

EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET

PROJECT CONTACTS

PROPERTY OWNER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

APPLICANT/DEVELOPER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

CIVIL ENGINEER

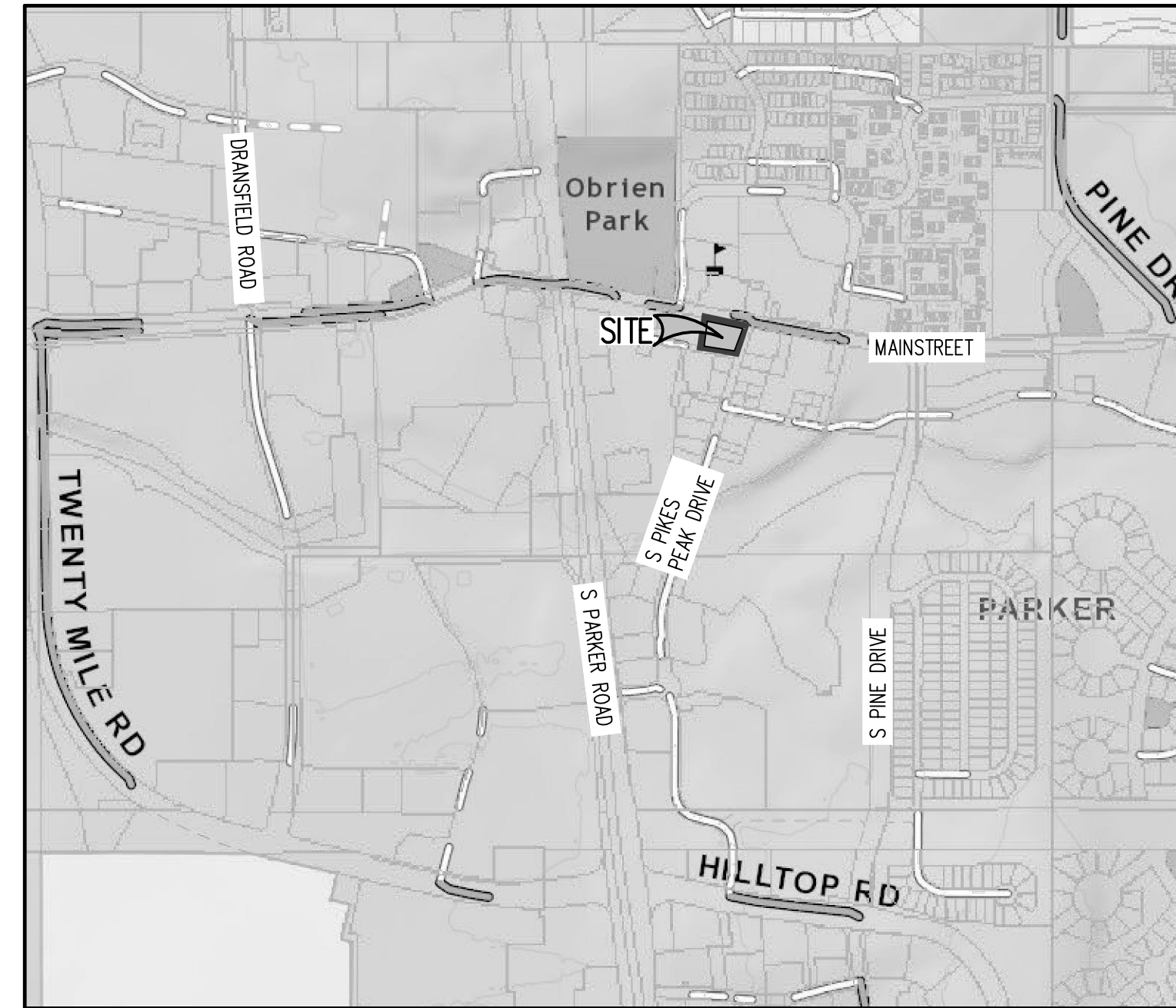
GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: TROY KELTS, PE

ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: CHRISTIAN ARNDT

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: JONAH WESS



VICINITY MAP
SCALE: 1" = 100'

LEGAL DESCRIPTION

PARCEL I:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 0 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST

PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 3 IN BOUNDARY SURVEY OF A PORTION OF PARKER, COLORADO, JOB NO. 272-3985, DATED JUNE 18, 1981 AND RECORDED JULY 16, 1981 AT RECEPTION NO. 271187 OF THE DOUGLAS COUNTY RECORDS AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF EAST PARKER ROAD A DISTANCE OF 108.00 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 9 IN ABOVE DESCRIBED BOUNDARY SURVEY; THENCE SOUTH 10 DEGREES 37 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 150.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE AND THE SOUTHWEST CORNER OF THE AFOREMENTIONED PARCEL 9; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE A DISTANCE OF 108.00 FEET TO THE SOUTHEAST CORNER OF AFOREMENTIONED PARCEL 3; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PARCEL 3 A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

PARCEL II:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

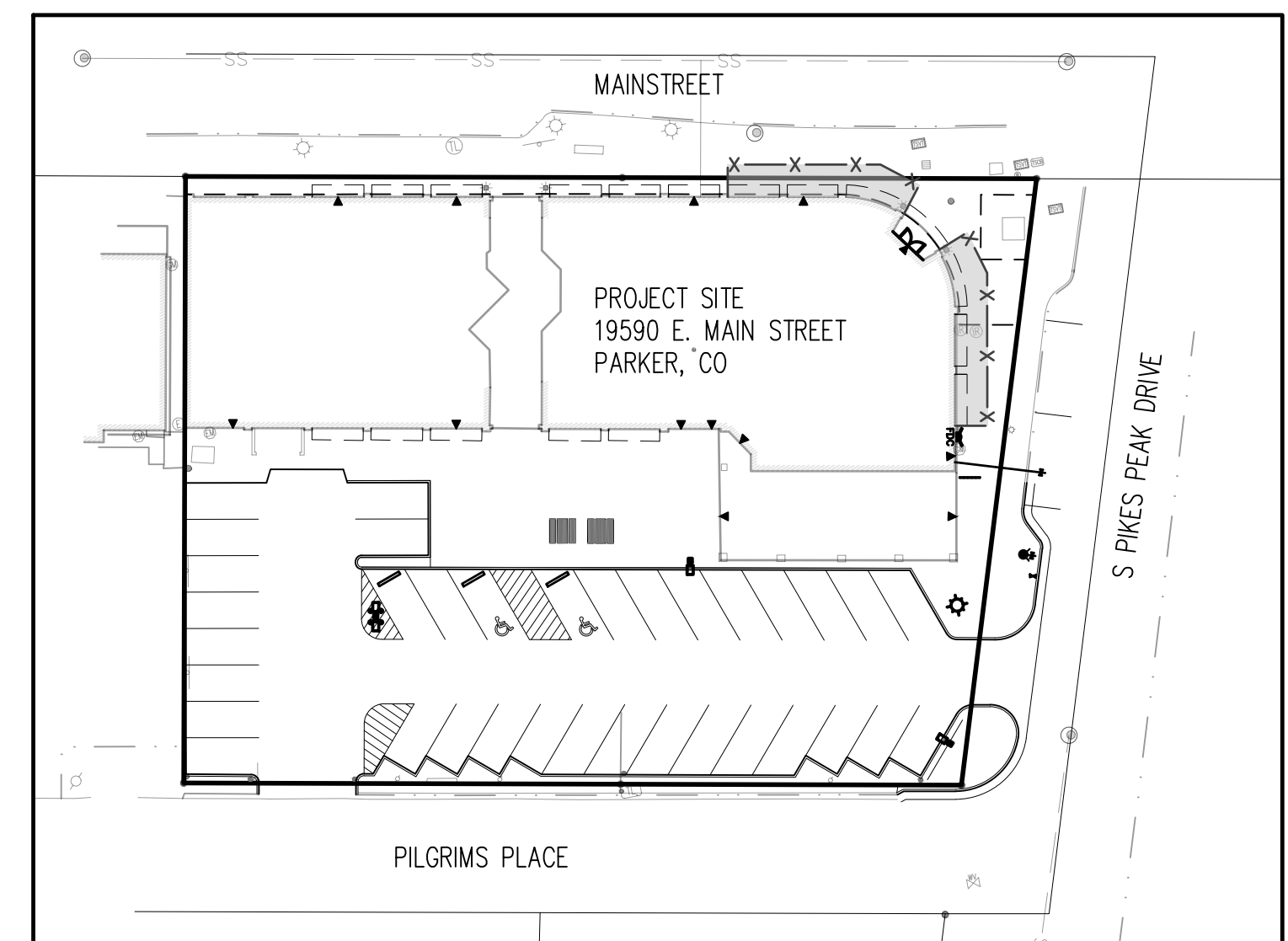
COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 00 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE 860.80 FEET; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE 108.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH LINE, 102.43 FEET TO THE WEST RIGHT OF WAY LINE OF PIKES PEAK DRIVE; THENCE SOUTH 17 DEGREES 31 MINUTES 30 SECONDS WEST, ALONG SAID WEST RIGHT OF WAY LINE, 151.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 84.28 FEET; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST, 150.00 FEET TO THE POINT OF BEGINNING.

BENCHMARK

DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042; A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE, ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINES OF THE ADJACENT CONCRETE PATHS, APPROXIMATE POSITION LAT. 39.516689 N, LONG. -104.754294 W, ELEVATION=5889.09

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.



LOCATION MAP
SCALE: 1" = 40'

SITE STATISTICS			
ZONING	GD		
LOT AREA	SE	ACRES	% OF TOTAL
GROSS	30,203	0.693	100%
NET	30,203	0.693	100%
SITE DATA - EXISTING	SE	ACRES	% OF TOTAL
BUILDING AREA	11,284	0.259	37.3%
HARDSCAPE AREA	17,727	0.406	58.7%
LANDSCAPE AREA	1,212	0.028	4.0%
TOTAL:	30,203	0.693	100%
SITE DATA - PROPOSED	SE	ACRES	% OF TOTAL
BUILDING AREA	12,446	0.286	41.2%
HARDSCAPE AREA	16,343	0.375	54.1%
LANDSCAPE AREA	1,414	0.032	4.7%
TOTAL:	30,203	0.693	100%
BUILDING HEIGHT	EXISTING	PROPOSED	
	40'	40'	
SETBACKS	FRONT	REAR	SIDE
	0'	0'	0'
BUILDING ADDITION	SE	LAND USE	
	1,182	OFFICE/RETAIL	
PARKING*	EXISTING PROVIDED	PROPOSED PROVIDED	
COMMERCIAL MIXED USE	46	35	
ACCESSIBLE SPACES	1	2	
BICYCLE PARKING	0	2	

* PER SECTION 13.06.050 (1) (2) THE BUILDING EXPANSION ASSOCIATED WITH THIS PROJECT IS LESS THAN 3,000 SQUARE FEET AND IS EXEMPT FROM ADDITIONAL PARKING REQUIREMENTS.

LIST OF ABBREVIATIONS

SHT - SHEET
Δ - DEFLECTION ANGLE
L - LENGTH
R - RADIUS
CB - CHORD BEARING
C - CHORD LENGTH
N - NORTH/NORTHING
W - WEST
E - EAST/EASTING
S - SOUTH
DET - DETAIL
EX - EXISTING
W/ - WITH
PC - POINT OF CURVATURE/PORTLAND CEMENT
WWF - WELDED WIRE FABRIC
VERT - VERTICAL
OC - ON CENTER
FDC - FIRE DEPARTMENT CONNECTION
CT - COURT
DR - DRIVE
TYP - TYPICAL
REC - RECEPTION NUMBER
DIA - DIAMETER
PT - POINT OF TANGENCY
MIN - MINIMUM
MAX - MAXIMUM
HDPE - HIGH DENSITY POLYETHYLENE

PREPARED BY:

Galloway

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SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	LANDSCAPE PLAN
5	LANDSCAPE DETAILS
6	PHOTOMETRIC PLAN
7	PHOTOMETRIC DETAILS
8	FIRST FLOOR PLAN - EXISTING CONDITIONS
9	SECOND FLOOR PLAN - EXISTING CONDITIONS
10	FIRST FLOOR PLAN - PROPOSED CONSTRUCTION
11	SECOND FLOOR PLAN - PROPOSED CONSTRUCTION
12	ROOF PLAN - PROPOSED CONSTRUCTION
13	PLANNING ELEVATIONS
14	PLANNING ELEVATION DETAILS
15	PLANNING ELEVATION DETAILS
16	EXISTING SITE IMAGES

