

MANGO MANAGEMENT EXCHANGE LOT 1

LOCATED IN THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAIN STREET, PARKER, CO

CIVIL CONSTRUCTION DRAWINGS

MARCH 2025

PROJECT CONTACTS

PROPERTY OWNER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

APPLICANT/DEVELOPER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

CIVIL ENGINEER

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: TROY KELTS, PE

ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: CHRISTIAN ARNOT

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: TROY NOSER

TOWN OF PARKER STANDARD CONSTRUCTION NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBABATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURBS, GUTTERS, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-P&E-82, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION, PHONE (303) 692-3500.
- IF Dewatering is required, a STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



VICINITY MAP
SCALE: 1" = 1000'

LEGAL DESCRIPTION

PARCEL 1:
A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 0 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1278.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST

PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 3 IN BOUNDARY SURVEY OF A PORTION OF PARKER, COLORADO, JOB NO. 272-3985, DATED JUNE 18, 1981 AND RECORDED JULY 16, 1981 AT RECEPTION NO. 27187 OF THE DOUGLAS COUNTY RECORDS AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF EAST PARKER ROAD A DISTANCE OF 108.00 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 9 IN ABOVE DESCRIBED BOUNDARY SURVEY; THENCE SOUTH 10 DEGREES 37 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 150.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE AND THE SOUTHWEST CORNER OF THE AFOREMENTIONED PARCEL 9; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE A DISTANCE OF 108.00 FEET TO THE SOUTHEAST CORNER OF AFOREMENTIONED PARCEL 3; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PARCEL 3 A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

PARCEL 1:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 00 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1278.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE 108.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH LINE 102.45 FEET TO THE WEST RIGHT OF WAY LINE OF PIKES PEAK DRIVE; THENCE SOUTH 17 DEGREES 31 MINUTES 30 SECONDS WEST, ALONG SAID WEST RIGHT OF WAY LINE, 151.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 84.28 FEET; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST, 150.00 FEET TO THE POINT OF BEGINNING.

BENCHMARK

DOUGLAS COUNTY GS CONTROL MONUMENT 1085942, A 1.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINES OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT. 39.516689 N, LONG. -104.754294 W, ELEVATION=5889.09

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°31'17" ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PARKER EXCHANGE BUILDING PARKING LOT RECONSTRUCTION

GEOTECHNICAL ENGINEER: KUMAR & ASSOCIATES, INC.

PROJECT NO: 24-1-257 DATE: APRIL 18, 2024

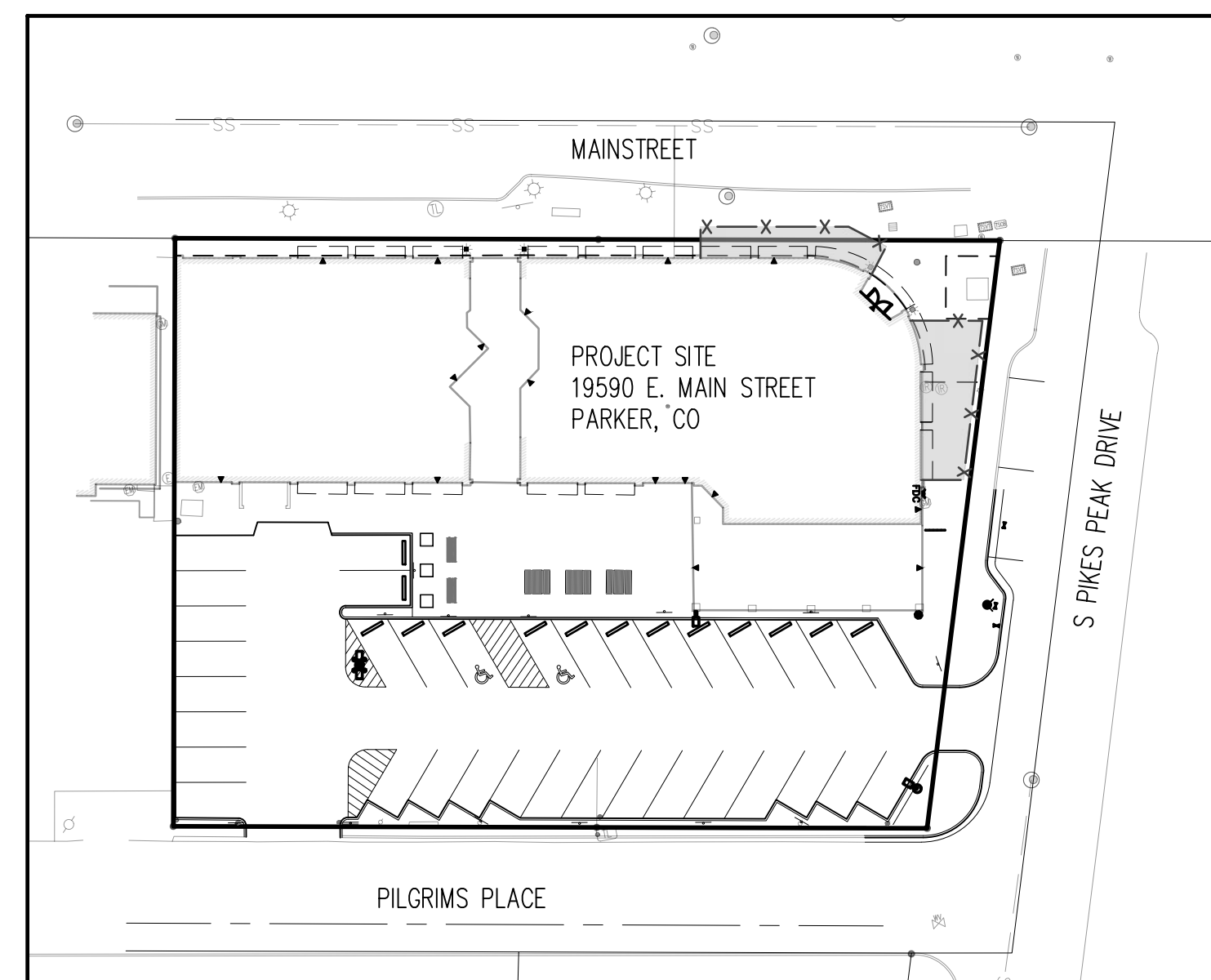
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

Sheet List Table

SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	DEMOLITION PLAN
C1.2	SITE PLAN
C1.3	HORIZONTAL CONTROL PLAN
C1.4	SITE DETAILS
C1.5	SITE DETAILS
C1.6	GRADING PLAN
C1.7	OVERALL UTILITY PLAN
C1.8	EROSION CONTROL PLAN
C1.9	EROSION CONTROL DETAILS
C1.10	EROSION CONTROL DETAILS
C1.11	EROSION CONTROL DETAILS
C1.12	EROSION CONTROL DETAILS
C1.13	EROSION CONTROL DETAILS
C1.14	EROSION CONTROL DETAILS
C1.15	EROSION CONTROL DETAILS
C1.16	EROSION CONTROL DETAILS
C1.17	EROSION CONTROL DETAILS

LIST OF ABBREVIATIONS

SHT - SHEET
Δ - DEFLECTION ANGLE
L - LENGTH
R - RADIUS
CB - CHORD BEARING
CL - CHORD LENGTH
N - NORTH/NORTHING
W - WEST
E - EAST/EASTING
S - SOUTH
DET - DETAIL
EX - EXISTING
W/ - WITH
PC - POINT OF CURVATURE/PORTLAND CEMENT
WVF - WELDED WIRE FABRIC
VERT - VERTICAL
OC - ON CENTER
FDC - FIRE DEPARTMENT CONNECTION
CT - COURT
DR - DRIVE
TYP - TYPICAL
REC - RECEPTION NUMBER
Ø, DIA - DIAMETER
PT - POINT OF TANGENCY
MIN - MINIMUM
MAX - MAXIMUM
HDPE - HIGH DENSITY POLYETHYLENE



LOCATION MAP
SCALE: 1" = 40'

