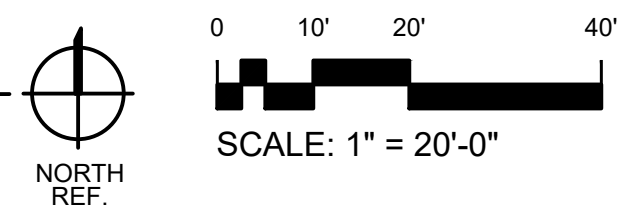
- NOTES:
- COLOR SHALL BE DARK BRONZE. VERIFY FIXTURES AND POLES HAVE MATCHING FINISH.
  - FIXTURE SHALL BE CONTROLLED BY PROGRAMMABLE LIGHTING PANEL TO DISABLE OPERATION BETWEEN 11:00 PM AND 6:00 AM OR AS REQUIRED BY A41.
  - INSTALL FIXTURE HEAD WITH 0° TILT TO PROVIDE FULL-CUTOFF DISTRIBUTION (NO LIGHT OUTPUT EMITTED ABOVE 90 DEGREES AT ANY LATERAL ANGLE AROUND THE FIXTURE).
  - COORDINATE OVERALL POLE LENGTH WITH FACTORY TO PROVIDE 20' FIXTURE MOUNTING HEIGHT INCLUDING 4" CONCRETE BASE. PROVIDE POLE MPFS RECOMMENDED ANCHOR BOLTS.

PHOTOMETRIC STATISTICS - ILLUMINANCE IN FOOT-CANDLES						
(VALUES ARE CALCULATED USING VISUAL LIGHTING 2020 BY LITHONIA AND MANUFACTURER'S IES FILES)						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT AREA	+	1.6 fc	6.8 fc	0.8 fc	2.0:1	8.5:1



2 POLE DETAIL

1 SITE PHOTOMETRIC PLAN



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12236 SLICEROO DR, PARKER, CO 80134  
6-BAY LINEAR STORE

LES SCHWAB TIRE CENTER - PARKER, CO

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CIVIL CDS

04.17.2024  
DRAWN BY | GRAGG  
CHECKED BY | GRAGG  
REVISIONS

SITE PHOTOMETRIC PLAN

E100

**Project** S1 | **Catalog #** | **Type** | **Prepared by** | **Notes** | **Date**

**McGraw-Edison**  
**GLEON Galleon**  
Area / Site Luminaire

**Product Features**

**Product Certifications**

**Interactive Menu**

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 5

**Quick Facts**

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

**Dimensional Details**

**Number of Light Squares**

Light Squares	3" x 3" (76mm)	4" x 4" (102mm)	6" x 6" (152mm)	8" x 8" (203mm)	10" x 10" (254mm)	12" x 12" (305mm)
1-4	15-1/2"	7"	10"	10-5/8"	16-9/16"	
5-6	21-5/8"	7"	10"	10-5/8"	16-9/16"	
7-8	27-5/8"	7"	13"	10-5/8"		
9-10	33-3/4"	7"	16"			

**Notes:**

1. See Cooper Lighting website for additional information.
2. See Cooper Lighting website for additional information.

**COOPER** Lighting Solutions | P5500020EN | page 1 | November 18, 2022 3:28 PM

**ZUMTOBEL** | DOWNLIGHT | WALL WASH | ADJUSTABLE | ACCENT

**D3E**  
**PANOS**  
5.25" Round Downlight

Unrivaled in lighting quality and efficacy: 90+ CRI and up to 105 lm/w

Easy to install. Installs 50% faster compared to traditional downlights

A variety of accessories are available

High-quality polycarbonate reflector using physical vapor deposition (PVD) technology

Future-proof modular system

Installed using PC mounting ring (glass fiber-reinforced) with anti-slip clamp mechanisms for tool-free fitting in ceiling

Simple twist-and-lock mechanism for quick tool-free fitting of luminaire unit

Suitable for both new construction and retrofit installations

**DELIVERED LUMENS** | **COLOR TEMPERATURE** | **COLOR RENDERING** | **WATTS** | **UGR**

Delivered Lumens	Color Temperature	Color Rendering	Watts	UGR
Up to 2623 lm	2700 K	CRI 90+	11W	< 19
	3000 K		25W	high reflector, low reflector w/ attachment
	3500 K			
	4000 K			

Tunable White (2700K - 6500K) (MacAdam 3 Step)

**Order Code**

**Options:**

- 1. Location with accessory-ranged models only.
- 2. Not available with T-Grid ceiling. For recessed products, ceiling can be closed prior to unit shipment. All flangeless products require a separate mounting ring assembly.
- 3. Must pick Tunable White driver option.
- 4. For T-Grid Ceiling (less than 2" x 2" order extension cable E00510).
- 5. EM not available with Earthquake Plate.
- 6. F0409626 comes as standard with TG ceiling only. U0095900 hanger bars must always be ordered separately if needed.

**Zumtobel Lighting, Inc.** ©2022 | 3300 Route 9W, Highland NY 12528-2630 | 845-691-6262 | 800-448-4131 | info@zumtobelgroup.com | 072622\_F

**Project** W1E | **Catalog #** | **Type** | **Prepared by** | **Notes** | **Date** W2 (SIMILAR)

**McGraw-Edison**  
**Impact Elite LED**  
Wall Mount Luminaire

**Product Certifications**

**Interactive Menu**

- Ordering Information page 2
- Product Specifications page 2
- Energy and Performance Data page 3
- Control Options page 4

**Quick Facts**

- 15 Optical Distributions
- Lumen packages range from 2,450 to 11,480 (20W - 95W)
- Efficacy up to 149 lumens per watt

**Dimensional Details**

**Cylinder** | **Quarter Sphere** | **Hook -n- Lock** | **Trapezoid** | **Wedge**

**Notes:**

1. See Cooper Lighting website for additional information.

**COOPER** Lighting Solutions | P5500010EN | page 1 | February 14, 2022 3:25 PM

**McGraw-Edison** | **GLEON Galleon**

**Ordering Information**  
SAMPLE NUMBER: GLEON-SA4C-740-U-T4FT-GM

Product Family	Light Engine Configuration	Driver Current	Color Temperature	Voltage	Distribution	Mounting	Finish
GLEON-Galleon	SA1-1 Square	A-400mA	722-700R, 2700K	0-120/277V	T2-Type II	Black-Arm for Round or Square Pole	AP-Grey
BAA-GLEON-Galleon, Bay Energy Act	SA2-2 Squares	B-800mA	722-700R, 2700K	1-120V	T29-Type II Rectangular	EA-Extended Arm	B2-Black
COMPAR-1	SA3-3 Squares	C-1200mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black
COMPAR-2	SA4-4 Squares	B-800mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black
COMPAR-3	SA5-5 Squares	B-800mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black
COMPAR-4	SA6-6 Squares	B-800mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black
COMPAR-5	SA7-7 Squares	B-800mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black
COMPAR-6	SA8-8 Squares	B-800mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black
COMPAR-7	SA9-9 Squares	B-800mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black
COMPAR-8	SA10-10 Squares	B-800mA	722-700R, 2700K	2-200V	T29-Type II Rectangular	MA-Mount Arm Adapter	BC-Black

**Options (Add as Suffix)**

**Controls and Systems Options (Add as Suffix)**

**Accessories (Order Separately)**

**Notes:**

1. Cooper Lighting is responsible for engineering analysis to confirm load and fixture compatibility for all applications. Refer to applicable code and local jurisdiction for additional information.
2. Cooper Lighting is responsible for engineering analysis to confirm load and fixture compatibility for all applications. Refer to applicable code and local jurisdiction for additional information.

**Lumen/Integrated Network Security Camera Technology Options (Add as Suffix)**

Product Family	Camera Type	Data Backhaul
L-Lumen/Network Technology	B-Standard Dome Camera M-High Dome Camera Z-Remote PTZ Camera	C-Cat6a, No SIM M-Cellular, 4G LTE Z-Cellular, Verizon E-Ethernet Networking

**COOPER** Lighting Solutions | P5500020EN | page 2 | November 18, 2022 3:28 PM

**ZUMTOBEL** | DOWNLIGHT | WALL WASH | ADJUSTABLE | ACCENT

**QUICK SHIP** | **PANOS 5.25" Round Downlight**

Unrivaled in lighting quality and efficacy: 90+ CRI and up to 105 lm/w

Easy to install. Installs 50% faster compared to traditional downlights

A variety of accessories are available

High-quality polycarbonate reflector using physical vapor deposition (PVD) technology

Future-proof modular system

Installed using PC mounting ring (glass fiber-reinforced) with anti-slip clamp mechanisms for tool-free fitting in ceiling

Simple twist-and-lock mechanism for quick tool-free fitting of luminaire unit

Suitable for both new construction and retrofit installations

**DELIVERED LUMENS** | **COLOR TEMPERATURE** | **COLOR RENDERING** | **WATTS** | **UGR**

Delivered Lumens	Color Temperature	Color Rendering	Watts	UGR
Up to 2623 lm	2700 K	CRI 90+	11W	< 19
	3000 K		25W	high reflector, low reflector w/ attachment
	3500 K			
	4000 K			

Tunable White (2700K - 6500K) (MacAdam 3 Step)

**Order Code**

**Options:**

- 1. Location with accessory-ranged models only.
- 2. Not available with T-Grid ceiling. For recessed products, ceiling can be closed prior to unit shipment. All flangeless products require a separate mounting ring assembly.
- 3. Must pick Tunable White driver option.
- 4. For T-Grid Ceiling (less than 2" x 2" order extension cable E00510).
- 5. EM not available with Earthquake Plate.
- 6. F0409626 comes as standard with TG ceiling only. U0095900 hanger bars must always be ordered separately if needed.

**Zumtobel Lighting, Inc.** ©2022 | 3300 Route 9W, Highland NY 12528-2630 | 845-691-6262 | 800-448-4131 | info@zumtobelgroup.com | 072622\_F

**McGraw-Edison** | **Impact Elite LED**

**Ordering Information**  
SAMPLE NUMBER: ISC-SA1F-740-U-T3-BZ

Product Family	Light Engine Configuration	Driver Current	Color Temperature	Voltage	Distribution	Finish
ISC-Impact Elite LED Small Cylinder	SA1-1 Square	A-400mA	722-700R, 2700K	0-120/277V	T2-Type II	AP-Grey
ISC-Impact Elite LED Small Quarter Sphere	SA2-2 Squares	B-800mA	722-700R, 2700K	1-120V	T2-Type II	B2-Black
ISC-Impact Elite LED Small Trapezoid	SA3-3 Squares	C-1200mA	722-700R, 2700K	2-200V	T2-Type II	BC-Black
ISC-Impact Elite LED Small Wedge	SA4-4 Squares	D-1600mA	722-700R, 2700K	2-200V	T2-Type II	CC-Black

**Options (Add as Suffix)**

**Controls and Systems Options (Add as Suffix)**

**Accessories (Order Separately)**

**Notes:**

1. Cooper Lighting is responsible for engineering analysis to confirm load and fixture compatibility for all applications. Refer to applicable code and local jurisdiction for additional information.
2. Cooper Lighting is responsible for engineering analysis to confirm load and fixture compatibility for all applications. Refer to applicable code and local jurisdiction for additional information.

**Thruway Back Box**

**Product Specifications**

**Construction**

- Heavy-duty, die-cast aluminum housing and removable hinged door frame
- Optional tamper-resistant fasteners offer vandal resistant access
- IK10 impact rated

**Electrical**

- Standard with 0-10V dimming
- Standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration
- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration
- IDA Certified (3000K CCT and warmer only)

