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 14190 EAST EVANS AVENUE  
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**LANDSCAPE ARCHITECT:**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 NEVADA NORTH AVE., SUITE 900  
 COLORADO SPRINGS, CO 80903  
 TEL: (719) 453-0180  
 CONTACT: JEREMY POWELL, P.L.A.

**BENCHMARK**

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT 1060032  
 3-1/4" ALUMINUM CAP DCGIS MONUMENT LOCATED AT THE STROH RANCH SOCCER PARK IN THE SOUTHEAST CORNER OF THE PARKING LOT.  
 ELEVATION: 5903.11 FEET (NAVD 1988 DATUM).

**BASIS OF BEARINGS**

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN WITH A RECORD BEARING OF S89°59'29"W MONUMENTED BY 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "AZTEC, 2018, PLS 22561" FOUND IN A RANGE BOX AT THE NORTHEAST CORNER OF SAID SECTION 3 AND A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "2006, PLS 29761" FOUND IN A RANGE BOX AT THE NORTH 1/4 CORNER OF SAID SECTION 3, WITH BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO.

**FLOODPLAIN NOTE**

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0181G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**LEGAL DESCRIPTION**

LOT 2A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

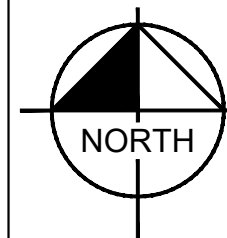
# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
 TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## SITE PLAN



VICINITY MAP  
 N.T.S.



Sheet List Table	
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3	SITE PLAN
4	PRELIMINARY UTILITY PLAN
5	FIRE TRUCK ACCESS PLAN
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A2.0	BUILDING ELEVATIONS
A2.1	BUILDING ELEVATIONS
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**SITE DATA**

PROPERTY ACREAGE	1.48 ACRES (64,609 SF)
PERVIOUS AREA	0.32 ACRES
IMPERVIOUS AREA	1.16 ACRES
MAXIMUM IMPERVIOUS AREA	1.26 ACRES, 85% OF TOTAL LAND AREA
BUILDING DENSITY	4,795 SF (BLDG) = 7.42%
	64,609 SF (LOT)
MAX BUILDING DENSITY	NONE
PARKING AREA	47,535 SF
NET LEASABLE AREA	2,626 SF
PARKING REQUIRED	26 (1 PER 100 NLA)
PARKING PROVIDED	26 ON-SITE SPACES (2 ADA SPACES)
BICYCLE PARKING REQUIRED	2 (2 PER 10,000 SF)
BICYCLE PARKING PROVIDED	3

**LAND USE DATA**

EXISTING ZONING	PLANNED DEVELOPMENT
GROSS SITE AREA	1.4776 ACRES
NUMBER OF BUILDINGS	1 BUILDING
BUILDING GROSS FLOOR AREA	5,273 SF
NET LEASABLE AREA	2,626 SF

**DEVELOPMENT STANDARDS**

COMMERCIAL DEVELOPMENT STANDARDS	TOWN OF PARKER LAND DEVELOPMENT CODE REQ.	PROVIDED
MINIMUM LANDSCAPE AREA	9583 SF (15%)	13939 SF (22%)
MAXIMUM BUILDING HEIGHT	35 FEET	1 STORY/ 23'-0 1/2"
MINIMUM OFF-STREET PARKING	26 (PER NLA)	26 ONSITE SPACES (2 ADA STALLS)
MAXIMUM FLOOR AREA RATIO (FAR)	0.35	0.075

**SETBACKS**

COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED SETBACK	PROVIDED SETBACK
FRONT	10'	59'
SIDE	8'	66'/98'
REAR	0'	127'

TITLE	DESCRIPTION	DATE	BY
SITE PLAN			
COVER SHEET			
SITE ID	SITE ADDRESS	REV	DATE
51032	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO		

PREPARED BY:

PREPARED FOR:  

 McDonald's USA, LLC  
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DRAWN BY	DATE
MCS	09/26/2024
STD	
ISSUE	
DATE	
ISSUED	
09/26/2024	













# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## SITE PLAN



The RWSC LED radius wall sconce series offers a combination of light distributions that wash the building facade while the radial soft form hood accentuates building architectural design elements in all commercial and residential applications.

The RWSC LED provides excellent illumination with a high efficiency LED light source of 72 or 36 mid power LEDs that deliver up to 2,820 lumens and up to 109 lumens per watt.

The RWSC LED fixture has become a building standard and is stocked as a quick ship item in many colors and distributions.

### Features

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaires finished in weatherproof powder-coat paint
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations
- DLC, Downlight only, full cut-off
- Dark Sky compliant, Downlight only

### Operating Temperature

- -30°C to 40°C

### Electrical

- Dimming is an option (consult factory)

### Mounting

RWSC features Intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very user friendly and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.

### Certifications/Listings

Ordering Information Ordering Example: RWSC - XXL - XX - XX - U - XX - XX

### RWSC

Series	LED	Wattage	Distribution	Mounting	Options
RWSC	36L 36 Mid-Power LEDs	3K 3000K	DD Down only	U Universal 120/277V	DB Dark Bronze WB White BK Black PS Platinum Silver BK Black OC Custom Color*
	72L 72 Mid-Power LEDs	6K 3000K	UD Up/Down		

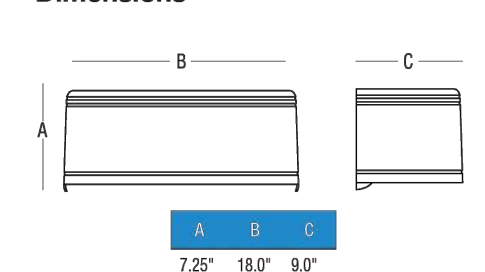
  

Accessories
LI251 Remote Emergency Inverter (light front only)
LI255 Remote Emergency Inverter (surface mount only)

Web: www.securitylighting.com  
2300 Golf Road, Suite 400, Rolling Meadows, IL 60008-4704  
Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-9242  
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### Dimensions



The RWSC LED radius wall sconce series offers a combination of light distributions that wash the building facade while the radial soft form hood accentuates building architectural design elements in all commercial and residential applications.

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### INSTALLATION INSTRUCTIONS - RATIO AREA SHEET 1 OF 3

SAVE THESE INSTRUCTIONS

READ THOROUGHLY BEFORE INSTALLATION

**INSTALLATION INSTRUCTIONS RATIO AREA**

**WARNING!** Fixtures must be grounded and installed in accordance with the National Electrical Code and all local codes. Failure to do so may increase the RISK OF PERSONAL INJURY, PROPERTY DAMAGE, FIRE AND DEATH. Install and use so fixture failures do not cause a hazard and use only in environments for which the product is specifically marked.

**WARNING!** This product contains chemicals known to the State of California to cause cancer, birth defects, and/or other reproductive harm. Thoroughly wash hands after installing, handling, cleaning, or otherwise touching this product.

**CAUTION!** Follow ALL luminaire recommendations, product markings, instructions, restrictions and warnings regarding luminaire operation and burning position. Luminaire label shows electrical and environmental requirements and restrictions.

All electrical work must be done by a qualified electrician.

Turn off electric power to all affected circuits and allow to cool before servicing.

A regularly scheduled maintenance program should be established to retain optimum light output and reduce heat retention. Dusting with a soft, clean, dry cloth is normally sufficient for the optical system. Any accumulation of dust or dirt should be removed regularly.

Carefully read these instructions before installing product. If you do not understand these instructions, before starting any work, contact your Hubbell Lighting distributor or techsupport@hubbell-tlg.com or (864) 678-1000

Give instructions to facility owner/manager for future reference.

**NOTE:**  
This luminaire is designed for outdoor lighting applications with ambient temperatures not exceeding 40°C

**WARNINGS:**  
Dangerous voltage exist within the unit and all precautions usually observed in handling high voltage equipment should be observed when replacing light engine or otherwise servicing luminaires. Disregarding this warning could result in electrical shock and possible injury to the individual installing or servicing this equipment. Installation and servicing should be done by qualified personnel.

**Tools Required:** (check tools required to install specific mount type)  
 • Hex (Allen) Wrench - 3/16  
 • Hex Socket - 1/2 & 3/4  
 • Torx Driver - T-20  
 • Screwdriver - Flat Blade & Phillips

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701 Millennium Boulevard Greenville, SC 29607 (864) 678-1000  
www.hubbelloutdoor.com

### INSTALLATION INSTRUCTIONS - RATIO AREA SHEET 2 OF 3

SAVE THESE INSTRUCTIONS

READ THOROUGHLY BEFORE INSTALLATION

**INSTALLATION INSTRUCTIONS RATIO AREA**

**WARNING!** Fixtures must be grounded and installed in accordance with the National Electrical Code and all local codes. Failure to do so may increase the RISK OF PERSONAL INJURY, PROPERTY DAMAGE, FIRE AND DEATH. Install and use so fixture failures do not cause a hazard and use only in environments for which the product is specifically marked.

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### INSTALLATION INSTRUCTIONS - RATIO AREA SHEET 3 OF 3

SAVE THESE INSTRUCTIONS

READ THOROUGHLY BEFORE INSTALLATION

**INSTALLATION INSTRUCTIONS RATIO AREA**

**Ratio Area Knuckle Mount**  
**Fixture Installation:**  
 1. Make power connections from the fixture wiring to the power feed wires. Route the connected wiring into the interior of the pole through the knock-out.  
 2. Attach the Knuckle to pole (E) by sliding the Knuckle onto the tenon. Tighten each of the (8) 3/16 set screws (G) using a 3/16 Allen wrench to approximately 12 ft-lbs.

**Arm Adjustment:**  
 1. Determine the desired vertical aim angle before attempting adjustments.  
 2. Notice that there are lock marks are at 15° intervals, plus long lock marks at 0°, 45° and 90°. The knuckle will actually allow finer adjustments to 4° per step.  
 3. Remove the center hub cover (H).  
 4. Notice the large 1/2-13 hex head bolt in the center of the hub acts as a pivot and should be loosened slightly for adjustment, but never removed.  
**CAUTION: secure housing assembly or obtain help holding and positioning the fixture while adjusting the aim.**  
 5. Aim the fixture to the desired angle.  
 6. Once the aim angle has been completed, tighten the 1/2-13 Hex Head pivot bolt to 35 ft-lbs.  
 7. Replace the Knuckle cover (H).

**Photocontrol Orientation**  
**NOTE:** A photocontrol is not included with this fixture.  
 This orientation procedure is only necessary if adjustment is required to aim the photocontrol in a certain direction. Otherwise, the photocontrol will function properly with no adjustment required to the photocontrol receptacle.

**Angle Adjustment:**  
 1. Remove shoring cap or photocontrol if installed.  
 2. Slightly loosen the two screws to allow rotation of the center section of the receptacle.  
 3. Insert a screwdriver tip into the adjustment slot located in the center of the receptacle and rotate so that the arrow indicator points in the desired direction (usually north).  
 4. Sufficiently tighten two screws.  
 5. Install photocontrol into receptacle, twist and lock into position. Check to ensure photocontrol is pointing in the desired direction.

**Outils requis :**  
 •Câble hexagonal (Allen) - 3/16  
 •Douille Hexagonale - 1/2 & 3/4  
 •Pilote Torx - T-20  
 •Tournevis - lame plate et Phillips

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### INSTRUCTIONS D'INSTALLATION - RATIO AREA FEUILLE 1 DE 3

SAUVEGARDEZ CES INSTRUCTIONS

READ THOROUGHLY BEFORE INSTALLATION

**INSTALLATION INSTRUCTIONS RATIO AREA**

**AVERTISSEMENT!** Les appareils d'éclairage doivent être mis à la terre et installés selon le Code canadien de l'électricité et tous les codes locaux. Ne se conformer à ces codes pourrait conduire à DES SECOURS ÉLECTRIQUES ET UN DANGER DE MORT OU D'INCENDIE. Installez l'appareil d'éclairage seulement dans les environnements pour lesquels il est marqué, et de façon qu'un défaut ne puisse devenir un danger.

**AVERTISSEMENT!** Ce produit contient des produits chimiques reconnus par l'état de la Californie causer le cancer, des malformations congénitales et d'autres services à la reproduction. Bien se laver les mains après l'installation, le nettoyage ou après avoir touché le produit (particulièrement s'il est brisé).

**ATTENTION!** Suivre toutes les indications, marquages, instructions, restrictions et recommandations concernant l'utilisation du luminaire ainsi que les dégagements requis et les précautions pour ne pas vous brûler. L'étiquette apposée sur le luminaire indique les exigences électriques et environnementales ainsi que les restrictions applicables.

Tous les raccordements électriques doivent être faits par un électricien certifié.

Avant de faire l'entretien, coupez la source de courant et laissez se refroidir le luminaire.

Un programme d'entretien régulier devrait être établi pour conserver la luminosité optimale et réduire l'accumulation de chaleur.

Un chiffon doux et propre est normalement suffisant pour dépoussiérer le système optique. Toute accumulation de poussière ou saleté doit être retirée de façon régulière.

Lire attentivement les présentes instructions avant d'installer le produit. Si vous ne comprenez pas les présentes instructions, communiquez avec votre distributeur de produits Hubbell Lighting, ou avec techsupport@hubbell-tlg.com ou (864) 678-1000 au téléphone

Remettez les présentes instructions au propriétaire ou gestionnaire des installations pour référence ultérieure.

**REMARQUE:**  
Ce luminaire est conçu pour les applications d'éclairage extérieur avec des températures ambiantes ne dépassant pas 40°C

**AVERTISSEMENTS :**  
Il existe une tension dangereuse dans l'unité et toutes les précautions habituellement observées lors de la manipulation d'équipements à haute tension doivent être observées lors du remplacement du moteur de phase ou de tout autre entretien des luminaires. Ignorer cet avertissement pourrait entraîner un choc électrique et éventuellement causer des blessures aux personnes installant ou entretenant cet équipement. L'installation et l'entretien doivent être effectués par du personnel qualifié.

**Outils requis :**  
 •Câble hexagonal (Allen) - 3/16  
 •Douille Hexagonale - 1/2 & 3/4  
 •Pilote Torx - T-20  
 •Tournevis - lame plate et Phillips

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### INSTRUCTIONS D'INSTALLATION D'APPAREIL FEUILLE 2 DE 3

SAUVEGARDEZ CES INSTRUCTIONS

READ THOROUGHLY BEFORE INSTALLATION

**INSTALLATION INSTRUCTIONS RATIO AREA**

**Ratio Area Mast Arm Mount**  
**Installation du luminaire:**  
 1. Établissez les connexions électriques entre le câblage de l'appareil et les câbles d'alimentation. Acheminez le câblage connecté à l'intérieur du pôle à travers le tenon.  
 2. Fixez le luminaire au bras de mât sur le bras de mât (E). Assurez-vous que le câblage n'est pas pincé entre l'ajusteur de bras de mât et le bras de pylon.  
 3. Fixez le bolon au bras en serrant (4) les vis de réglage 3/8-16 (G) à l'aide d'une clé hexagonale de 3/16. Couple à 12 lb-pi.  
 4. Assurez-vous que les voyants sont alimentés.

**Ratio Area Mast Arm Mount**  
**Installation du luminaire:**  
 1. Établissez les connexions électriques entre le câblage de l'appareil et les câbles d'alimentation. Acheminez le câblage connecté à l'intérieur du pôle à travers le tenon.  
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 4. Assurez-vous que les voyants sont alimentés.

**REMARQUES :**  
Pour toute pièce de remplacement comme l'ensemble à DEL ou le convertisseur d'alimentation, veuillez communiquer avec Hubbell Lighting. Avant de commander, veuillez communiquer avec votre distributeur ou agent local pour confirmer la disponibilité des pièces.

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### INSTRUCTIONS D'INSTALLATION D'APPAREIL FEUILLE 3 DE 3

SAUVEGARDEZ CES INSTRUCTIONS

READ THOROUGHLY BEFORE INSTALLATION

**INSTALLATION INSTRUCTIONS RATIO AREA**

**Ratio Area Knuckle Mount**  
**Installation du luminaire:**  
 1. Établissez les connexions électriques entre le câblage de l'appareil et les câbles d'alimentation. Acheminez le câblage connecté à l'intérieur du pôle à travers le tenon.  
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 4. Assurez-vous que les voyants sont alimentés.

**Photocontrôle Orientation**  
**REMARQUE:** Un photocontrôle n'est pas inclus avec cet appareil.  
 Cette procédure d'orientation n'est nécessaire que si un réglage est nécessaire pour orienter le photocontrôle dans une certaine direction. Sinon, le photocontrôle fonctionnera correctement sans aucun ajustement du réceptacle du photocontrôle.

**Réglage de l'angle:**  
 1. Retirez le capuchon de court-circuit ou le photocontrôle, le cas échéant.  
 2. Desserrer légèrement les deux vis pour permettre la rotation de la section centrale du réceptacle.  
 3. Insérez une pointe de tournevis dans la fente de réglage située au centre de la prise et faites-la pivoter de sorte que l'indicateur de flèche pointe dans la direction souhaitée (généralement vers le nord).  
 4. Serrer suffisamment les deux vis.  
 5. Installez le photocontrôle dans le réceptacle, tournez-le et verrouillez-le en place. Vérifiez que le photocontrôle est dirigé dans la direction souhaitée.

