

# EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAINSTREET

## PROJECT CONTACTS

### PROPERTY OWNER

PARKER MAINSTREET EXCHANGE LLC  
19501 E MAINSTREET, SUITE 200  
PARKER, CO 80138  
TEL: 303-210-4417  
ATTN: TONY MANGO

### APPLICANT/DEVELOPER

PARKER MAINSTREET EXCHANGE LLC  
19501 E MAINSTREET, SUITE 200  
PARKER, CO 80138  
TEL: 303-210-4417  
ATTN: TONY MANGO

### CIVIL ENGINEER

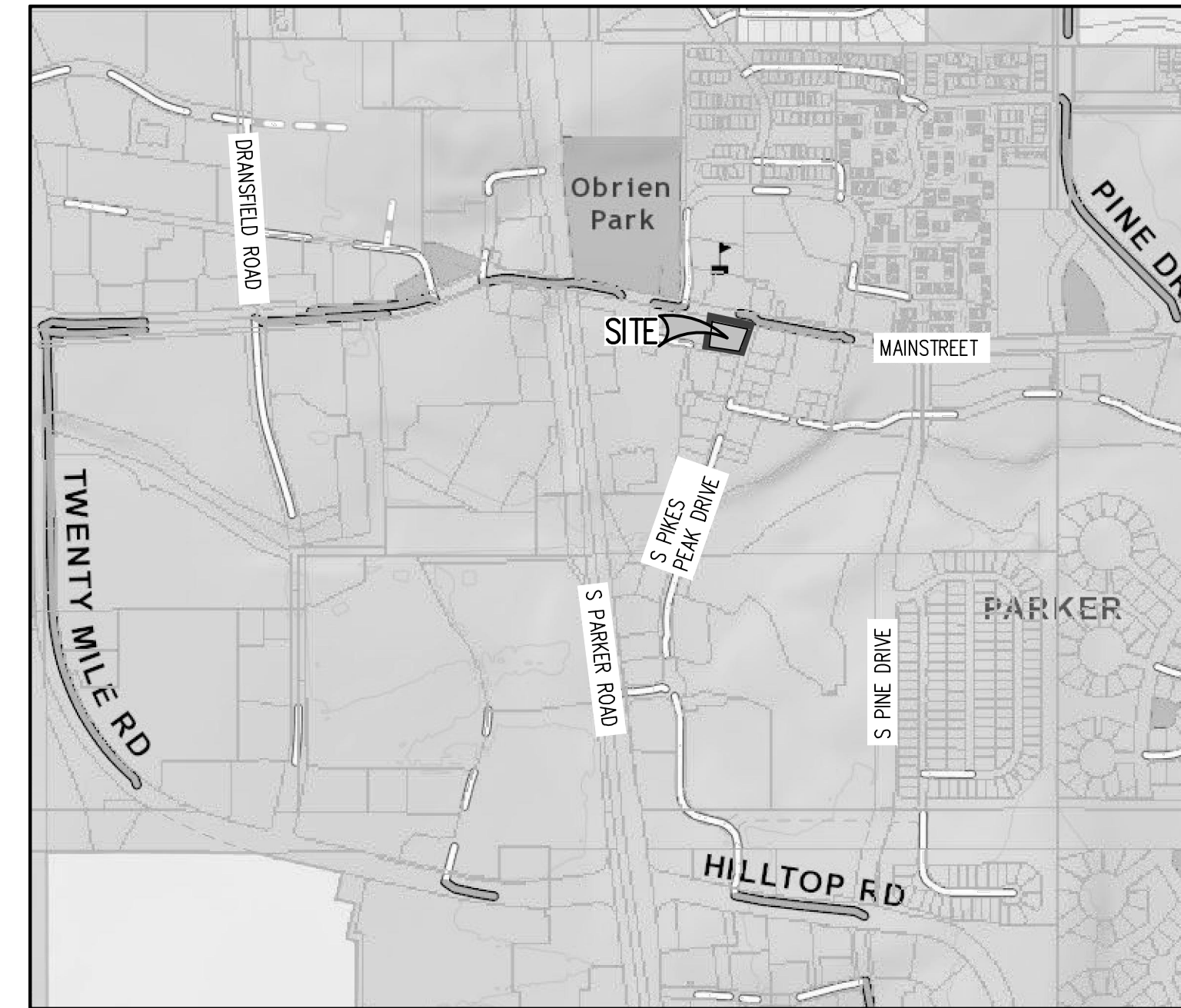
GALLOWAY & COMPANY, INC.  
5500 GREENWOOD PLAZA BLVD, SUITE 200  
GREENWOOD VILLAGE, CO 80111  
TEL: (303) 770-8884  
ATTN: TROY KELTS, PE

