

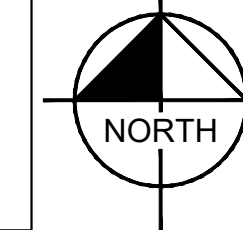
PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



VICINITY MAP
N.T.S.



Sheet List Table	
Sheet Number	Sheet Title
	SITE PLAN
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3	SITE PLAN
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11	LANDSCAPE NOTES
12	LANDSCAPE DETAILS
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14	IRRIGATION NOTES
15	IRRIGATION DETAILS
16	PEDESTRIAN PLAZA DETAILS
17	NET LEASABLE AREA
A2.0	BUILDING ELEVATIONS
A2.1	BUILDING ELEVATIONS

CONTACTS:

DEVELOPER:
MCDONALD'S USA, LLC
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5501 N 17TH STREET
OZARK, MO 65721
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CONTACT: COREY STINAR

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: JESSICA MCCALLUM, P.E.

SURVEYOR:
ENGINEERING SERVICE CO.
14190 EAST EVANS AVENUE
AURORA CO, 80014
TEL: (719) 582-1270
CONTACT: CHIP BECKSTROM, P.L.S.

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: JEREMY POWELL, P.L.A.

BENCHMARK

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT 1060032
3-1/4" ALUMINUM CAP DCGIS MONUMENT LOCATED AT THE STROH RANCH SOCCER PARK IN THE SOUTHEAST CORNER OF THE PARKING LOT.
ELEVATION: 5903.11 FEET (NAVD 1988 DATUM).

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN WITH A RECORD BEARING OF S89°59'29"W MONUMENTED BY 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "AZTEC, 2018, PLS 22561" FOUND IN A RANGE BOX AT THE NORTHEAST CORNER OF SAID SECTION 3 AND A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "2006, PLS 29761" FOUND IN A RANGE BOX AT THE NORTH 1/4 CORNER OF SAID SECTION 3, WITH BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0181G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGAL DESCRIPTION

LOT 2A, PARKER POINTE SUBDIVISION FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

SITE DATA

PROPERTY ACREAGE	1.48 ACRES (64,609 SF)
PERVIOUS AREA	0.32 ACRES
IMPERVIOUS AREA	1.16 ACRES
MAXIMUM IMPERVIOUS AREA	1.26 ACRES, 85% OF TOTAL LAND AREA
BUILDING DENSITY	4,795 SF (BLDG) = 7.42%
	64,609 SF (LOT)
MAX BUILDING DENSITY	NONE
PARKING AREA	47,535 SF
NET LEASABLE AREA	2,626 SF
PARKING REQUIRED	26 (1 PER 100 NLA)
PARKING PROVIDED	26 ON-SITE SPACES (2 ADA SPACES)
BICYCLE PARKING REQUIRED	2 (2 PER 10,000 SF)
BICYCLE PARKING PROVIDED	3

LAND USE DATA

EXISTING ZONING	PLANNED DEVELOPMENT
GROSS SITE AREA	1.4776 ACRES
NUMBER OF BUILDINGS	1 BUILDING
BUILDING GROSS FLOOR AREA	4,795 SF
NET LEASABLE AREA	2,626 SF

DEVELOPMENT STANDARDS

COMMERCIAL DEVELOPMENT STANDARDS	TOWN OF PARKER LAND DEVELOPMENT CODE REQ.	PROVIDED
MINIMUM LANDSCAPE AREA	0.22 AC (15%)	0.32 AC (22%)
MAXIMUM BUILDING HEIGHT	35 FEET	1 STORY/ 23'-0 1/2"
MINIMUM OFF-STREET PARKING	26 (PER NLA)	26 ONSITE SPACES (2 ADA STALLS)
MAXIMUM FLOOR AREA RATIO (FAR)	0.35	0.075

SETBACKS

COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED SETBACK	PROVIDED SETBACK
FRONT	10'	59'
SIDE	8'	66'/98'
REAR	0'	127'

TITLE	DESCRIPTION	DATE	BY
SITE PLAN			
COVER SHEET			
SITE ID	SITE ADDRESS		
51032	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO		

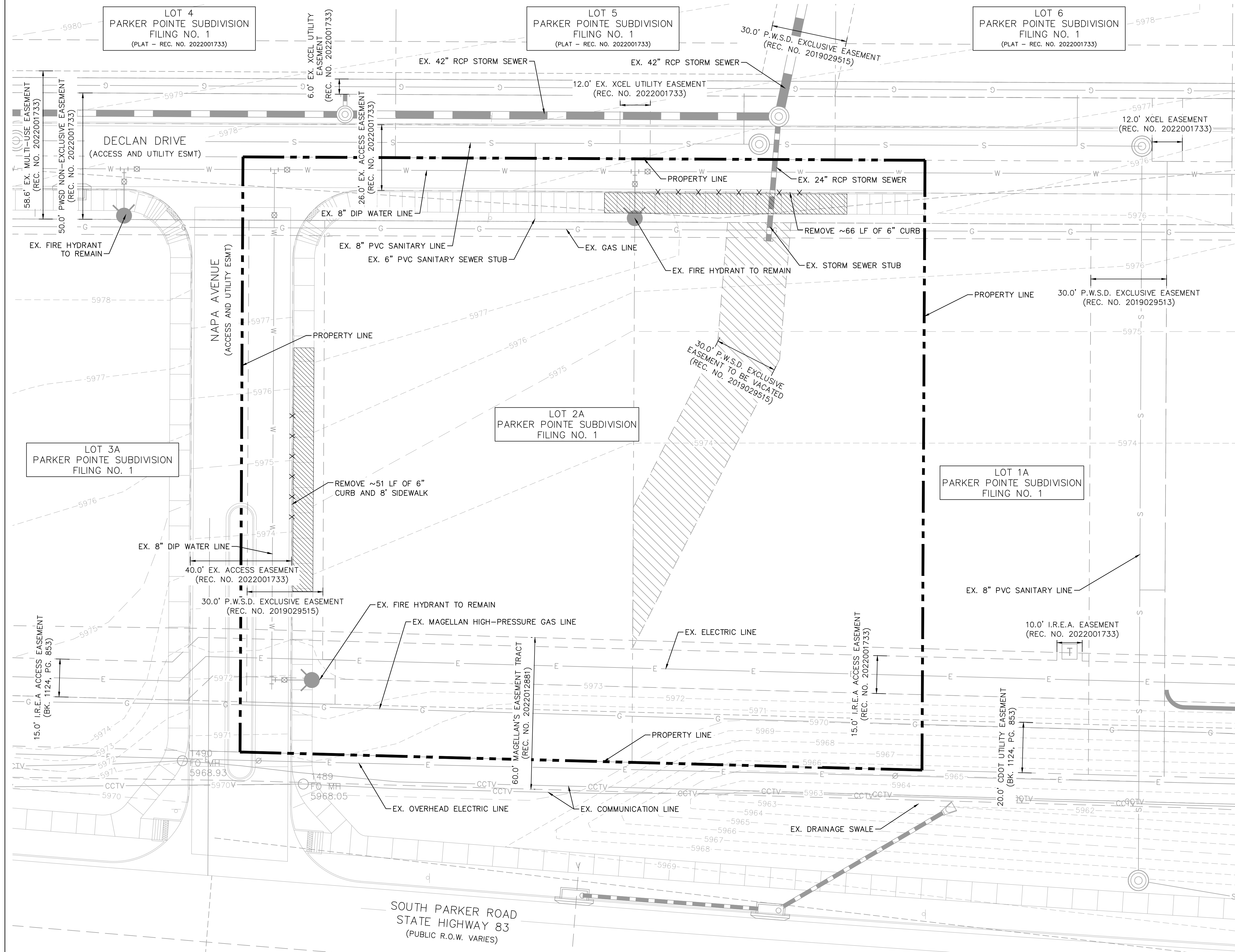
PREPARED BY:

PREPARED FOR:
McDonald's USA, LLC
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DRAWN BY	DATE
MCS	07/19/2024
STD ISSUE	
REVIEWED BY	
JJM	
DATE ISSUED	
	07/19/2024

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN

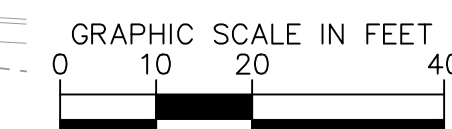
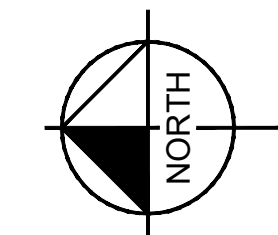


LEGEND

	PROPERTY LINE
	PARCEL LINE
	EX. EASEMENT
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	PROP. DEMO EXTENTS
	PROP. DEMO EXTENTS

NOTES:

1. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS "TO BE REMOVED".



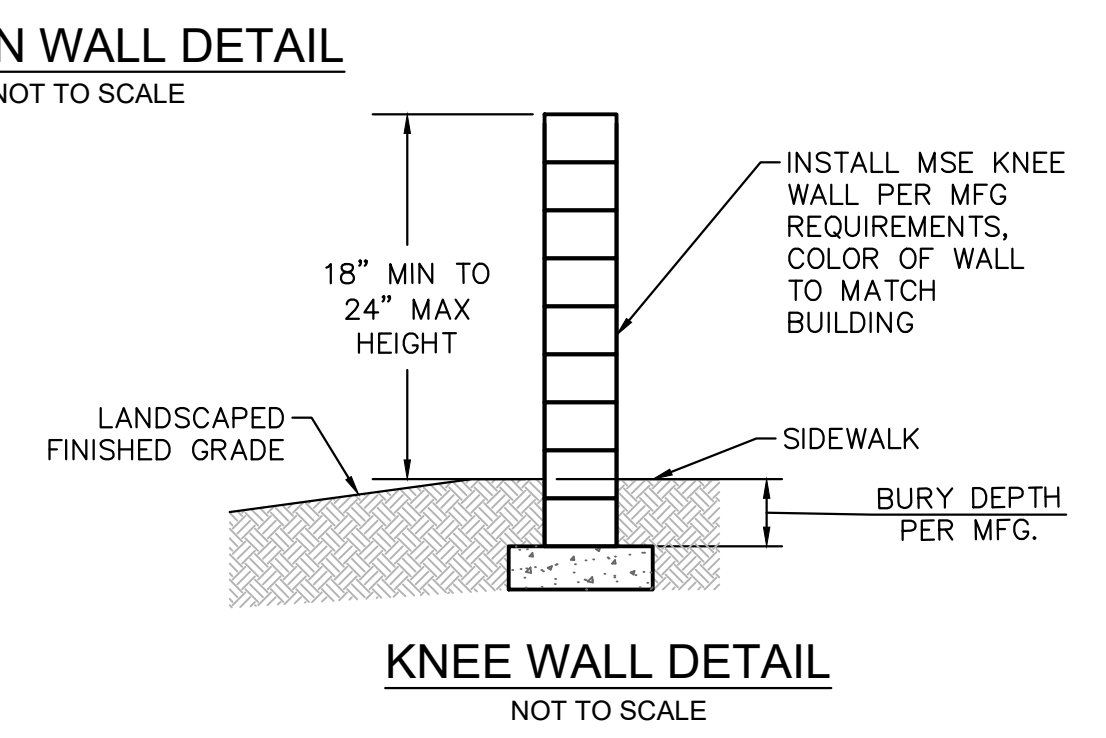
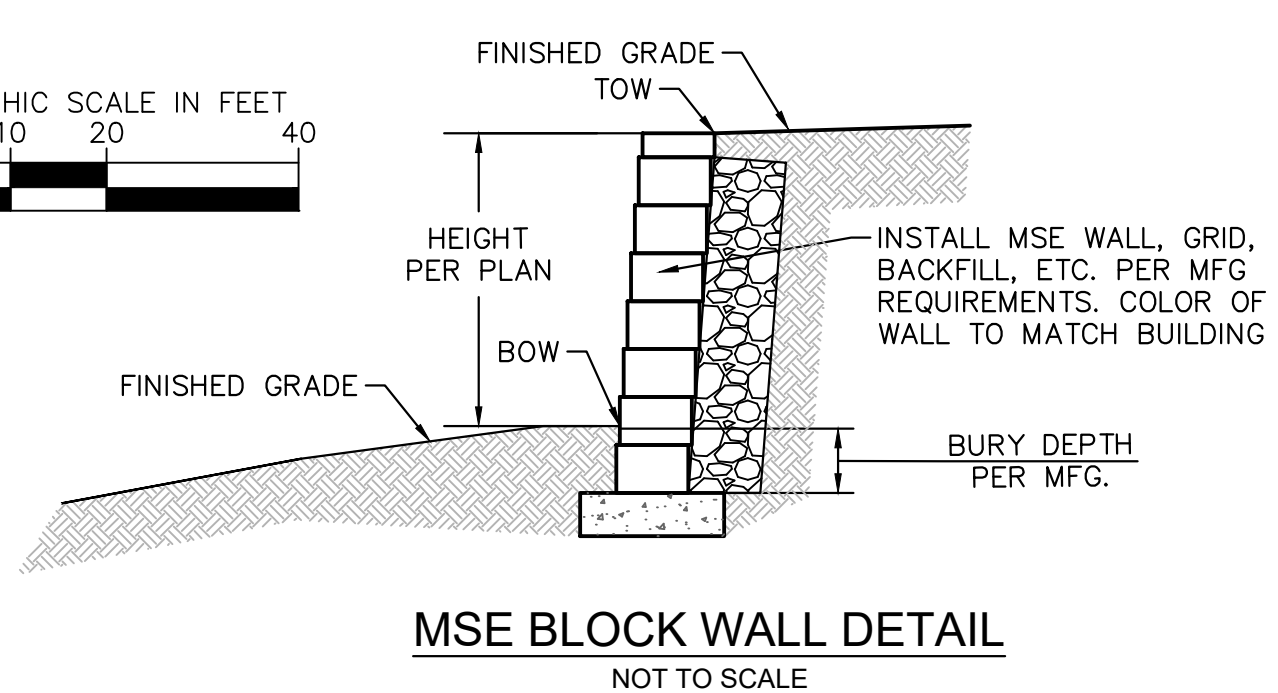
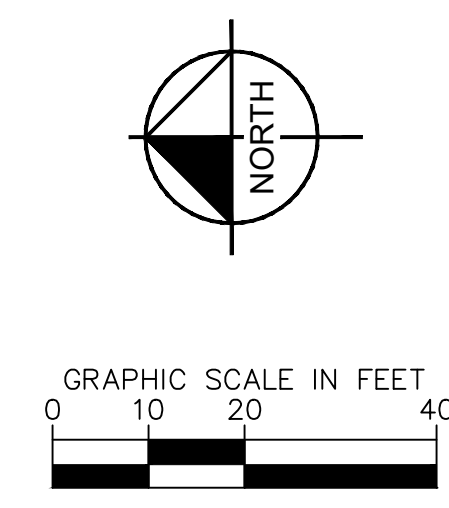
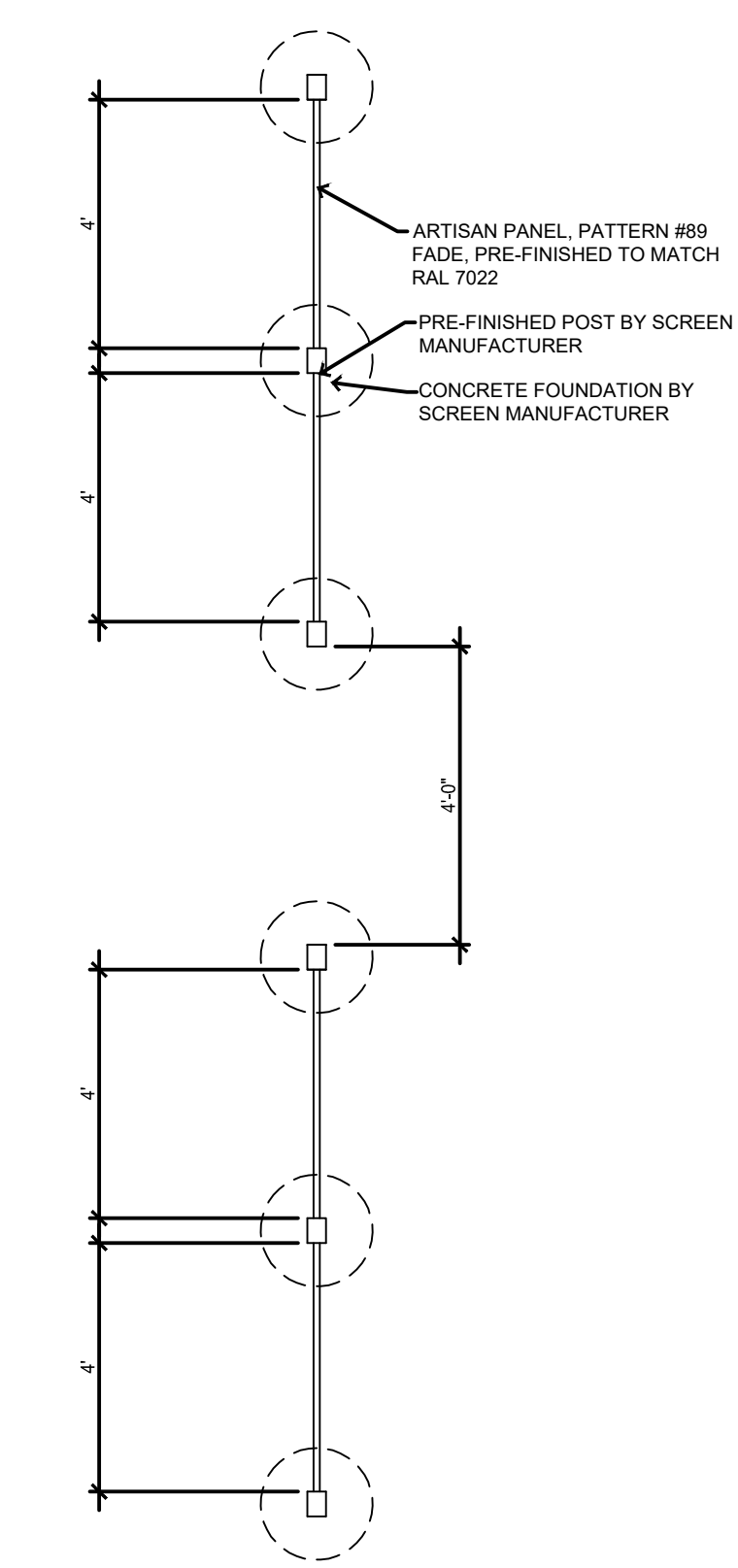
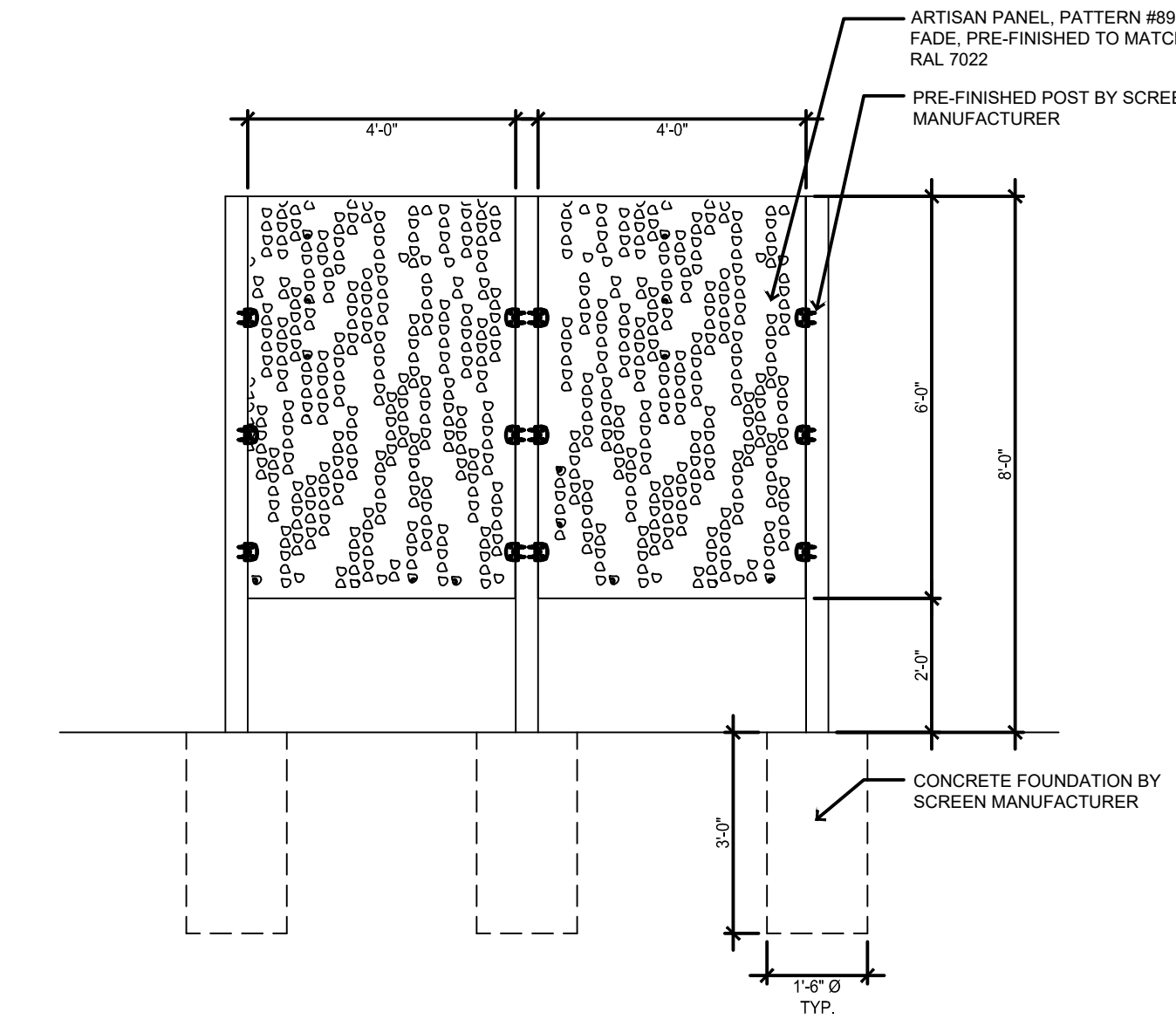
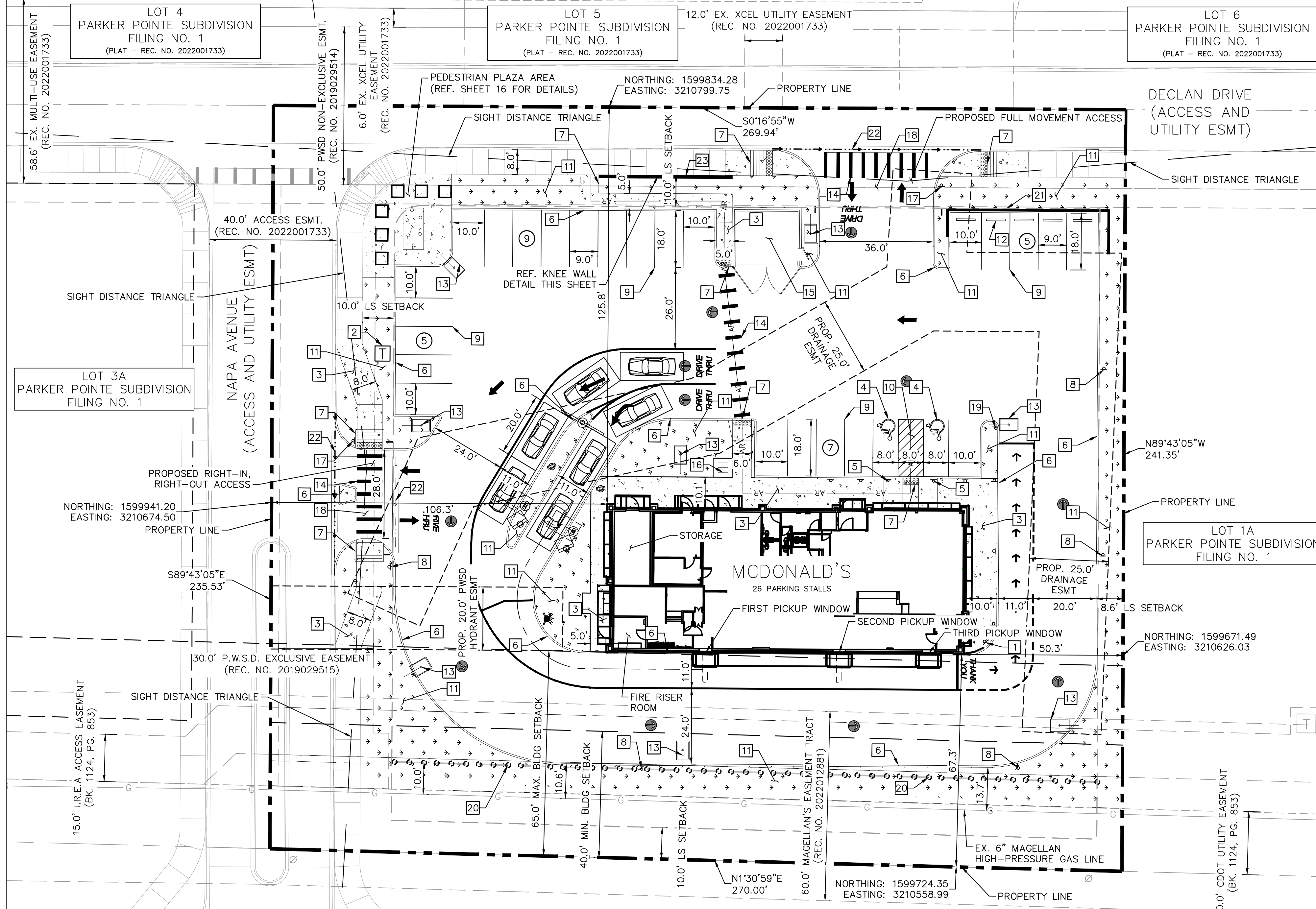
TITLE	SITE PLAN	
	DESCRIPTION	EXISTING CONDITIONS AND DEMOLITION PLAN
SITE ID	51032	SITE ADDRESS
DRAWN BY	MCS	DATE
STD ISSUE		DATE
REVIEWED BY	JJM	DATE ISSUED
		07/19/2024
PREPARED FOR:	<p>McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in reliance on the information provided in these drawings. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. Use of these drawings for any other purpose without the contract documents for reuse on another project is not authorized.</p>	
PREPARED BY:	<p>Kimley Horn</p>	
REV	DATE	DESCRIPTION
BY		