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TITLE	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
SITE PLAN					
DESCRIPTION					
PHOTOMETRIC DETAILS					
SITE ADDRESS					
51032Z					
NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO					

PREPARED FOR: McDonald's USA, LLC  
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# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## SITE PLAN

### SECURITY LIGHTING® LB6A-10LDM GD 6" LED DOWNLIGHT (FOR EXTERIOR USE ONLY)

- FEATURES**
- 6" LED downlight delivering up to 1000 lumens
  - For use with compatible 6" Quick Link DM LED housings
  - Available in 5000K 90 CRI
  - Universal 120-277V with 0-10V dimming to 10%



**SPECIFICATIONS**

**HOUSING**

- Remodel, IC or Non-IC applications
- Galvanized steel shallow housing ideal for 2 x 6 joist construction
- Pre-wired J-box with snap-on covers
- Quick Link mating connectors to meet high efficiency energy codes

**OPTICS/REFLECTOR**

- Spun aluminum reflector painted Gold
- Regressed optical grade diffuse acrylic lens
- Flood distribution for general illumination
- 5000K, 90 CRI

**ELECTRICAL**

- Long Life LED array; L70 / 55,000 hours (TM-2)
- Universal 120/277V, 60Hz integral driver
- Standard 0-10V dimming to 10%

**INSTALLATION**

- Housing accommodates 1" to 1" ceiling thickness
- Adjustable slide bars lock housing securely to the ceiling
- LED Trim easily installs with (3) pre-installed spring brackets

**CERTIFICATIONS**

- cULus listed to UL1598
- Suitable for wet locations under covered ceiling
- Housing: Approved for 90°C, 2 IN / 2 OUT through branch wiring
- ENERGY STAR® certified

**WARRANTY**

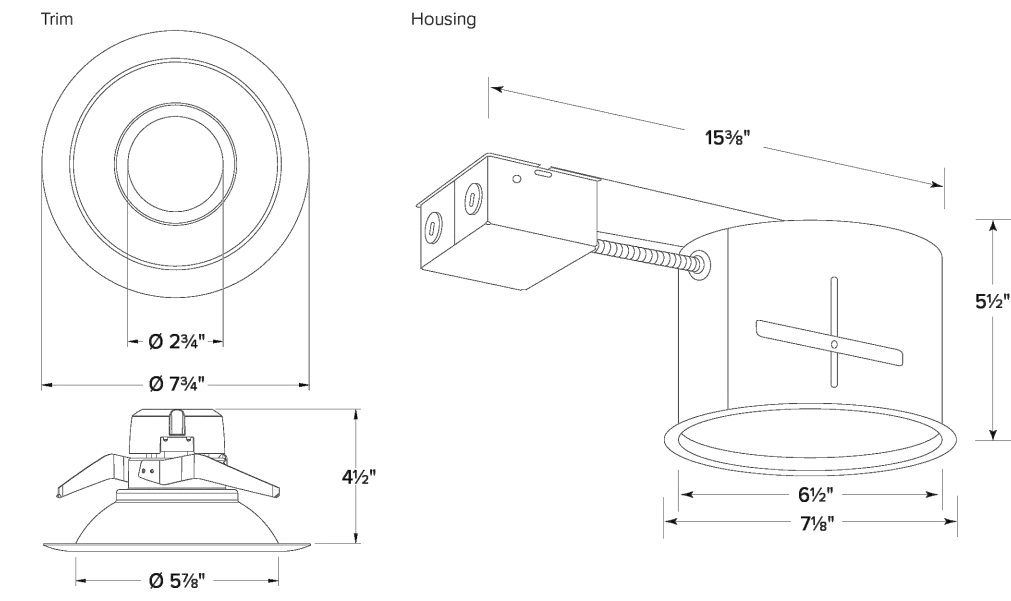
- 5 year warranty
- See [HLJ Standard Warranty](#) for additional information

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: P/RG PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_



### SECURITY LIGHTING® LB6A-10LDM GD 6" LED DOWNLIGHT (FOR EXTERIOR USE ONLY)

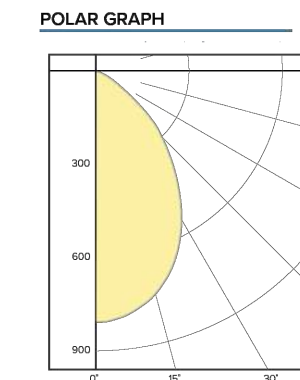
**DIMENSIONS**



**PERFORMANCE SUMMARY**

System Watts	Lumens	Lumens Per Watt
121	1072	103.2

**PHOTOMETRY**



**ORDERING GUIDE**

Example: LB6A-10LDM50K9GD-RMNCIS-QLDM

CATALOG #	LB6A-10LDM	50K	9	GD	RMNCIS-QLDM
Trim	LED Color	CRI	Trim Type	Trim Color	Housing
LB6A-10LDM	50K	90 CRI	Standard Downlight	White	6" LED Quicklink Remodel Housing

**KEY DATA**

Lumen Range	1000
Wattage	12
Reported Life (Hours)	L70 / 55,000

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2101 Oak Road, Suite 460 • Rolling Meadows, IL 60008-4704 / Tel: 1.800.LIGHT / (7.1.800.544.4848)  
Fax: 847.278.0242 Website: [www.securitylighting.com](http://www.securitylighting.com)



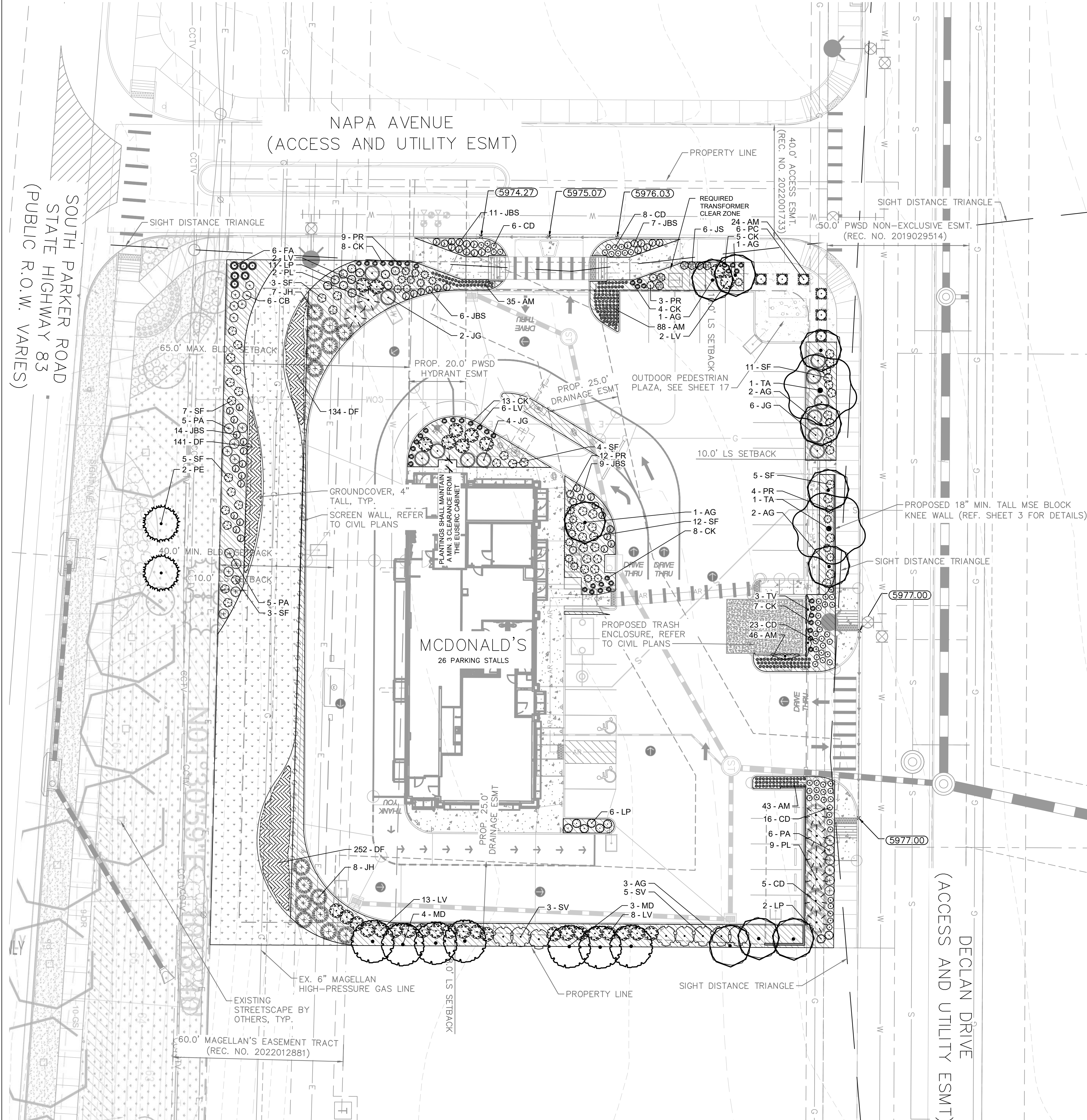
Page 22 of 123/21 © 2025 Security Lighting, a division of Hubbell Lighting, Inc. Specifications subject to change without notice.  
2101 Oak Road, Suite 460 • Rolling Meadows, IL 60008-4704 / Tel: 1.800.LIGHT / (7.1.800.544.4848)  
Fax: 847.278.0242 Website: [www.securitylighting.com](http://www.securitylighting.com)



<b>Kimley»Horn</b>							
 <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Kimley-Horn and Associates, Inc. in accordance with the contract documents for reference or example on another project requires the use of the contract documents for reuse on another project is not authorized.</small>	DRAWN BY: MCS STD ISSUE DATE: _____ REVIEWED BY: JJM DATE ISSUED: 09/26/2024	TITLE: <b>SITE PLAN</b> DESCRIPTION: <b>PHOTOMETRIC DETAILS</b> SITE ADDRESS: NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO	PREPARED BY: _____ DATE: _____ DESCRIPTION: _____				
 Know what's below. Call before you dig.	<b>9</b>						

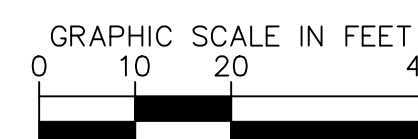
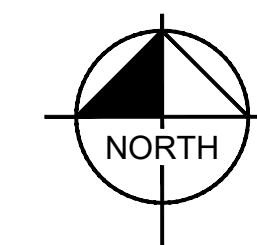
# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
**LANDSCAPE PLAN**



## PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE / CAL	WIDTH	HEIGHT
<b>DECIDUOUS TREES</b>							
	TA	2	TILIA AMERICANA / AMERICAN LINDEN	B & B	2" CAL MIN	30'-40'	40'-50'
<b>EVERGREEN TREES</b>							
	PE	2	PINUS EDULIS / PINON PINE	B & B	6" HGT.	10'-15'	20'-30'
	PL	8	PINUS LEUCODERMIS 'SATELIT' / MINT TRUFFLE BOSNIAN PINE	B & B	6" HGT.	8'-10'	15'-20'
<b>ORNAMENTAL TREES</b>							
	AG	10	ACER GINNALA / AMUR MAPLE	B & B	2" CAL MIN	15'-20'	15'-20'
	MD	7	MALUS 'DOLGO' / DOLGO CRABAPPLE	B & B	2" CAL MIN	15'-20'	15'-20'
<b>DECIDUOUS SHRUBS</b>							
	LP	19	AMORPHA CANESCENS / LEADPLANT	5 GAL.	SEE PLAN	2'-3'	2'-3'
	CB	6	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD	5 GAL.	SEE PLAN	2'-3'	2'-3'
	LV	31	LIGUSTRUM VULGARE 'CHEYENNE' / CHEYENNE PRIVET	5 GAL.	SEE PLAN	4'-6'	6'-8'
	PA	16	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL.	SEE PLAN	2'-3'	2'-3'
	SF	50	SPIRAEA JAPONICA 'NEON FLASH' / NEON FLASH SPIREA	5 GAL.	SEE PLAN	2'-3'	2'-3'
	SV	8	SYRINGA VULGARIS 'WEDGWOOD BLUE' / WEDGWOOD BLUE LILAC	5 GAL.	SEE PLAN	6'-8'	6'-8'
<b>DECIDUOUS VINE</b>							
	TV	3	CAMPSIS RADICAN / TRUMPET VINE	1 GAL.	SEE PLAN	5'-10'	VINE
<b>EVERGREEN SHRUBS</b>							
	JH	15	JUNIPERUS CHINENSIS 'HOLBERT' / HOLBERT JUNIPER	5 GAL.	SEE PLAN	6'-8'	2'-3'
	JS	6	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.	SEE PLAN	2'-3'	10'-12'
	JBS	47	JUNIPERUS SQUAMATA 'BLUE STAR' / BLUE STAR JUNIPER	5 GAL.	SEE PLAN	2'-3'	12'-18"
	JG	12	JUNIPERUS X MEDIA 'SEA GREEN' / SEA GREEN JUNIPER	5 GAL.	SEE PLAN	6'-8'	5'-6"
	PC	6	PICEA GLAUCA 'CONICA' / DWARF WHITE SPRUCE	5 GAL.	SEE PLAN	4'-5'	10'-12"
	PR	28	PICEA PUNGENS 'ROUNDOABOUT' / ROUNDOABOUT COLORADO SPRUCE	5 GAL.	SEE PLAN	2'-3'	2'-3"
<b>GRASSES</b>							
	CK	45	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	5 GAL.	SEE PLAN	18"-24"	4'-5"
	FA	6	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.	SEE PLAN	1'-2"	1'-2"
<b>PERENNIALS</b>							
	AM	236	ALYSSUM MONTANUM / MADWORT	F15(4" POTS)	SEE PLAN	12"-18"	6"-12"
	CD	58	CENTAUREA DEALBATA / PERSIAN CORNFLOWER	1 GAL.	SEE PLAN	18"-24"	18"-24"
<b>SHRUB AREAS</b>							
	DF	527	DELOSPERMA FLORIBUNDUM 'STARBURST' / STARBURST ICE PLANT	PLUG	15" OC	15"	4"
<b>GROUND COVERS</b>							
	ROCK1	8,239 SF	2" - 6" COLORADO ROSE ROCK MULCH	ROCK MULCH	3" DEPTH	YES	PIONEER SAND
	SEED	4,861 SF	PBSI NATIVE LAWN MIX	SEED			PAWNEE BUTTES SEED



**WARNING**  
HIGH-PRESSURE PIPELINE(S)  
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE  
WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM  
MAGELLAN PIPELINE COMPANY, L.P.

TITLE	SITE PLAN	DATE	09/26/2024
DESCRIPTION	LANDSCAPE PLAN	DATE ISSUED	09/26/2024
SITE ID	51032	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO
PREPARED FOR:	McDonald's USA, LLC	PREPARED BY:	Kimley»Horn
DRAWN BY:	AKK	STD ISSUE DATE	
REVIEWED BY:	JCP	DATE ISSUED	09/26/2024
REV	DATE	DESCRIPTION	BY



# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## LANDSCAPE PLAN

### GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK**
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
  - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES**
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE UNSAVELY AND/OR BE REPLACED AT THE COST OF THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
  - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS**
- GENERAL
 

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
  - PLANT MATERIALS
    - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING, PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
    - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
    - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
    - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
    - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
    - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
    - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
    - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
    - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE**
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
  - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
    - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
    - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
  - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER**
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- \* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER**
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO

- SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- \* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- H. MULCH**
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING**
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
  - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILT-TRUP" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
  - B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL, OF SURFACE SIZE TO ROOTS AND FEET TO TOPS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- J. CONTAINER GROWN STOCK**
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
  - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBERED ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
  - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST**
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING**
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
  - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- M. PLANTING PROCEDURES**
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
  - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
  - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
  - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK UPON ARRIVAL AT THE SITE. PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS AND CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
  - WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
  - ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
  - TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR MOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
  - TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
  - PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
  - EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
  - IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
  - TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
  - TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
  - SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
  - TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
  - AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
  - FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE

- WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
  - TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
  - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
  - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
  - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- N. LAWN SODDING**
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
  - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
  - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HANK RADE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
  - SODDING
    - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
    - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED. IN FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY JURISDICTIONAL AUTHORITY.
  - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
  - LAWN MAINTENANCE
    - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
    - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- O. EDGING**
- CONTRACTOR SHALL INSTALL 4"x2" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
- P. CLEANUP**
- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- Q. PLANT MATERIAL MAINTENANCE**
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- R. FINAL INSPECTION AND ACCEPTANCE OF WORK**
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- S. WARRANTY**
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
  - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
  - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

- NOTES:**
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
  - ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.

SITE PERIMETER REQUIREMENTS			
ADJACENT LAND USE	PERIMETER LENGTH	REQUIRED / PROVIDED TREES 1 TREE / 40 LINEAR FEET (40-60% EVERGREEN)	REQUIRED / PROVIDED SHRUBS (5 SHRUBS / 40 LINEAR FEET)
COMMERCIAL (NORTH PROPERTY LINE)	236'	6 (3-4 EVERGREEN TREES) SUB. 10 SHRUBS PER 1 TREE / 4 (2 EVERGREEN TREES) +20 SHRUBS	30 / 62
COMMERCIAL (SOUTH PROPERTY LINE)	242'	6 (3-4 EVERGREEN TREES) / 10 (3 EVERGREEN TREES)	30 / 30
COMMERCIAL (EAST PROPERTY LINE)	270'	7 (3-4 EVERGREEN TREES) / 12 (6 EVERGREEN TREES)	35 / 35
COMMERCIAL (WEST PROPERTY LINE)	270'	7 (3-4 EVERGREEN TREES) *13 (4 EVERGREEN TREES)	55 / 55

- NOTES:**
- MASTER DEVELOPER TREES WITHIN ROW ARE BEING COUNTED TOWARDS THE WEST PROPERTY LINE REQUIRED TREES.

LANDSCAPE REQUIREMENTS				
TOTAL DEVELOPED AREA	SITE LANDSCAPE REQUIREMENTS	SITE TREES 1 TREE / 1,500 SF (% EVERGREEN)	SITE SHRUBS 5 SHRUBS / 1,500 SF	SOD (AREA)
64,609 SF	15% LANDSCAPE AREA 75% LIVE GROUNDCOVER	9 TREES (25-50%)	48 SHRUBS	15% MAX
PROVIDED	TOTAL LANDSCAPE AREA REQ/PROVIDED	28 TREES (13 EVERGREEN)	305 SHRUBS	0% (0 SF)
	LIVE GROUNDCOVER AREA REQ/PROVIDED	7,268 SF (75%) / 10,676 SF (75%)		

- NOTES:**
- THE SITE CONTAINS LESS THAN 80 PARKING STALLS; PARKING LOT INTERIOR LANDSCAPING SHALL NOT BE APPLIED.