**Mounting**

- Utilizes "Hook-n-Lock" mounting mechanism,

**COOPER** Lighting Solutions | P5500010EN | page 2 | February 14, 2022 3:25 PM

**Cushing Terrell.**  
cushingterrell.com  
800.757.9522

**Tires LES SCHWAB**

12236 SLICEROO DR, PARKER, CO 80134  
6-BAY LINEAR STORE

**LES SCHWAB TIRE CENTER - PARKER, CO**

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REVISIONS

DETAIL SHEET

**E200**

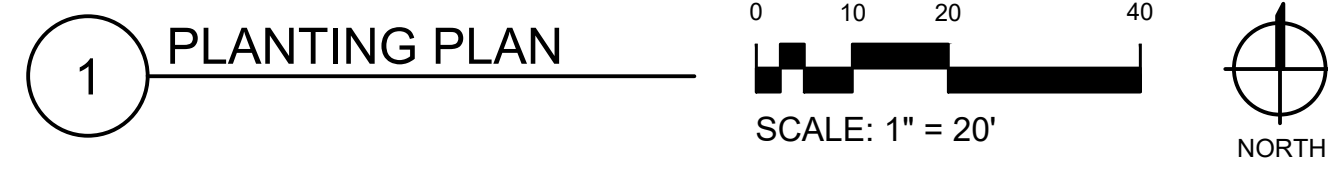
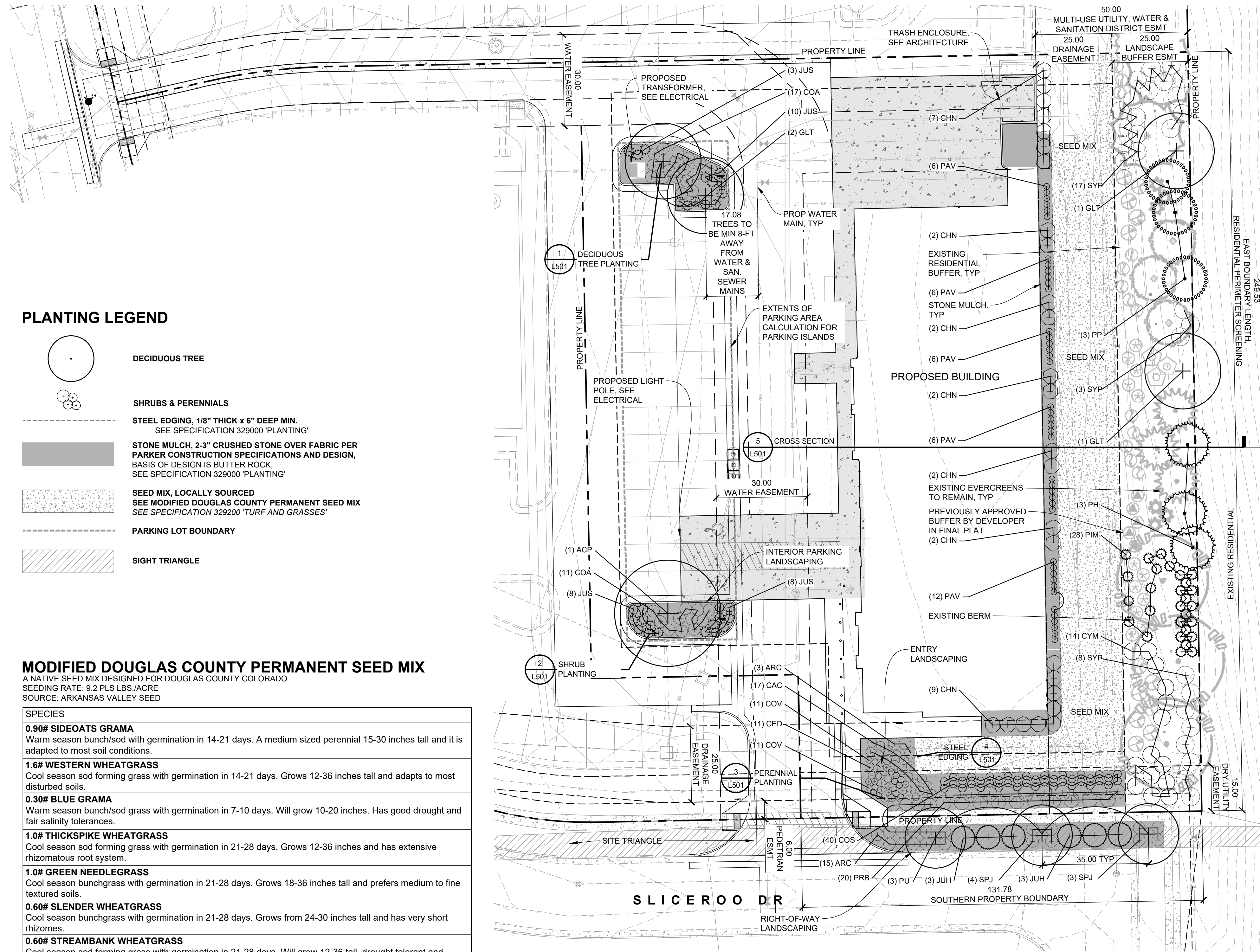


**LANDSCAPE PLAN REQUIREMENTS**

ZONING: PD, PLANNED DEVELOPMENT

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED
13.06.070 (f)(2)	Xeriscape requirements.	NO LIMITATION ON USE OF PREFERRED TURF GRASS	5,411 SF PREFERRED TURF GRASS / 46,637.68 SF	NO LIMITATION	9.6% PREFERRED TURF GRASS
13.06.070 (l)(2)	Minimum site landscaping standards	COMMERCIAL MIN - 15%	46,637.68 SF x 15%	6,995.65 SF	8,917.31 SF (ROW NOT INCLUDED)
13.06.070 (l)(2)a	Minimum site landscaping standards	75% LIVE COVERAGE	9,724.70 SF x 75%	7,293.53 SF	9,544.76 SF (98.15%) (ROW INCLUDED)
13.06.070 (l)(5)	Minimum site landscaping standards	1 TREE PER 1,500 SF OF LANDSCAPE	8,917.31 SF / 1,500 SF	6 TREES	11 TREES*
13.06.070 (l)(5)	Minimum site landscaping standards	5 SHRUBS PER 1,500 SF OF LANDSCAPE	(8,917.31 SF / 1,500 SF) x 5	30 SHRUBS	225 SHRUBS*
13.06.070 (l)(5)c	Minimum site landscaping standards	25% MIN AND 50% MAX EVERGREEN TREES	11 TREES x 25% 11 TREES x 50%	3 MIN 6 MAX	6 EVERGREEN TREES
13.06.070 (m)(3)c	Streetscape landscaping	1 TREE PER 40 FEET	131.78 LF / 40	3 TREES	TREES 35 FEET APART
13.06.070 (p)(2)	Parking lot interior landscaping	10 % TOTAL PARKING AREA	5,896 SF x 10%	589.60 SF	865 SF
13.06.070 (p)(4)b	Parking lot interior landscaping	1 TREE / 162 SF 1 TREE SUBSTITUTED FOR 10 SHRUBS	NORTH ISLAND: 493.79 SF / 162 SF	3 TREES	2 TREES, 1 TREE SUBSTITUTED FOR 10 SHRUBS
13.06.070 (p)(4)b	Parking lot interior landscaping	5 SHRUBS PER 162 SF + 1 SHRUB PER ADDITIONAL 15 SF	NORTH ISLAND: (486 SF / 162 SF) x 5 + (7.79 SF / 15 SF) x 1	16 SHRUBS	30 SHRUBS
13.06.070 (p)(4)b	Parking lot interior landscaping	1 TREE / 162 SF 1 TREE SUBSTITUTED FOR 10 SHRUBS	SOUTH ISLAND: 371.30 SF / 162 SF	2 TREES	1 TREE, 1 TREE SUBSTITUTED FOR 10 SHRUBS
13.06.070 (p)(4)b	Parking lot interior landscaping	5 SHRUBS / 162 SF	SOUTH ISLAND: (324 SF / 162 SF) x 5 + (47.3 SF / 15 SF) x 1	14 SHRUBS	27 SHRUBS
13.06.070 (q)(2)	Site perimeter landscaping	1 TREE FOR EACH 25 LINEAL FEET	249.53 LF / 25 LF	10 TREES	8 TREES, 2 TREES SUBSTITUTED FOR 20 SHRUBS
13.06.070 (q)(2)	Existing Residential	Site perimeter landscaping	5 SHRUBS FOR EACH 25 LINEAL FEET (249.53 LF / 25 LF) x 5	50 SHRUBS	70 SHRUBS
13.06.070 (q)(3)	Existing Residential	Site perimeter landscaping	40% MIN 60% MAX EVERGREEN TREES	11 TREES x 40% 11 TREES x 60%	5 TREES MIN 7 TREES MAX 6 EVERGREEN TREES
13.06.070 (q)(2)	Existing Nonresidential	Site perimeter landscaping	1 TREE FOR EACH 40 LINEAL FEET	4 TREES	0 TREES, 4 TREES SUBSTITUTED FOR 40 SHRUBS
13.06.070 (q)(2)	Existing Nonresidential	Site perimeter landscaping	5 SHRUBS FOR EACH 40 LINEAL FEET (131.78 LF / 40 LF) x 5	20 SHRUBS	60 SHRUBS

\*TOTAL PROPOSED TREES AND SHRUBS PROVIDED WITHIN PROPERTY BOUNDARY



**PLANTING LEGEND**

- DECIDUOUS TREE
- SHRUBS & PERENNIALS
- STEEL EDGING, 1/8" THICK x 6" DEEP MIN. SEE SPECIFICATION 329000 'PLANTING'
- STONE MULCH, 2-3" CRUSHED STONE OVER FABRIC PER PARKER CONSTRUCTION SPECIFICATIONS AND DESIGN, BASIS OF DESIGN IS BUTTER ROCK, SEE SPECIFICATION 329000 'PLANTING'
- SEED MIX, LOCALLY SOURCED SEE MODIFIED DOUGLAS COUNTY PERMANENT SEED MIX SEE SPECIFICATION 329200 'TURF AND GRASSES'
- PARKING LOT BOUNDARY
- SIGHT TRIANGLE

**MODIFIED DOUGLAS COUNTY PERMANENT SEED MIX**

A NATIVE SEED MIX DESIGNED FOR DOUGLAS COUNTY COLORADO  
SEEDING RATE: 9.2 PLS LBS / ACRE  
SOURCE: ARKANSAS VALLEY SEED

**SPECIES**

**0.90# SIDEOTS GRAMA**  
Warm season bunch/sod with germination in 14-21 days. A medium sized perennial 15-30 inches tall and it is adapted to most soil conditions.

**1.6# WESTERN WHEATGRASS**  
Cool season sod forming grass with germination in 14-21 days. Grows 12-36 inches tall and adapts to most disturbed soils.

**0.30# BLUE GRAMA**  
Warm season bunch/sod grass with germination in 7-10 days. Will grow 10-20 inches. Has good drought and fair salinity tolerances.

**1.0# THICKSPIKE WHEATGRASS**  
Cool season sod forming grass with germination in 21-28 days. Grows 12-36 inches and has extensive rhizomatous root system.

**1.0# GREEN NEEDLEGRASS**  
Cool season bunchgrass with germination in 21-28 days. Grows 18-36 inches tall and prefers medium to fine textured soils.

**0.60# SLENDER WHEATGRASS**  
Cool season bunchgrass with germination in 21-28 days. Grows from 24-30 inches tall and has very short rhizomes.

**0.60# STREAMBANK WHEATGRASS**  
Cool season sod forming grass with germination in 21-28 days. Will grow 12-36 tall, drought tolerant and commonly used for reclamation.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	ESTIMATED YEARS TO MATURITY
ACP	1	ACER PLATANOIDES 'FAIRVIEW'	FAIRVIEW MAPLE	2" CAL.	B&B	45" H X 35" W	20-30 YRS
GLT	4	GLEDITSIA TRIACANTHOS 'SKYCOLE' TM	SKYLINE THORNLESS HONEY LOCUST	2" CAL.	B&B	50" H X 35" W	25-35 YRS
PP	3	PICEA PUNGENS 'BAKERI'	BAKERI SPRUCE	6" HT.	B&B	20"-30" H X 10"-20" W	30-40 YRS
PH	3	PINUS HELDREICHII	BOSNIAN PINE	6" HT.	B&B	20-40" H X 10"-15" W	20-50 YRS
PU	3	PYRUS USSURIENSIS 'PRAIRIE GEM PEAR'	PRAIRIE GEM PEAR	2" CAL.	B&B	20-25" H X 20" W	15-20 YRS
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	ESTIMATED YEARS TO MATURITY
ARC	19	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	PANCHITO MANZANITA	5 GAL.	POT	1.5" H X 4" W	3-7 YRS
CAC	17	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT BLUE MIST SPIREA	5 GAL.	POT	3" H X 3" W	3-5 YRS
CHN	26	CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH	5 GAL.	POT	4-5" H X 4-5" W	2-4 YRS
COS	40	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED TWIG DOGWOOD	5 GAL.	POT	2-3" H X 2-3" W	5-10 YRS
COA	28	COTONEASTER APICULATUS 'TOM THUMB'	TOM THUMB COTONEASTER	5 GAL.	POT	1" H X 4" W	5-7 YRS
CYM	14	CYTISUS X 'MINSTEAD'	MINSTEAD BROOM	5 GAL.	POT	5'-6" H X 5'-6" W	3-5 YRS
JUH	6	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	5 GAL.	POT	0.5" H X 6-8" W	8-10 YRS
JUS	29	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	5 GAL.	POT	2" H X 3-5" W	5-10 YRS
PIM	28	PINUS MUGO 'MOPS'	MOPS MUGO PINE	5 GAL.	POT	3-4" H X 3-4" W	10-15 YRS
PRB	20	PRUNUS BESSEYI 'P011S'	PAWNEE BUTTES® SAND CHERRY	5 GAL.	POT	1-1.5" H X 5-8" W	4-6 YRS
SPJ	7	SPIREA JAPONICA 'ALPINA'	ALPINA SPIREA	5 GAL.	POT	2" H X 4" W	7-10 YRS
SYP	28	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	5 GAL.	POT	6-8" H X 6-8" W	3-5 YRS
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	ESTIMATED YEARS TO MATURITY
PAV	42	PANICUM VIRGATUM	SWITCH GRASS	1 GAL.	POT	3-4" H X 1-2" W	3-4 YRS
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	PKG.	MATURE SIZE	ESTIMATED YEARS TO MATURITY
CED	11	CENTAUREA DEALBATA	PINK BACHELOR BUTTON	1 GAL.	POT	2" H X 2.5" W	2-3 YRS
COV	11	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	1 GAL.	POT	2" H X 2" W	1-3 YRS
RUF	13	RUDBECKIA FULGIDA 'GOLDSURM'	BLACK-EYED SUSAN	1 GAL.	POT	2" H X 2" W	2-4 YRS