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE
WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM
MAGELLAN PIPELINE COMPANY, L.P.



- LEGEND**
- PROPERTY LINE
 - SETBACK
 - - - EX. EASEMENT
 - AR ACCESSIBLE ROUTE
 - SCREEN WALL
 - ▬ PROP. RETAINING WALL
 - ▬ LANDSCAPE
 - ▬ CONCRETE SIDEWALK
 - ▬ CONCRETE PAVING
 - # PARKING STALL COUNT
 - △ SIGHT DISTANCE TRIANGLE

- KEY NOTES**
- 1 PROPOSED "NO PARKING ANY TIME" SIGN
 - 2 PROPOSED TRANSFORMER LOCATION
 - 3 PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
 - 4 PROPOSED ADA SYMBOL
 - 5 PROPOSED ADA SIGN
 - 6 PROPOSED 6" WIDE X 6" TALL CONCRETE CURB HEAD
 - 7 PROPOSED ADA RAMP
 - 8 PROPOSED "NO PARKING FIRE LANE" SIGN
 - 9 PROPOSED 4" WIDE PARKING STRIPE
 - 10 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
 - 11 PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
 - 12 PROPOSED WHEEL STOP
 - 13 PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLANS FOR DETAILS)
 - 14 PROPOSED CROSSWALK
 - 15 PROPOSED TRASH ENCLOSURE
 - 16 PROPOSED BIKE PARKING (3 SPACES)
 - 17 PROPOSED STOP SIGN
 - 18 PROPOSED DRIVEWAY ACCESS
 - 19 PROPOSED "DO NOT ENTER" SIGN
 - 20 PROPOSED 8' SCREEN WALL (REF. DETAIL THIS SHEET)
 - 21 PROPOSED RETAINING WALL, SPLIT FACE MSE BLOCK WALL WITH COLOR TO MATCH BUILDING (GRAY, 'RAL 7022'), MAXIMUM HEIGHT = 2.58', AVERAGE HEIGHT = 1.2' (REF. DETAIL THIS SHEET)
 - 22 PROPOSED 2' CONCRETE GUTTER PAN
 - 23 PROPOSED MSE BLOCK KNEE WALL WITH COLOR TO MATCH BUILDING (GRAY, 'RAL 7022'), 18" TALL MINIMUM, 24" TALL MAXIMUM (REF. DETAIL THIS SHEET)

TITLE	DATE	REV	DATE	DESCRIPTION
SITE PLAN				
SITE PLAN	07/19/2024			
SITE ID	51032			
SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO			

DRAWN BY: MGS
STD ISSUE DATE:
REVIEWED BY: JIM
DATE ISSUED: 07/19/2024

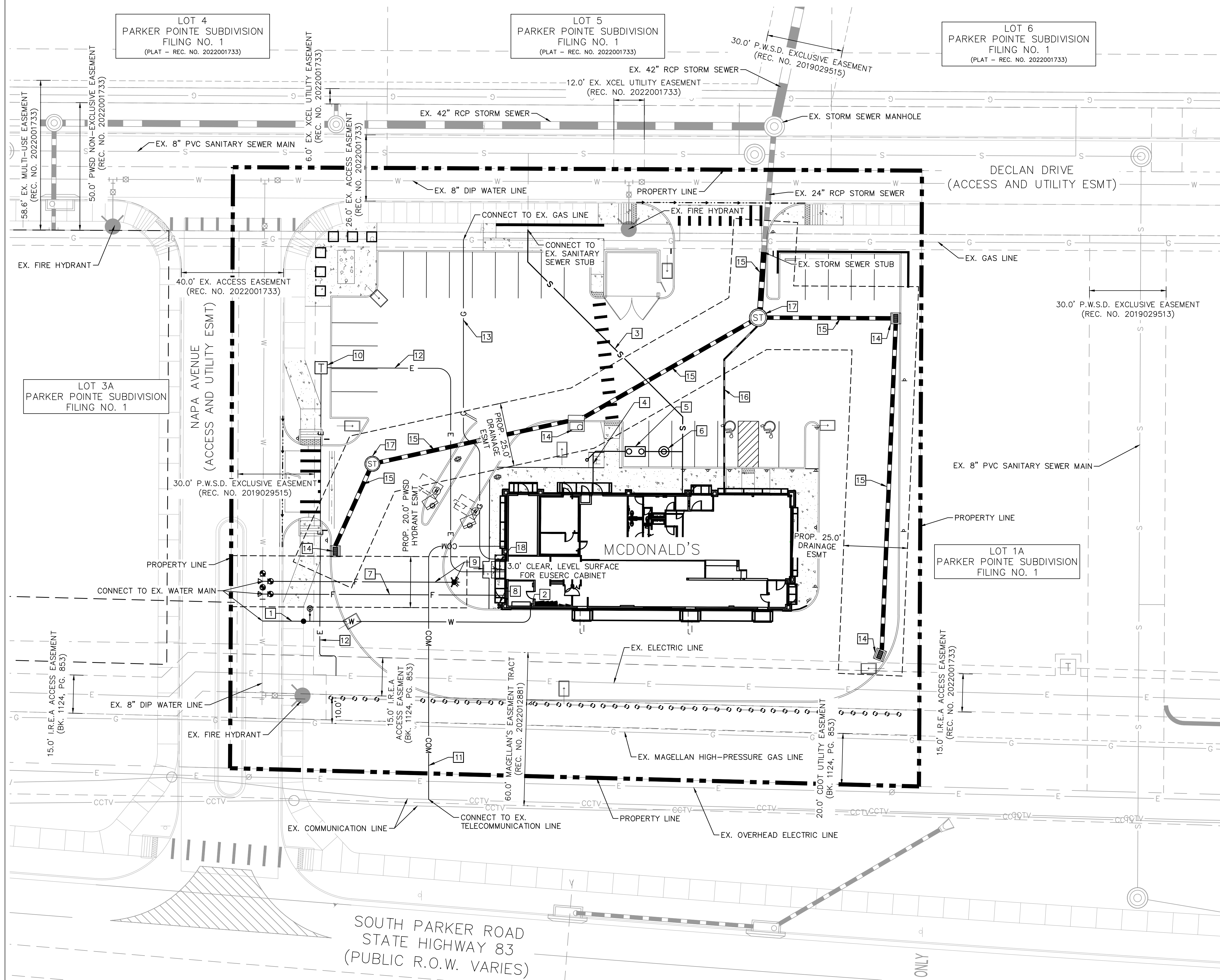
PREPARED FOR: **McDonald's USA, LLC**
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PREPARED BY: **Kimley»Horn**



PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



LEGEND

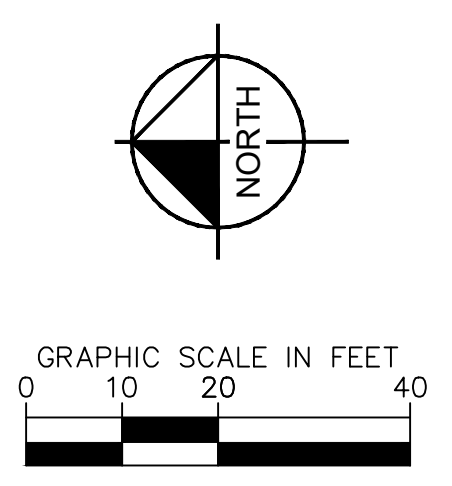
	PROPERTY LINE
	EX. EASEMENT
	PROP. RETAINING WALL
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	PROP. WATER LINE
	PROP. SANITARY LINE
	PROP. STORM SEWER
	PROP. COMMUNICATIONS LINE
	PROP. ELECTRIC LINE
	PROP. GAS LINE
	CONCRETE SIDEWALK

KEY NOTES

- 1 PROPOSED DOMESTIC WATER SERVICE LINE
- 2 PROPOSED WATER METER LOCATED INSIDE BUILDING
- 3 PROPOSED SANITARY SEWER SERVICE LINE
- 4 PROPOSED GREASE INTERCEPTOR SERVICE LINE
- 5 PROPOSED GREASE TRAP WITH TRAFFIC RATED LIDS
- 6 PROPOSED SAMPLING MANHOLE
- 7 PROPOSED FIRE SERVICE LINE
- 8 PROPOSED FDC
- 9 PROPOSED FIRE HYDRANT AND FIRE HYDRANT LATERAL
- 10 PROPOSED TRANSFORMER
- 11 PROPOSED TELECOMMUNICATIONS SERVICE LINE
- 12 PROPOSED ELECTRIC SERVICE LINE
- 13 PROPOSED GAS SERVICE LINE
- 14 PROPOSED STORM INLET
- 15 PROPOSED STORM SEWER
- 16 PROPOSED ROOF DRAIN (SEE MEP AND ARCHITECT PLANS FOR ROOF DRAIN SIZING AND BUILDING P.O.C.)
- 17 PROPOSED STORM MANHOLE
- 18 PROPOSED EUSERC CABINET

TITLE	SITE PLAN	DATE	07/19/2024
DESCRIPTION	PRELIMINARY UTILITY PLAN	DATE ISSUED	07/19/2024
SITE ID	51032	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO
PREPARED BY:	McDonald's USA, LLC	DRAWN BY:	MCS
REVIEWED BY:	JJM	STD ISSUE DATE	
DATE ISSUED	07/19/2024		
REV	DATE	DESCRIPTION	BY

Kimley»Horn

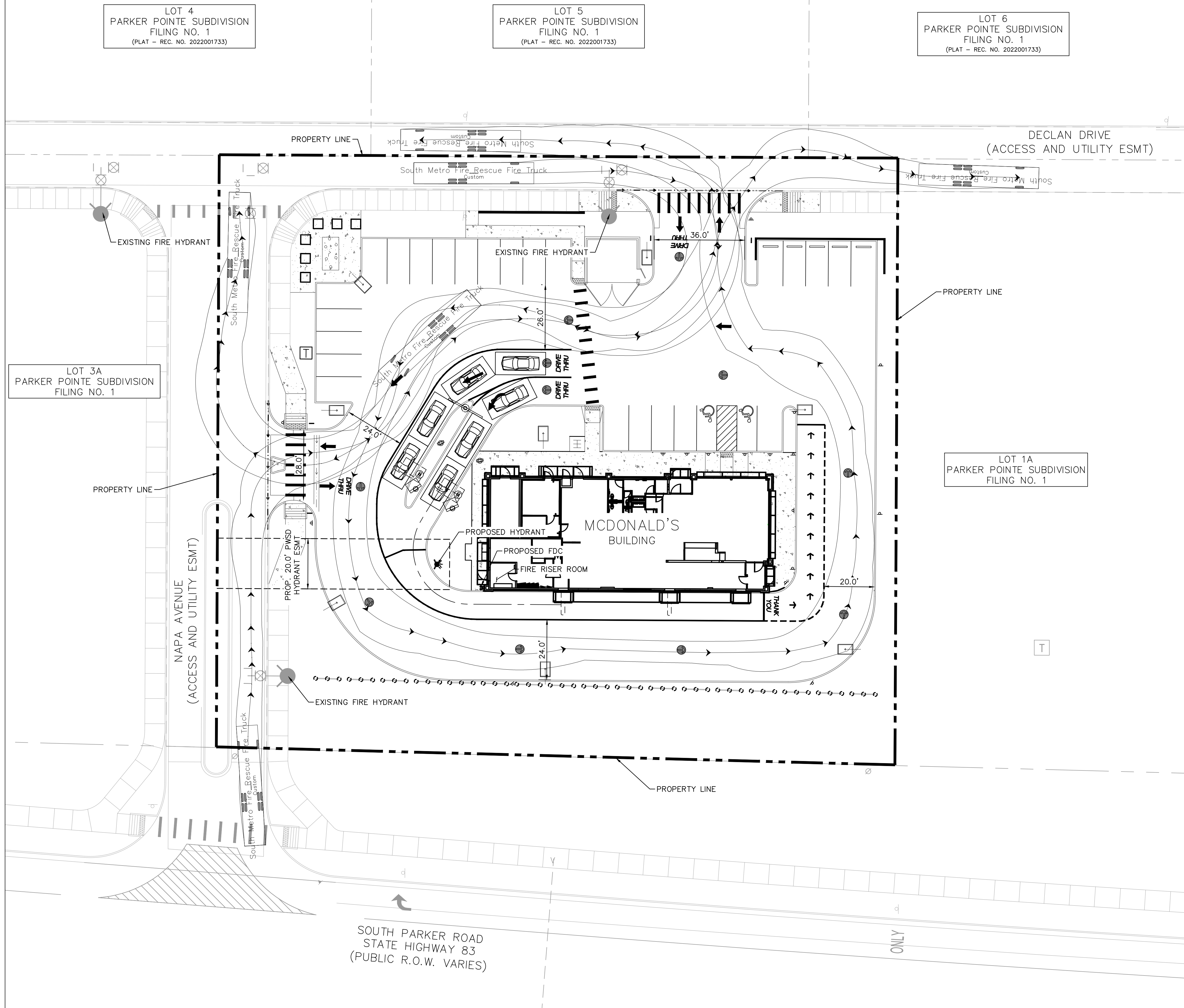


811 Know what's below.
Call before you dig.

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

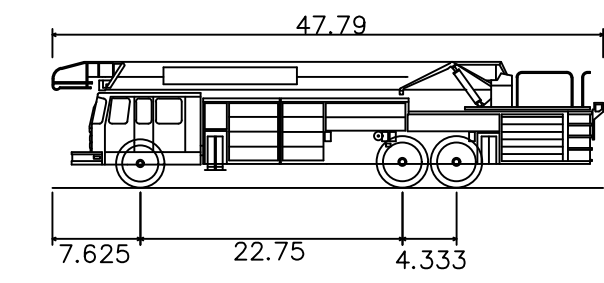
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



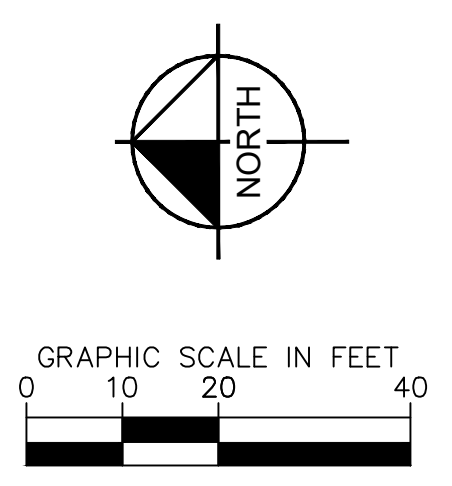
LEGEND

--- PROPERTY LINE



SOUTH METRO FIRE RESCUE FIRE TRUCK
Overall Length 47.790ft
Overall Width 7.625ft
Overall Body Height 22.750ft
Min Body Ground Clearance 4.333ft
Track Width
Lock-to-lock time
Wall to Wall Turning Radius 46.667ft

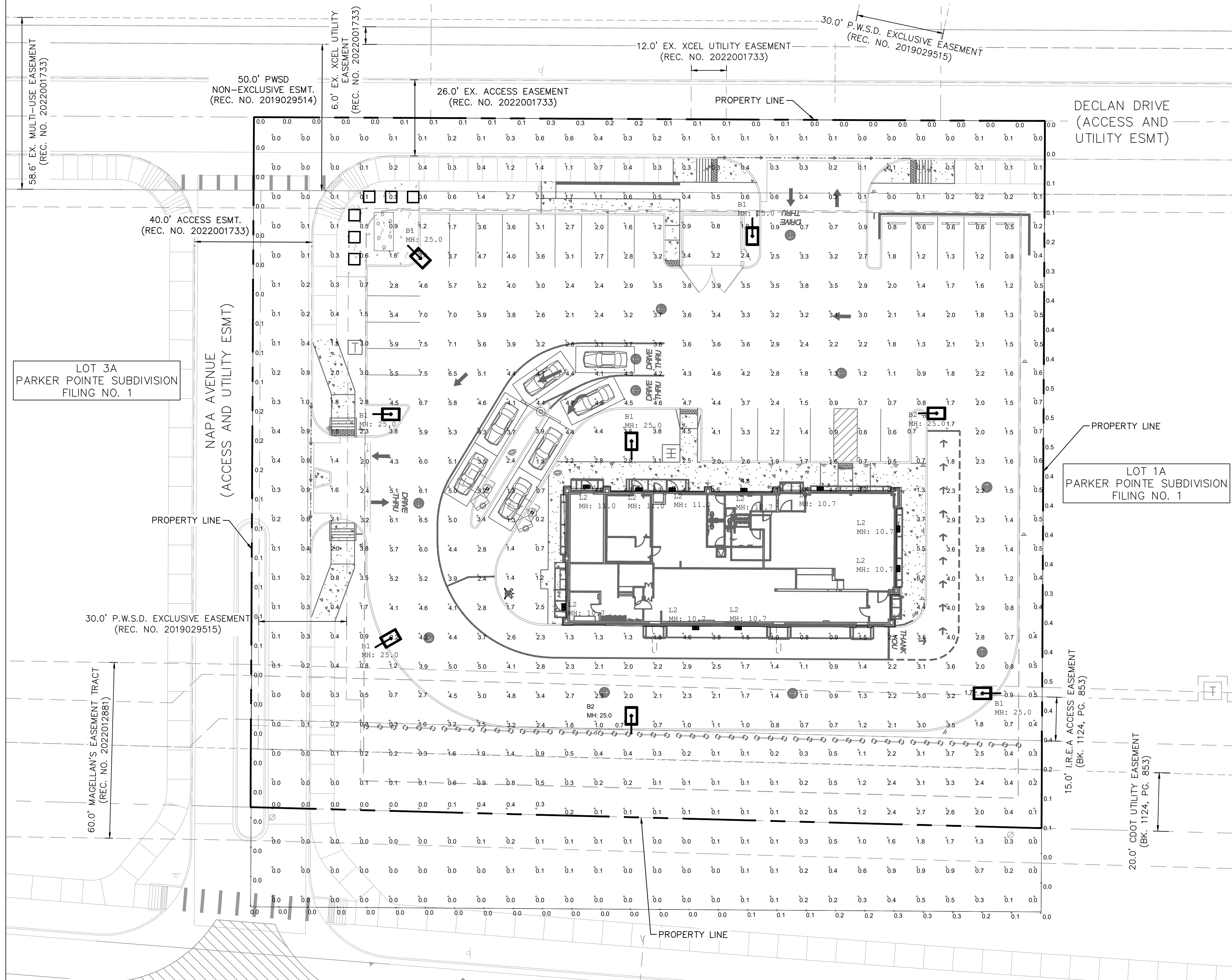
TITLE	DESCRIPTION	SITE ID	DATE	REV	DATE	DESCRIPTION	BY
SITE PLAN	FIRE TRUCK ACCESS PLAN	51032	07/19/2024				
<p>PREPARED FOR: McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>		<p>DRAWN BY: MCS</p> <p>STD ISSUE DATE</p> <p>REVIEWED BY: JIM</p> <p>DATE ISSUED: 07/19/2024</p>		<p>PREPARED BY: Kimley»Horn</p>			
<p>TITLE: SITE PLAN</p> <p>DESCRIPTION: FIRE TRUCK ACCESS PLAN</p> <p>SITE ID: 51032</p> <p>SITE ADDRESS: NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO</p>		<p>DATE: 07/19/2024</p> <p>REV: 1</p> <p>DATE: 07/19/2024</p> <p>DESCRIPTION: 1</p> <p>BY: 1</p>					



PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



LEGEND

- PROPERTY LINE
- EX. EASEMENT
- SCREEN WALL
- PROP. RETAINING WALL
- LANDSCAPE
- CONCRETE SIDEWALK

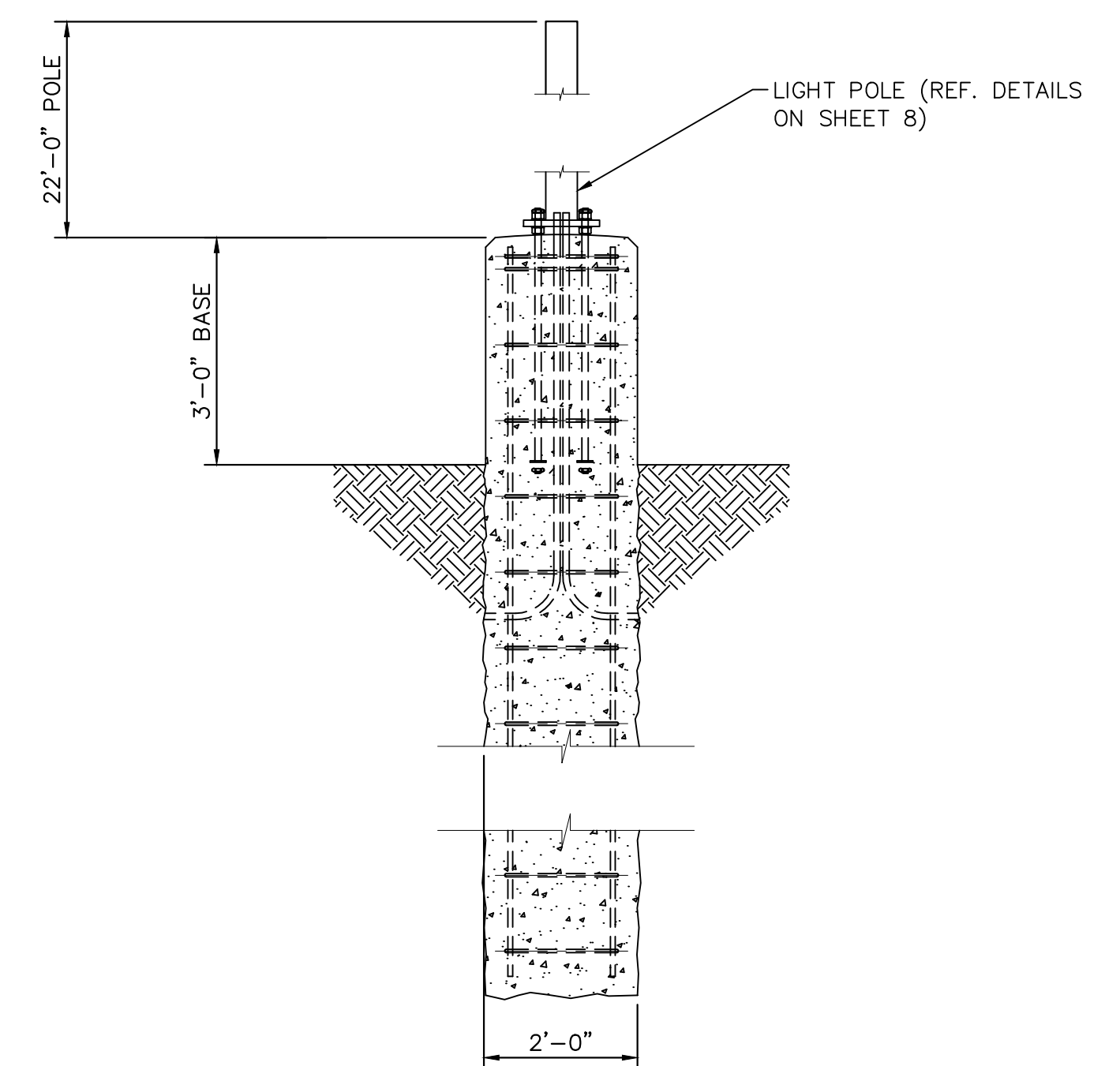
NOTES:

DISTANCE BETWEEN READINGS IS 10'

LIGHT POLE SHALL BE PLACED AT LEAST 18" FROM BACK OF CURB ADJACENT TO HEAD IN PARKING STALLS.

DETAILS:

- MOUNTING HEIGHT = 25' (22' POLE + 3' BASE)
- MOUNTING HEIGHT = 9' (WALL)
- MOUNTING HEIGHT MEASURED FROM TOP OF FIXTURE TO FINISHED GRADE
- TILT = 0
- LIGHTS ARE CUTOFF WITH FLAT GLASS LENS
- CALCULATION GRIDS ARE AT GRADE (Z=0)



LIGHT POLE DETAIL

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	2.84	7.5	0.5	5.68	15.00
PROPERTY LINE READINGS	Illuminance	Fc	0.12	0.5	0.0	N.A.	N.A.
UNPAVED SURFACE READINGS	Illuminance	Fc	0.80	6.3	0.0	N.A.	N.A.

Luminaire Schedule											
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type	UserField4	UserField5
	2	B2	Single	0.900	VP-1-160L-100-5K7-3-BC	97.2	0.607	25	SES-22-50-07-TA-GL-xx (5')	POLE	DARK BRONZE
	6	B1	Single	0.900	VP-2-320L-235-5K7-4W-BC	235	0.607	25	SES-22-50-07-TA-GL-xx (5')	POLE	DARK BRONZE
	10	L2	SINGLE	0.900	RWSC-36L-5K-DO-U-PS	14.4		as noted		WALL	DARK BRONZE

BY: _____

REV: _____ DATE: _____

Kimley»Horn

PREPARED FOR: **McDonald's USA, LLC**

DRAWN BY: MGS
STD ISSUE DATE: _____
REVIEWED BY: JIM
DATE ISSUED: 07/19/2024

TITLE: **SITE PLAN**
DESCRIPTION: **PHOTOMETRIC PLAN**
SITE ADDRESS: NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO 811

6

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



The RWSC LED radius wall sconce series offers a combination of light distributions that wash the building facade while the radial soft form housing accentuates building architectural design elements in all commercial and residential applications.

The RWSC LED provides excellent illumination with a high efficiency LED light source of 72 or 36 mid power LEDs that deliver up to 2,850 lumens and up to 109 lumens per watt.

The RWSC LED fixture has become a building standard and is stocked as a quick ship item in many colors and distributions.

Features

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaire finished in weatherproof powder-coat paint
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations
- DLC, Downlight only, full cut-off
- Dark Sky compliant, Downlight only

Operating Temperature

- -30°C to 40°C

Electrical

- Dimming is an option (consult factory)

Mounting

RWSC features Intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very user friendly and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.

Certifications/Listings



Ordering Information

Ordering Example: RWSC - XXL - XX - XX - U - XX - XX

Color	# of LED's	LED's	Distribution	Voltage	Finish	Options
RWSC	36	36 Mid Power LED's	3K	120V/277V	DB Dark Bronze	PC Photocontrol
	72	72 Mid Power LED's	3K	120V/277V	DB Dark Bronze	PC Photocontrol

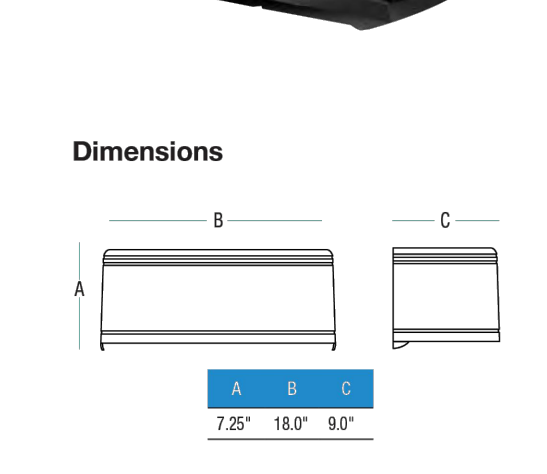
Web: www.securitylighting.com
2500 East Bowe, Suite 400, Belling Meads, IL 60008-4704
Phone: 1-800-LIGHT-IT, 1-800-544-4848, Fax: 847-279-0642
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Performance Data

# of LED's	Drive Current (mA/lumen)	Sytech Watts	Distribution Type	Lumen	LPW	B	U	G	Lumen	LPW	B	U	G
36	350	14.4	down	1565	108.7	0	0	0	1561	109.1	0	0	0
72	350	28.8	up/down	3130	95	100	100	100	2991	97.6	100	100	100

Photometric Data



ZONE	LUMENS	% FOOT
Front Low (3-30)	2185	14.0
Front Medium (30-60)	4042	27.1
Front High (60-90)	1203	8.7
Front Very High (90-120)	43	0.3
Back Low (3-30)	2185	14.0
Back Medium (30-60)	4042	27.1
Back High (60-90)	1203	8.7
Back Very High (90-120)	43	0.3
Uplight Low (100-120)	0.0	0.0
Uplight High (100-120)	0.0	0.0

Web: www.securitylighting.com
2500 East Bowe, Suite 400, Belling Meads, IL 60008-4704
Phone: 1-800-LIGHT-IT, 1-800-544-4848, Fax: 847-279-0642
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- DLC, Downlight only, full cut-off
- Dark Sky compliant, Downlight only

Operating Temperature

- -30°C to 40°C

Electrical

- Dimming is an option (consult factory)

Mounting

RWSC features Intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very user friendly and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.

Certifications/Listings



Ordering Information

Ordering Example: RWSC - XXL - XX - XX - U - XX - XX

Color	# of LED's	LED's	Distribution	Voltage	Finish	Options
RWSC	36	36 Mid Power LED's	3K	120V/277V	DB Dark Bronze	PC Photocontrol
	72	72 Mid Power LED's	3K	120V/277V	DB Dark Bronze	PC Photocontrol

Web: www.securitylighting.com
2500 East Bowe, Suite 400, Belling Meads, IL 60008-4704
Phone: 1-800-LIGHT-IT, 1-800-544-4848, Fax: 847-279-0642
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INSTALLATION INSTRUCTIONS - RATIO AREA SHEET 1 OF 3

SAVE THESE INSTRUCTIONS

HUBBELL Outdoor Lighting

INSTALLATION INSTRUCTIONS RATIO AREA

READ THOROUGHLY BEFORE INSTALLATION

WARNING! Fixtures must be grounded and installed in accordance with the National Electrical Code and all local codes. Failure to do so may increase the RISK OF PERSONAL INJURY, PROPERTY DAMAGE, FIRE AND DEATH. Install and use so fixture failures do not cause a hazard and use only in environments for which the product is specifically marked.

WARNING! This product contains chemicals known to the State of California to cause cancer, birth defects, and/or other reproductive harm. Thoroughly wash hands after installing, handling, cleaning, or otherwise touching this product.

CAUTION! Follow ALL luminaire recommendations, product markings, instructions, restrictions and warnings regarding luminaire operation and burning position. Luminaire label shows electrical and environmental requirements and restrictions.

All electrical work must be done by a qualified electrician.

Turn off electric power to all affected circuits and allow to cool before servicing.

A regularly scheduled maintenance program should be established to retain optimum light output and reduce heat retention. Dusting with a soft, clean, dry cloth is normally sufficient for the optical system. Any accumulation of dust or dirt should be removed regularly.

Carefully read these instructions before installing product. If you do not understand these instructions, before starting any work, contact your Hubbell Lighting distributor or techsupport@hubbell-llg.com or (864) 678-1000

Give instructions to facility owner/manager for future reference.

9309924 Rev. A

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INSTALLATION INSTRUCTIONS - RATIO AREA SHEET 2 OF 3

SAVE THESE INSTRUCTIONS

Ratio Area Arm Mount

Fixture Installation:

1. Open the driver compartment (F) by removing (4) 8-32 T-20 Torx fasteners.
2. Remove pole cap (not shown) and position nut plate (B) inside pole (A) at pre-drilled hole locations.
3. Insert 5/16-18 threaded rod (C) through the arm and fasten on the interior of the housing with a 5/16-18 nut, washer, and lockwasher.
4. Insert the opposite end of the threaded rod into the top hole of the pole drill pattern and thread into the top hole of the nut plate (B). Torque nut (D) to 10 ft-lbs.
5. Route fixture wire from the arm through the wireway hole into the interior of the pole, and then out the top of the pole.
6. Insert 5/16-18 hex bolt, washer, and lockwasher set (E) through the center hole located in the bottom surface of the arm, through the lower hole of the pole drill pattern and into the nut block (B).
7. Reinstall (if removed) the driver compartment door (F), dose and secure (4) 8-32 fasteners.
8. Make power connections at the top of the pole and replace pole cap.
9. Ensure power is supplied to LEDs.

Ratio Area Mast Arm Mount

Fixture Installation:

1. Make power connections from the fixture wiring to the power feed wires. Route connected wiring into the pole mast arm and pole interior.
2. Attach fixture by sliding the mast arm over the pole mast arm (E). Ensure wiring is not pinched between the Mast Arm Fitter and the pole mast arm.
3. Secure housing to arm by tightening (4) 3/8-16 set screws (G) using a 3/16 Allen Wrench. Torque to 12 ft-lbs.
4. Ensure power is supplied to LEDs.

NOTES:
For replacement LED Assemblies and Drivers please contact Hubbell Lighting for any replacement parts. Contact your local distributor or agent to confirm parts availability prior to ordering replacement parts.

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INSTALLATION INSTRUCTIONS - RATIO AREA SHEET 3 OF 3

SAVE THESE INSTRUCTIONS

Ratio Area Knuckle Mount

Fixture Installation:

1. Make power connections from the fixture wiring to the power feed wires. Route the connected wiring into the interior of the pole through the tenon.
2. Attach the Knuckle to pole (E) by sliding the Knuckle onto the tenon. Tighten each of the (3) 3/8-16 set screws (G) using a 3/16 Allen wrench to approximately 12 ft-lbs.

Arm Adjustment:

1. Determine the desired vertical aim angle before attempting adjustments.
2. Notice that there are tick marks at 15° intervals, plus long tick marks at 0°, 45° and 90°. The knuckle will actually allow finer adjustments to 4° per step.
3. Remove the center hub cover (H).
4. Notice the large 1/2-13 hex head bolt in the center of the hub acts as a pivot and should be loosened slightly for adjustment, but never removed. **CAUTION:** secure housing assembly or obtain help holding and positioning the fixture while adjusting the aim.
5. Aim the fixture to the desired angle.
6. Once the aim angle has been completed, tighten the 1/2-13 Hex Head pivot bolt to 35 ft-lbs.
7. Replace the Knuckle cover (H).

Photocontrol Orientation

NOTE: A photocontrol is not included with this fixture. This orientation procedure is only necessary if adjustment is required to aim the photocontrol in a certain direction. Otherwise, the photocontrol will function properly with no adjustment required to the photocontrol receptacle.

Angle Adjustment:

1. Remove shoring cap or photocontrol if installed.
2. Slightly loosen the two screws to allow rotation of the center section of the receptacle.
3. Insert a screwdriver tip into the adjustment slot located in the center of the receptacle and rotate so that the arrow indicator points in the desired direction (usually north).
4. Sufficiently tighten two screws.
5. Install photocontrol into receptacle, twist and lock into position. Check to ensure photocontrol is pointing in the desired direction.

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INSTRUCTIONS D'INSTALLATION - RATIO AREA FEUILLE 1 DE 3

SAUVEGARDEZ CES INSTRUCTIONS

HUBBELL Outdoor Lighting

INSTRUCTIONS D'INSTALLATION RATIO AREA

À LIRE ATTENTIVEMENT AVANT D'INSTALLER

AVERTISSEMENT! Les appareils d'éclairage doivent être mis à la terre et installés selon le Code canadien de l'électricité et tous les codes locaux. Ne pas se conformer à ces codes pourrait conduire à DES SECOURS ÉLECTRIQUES ET UN DANGER DE MORT OU D'INCENDIE. Installez l'appareil d'éclairage seulement dans les environnements pour lesquels il est marqué, et de façon qu'un défaut ne puisse devenir un danger.

AVERTISSEMENT! Ce produit contient des produits chimiques reconnus par l'état de la Californie causer le cancer, des malformations congénitales et d'autres services à la reproduction. Bien se laver les mains après installation, le nettoyage ou après avoir touché le produit (particulièrement s'il est brisé).

ATTENTION! Suivre toutes les indications, marquages, instructions, restrictions et recommandations concernant l'utilisation du luminaire ainsi que les avertissements requis et les précautions pour ne pas vous brûler. L'étiquette apposée sur le luminaire indique les exigences électriques et environnementales ainsi que les restrictions applicables.

Tous les raccordements électriques doivent être faits par un électricien certifié.

Avant de faire l'entretien, coupez la source de courant et laissez se refroidir le luminaire.

Un programme d'entretien régulier devrait être établi pour conserver la luminosité optimale et réduire l'accumulation de poussière ou saleté doit être retirée de façon régulière.

Un chiffon doux et propre est normalement suffisant pour dépolir le système optique. Toute accumulation de poussière ou saleté doit être retirée de façon régulière.

Lire attentivement les présentes instructions avant d'installer le produit. Si vous ne comprenez pas les présentes instructions, communiquez avec votre distributeur de produits Hubbell Lighting, ou avec techsupport@hubbell-llg.com ou (864) 678-1000 au téléphone.

Remettez les présentes instructions au propriétaire ou gestionnaire des installations pour référence ultérieure.

REMARQUE :
Ce luminaire est conçu pour les applications d'éclairage extérieur avec des températures ambiantes ne dépassant pas 40°C

AVERTISSEMENTS :
Il existe une tension dangereuse dans l'unité et toutes les précautions habituellement observées lors de la manipulation d'équipements à haute tension doivent être observées lors du remplacement du moteur de phase ou de tout autre entretien des luminaires. Ignorer cet avertissement pourrait entraîner un choc électrique et éventuellement causer des blessures aux personnes installant ou entretenant cet équipement. L'installation et l'entretien doivent être effectués par du personnel qualifié.

Outils requis :

- Câe Hexagonale (Allen) - 3/16
- Douille Hexagonale - 1/2 & 3/4
- Pilote Torx - T-20
- Tournevis - lame plate et Phillips

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INSTRUCTIONS D'INSTALLATION D'APPAREIL FEUILLE 2 DE 3

SAUVEGARDEZ CES INSTRUCTIONS

Ratio Area Arm Mount

Installation du luminaire:

1. Ouvrez la porte du compartiment du conducteur (F) en retirant (4) les attaches 8-32 T-20 Torx.
2. Retirez le capuchon de poteau (non illustré) et positionnez la plaque d'écrout (B) à l'intérieur du poteau (A) aux emplacements des trous préparés.
3. Insérez la tige filetée 5/16-18 (C) dans le bras et fixez-la à l'intérieur du boîtier avec un écrou, une rondelle et une rondelle d'arrêt 5/16-18.
4. Insérez l'extrémité opposée de la tige filetée dans le trou supérieur du gabarit de perçage et insérez-le dans le trou supérieur de la plaque à écrou (B). Serrer l'écrou (D) à 10 lb-pi.
5. Faites passer le fil de fixation du bras par le trou du chemin de câbles à l'intérieur du poteau, puis sortez par le haut.
6. Insérez le boulon hexagonal 5/16-18, la rondelle et la rondelle frein (E) dans le trou central situé dans la surface inférieure du bras, dans le trou inférieur du gabarit de perçage et dans le bloc écrou (B).
7. Réinstallez (le cas échéant) la porte du compartiment du conducteur (F), fermez et fixez (4) les fixations 8-32.
8. Établissez les connexions électriques en haut du poteau et remplacez le capuchon.
9. Assurez-vous que les voyants sont alimentés.