PARKING LOT PERIMETER REQUIREMENTS			
ADJACENT LAND USE	LENGTH OF PARKING STALLS FACING BOUNDARY	BUFFER DEPTH REQUIRED / PROVIDED	LENGTH OF SCREENING PLANTS PROVIDED
PRIVATE ROAD (NORTH PROPERTY LINE)	45'	10' / 10"	45'
PRIVATE ROAD (EAST PROPERTY LINE)	149'	10' / 10"	149'

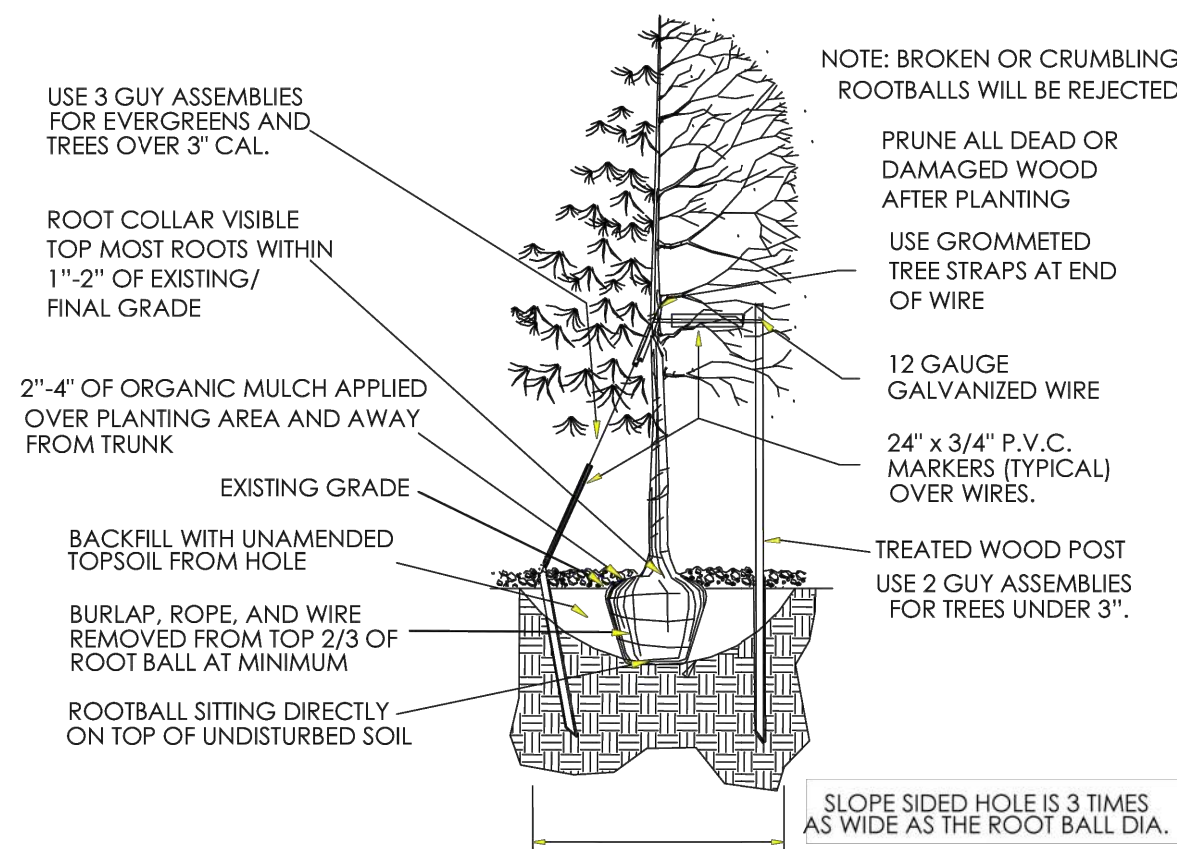
- \* THE BUFFER DEPTH IS LESS THAN 10' IN LIMITED AREAS WITH ADA ROUTES AND PEDESTRIAN RAMPS

TITLE	DATE	BY	DESCRIPTION
SITE PLAN			
DESCRIPTION			
LANDSCAPE NOTES			
SITE ID	DATE	REV.	DATE
51032			
DRAWN BY: ANK			PREPARED BY: McDonald's USA, LLC
STD. ISSUE DATE			
REVIEWED BY: JCP			These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the contract documents in effect at the time these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.
DATE ISSUED: 09/26/2024			
SITE ADDRESS: NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO			
811 Know what's below. Call before you dig.			11

# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
**LANDSCAPE PLAN**

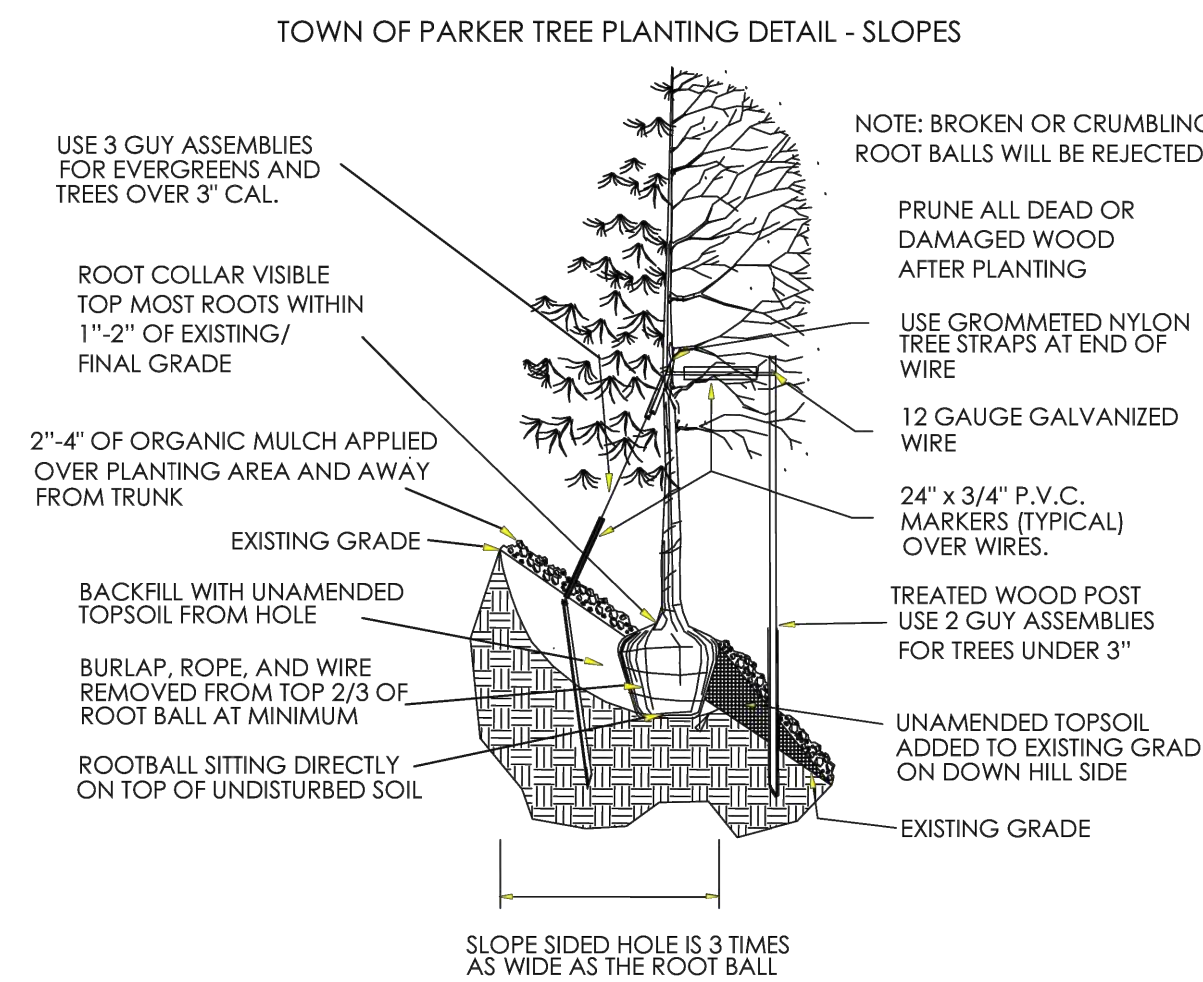
## TOWN OF PARKER PLANTING STANDARDS



- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

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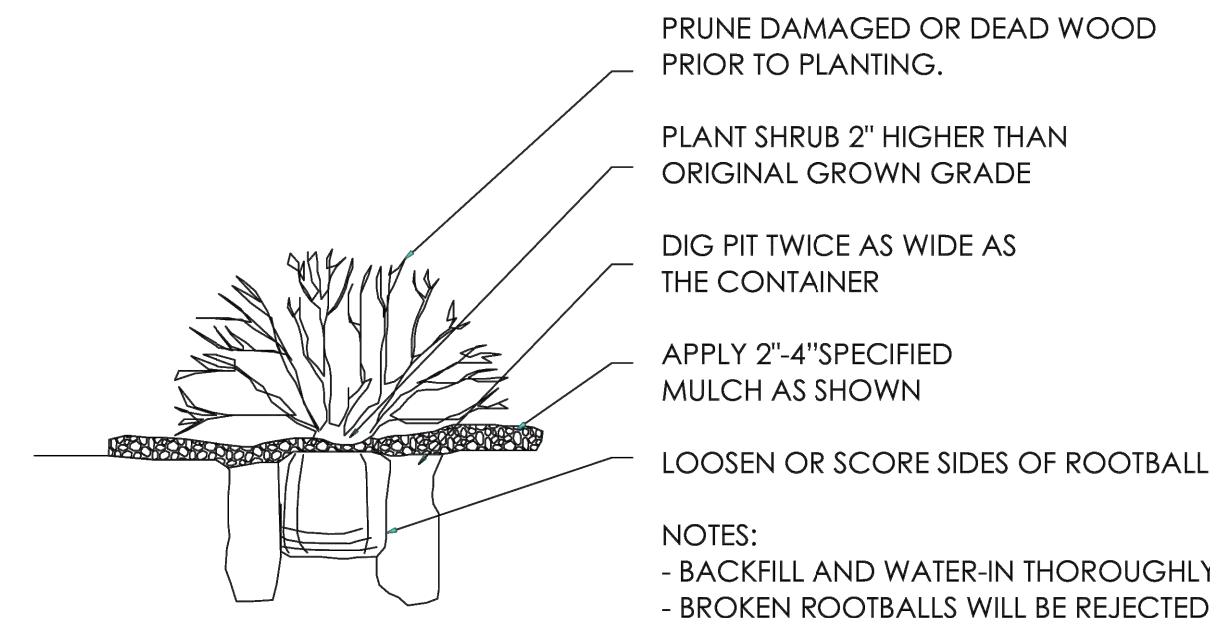
## TOWN OF PARKER PLANTING STANDARDS



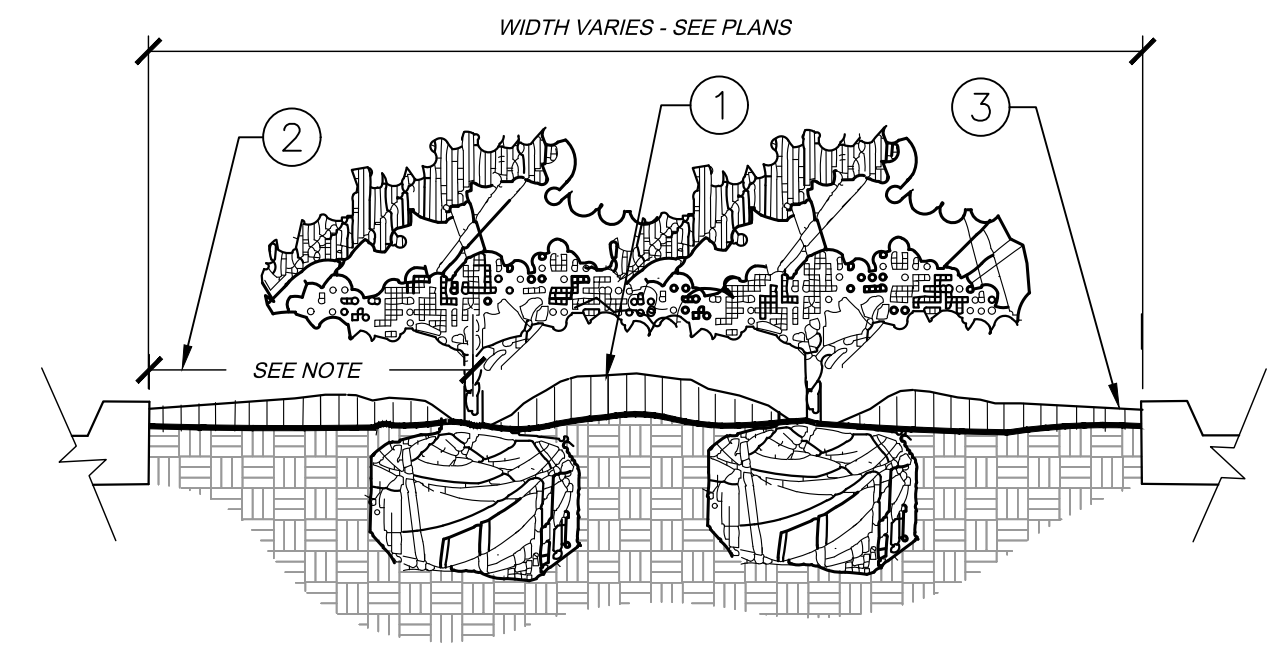
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## TOWN OF PARKER PLANTING STANDARDS

### TOWN OF PARKER PLANTING DETAIL - SHRUBS



13



1 PLANTED PARKING LOT ISLANDS/MEDIANS SECTION NTS

## CU STRUCTURAL SOIL

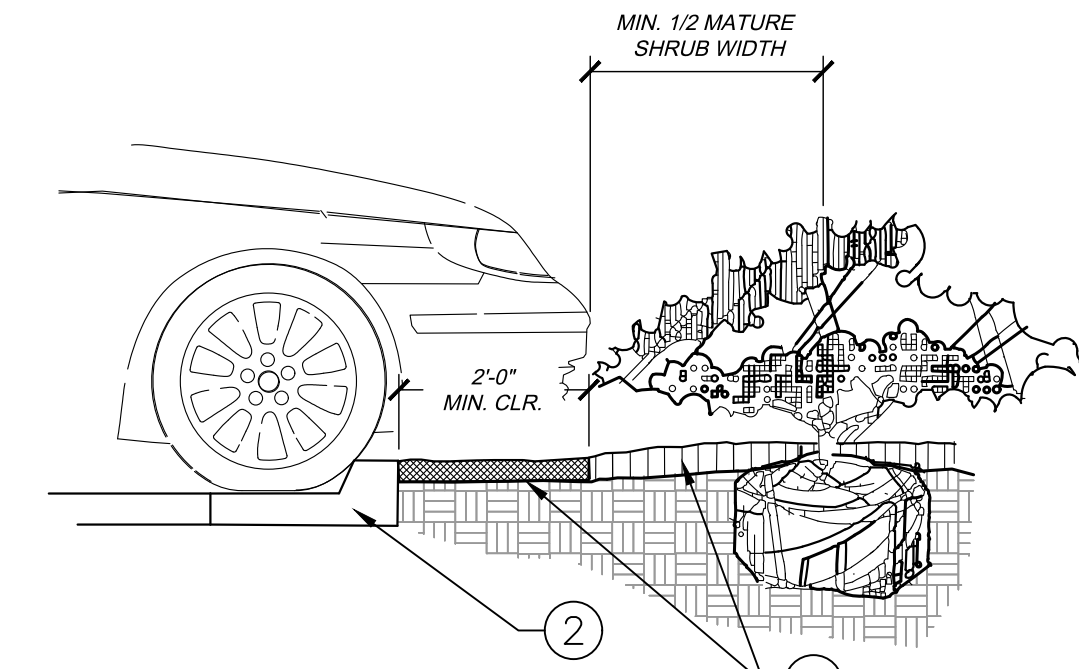
CU Structural Soil is a designed medium which can meet or exceed pavement design and installation requirements while remaining root penetrable and supportive for tree growth. It consists of gap-graded gravels which are made up of crushed stone, clay loam, and a hydrogel stabilizing agent. The materials can be compacted to meet all relevant pavement design requirements yet allow for sustainable root growth. This system essentially forms a rigid, load-bearing stone lattice and partially fills the lattice voids with soil. Structural soil provides a continuous base course under pavements while providing material for tree root growth, shifting design away from individual tree pits, to a designed, root penetrable, high strength, pavement system. An added advantage of using this material is its ability to allow roots to grow away from the wearing surface, thus reducing the potential for sidewalk heaving as well as providing for healthier, long-lived trees.

This system consists of a four to six inch rigid pavement surface, with a pavement opening large enough to accommodate a 40 year or older tree. The opening could be concentric rings of pavers designed for removal as the buttress roots lift them. Below that a six inch base course could be installed and compacted with the material meeting normal regional pavement specifications for the traffic they are expected to experience. The base acts as a root exclusion zone from the pavements surface. A geotextile (weed barrier) segregates the base course from the subbase and extends as an apron emerging around the edges of the concrete. A gap-graded, structural soil material demonstrated to allow root penetration when compacted would be the subbase and area for subsequent tree root growth. This material would be compacted to not less than 95% Proctor density (AASHTO T-99) and possess a California Bearing Ratio greater than 40. The subbase thickness would depend on the depth of sub grade or to a proposed target of 36 inches. This is negotiable, but a 24 inch minimum would be encouraged for the root zone. The sub grade should be excavated to parallel the final grade. Under-drainage must be provided under the structural soil material conforming to approved engineering standard for that region.