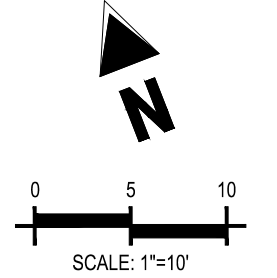
COVER SHEET

1

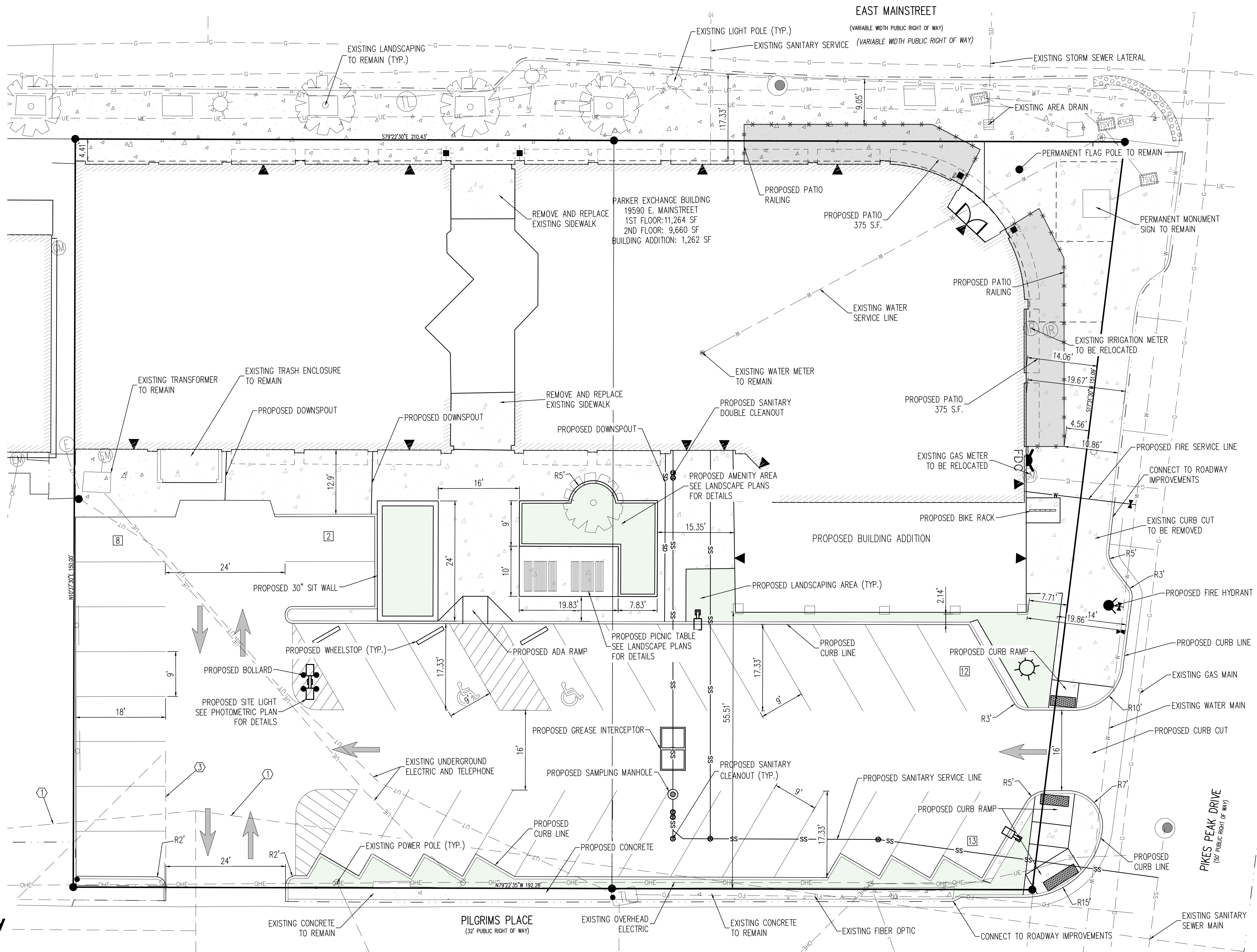
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EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

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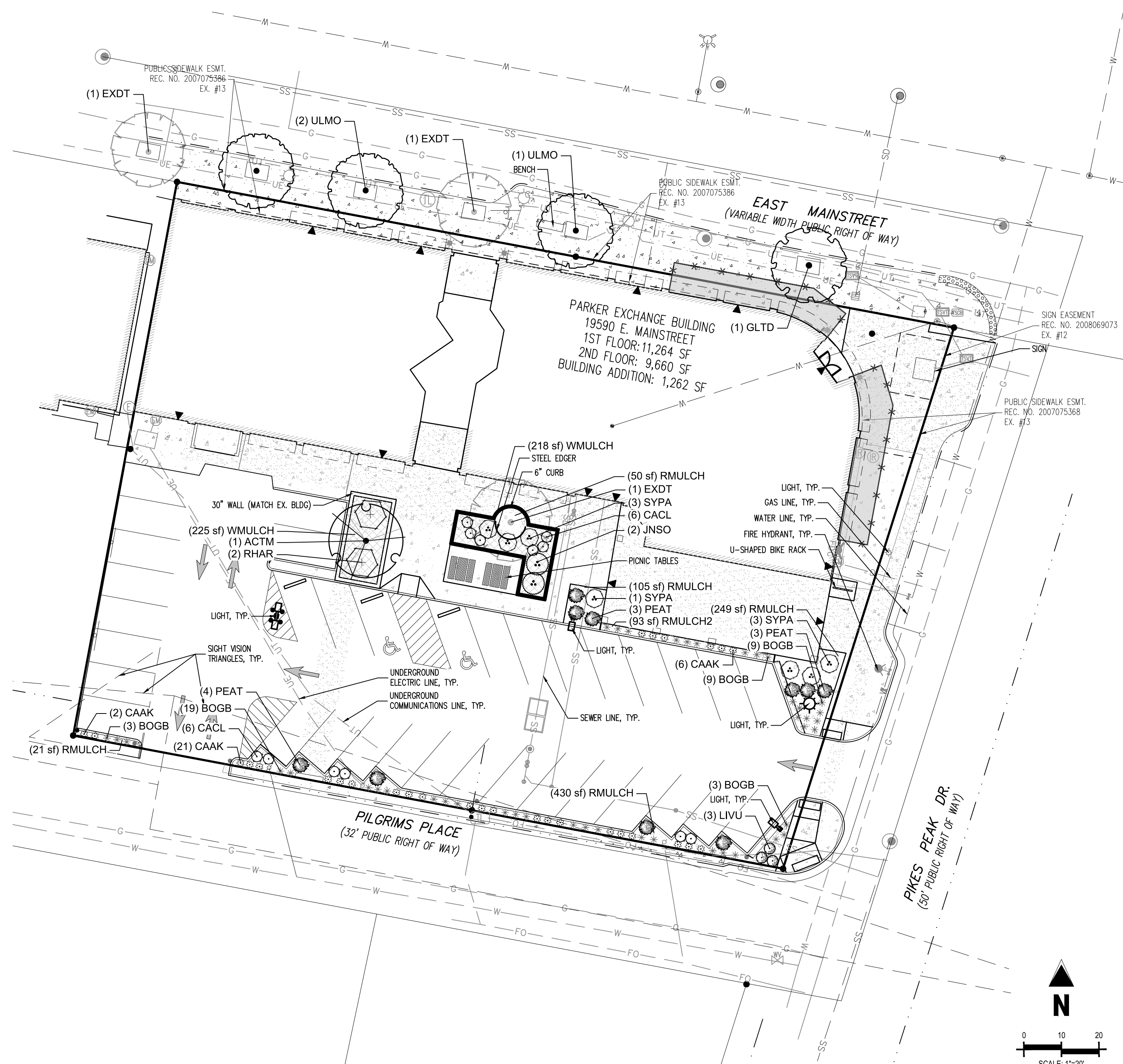
- SITE LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - - - EXISTING EASEMENT LINE
 - △ SITE TRIANGLE
 - - - PROPOSED SAWCUT LINE
 - ▬ PROPOSED CURB AND GUTTER
 - ▬ EXISTING CURB AND GUTTER
 - X — X — X — PROPOSED RAILING
 - ▬ PROPOSED SIDEWALK
 - ▬ PROPOSED PATIO AREA
 - ▬ ADA PATH OF TRAVEL
 - 1 PARKING COUNT
 - EXISTING SIGN
 - PROPOSED SIGN
 - PROPOSED PIPE BOLLARD
 - PROPOSED ADA PARKING SYMBOL
 - PROPOSED WHEEL STOP
 - PROPOSED DETECTABLE WARNING TRUNCATED DOMES
 - △ EXISTING TREE
 - ▼ BUILDING ENTRANCE
- UTILITY LEGEND**
- W — EXISTING WATER LINE
 - W — PROPOSED WATER LINE
 - SS — EXISTING SANITARY SEWER
 - SS — PROPOSED SANITARY SEWER
 - SD — EXISTING STORM SEWER (LESS THAN 12")
 - SD — EXISTING STORM SEWER (12" AND LARGER)
 - SD — PROPOSED STORM SEWER (LESS THAN 12")
 - SD — PROPOSED STORM SEWER (12" AND LARGER)
 - UE — EXISTING UNDERGROUND ELECTRICAL
 - FO — EXISTING FIBER OPTIC LINE
 - UT — EXISTING UNDERGROUND TELEPHONE
 - G — EXISTING GAS LINE
 - ⊙ EXISTING ELECTRIC LIGHT POLE
 - ⊙ PROPOSED SITE LIGHTING
 - ⊙ EXISTING ELECTRIC BOX
 - ⊙ EXISTING PAD MOUNTED TRANSFORMER
 - ⊙ EXISTING FIBER OPTIC PEDESTAL
 - ⊙ EXISTING FIBER OPTIC MANHOLE
 - ⊙ EXISTING FIBER OPTIC PULLBOX
 - ⊙ EXISTING TRAFFIC SIGNAL VAULT
 - ⊙ EXISTING TELEPHONE PEDESTAL
 - ⊙ EXISTING GAS VALVE
 - ⊙ EXISTING SANITARY SEWER MANHOLE
 - ⊙ PROPOSED SANITARY SEWER MANHOLE
 - ⊙ EXISTING SANITARY STORM MANHOLE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING WATER METER
 - ⊙ EXISTING WATER MANHOLE
 - ⊙ PROPOSED FIRE HYDRANT



PREPARED BY:
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CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
TREES									
	ULMO	3	TRIUMPH™ ELM	ULMUS X 'MORTON GLOSSY'	B&B	2" CAL	50' X35'	MODERATE	SUN/PART SHADE
DECIDUOUS TREES									
	GLTD	1	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'	LOW	SUN
ORNAMENTAL TREES									
	ACTM	1	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM	B&B	1.5" CAL	25' X20'	MODERATE	SUN/PART SHADE
EXISTING TREES									
	EXDT	3	EXISTING DECIDUOUS TREE	TO REMAIN	EXISTING				
SYMBOL CODE QTY COMMON NAME BOTANICAL NAME CONT. HT. X SPD. WATER USE LIGHT REQ.									
DECIDUOUS SHRUBS									
	CACL	12	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5 CONT.	3' X3'		VERY LOW	SUN
	LIVU	3	LODENSE PRIVET	LIGUSTRUM VULGARE 'LODENSE'	#5 CONT.	3' X3'		VERY LOW	SUN/PART SHADE
	PEAT	10	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	4' X4'		VERY LOW	SUN
	RHAR	2	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X8'		LOW	SUN
	SYPA	7	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.	5' X5'		VERY LOW	SUN/PART SHADE
EVERGREEN SHRUBS									
	JNSO	3	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	1' X6'		VERY LOW	SUN/PART SHADE
ORNAMENTAL GRASSES									
	BOGB	44	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#1 CONT.	2' X2'		LOW	SUN/PART SHADE
	CAAK	29	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5' X2'		LOW	SUN
SYMBOL CODE QTY COMMON NAME BOTANICAL NAME TYPE									
MULCH									
	RMULCH	855 SF	2"-4" ROCK COBBLE MULCH 3" REQUIRED DEPTH, WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	2"-4" ROCK COBBLE MULCH					
	RMULCH2	93 SF	4"-6" ROCK COBBLE MULCH 3" REQUIRED DEPTH, WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	4"-6" ROCK COBBLE MULCH					
	WMULCH	443 SF	WOOD MULCH 4" REQUIRED DEPTH, DARK BROWN SHREDDED HARDWOOD MULCH	WOOD MULCH					

NOTE: EXISTING IRRIGATION SYSTEM TO BE MODIFIED AS REQUIRED.

LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED
13.06.070 (L)(2) a	MN SITE LANDSCAPING STANDARDS	75% LANDSCAPE AREA VEGETATION COVERAGE	TOTAL LANDSCAPE AREA 843 SF X 0.75	632 SF	674 SF (80% VEGETATION COVERAGE)
13.06.070 (L)(5)	MN SITE LANDSCAPING STANDARDS	1 TREE / 1500 SF NOT COVERED BY BLDG OR REQ. PARKING	843 SF / 1500	1 TREES	1 EXISTING TREES + 1 PROPOSED TREE
13.06.070 (L)(5)	MN SITE LANDSCAPING STANDARDS	5 SHRUBS / 1500 SF NOT COVERED BY BLDG OR REQ. PARKING	6,792 SF / 1500 X 5	23 SHRUBS	110 SHRUBS + GRASSES
13.06.070 (M)	STREETSCAPE LANDSCAPING (E. MAINSTREET)	TREES NO GREATER THAN 40 FT APART	210 LF / 40	5 TREES	4 REPLACEMENT TREES + 1 EXISTING TREES
13.06.070	TOTAL LANDSCAPE/PLAZA AREA	TOTAL SITE AREA x 10% = REQUIRED LANDSCAPE AND PLAZA AREA	30,203 SQ. FT. X 0.1	3,020 SQ. FT. OF REQUIRED LANDSCAPE/ PLAZA AREA	3,340 SQ. FT.
13.06.070 (C) 5	PARKING LOT PERIMETER ADJACENT TO SITES WITH SIMILAR USES	8' MN. LANDSCAPE BUFFER	8' MN. LANDSCAPE BUFFER	8' MN. LANDSCAPE BUFFER	1.5' BUFFER* 48 GRASSES AND 13 SHRUBS
13.06.070B	SITE PERIMETER (PKES PREAK DR.) (ADJACENT TO NONRESIDENTIAL USE)	1 TREES AND 5 SHRUBS FOR EACH 40 LF OF EDGE	1511 / 40 1511 / 40.5	4 TREES 19 SHRUBS	0 TREES* 9 SHRUBS AND 12 GRASSES
13.06.070B	SITE PERIMETER (PILGRIMS PLACE) (ADJACENT TO NONRESIDENTIAL USE)	1 TREES AND 5 SHRUBS FOR EACH 40 LF OF EDGE	191 / 40 191 / 40.5	5 TREES 24 SHRUBS	0 TREES* 45 GRASSES AND 10 SHRUBS
13.06.070 (P)(2)	INTERNAL PARKING LOT LANDSCAPING	10% OF PARKING ALLOCATED TO LANDSCAPE ISLANDS	10,734 SF OF PARKING LOT AREA X 0.10	1,073 SF	1,020 SF*