Ratio Area Mast Arm Mount

Installation du luminaire:

1. Établissez les connexions électriques entre le câblage de l'appareil et les câbles d'alimentation. Achetez le câblage installé dans le bras et l'intérieur du pylône.
2. Fixez le luminaire en glissant le montage de bras de mâ sur le bras de mâ (E). Assurez-vous que le câblage n'est pas pincé entre l'épaveur de bras de mâ et le bras de pylône.
3. Fixez le boîtier au bras en serrant (4) les vis de réglage 3/8-16 (G) à l'aide d'une clé hexagonale de 3/16. Couple à 12 lb-pi.
4. Assurez-vous que les voyants sont alimentés.

REMARQUES :
Pour toute pièce de remplacement comme l'ensemble à DEL ou le convertisseur d'alimentation, veuillez communiquer avec Hubbell Lighting. Avant de commander, veuillez communiquer avec votre distributeur ou agent local pour confirmer la disponibilité des pièces.

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INSTRUCTIONS D'INSTALLATION D'APPAREIL FEUILLE 3 DE 3

SAUVEGARDEZ CES INSTRUCTIONS

Ratio Area Knuckle Mount

Installation du luminaire:

1. Établissez les connexions électriques entre le câblage de l'appareil et les câbles d'alimentation. Achetez le câblage installé à l'intérieur du poteau à travers le tenon.
2. Fixez le jareil à la perche (E) en faisant glisser le jareil sur le tenon. Serez chaque écrou (G) vis de réglage 3/8-16 (G) à l'aide d'une clé Allen de 3/16 environ 12 lb-pi.

Réglage de la visée:

1. Déterminez l'angle de visée vertical souhaité avant de tenter des réglages.
2. Notez qu'il y a des graduations à 15°, plus de longues graduations à 0°, 45° et 90°. La jouture permettra en fait des ajustements plus fins à 4° par pas.
3. Retirez le couvercle du moyeu central (H).
4. Notez que le gros bouton à tête hexagonale 1/2-13 situé au centre du moyeu fait office de pivot et doit être légèrement desserré pour le réglage, mais jamais retiré.
5. ATTENTION: Fixez le boîtier ou demandez de l'aide pour maintenir et positionner le dispositif lors du réglage de la visée.
6. Orientez le luminaire à l'angle désiré.
7. Une fois l'angle de visée terminé, serrez le bouton de pivotement à tête hexagonale 1/2-13 à 35 lb-pi.
8. Remplacez le couver-joint (H).

Photocontrôle Orientation

REMARQUE: Un photocontrôle n'est pas inclus avec cet appareil. Cette procédure d'orientation n'est nécessaire que si un réglage est nécessaire pour orienter le photocontrôle dans une certaine direction. Sinon, le photocontrôle fonctionnera correctement sans aucun ajustement du réceptacle du photocontrôle.

Réglage de l'angle:

1. Retirez le capuchon de court-circuit ou le photocontrôle, le cas échéant.
2. Desserrer légèrement les deux vis pour permettre la rotation de la section centrale du réceptacle.
3. Insérez une pointe de tournevis dans la fente de réglage située au centre de la prise et faites-la pivoter de sorte que l'indicateur de flèche pointe dans la direction souhaitée généralement vers le nord.
4. Serrez suffisamment les deux vis.
5. Installez le photocontrôle dans le réceptacle, tournez-le et verrouillez-le en place. Vérifiez que le photocontrôle est dirigé dans la direction souhaitée.

PHOTOCONTROL RECEPTACLE EMPLACEMENT

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TITLE	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
SITE PLAN					
PHOTOMETRIC DETAILS					
SITE ADDRESS		NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO			
SITE ID		51032			



PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN

GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK**
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES**
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE UNSAVELY AND/OR BE REPLACED AT THE COST OF THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
 - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS**
- GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
 - PLANT MATERIALS
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING, PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS, CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE**
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER**
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER**
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO

- SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- H. MULCH**
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING**
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILT TRUP" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 - B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL, OF SURFACE SIZE TO FIT TO THE ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- J. CONTAINER GROWN STOCK**
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
 - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST**
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING**
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- M. PLANTING PROCEDURES**
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
 - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK UPON ARRIVAL AT THE SITE. PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS AND CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
 - WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
 - ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
 - TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR MOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
 - TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
 - PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
 - EXCAVATION OF ROTO-OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
 - IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
 - TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
 - TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
 - SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
 - TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
 - AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
 - FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE

- WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
 - TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
 - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
 - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
 - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- N. LAWN SODDING**
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HANK RADE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 - SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
 - LAWN MAINTENANCE
 - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- O. EDGING**
- CONTRACTOR SHALL INSTALL 4"x2" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
- P. CLEANUP**
- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- Q. PLANT MATERIAL MAINTENANCE**
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- R. FINAL INSPECTION AND ACCEPTANCE OF WORK**
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- S. WARRANTY**
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

- NOTES:**
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
 - ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.

SITE PERIMETER REQUIREMENTS			
ADJACENT LAND USE	PERIMETER LENGTH	REQUIRED / PROVIDED TREES 1 TREE / 40 LINEAR FEET (40-60% EVERGREEN)	REQUIRED / PROVIDED SHRUBS (5 SHRUBS / 40 LINEAR FEET)
COMMERCIAL (NORTH PROPERTY LINE)	236'	6 (3-4 EVERGREEN TREES) SUB. 10 SHRUBS PER 1 TREE / 5 (3 EVERGREEN TREES) +10 SHRUBS	30 / 62
COMMERCIAL (SOUTH PROPERTY LINE)	242'	6 (3-4 EVERGREEN TREES) / 11 (4 EVERGREEN TREES)	30 / 37
COMMERCIAL (EAST PROPERTY LINE)	270'	7 (3-4 EVERGREEN TREES) / 10 (5 EVERGREEN TREES)	35 / 35
COMMERCIAL (WEST PROPERTY LINE)	270'	7 (3-4 EVERGREEN TREES) SUB.10 SHRUBS PER 1 TREE / 70 SHRUBS	55 / 56 (126 TOTAL INCLUDING TREE SUBS.)

LANDSCAPE REQUIREMENTS					
TOTAL DEVELOPED AREA	SITE LANDSCAPE REQUIREMENTS	SITE TREES 1 TREE / 1,500 SF (% EVERGREEN)	SITE SHRUBS 5 SHRUBS / 1,500 SF	SOD (AREA)	
64,609 SF	15% LANDSCAPE AREA 75% LIVE GROUND COVER	9 TREES (25-50%)	48 SHRUBS	15% MAX	
REQUIRED	9,691 SF (15%) / 14,235 SF (22%)	28 TREES (13 EVERGREEN)	305 SHRUBS	0% (0 SF)	
PROVIDED	TOTAL LANDSCAPE AREA REQ/PROVIDED LIVE GROUND COVER AREA REQ/PROVIDED				
	7,268 SF (75%) / 10,676 SF (75%)				

NOTES:

- THE SITE CONTAINS LESS THAN 80 PARKING STALLS; PARKING LOT INTERIOR LANDSCAPING SHALL NOT BE APPLIED.

PARKING LOT PERIMETER REQUIREMENTS			
ADJACENT LAND USE	LENGTH OF PARKING STALLS FACING BOUNDARY	BUFFER DEPTH REQUIRED / PROVIDED	LENGTH OF SCREENING PLANTS PROVIDED
PRIVATE ROAD (NORTH PROPERTY LINE)	45'	10' / 10"	45'
PRIVATE ROAD (EAST PROPERTY LINE)	149'	10' / 10"	149'

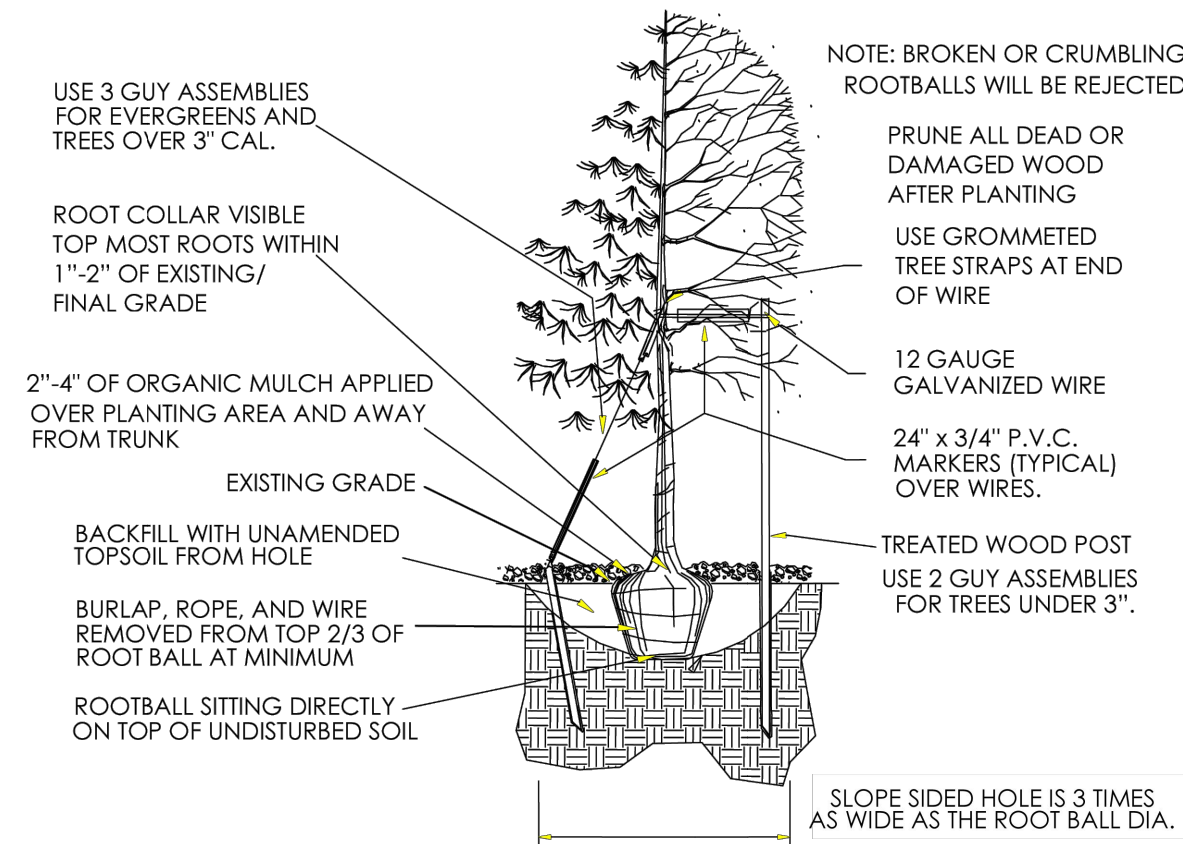
* THE BUFFER DEPTH IS LESS THAN 10' IN LIMITED AREAS WITH ADA ROUTES AND PEDESTRIAN RAMPS

TITLE	DATE	BY	DESCRIPTION
SITE PLAN			
DESCRIPTION			
LANDSCAPE NOTES			
SITE ID	DATE	REV.	DATE
51032			
NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO			
<p>McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the contract documents in effect at the time these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>			
PREPARED BY:			
DRAWN BY:	DATE		
ANK			
STD			
ISSUE			
DATE			
REVIEWED BY:			
JCP			
DATE ISSUED			
03/22/2024			
<p>Know what's below. Call before you dig.</p>			
11			

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

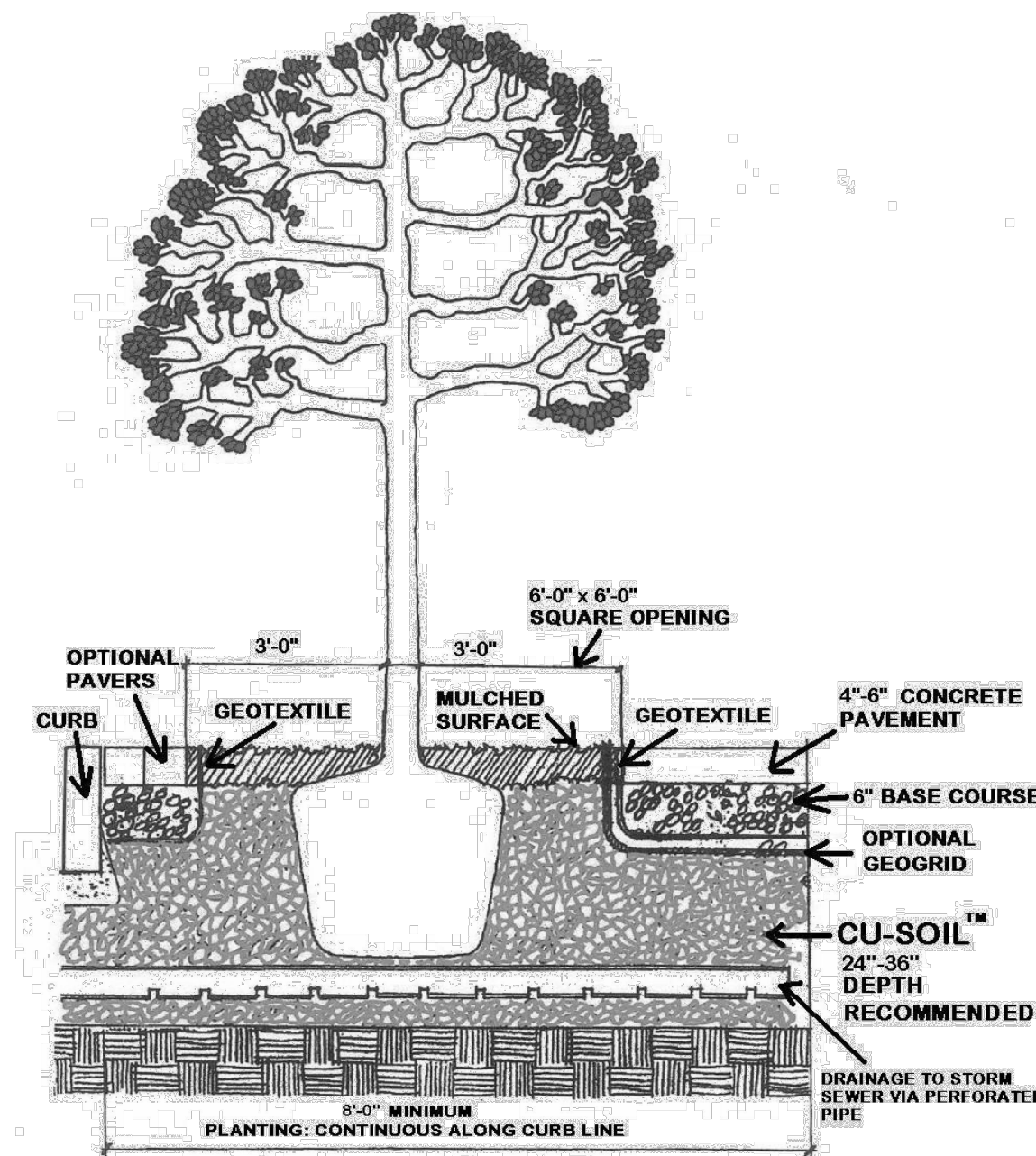
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
LANDSCAPE PLAN

TOWN OF PARKER PLANTING STANDARDS



- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

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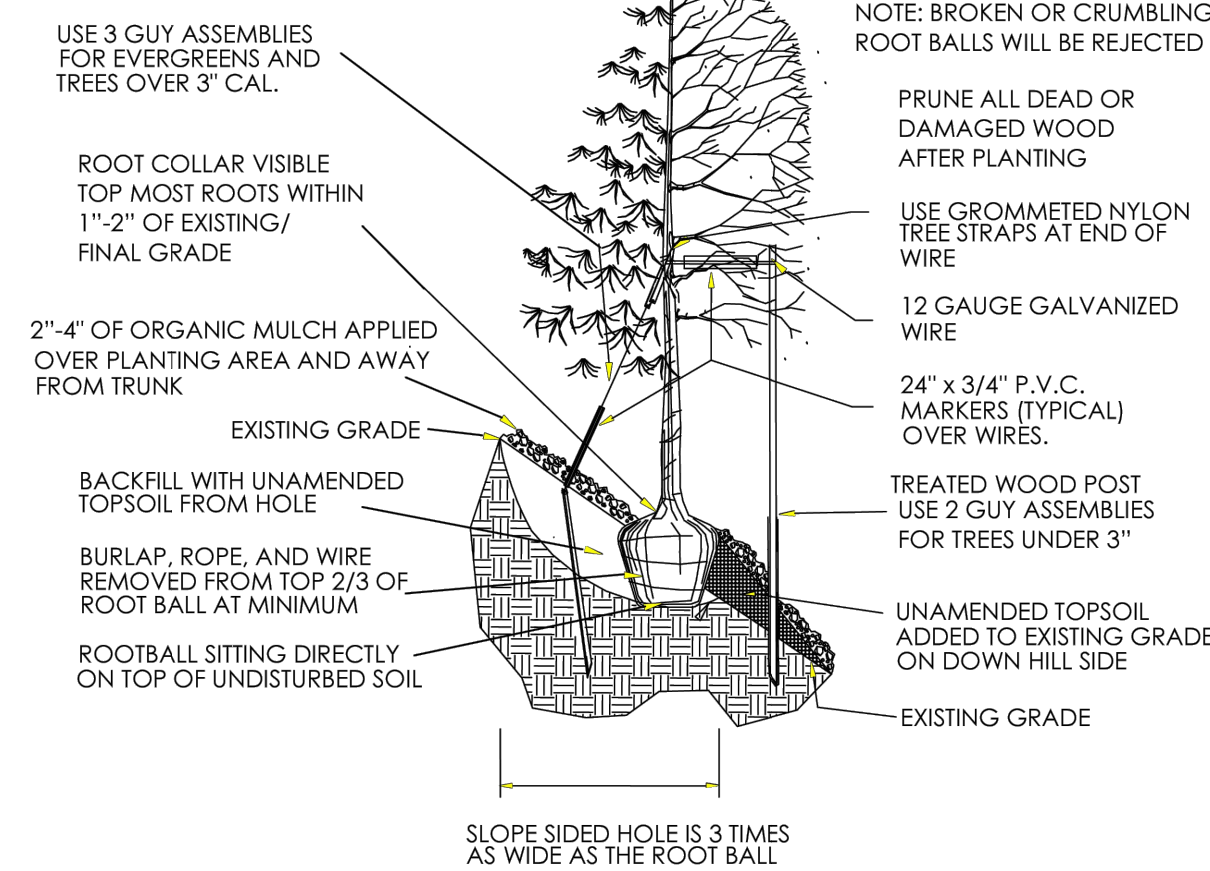


There will be a need to ensure moisture recharge and free gas exchange throughout the root zone which is not the entire subbase. The challenge is met by the installation of a three dimensional geo-composite (a geo-grid wrapped in textile one inch thick by eight inches wide) which could be laid above the subbase as spokes radiating from the trunk flare opening. This form of passive irrigation is currently in the testing stage. Other previous surface treatments could also provide additional moisture recharge, as could traditional irrigation.