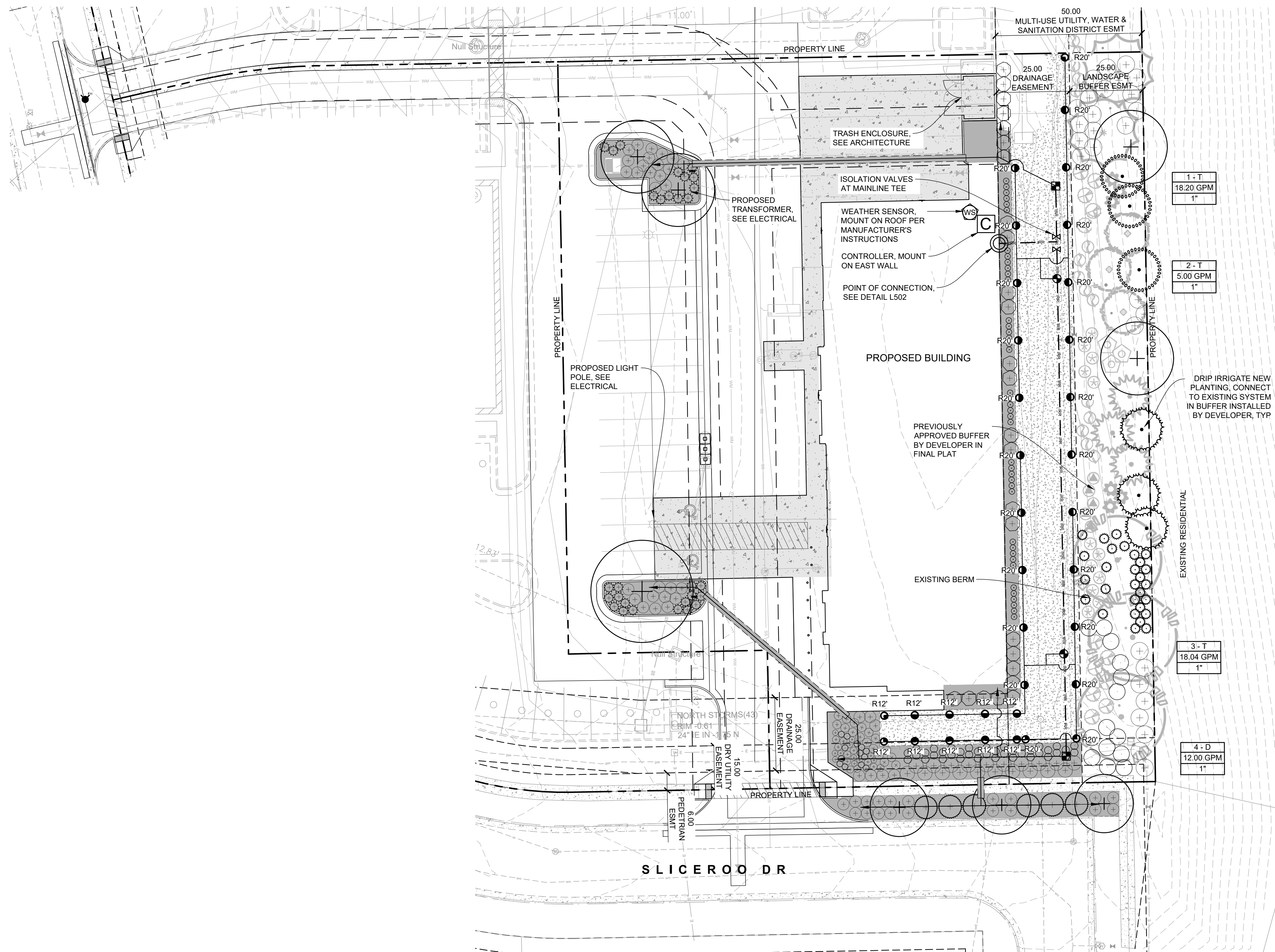
**PLANTING COVERAGE**

SPECIES	QUANTITY	SF PER PLANT	TOTALS (SF)
ARC	19	12.57	238.83
CAC	17	7.07	120.19
CHN	26	19.63	510.38
COS	40	4.91	196.40
COA	28	12.57	351.96
CYM	14	23.76	332.64
JUH	6	50.27	301.62
JUS	29	9.62	278.98
PIM	28	9.62	269.36
PRB	20	19.63	392.60
SPJ	7	12.57	87.99
SYP	28	28.27	791.56
PAV	42	3.14	131.88
CED	11	4.91	54.01
COV	11	3.14	34.54
RUF	13	3.14	40.82
<b>TOTAL PLANT AREA</b>			<b>4,133.76</b>
<b>TOTAL SEEDED AREA</b>			<b>5,411</b>
<b>TOTAL LIVING GROUND COVER AREA</b>			<b>9,544.76</b>
<b>TOTAL ON SITE &amp; ROW LANDSCAPE AREA</b>			<b>9,724.70</b>
			<b>9,544.76 SF / 9,724.70 = 98.15%</b>
<b>OVERALL COVERAGE PERCENTAGE</b>			<b>98.15%</b>

NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.

SIGNATURE OF APPLICANT

DATE

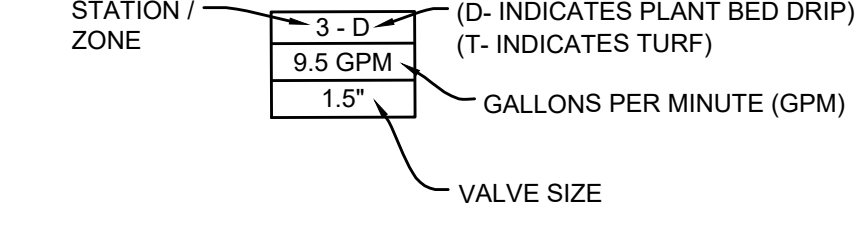


1 IRRIGATION PLAN  
 SCALE: 1" = 20'  
 NORTH

**IRRIGATION LEGEND**

SYMBOL	DESCRIPTION	DETAIL	SHEET
○	WATER POINT OF CONNECTION, 3/4" TAP	1	L502
—	NEW MAIN LINE, 1" SCH 40 PVC	2	L502
—	LATERAL LINE, CLASS 200 PVC IPS PLASTIC PIPE	2	L502
—	SLEEVE, SCH 40 PVC	3	L502
⊘	ISOLATION VALVE AS SPECIFIED	5	L502
⊘	DRIP CONTROL VALVE AS SPECIFIED	7	L502
⊘	DRIP CONTROL VALVE AS SPECIFIED	10	L502
—	DRIP ZONE, DRIP TUBING WITH POINT SOURCE EMITTERS, AS SPECIFIED	11	L502
○	EMITTER SPACING: PER PLANT LAYOUT		
○	SPRINKLER HEADS RAINBIRD 5006+SAM	12	L502
C	TRADITIONAL CONTROLLER RAINBIRD ESP-ME3	14	L502
WS	WEATHER STATION RAINBIRD WR2 RAIN FREEZE SENSOR	15	L502

**ZONE CALLOUT:**



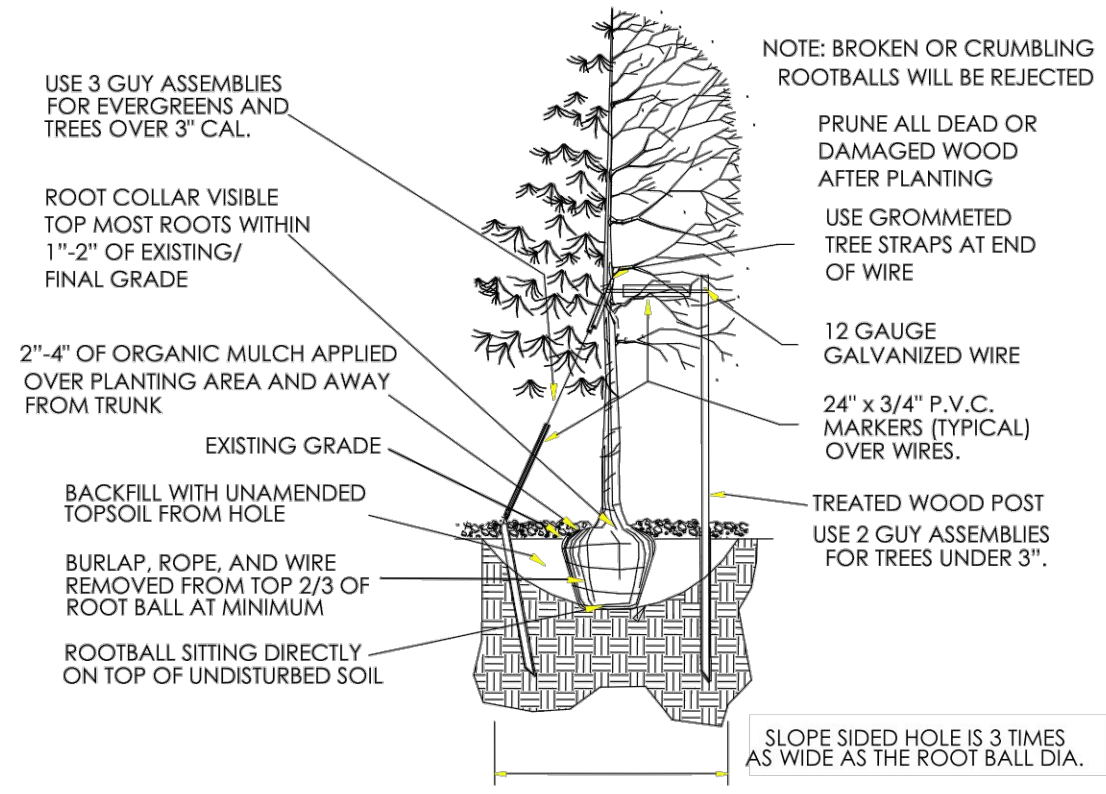
**IRRIGATION NOTES**

- SEE SPECIFICATION 328400 "PLANTING IRRIGATION" FOR MORE INFORMATION.
- CONTRACTOR TO DESIGN IRRIGATION SYSTEM PER SCHEMATIC LAYOUT AND INSTALL UNDERGROUND AUTOMATIC IRRIGATION SYSTEM TO PROVIDE ADEQUATE WATER FOR ALL PLANT MATERIAL AS SHOWN ON DRAWINGS. INSTALL MANUAL DRAINS AT LOW POINTS AND AIR RELIEF VALVES AT HIGH POINTS ALONG MAINLINE. INSTALL QUICK COUPLERS AT END OF MAINLINE AND ISOLATION VALVES DOWNSTREAM OF MAINLINE TEES.
- IRRIGATION SYSTEM TO BE INSTALLED TO PREVENT OVER-SPRAY ONTO BUILDING AND PAVED SURFACES.
- THE PLAN IS DIAGRAMMATIC FOR PIPING. ADJUST PIPE LOCATION AS NECESSARY. ALL VALVES & PIPING ARE TO BE INSTALLED IN PLANTING OR MULCH AREAS.
- DO NOT INSTALL THE IRRIGATION SYSTEM WHEN OBVIOUS OBSTRUCTIONS, GRADE CHANGES OR OTHER DETRIMENTAL SITE GEOMETRY EXISTS.
- ALL INFORMATION SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WATER CONNECTIONS AND IRRIGATION CONTROLLER WITH OWNER'S REPRESENTATIVE. CONTRACTOR SHALL CONFIRM WATER SOURCE FOR PRESSURE AND GPM REQUIREMENTS PRIOR TO CONSTRUCTION THROUGH SUBMITTALS.
- IN THE EVENT OF ANY DISCREPANCIES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR TO VERIFY AVAILABLE GALLONAGE, PRESSURE, POWER, AND PROTECTION OF WATER SOURCE AS DESIGNED BEFORE INSTALLATION OF SYSTEM.
- PROPOSED TREES, SHRUBS, AND PERENNIALS SHALL BE WATERED BY POINT SOURCE DRIP LINE WITH DRIP ZONE CONTROL KIT AS DETAILED AND NOTED ON LEGEND. PROVIDE PVC LATERALS TO BEDS AND CONNECT TO PE PIPE AS DETAILED, SPECIFIED AND SHOWN ON PLAN.
- CONTRACTOR SHALL PROVIDE SLEEVING FOR PIPE BELOW PAVEMENT. SLEEVE AS SPECIFIED. SUPPLY ONE EXTRA SLEEVE WITH EACH MAINLINE SLEEVE FOR CONTROL WIRES. COORDINATE SLEEVE INSTALLATION WITH OTHER TRADES AND OTHER PROJECTS. BORE UNDER EXISTING PAVED AREAS AS REQUIRED USING DRILL, AUGER, WATER JET, OR ANY OTHER INSTRUMENT APPROVED BY OWNER'S REPRESENTATIVE CAPABLE OF PRODUCING A PRECISE HOLE. BORING SHALL NOT DISTURB OVERLAYING STRUCTURES OR CAUSE SETTLEMENT AND DAMAGE TO THOSE STRUCTURES. IF DEMOLISHING EXISTING PAVEMENT FOR SLEEVE INSTALLATION, PATCH EXISTING ASPHALT AS REQUIRED.
- IRRIGATION SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL PERTINENT CODES AND REGULATIONS, THE REFERENCED STANDARDS, AND THE MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE ALL COMPONENTS REQUIRED FOR PROPER WINTERIZATION OF SYSTEM.
- LINE SIZE WINTERIZATION BLOW-OUT ADAPTER SHALL BE INSTALLED IMMEDIATELY DOWN STREAM OF POINT OF CONNECTION.
- LATERAL LINES SHALL BE SOLVENT WELDED CL200 PVC PIPE.
- ELECTRICAL & MANUAL GATE VALVES SHALL BE INSTALLED IN VALVE BOXES OR APPROVED EQUAL. USE A 12" STANDARD BOX FOR ALL CONTROL VALVES. 10" ROUND FOR ALL OTHERS.
- PROVIDE VALVE BOX EXTENSIONS AS REQUIRED.
- ALL WIRES SHALL BE INSTALLED UNDER A MINIMUM OF 12" COVER AND MAY BE INSTALLED IN TRENCHES WITH PIPE AS LONG AS THE WIRES ARE INSTALLED UNDER THE PIPE.
- DBY DRY SPLICE WIRE CONNECTORS SHALL BE USED FOR ALL ELECTRICAL CONNECTIONS.
- ADD AIR RELIEF VALVE PER DETAIL AT HIGHEST POINT IN THE IRRIGATION SYSTEM.
- ALL IRRIGATION LINES SHALL BE SURVEYED, AND SHOWN ON AS-BUILT DRAWINGS, IN THREE DIMENSIONS AT EACH END AND ALL ANGLE POINTS.