*WE ARE UNABLE TO PROVIDE THE REQUIRED AMOUNT DUE TO THE NATURE OF THIS PROJECT BEING A RENOVATION

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



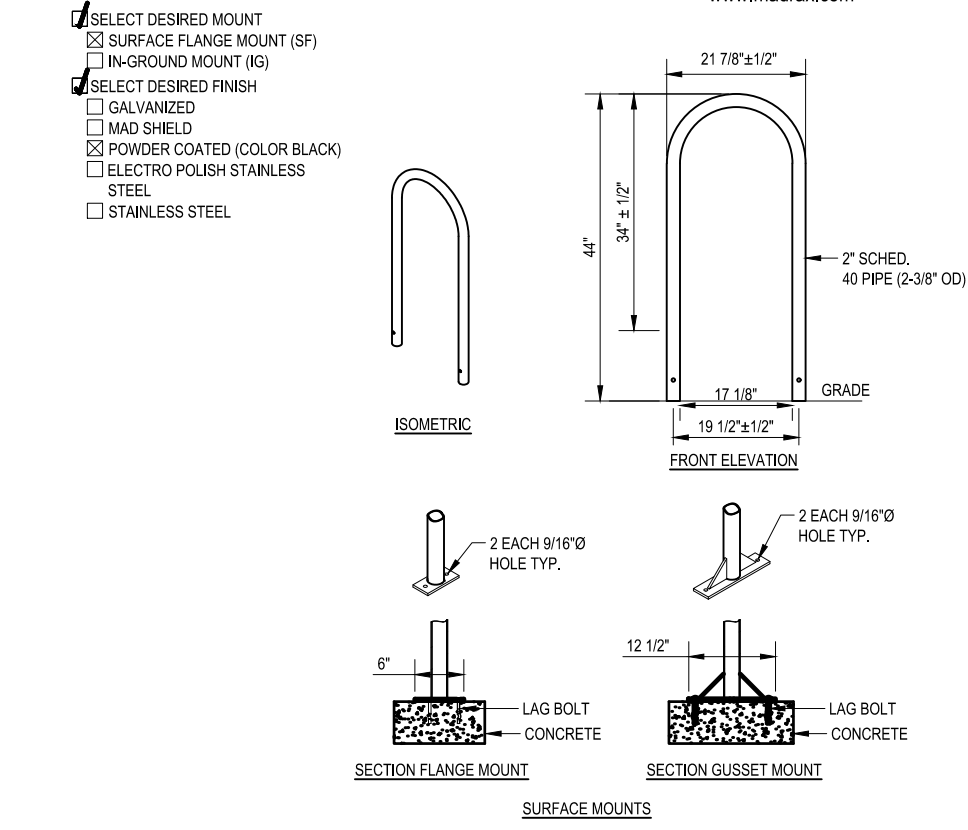
Know what's below.
Call before you dig.

PREPARED BY:
Galloway

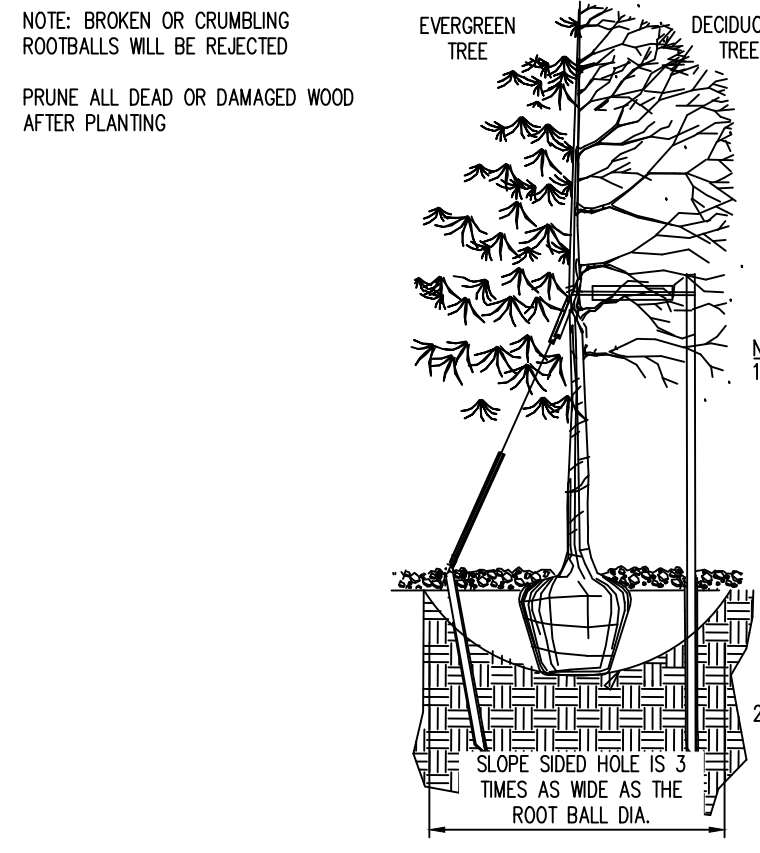
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EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

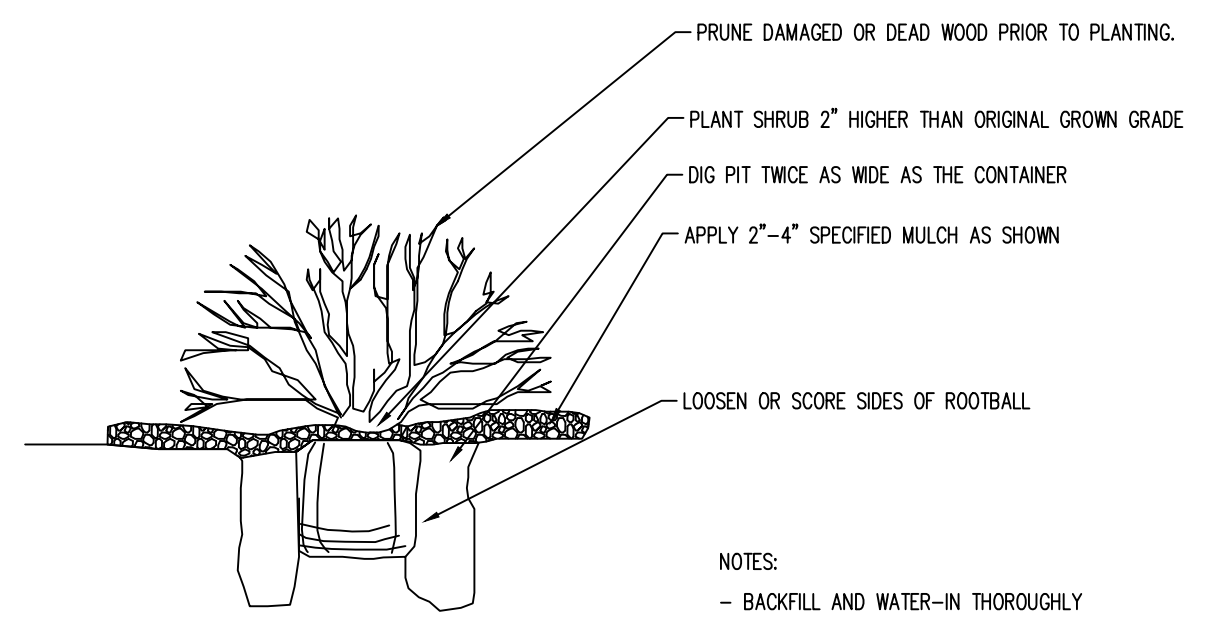
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1950 E MAIN STREET



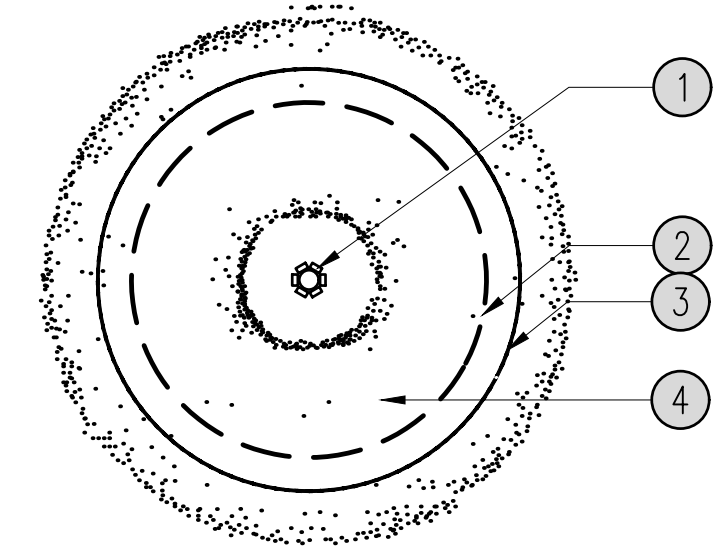
- SELECT DESIRED MOUNT
 SURFACE FLANGE MOUNT (SF)
 IN-GROUND MOUNT (IG)
 SELECT DESIRED FINISH
 GALVANNEZ
 MAD SHIELD
 POWDER COATED (COLOR/BLACK)
 ELECTRO POLISH STAINLESS STEEL
 STAINLESS STEEL
- NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. CONSULTANT TO SELECT COLOR/FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 4. SEE SITE PLAN FOR LOCATION OF CONSULTANT DRAWER.
 5. OR APPROVED EQUAL MAY BE USED



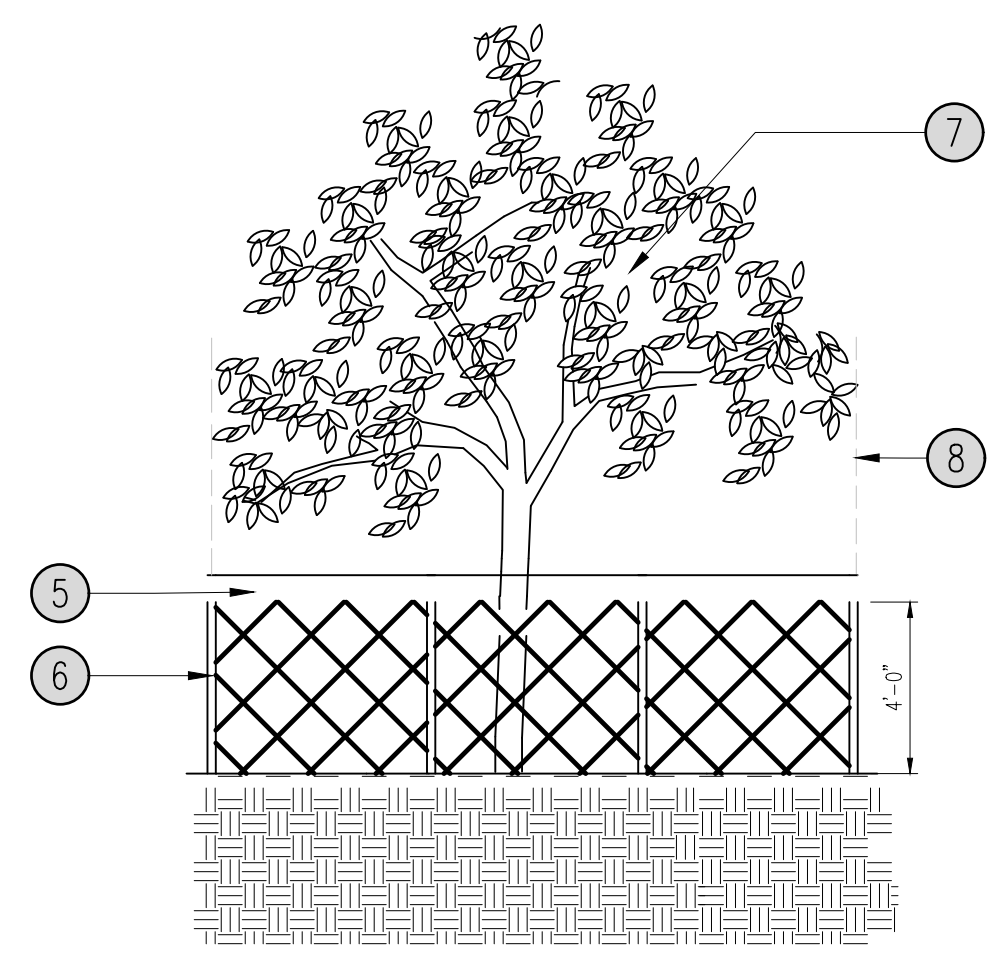
- NOTES:
 1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSELY AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
 2. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
 3. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL WAX ON TES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.



- NOTES:
 - BACKFILL AND WATER-IN THOROUGHLY
 - BROKEN ROOTBALLS WILL BE REJECTED



1. TRUNK PROTECTION BOARDS MIN. 2" THICK. BENEATH BOARDS ARE 3-4 LAYERS OF BURLAP AROUND TRUNK. THE BOARDS SECURELY AT TOP, BOTTOM & CENTER WITH HEAVY DUTY CORD, WIRE, OR CABLE CHAINERS.
 2. OUTLINE OF TREE CROWN (EDGE OF DRIFLINE) CORRESPONDS WITH ROOT SPREAD.
 3. CONSTRUCTION FENCING (MIN. 4' HEIGHT)
 4. WOOD MULCH - SEE MULCH
 5. PLASTIC ORANGE CONSTRUCTION FENCE TIED TO T-POST
 6. T-POST AT 8'-0" O.C. (TYP.)
 7. EXISTING TREE
 8. DRIFLINE



4. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
 5. STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
 6. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.
 7. RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

1 TOWN OF PARKER TREE PLANTING N.T.S.

2 TOWN OF PARKER SHRUB PLANTING STANDARD N.T.S.

3 TREE PROTECTION DETAIL N.T.S.

4 U-BIKE RACK, SURFACE MOUNT N.T.S.

PLANTING NOTES

- GENERAL
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
 - ALL CHANGES TO THE APPROVED LANDSCAPE PLAN MUST FIRST BE APPROVED BY THE TOWN OF PARKER PLANNING DEPARTMENT.
- FINISH GRADING AND SOIL PREPARATION
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING

- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY

OF PLANT MATERIAL.

- ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO T-STAKES SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: BLACK.
- THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE: MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING

- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3' DIA.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- GEOTEXTILE FABRIC IS REQUIRED FOR ALL SHRUB AND ORNAMENTAL GRASS BEDS. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL PLANTING BEDS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

TREE PROTECTION NOTES:

- USE TOWN OF PARKER TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
- "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE. GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIFLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIFLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIFLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
 - EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
 - TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
 - WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
 - WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
- POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
- PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS:
 - REMOVE ALL DEAD WOOD.
 - PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPLING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
 - FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
 - ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
 - IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
 - SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARDS. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.

LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:

- NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 6'-10" FROM THE TRUNK.
- WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE. ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE, SPACED FAR APART WHERE CLOSE TO THE TREE. PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

PREPARED BY:

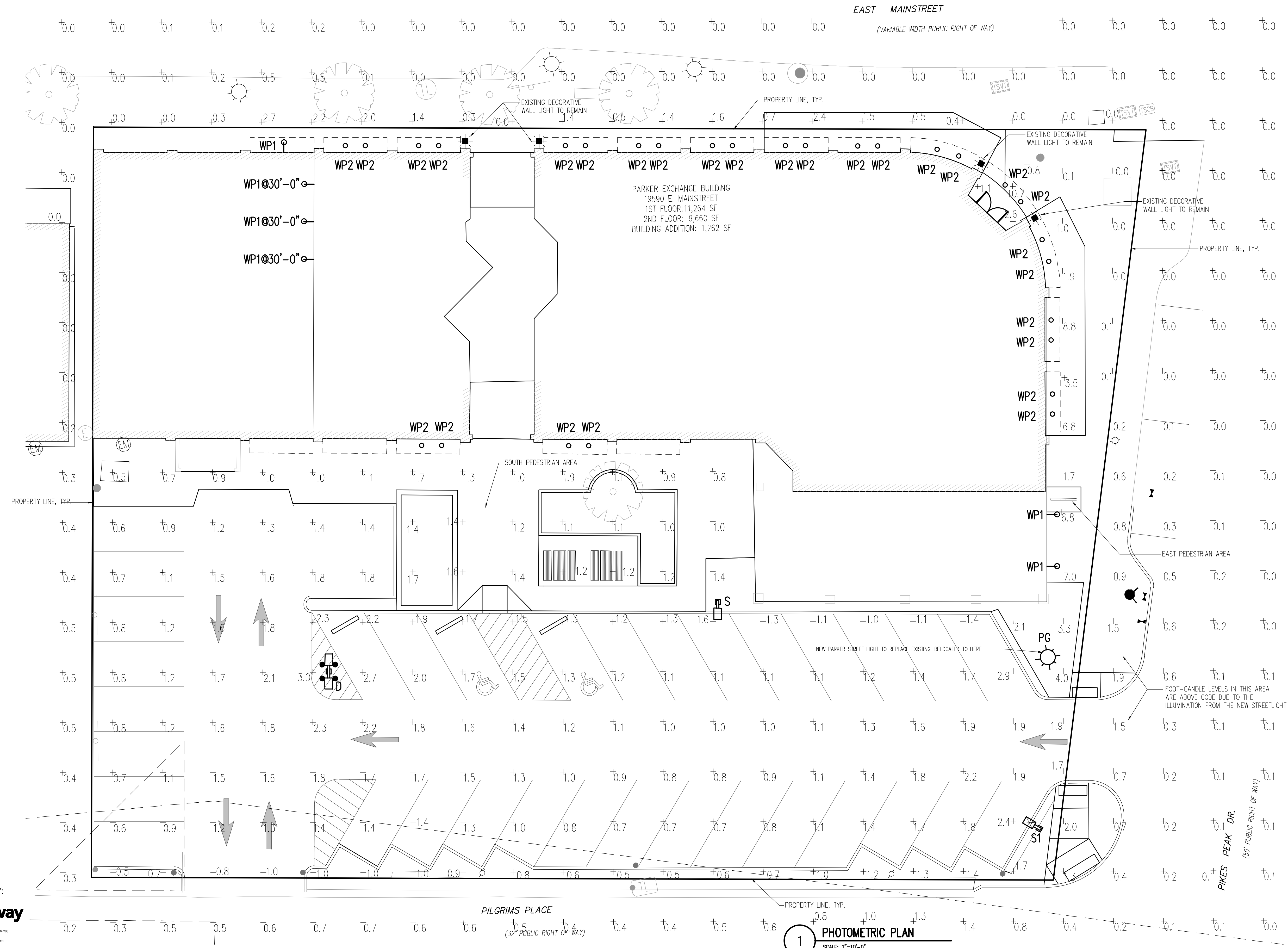
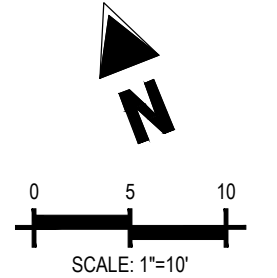


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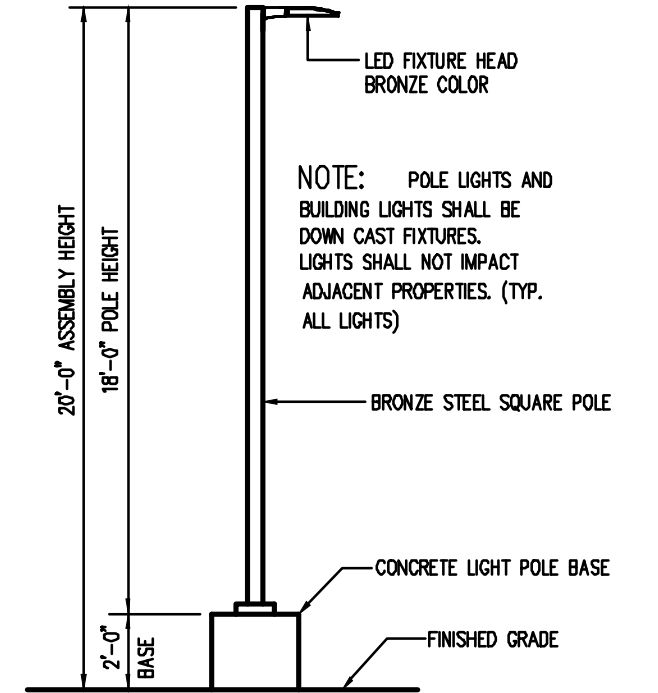
LANDSCAPE DETAILS

EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



PARKER EXCHANGE BUILDING
19590 E. MAINSTREET
1ST FLOOR: 11,264 SF
2ND FLOOR: 9,660 SF
BUILDING ADDITION: 1,262 SF



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING AREA	FC	1.41	3.0	0.6	2.35 to 1	5.00 to 1
SOUTH PEDESTRIAN AREA	FC	1.18	1.9	0.5	2.36 to 1	3.80 to 1
EAST PEDESTRIAN AREA	FC	3.45	7.0	1.3	2.65 to 1	5.38 to 1

LUMINAIRE SCHEDULE				
MARK	QTY	LABEL	MOUNTING	COLOR
WP1	1	S	20' POLE	BRONZE
WP2	1	S1	20' POLE	BRONZE
PG	1	D	20' POLE	BRONZE
WP1	6	WP1	10'-4" WALL	BLACK
WP2	28	WP2	10'-4" WALL	BLACK
PG	1	PG	9' POLE	BLACK

REFER TO SHEET 6-PHOTOMETRIC DETAILS FOR MANUFACTURER CUT SHEETS AND EXPANDED LUMINAIRE SCHEDULE

PREPARED BY:
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Greenwood Village, CO 80111
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1 PHOTOMETRIC PLAN
SCALE: 1"=10'-0"

EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
1950 E MAIN STREET

Project	Catalog #	Type	S.S.I. & D
Prepared by	Notes	Date	



McGraw-Edison GALN Galleon II

Area / Site Luminaire

Product Features



Interactive Menu

- Ordering Information page 2
- Mounting Details page 2
- Optical Specifications page 3
- Product Specifications page 3
- Energy and Performance Data page 6
- Control Options page 16

Product Certifications



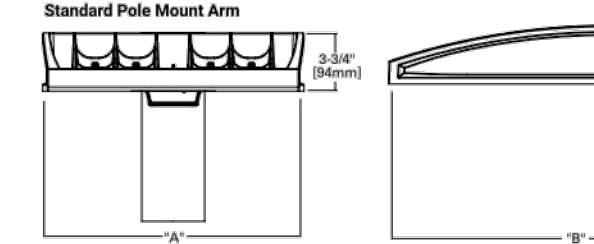
Quick Facts

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

Connected Systems

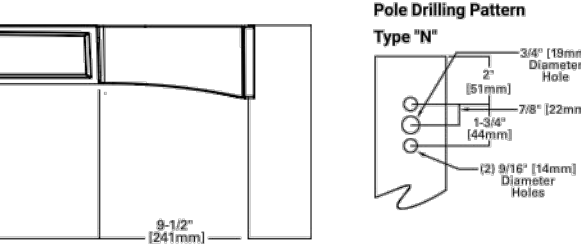
- WaveLux Lite
- WaveLux

Dimensional Details



Number of Light Spacings	Width 'X'	Hanging Length 'Y'	Weight with Standard or O.M. Arm	IPA with Standard or O.M. Arm
1-4	16"	22"	29 lb	0.55
5-6	22"	22"	39 lb	0.55
7-9	22"	28-1/8"	48 lb	1.1

Pole Drilling Pattern



McGraw-Edison GALN Galleon II

Ordering Information

SAMPLE NUMBER: GALN-SAC-740-U-T4FT-GM

Product Family 1	Light Engine	Color	Voltage	Distribution	Mounting	Finish
MAX-CHEM-COOL-10	MAX-CHEM-COOL-10	MAX-CHEM-COOL-10	MAX-CHEM-COOL-10	MAX-CHEM-COOL-10	MAX-CHEM-COOL-10	MAX-CHEM-COOL-10

Options (Add as Suffix)

Options (Add as Suffix)	Controls and System Options (Add as Suffix)	Accessories (Other Options)**
DM-Kernal 6.0W Dimming LED**	DM-Kernal 6.0W Dimming LED**	DM-Kernal 6.0W Dimming LED**

Notes	Notes	Notes
1. Luminaire is responsible for providing accurate product data and is not responsible for its application. Refer to the user manual for detailed application information.	1. Luminaire is responsible for providing accurate product data and is not responsible for its application. Refer to the user manual for detailed application information.	1. Luminaire is responsible for providing accurate product data and is not responsible for its application. Refer to the user manual for detailed application information.

Luminaire Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L-Lensless Technology	L-Lensless Technology	L-Lensless Technology

THE ORIGINAL™ INTEGRATED LED SERIES

Order Example: BLE - G - WHS16 - 600 - G22 - NA - ACR - 600 - NA - LED18 - 2700K - DL

BLE - G	- WHS16	- 600	- G22	- NA	- ACR	- 600	- NA	- LED18	- 2700K	- DL
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A	B	C	D	E	F	G
NA	- NA	- LED16	- 4000K	- FL		

A - MOUNTING STYLE

C	Cord Hung	790
CH	Chain Hung	800
F	Flush Mount	805
G	Goose-neck	810
S	Stem Mount	975

B - SHADE FINISH

THE ORIGINAL™	995
WHS14	996
WHS20	997
WHS15	998
WHS16	999

C - SHADE FINISH (CONTINUED)

POWDER COAT FINISHES:	995
RAW COPPER	996
WEATHERED BRASS	997
WEATHERED COPPER	998
OIL-RUBBED COPPER	999

D - MOUNTING (CONTINUED)

STEM MOUNT OPTIONS:	ST806
5" STEM MOUNT, 6"	ST818
5" STEM MOUNT, 12"	ST830
5" STEM MOUNT, 24"	ST842
5" STEM MOUNT, 36"	ST854
5" STEM MOUNT, 48"	ST866
5" STEM MOUNT, 60"	ST878
5" STEM MOUNT, 72"	ST890
5" STEM MOUNT, 84"	ST902
5" STEM MOUNT, 96"	ST914

E - MOUNTING FINISH

BRUSHED ALUMINUM	960
BRUSHED ALUMINUM	961
BRUSHED ALUMINUM	962
BRUSHED ALUMINUM	963
BRUSHED ALUMINUM	964

F - COBDS*

NA	Not Applicable
NA	Not Applicable
NA	Not Applicable
NA	Not Applicable
NA	Not Applicable

G - SHADE ACCESSORIES

NA	None
WC	Wet Cap**
ACR	Acrylic Diffuser*

H - SHADE ACCESSORY FINISH

NA	Not Applicable
NA	Not Applicable
NA	Not Applicable
NA	Not Applicable
NA	Not Applicable

COOPER Lighting Solutions

PERFORMANCE page 1 August 23, 2023 4:03 PM

COOPER Lighting Solutions

PERFORMANCE page 2 August 23, 2023 4:03 PM

VISION-3 LIGHTING

Job: MR16 Staff Light MODEL PA11 Type: WP2

12V 7.5W, 12/24V 6W, or 12V 10W LED

Specifications

Material: Available in machined 6061-T6 aluminum or CH90D brass. All hardware is 304 stainless steel.