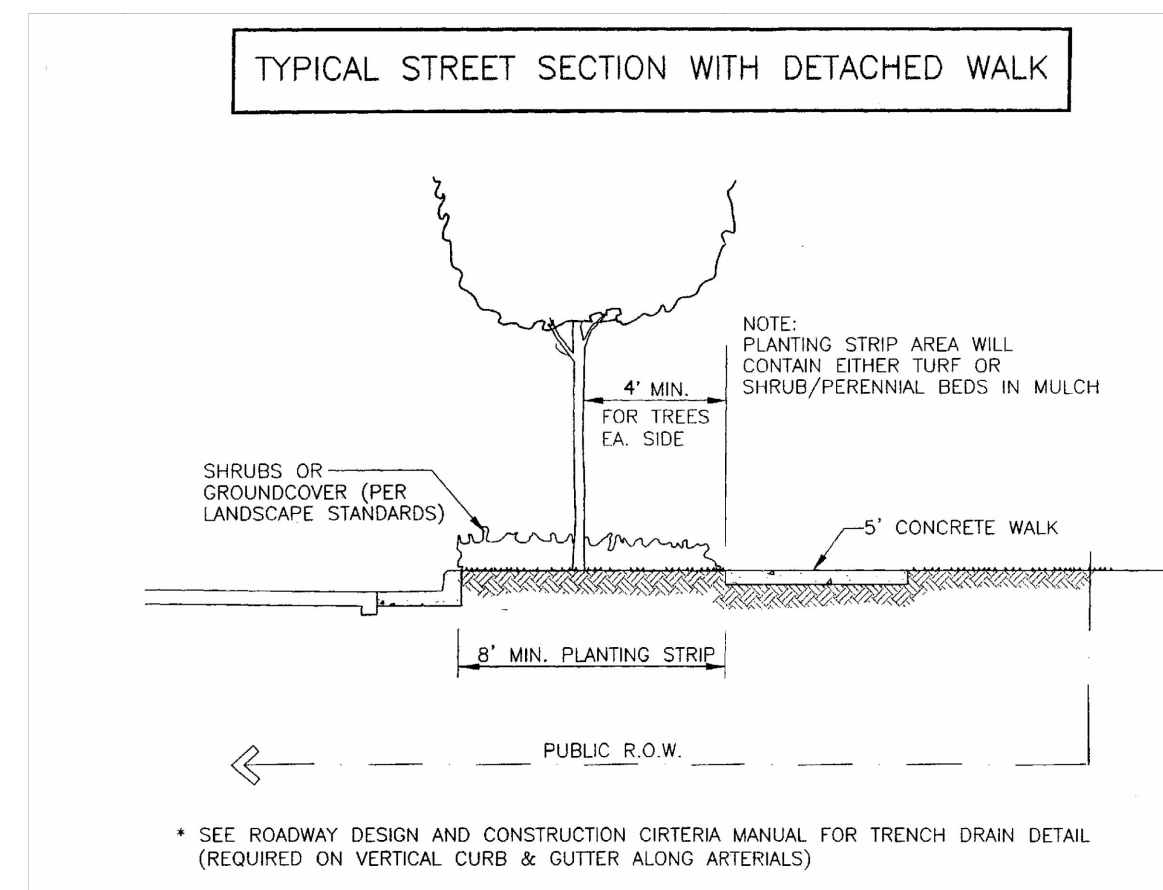
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TOWN OF PARKER PLANTING STANDARDS

TOWN OF PARKER TREE PLANTING DETAIL - SLOPES



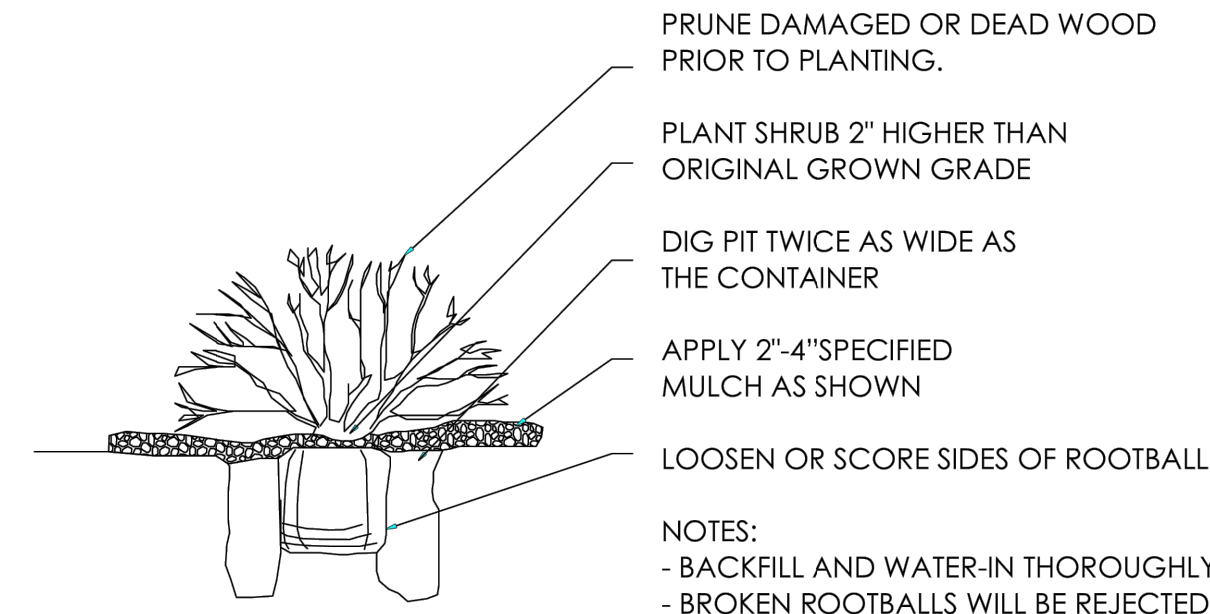
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TOWN OF PARKER PLANTING STANDARDS

TOWN OF PARKER PLANTING DETAIL - SHRUBS



13

CU STRUCTURAL SOIL

CU Structural Soil is a designed medium which can meet or exceed pavement design and installation requirements while remaining root penetrable and supportive for tree growth. It consists of gap-graded gravels which are made up of crushed stone, clay loam, and a hydrogel stabilizing agent. The materials can be compacted to meet all relevant pavement design requirements yet allow for sustainable root growth. This system essentially forms a rigid, load-bearing stone lattice and partially fills the lattice voids with soil. Structural soil provides a continuous base course under pavements while providing material for tree root growth, shifting design away from individual tree pits, to a designed, root penetrable, high strength, pavement system. An added advantage of using this material is its ability to allow roots to grow away from the wearing surface, thus reducing the potential for sidewalk heaving as well as providing for healthier, long-lived trees.

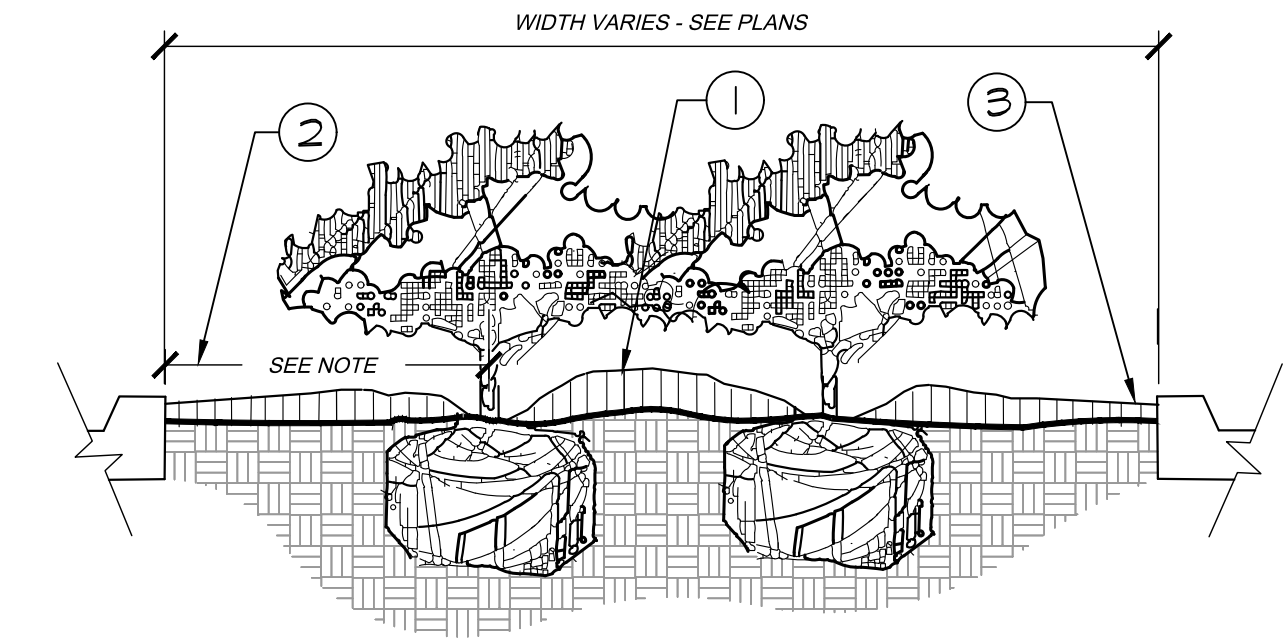
This system consists of a four to six inch rigid pavement surface, with a pavement opening large enough to accommodate a 40 year or older tree. The opening could be concentric rings of pavers designed for removal as the buttress roots lift them. Below that a six inch base course could be installed and compacted with the material meeting normal regional pavement specifications for the traffic they are expected to experience. The base acts as a root exclusion zone from the pavements surface. A geotextile (weed barrier) segregates the base course from the subbase and extends as an apron emerging around the edges of the concrete. A gap-graded, structural soil material demonstrated to allow root penetration when compacted would be the subbase and area for subsequent tree root growth. This material would be compacted to not less than 95% Proctor density (AASHTO T-99) and possess a California Bearing Ratio greater than 40. The subbase thickness would depend on the depth of sub grade or to a proposed target of 36 inches. This is negotiable, but a 24 inch minimum would be encouraged for the root zone. The sub grade should be excavated to parallel the final grade. Under-drainage must be provided under the structural soil material conforming to approved engineering standard for that region.

The three components of the Structural Soil are mixed in the following proportions by weight:

- Crushed Stone (granite or limestone, graded 3/4 to 1 1/2", highly angular, with no fines) - 100
- Clay Loam - 20
- Hydrogel - 0.03

In a typical street tree installation of such a structural soil, the potential rooting zone could extend from the building face to curb, running the entire length of the street. This would ensure an adequate volume of soil to meet the long term needs of the tree. Where this entire excavation is not feasible, a trench, running parallel to the curb, eight feet wide and three feet deep would be minimally adequate. Since this profile has adapted the standard surface and base specifications generally in use, less hesitation for engineering approval may result.

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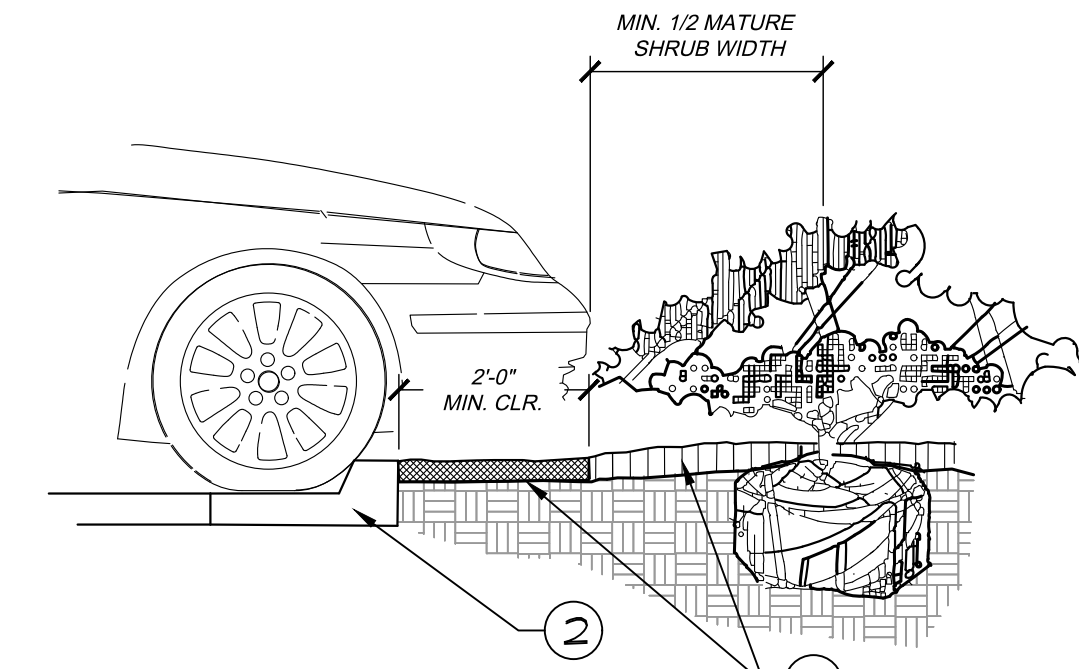
- CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
- CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF. SEE PLANS.
- 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

NOTES:

- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
- ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.

1 PLANTED PARKING LOT ISLANDS/MEDIANS SECTION

NTS



- INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
- CURB / PARKING LOT EDGE.

2 PARKING SPACE/CURB PLANTING SECTION

NTS

Kimley»Horn

PREPARED BY:

McDonald's USA, LLC
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DRAWN BY: ANK
STD ISSUE DATE
REVIEWED BY: JCP
DATE ISSUED: 03/22/2024

TITLE: SITE PLAN
DESCRIPTION: LANDSCAPE DETAILS
SITE ID: 511032
NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO

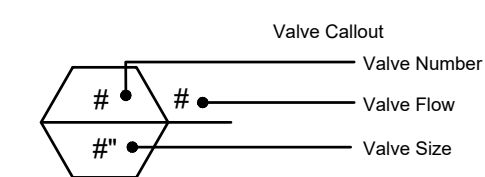
12

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

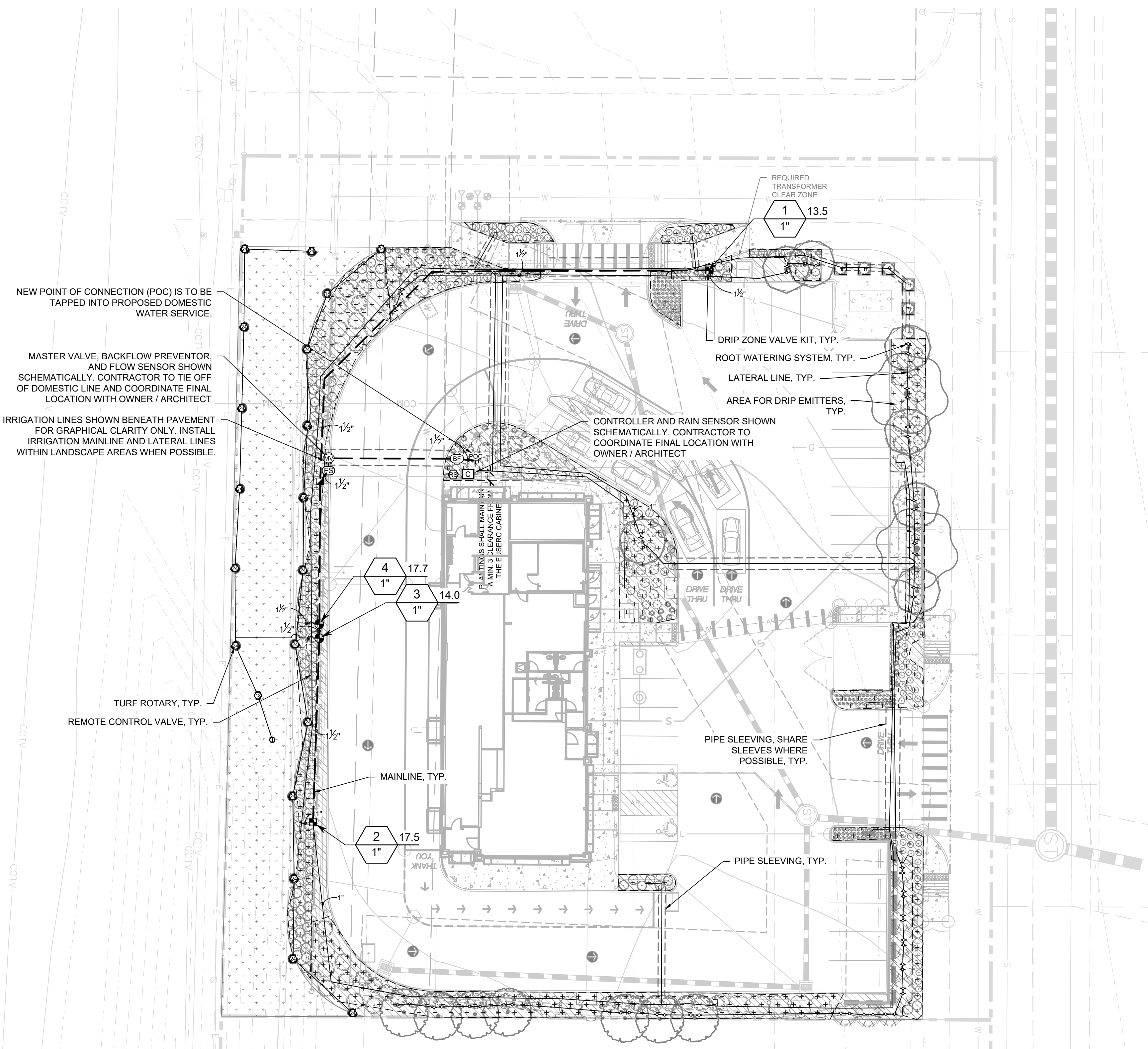
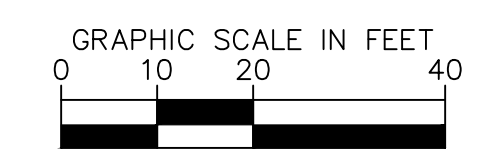
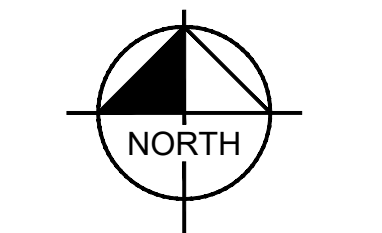
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
LANDSCAPE PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
14 ADJ 14 F	RAIN BIRD R-VAN14 1806-SAM-P45 TURF ROTARY, 8FT.-14FT. 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP. WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2IN. NPT FEMALE THREADED INLET.	1	45
18 ADJ 18 F	RAIN BIRD R-VAN18 1806-SAM-P45 TURF ROTARY, 13FT.-18FT. 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP. WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2IN. NPT FEMALE THREADED INLET.	2	45
24 ADJ 24 F	RAIN BIRD R-VAN24 1806-SAM-P45 TURF ROTARY, 17FT.-24FT. 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP. WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2IN. NPT FEMALE THREADED INLET.	18	45
1401 1402	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1401 MINI ROOT WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE. SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	54	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
1" 13.5	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PRESSURE VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	2	
+	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH-BLUE, 1.0 GPH-BLACK, AND 2.0 GPH-RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal. plant) 0.5 GPH emitters (1 assigned to each F15(4" pots) plant) 1.0 GPH emitters (2 assigned to each 5 gal. plant)	6,791 S.F.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
PEB	RAIN BIRD PEB 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	2	
44-LRC	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1	
MV	RAIN BIRD PEB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL MASTER VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1	
BF	WATTS LF909 1" LEAD FREE REDUCED PRESSURE BACKFLOW PREVENTER.	1	
C	RAIN BIRD ESPLXME2-LXMM 12 STATION TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR. PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMM POWDER COATED, METAL WALL-MOUNTED CABINET.	1	
RS	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1	
FS	RAIN BIRD FS-100-B 1" FLOW SENSOR, BRASS MODEL. SUGGESTED OPERATING RANGE 2.0 GPM TO 40.0 GPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. RAIN BIRD COMPATIBLE CONTROLLERS: ESP-LXMM(P) LXMM2(P) ME3, OR CONTROLLERS ACCEPTING CUSTOM K-FACTOR AND OFFSET.	1	
POC	POINT OF CONNECTION 1"	1	
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	2,199 L.F.	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	327.8 L.F.	
---	PIPE SLEEVE: PVC SCHEDULE 40	317.0 L.F.	



WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



NEW POINT OF CONNECTION (POC) IS TO BE TAPPED INTO PROPOSED DOMESTIC WATER SERVICE.

MASTER VALVE, BACKFLOW PREVENTOR, AND FLOW SENSOR SHOWN SCHEMATICALLY. CONTRACTOR TO TIE OFF OF DOMESTIC LINE AND COORDINATE FINAL LOCATION WITH OWNER / ARCHITECT

IRRIGATION LINES SHOWN BENEATH PAVEMENT FOR GRAPHICAL CLARITY ONLY. INSTALL IRRIGATION MAINLINE AND LATERAL LINES WITHIN LANDSCAPE AREAS WHEN POSSIBLE.

REQUIRED TRANSFORMER CLEAR ZONE

CONTROLLER AND RAIN SENSOR SHOWN SCHEMATICALLY. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER / ARCHITECT

PIPE SLEEVING, SHARE SLEEVES WHERE POSSIBLE, TYP.

PIPE SLEEVING, TYP.

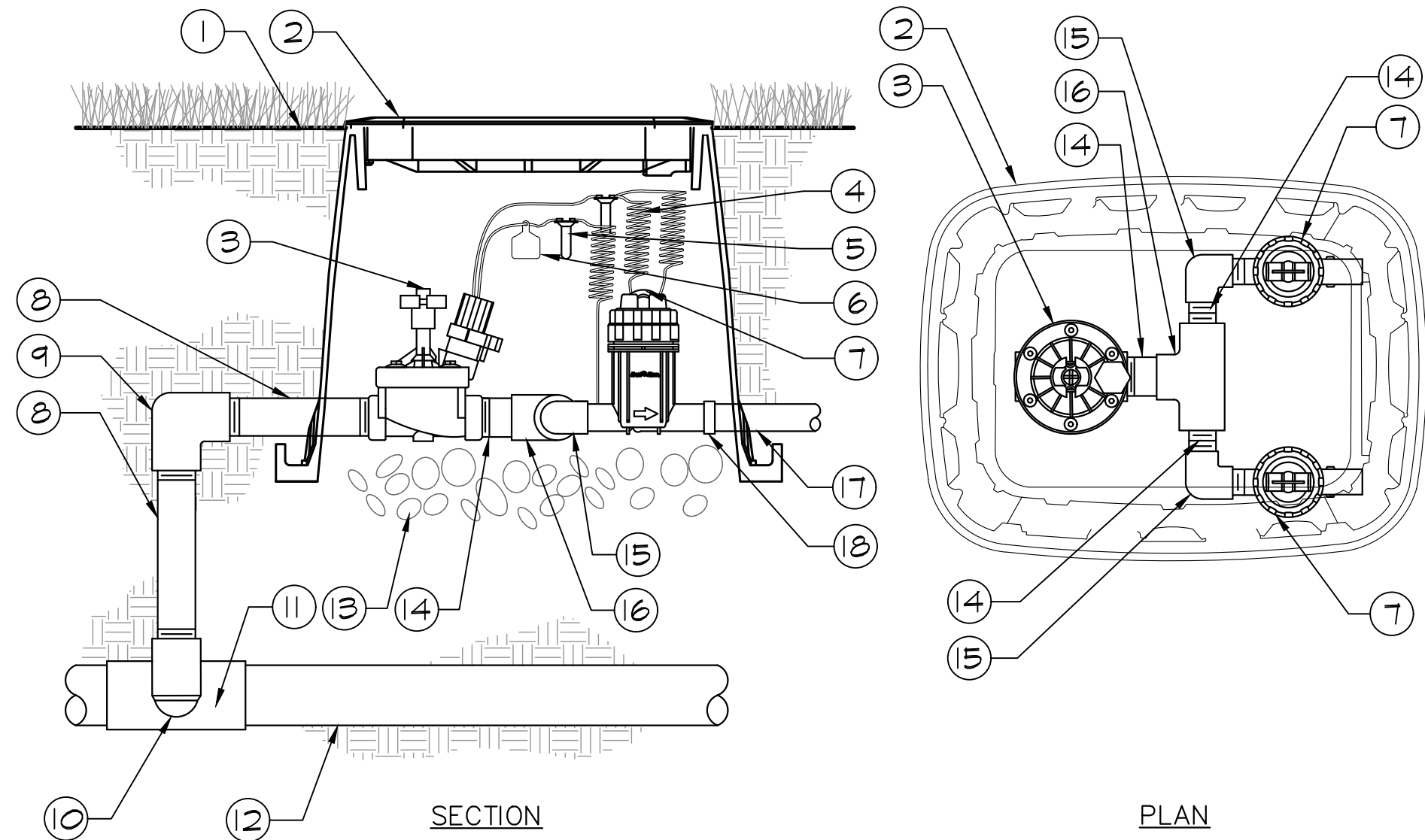
TITLE	SITE PLAN	DATE	03/22/2024
DESCRIPTION	IRRIGATION PLAN	DATE ISSUED	03/22/2024
SITE ID	51032	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO
PREPARED BY:	McDonald's USA, LLC	DATE	
REVIEWED BY:	JCP	DATE	
DATE ISSUED	03/22/2024		
BY		DATE	
REV		DATE	
DESCRIPTION			