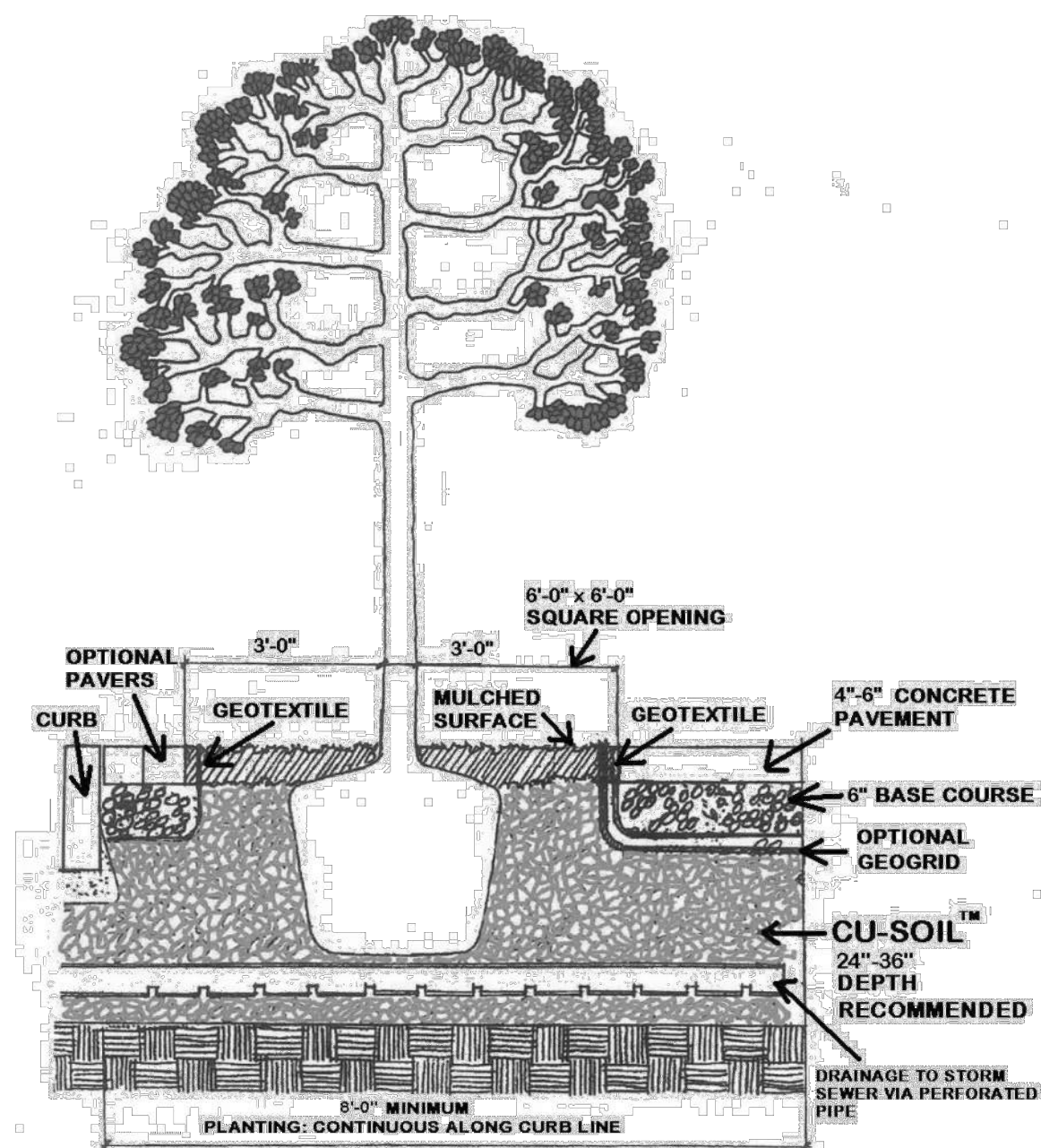
The three components of the Structural Soil are mixed in the following proportions by weight:

- Crushed Stone (granite or limestone, graded 3/4 to 1 1/2", highly angular, with no fines) - 100
- Clay Loam - 20
- Hydrogel - 0.03

In a typical street tree installation of such a structural soil, the potential rooting zone could extend from the building face to curb, running the entire length of the street. This would ensure an adequate volume of soil to meet the long term needs of the tree. Where this entire excavation is not feasible, a trench, running parallel to the curb, eight feet wide and three feet deep would be minimally adequate. Since this profile has adapted the standard surface and base specifications generally in use, less hesitation for engineering approval may result.

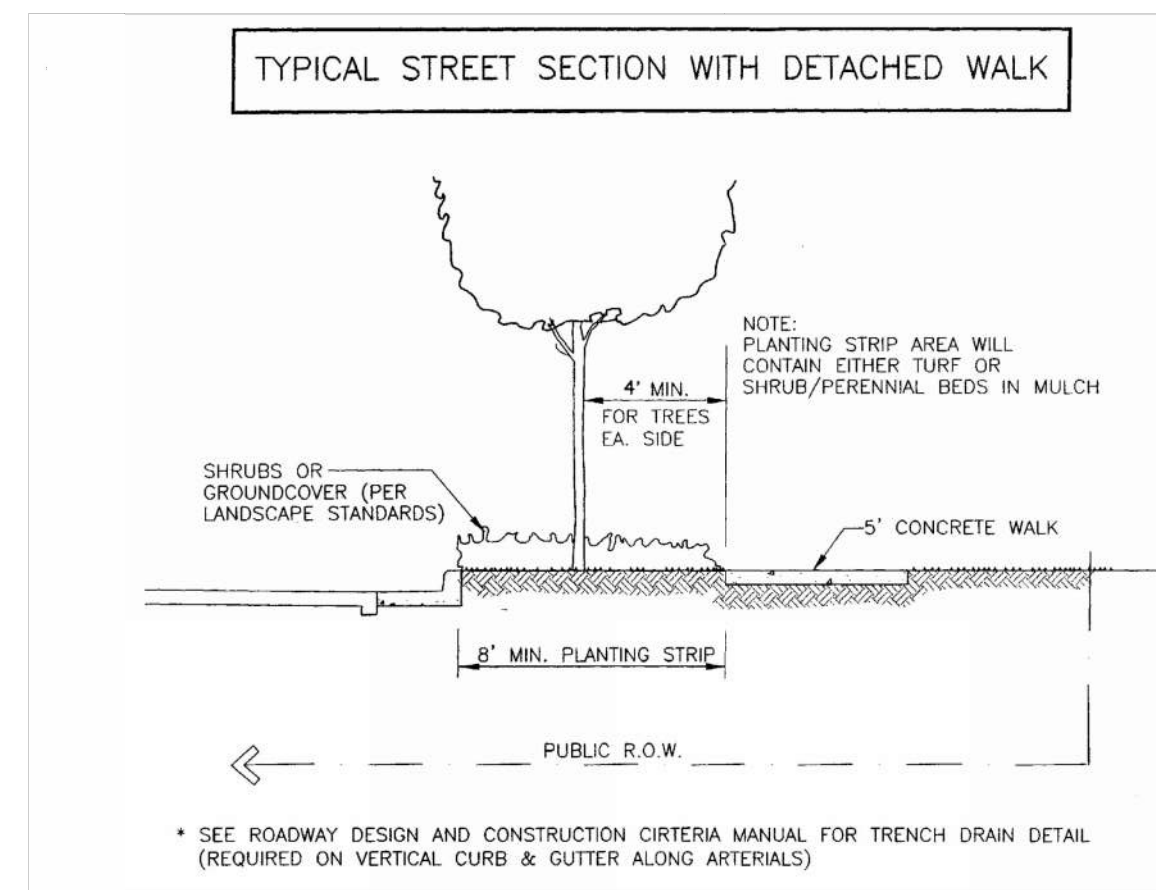


2 PARKING SPACE/CURB PLANTING SECTION NTS



There will be a need to ensure moisture recharge and free gas exchange throughout the root zone which is not the entire subbase. The challenge is met by the installation of a three dimensional geo-composite (a geo-grid wrapped in textile one inch thick by eight inches wide) which could be laid above the subbase as spokes radiating from the trunk flare opening. This form of passive irrigation is currently in the testing stage. Other previous surface treatments could also provide additional moisture recharge, as could traditional irrigation.

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TITLE	SITE PLAN	DATE	09/26/2024
DESCRIPTION	LANDSCAPE DETAILS	DATE ISSUED	09/26/2024
SITE ID	51032	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO
PREPARED BY:	McDonald's USA, LLC	DATE	
REVIEWED BY:	JCP	DATE	
DATE		DATE	
REV.		DATE	
DESCRIPTION		DATE	
BY		DATE	



# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

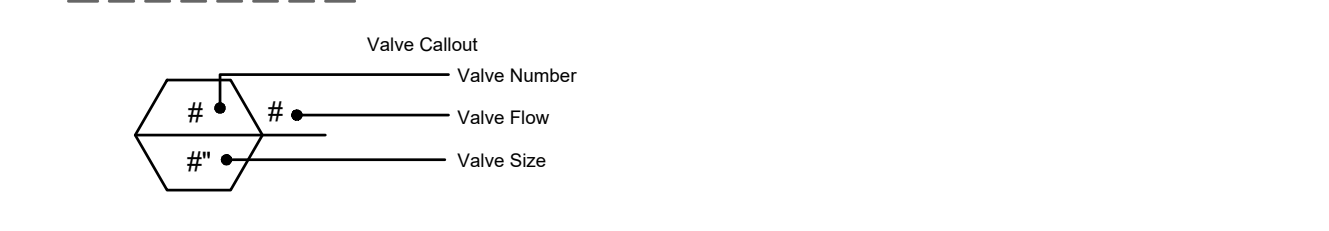
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
**LANDSCAPE PLAN**

## IRRIGATION SCHEDULE

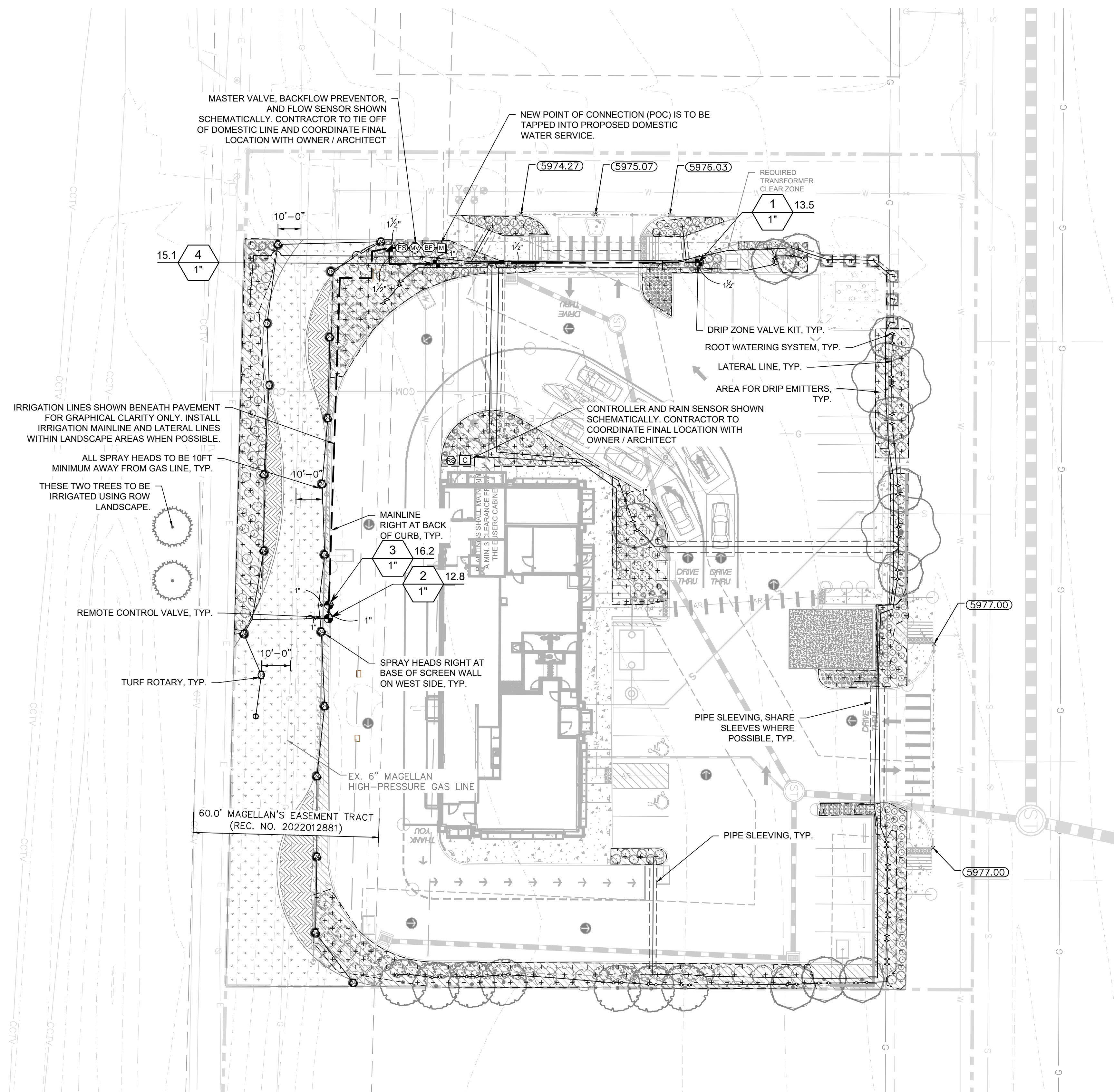
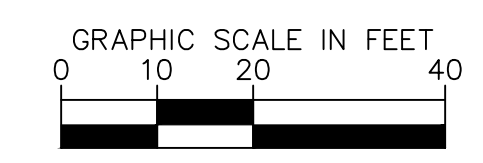
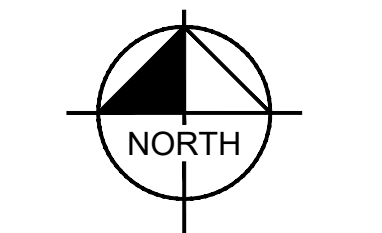
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
14 ADJ 14 F	RAIN BIRD R-VAN14 1806-SAM-P45 TURF ROTARY, 8FT-14FT, 45-270 DEGREES AND 360 DEGREES, HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR: 1/2IN. NPT FEMALE THREADED INLET.	1	45
16 ADJ 16 F	RAIN BIRD R-VAN16 1806-SAM-P45 TURF ROTARY, 13FT-16FT, 45-270 DEGREES AND 360 DEGREES, HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR: 1/2IN. NPT FEMALE THREADED INLET.	4	45
24 ADJ 24 F	RAIN BIRD R-VAN24 1806-SAM-P45 TURF ROTARY, 17FT-24FT, 45-270 DEGREES AND 360 DEGREES, HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR: 1/2IN. NPT FEMALE THREADED INLET.	15	45
1401 1402	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1401 MINI ROOT WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	54	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	2
+	AREA TO RECEIVE DRIP EMITTERS	6,867 S.F.
+	RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal. plant)	134
+	0.5 GPH emitters (1 assigned to each F15(4" pots) plant)	234
+	1.0 GPH emitters (2 assigned to each 5 gal. plant)	578

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊙	RAIN BIRD PEB 1" 1IN. 1-1/2IN., 2IN. PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	2
■	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1
⊙	RAIN BIRD PEB 1" 1" 1-1/2", 2" PLASTIC INDUSTRIAL MASTER VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1
⊙	WATTS LF909 1" LEAD FREE REDUCED PRESSURE BACKFLOW PREVENTER.	1
⊙	RAIN BIRD ESPLXME2-LXMM 12 STATION TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMM POWDER COATED, METAL WALL-MOUNTED CABINET.	1
⊙	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1
⊙	RAIN BIRD FS-100-B 1" FLOW SENSOR, BRASS MODEL. SUGGESTED OPERATING RANGE 2.0 GPM TO 40.0 GPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. RAIN BIRD COMPATIBLE CONTROLLERS: ESP-LXVM(P)   LXD   LXME2(P)   ME3, OR CONTROLLERS ACCEPTING CUSTOM K-FACTOR AND OFFSET.	1
⊙	INSTALL IN RAIN BIRD VALVE BOX.	1
⊙	WATER METER 1"	1
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1.946 L.F. 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	1,946 L.F.
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	256.8 L.F.
---	PIPE SLEEVE: PVC SCHEDULE 40	281.4 L.F.