FIRE CODE REVIEW BLOCK

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative _____ Date _____

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering

06/11/2025
Date



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAINSTREET
PARKER, CO

#	Date	Issue / Description	Init.
0	03/07/2025	ISSUED FOR CONSTRUCTION	TDK

Project No: MGC00001
Drawn By: HCH
Checked By: TDK
Date: MARCH 2025

COVER SHEET

C1.0
1 OF 18



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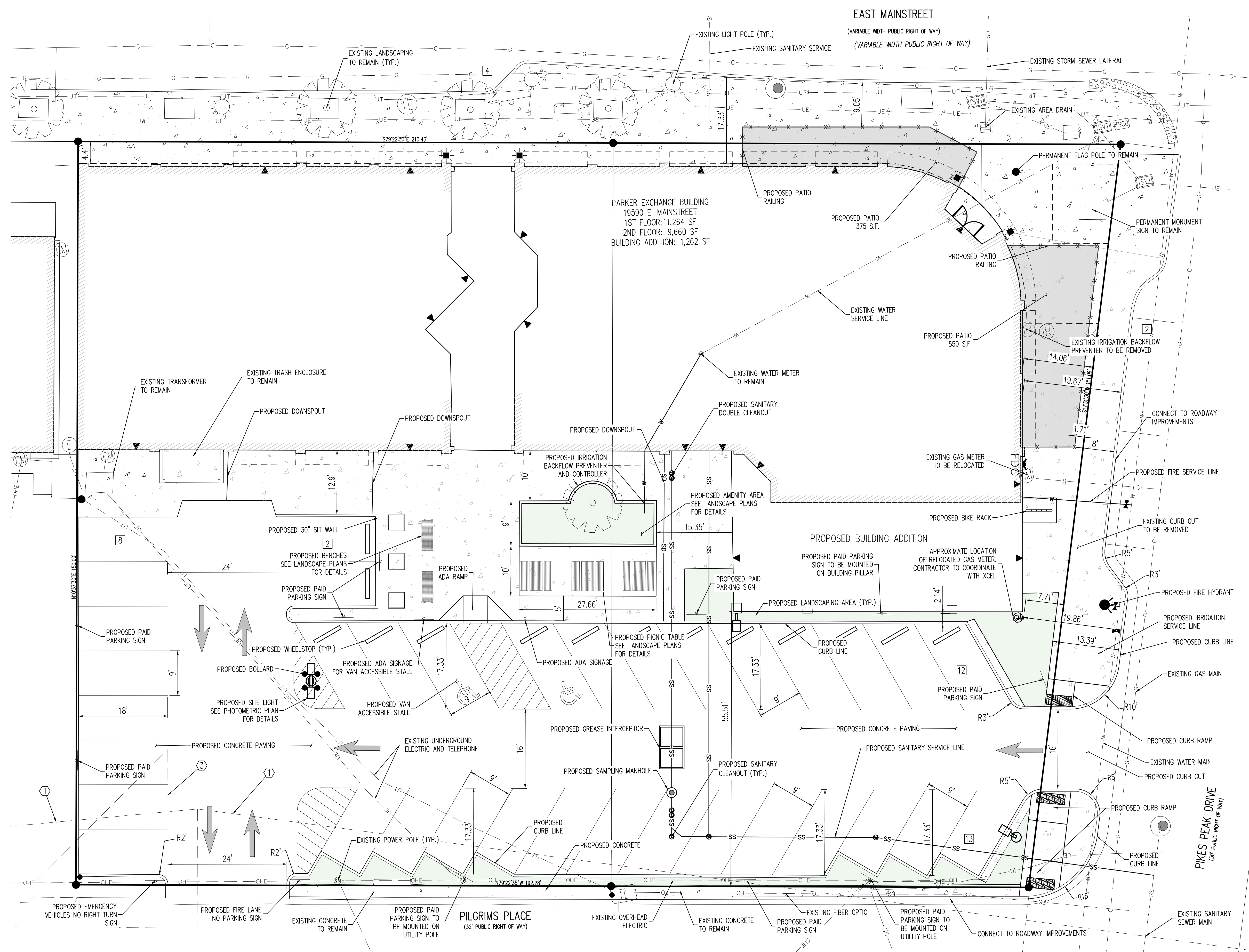
EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAINSTREET
PARKER, CO

#	Date	Issue / Description	Int.
0	03/07/2025	ISSUED FOR CONSTRUCTION	TDK

EXISTING STALL	LENGTH (FT)	WIDTH (FT)	PROVIDED STALLS
	17	5	46
PROPOSED STALL	17.33	9	39

NOTE:
THE PROPOSED PARKING STALL SIZE DOES NOT MEET THE MINIMUM STANDARDS PER THE TOWN OF PARKER CODE. THE PROPOSED PARKING STALL SIZE IS DEEMED ALLOWABLE AS THEY ARE AN IMPROVEMENT FROM THE EXISTING CONDITIONS.



SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EXISTING EASEMENT LINE
- SITE TRIANGLE
- PROPOSED SAWCUT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED RAILING
- PROPOSED SIDEWALK
- PROPOSED PATIO AREA
- ADA PATH OF TRAVEL
- PARKING COUNT
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED PIPE BOLLARD
- PROPOSED ADA PARKING SYMBOL
- PROPOSED WHEEL STOP
- PROPOSED DETECTABLE WARNING TRUNCATED DOMES
- EXISTING TREE
- BUILDING ENTRANCE

UTILITY LEGEND

- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER (LESS THAN 12")
- PROPOSED STORM SEWER (LESS THAN 12")
- EXISTING STORM SEWER (12" AND LARGER)
- PROPOSED STORM SEWER (12" AND LARGER)
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING FIBER OPTIC LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING GAS LINE
- EXISTING ELECTRIC LIGHT POLE
- PROPOSED SITE LIGHTING
- EXISTING ELECTRIC BOX
- EXISTING PAD MOUNTED TRANSFORMER
- EXISTING FIBER OPTIC PEDESTAL
- EXISTING FIBER OPTIC MANHOLE
- EXISTING FIBER OPTIC PULLBOX
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING TELEPHONE PEDESTAL
- EXISTING GAS VALVE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY STORM MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER MANHOLE
- PROPOSED FIRE HYDRANT

EXISTING VS. PROPOSED PARKING STALLS

	LENGTH (FT)	WIDTH (FT)	PROVIDED STALLS
EXISTING STALL	17	5	46
PROPOSED STALL	17.33	9	39

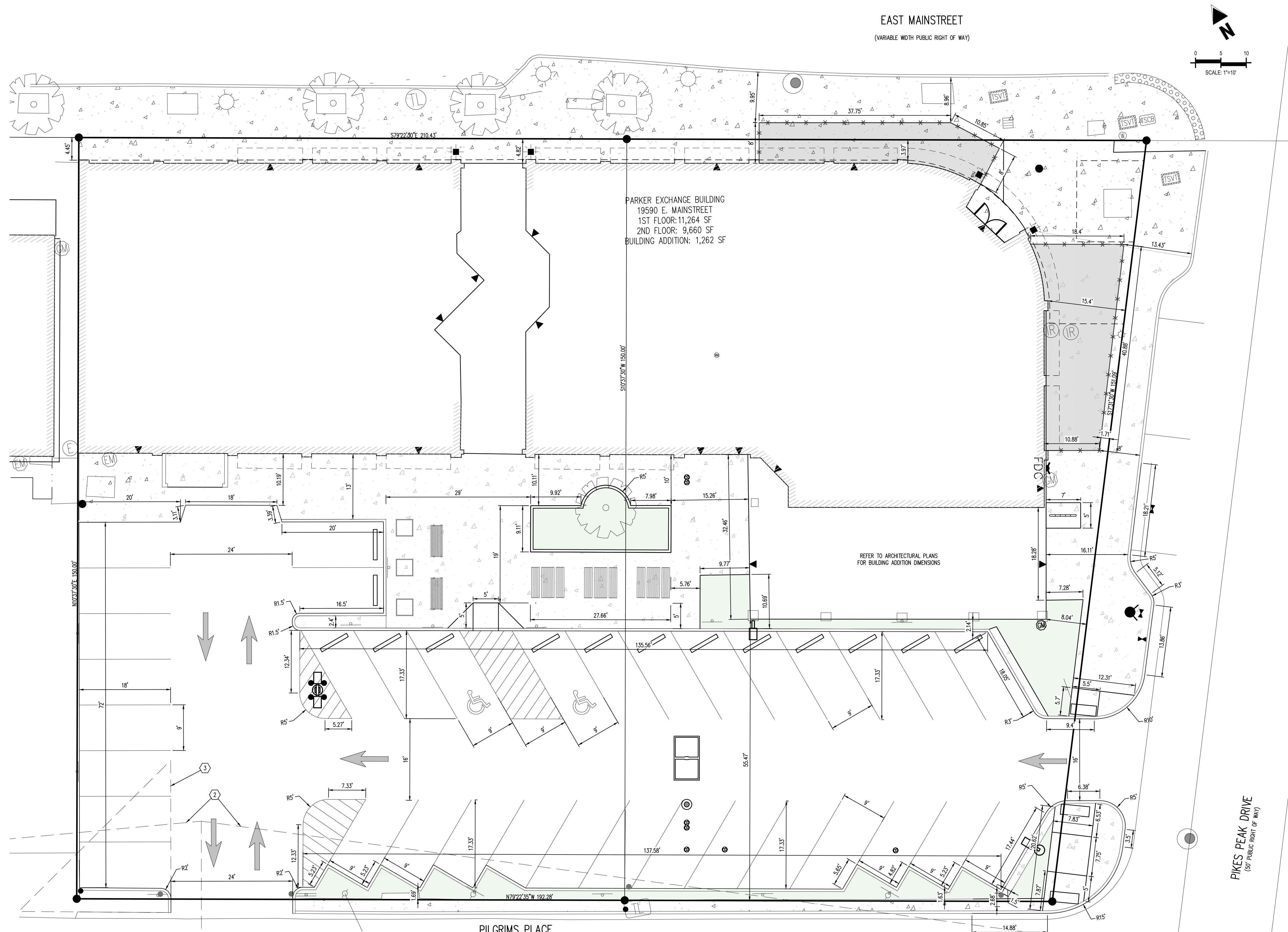
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This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

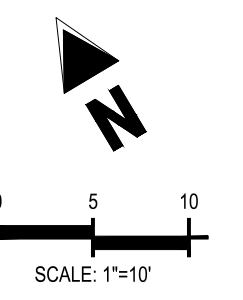
Town of Parker, Director of Engineering
06/11/2025
Date

Project No: MGC00001
Drawn By: HCH
Checked By: TDK
Date: MARCH 2025

SITE PLAN



EAST MAINSTREET
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)