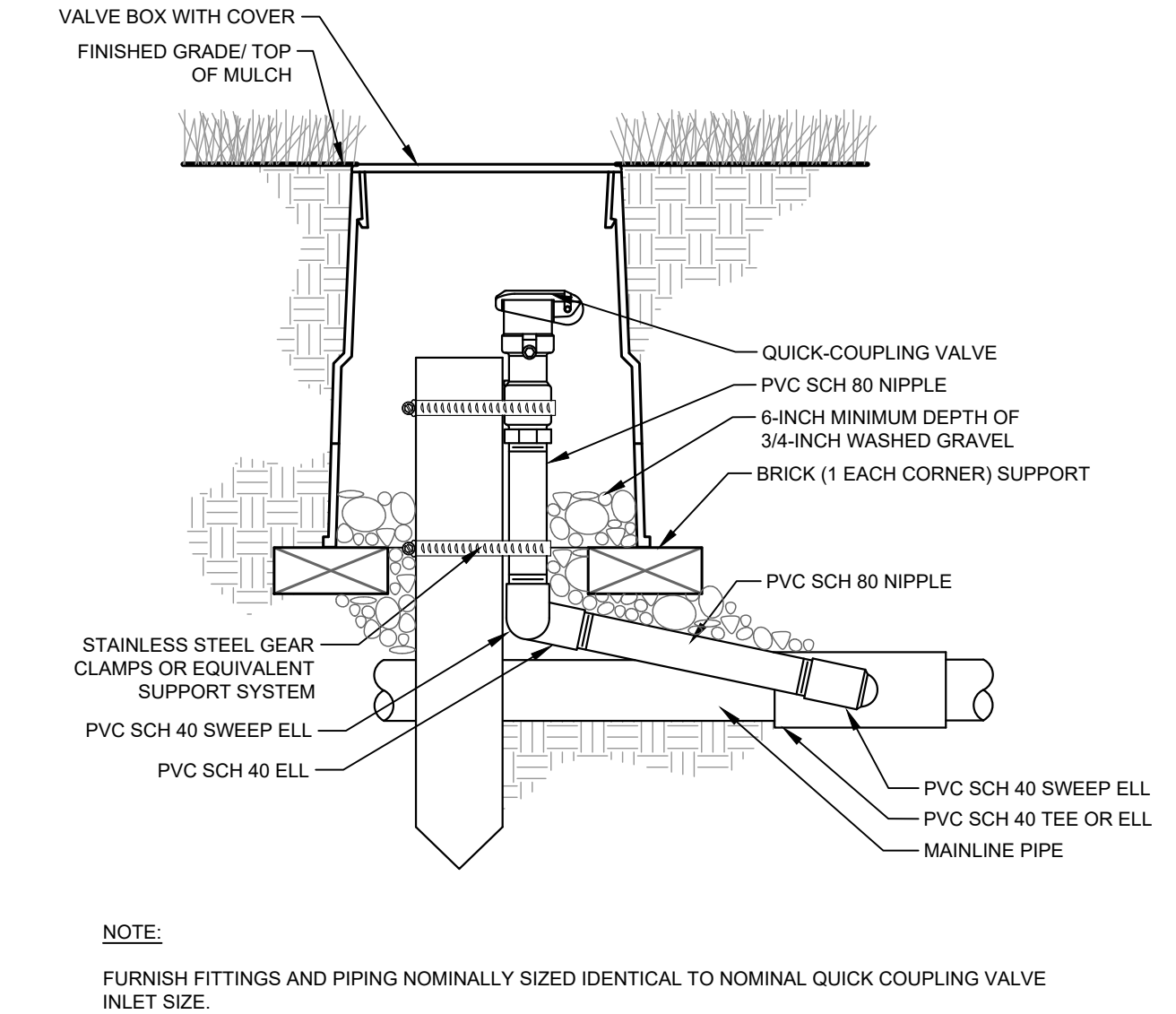
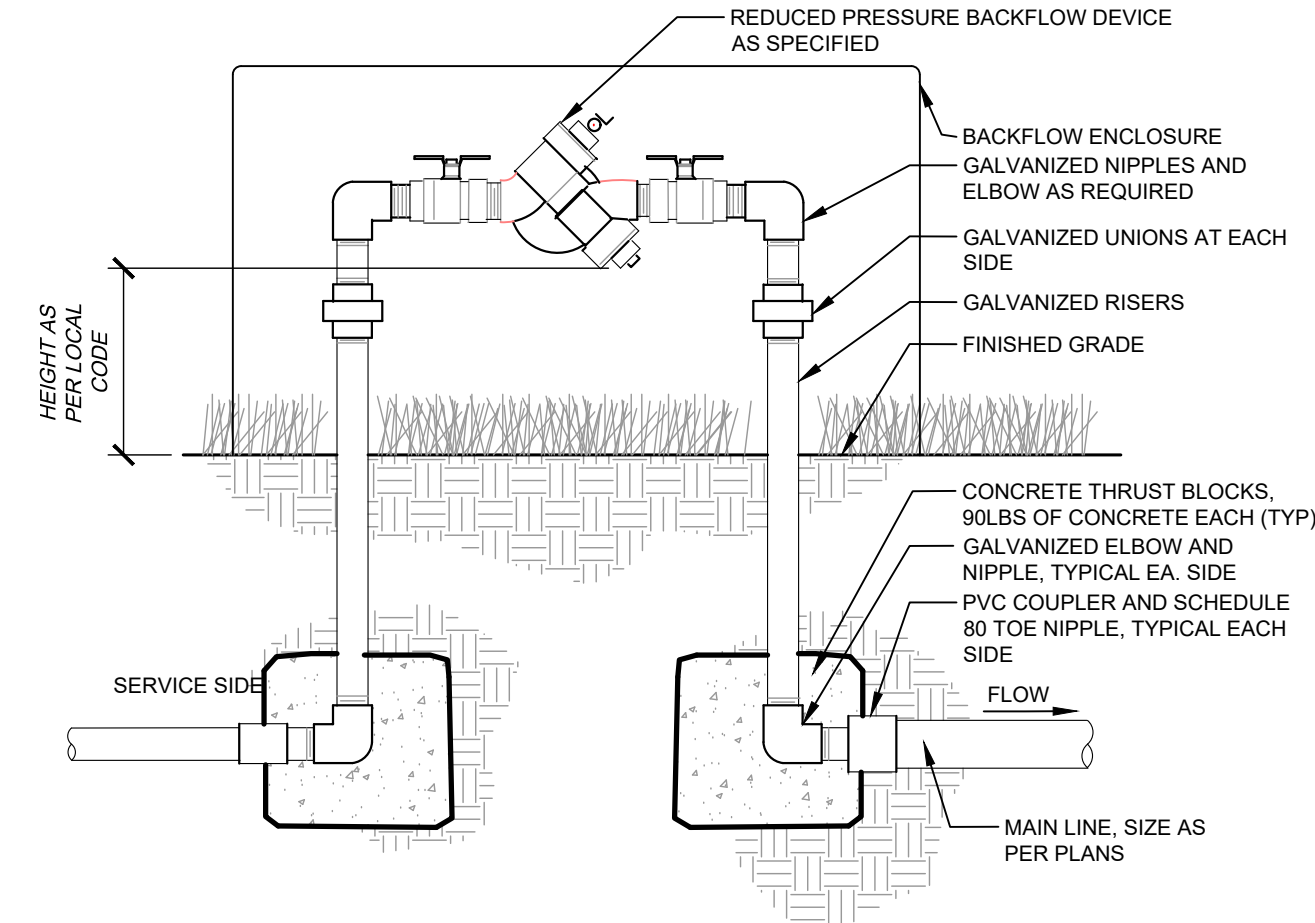
PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN



- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH LOCKING COVER
- 3 REMOTE CONTROL VALVE
- 4 30-INCH LINEAR LENGTH OF WIRE, COILED
- 5 WATERPROOF CONNECTION
- 6 ID TAG
- 7 PRESSURE REGULATING QUICK CHECK BASKET FILTER
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 11 PVC SCH 40 TEE OR ELL
- 12 MAINLINE PIPE
- 13 6-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 14 PVC SCH 80 NIPPLE, CLOSE
- 15 PVC SCH 40 ELL
- 16 PVC SCH 40 TEE
- 17 LATERAL PIPE
- 18 PVC SCH 40 FEMALE ADAPTOR

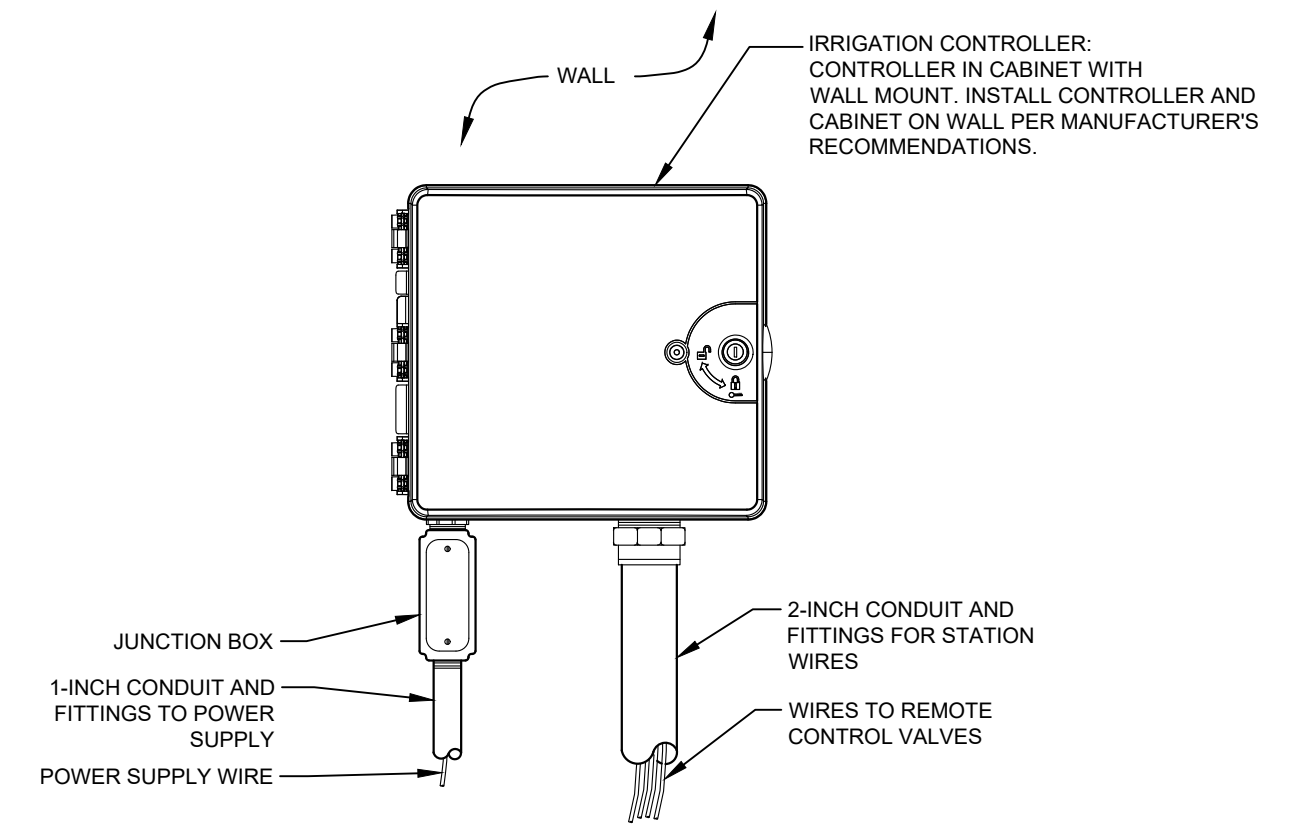
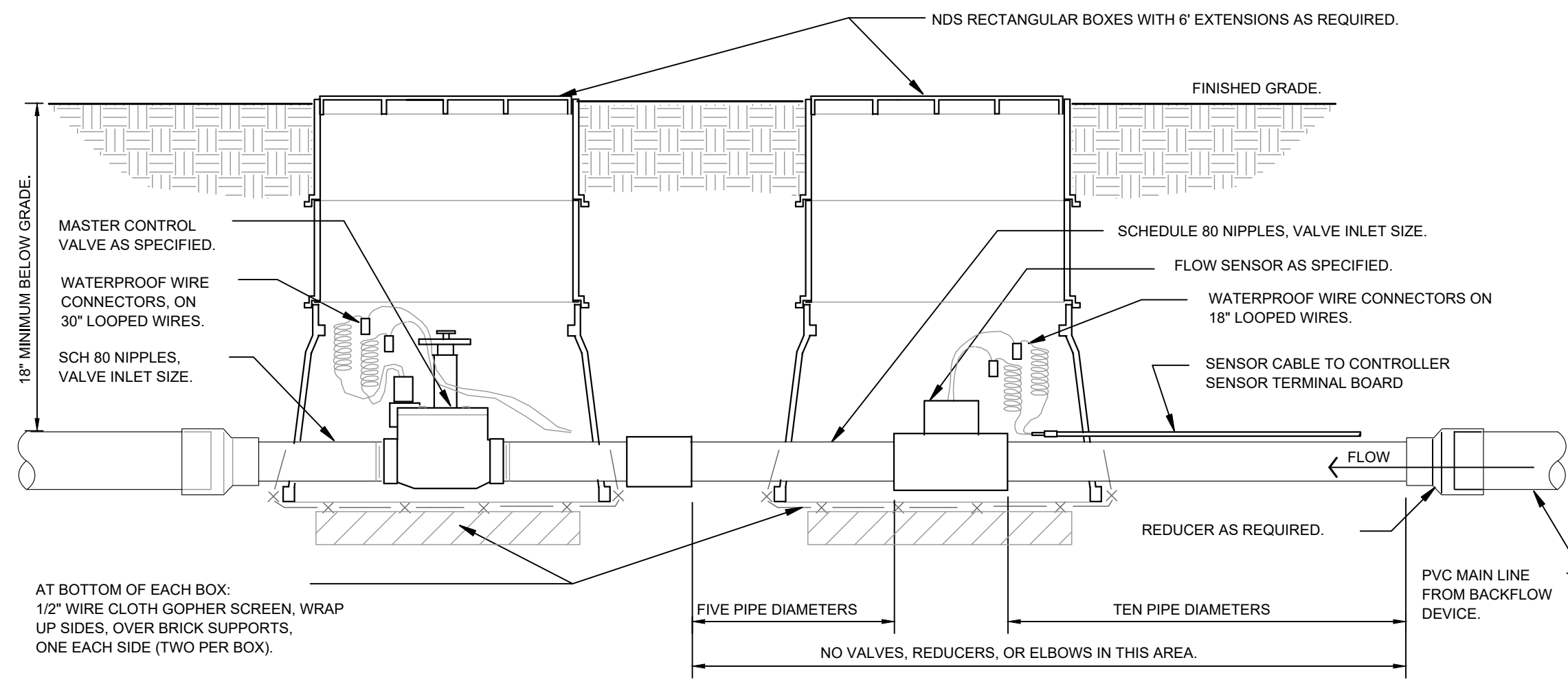


NOTE:
FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

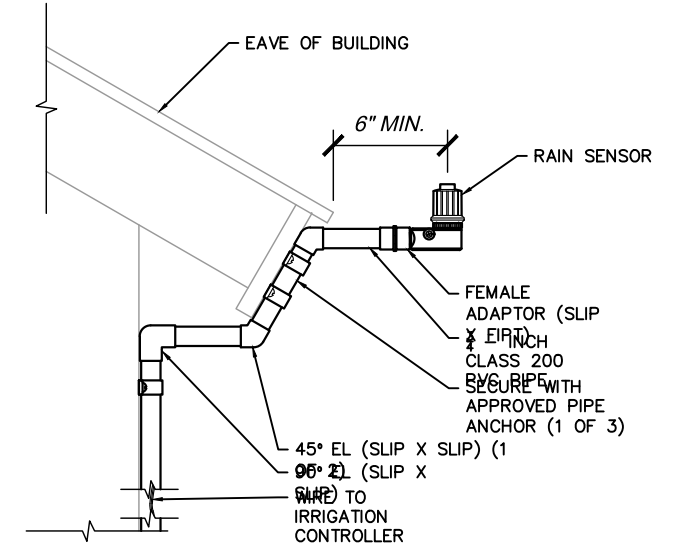
1 DRIP ZONE VALVE KIT
SECTION / PLAN

2 BACKFLOW PREVENTER
SECTION

3 TYPICAL QUICK COUPLER
SECTION



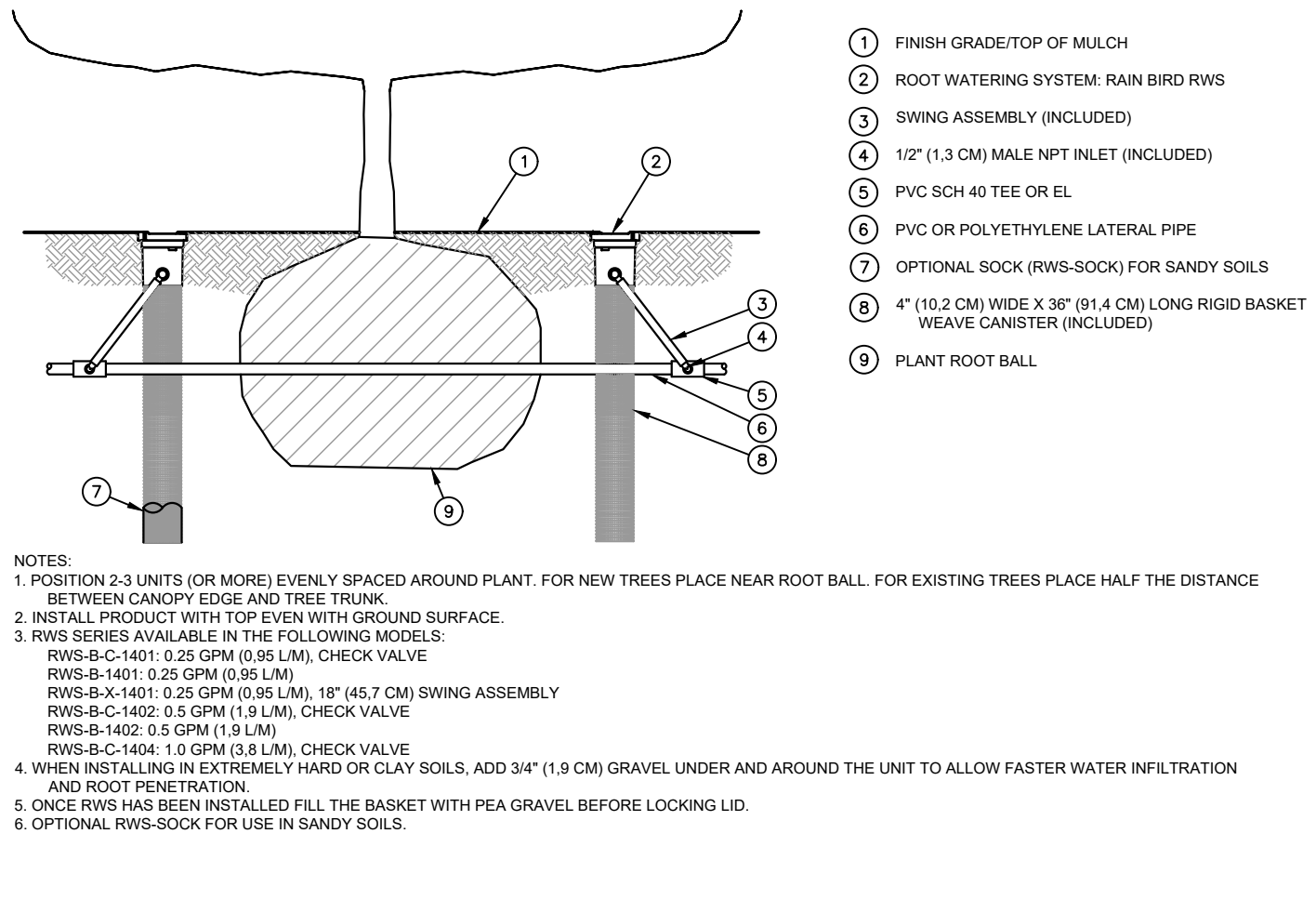
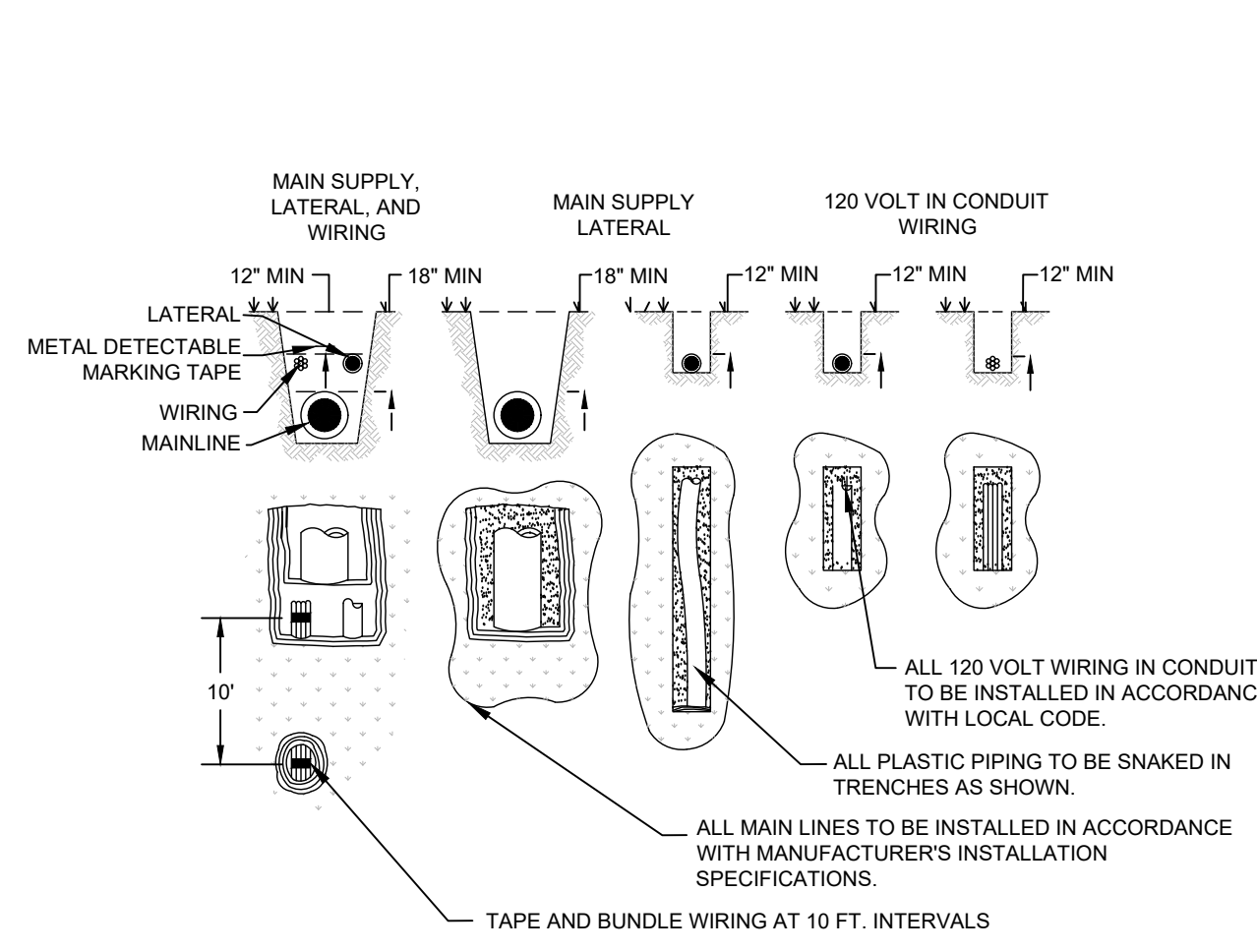
NOTES:
1. FOR EASE OF INSTALLATION INTO A CONTROLLER WITH MORE THAN 24 STATIONS, INSTALL A JUNCTION BOX AT THE BASE OF CONTROLLER AND TRANSITION LARGER VALVE AND COMMON WIRES FROM FIELD TO 18 AWG MULTI CONDUCTOR WIRE TO BE USED IN CONTROLLER.
2. USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONDITIONS.
3. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