**WARNING**  
**HIGH-PRESSURE PIPELINE(S)**  
 EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



TITLE	SITE PLAN	DATE	09/26/2024
DESCRIPTION	IRRIGATION PLAN	ISSUED	09/26/2024
SITE ID	51032	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO
PREPARED BY:	McDonald's USA, LLC	DRAWN BY:	AKK
REVIEWED BY:	JCP	STD ISSUE DATE	
DATE ISSUED	09/26/2024		
REV	DATE	DESCRIPTION	BY



# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

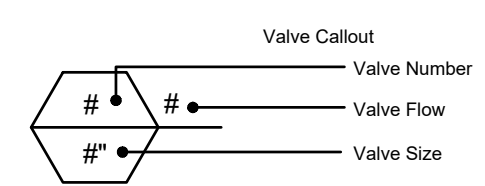
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
**LANDSCAPE PLAN**

## GENERAL IRRIGATION SPECIFICATIONS AND NOTES

- THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
- CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE. REFER TO CRITICAL ANALYSIS FOR ASSUMED STATIC PRESSURE.
- CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
- IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
- IRRIGATION CONTRACTOR TO COORDINATE POWER SUPPLY TO ELECTRIC CONTROLLERS WITH ELECTRICAL CONTRACTOR.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS, AS SPECIFIED.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
- INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.
- THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
- EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
- NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "H#". LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
- THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW". THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
- ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN VALVE BOXES.
- ALL UNSIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.
- LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAINLINES RUN PARALLEL TO PAVEMENT OR CURBING, THE MAINLINE SHALL BE OFFSET 2'-0" FROM THE EDGE OF PAVEMENT OR CURB.
- IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. BUBBLERS, DRIFLINE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
- ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND DRIP INDICATOR.
- IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET APPROPRIATE FOR ITS LOCATION. (INDOOR VS. OUTDOOR USE).
- IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- LOCATE THE AUTOMATIC RAIN / FREEZE SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNOBSTRUCTED BY TREES, ROOF OVERHANGS, OR ANY OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAY ZONE OF ANY SPRINKLER HEAD, INCLUDING OFF-SITE IRRIGATION. CONTRACTOR SHALL LOCATE SENSOR WITHIN CLOSE PROXIMITY TO THE IRRIGATION CONTROLLER.
- CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.  
HYDRO-TESTING TO BE PERFORMED AS LISTED:  
THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING. PRIOR TO BACKFILLING, CONTRACTOR SHALL FILL PIPING WITH WATER, IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO PURGE THE AIR FROM IT. A SMALL, HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE PIPING AND SET SO AS TO MAINTAIN 125 PSI FOR TWO (2) HOURS WITHOUT INTERRUPTION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RETEST THE SYSTEM UNTIL THE OWNER'S REPRESENTATIVE IS SATISFIED THAT THE SYSTEM IS REASONABLY SOUND.
- ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS.
- ALL CONTROL WIRE SHALL BE INSTALLED IN A 1 1/2" ELECTRICAL CONDUIT.
- CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
- ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD R-VAN14 1800-SAM-P45 TURF ROTARY, 8FT.-14FT. 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2IN. NPT FEMALE THREADED INLET.	1	45
	RAIN BIRD R-VAN18 1800-SAM-P45 TURF ROTARY, 13FT.-18FT. 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2IN. NPT FEMALE THREADED INLET.	4	45
	RAIN BIRD R-VAN24 1800-SAM-P45 TURF ROTARY, 17FT.-24FT. 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2IN. NPT FEMALE THREADED INLET.	15	45
	RAIN BIRD RWS-MB-C W/ RWS-SOCK 1401 MINI ROOT WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	54	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	2	
	AREA TO RECEIVE DRIP EMITTERS	6,867 S.F.	
	RAIN BIRD XBC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH-BLUE, 1.0 GPH-BLACK, AND 2.0 GPH-RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET.	134	
	0.5 GPH emitters (2 assigned to each 1 gal. plant)	234	
	0.5 GPH emitters (1 assigned to each F15(4" pots) plant)	234	
	1.0 GPH emitters (2 assigned to each 5 gal. plant)	578	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	2	
	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1	
	RAIN BIRD PEB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL MASTER VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1	
	WATTS LF909 1" LEAD FREE REDUCED PRESSURE BACKFLOW PREVENTER.	1	
	RAIN BIRD ESP-LXIM2-LXMM 12 STATION TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMM POWDER COATED, METAL WALL-MOUNTED CABINET.	1	
	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1	
	RAIN BIRD FS-100-B 1" FLOW SENSOR, BRASS MODEL. SUGGESTED OPERATING RANGE 2.0 GPM TO 40.0 GPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. RAIN BIRD COMPATIBLE CONTROLLERS: ESP-LXIV(M)   LXI   LXME2(P)   ME3, OR CONTROLLERS ACCEPTING CUSTOM K-FACTOR AND OFFSET. INSTALL IN RAIN BIRD VALVE BOX.	1	
	WATER METER 1"	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 3/4" IN SIZE.	1,946 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	256.8 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40	281.4 L.F.	



## WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN/WEEK	MIN/WEEK	GAL/WEEK	GAL/DAY
1	RAIN BIRD XCZ-100-PRB-COM	BUBBLER	1.13 in/h	0.67	36	486	162
2	RAIN BIRD PEB	TURF ROTARY	0.31 in/h	1	196	2,514	838
3	RAIN BIRD PEB	TURF ROTARY	0.29 in/h	1	206	3,330	1,110
4	RAIN BIRD XCZ-100-PRB-COM	AREA FOR DRIP EMITTERS	0.54 in/h	0.67	76	1,092	
TOTALS:					514	7,422	2,110

## CRITICAL ANALYSIS

Generated: 2024-10-22 09:49

P.O.C. NUMBER: 01  
Water Source Information:

FLOW AVAILABLE  
Point of Connection Size: 1"  
Flow Available: 18.2 GPM

PRESSURE AVAILABLE  
Static Pressure at POC: 80 PSI  
Pressure Available: 80 PSI

DESIGN ANALYSIS  
Maximum Station Flow: 16.16 GPM  
Flow Available at POC: 18.2 GPM  
Residual Flow Available: 2.04 GPM

Critical Station: 1  
Design Pressure: 30 PSI  
Friction Loss: 5.27 PSI  
Fittings Loss: 0.53 PSI  
Elevation Loss: 0 PSI  
Loss through Valve: 17 PSI  
Pressure Req. at Critical Station: 52.8 PSI  
Loss for Fittings: 0.11 PSI  
Loss for Main Line: 1.11 PSI  
Loss for POC to Valve Elevation: 0 PSI  
Loss for Backflow: 14.7 PSI  
Loss for Master Valve: 2.19 PSI  
Critical Station Pressure at POC: 70.9 PSI  
Pressure Available: 80 PSI  
Residual Pressure Available: 9.14 PSI

## VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	RAIN BIRD XCZ-100-PRB-COM	1"	BUBBLER	13.5	278.3	52.8		1.12 in/h
2	RAIN BIRD PEB	1"	TURF ROTARY	12.83	152.9	48.3		0.31 in/h
3	RAIN BIRD PEB	1"	TURF ROTARY	16.16	148.6	48.2		0.29 in/h
4	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIP EMITTERS	15.08	193.4	50.9		0.53 in/h
				Common Wire		256.8		

**Kimley»Horn**

PREPARED FOR: **McDonald's USA, LLC**

PREPARED BY: **AKK**

DATE: **09/26/2024**

REVIEWED BY: **JCP**

DATE ISSUED: **09/26/2024**

TITLE: **SITE PLAN**

DESCRIPTION: **IRRIGATION NOTES**

SITE ADDRESS: **NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO 80132**

BY: \_\_\_\_\_

DATE: \_\_\_\_\_

REV: \_\_\_\_\_

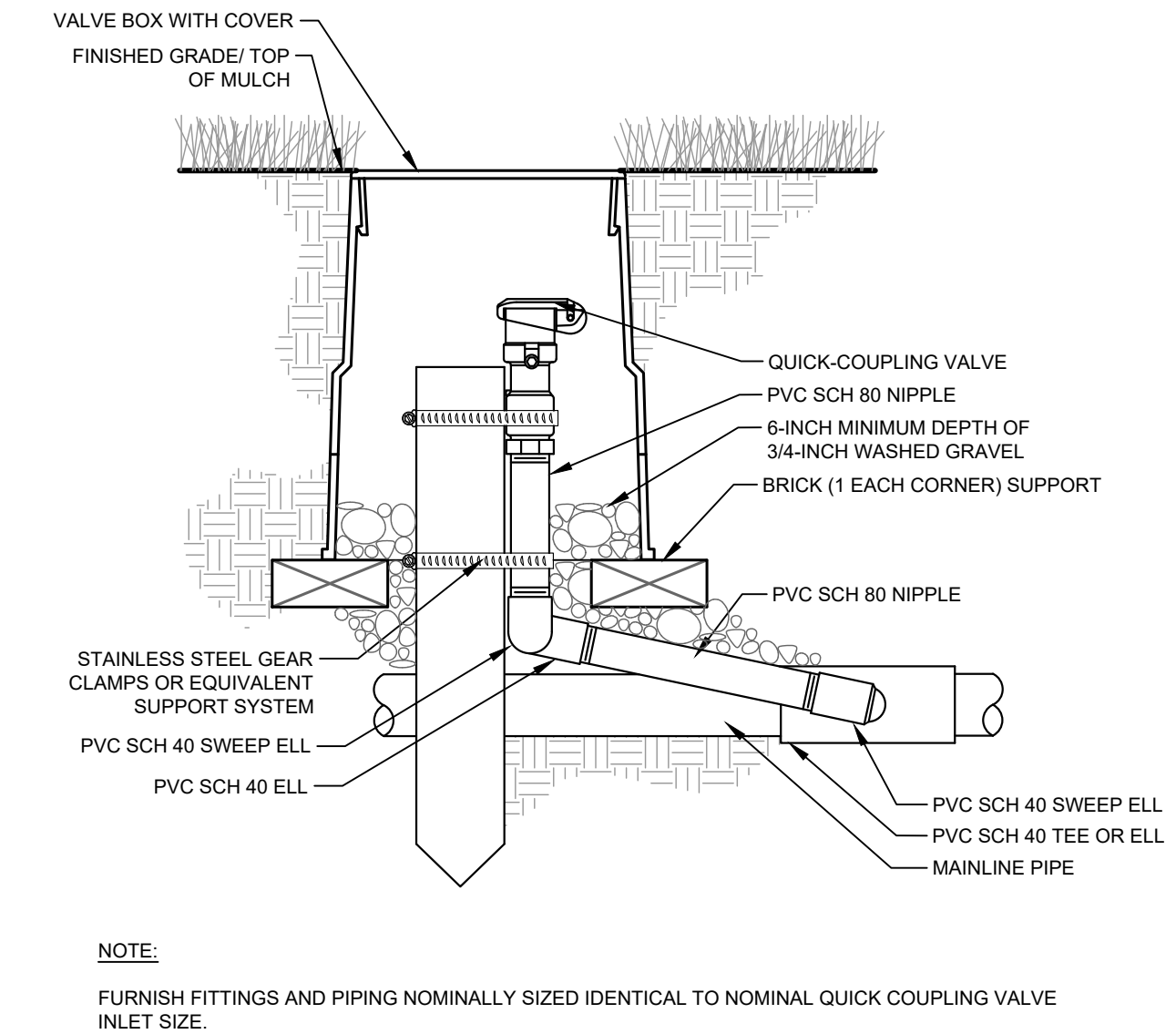
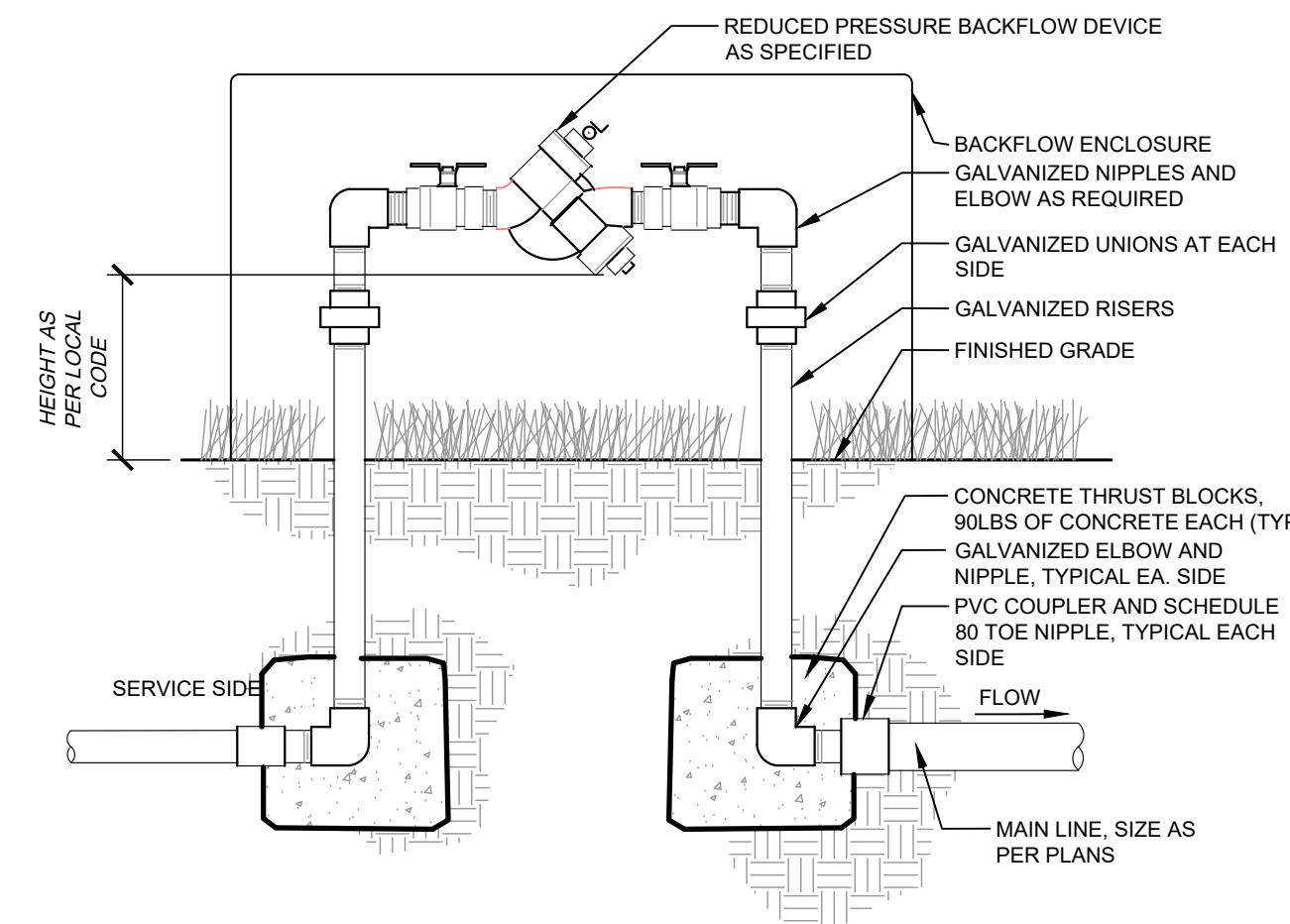
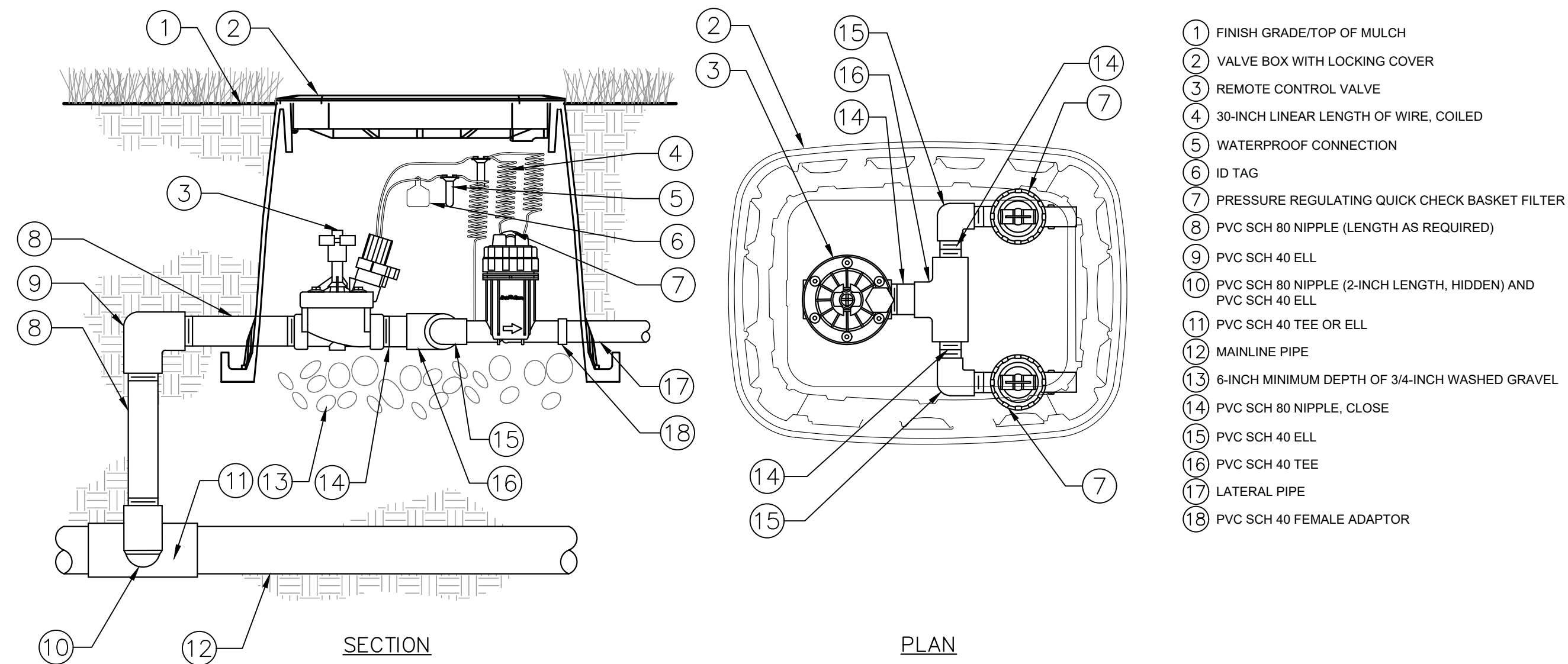
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# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