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 SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_  
 IRRIGATION PLAN  
**L401**

TOWN OF PARKER PLANTING STANDARDS



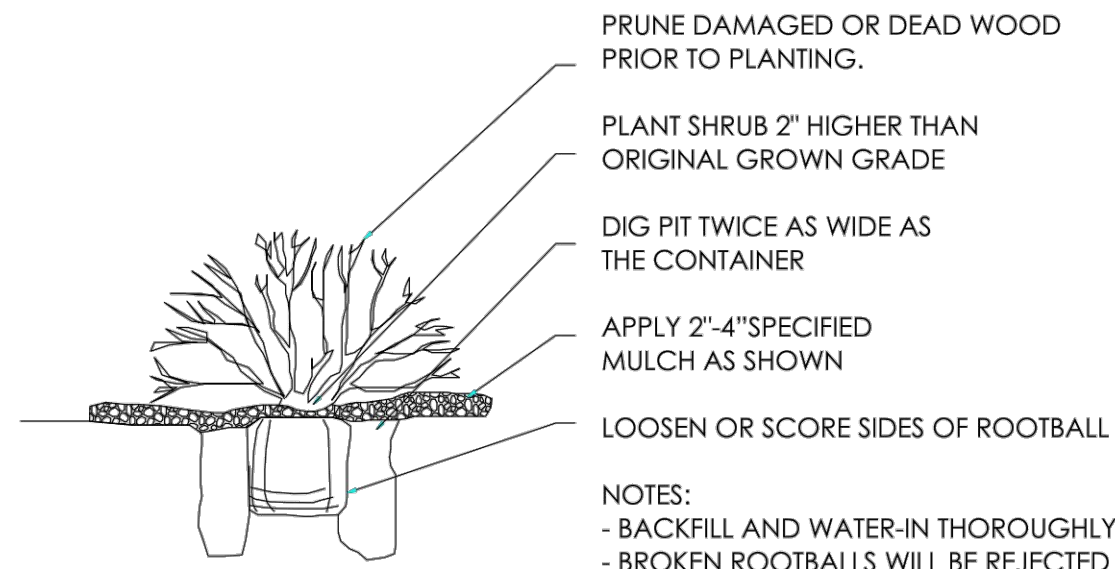
- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

11

1 DECIDUOUS TREE PLANTING

TOWN OF PARKER PLANTING STANDARDS

TOWN OF PARKER PLANTING DETAIL - SHRUBS



- PRUNE DAMAGED OR DEAD WOOD PRIOR TO PLANTING.
- PLANT SHRUB 2" HIGHER THAN ORIGINAL GROWN GRADE
- DIG PIT TWICE AS WIDE AS THE CONTAINER
- APPLY 2"-4" SPECIFIED MULCH AS SHOWN
- LOOSEN OR SCORE SIDES OF ROOTBALL

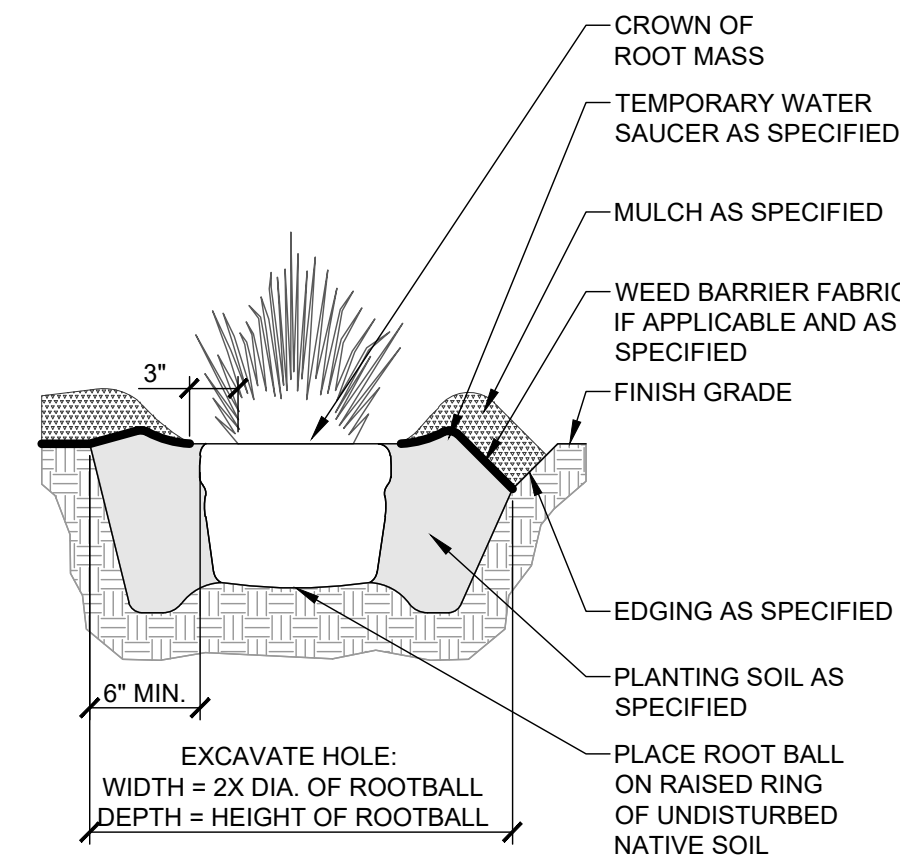
NOTES:  
- BACKFILL AND WATER-IN THOROUGHLY  
- BROKEN ROOTBALLS WILL BE REJECTED

13

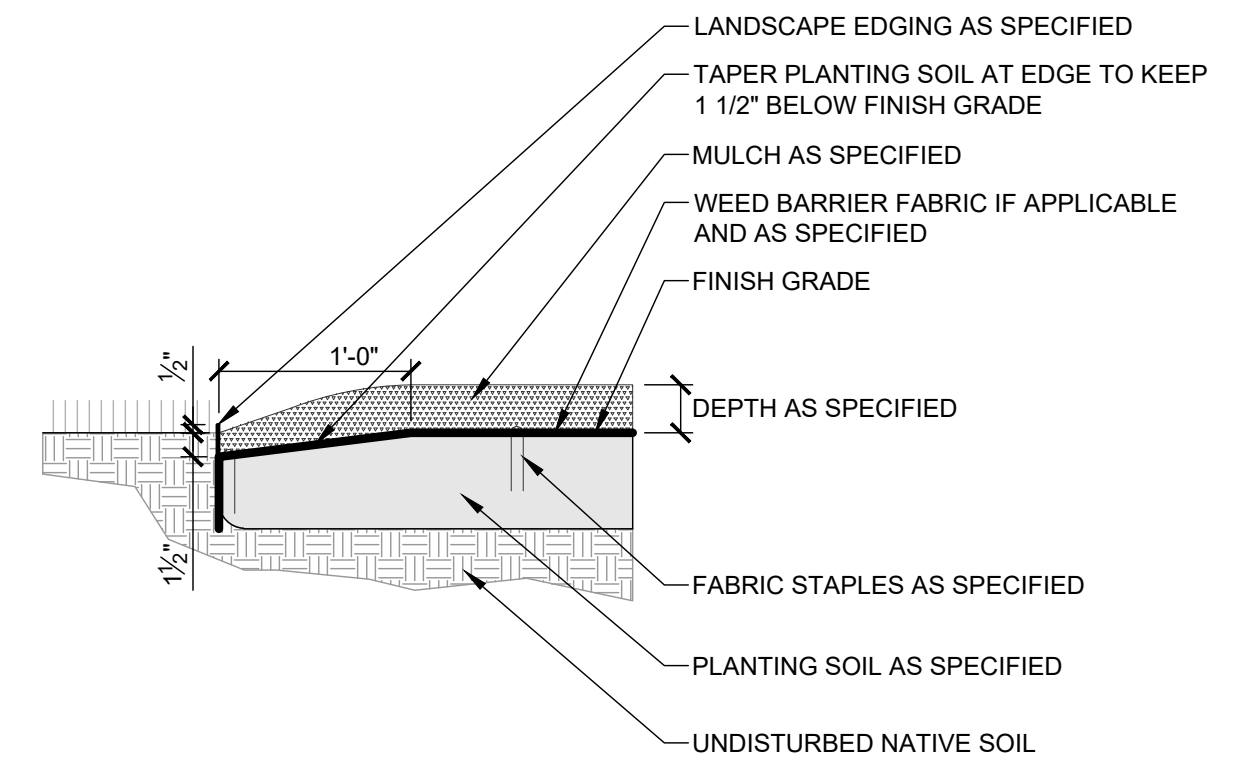
2 SHRUB PLANTING

PLANTING NOTES:

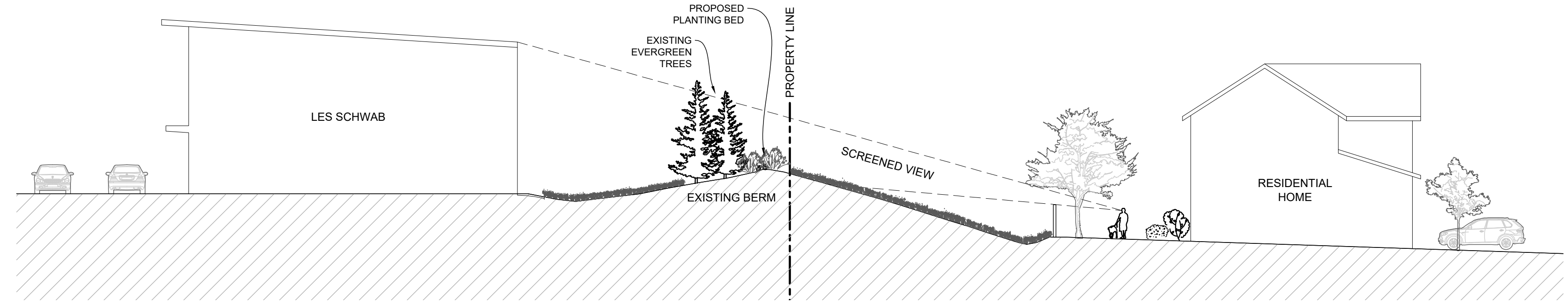
- FOR MORE INFORMATION SEE PLANTING NOTES ON L301 AND SPECIFICATION 329300 PLANTS.
- REMOVE ALL ROOT CONTAINMENT MATERIALS FROM ROOT BALL. THE CROWN OF THE ROOT MASS OF ALL PERENNIALS SHALL BE LEVEL WITH OR UP TO 1" ABOVE GRADE.
- ALL PERENNIALS SHALL BE INSTALLED WITH A TEMPORARY SAUCER OF RAISED SOIL AT THE EDGE OF ROOT MASS TO CONTAIN WATER. REMOVE OR BREACH WATER SAUCER BEFORE THE FIRST FROST.
- PULL MULCH AWAY FROM ROOT MASS A MINIMUM OF 3".



3 PERENNIAL PLANTING



4 STEEL EDGING



5 CROSS SECTION

Cushing Terrell

cushingterrell.com  
800.757.9522



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6-BAY LINEAR STORE

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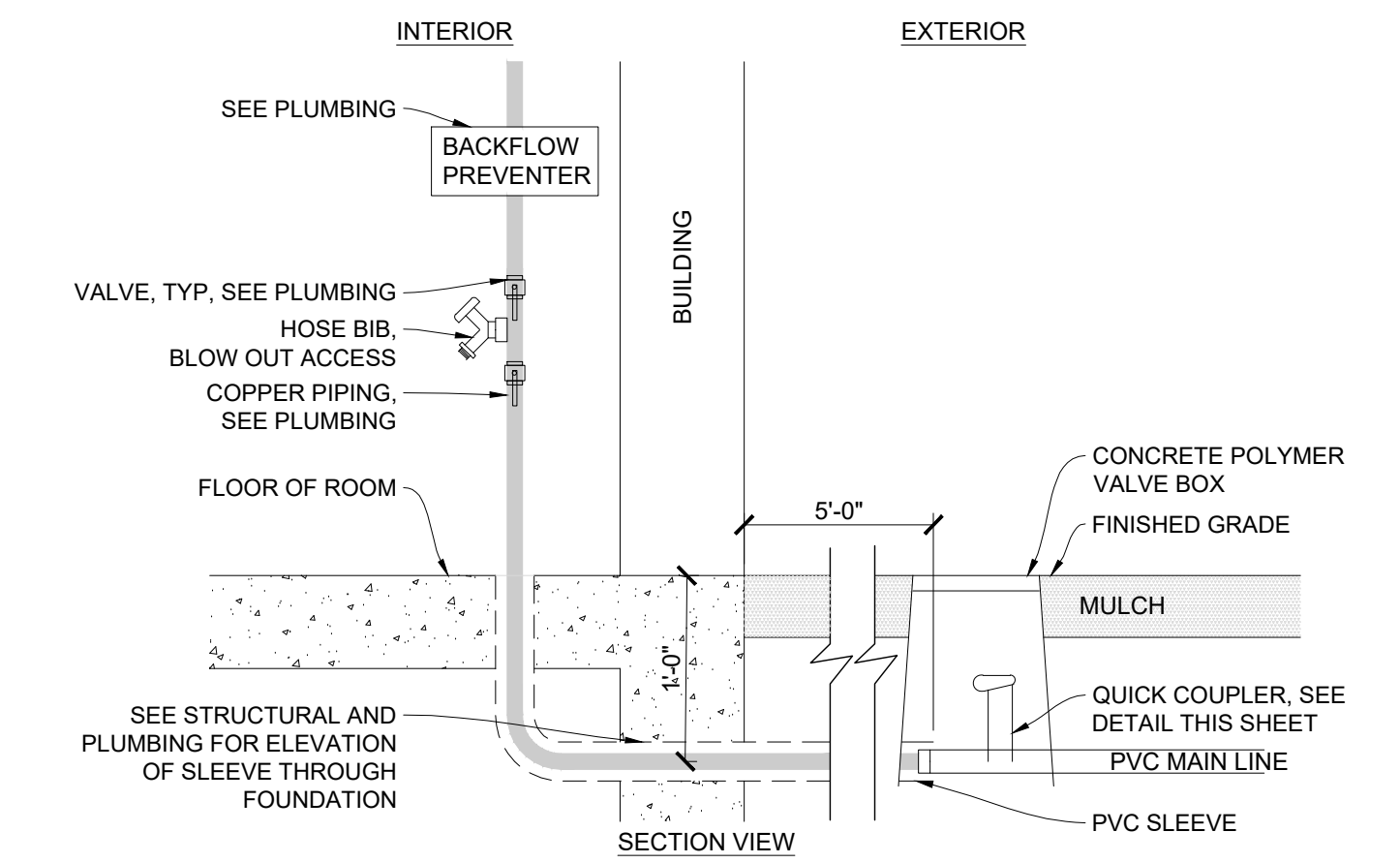
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CIVIL CDS