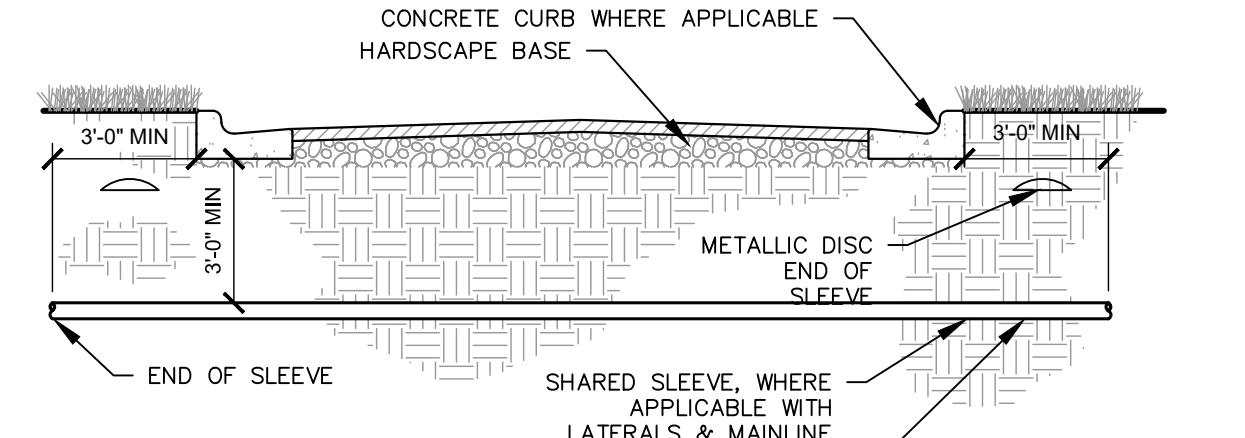
4 MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY
SECTION

5 IRRIGATION CONTROLLER - WALL MOUNT
ELEVATION

6 RAIN SENSOR - BUILDING MOUNT
SECTION



NOTES:
1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.
2. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
3. RWS SERIES AVAILABLE IN THE FOLLOWING MODELS:
RWS-B-1401: 0.25 GPM (0.95 L/M), CHECK VALVE
RWS-B-1401: 0.25 GPM (0.95 L/M), 18" (45.7 CM) SWING ASSEMBLY
RWS-B-1402: 0.5 GPM (1.9 L/M), CHECK VALVE
RWS-B-1402: 0.5 GPM (1.9 L/M)
RWS-B-1404: 1.0 GPM (3.8 L/M), CHECK VALVE
4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
5. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.
6. OPTIONAL RWS-SOCK FOR USE IN SANDY SOILS.



7 TYPICAL TRENCHING
SECTION

8 ROOT WATERING SYSTEM
SECTION

9 TYPICAL SLEEVING
SECTION

TITLE	DATE	BY
SITE PLAN		
IRRIGATION DETAILS		
DATE ISSUED	03/22/2024	
REVIEWED BY	JCP	
STD ISSUE DATE		
DRAWN BY	AKK	
SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO	
SITE ID	51032	
DESCRIPTION		
PREPARED BY:	McDonald's USA, LLC	
REV	DATE	DESCRIPTION
15		



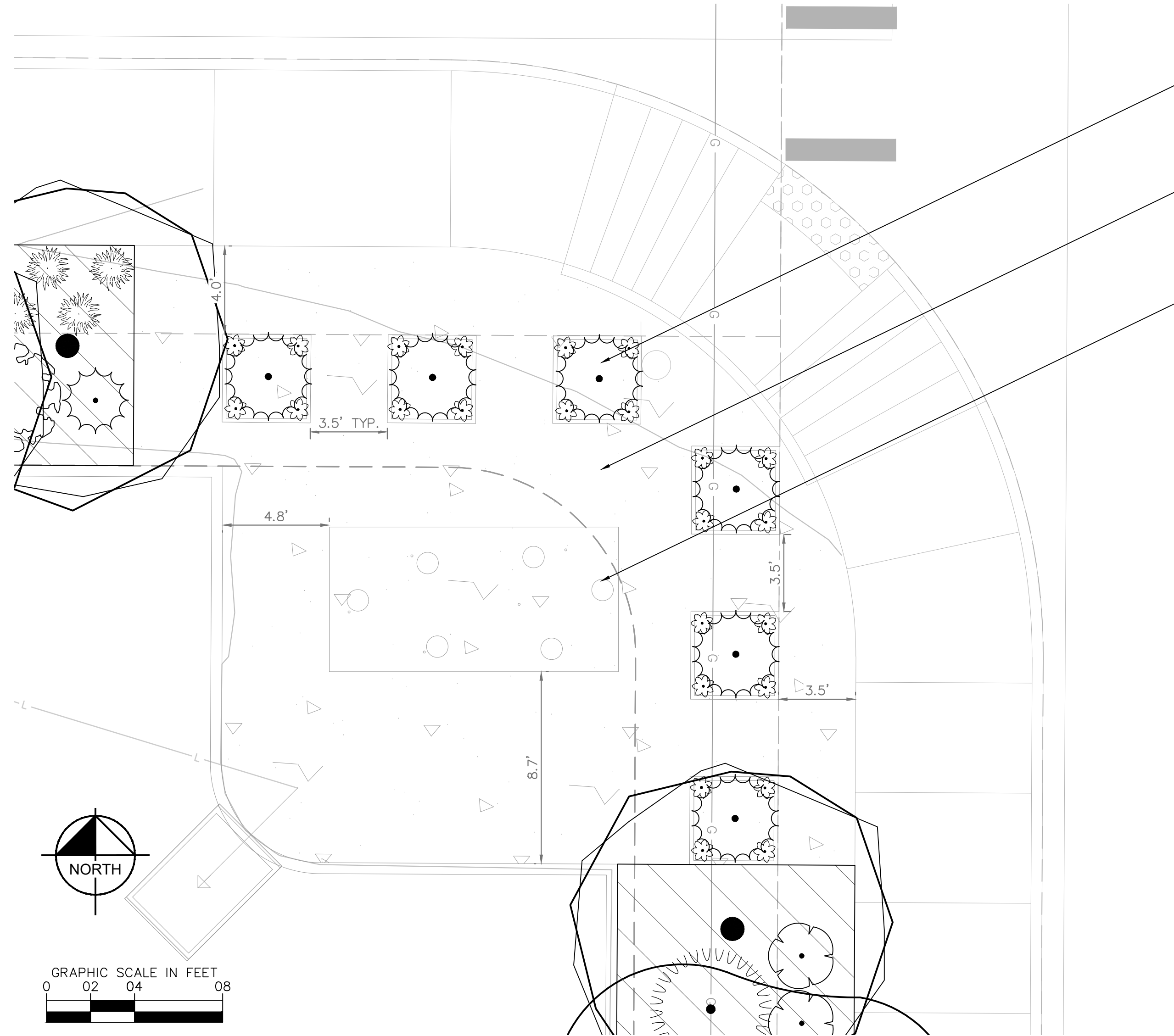
Kimley»Horn

PREPARED FOR:
McDonald's USA, LLC
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PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN



PLANTER, SEE DETAIL THIS SHEET
SEE LANDSCAPE SHEETS FOR PLANTINGS

CONCRETE PLAZA,
SEE CIVIL PLANS

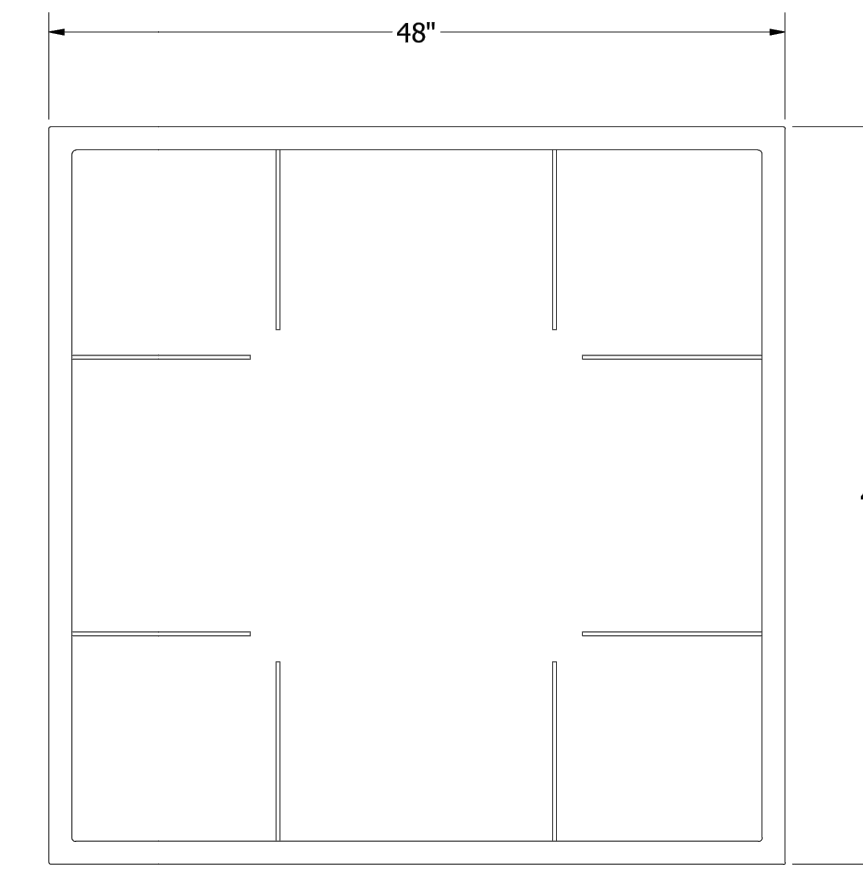
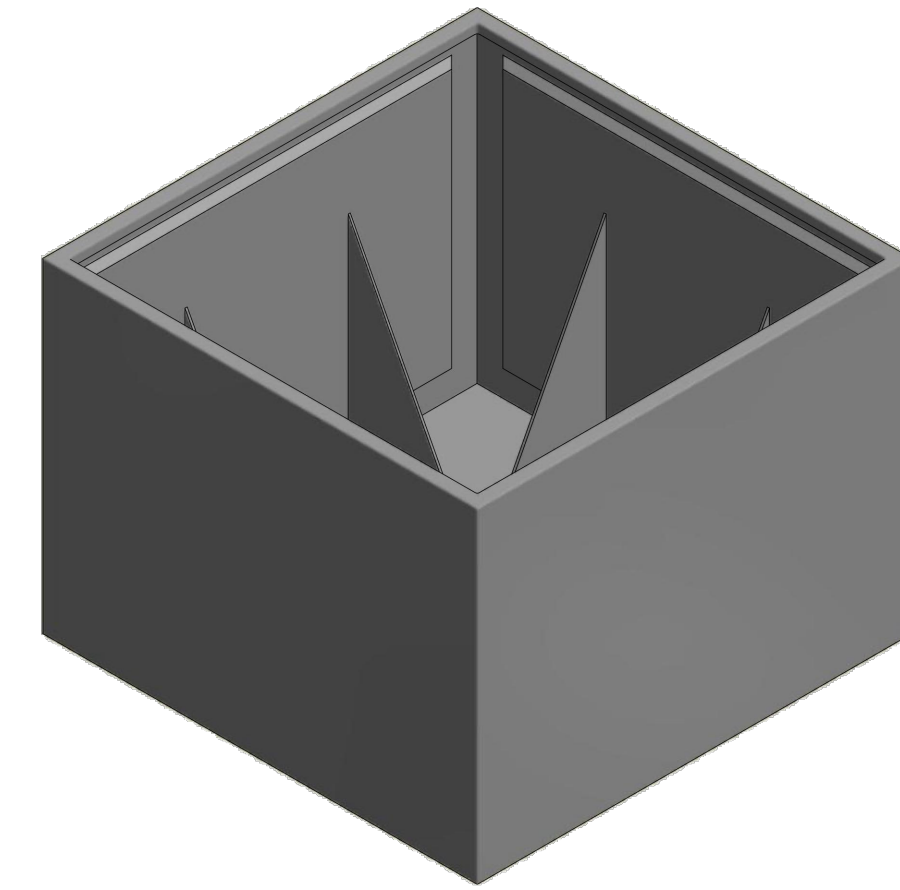
BENCH STRUCTURE, SEE DETAIL THIS SHEET

NOTES:

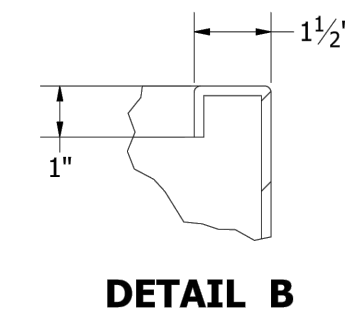
- 1) BENCH TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS WITH PROPER FOOTINGS AND ATTACHMENTS FOR STABLE AND SAFE USE. COLOR TO BE BLACK.
- 2) PLANTERS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. MATERIAL TO BE FIBERGLASS, COLOR TO BE DESIGNER COLOR - IRON.
- 3) IRRIGATION SLEEVES TO BE INSTALLED TO EACH PLANTER LOCATION PRIOR TO CONCRETE BEING POURED.

APPROVAL:

Signature authorizes Tournesol Siteworks to manufacture the product as shown



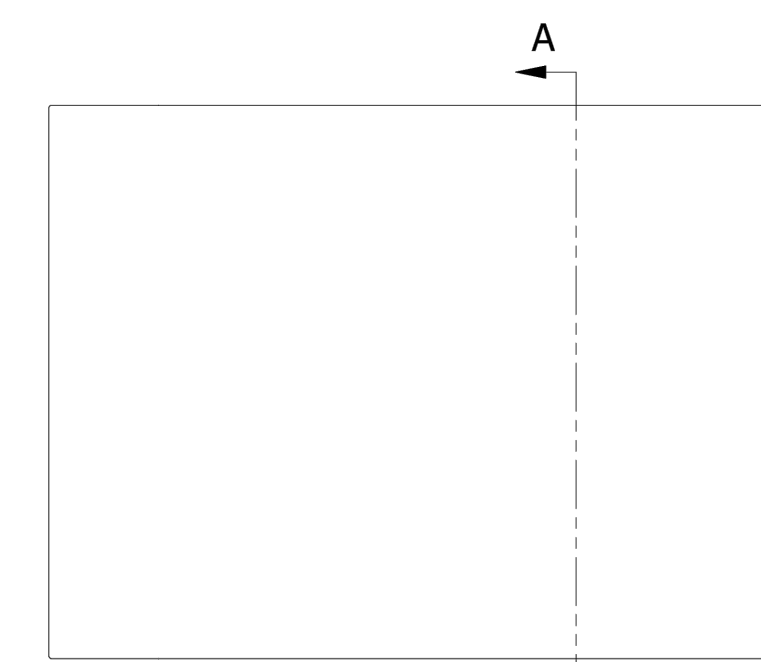
PLAN



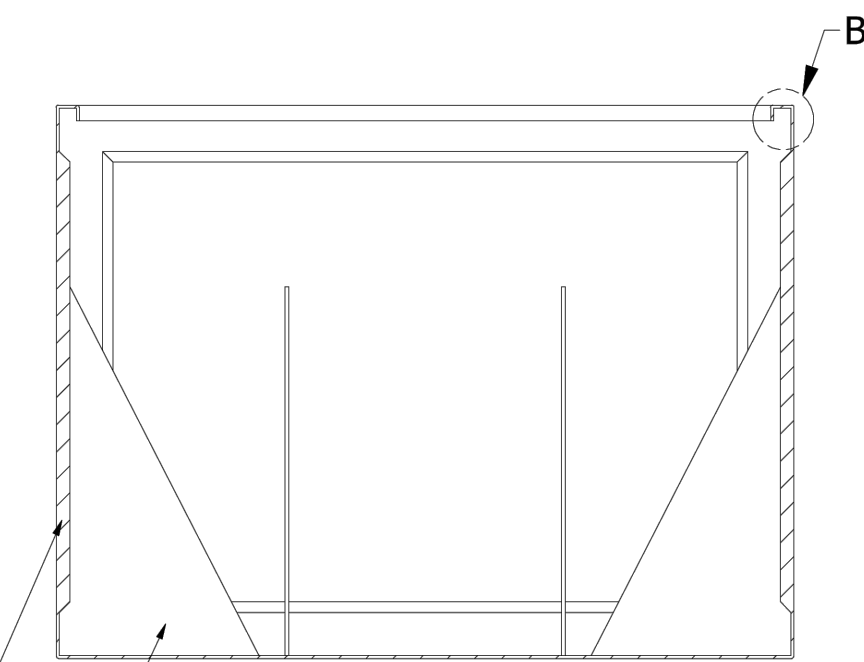
DETAIL B



SIDE



ELEVATION



SECTION A-A

EMBEDDED REINFORCEMENT (SUPPORT FOR SIDE WALLS)

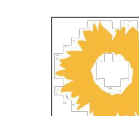
GUSSETS (SUPPORT FOR SIDE WALLS)

NOTES: UNLESS OTHERWISE SPECIFIED

- 1) MATERIAL: FIBERGLASS REINFORCED PLASTIC (FRP)
NOMINAL WALL THICKNESS 1/8" - 3/16"
- 2) ALL DIMENSIONS ARE NOMINAL, ACTUAL SIZE MAY VARY.
PLANTER IS DESIGNED FOR NO MORE THAN 80 LBS PER CUBIC FOOT SATURATED SOIL DENSITY. GREATER LOADS MUST BE REDUCED AND ALTERNATIVES FOR FILL MUST BE INSTALLED. ALTERNATE FILL EXAMPLES ARE:
1) LOWER 18" DEPTH FILL OF #1-#2 EPS FOAM
2) LOWER 18" DEPTH OF VERSICELL (15 LAYERS OF EVC-30)
3) OPTIONAL FALSE BOTTOM 18" FROM TOP (INQUIRE FOR PRICING)