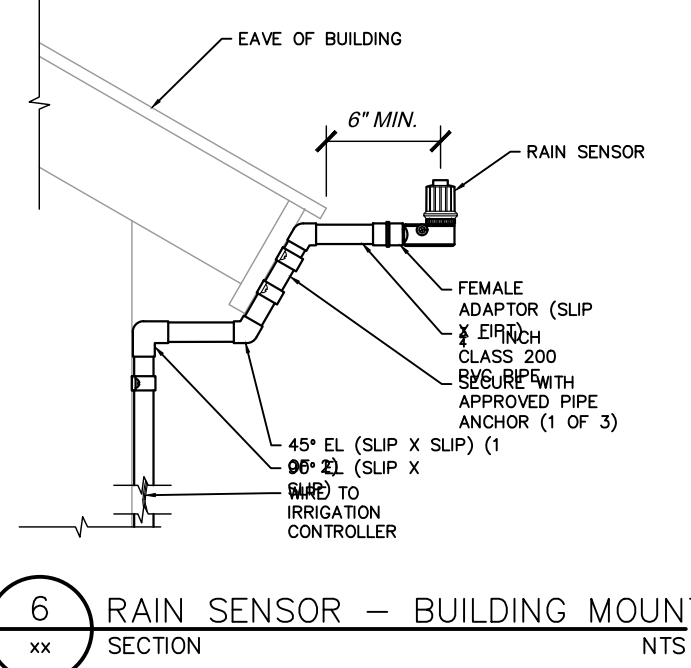
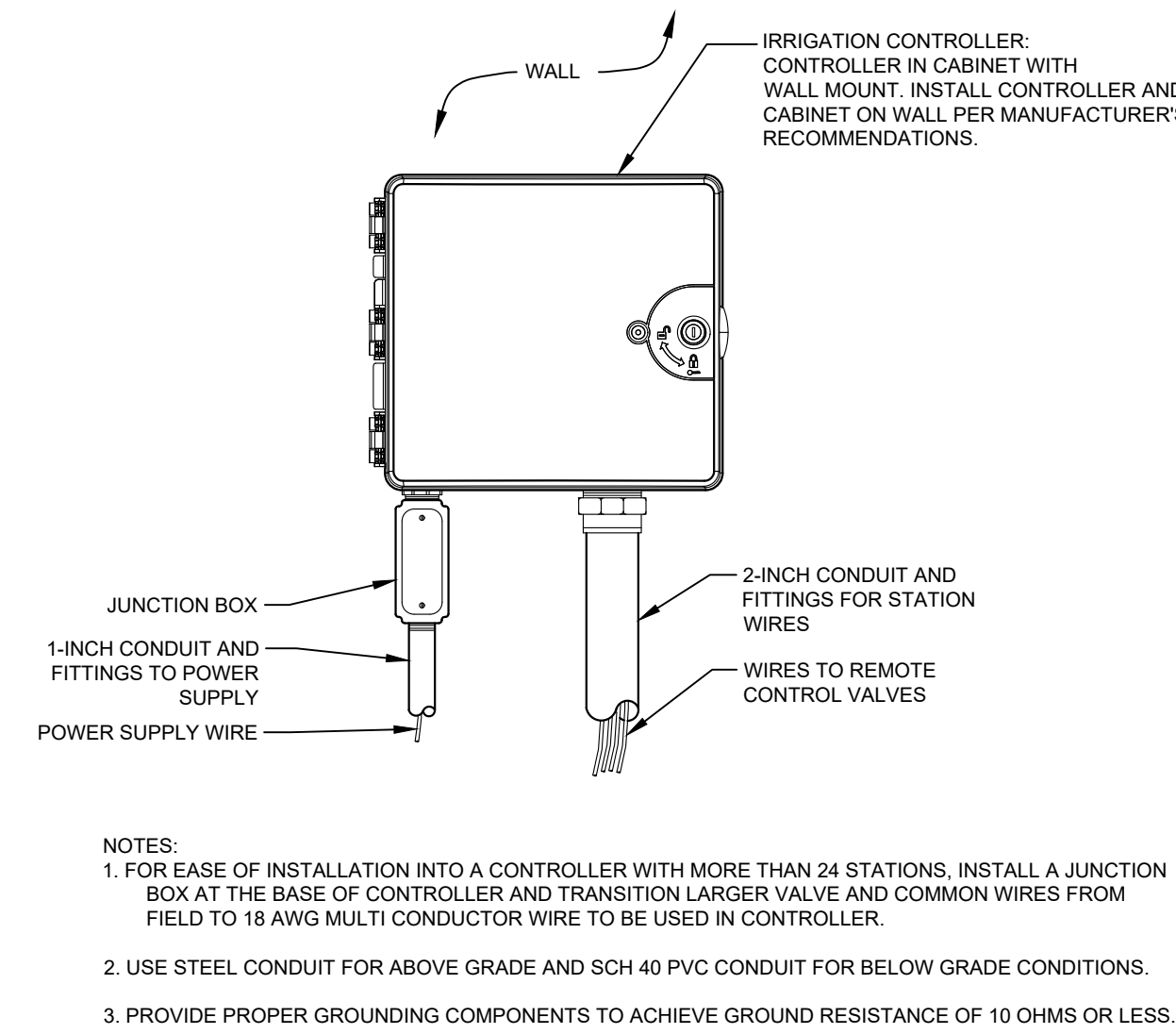
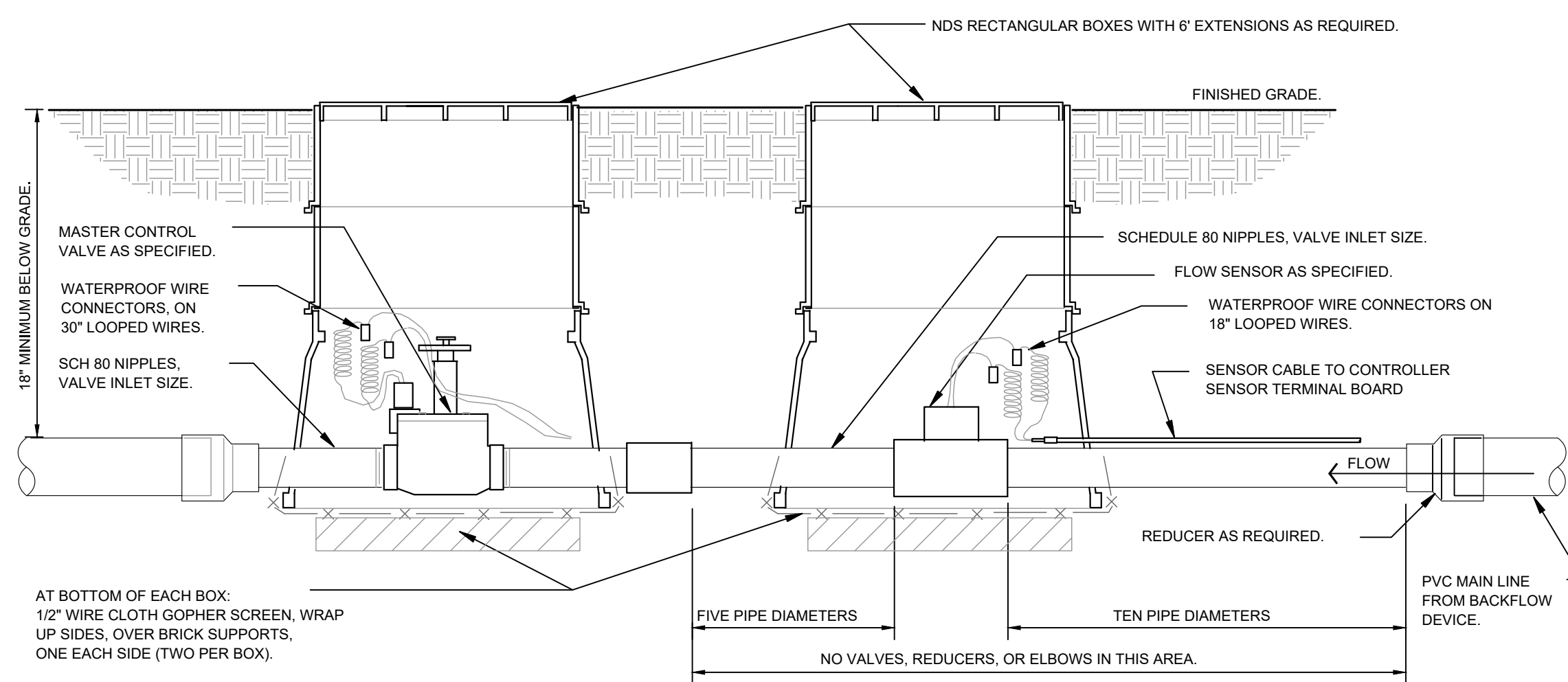
## LANDSCAPE PLAN



1 DRIP ZONE VALVE KIT  
xx SECTION / PLAN NTS

2 BACKFLOW PREVENTER  
xx SECTION NTS

3 TYPICAL QUICK COUPLER  
xx SECTION NTS

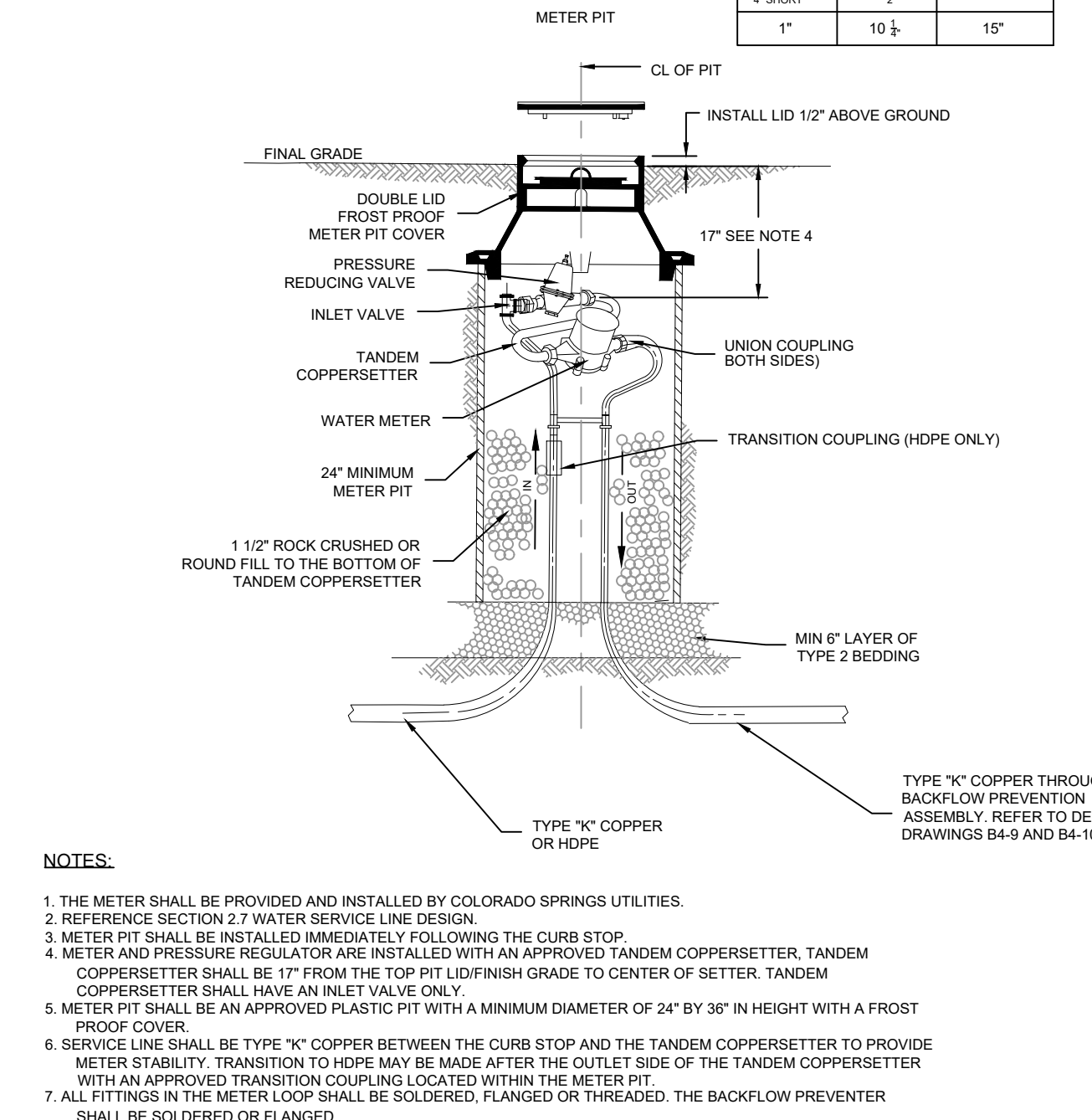
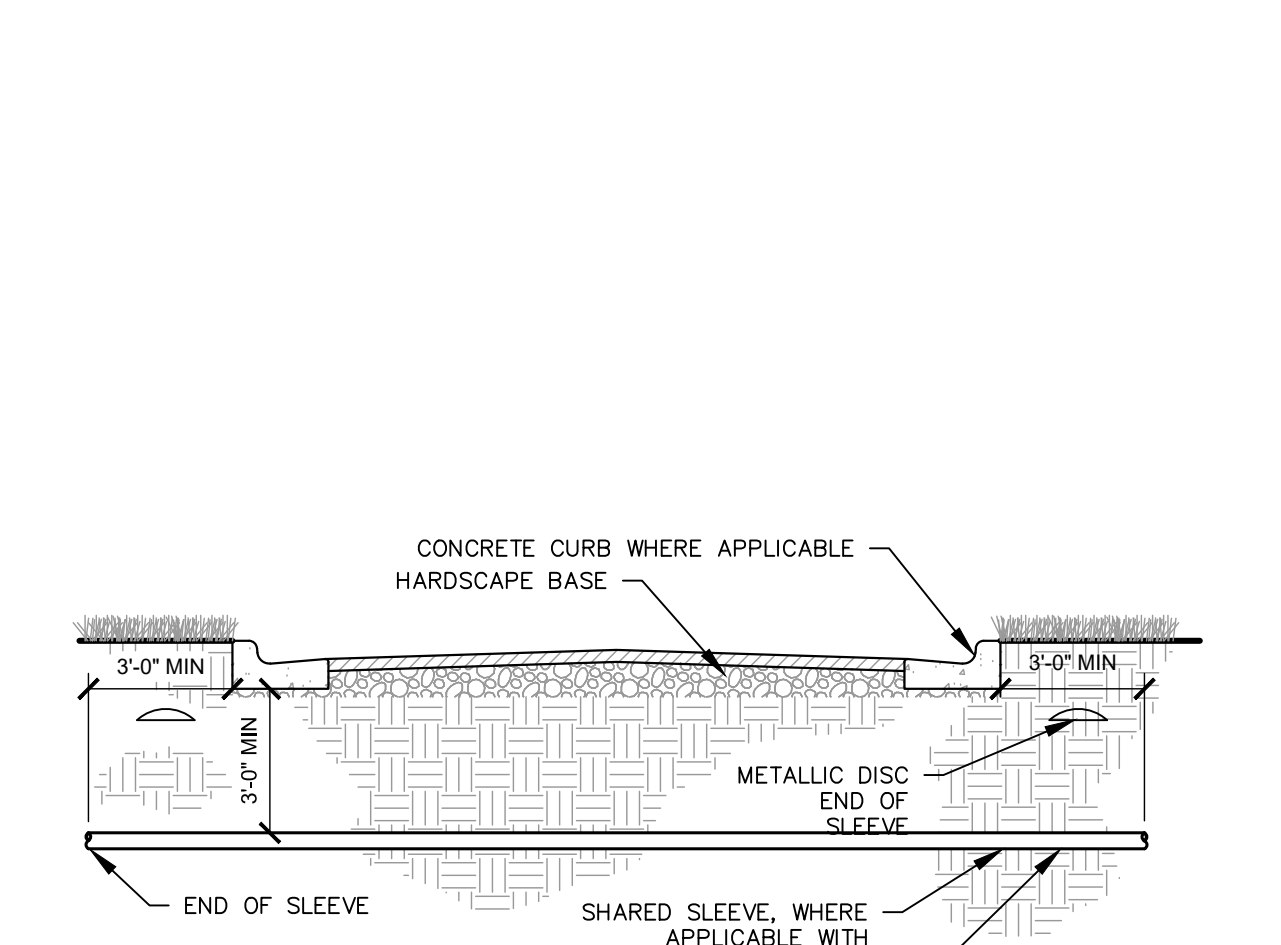
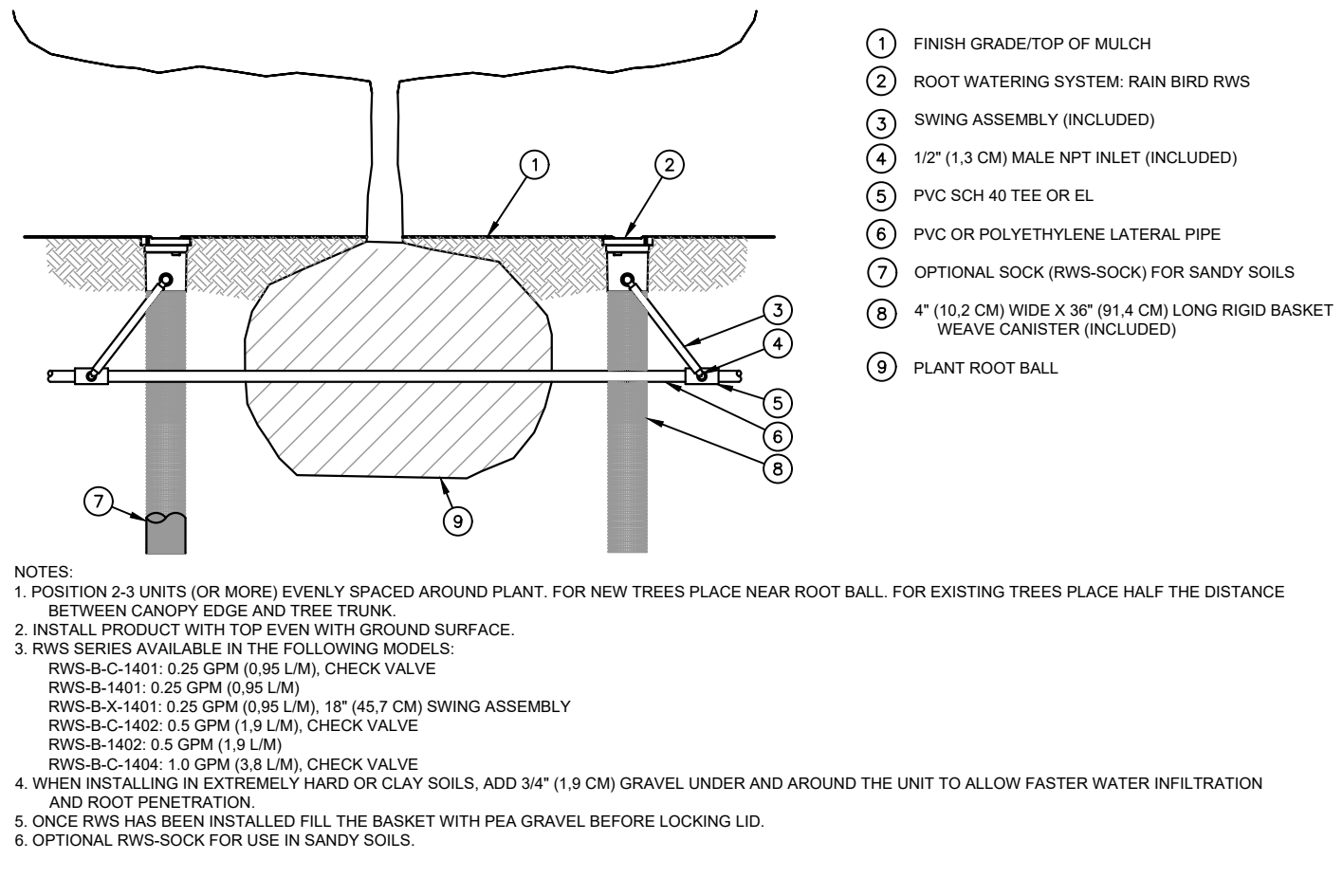
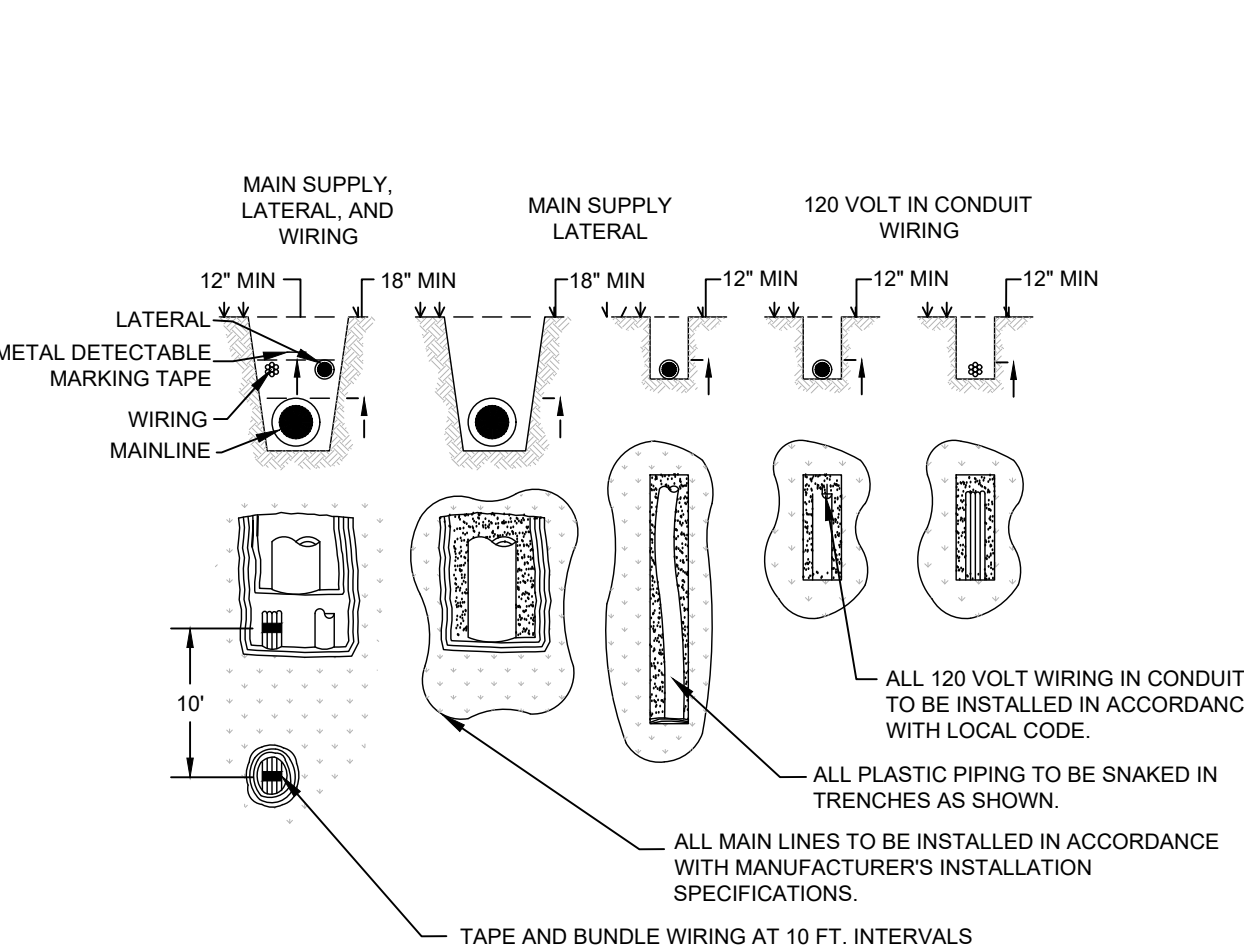