PARKER EXCHANGE BUILDING
19590 E. MAINSTREET
1ST FLOOR: 11,264 SF
2ND FLOOR: 9,660 SF
BUILDING ADDITION: 1,262 SF

REFER TO ARCHITECTURAL PLANS
FOR BUILDING ADDITION DIMENSIONS

PILGRIMS PLACE
(32' PUBLIC RIGHT OF WAY)

PIKES PEAK DRIVE
(50' PUBLIC RIGHT OF WAY)

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- ▲ SITE TRIANGLE
- PROPOSED SAWCUT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- ADA PATH OF TRAVEL
- 1 PARKING COUNT
- ▲ EXISTING SIGN
- ▲ PROPOSED SIGN
- ▲ PROPOSED PIPE BOLLARD
- ▲ PROPOSED ADA PARKING SYMBOL
- ▲ PROPOSED WHEEL STOP
- ▲ PROPOSED DETECTABLE WARNING TRUNCATED DOMES
- ▲ EXISTING TREE
- ▲ BUILDING ENTRANCE

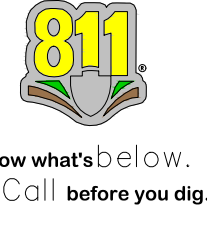
UTILITY LEGEND

- W — EXISTING WATER LINE
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- SS — EXISTING SANITARY SEWER
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- SD — EXISTING STORM SEWER (LESS THAN 12"ø)
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- G — EXISTING GAS LINE
- ▲ EXISTING ELECTRIC LIGHT POLE
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- ▲ EXISTING ELECTRIC SWITCH BOX
- ▲ EXISTING ELECTRIC VAULT
- ▲ EXISTING ELECTRIC BOX
- ▲ EXISTING PAD MOUNTED TRANSFORMER
- ▲ PROPOSED PAD MOUNTED TRANSFORMER
- ▲ EXISTING FIBER OPTIC PEDESTAL
- ▲ EXISTING FIBER OPTIC MANHOLE
- ▲ EXISTING FIBER OPTIC PULLBOX
- ▲ EXISTING TRAFFIC SIGNAL CABINET
- ▲ EXISTING TRAFFIC SIGNAL VAULT
- ▲ EXISTING TELEPHONE MANHOLE
- ▲ EXISTING TELEPHONE PEDESTAL
- ▲ EXISTING TELEPHONE VAULT
- ▲ EXISTING GAS VALVE
- ▲ EXISTING SANITARY SEWER MANHOLE
- ▲ PROPOSED SANITARY SEWER MANHOLE
- ▲ EXISTING SANITARY STORM MANHOLE
- ▲ PROPOSED SANITARY STORM MANHOLE
- ▲ EXISTING WATER VALVE
- ▲ EXISTING FIRE HYDRANT
- ▲ EXISTING WATER METER
- ▲ EXISTING WATER MANHOLE
- ▲ PROPOSED WATER VALVE
- ▲ PROPOSED WATER METER
- ▲ PROPOSED FIRE HYDRANT

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BASIS OF BEARINGS

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SIGHT TRIANGLES

1. PEDESTRIAN SIGHT TRIANGLE. THE PEDESTRIAN SIGHT TRIANGLE HAS A 10-FT LEG LOCATED AT THE EDGE OF THE DRIVEWAY AND A 10-FT LEG LOCATED AT THE BACK OF THE SIDEWALK. NO ITEMS THAT ARE WIDER THAN 18-INCHES MAY BE TALLER THAN 30-INCHES WITHIN THIS TRIANGLE.
2. ROADWAY SIGHT TRIANGLE. THE ROADWAY SIGHT TRIANGLE HAS A 18-FT LEG LOCATED IN THE CENTER OF THE EXIT LANE OF THE DRIVEWAY 18-FT FROM THE EDGE OF THE TRAVELED WAY. THE SECOND LEG SHALL BE PER AASHTO GUIDELINES FOR DEPARTURE TRIANGLES AND LOCATED IN THE CENTER OF THE APPROACHING LANE. NO ITEMS THAT ARE WIDER THAN 18-INCHES MAY BE TALLER THAN 30-INCHES WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.
3. CORNER SIGHT TRIANGLE. THE CORNER SIGHT TRIANGLE HAS A 30-FT LEG LOCATED AT THE EDGE OF EACH STREET FLOWLINE AND A 30-FT LEG LOCATED IN THE INTERSECTING STREETS FLOWLINE. CORNER SITE TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.

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Town of Parker, Director of Engineering

06/11/2025
Date



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAINSTREET
PARKER, CO

#	Date	Issue / Description	Init.
0	03/07/2025	ISSUED FOR CONSTRUCTION	TDK

Project No:	MGC00001
Drawn By:	HCH
Checked By:	TDK
Date:	MARCH 2025

HORIZONTAL CONTROL PLAN



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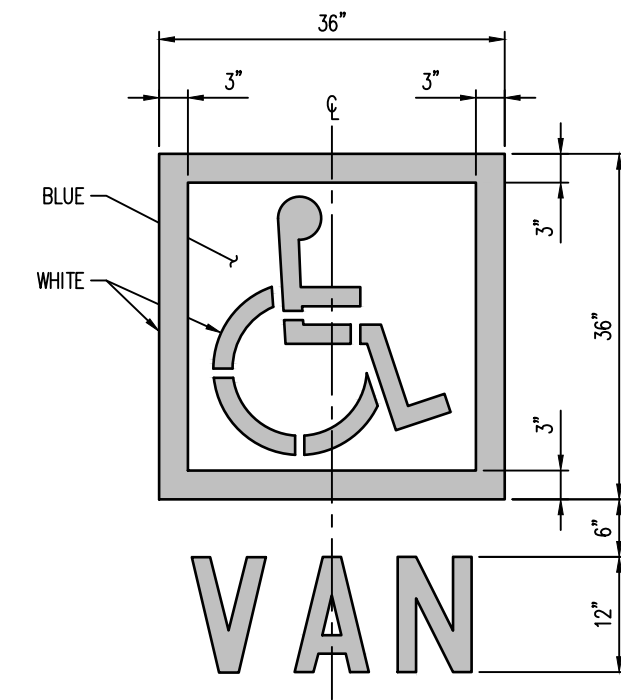
EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET
PARKER, CO

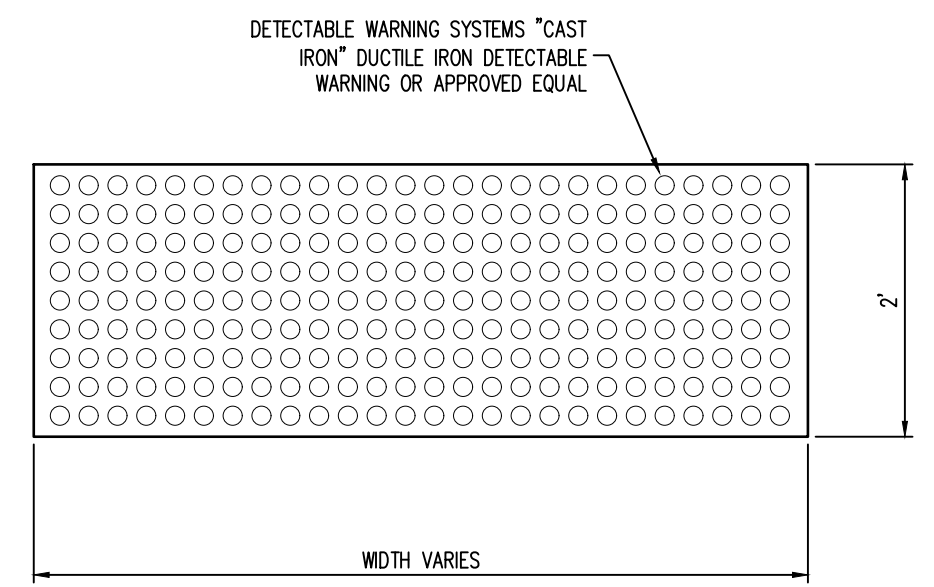
#	Date	Issue / Description	Int'l.
0	03/07/2025	ISSUED FOR CONSTRUCTION	TDK

Project No:	MGC00001
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Checked By:	TDK
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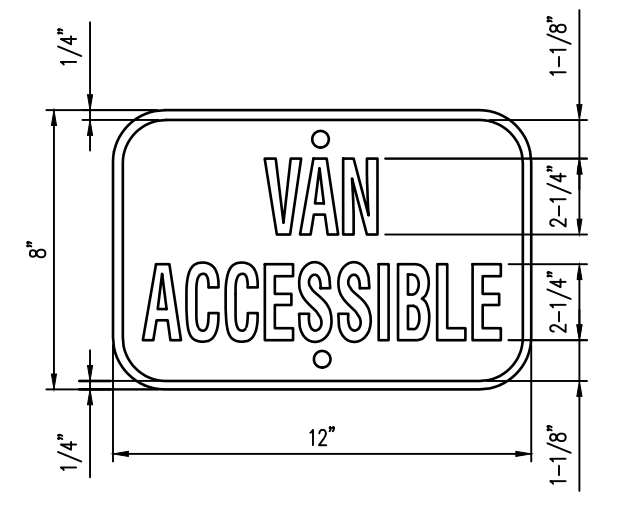
SITE DETAILS