### ARCHITECT

GALLOWAY & COMPANY, INC.  
5500 GREENWOOD PLAZA BLVD, SUITE 200  
GREENWOOD VILLAGE, CO 80111  
TEL: (303) 770-8884  
ATTN: CHRISTIAN ARNDT

### LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.  
5500 GREENWOOD PLAZA BLVD, SUITE 200  
GREENWOOD VILLAGE, CO 80111  
TEL: (303) 770-8884  
ATTN: JONAH WEISS



VICINITY MAP  
SCALE: 1" = 1000'



## LEGAL DESCRIPTION

### PARCEL I:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 0 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST

PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 3 IN BOUNDARY SURVEY OF A PORTION OF PARKER, COLORADO, JOB NO. 272-3985, DATED JUNE 18, 1981 AND RECORDED JULY 16, 1981 AT RECEPTION NO. 271187 OF THE DOUGLAS COUNTY RECORDS AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF EAST PARKER ROAD A DISTANCE OF 108.00 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 9 IN ABOVE DESCRIBED BOUNDARY SURVEY; THENCE SOUTH 10 DEGREES 37 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 150.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE AND THE SOUTHWEST CORNER OF THE AFOREMENTIONED PARCEL 9; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE A DISTANCE OF 108.00 FEET TO THE SOUTHEAST CORNER OF AFOREMENTIONED PARCEL 3; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PARCEL 3 A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

### PARCEL II:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 00 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE 860.80 FEET; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE 108.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH LINE, 102.43 FEET TO THE WEST RIGHT OF WAY LINE OF PIKES PEAK DRIVE; THENCE SOUTH 17 DEGREES 31 MINUTES 30 SECONDS WEST, ALONG SAID WEST RIGHT OF WAY LINE, 151.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 84.28 FEET; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST, 150.00 FEET TO THE POINT OF BEGINNING.

## BENCHMARK

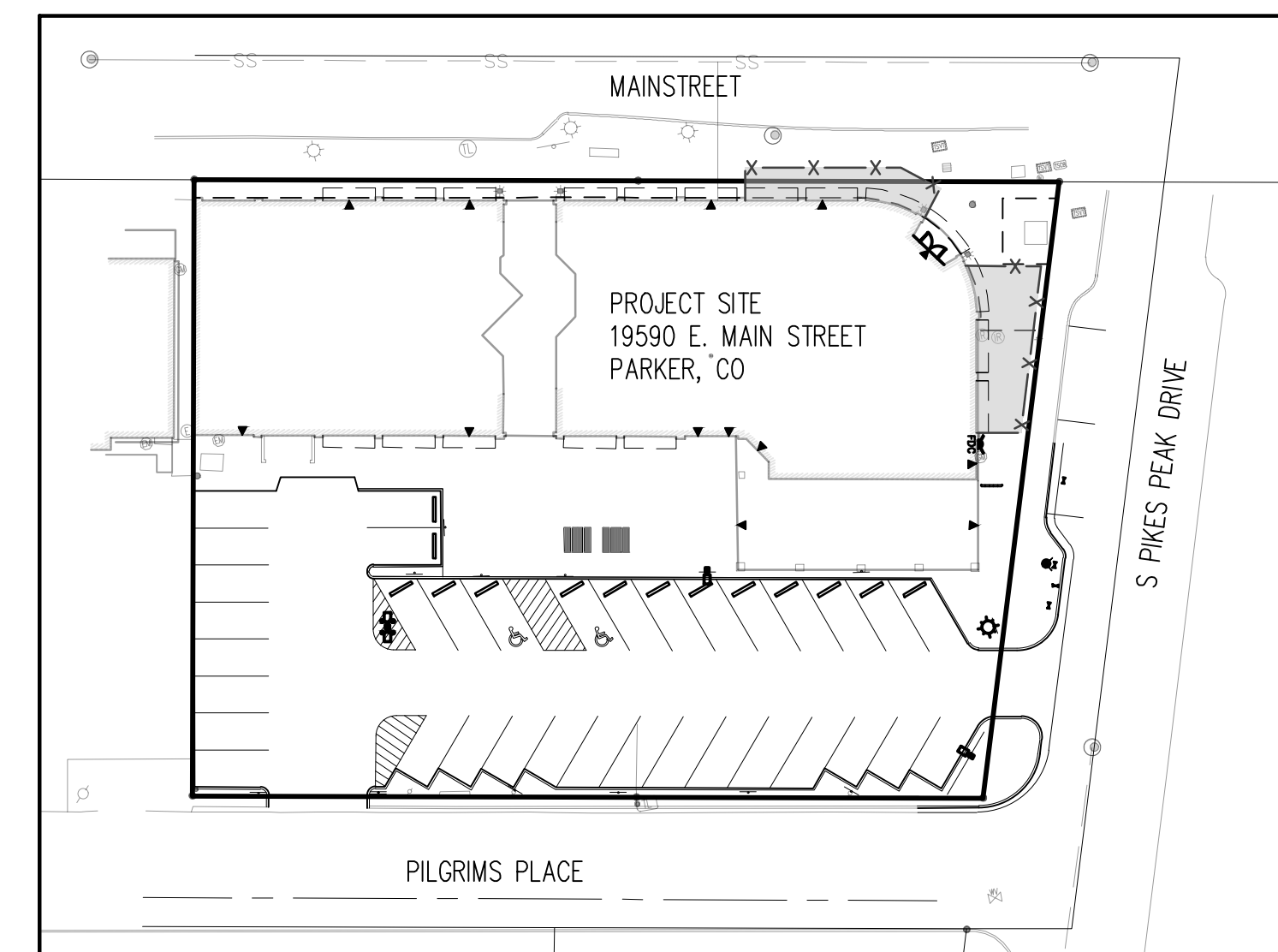
DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042; A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE, ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINES OF THE ADJACENT CONCRETE PATHS, APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W, ELEVATION=5889.09

## BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

SITE STATISTICS				
ZONING	GD			
LOT AREA	SF	ACRES	% OF TOTAL	
GROSS	30,203	0.693	100%	
NET	30,203	0.693	100%	
SITE DATA - EXISTING	SE	ACRES	% OF TOTAL	
BUILDING AREA	11,264	0.259	37.3%	
HARDSCAPE AREA	17,727	0.406	58.7%	
LANDSCAPE AREA	1,212	0.028	4.0%	
TOTAL:	30,203	0.693	100%	
SITE DATA - PROPOSED	SE	ACRES	% OF TOTAL	
BUILDING AREA	12,446	0.286	41.2%	
HARDSCAPE AREA	16,343	0.375	54.1%	
LANDSCAPE AREA	1,414	0.032	4.7%	
TOTAL:	30,203	0.693	100%	
BUILDING HEIGHT	EXISTING	PROPOSED		
	40'	40'		
SETBACKS	FRONT - NORTH	REAR - SOUTH	SIDE - EAST & WEST	
REQUIRED	0'	0'	0'	
PROPOSED	5'	55'	EAST - 7.7' WEST - 0'	
BUILDING ADDITION	SE	LAND USE		
	1,182	OFFICE/RETAIL		
PARKING	EXISTING PROVIDED	PROPOSED PROVIDED	REQUIRED PARKING*	
COMMERCIAL MIXED USE	46	39	23	
ACCESSIBLE SPACES	1	2	1	
BICYCLE PARKING	0	2	2	

\* PER SECTION 13.06.050 (1) (2) THE BUILDING EXPANSION ASSOCIATED WITH THIS PROJECT IS LESS THAN 3,000 SQUARE FEET AND IS EXEMPT FROM ADDITIONAL PARKING REQUIREMENTS.



LOCATION MAP  
SCALE: 1" = 40'



SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	LANDSCAPE PLAN
5	LANDSCAPE DETAILS
6	LANDSCAPE DETAILS
7	IRRIGATION PLAN
8	IRRIGATION DETAILS
9	PHOTOMETRIC PLAN
10	PHOTOMETRIC DETAILS
11	FIRST FLOOR PLAN - EXISTING CONDITIONS
12	SECOND FLOOR PLAN - EXISTING CONDITIONS
13	FIRST FLOOR PLAN - PROPOSED CONSTRUCTION
14	SECOND FLOOR PLAN - PROPOSED CONSTRUCTION
15	ROOF PLAN - PROPOSED CONSTRUCTION
16	PLANNING ELEVATIONS
17	PLANNING ELEVATION DETAILS
18	PLANNING ELEVATION DETAILS
19	EXISTING SITE IMAGES