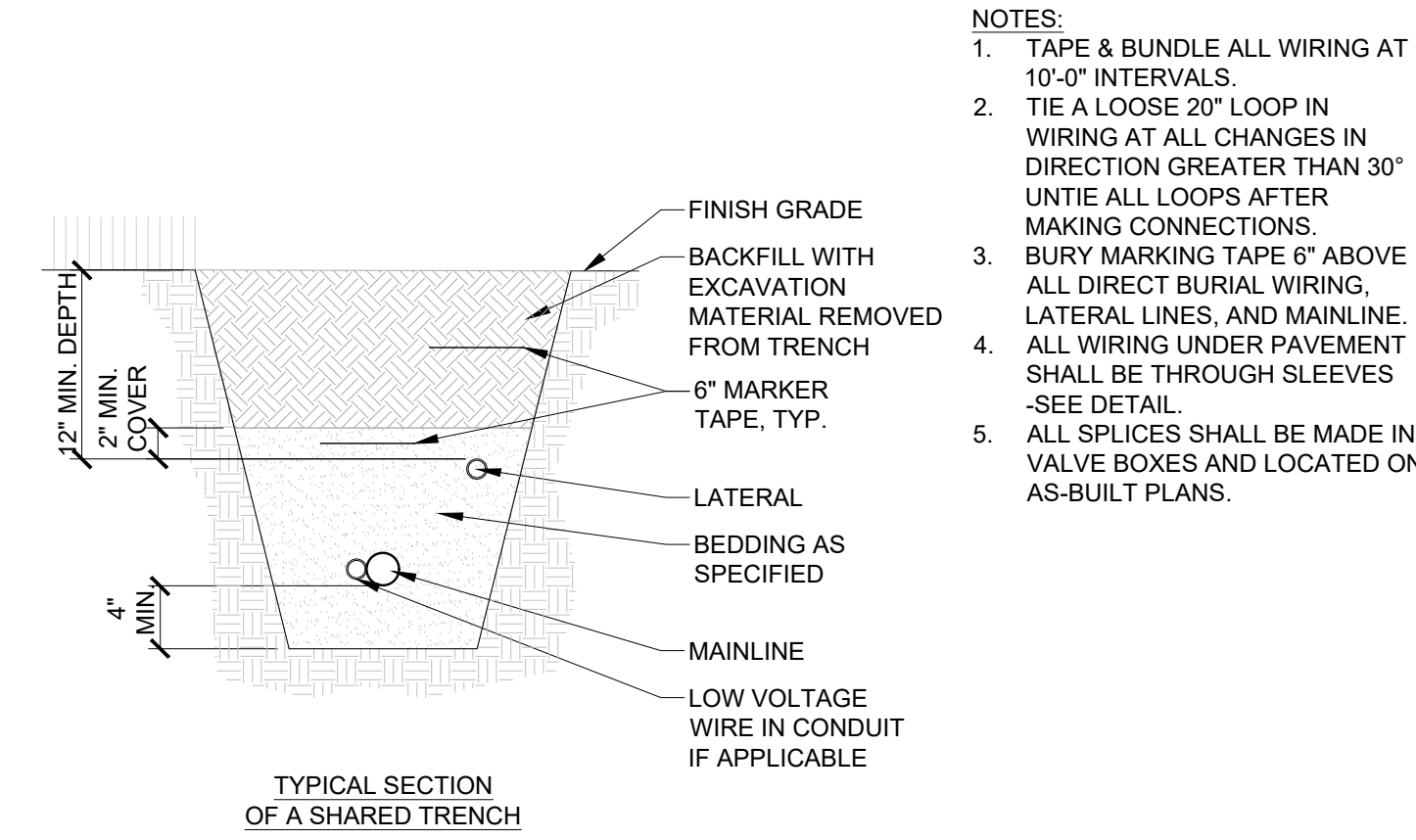
04.17.2024  
DRAWN BY | DONOVAN  
CHECKED BY | HANSEN  
REVISIONS

PLANTING DETAILS

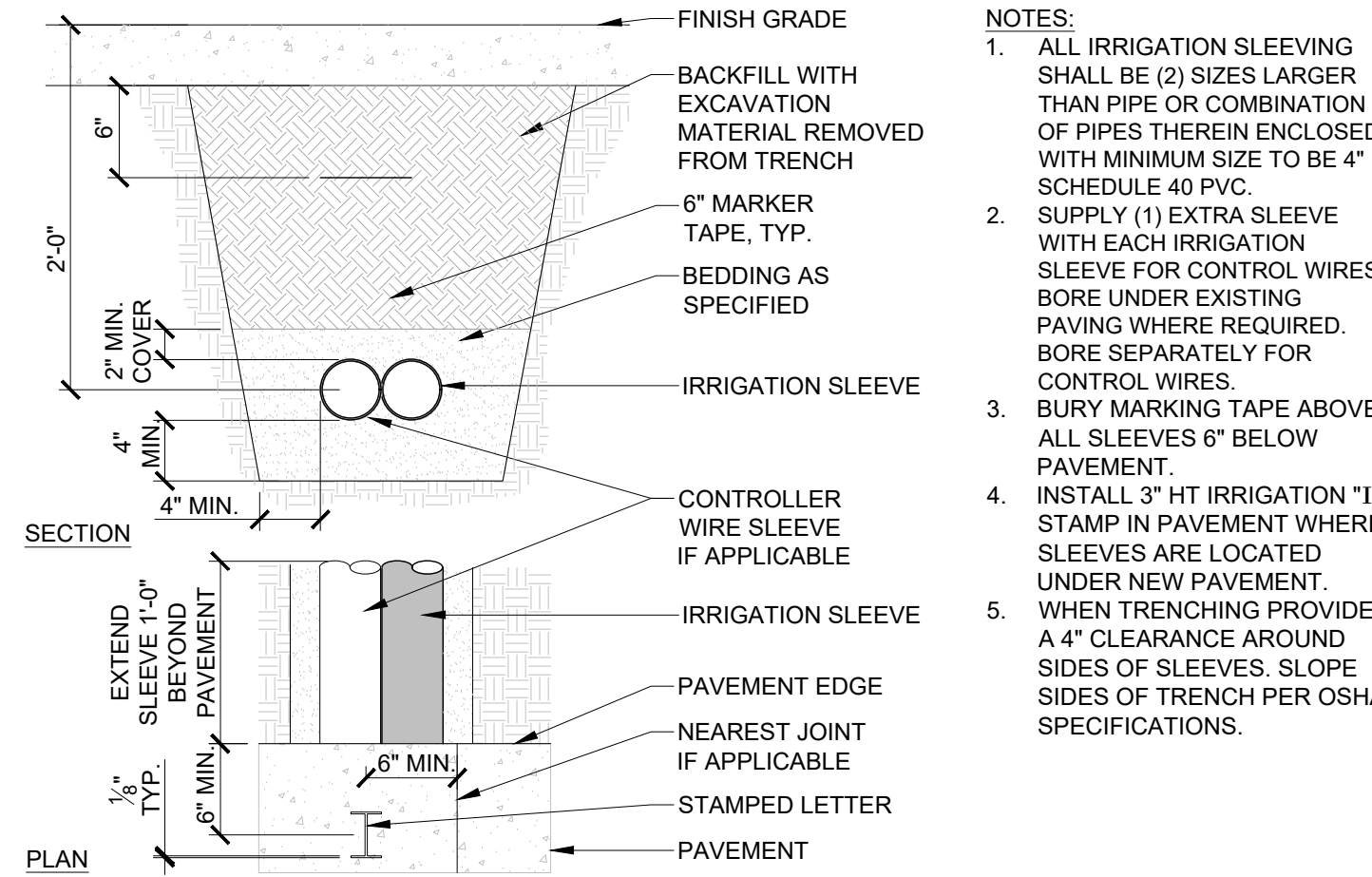
L501



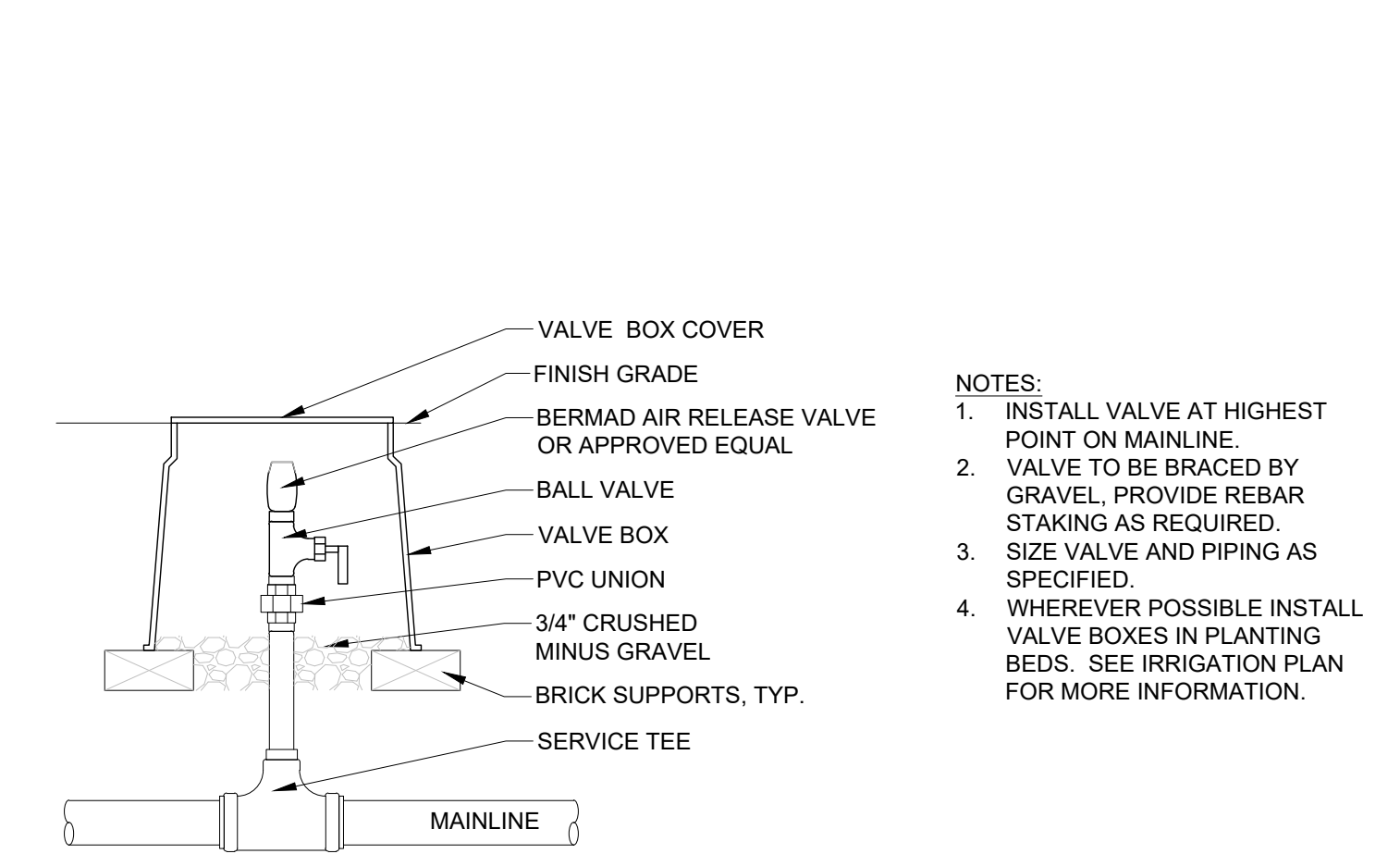
1 POINT OF CONNECTION 1"=1'-0"