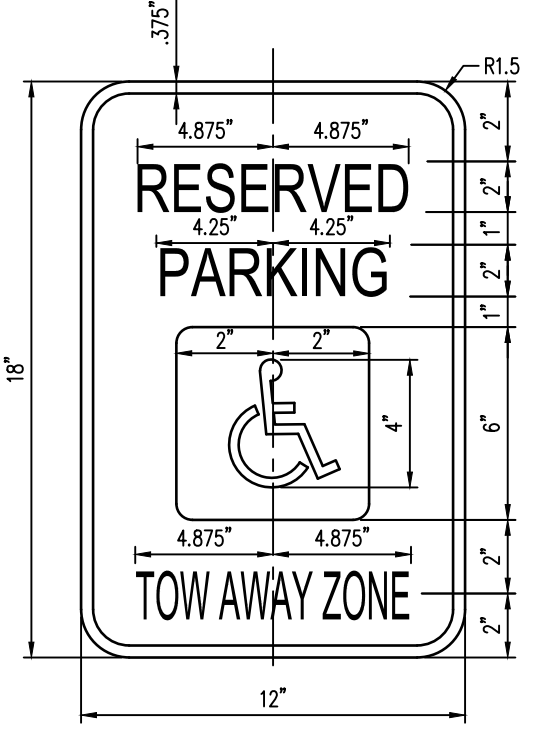
NOTES:
1. PROVIDE TWO COATS OF PAINT
2. BLUE BACKGROUND WITH WHITE SYMBOL



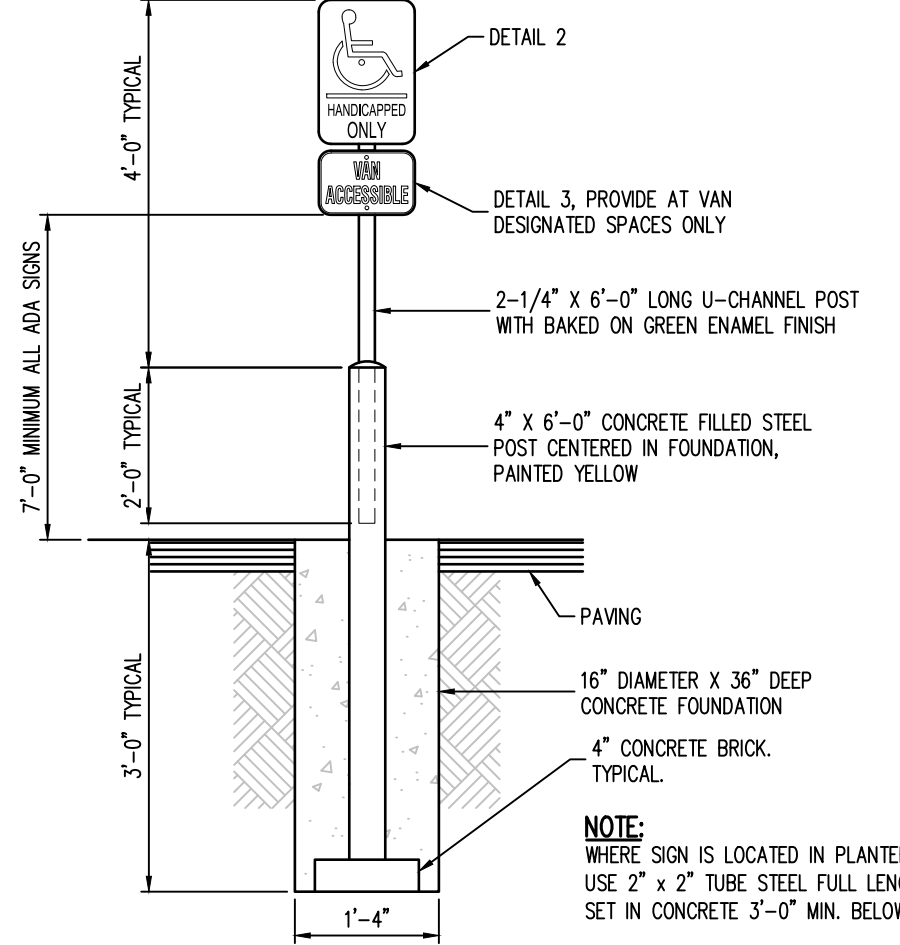
4 TRUNCATED DOMES
NOT TO SCALE



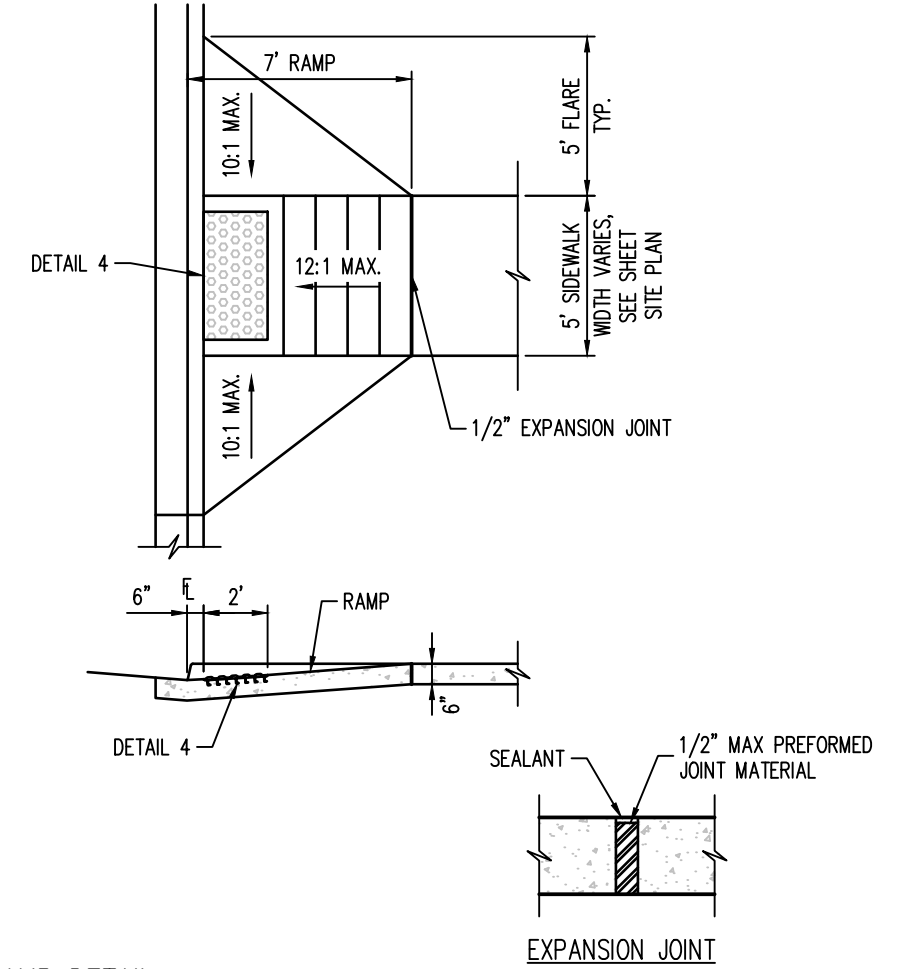
3 "VAN ACCESSIBLE" SIGN
NOT TO SCALE



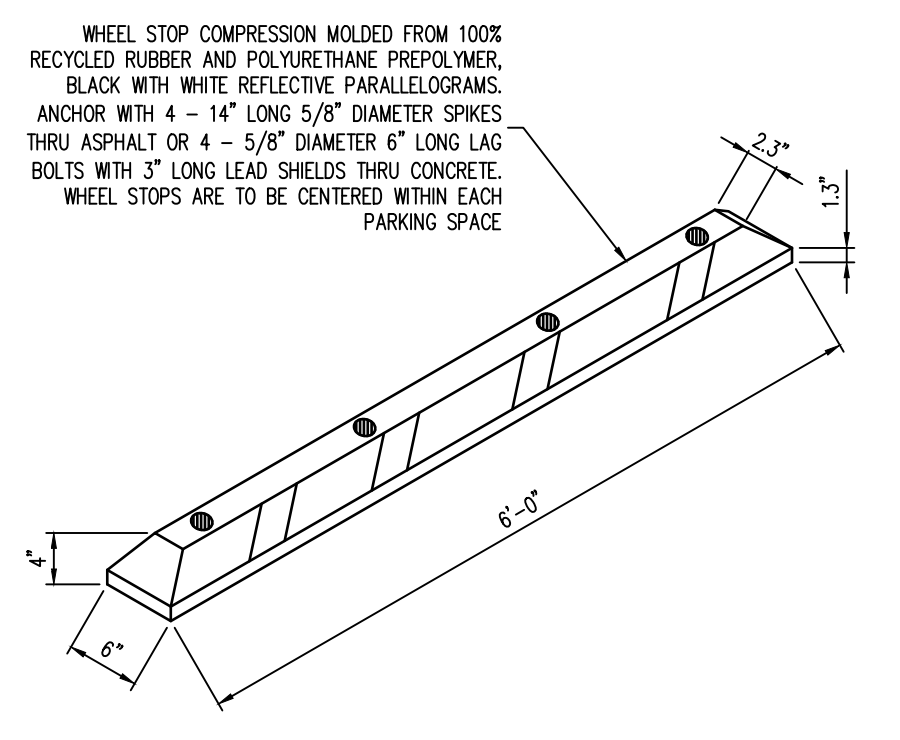
2 HANDICAP PARKING SIGN
NOT TO SCALE



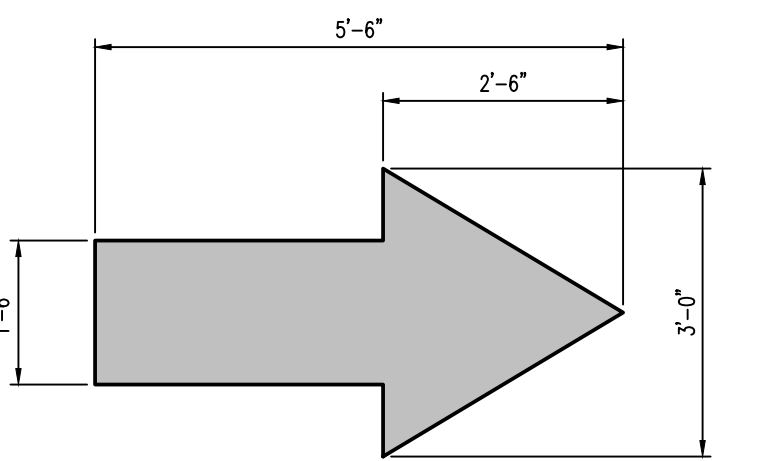
1 HANDICAP PARKING SIGN POST
NOT TO SCALE