Head: Machined head comes in two styles: Side Mount and Rear Mount. (See Illustration for mounting capability of each head style.)

Stem: 1" diameter machined stem comes in various stem lengths. Maximum allowable stem length depends on most options (see Ordering Information). Stem type and installation manner may limit safe stem length further. To prevent future mounting issues, these factors must be taken into account when choosing stem length or mount type.

Knuckle: Machined knuckle allows for a full range of aiming positions. Double leg design (U.S. Patent #6,968,679) allows fixture to hold position during aiming and comes in a solid back when fully aimed. Integrated LED models have a machined aluminum side rail to prevent water entry into knuckle. Available Backset and Lock option (U.S. Patent #7,108,485 & #7,145,553 allows for full 360° horizontal aiming and locking).

Cap: Machined caps lock in place with one 1/8" diameter set screw, and are sealed to the body with a high temperature silicone O-ring. Register Lense cap have drain holes for water drainage from top of lens if mounted in the up position. "Flush Lens" cap utilizes neoprene to help reduce the collection of water and debris on the lens. All caps accept up to three internal accessories, held in place by a stainless steel clip.

Finish: IGC® therm-set polyester powder coat paint available in 14 standard colors. On aluminum models, finish is applied over a corrosion resistant, hex-coated aluminum base. RoHS compliant coating. Aluminum model available in use.

Additional metal finish: Clear Anodized. Brass model available in three additional metal finishes: Natural, Polished, and Aged.

Lens: Tempered, clear lens, secured to cap with a high temperature, UV-curing, silicone adhesive.

Socket: CV-4.5 porcelain socket with 600V, 250°C, PTFE coated 1/2" gap.

Lamps: MR16 Halogen, 12V hi-volt up to 50W (maximum allowable wattage for this model) and application. See Certification heading.

Integrated LED: 12-12V AC/DC (9V) (100lm) or 12V AC/DC (10W) (700lm) LED options include integral driver with high-volt or low-volt (120V/200V) or 90V/130V (10W) halogen equivalent output.

LED: MR16 LED, 12V 7.5W (option) hi-volt remote base™ MR16 LED lamp with specialty engineered head rail mount to ensure proper heat transfer to body. Note: Remote LED will overheat without supplied heat sink mount.

Certification: CMA tested & certified to US and Canadian safety standards for the following applications (except for 240V option):

UL: Listed for use in the following applications (except for 240V option):

UL: Listed for use in the following applications (except for 240V option):

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UL: Listed for use in the following applications (except for 240V option):

UL: Listed for use in the following applications (except for 240V option):

UL: Listed for use in the following applications (except for 240V option):

Parker Five Globe Lights

Type: PG

All Parker Five Globe Lights are to have the outlet located on the base for use to light the median trees during the Holiday Season.

Model

Niland (mfr), VP-103-TF-9.2-VP4-5C-3012-TRWP-GFI-IUC

Placement

Locate one (1) "Parker Globe Light" every 100-150 linear feet within median planter beds on all arterial roadways. All other medians are subject to design review. These standards may not pertain to master-planned communities. A determination on applicability will be made during the design review process.

Proximity to Trees

Trees shall not be located within fifteen (15) feet of any light measured from the center of the tree (Figure 1). Trees adjacent to lights (but beyond fifteen (15) feet) shall be deciduous shade trees only. Ornamental trees are not allowed next to lights because they block visibility of the light.

Placement within Median

Utilities, electrical lines, and light poles in medians are to be placed at the edges to allow for tree planting.

CONTRACTOR TO ORDER FROM TOWN OF PARKER

MOUNTING DETAIL-FIXTURE WP2

SCALE: NOT TO SCALE

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LUMINAIRE SCHEDULE

* S, S.I. & D FIXTURES MOUNTED ON 18' POLE WITH 2" CONCRETE BASE, TOTAL HEIGHT 20'-0"

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* S, S.I. & D FIXTURES MOUNTED ON 18' POLE WITH 2" CONCRETE BASE, TOTAL HEIGHT 20'-0"

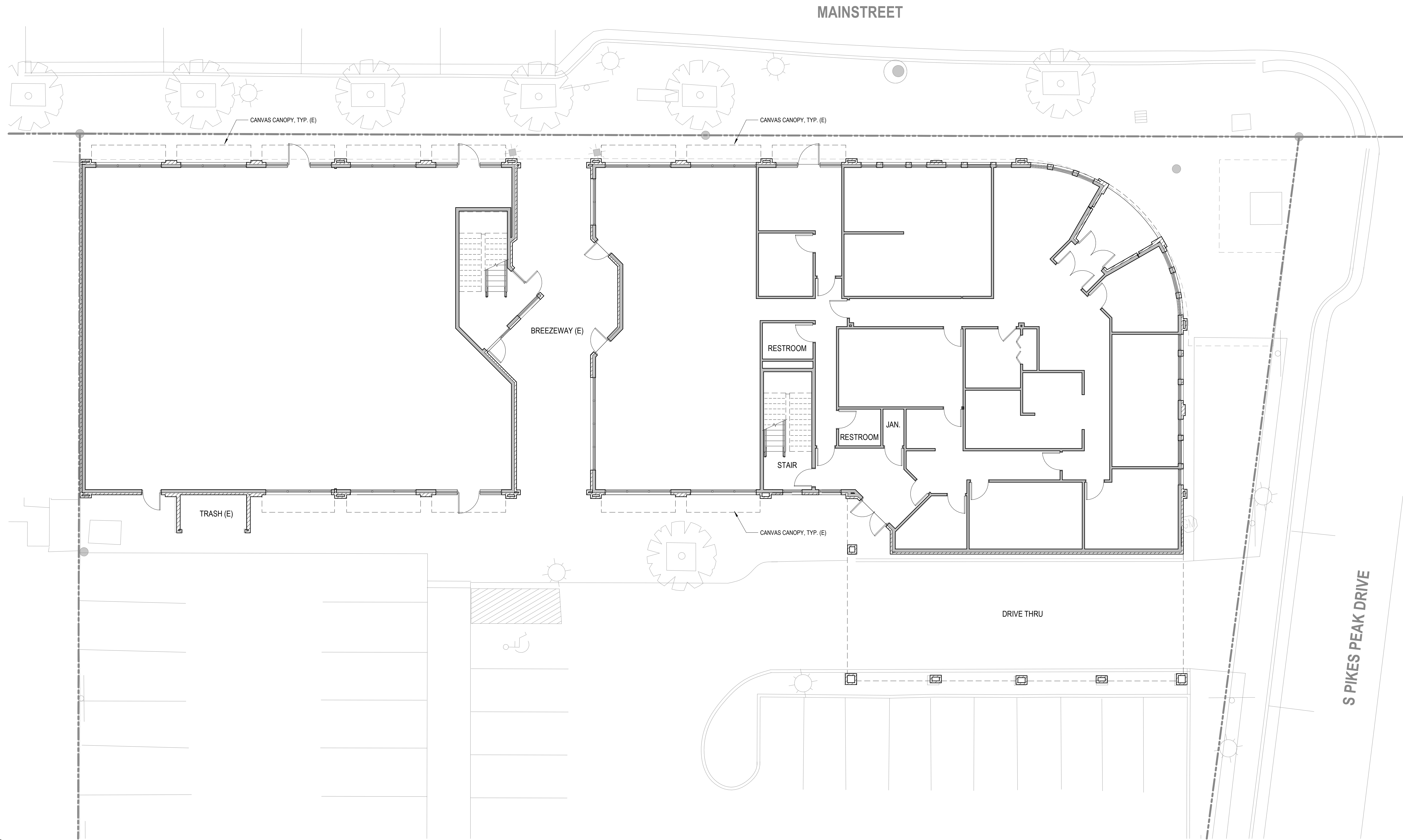
* S, S.I. & D FIXTURES MOUNTED ON 18' POLE WITH 2" CONCRETE BASE, TOTAL HEIGHT 20'-0"

* S, S.I. & D FIXTURES MOUNTED ON 18' POLE WITH 2" CONCRETE BASE, TOTAL HEIGHT 20'-0"

* S, S.I. & D FIXTURES MOUNTED ON 18' POLE WITH

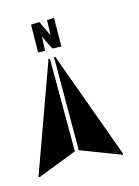
PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



PREPARED BY:
Galloway
1500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884 • galloway@gb.com

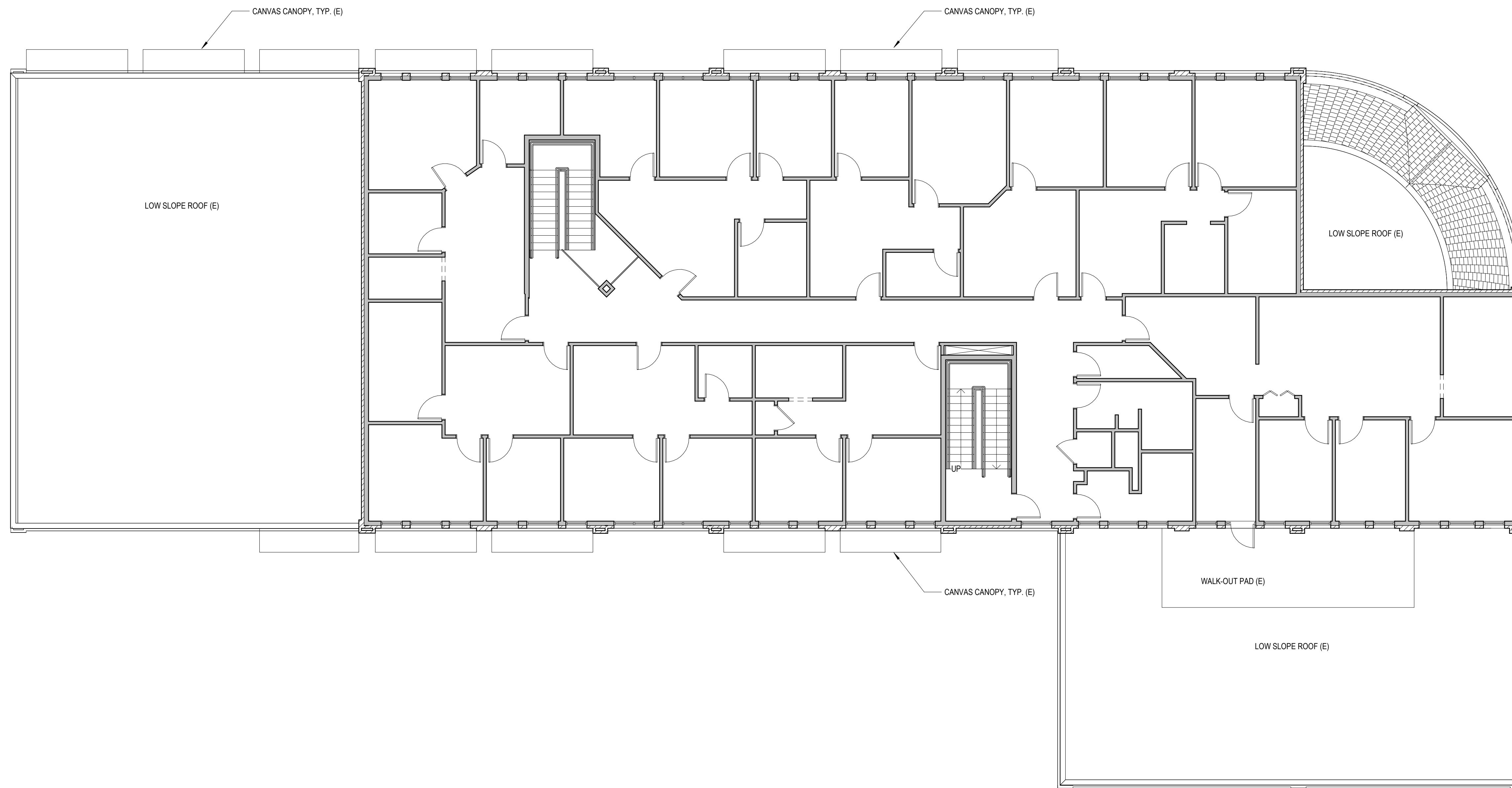
1 EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - EXISTING CONDITIONS

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



PREPARED BY:

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884 • galloway@aol.com

1 EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



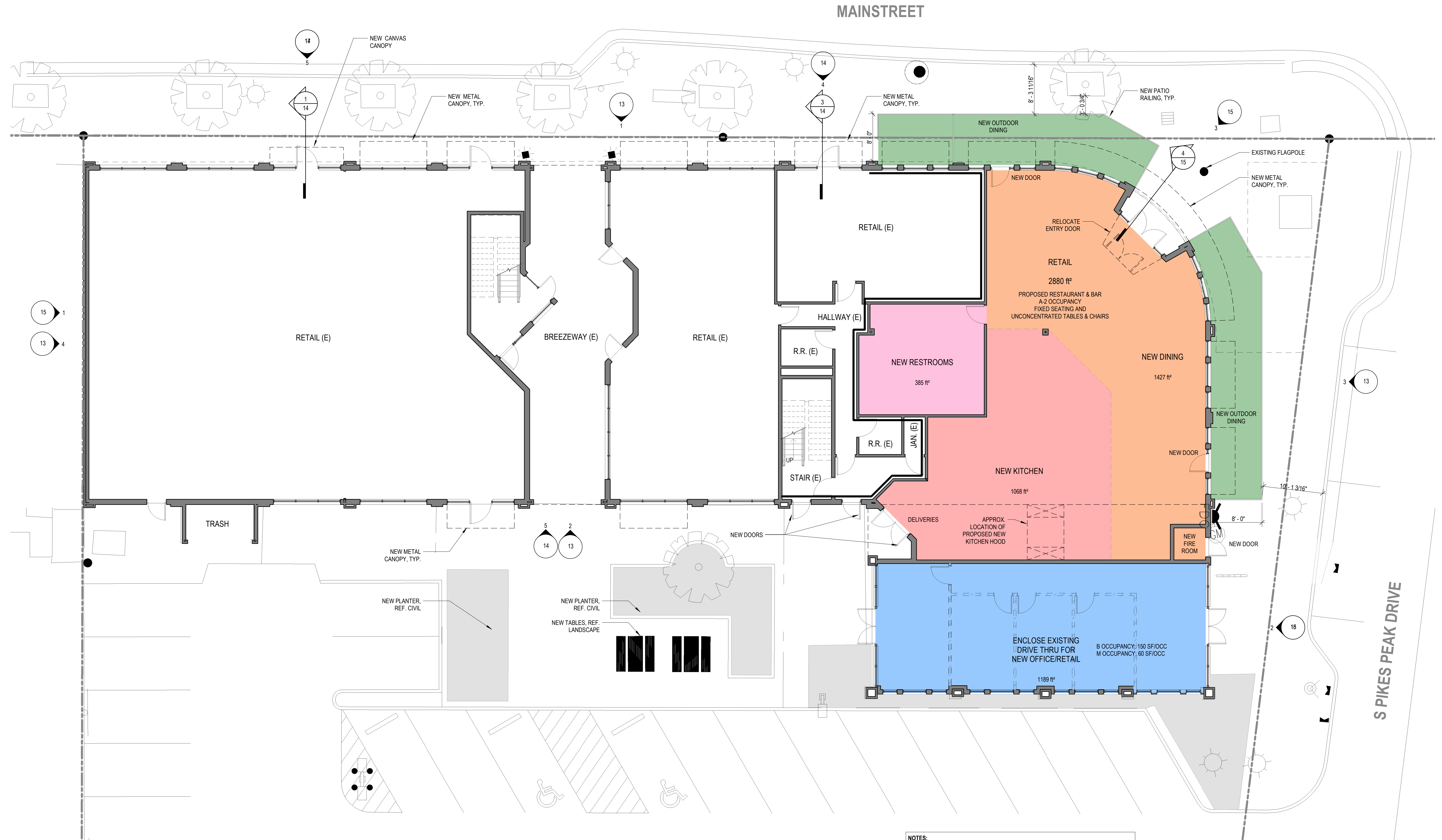
SECOND FLOOR PLAN - EXISTING CONDITIONS

9

9 OF 16

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
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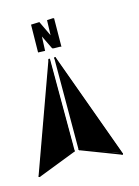
NOTES:

- NEW KITCHEN REQUIRES GRILL EXHAUST HOOD AND GREASE INTERCEPTOR
- NEW AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED FOR RESTAURANT/BAR OCCUPANCY. REQUEST SPRINKLER INFRASTRUCTURE TO BE SIZED FOR ENTIRE BUILDING AND ALLOWED TO BE EXTENDED FROM RESTAURANT TO EXISTING BUILDING IN PHASES AS TENANT IMPROVEMENTS OCCUR IN THE FUTURE.
- REFERENCE CIVIL DRAWINGS FOR FULL SITE PLAND AND IMPROVEMENTS

FIRST FLOOR PLAN - PROPOSED CONSTRUCTION

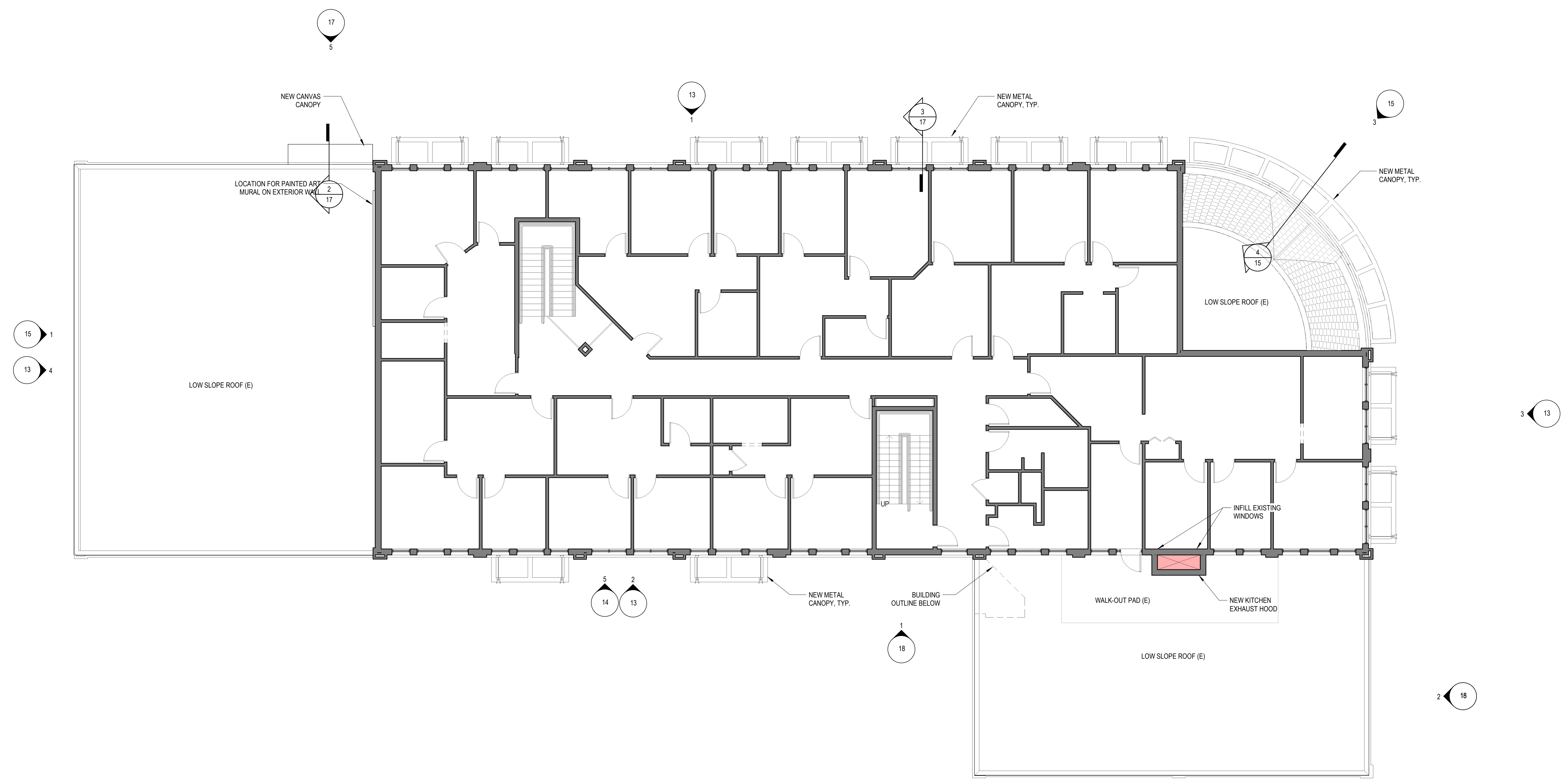
PREPARED BY:
Galloway
5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8888 • galloway@gf.com

1 CONCEPTUAL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



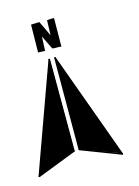
PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

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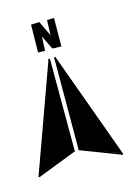
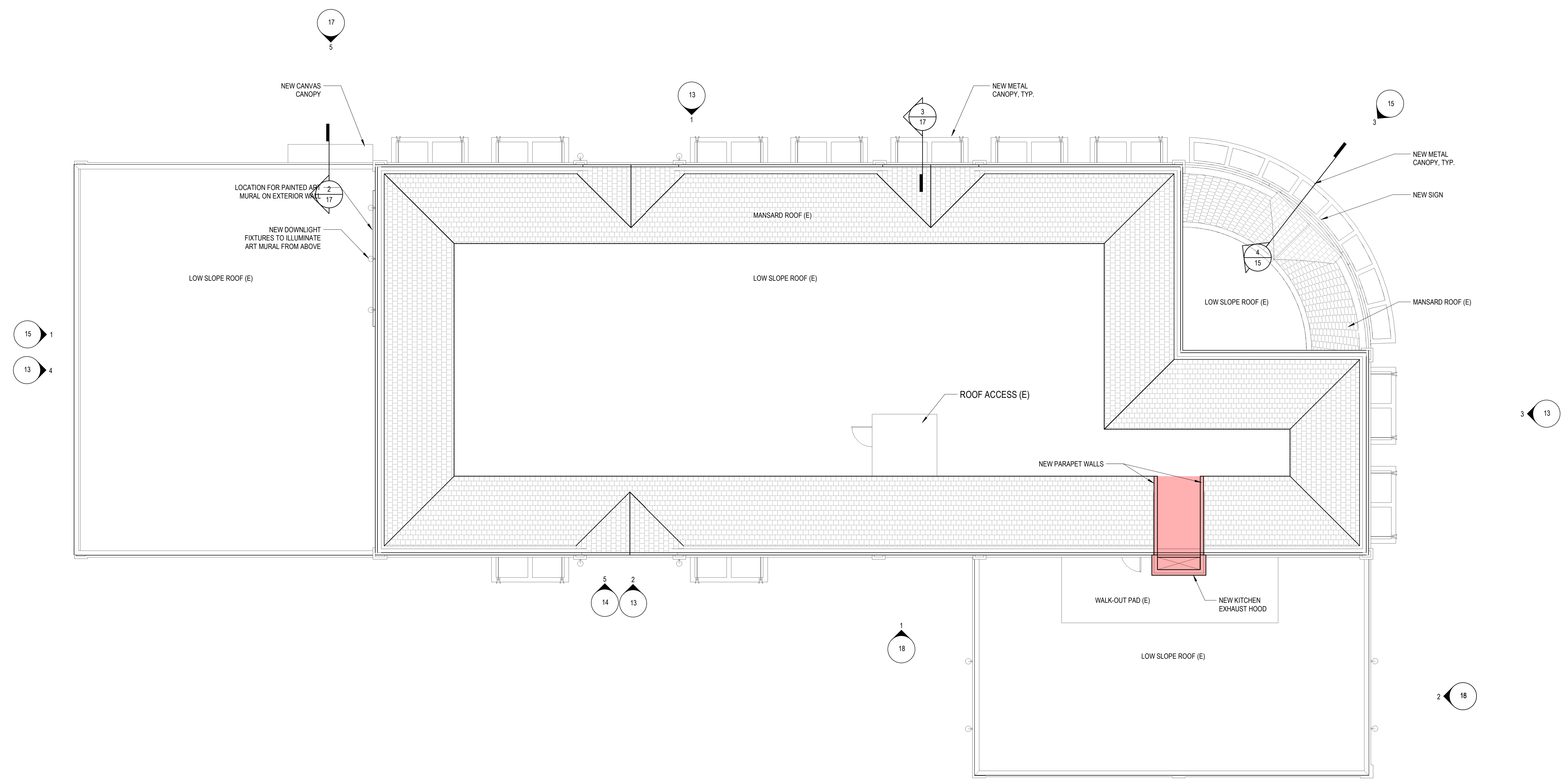
1 CONCEPTUAL SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN - PROPOSED CONSTRUCTION
11
11 OF 16

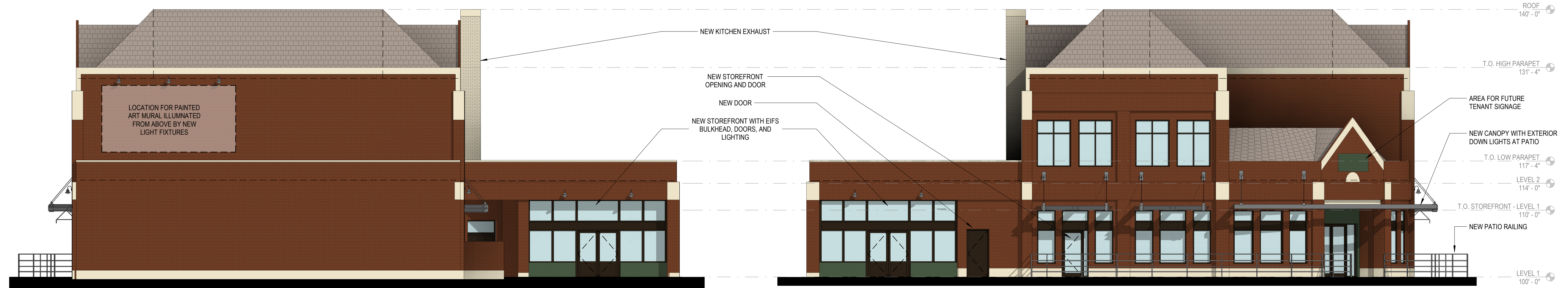
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CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

3 EAST ELEVATION (PIKES PEAK DRIVE)
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION (PILGRIMS PLACE)
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION (MAINSTREET)
SCALE: 1/8" = 1'-0"