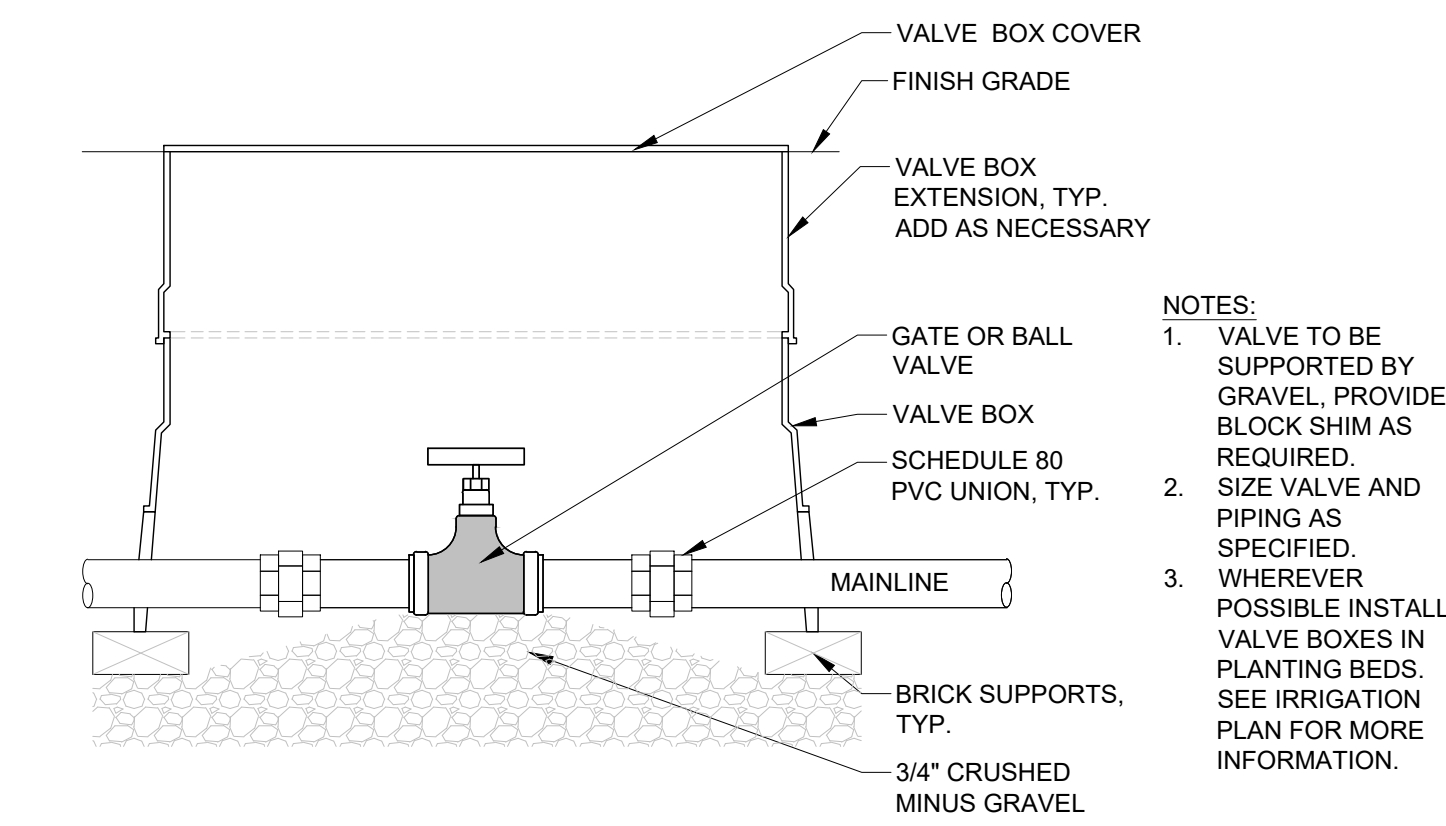
2 IRRIGATION TRENCH 1"=1'-0"



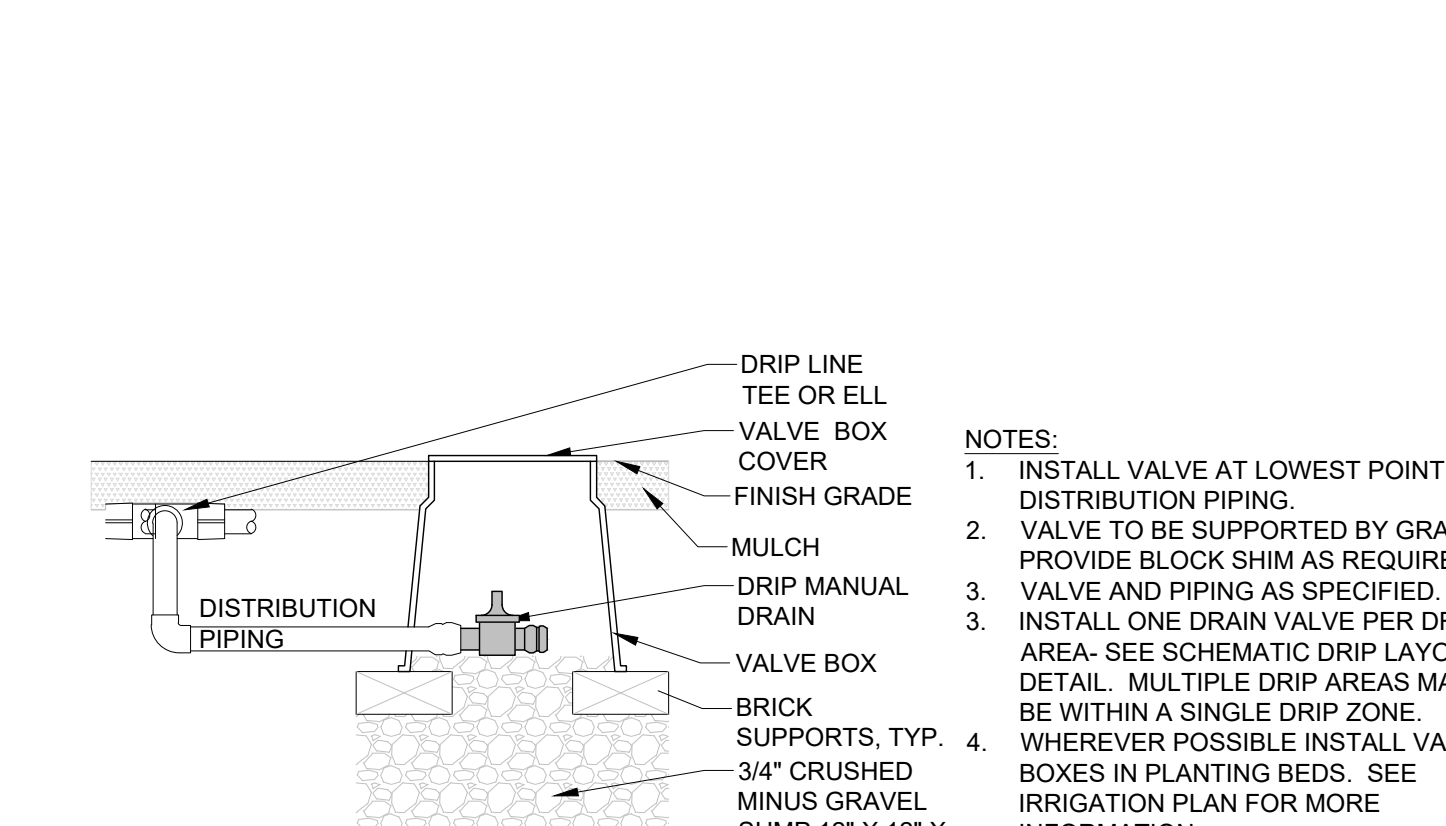
3 IRRIGATION SLEEVE 1"=1'-0"



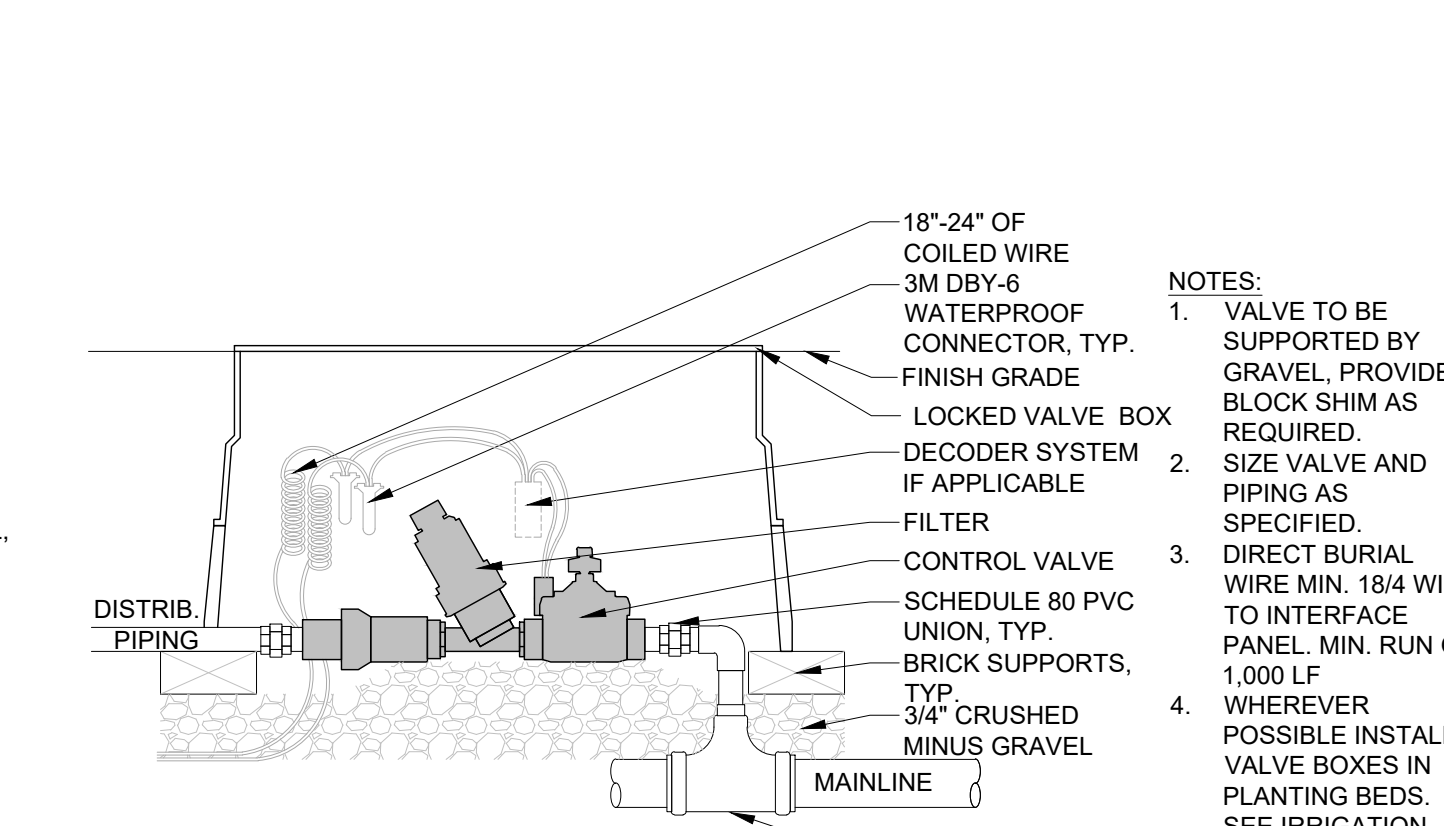
4 AIR RELIEF VALVE 1 1/2"=1'-0"



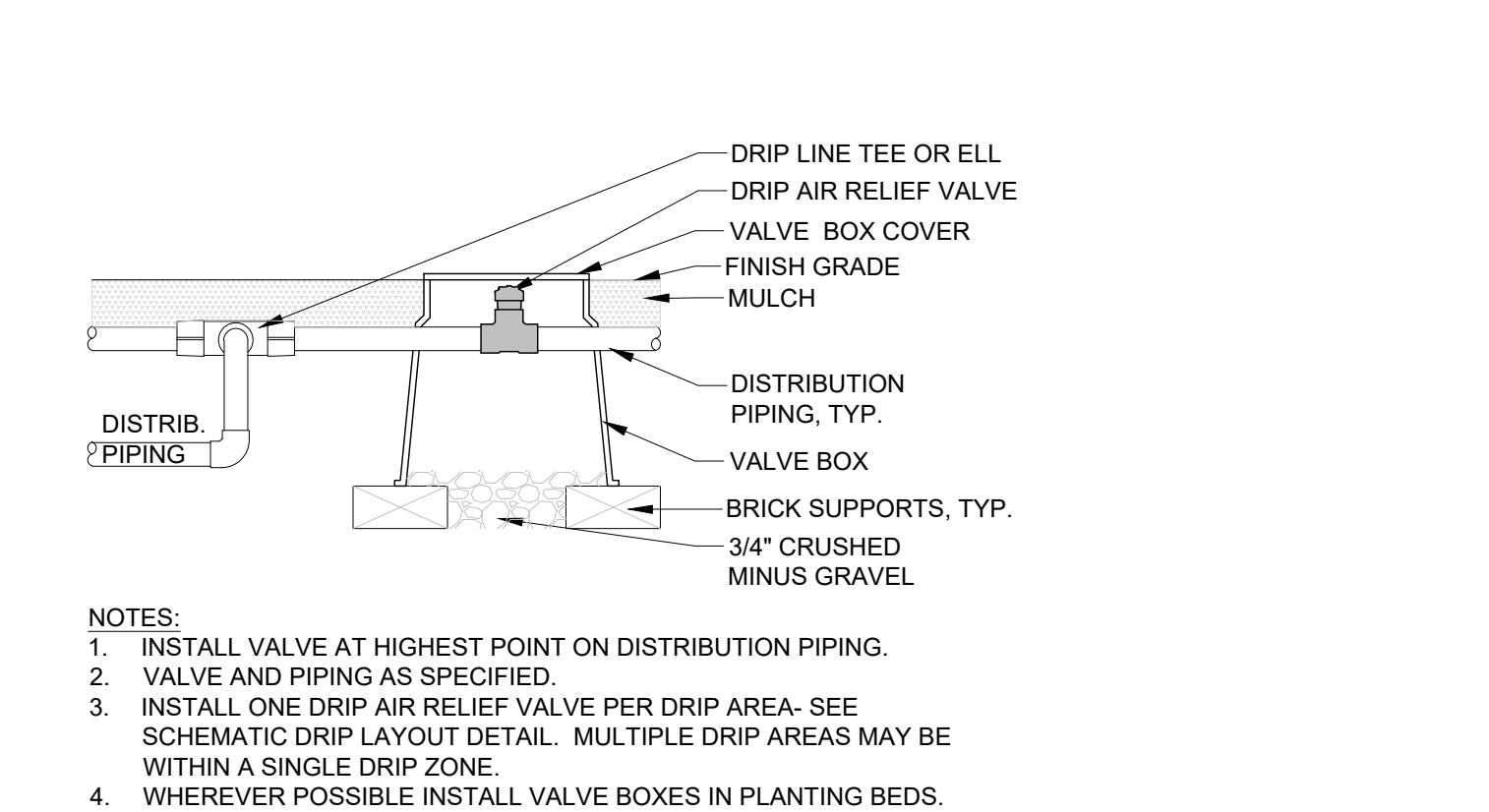
5 ISOLATION VALVE 1 1/2"=1'-0"