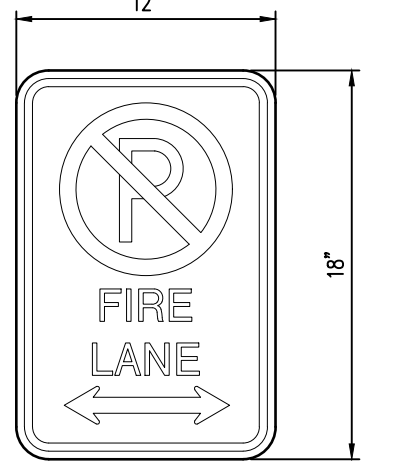
10 ACCESSIBLE RAMP DETAIL
NOT TO SCALE



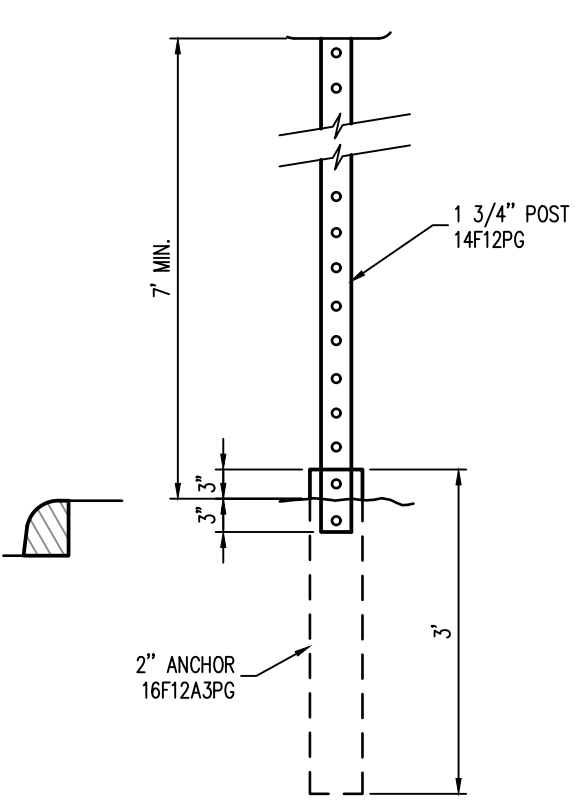
9 WHEEL STOP DETAIL
NOT TO SCALE



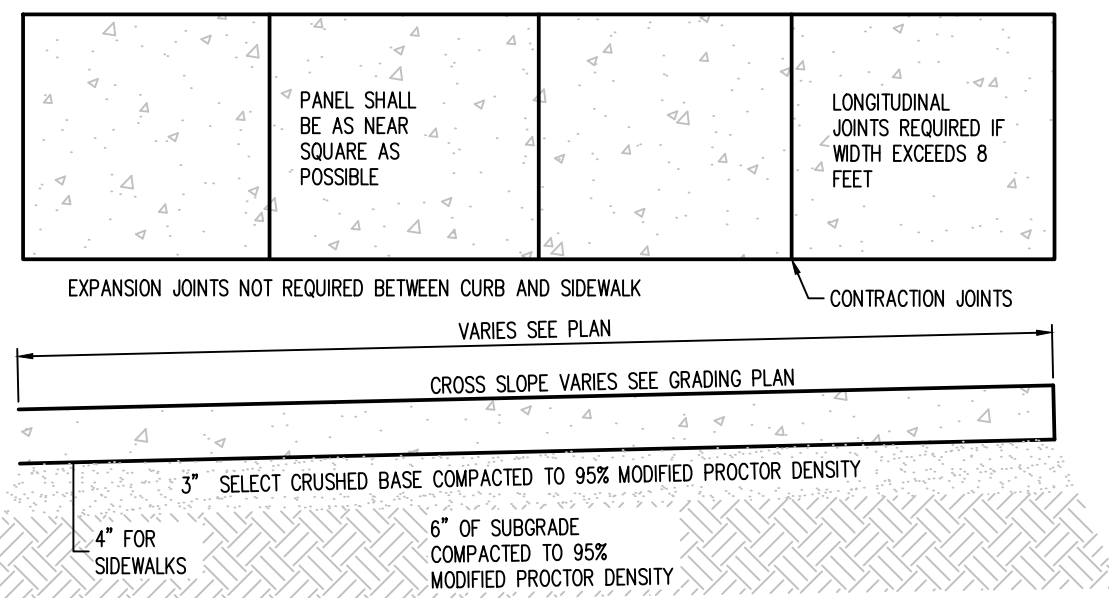
8 DIRECTIONAL ARROW DETAIL
NOT TO SCALE



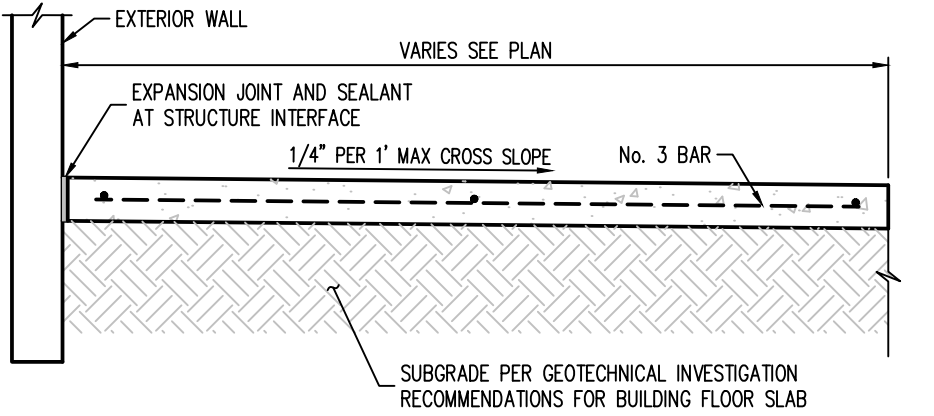
7 "NO PARKING - FIRE LANE" SIGN
NOT TO SCALE



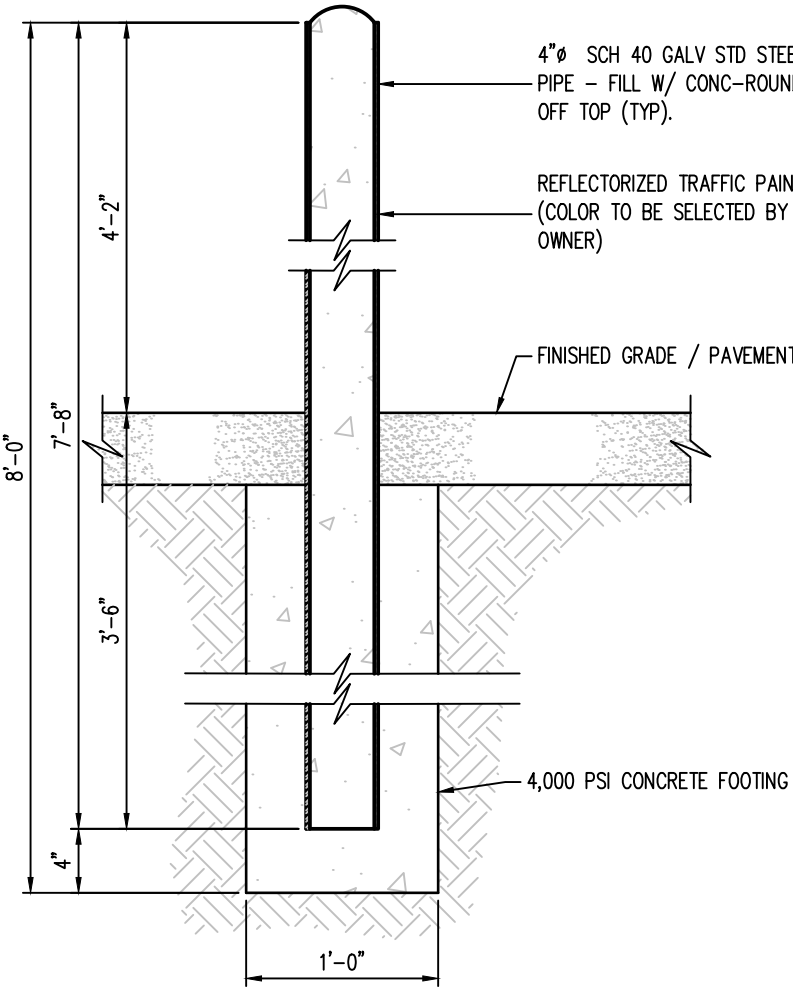
6 STANDARD SIGN POST DETAIL
NOT TO SCALE