## LIST OF ABBREVIATIONS

SHT - SHEET  
Δ - DEFLECTION ANGLE  
L - LENGTH  
R - RADIIUS  
CB - CHORD BEARING  
C - CHORD LENGTH  
N - NORTH/NORTHING  
W - WEST  
E - EAST/EASTING  
S - SOUTH  
DET - DETAIL  
EX - EXISTING  
W/ - WITH  
PC - POINT OF CURVATURE/PORTLAND CEMENT  
WVF - WELDED WIRE FABRIC  
VERT - VERTICAL  
OC - ON CENTER  
FDC - FIRE DEPARTMENT CONNECTION  
CT - COURT  
DR - DRIVE  
TYP - TYPICAL  
REC - RECEPTION NUMBER  
# DIA - DIAMETER  
PT - POINT OF TANGENCY  
MIN - MINIMUM  
MAX - MAXIMUM  
HDPE - HIGH DENSITY POLYETHYLENE

PREPARED BY:

**Galloway**

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Greenwood Village, CO 80111  
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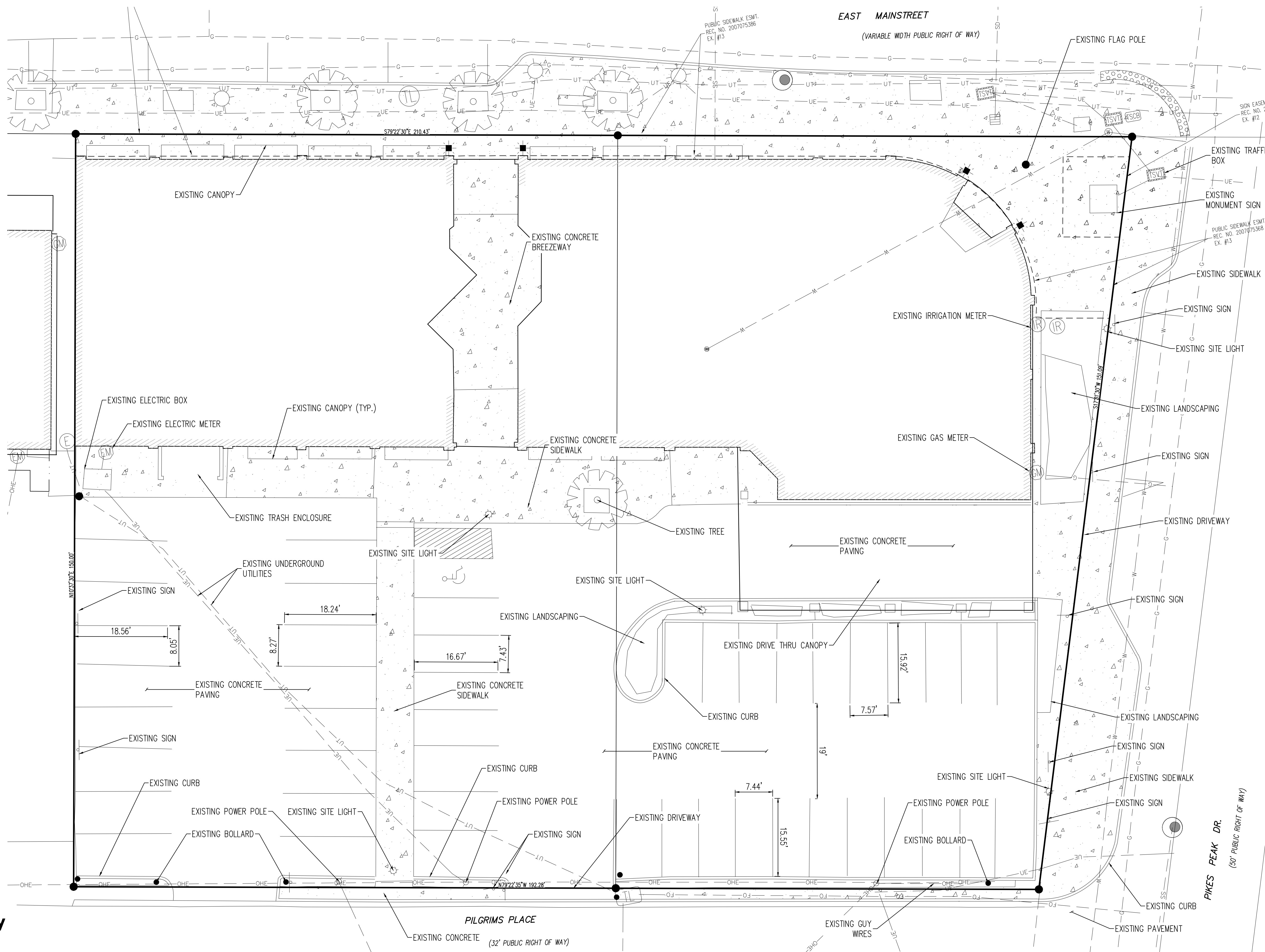
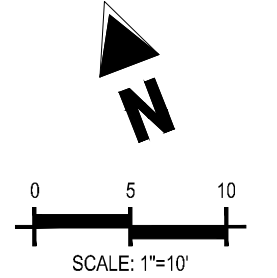
COVER SHEET