4 MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY  
xx SECTION NTS

5 IRRIGATION CONTROLLER - WALL MOUNT  
xx ELEVATION NTS

6 RAIN SENSOR - BUILDING MOUNT  
xx SECTION NTS

METER SIZE	METER LENGTH	LAY LENGTH W/ TAILPIECES
3/4"	7 1/2"	12"
1"	10 1/2"	15"



7 TYPICAL TRENCHING  
xx SECTION NTS

8 ROOT WATERING SYSTEM  
xx SECTION NTS

9 TYPICAL SLEEVING  
xx SECTION NTS

10 3/4" TO 1" OUTDOOR METER FOR NON-SINGLE-FAMILY PROJECTS  
15 SECTION NTS

PREPARED BY: **Kimley»Horn**

McDonald's USA, LLC

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TITLE	DATE	BY	REV	DATE	DESCRIPTION
SITE PLAN					
IRRIGATION DETAILS	09/26/2024	JCP			
SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO 811				

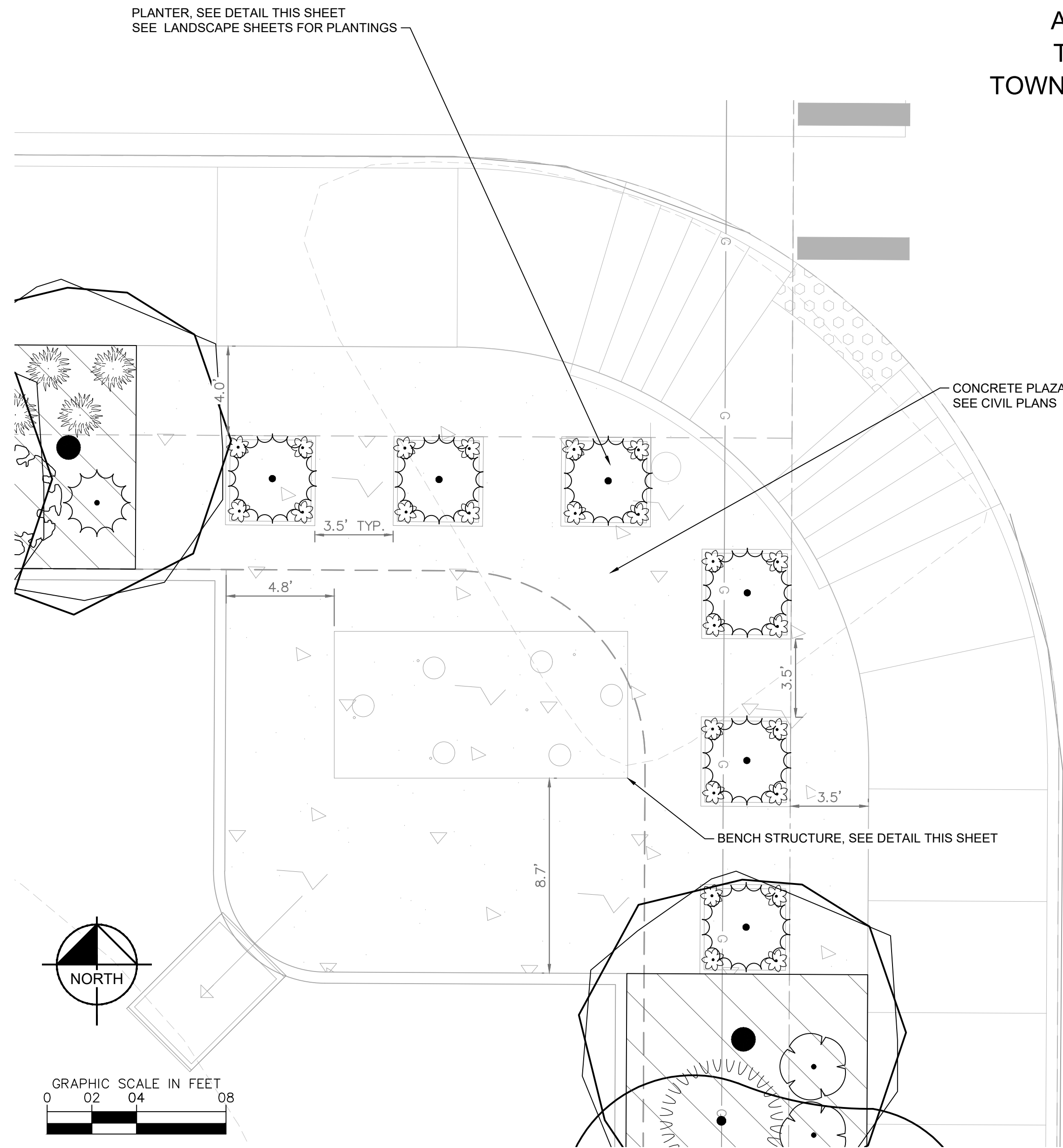
811 Know what's below. Call before you dig.

15

# PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOT 2A

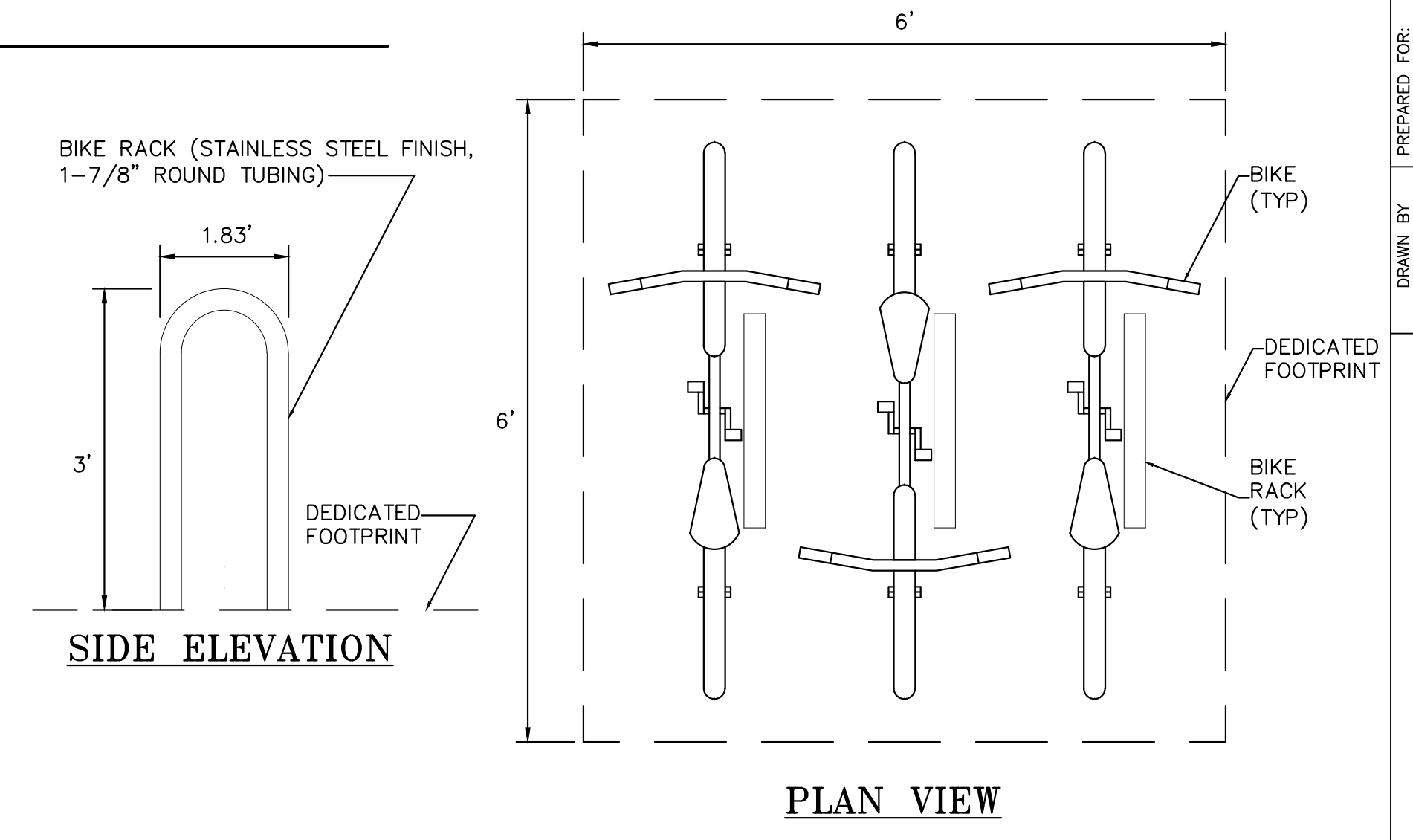
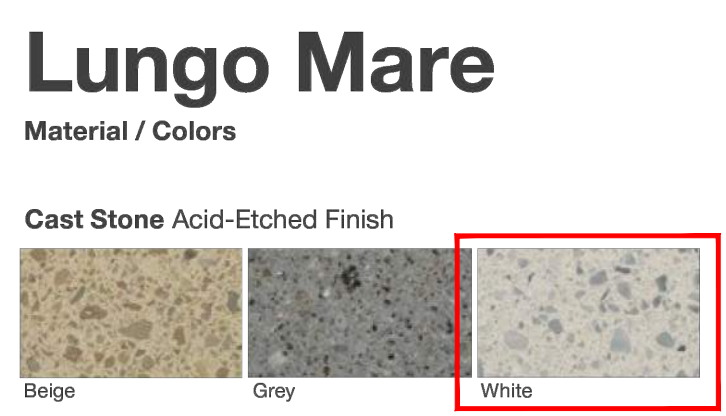
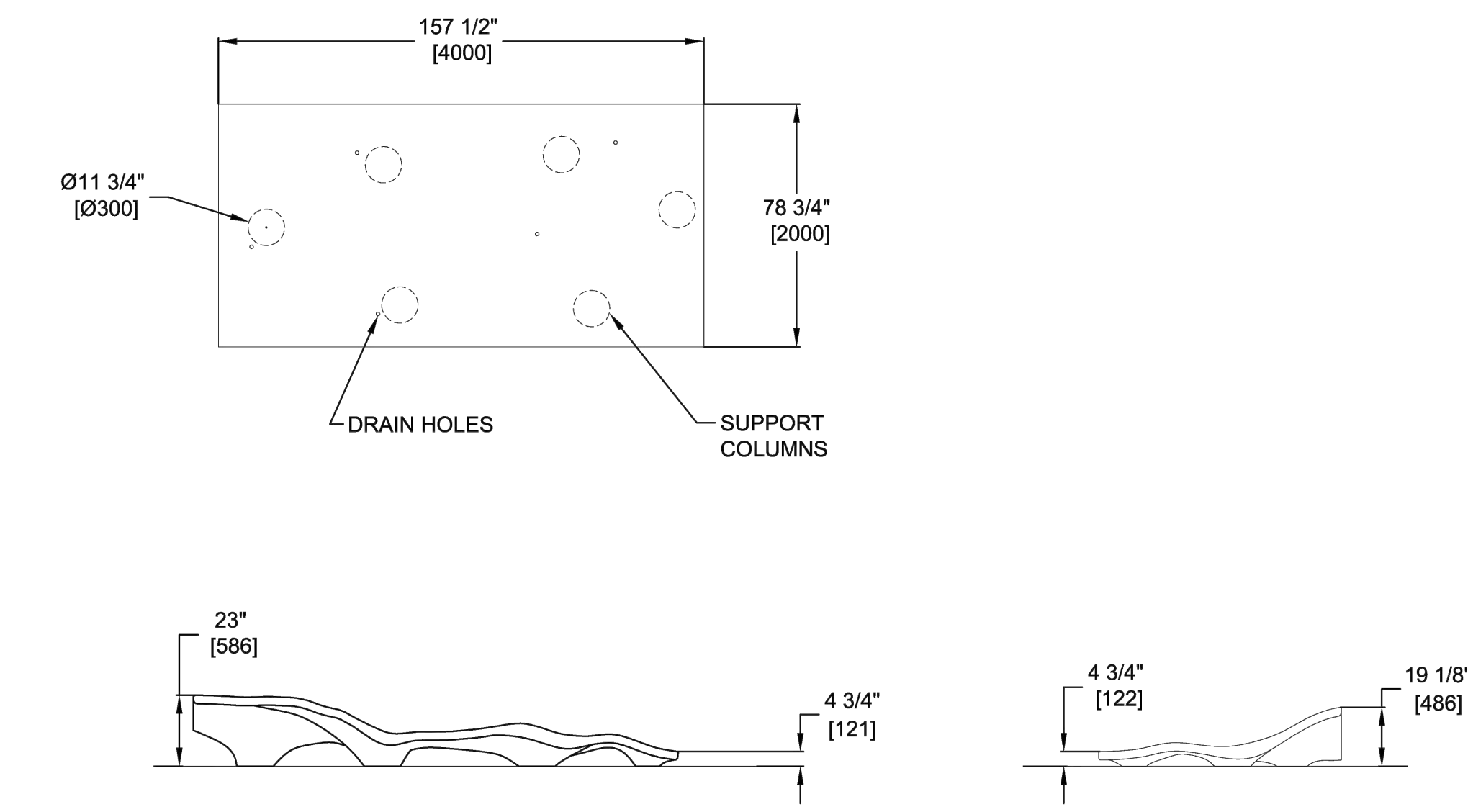
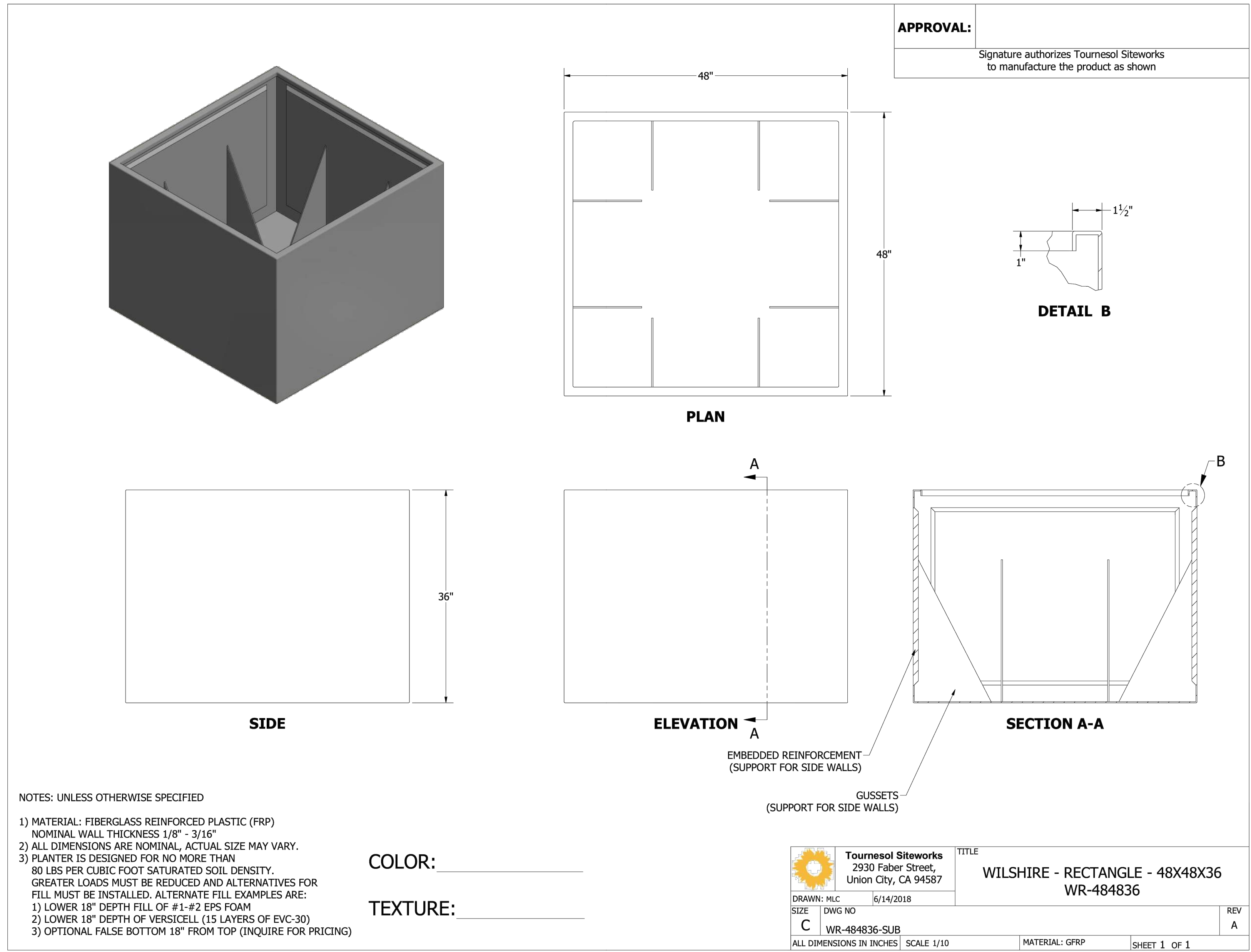
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## LANDSCAPE PLAN