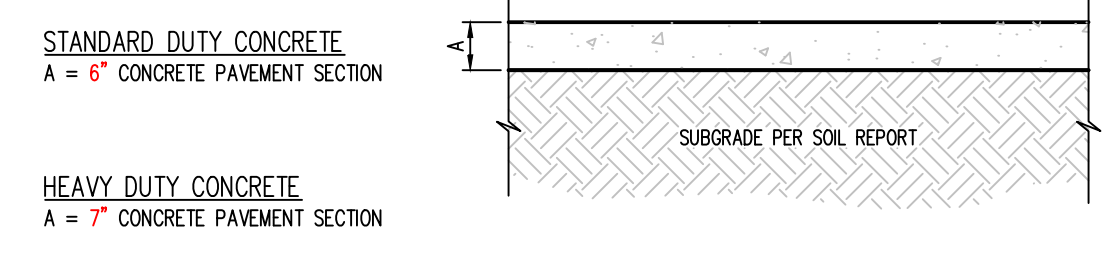
15 CONCRETE SIDEWALK DETAIL (PRIVATE)
NOT TO SCALE



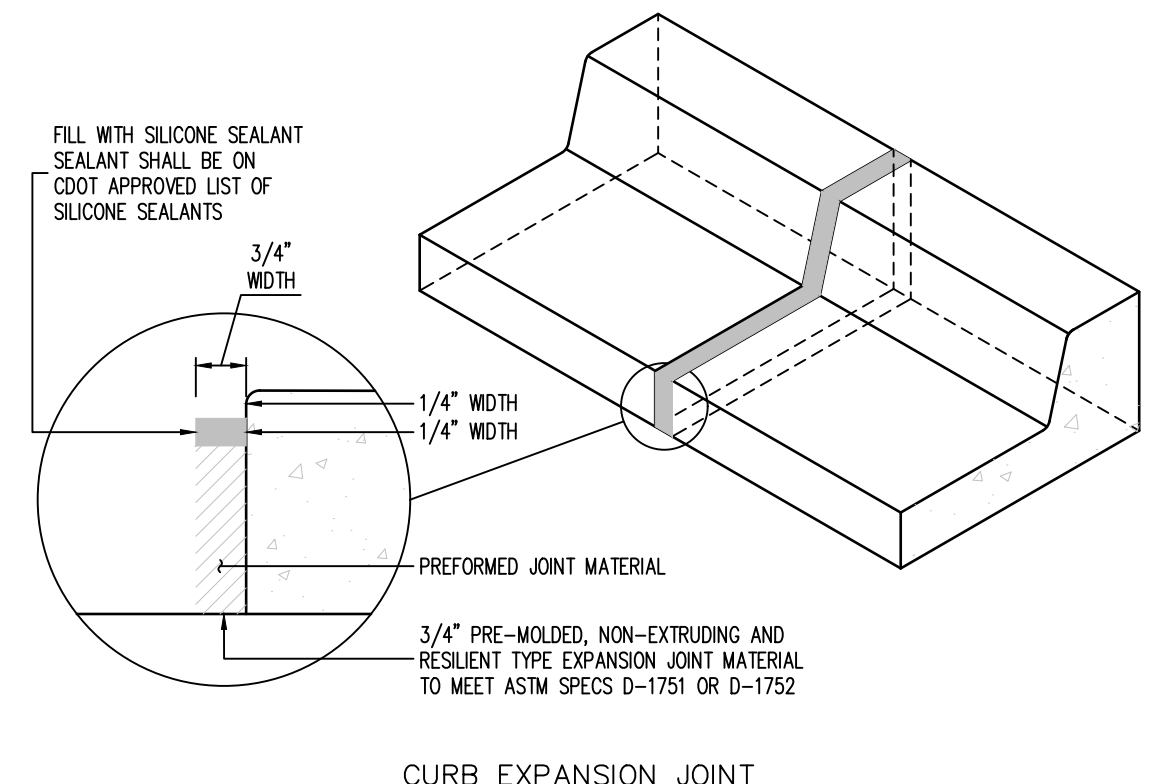
13 CONCRETE SIDEWALK AT BUILDING
NOT TO SCALE



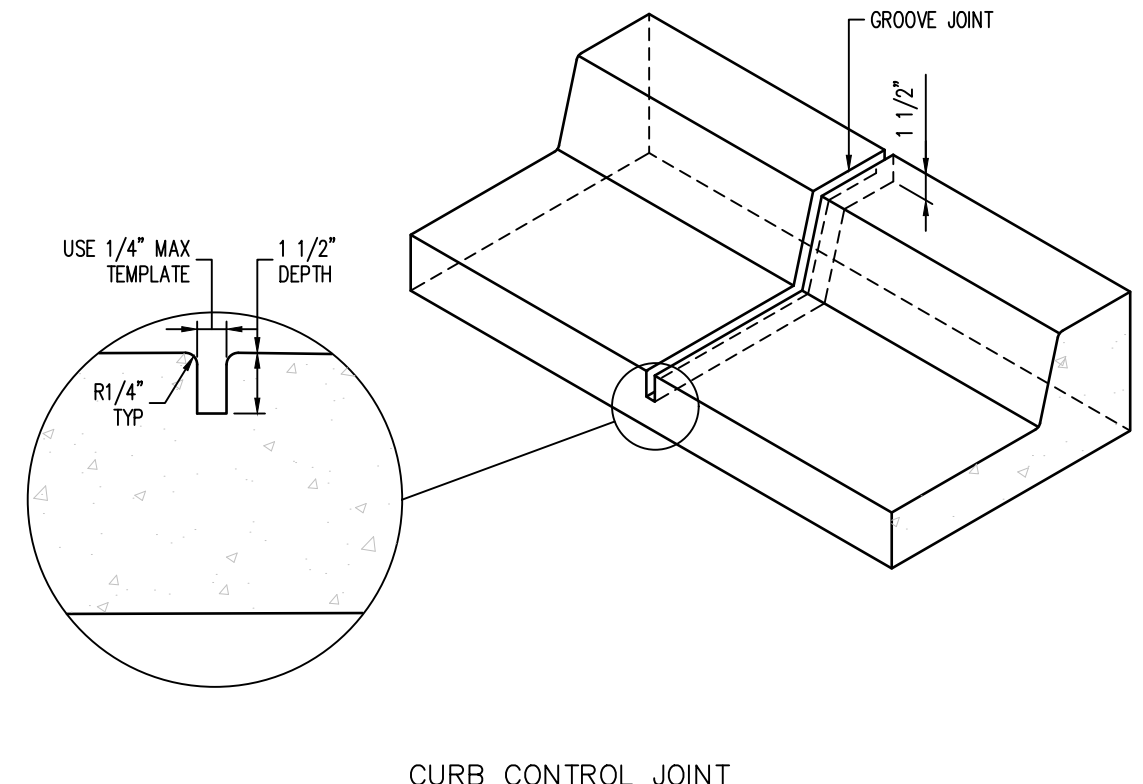
12 SITE BOLLARD
SCALE: 1" = 1'-0"