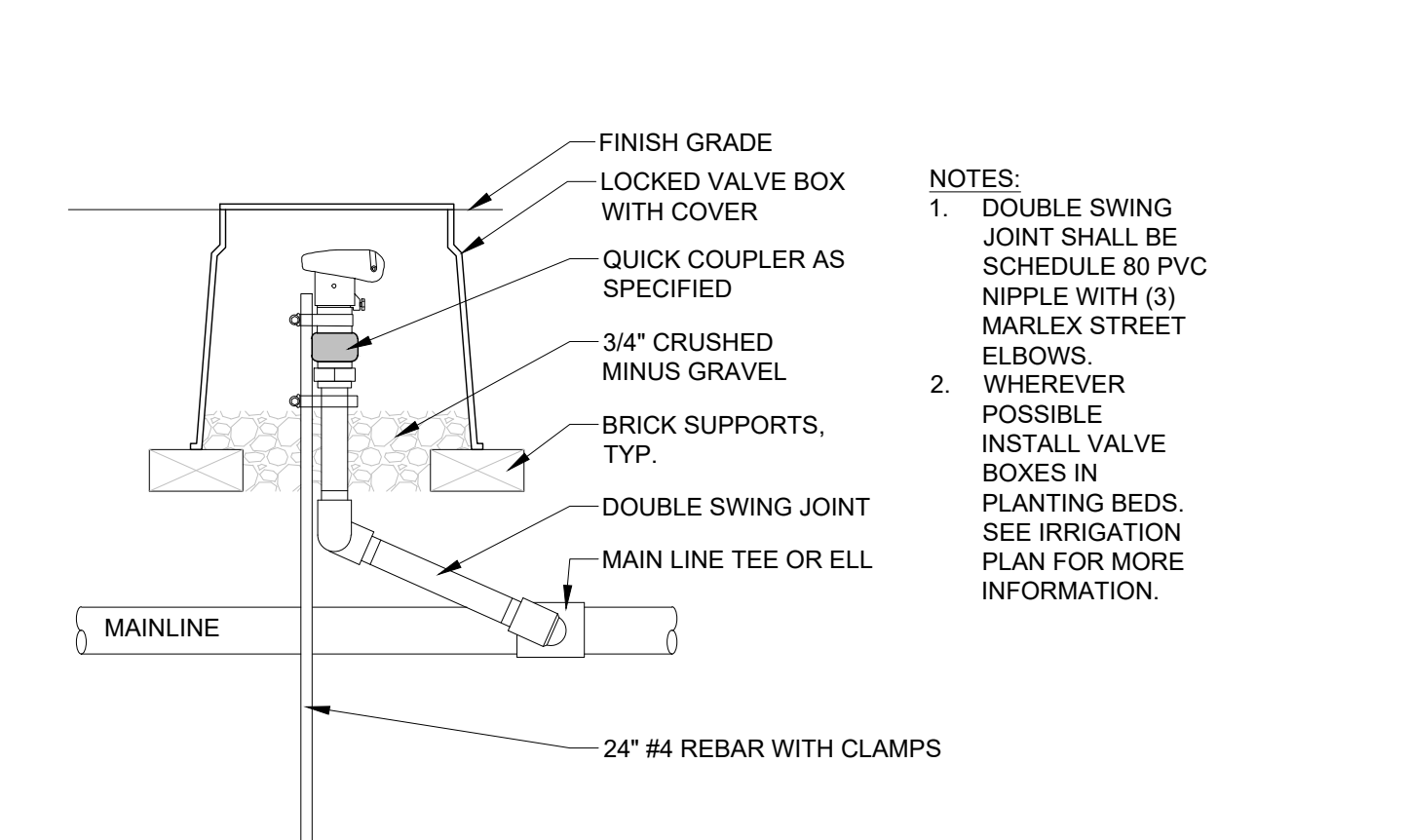
6 DRIP MANUAL DRAIN 1 1/2"=1'-0"



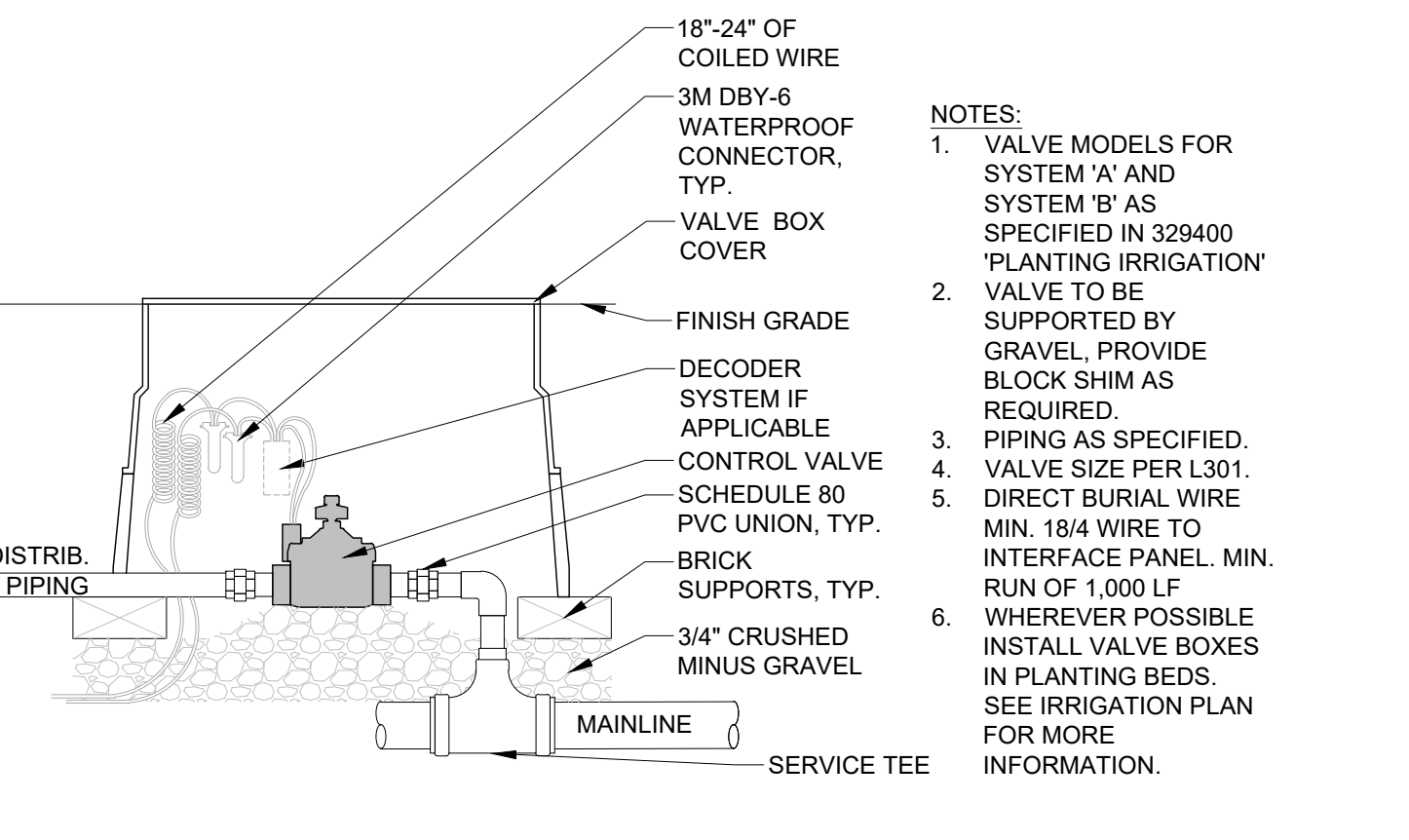
7 DRIP CONTROL VALVE 1 1/2"=1'-0"



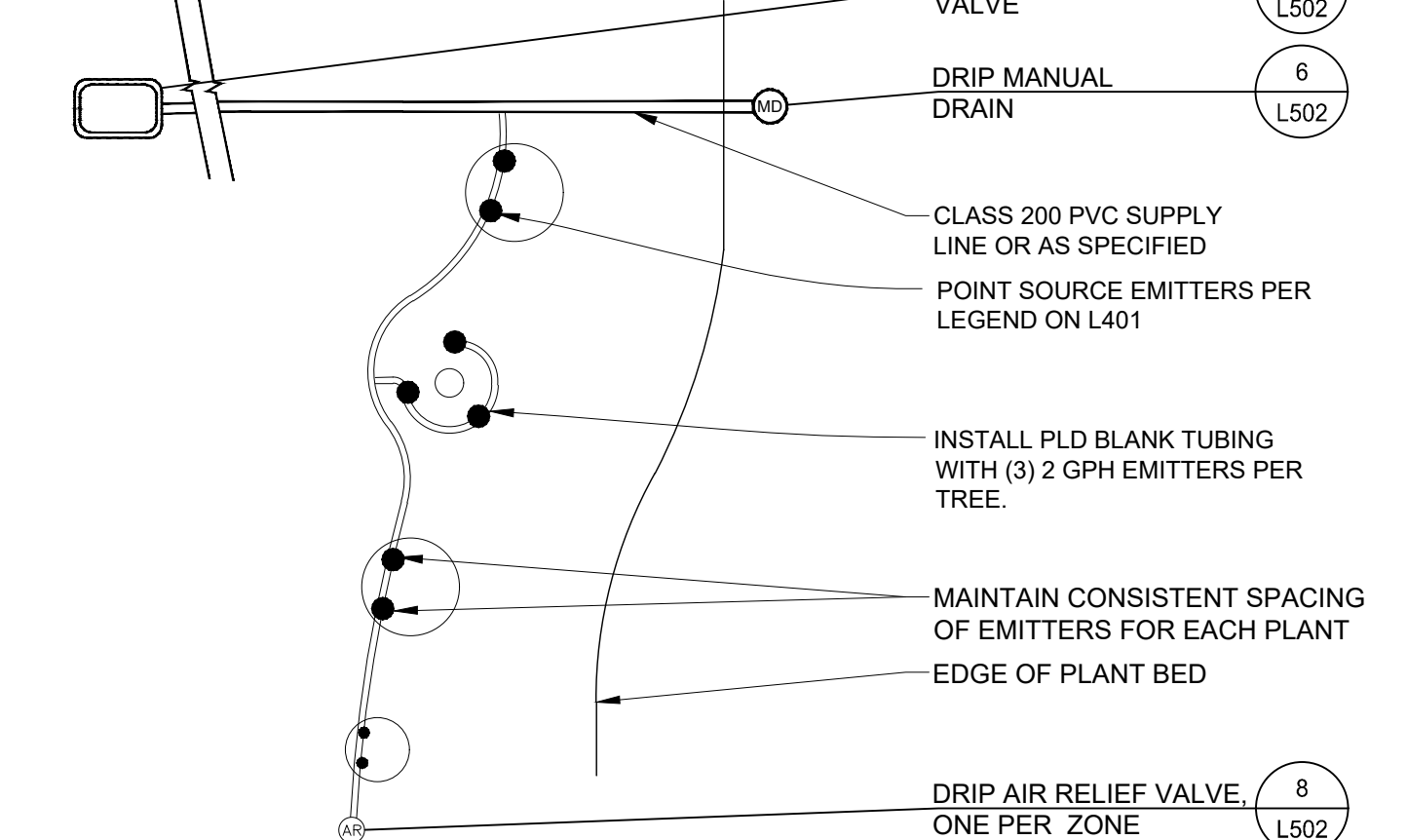
8 DRIP AIR RELIEF VALVE 1 1/2"=1'-0"