**escofet Lungo Mare** Bench, Module A  
Product Drawing

www.landscapiforms.com Date: 4/14/2015  
Ph: 800.521.2546



01 BENCH STRUCTURE DETAIL

landscapiforms Drawing: ES101-01  
Dimensions are in inches (mm)

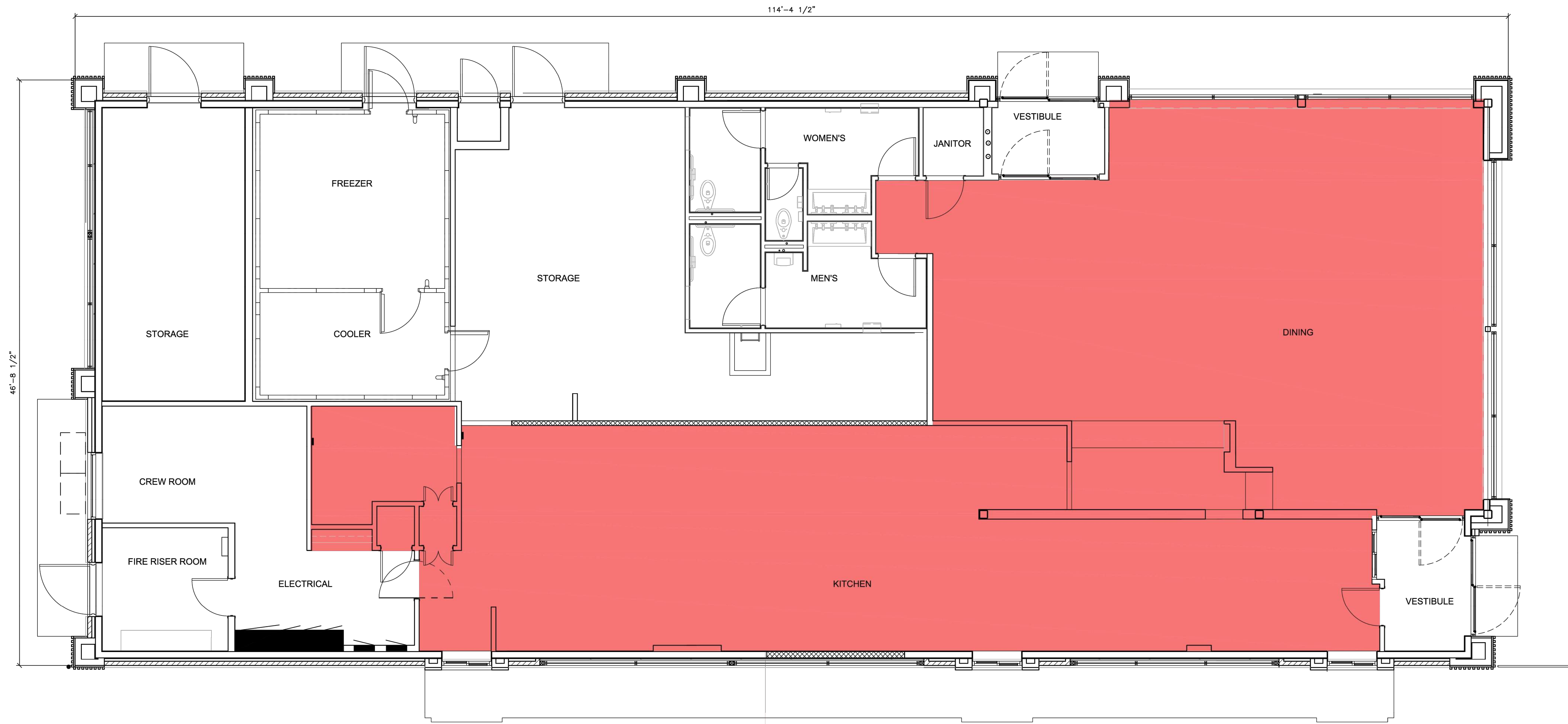
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03 BENCH MATERIALS DETAIL

PREPARED BY:	Kimley»Horn
PREPARED FOR:	McDonald's USA, LLC
TITLE:	SITE PLAN
DESCRIPTION:	PEDESTRIAN PLAZA DETAILS
DRAWN BY:	AKK
STD ISSUE DATE:	
REVIEWED BY:	JCP
DATE ISSUED:	09/26/2024
SITE ADDRESS:	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO
SITE ID:	51032
REV:	DATE
DESCRIPTION:	
BY:	



**PARKER POINTE SUBDIVISION FILING NO. 1,  
AMENDMENT NO. 1, LOT 2A**  
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
**SITE PLAN**



**2626 SF**

**4,760 S.F. TOTAL FLOOR AREA  
2,626 S.F. LEASE AREA**

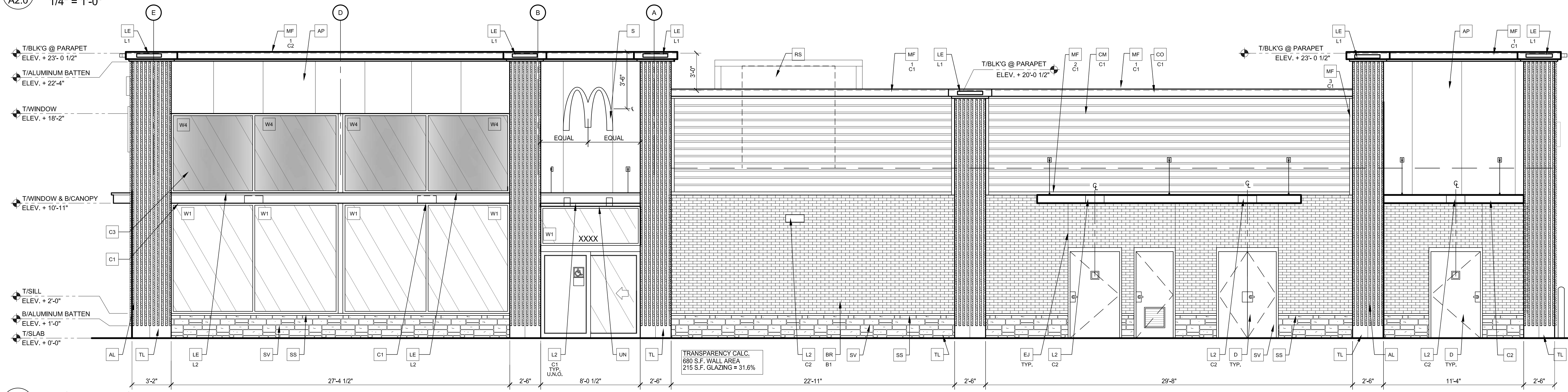
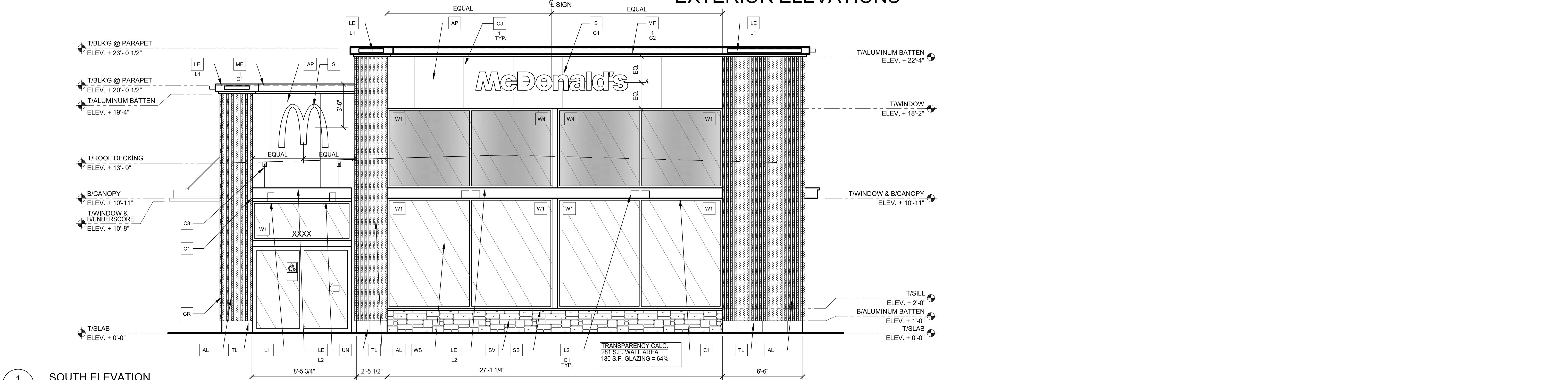
TITLE	SITE PLAN	PREPARED FOR:	McDonald's USA, LLC	PREPARED BY:	Kimley»Horn
DESCRIPTION	NET LEASABLE AREA	DRAWN BY:	MCS	DATE	
		STD ISSUE DATE			
		REVIEWED BY:	JJM	DATE ISSUED:	09/26/2024
		SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO		
		SITE ID	51032	REV	DATE
					DESCRIPTION
					BY



# PARKER POINTE SUBDIVISION FILING NO. 1, LOT 2A

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,  
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## EXTERIOR ELEVATIONS



- KEY NOTES:**
- AL ALUMINUM BATTEN SYSTEM  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRILL UNFINISHED, ENDCAP PAINTED TO MATCH  
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO  
BOTH FACES, APA TRADEMARKED.  
COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH SIDES AND ALL EDGES.  
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
  - AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
  - BM BRANE METAL PANEL  
COLOR: PAINT "HARVEST MOON" #232-B5 VALSPAR
  - BR MODULAR FACE BRICK
  - B1 COLOR:  
B1 = "ONYX" SMOOTH, BY SUMMIT BRICK
  - C1 ALUMINUM CANOPY SYSTEM W/FASCIA  
COLOR: WHITE
  - C2 ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
  - C3 ALUMINUM CANOPY TIEBACK  
COLOR: RAL 7022  
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
  - CJ CONTROL JOINT  
1 - TYPE: 1 = ALPOLIC
  - CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
  - C1 - COLOR:  
C1 = WEATHERED ZINC
  - CO CORNICE  
C1 - COLOR: WEATHER ZINC
  - D HOLLOW METAL DOOR  
PAINT: "GAINLET GRAY" SW-7017 BY SHERWIN WILLIAMS
  - DE DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (865) 330-7337, am.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfx.com
  - EJ EXPANSION JOINT, SEE DETAIL 7/44.1
  - GR GUARD RAIL - SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
  - L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: GOLD
  - L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
C1 - COLOR:  
C1 = WHITE  
C2 = MATCH RAL 7022
  - LE ACCENT LIGHTING - SEE ELECTRICAL  
L1 - LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = INTEGRAL CANOPY FIXTURE  
L3 = UP ONLY FLOOD FIXTURE
  - MF METAL FASCIA  
1 - TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = BOTTOM TRIM AT METAL REVEAL PANEL  
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES  
- COLOR:  
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)  
C2 = RAL 7022 (FLAT FACTORY FINISHED)
  - PB PIPE BOLLARD - PAINTED YELLOW
  - PT (RMHC) COIN COLLECTOR  
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
  - RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
  - RS ROOF-TOP EQUIPMENT SCREEN (BEYOND). COLOR TO MATCH ALPOLIC METAL PANEL COLOR RAL 7022
  - S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
  - C1 - COLOR:  
C1 = WEATHERED ZINC RACEWAY  
C2 = RAL 7022 RACEWAY
  - SS STONE SILL, TELLURIDE STONE OKLAHOMA BLUE SILL  
2.5'-3"x2.5'-3"x24"
  - SV STONE VENEER, TELLURIDE STONE SAWN THIN VENEER, HERITAGE BILTMORE DIMENSIONAL
  - UN METAL UNDERSCORE  
COLOR: GOLD
  - W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE
  - W2 DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE  
COLOR: DEEP BRONZE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT
  - W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE  
BACK LIT GLAZING
  - W4 EXTERIOR WINDOW ASSEMBLY - TEMPERED SPANDREL GLASS  
SPANDREL GLAZING: #1-0016 CHARCOAL - 8MM PPG CLEAR  
OPAC-COAT-300 (ICD HIGH PERFORMANCE COATINGS) OR EQUAL  
FRAME COLOR: DARK BRONZE
  - TL TILE (@ BASE OF BATTEN SYSTEM)  
EUROWEST: DELUXE COLLECTION  
COLOR: ABSOLUTE BLACK, SIZE: 6"x24"  
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI  
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL  
GROUT WIDTH: 1/8" TO 3/16"  
CONTACT: JAN DIETER, (714) 937-7500

TITLE	DESCRIPTION	REV.	DATE	BY
EXTERIOR ELEVATIONS				
PREPARED FOR: <b>McDonald's USA, LLC</b> These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the the contract documents for reuse on another project is not authorized.				
PREPARED BY: <b>ARRIS ARCHITECTURE</b> Arris Architecture, LLC 3436 New Castle Dr. Loveland, CO 80538				
DRAWN BY: B.ABBALLA STD ISSUE DATE: REVIEWED BY: DATE ISSUED: 7/19/2022	SITE ADDRESS: NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO 005-1032			
<b>A2.0</b>				