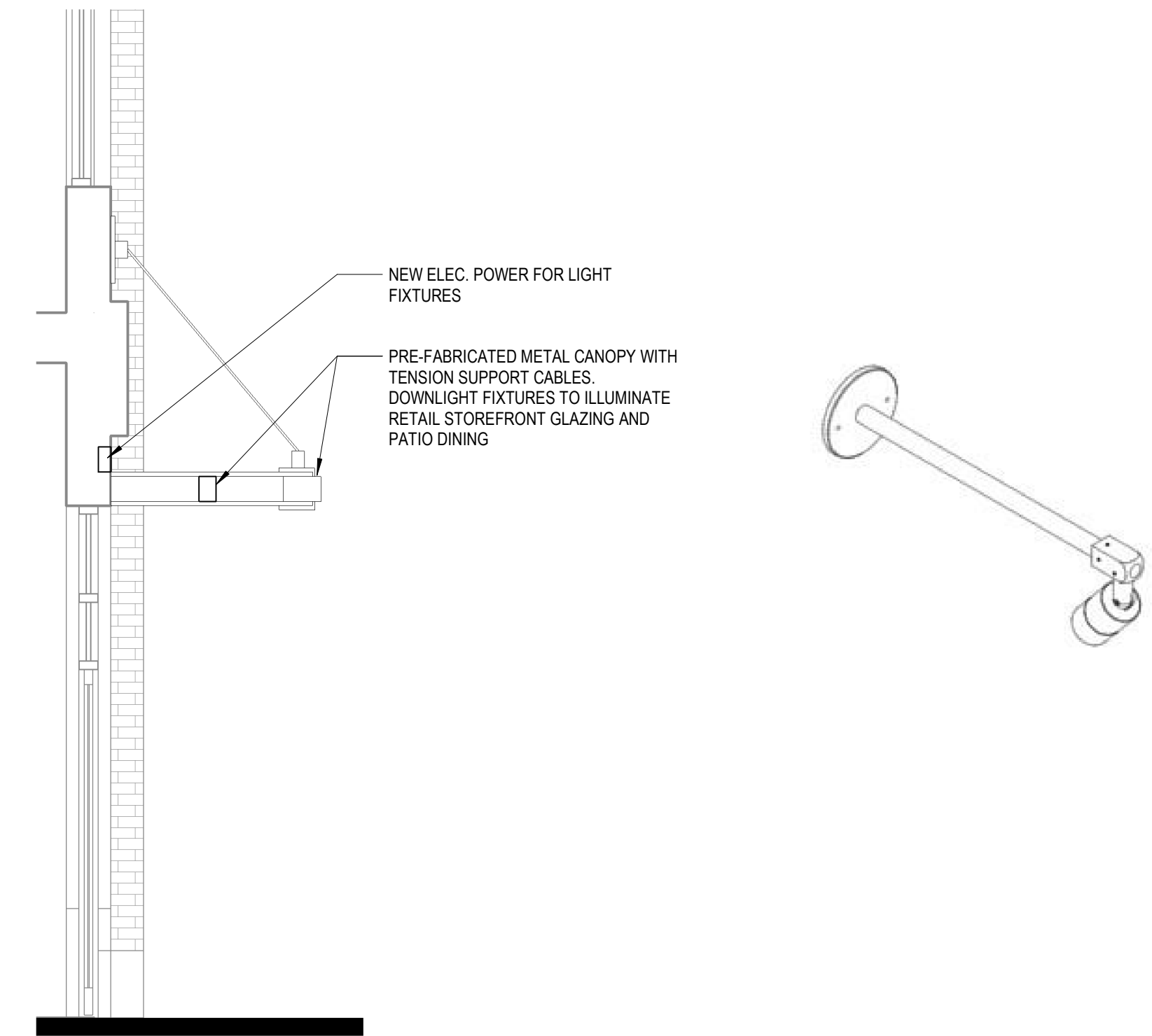
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PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

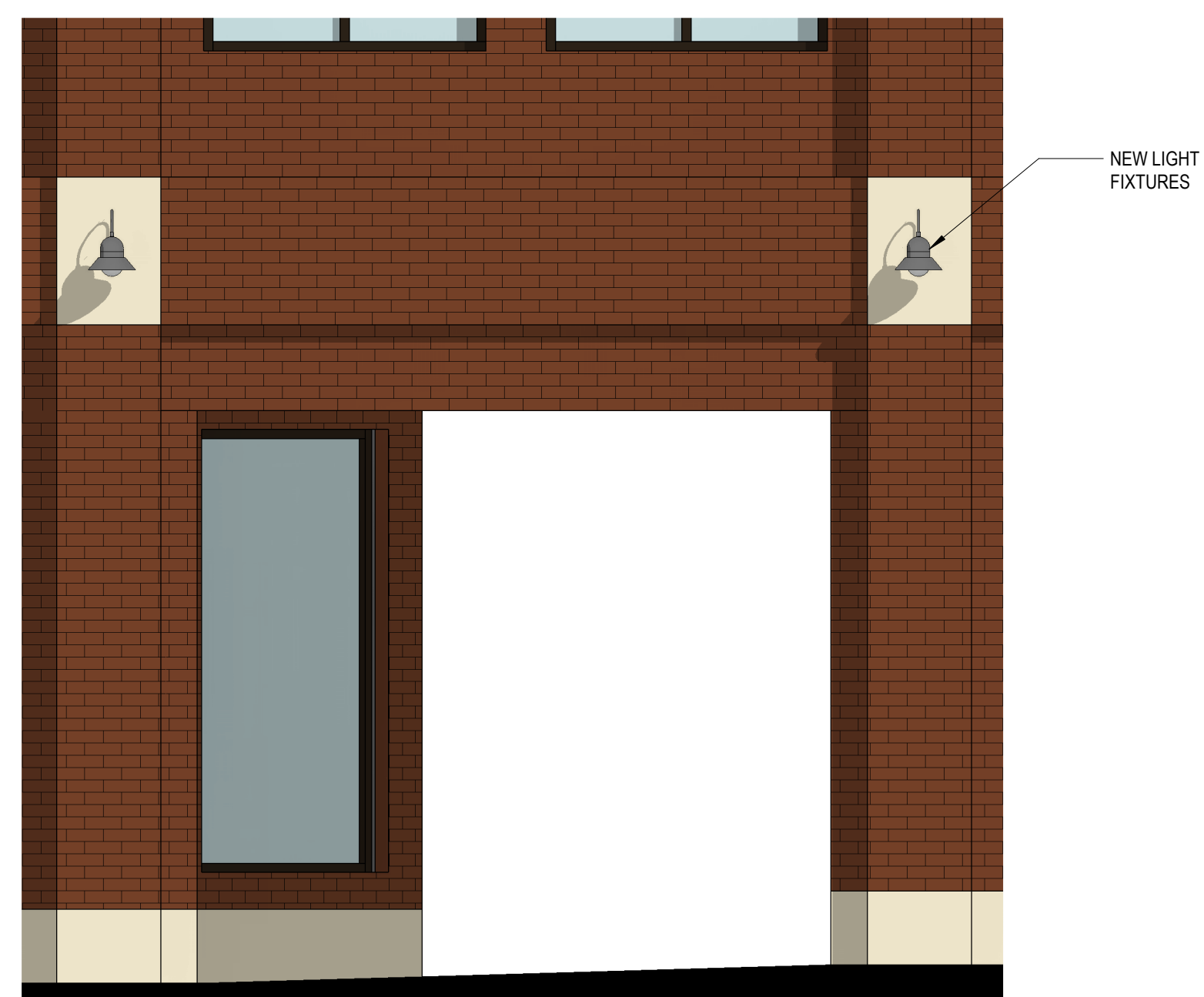
LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
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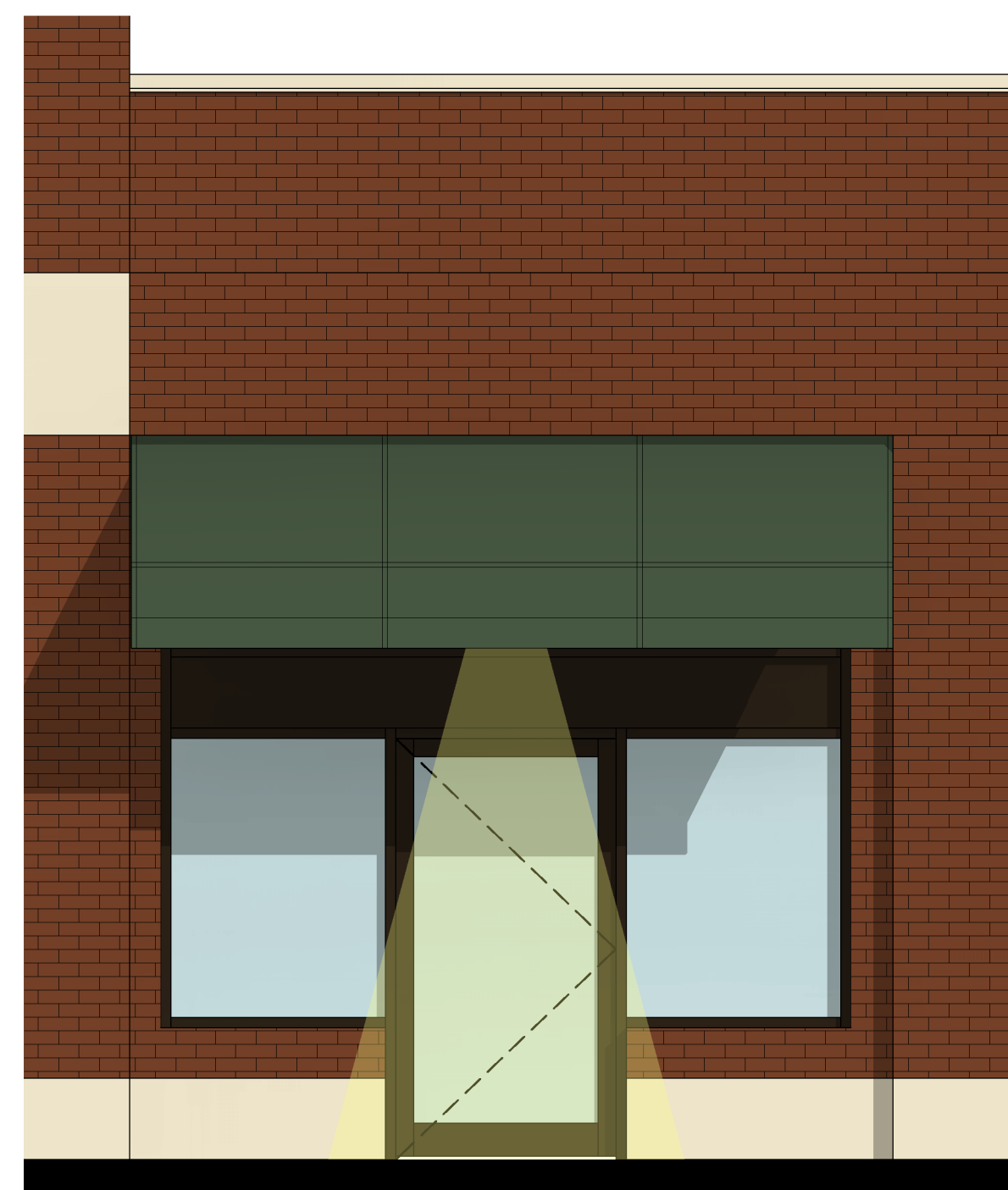
4 PROPOSED NEW STOREFRONT
SCALE: 3/8" = 1'-0"



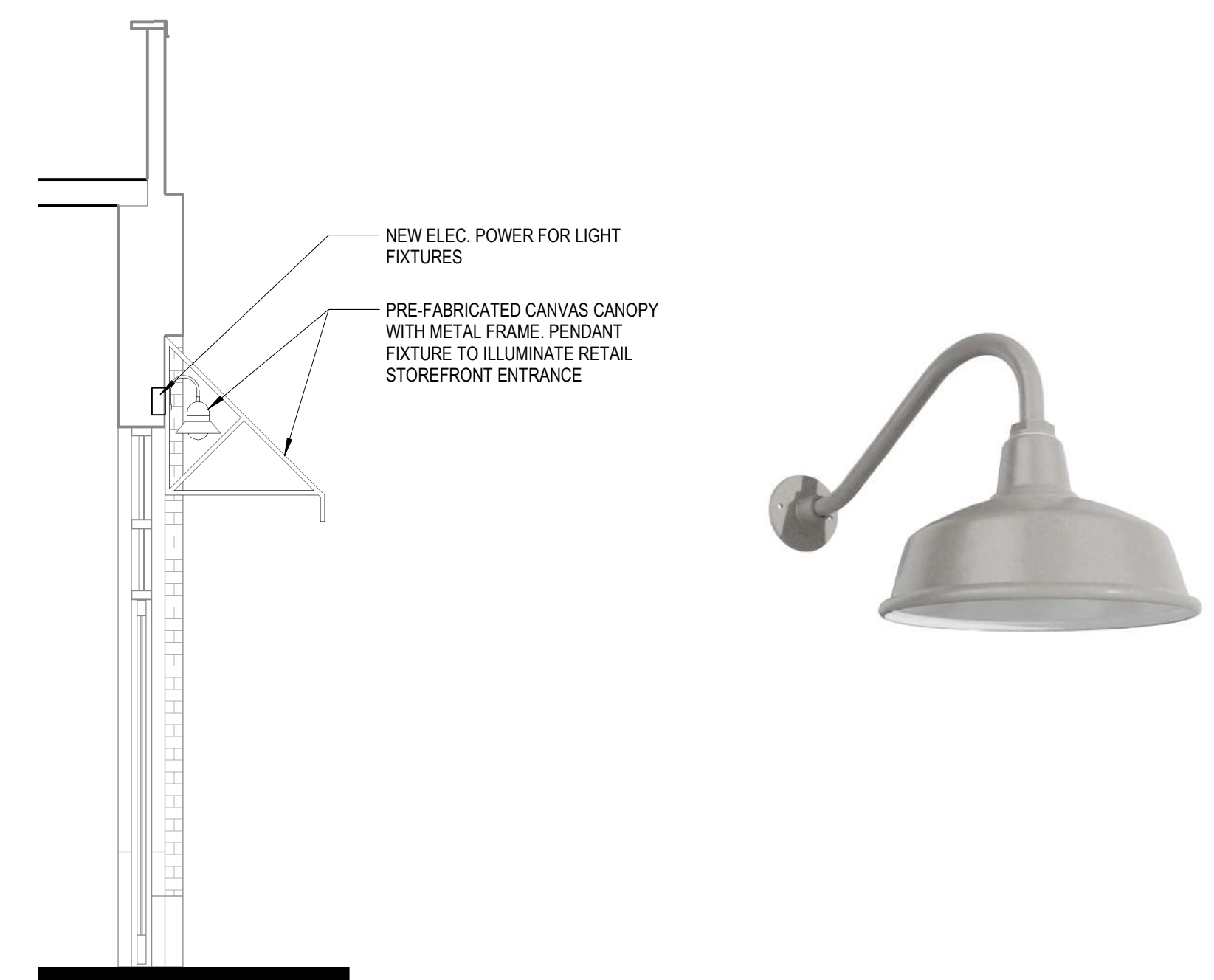
3 WALL SECTION @ METAL CANOPY
SCALE: 3/8" = 1'-0"