14 CONCRETE PAVING DETAIL
NOT TO SCALE



16 CURB JOINT DETAIL
NOT TO SCALE



CURB CONTROL JOINT



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EXCHANGE LOT 1
 CIVIL CONSTRUCTION DRAWINGS

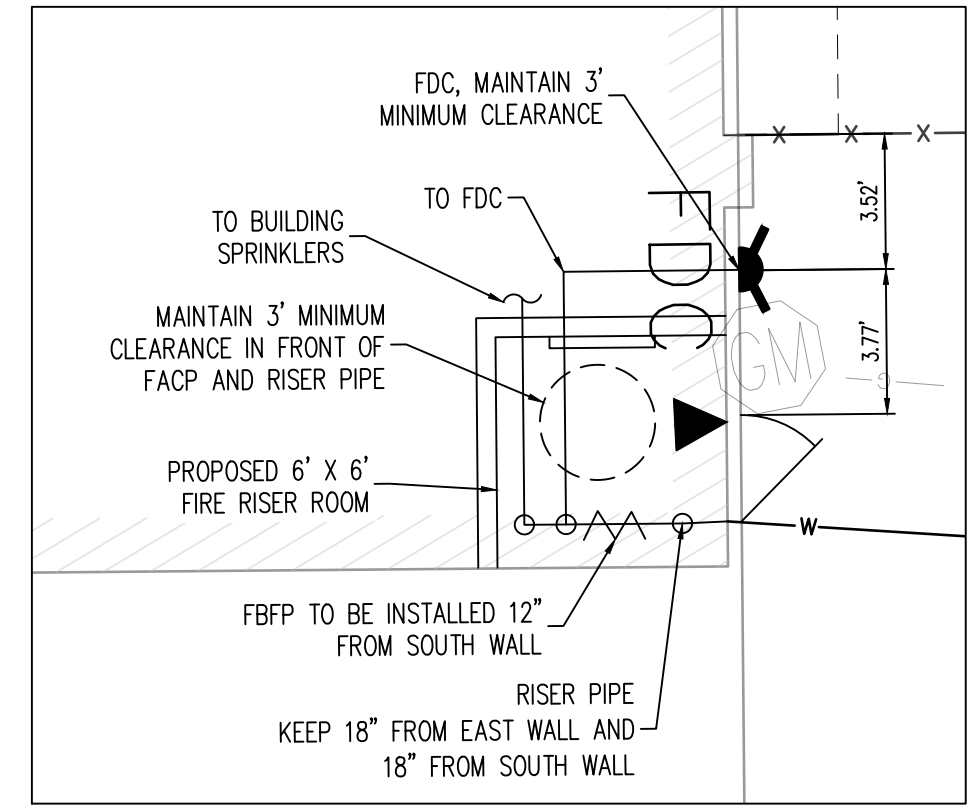
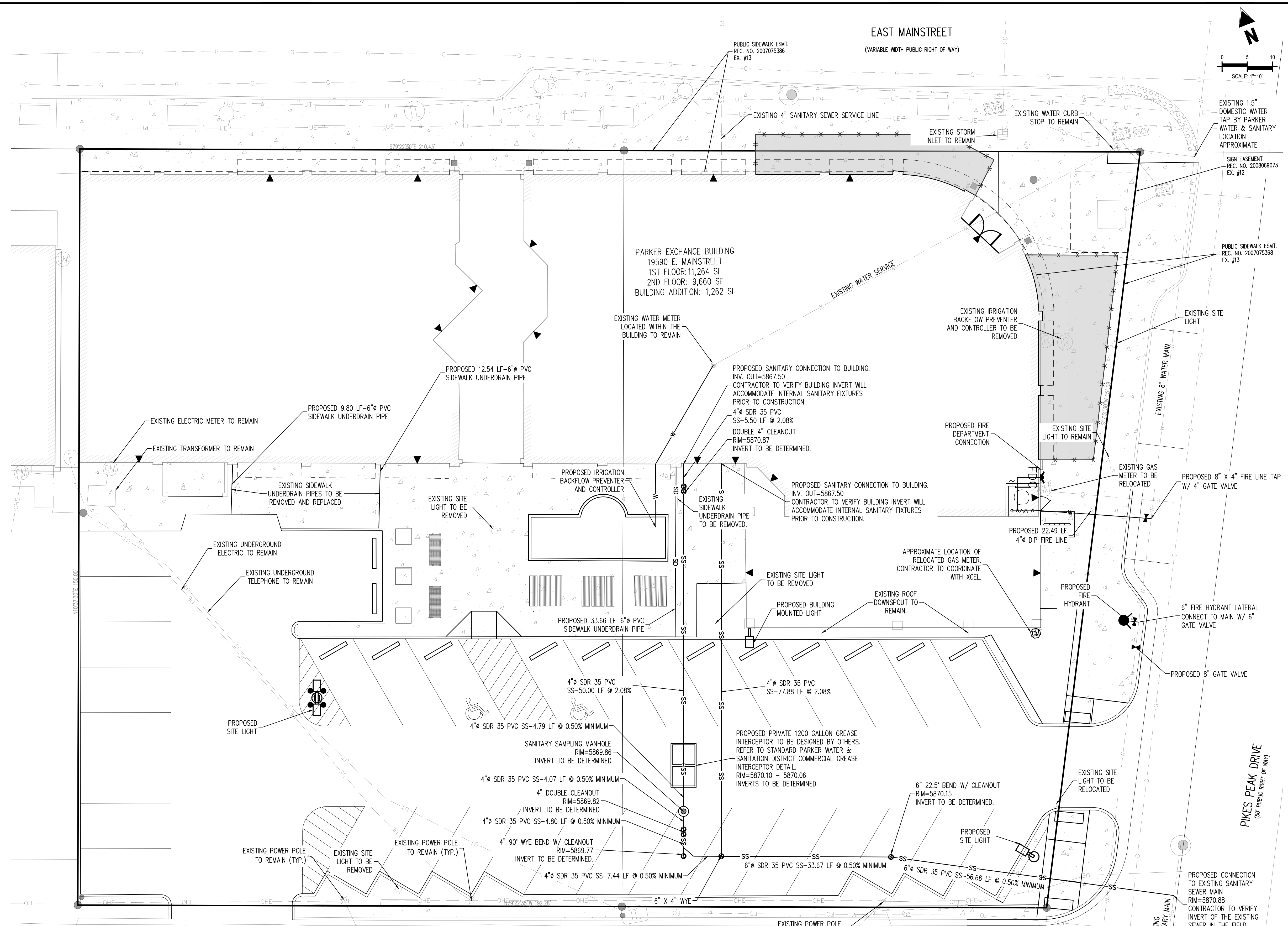
19590 MAIN STREET
 PARKER, CO

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OVERALL UTILITY PLAN

C1.7
 8 OF 10



FIRE RISER ROOM SCHEMATIC LAYOUT
 SCALE: 1" = 5'

NOTE
 FIRE RISER ROOM LAYOUT TO BE FINALIZED WITH INTERIOR REMODEL. PROJECT LOCATIONS OF EQUIPMENT ARE APPROXIMATE. REQUIRED CLEARANCES SHALL BE MAINTAINED.

NOTE:
 1. ANY PROPOSED UTILITY CONNECTION WITHIN AN EXISTING ROADWAY WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN REQUIRES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK.

SITE LEGEND

---	PROPERTY BOUNDARY LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	SETBACK LINE
---	SITE TRIANGLE
---	PROPOSED SAWMUT LINE
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	EXISTING SIGN
---	PROPOSED SIGN
---	PROPOSED PIPE BOLLARD
---	PROPOSED ADA PARKING SYMBOL
---	PROPOSED WHEEL STOP
---	PROPOSED DETECTABLE WARNING TRUNCATED DOMES
---	EXISTING TREE
---	BUILDING ENTRANCE

UTILITY LEGEND

---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER (LESS THAN 12")
---	EXISTING UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING FIBER OPTIC LINE
---	EXISTING GAS LINE
---	EXISTING OVERHEAD ELECTRICAL
---	EXISTING STREET LIGHT

---	EXISTING PAD MOUNTED TRANSFORMER
---	EXISTING STORM INLET
---	EXISTING WATER VALVE
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	EXISTING TRAFFIC VAULT
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING TELEPHONE VAULT
---	EXISTING STORM SEWER MANHOLE
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING SANITARY SEWER CLEANOUT
---	PROPOSED SANITARY SEWER CLEANOUT