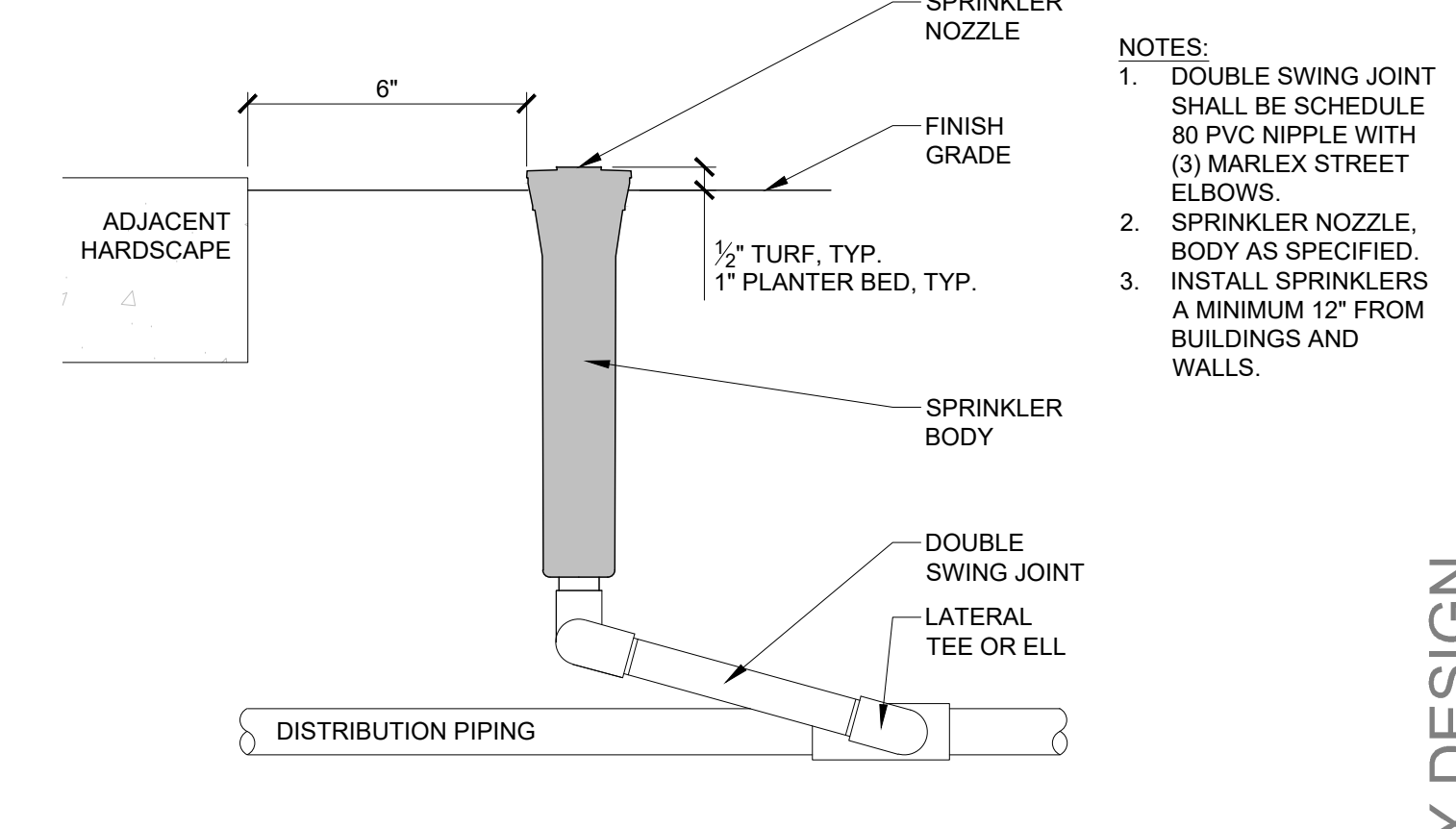
9 QUICK COUPLER 1 1/2"=1'-0"



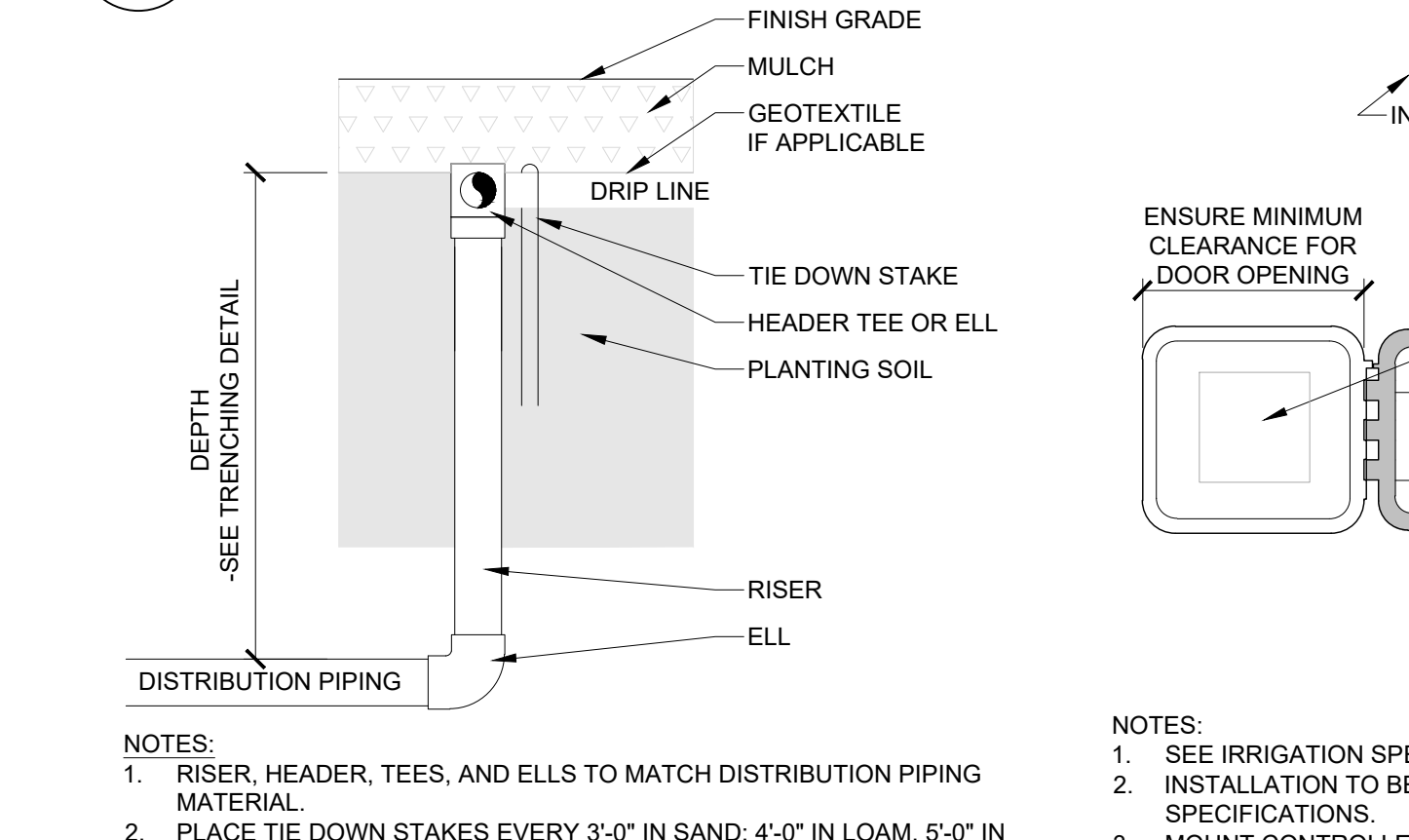
10 ELECTRIC CONTROL VALVE NTS



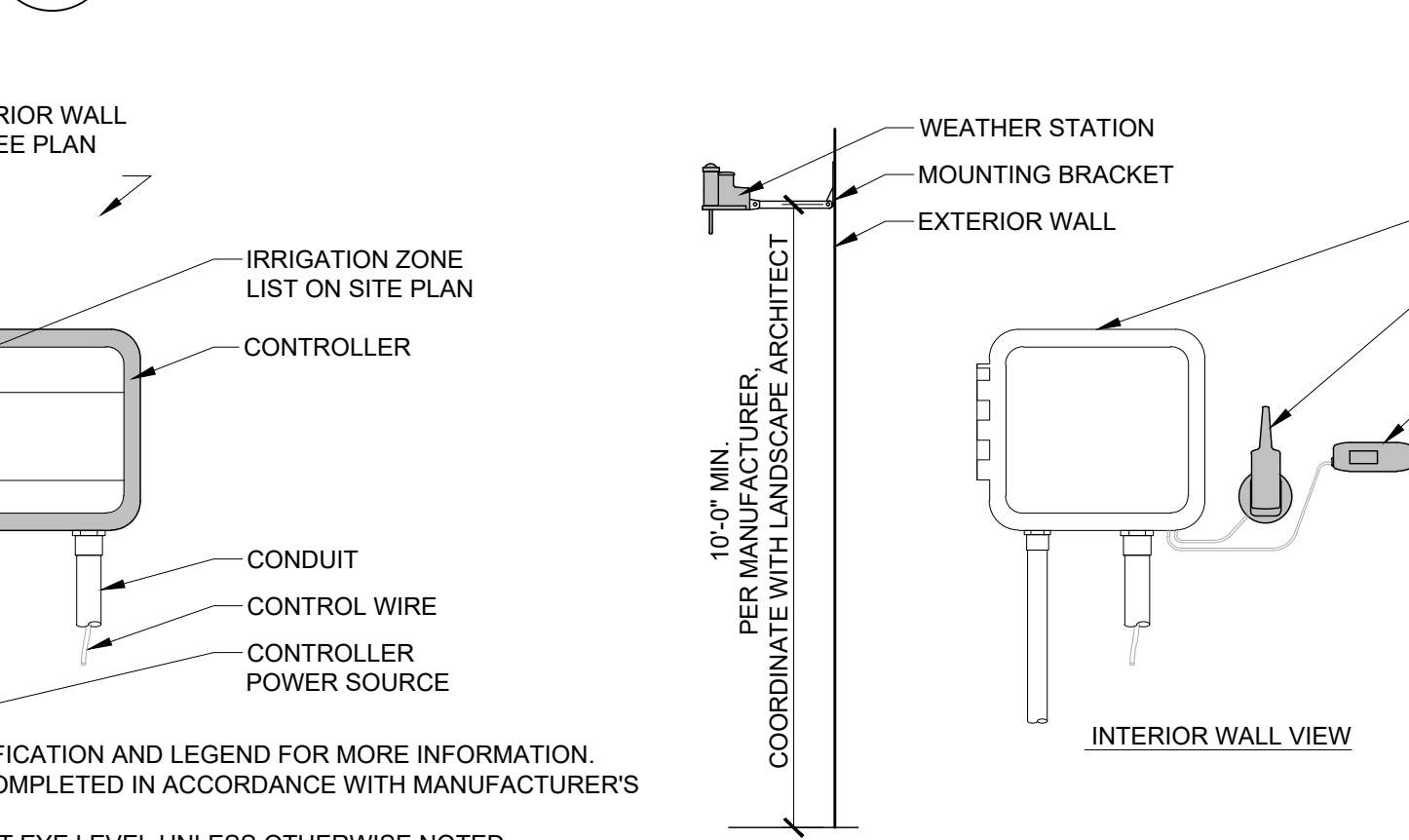
11 DRIP LAYOUT NTS



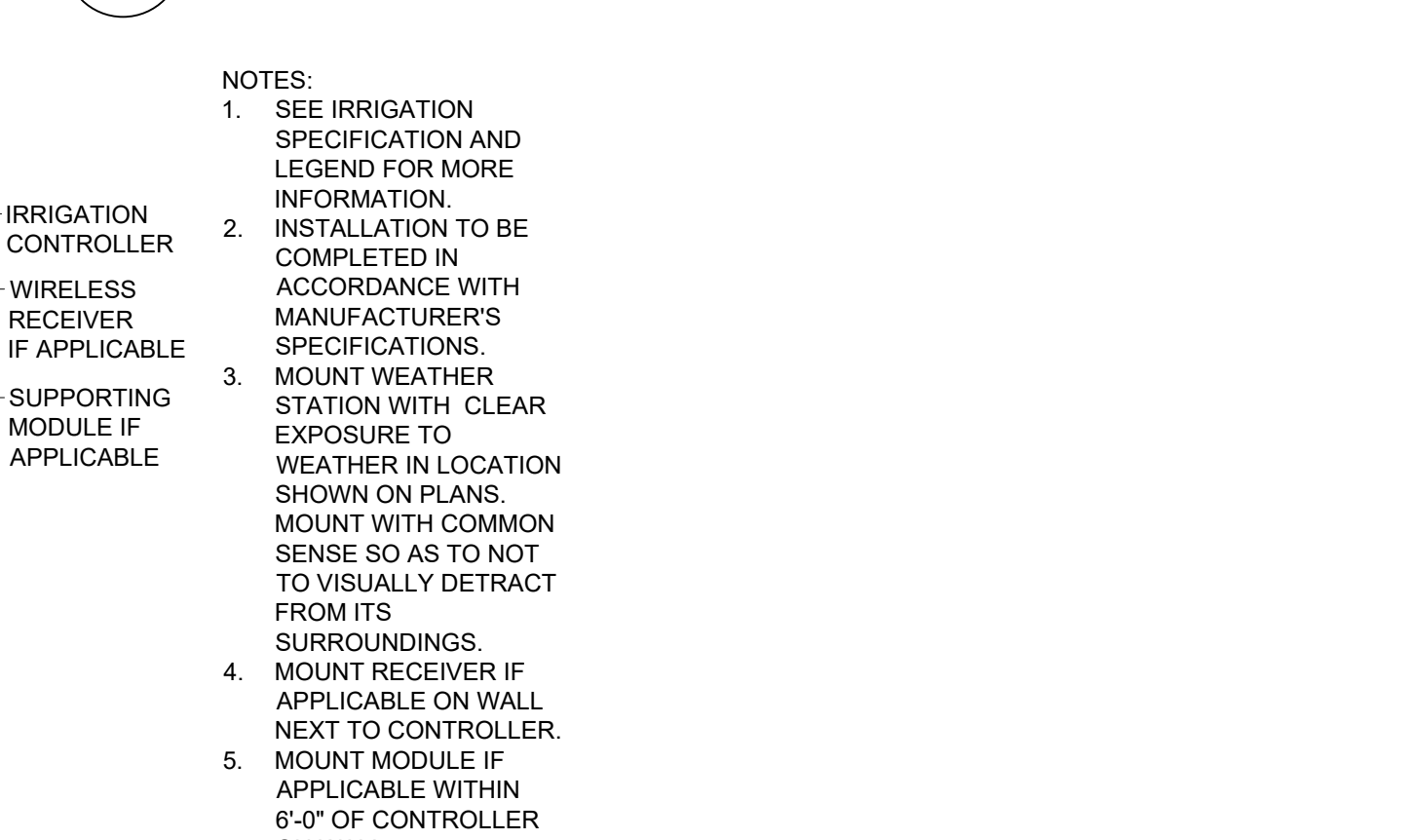
12 SPRINKLER HEAD NTS



13 DRIP MANIFOLD 3"=1'-0"



14 CONTROLLER 1 1/2"=1'-0"



15 WEATHER STATION 1 1/2"=1'-0"

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04.17.2024  
DRAWN BY | DONOVAN  
CHECKED BY | HANSEN  
REVISIONS

IRRIGATION DETAILS  
**L502**