5 PROPOSED BREEZEWAY SURROUND
SCALE: 3/8" = 1'-0"



2 PROPOSED RETAIL STOREFRONT
SCALE: 3/8" = 1'-0"



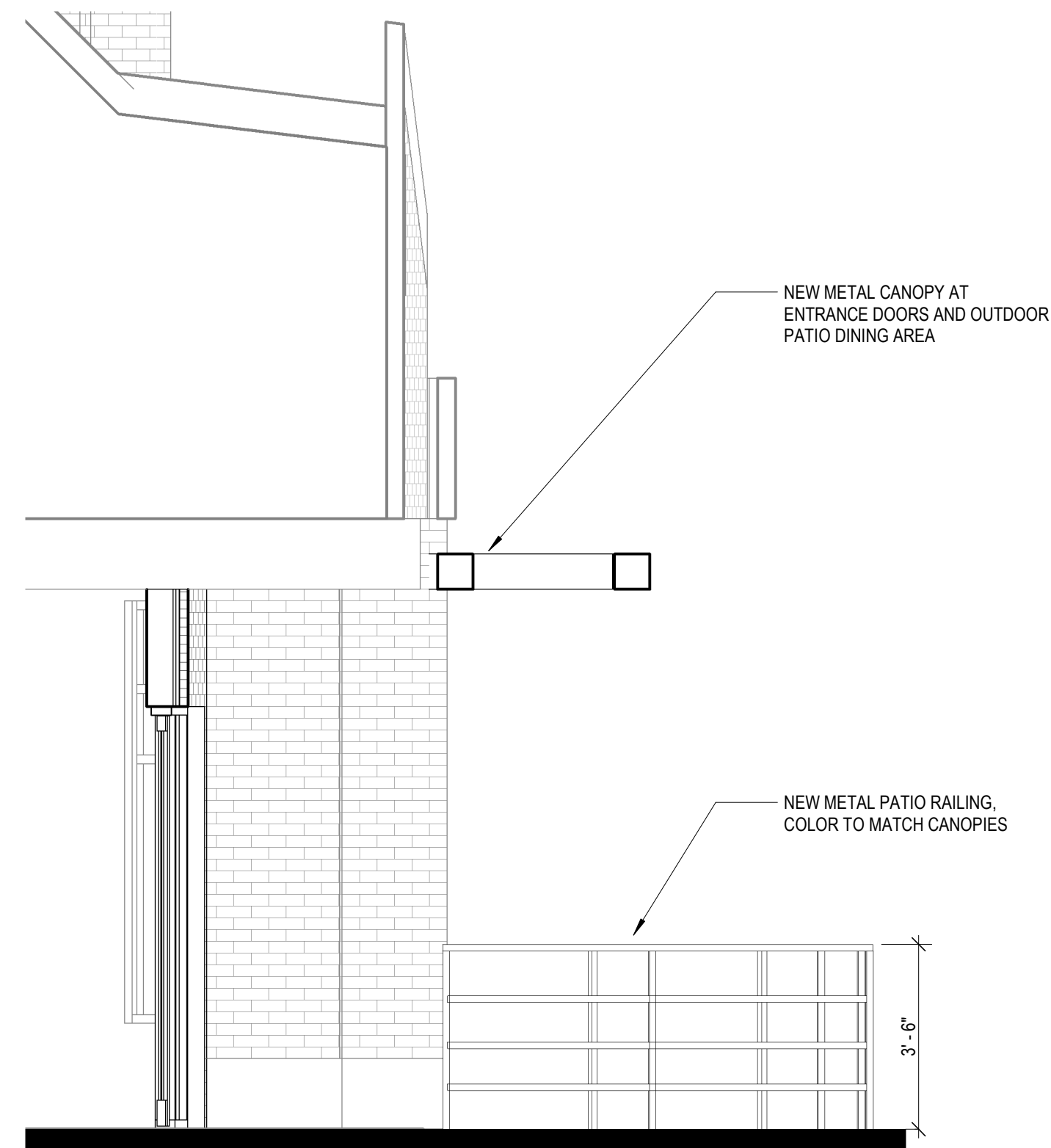
1 WALL SECTION @ FABRIC AWNING
SCALE: 3/8" = 1'-0"

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAIN STREET



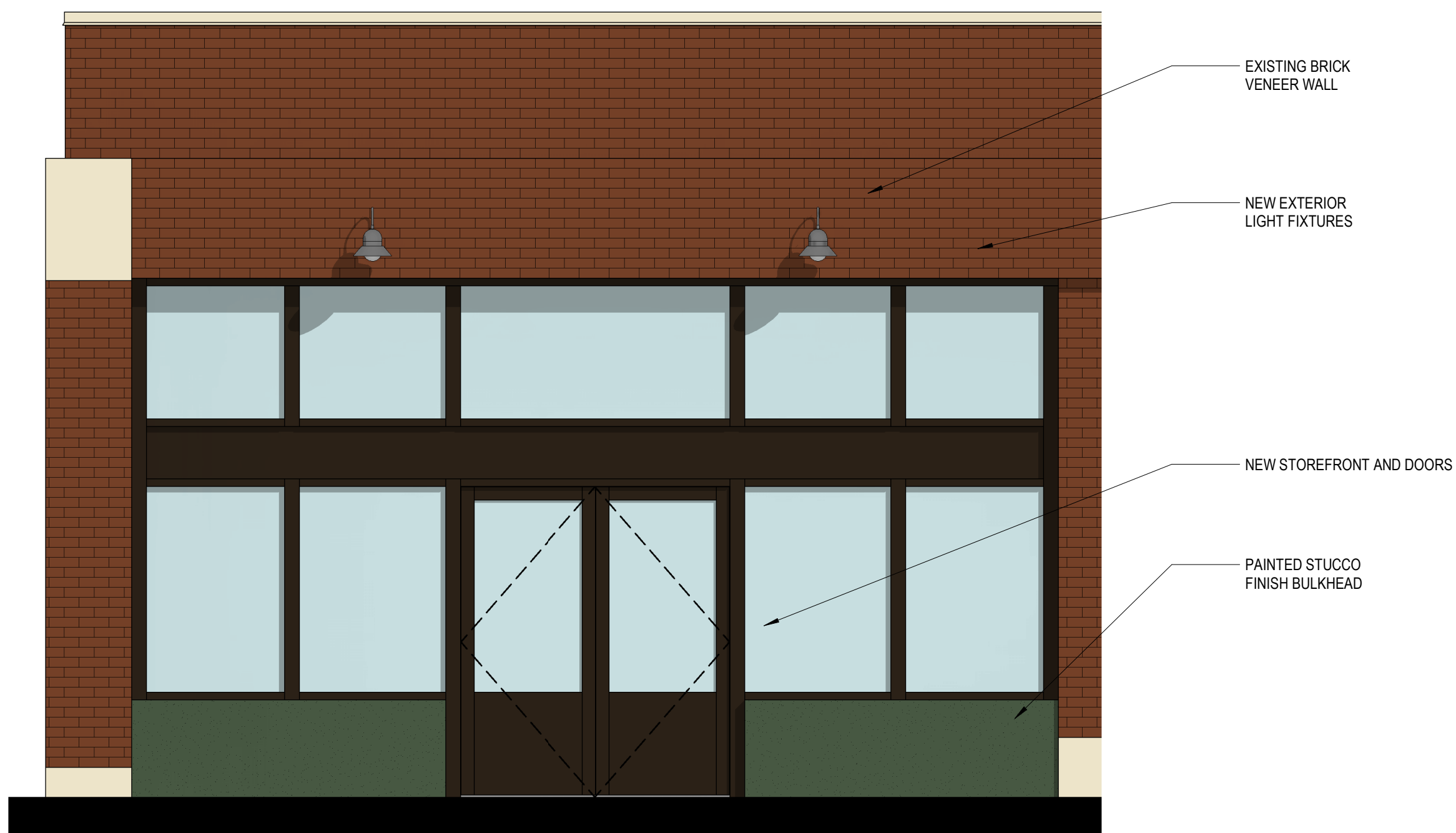
3 DINING ENTRANCE ELEVATION
SCALE: 3/8" = 1'-0"



4 SECTION @ DINING ENTRANCE
SCALE: 3/8" = 1'-0"



1 PROPOSED ART MURAL
SCALE: 3/8" = 1'-0"



2 PROPOSED INFILL WALL ELEVATION
SCALE: 3/8" = 1'-0"

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



MAINSTREET



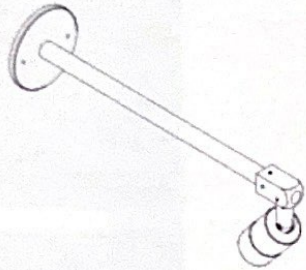
PIKES PEAK DRIVE



PIKES PEAK DRIVE



PILGRIMS PLACE



B-K LIGHTING DELTA STAR 18" SIGN LIGHT, POWDER COAT GRAY FINISH



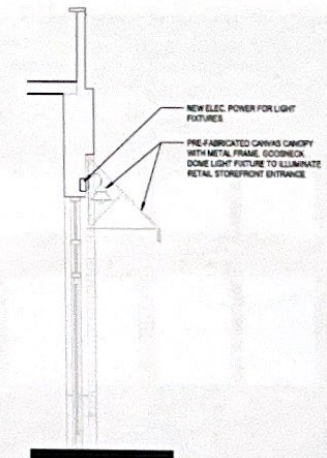
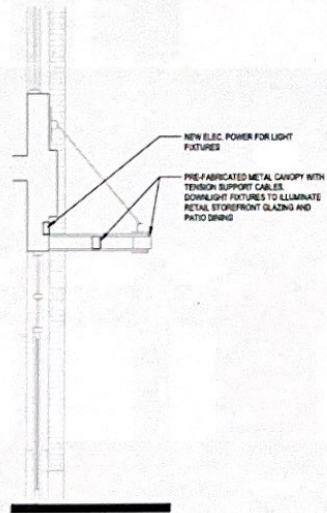
FOUR SEASONS AWNING PRE-MANUFACTURED ALUMINUM CANOPY, CHARCOAL GRAY



FOUR SEASON AWNING CANVAS AWNING, FOREST GREEN

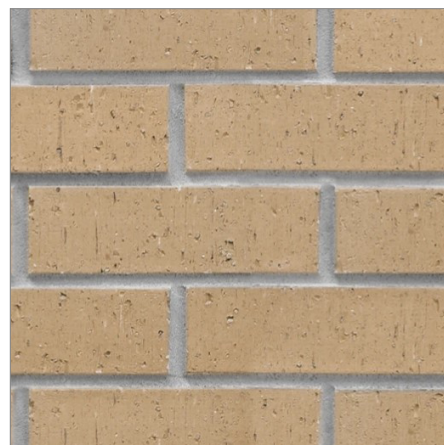


BOCK LIGHTING 512-EG14-IG1 12" DOME LIGHT, POWDER COAT GRAY FINISH





NEW BRICK MECHANICAL VENT SURROUND,
HEBRON BRICK, CHAMPAGNE VELOUR

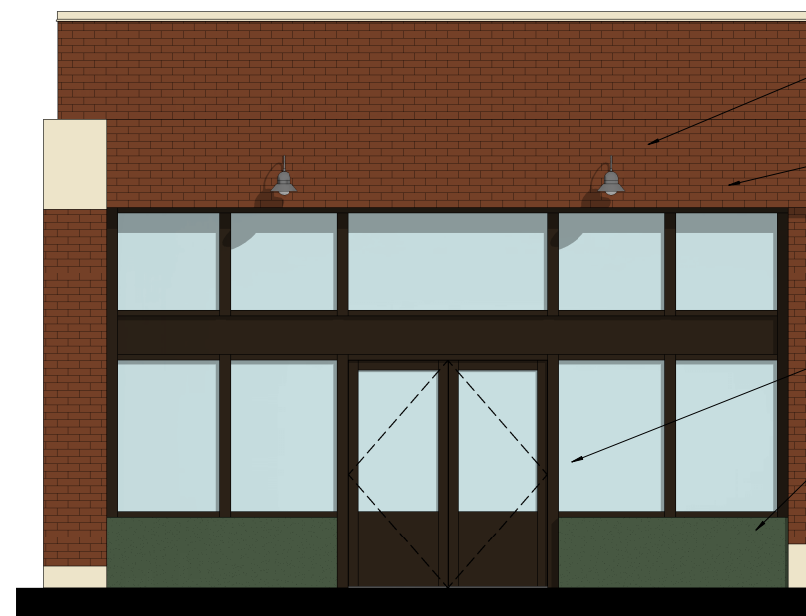


HEBRON BRICK COMPANY THIN BRICK,
CHAMPAGNE VELOUR



SW 6447 EVERGREENS

SHERWIN WILLIAMS PAINT



EXISTING BRICK
VENEER WALL

NEW EXTERIOR
BOCK LIGHTING
LIGHT FIXTURES

NEW STOREFRONT AND DOORS

PAINTED STUCCO
FINISH BULKHEAD -
SW 6447 EVERGREENS