FIRE CODE REVIEW BLOCK

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative _____ Date _____

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

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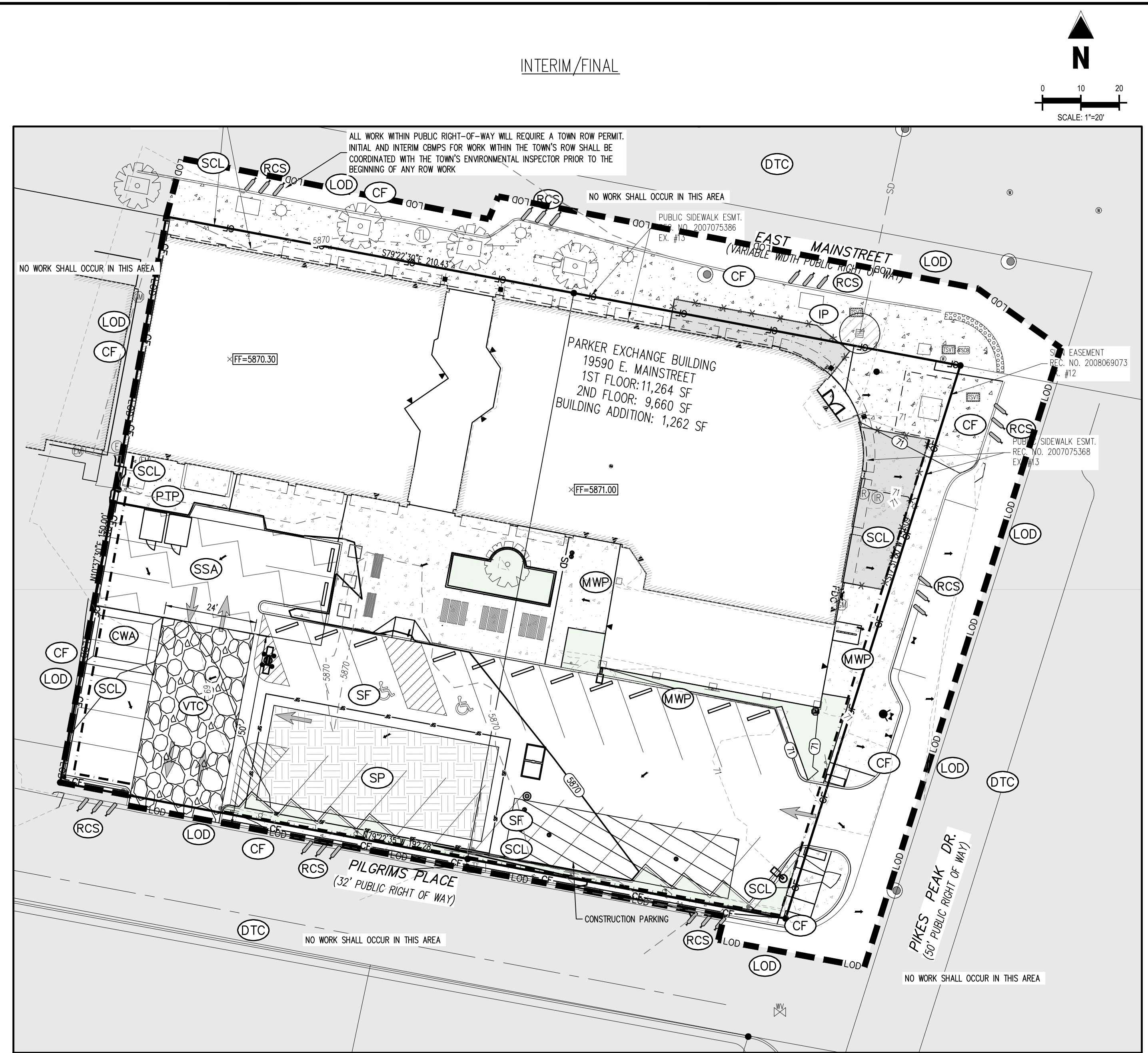
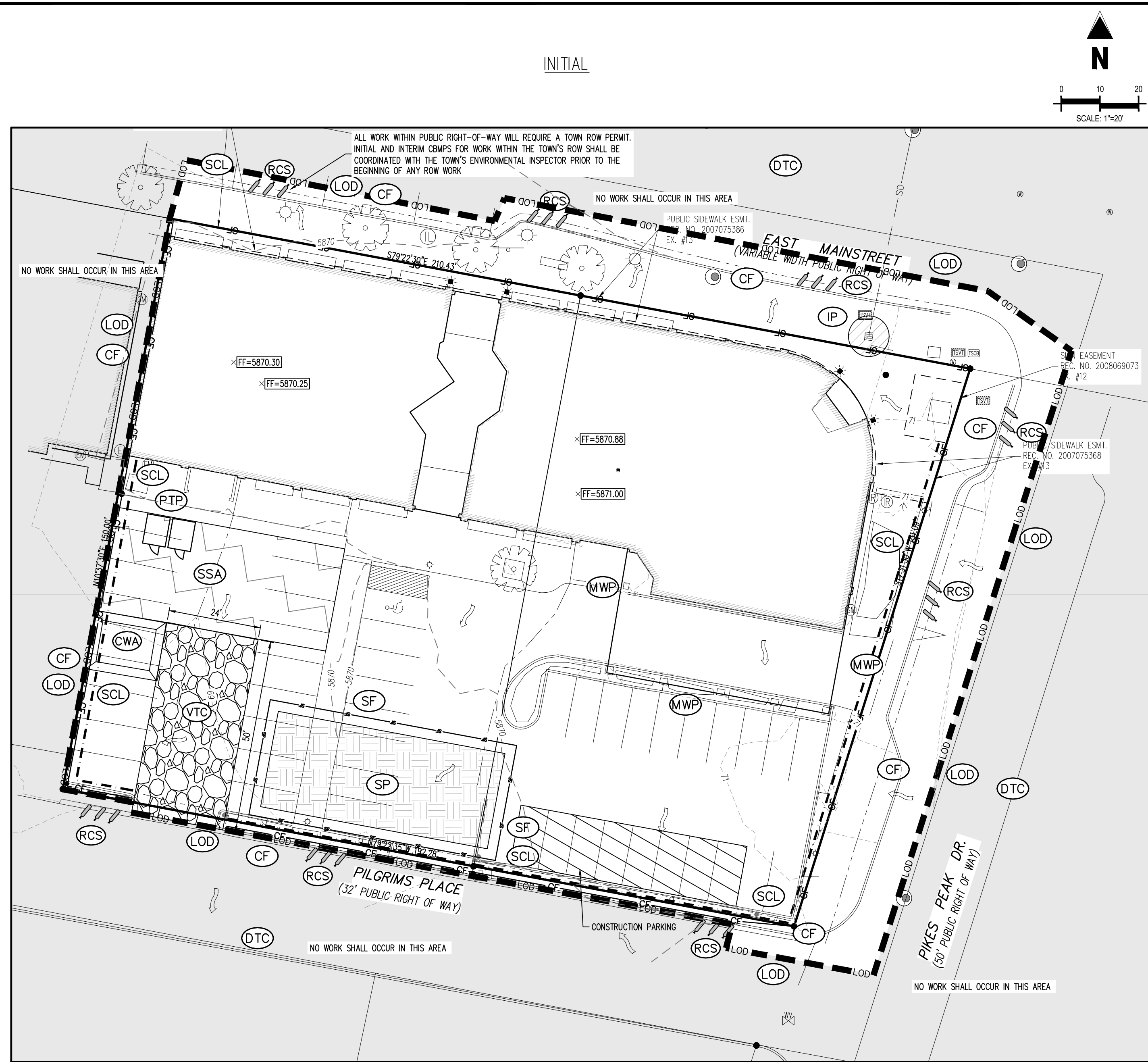
19590 MAIN STREET
PARKER, CO

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Project No.	MSG00001
Drawn By:	HCH
Checked By:	TDK
Date:	MARCH 2025

EROSION CONTROL PLAN

C1.8
9 OF 18



EROSION CONTROL LEGEND

---	5460	EXISTING MAJOR CONTOUR
---	52	EXISTING MINOR CONTOUR
---	5465	PROPOSED MAJOR CONTOUR
---	60	PROPOSED MINOR CONTOUR
---	SD	EXISTING STORM SEWER (LESS THAN 12")
---	SD	EXISTING STORM SEWER (12" AND LARGER)
---	SD	PROPOSED STORM SEWER (LESS THAN 12")
---	SD	PROPOSED STORM SEWER (12" AND LARGER)
---		PROPOSED RIDGE LINE
---		EXISTING FLOW ARROW
---		FLOW ARROW
---	LOD	LIMITS OF DISTURBANCE
---	SCL	SEDIMENT CONTROL LOG
---	VTC	VEHICLE TRACKING CONTROL
---	CWA	CONCRETE WASHOUT AREA
---	SSA	STABILIZED STAGING AREA
---	IPS	SUMP INLET PROTECTION (P-3)
---	RS	ROCK SOCKS
---	SC	PROPOSED SAWCUT LINE
---	SF	SILT FENCE
---	CF	CONSTRUCTION FENCE
---	PT	PORTABLE TOILET
---	SP	SITE POSTING (CONTACTS AND PERMITS)
---	WP	WASHOUT POSTING

SITE LEGEND

---		PROPERTY BOUNDARY LINE
---		ADJACENT PROPERTY BOUNDARY LINE
---		EXISTING EASEMENT LINE
---		SITE TRIANGLE
---		PROPOSED SAWCUT LINE
---		PROPOSED CURB AND GUTTER
---		EXISTING CURB AND GUTTER
---		PROPOSED SIDEWALK
---		ADA PATH OF TRAVEL
---		PARKING COUNT
---		EXISTING SIGN
---		PROPOSED SIGN
---		PROPOSED PIPE BOLLARD
---		PROPOSED ADA PARKING SYMBOL
---		PROPOSED WHEEL STOP
---		PROPOSED DETECTABLE WARNING TRUNCATED DOMES
---		EXISTING TREE
---		BUILDING ENTRANCE

NOTE:
THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

NOTES:

- THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION MAY BE DETERMINED BY THE TOWN AND THE ECS.
- MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
- LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
- ANY ON-SITE BULK FUEL STORAGE REQUIRES A FIRE LINE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.

VEHICLE TRACKING CONTROL (VTC) NOTICE
THE CONSTRUCTION EXIT AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE EXIT WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL-WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

STABILIZED STAGING AREA (SSA) NOTICE
THE STAGING AND STORAGE AREA AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE STAGING AREA WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL CONTROL MEASURES AROUND THE STAGING AREA TO PREVENT POLLUTANTS FROM FLOWING TO OTHER SITE AREAS. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED ON ANY EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. ANY WATER USED IN THE STABILIZED STAGING AREA SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

BMP MAINTENANCE NOTE:
ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP, SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS
DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY INTO PORTABLE, IMPERMEABLE BASINS SUCH AS AN ECO-PAN. ALTERNATIVELY, WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIP RAP OR OTHER USEFUL CONCRETE PRODUCTS. THE CURED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. THESE JOBSITE SUPERINTENDENT IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES ARE FOLLOWED. THE LOCATION OF CONCRETE WASHOUT AREAS SHALL BE SHOWN ON THE SITE MAPS. FOLLOW ALL APPLICABLE ENVIRONMENTAL REGULATIONS FOR CONCRETE WASH OUT AREAS.

CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY STABILIZING ALL ON- AND OFF-SITE AREAS DISTURBED DURING CONSTRUCTION, WHETHER THESE AREAS ARE SHOWN ON THE PLAN OR NOT, INCLUDING MAINTENANCE OF ALL CONTROL MEASURES UNTIL A NOTICE OF INACTIVATION HAS ACCEPTED BY THE STATE.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

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Town of Parker, Director of Engineering

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

BENCHMARK INFORMATION

THE BENCHMARK USED FOR THIS SURVEY IS DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042. A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINE OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W. ELEVATION=5889.09

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



06/11/2025
Date