COLOR: _____

TEXTURE: _____



Tournesol Siteworks
2930 Faber Street,
Union City, CA 94587

TITLE

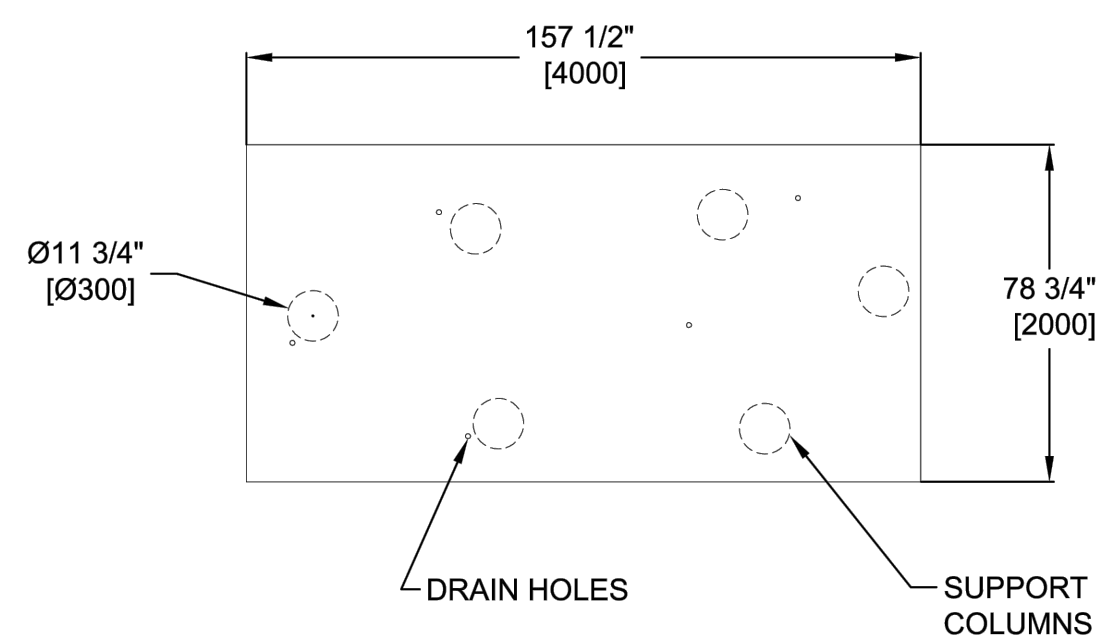
WILSHIRE - RECTANGLE - 48X48X36
WR-484836

DRAWN: MLC 6/14/2018
SIZE DWG NO
C WR-484836-SUB

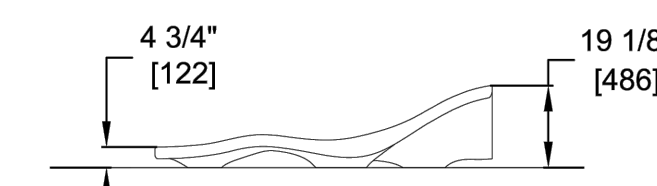
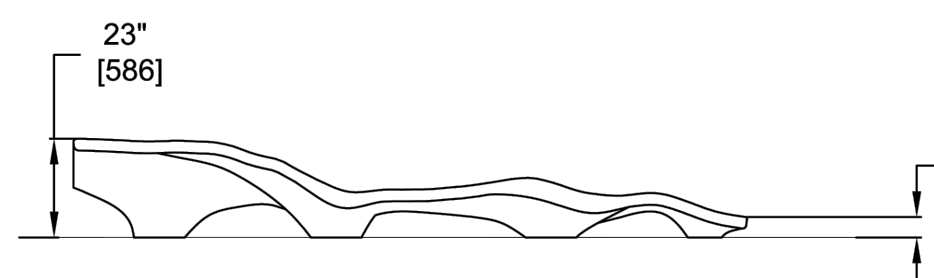
ALL DIMENSIONS IN INCHES SCALE 1/10 MATERIAL: GFRP SHEET 1 OF 1

Escofet Lungo Mare Bench, Module A
Product Drawing

Date: 4/14/2015
Ph: 800.521.2546
www.landscapeforms.com



DRAIN HOLES SUPPORT COLUMNS



01 BENCH STRUCTURE
17 DETAIL

Drawing: ESJ01-01
Dimensions are in inches [mm]

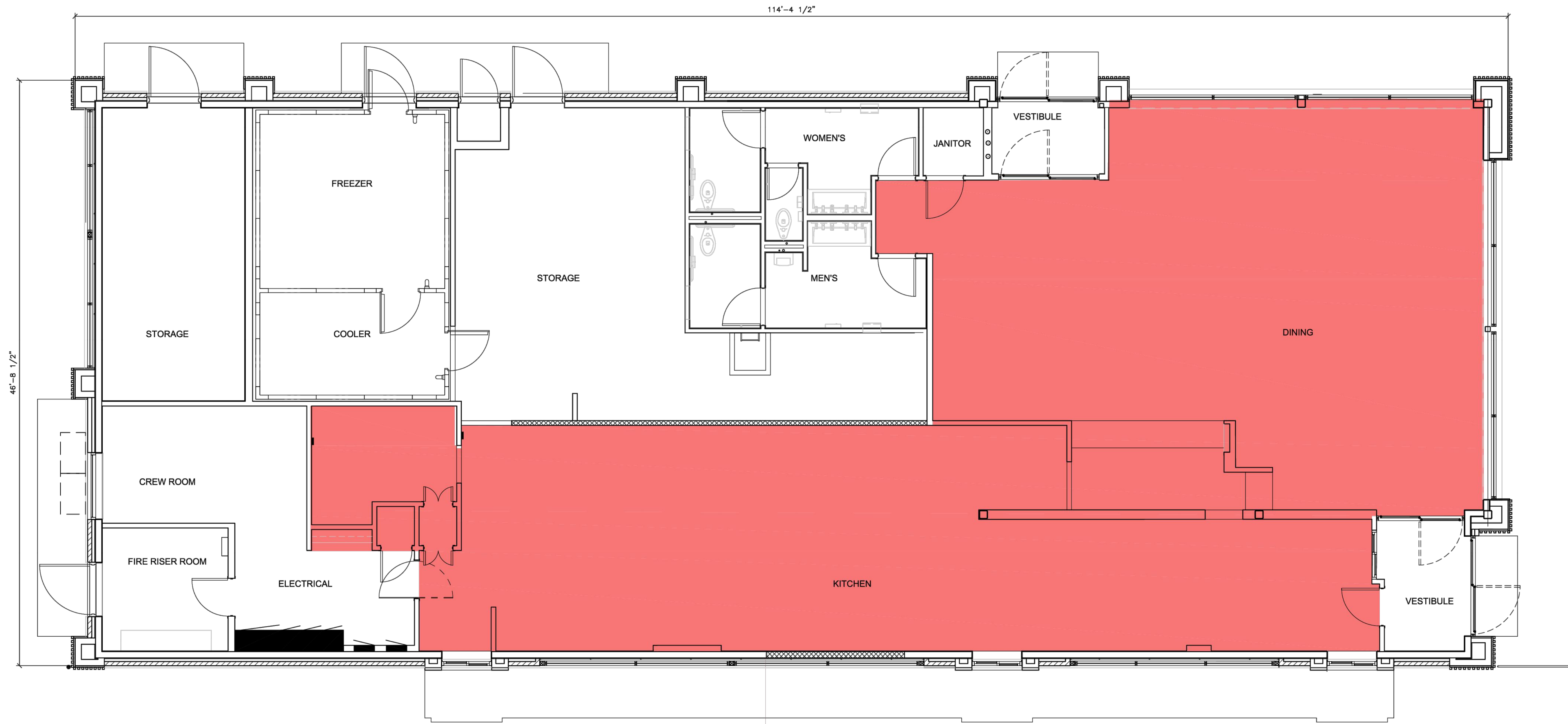
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TITLE	DESCRIPTION	REV	DATE	BY
SITE PLAN	PEDESTRIAN PLAZA DETAILS			
DRAWN BY: ANK		STD	ISSUE	DATE
REVIEWED BY: JCP		DATE	ISSUED	
DRAWN FOR: McDonald's USA, LLC		03/22/2024		
PREPARED BY: Kimley»Horn				
SITE ADDRESS: NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO				
SITE ID: 511032				
16				



PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



2626 SF

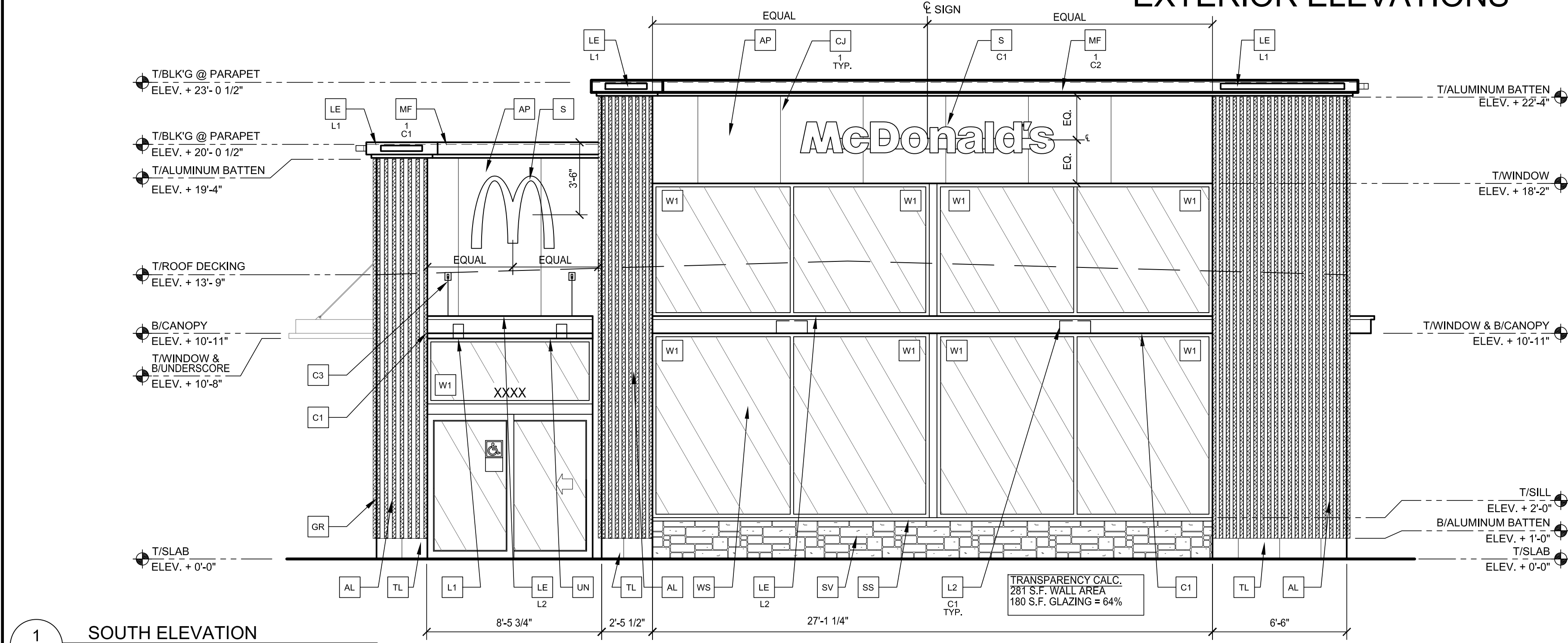
**4,760 S.F. TOTAL FLOOR AREA
2,626 S.F. LEASE AREA**

TITLE	SITE PLAN	DRAWN BY	MCS	DATE	REV	DATE	DESCRIPTION	BY
DESCRIPTION	NET LEASABLE AREA	REVIEWED BY	JJM	DATE ISSUED	07/19/2024			
SITE ID	51032	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO					
PREPARED FOR:	McDonald's USA, LLC	PREPARED BY:	Kimley»Horn					
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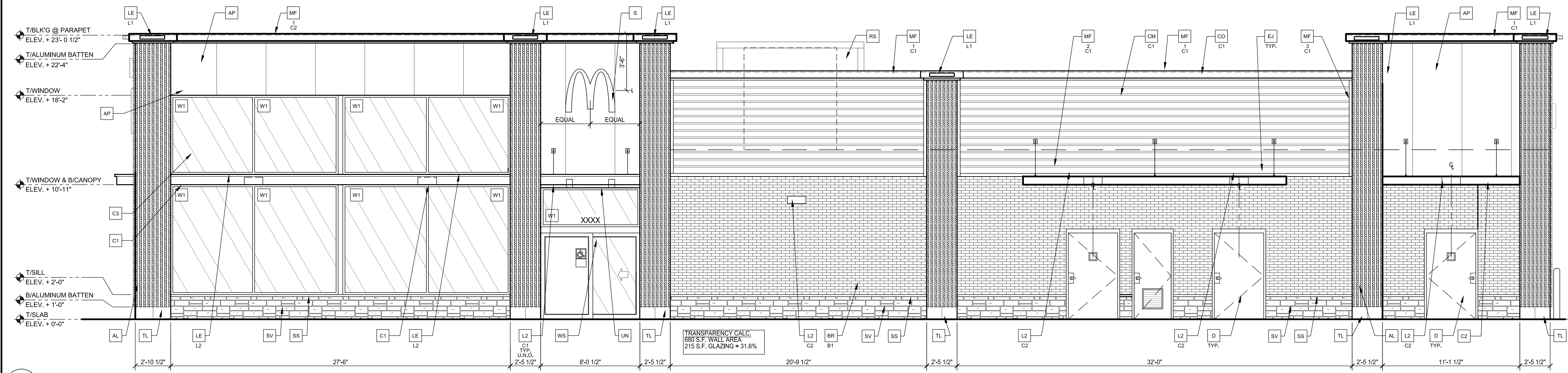
PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

EXTERIOR ELEVATIONS



1 SOUTH ELEVATION
A2.0 1/4" = 1'-0"



2 EAST ELEVATION
A2.0 1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRUL UNFINISHED, END CAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO
BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BM BRANE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
- BR MODULAR FACE BRICK
- B1 COLOR:
B1 = "ONYX" SMOOTH, BY SUMMIT BRICK
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- CJ CONTROL JOINT
1 - TYPE: 1 = ALPOLIC
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
- C1 - COLOR:
C1 = WEATHERED ZINC
- CO CORNICE
C1 - COLOR: WEATHER ZINC
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-7017 BY SHERWIN WILLIAMS

- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfx.com
- EJ EXPANSION JOINT, SEE DETAIL 7/4.1
- GR GUARD RAIL - SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1 - COLOR:
C1 = WHITE
C2 = MATCH RAL 7022

- LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
1 - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
- COLOR:
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)
C2 = RAL 7022 (FLAT FACTORY FINISHED)
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL

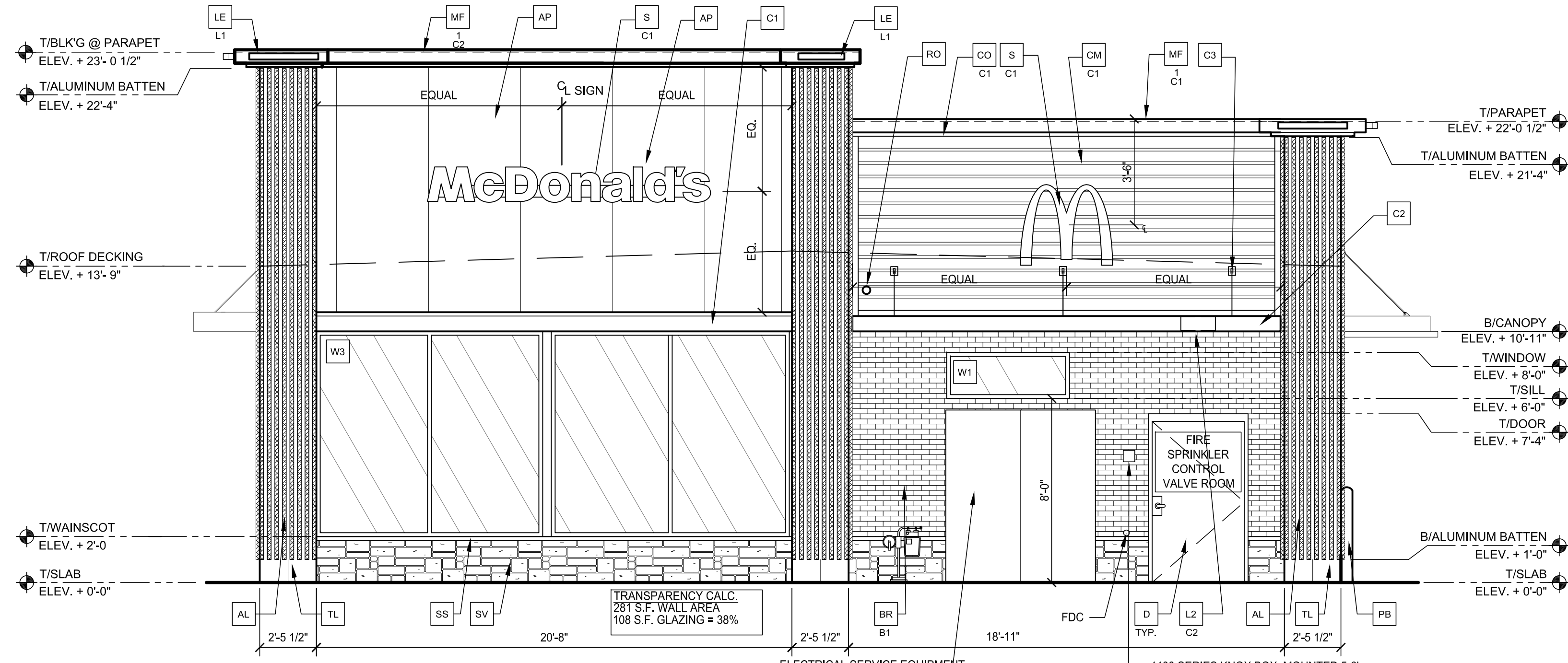
- RS ROOF-TOP EQUIPMENT SCREEN (BEYOND), COLOR TO MATCH ALPOLIC METAL PANEL, COLOR RAL 7022
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- C1 - COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
- SS STONE SILL, TELLURIDE STONE OKLAHOMA BLUE SILL
2.5'-3"x2.5'-3"x24"
- SV STONE VENEER, TELLURIDE STONE SAWN THIN VENEER,
HERITAGE BILTMORE DIMENSIONAL
- TL TILE (@ BASE OF BATTEN SYSTEM)
EUROWEST: DELUXE COLLECTION
COLOR: ABSOLUTE BLACK, SIZE: 6"x24"
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500

- UN METAL UNDERSCORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
BACK LIT GLAZING

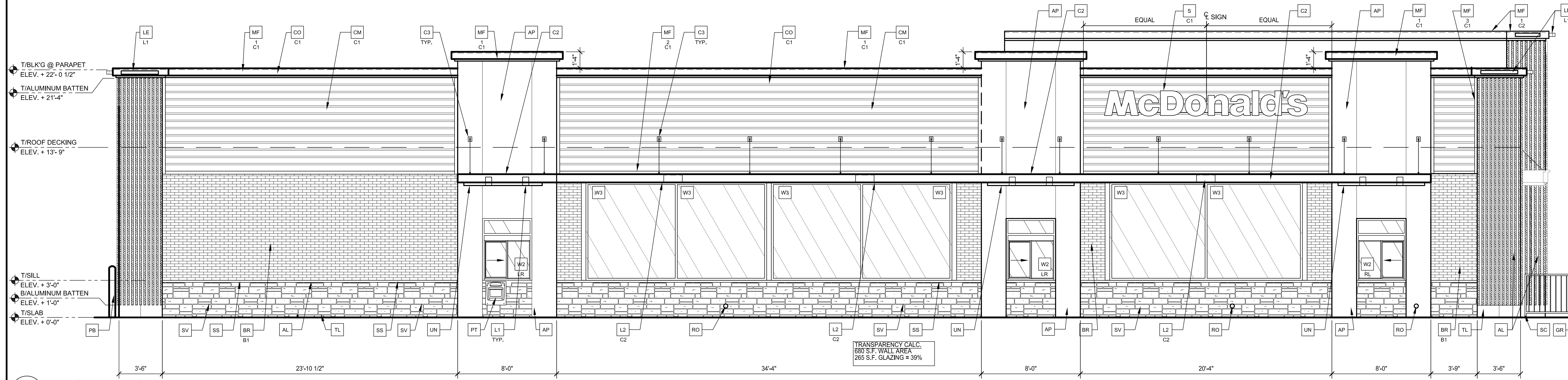
TITLE	DESCRIPTION	REV	DATE	BY
EXTERIOR ELEVATIONS				
PREPARED FOR: McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the the contract documents for reuse on another project is not authorized.				
DRAWN BY: B.ABBALLA				
STD ISSUE DATE				
REVIEWED BY				
DATE ISSUED 7/19/2022				
SITE ADDRESS 005-1032 NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO				
SHEET NO. A2.0				

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
EXTERIOR ELEVATIONS



1
A2.1 NORTH ELEVATION
1/4" = 1'-0"



2
A2.1 WEST ELEVATION
1/4" = 1'-0"

- KEY NOTES:**
- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACK RAIL UNFINISHED, END CAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO
BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
 - AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
 - BM BRANE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
 - BR MODULAR FACE BRICK
 - B1 COLOR:
B1 = "ONYX" SMOOTH, BY SUMMIT BRICK
 - C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
 - C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
 - C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
 - CJ CONTROL JOINT
1 - TYPE: 1 = ALPOLIC
 - CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1 - COLOR:
C1 = WEATHERED ZINC
 - CO CORNICE
C1 - COLOR: WEATHER ZINC
 - D HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW1-7017 BY SHERWIN WILLIAMS
 - DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
VOMELA (865) 330-7337, ann.bowen@vomela.com, mcdonaldsdecor@glgi.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@glgi.com
 - EJ EXPANSION JOINT, SEE DETAIL 7/44.1
 - GR GUARD RAIL - SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
 - L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
 - L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1 - COLOR:
C1 = WHITE
C2 = MATCH RAL 7022
 - LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
 - MF METAL FASCIA
1 - TYPE:
C1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
- COLOR:
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)
C2 = RAL 7022 (FLAT FACTORY FINISHED)
 - PB PIPE BOLLARD - PAINTED YELLOW
 - PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
 - RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
 - RS ROOF-TOP EQUIPMENT SCREEN (BEYOND), COLOR TO MATCH ALPOLIC METAL PANEL, COLOR RAL 7022
 - S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1 - COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
 - SS STONE SILL, TELLURIDE STONE OKLAHOMA BLUE SILL
2.5'-3"x2.5'-3"x24"
 - SV STONE VENEER, TELLURIDE STONE SAWN THIN VENEER, HERITAGE BILT MORE DIMENSIONAL
 - UN METAL UNDERSCORE
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SITE ADDRESS		005-1032, NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO			
PREPARED FOR:		ARRIS ARCHITECTURE ARRIS ARCHITECTURE, LLC 3436 New Castle Dr. Loveland, CO 80538			

A2.1