1

1 OF 19

# EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
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19590 E MAINSTREET



**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- - - EXISTING TO REMAIN
- - - EXISTING EASEMENT
- - - EXISTING CURB AND GUTTER
- - - UE - EXISTING UNDERGROUND ELECTRIC LINE
- - - G - EXISTING GAS LINE
- - - SS - EXISTING SANITARY LINE
- - - W - EXISTING WATER LINE
- - - OHE - EXISTING OVERHEAD ELECTRIC LINE
- - - SD - EXISTING STORM LINE
- - - FO - EXISTING FIBER OPTIC LINE
- EXISTING SIGN
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING TELEPHONE POLE
- ⊙ EXISTING SITE LIGHT
- EXISTING CONCRETE SIDEWALK

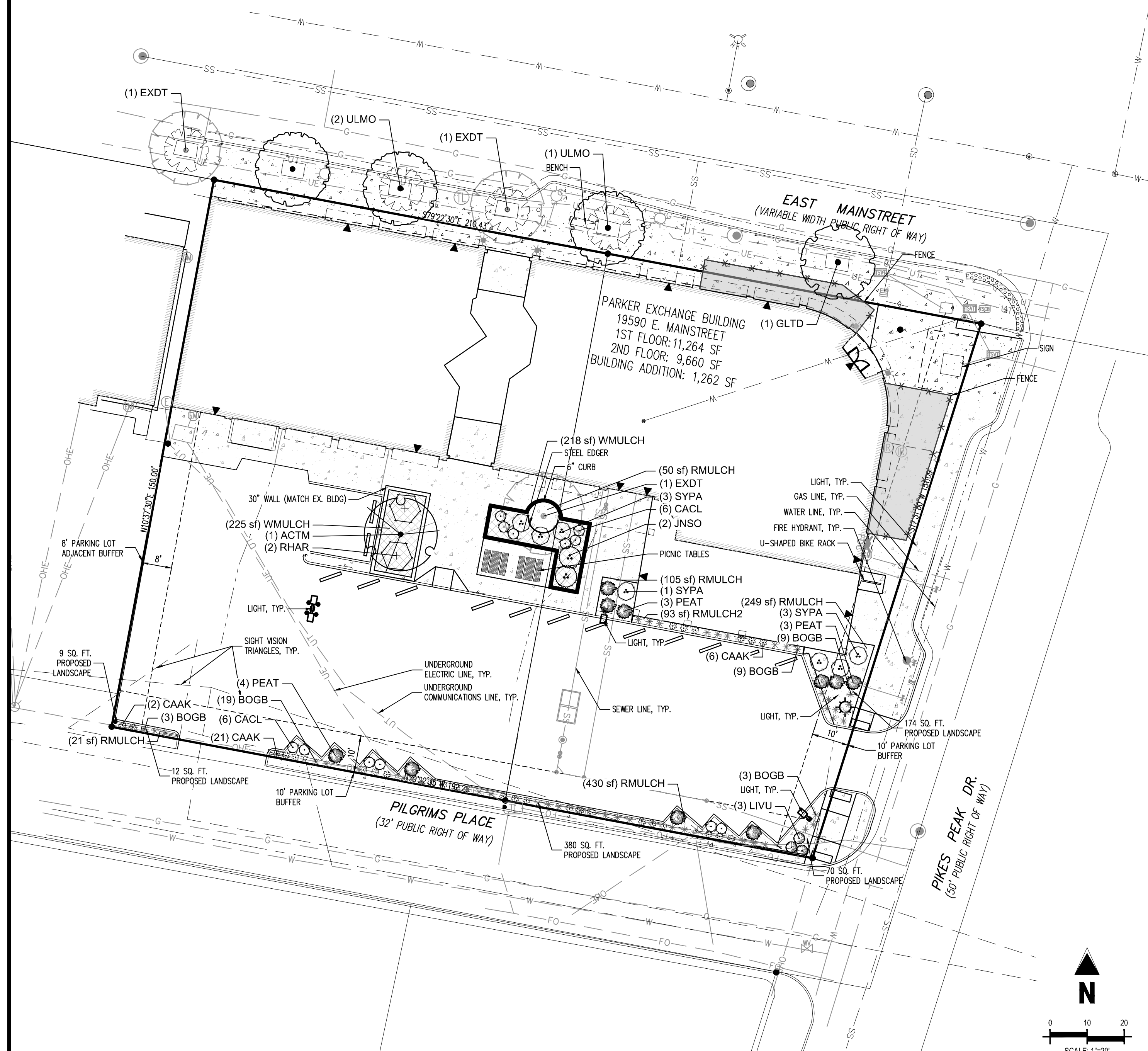
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EXISTING  
CONDITIONS PLAN  
**2**  
2 OF 19



# EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAINSTREET



**CAUTION - NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811  
Know what's below.  
Call before you dig.

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
<b>TREES</b>									
	ULMO	3	TRIUMPH™ ELM	ULMUS X 'MORTON GLOSSY'	B&B	2" CAL	50' X35'	MODERATE	SUN/PART SHADE
<b>DECIDUOUS TREES</b>									
	GLTD	1	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2" CAL	45' X20'	LOW	SUN
<b>ORNAMENTAL TREES</b>									
	ACTM	1	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM	B&B	1.5" CAL	25' X20'	MODERATE	SUN/PART SHADE
<b>EXISTING TREES</b>									
	EXDT	3	EXISTING DECIDUOUS TREE	TO REMAIN	EXISTING				
<b>SYMBOL CODE QTY COMMON NAME BOTANICAL NAME CONT. HT. X SPD. WATER USE LIGHT REQ.</b>									
<b>DECIDUOUS SHRUBS</b>									
	CACL	12	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5 CONT.	3' X3'		VERY LOW	SUN
	LIVU	3	LODENSE PRIVET	LIGUSTRUM VULGARE 'LODENSE'	#5 CONT.	3' X3'		VERY LOW	SUN/PART SHADE
	PEAT	10	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	4' X4'		VERY LOW	SUN
	RHAR	2	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X8'		LOW	SUN
	SYPA	7	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.	5' X5'		VERY LOW	SUN/PART SHADE
<b>EVERGREEN SHRUBS</b>									
	JNSO	3	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	1' X6'		VERY LOW	SUN/PART SHADE
<b>ORNAMENTAL GRASSES</b>									
	BOGB	44	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#1 CONT.	2' X2'		LOW	SUN/PART SHADE
	CAAK	29	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5' X2'		LOW	SUN
<b>SYMBOL CODE QTY COMMON NAME BOTANICAL NAME TYPE</b>									
<b>MULCH</b>									
	RMULCH	855 SF	2"-4" ROCK COBBLE MULCH 3" REQUIRED DEPTH, WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	2"-4" ROCK COBBLE MULCH					MULCH
	RMULCH2	93 SF	3" REQUIRED DEPTH, WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	4"-6" ROCK COBBLE MULCH					MULCH
	WMULCH	443 SF	WOOD MULCH 4" REQUIRED DEPTH, DARK BROWN SHREDDED HARDWOOD MULCH	WOOD MULCH					MULCH

NOTE: EXISTING IRRIGATION SYSTEM TO BE MODIFIED AS REQUIRED.

### LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	EXISTING**	PROVIDED
13.06.070 (L)(2) a	MIN. SITE LANDSCAPING STANDARDS	10% OF THE SITE SHOULD BE LANDSCAPING/ PLAZA OR OPEN SPACE	30,203 x 10%	3,020 SF	921 SF	1,391 SF (LANDSCAPING) + 1,569 SF (PATIO) + 930 (FRONT PATIO) = 3,890 SF
13.06.070 (L)(2) a	MIN. SITE LANDSCAPING STANDARDS	75% LANDSCAPE AREA VEGETATION COVERAGE	TOTAL LANDSCAPE AREA 1,391 SF X 0.75	1,043SF	N/A	1,112 SF (80% VEGETATION COVERAGE)
13.06.070 (L)(5)	MIN. SITE LANDSCAPING STANDARDS	1 TREE / 1500 SF NOT COVERED BY BLDG OR REQ. PARKING	3,340 SF / 1500	2 TREES	1 EXISTING TREE TO REMAIN	1 PROPOSED TREE + 1 EXISTING TREE
13.06.070 (L)(5)	MIN. SITE LANDSCAPING STANDARDS	5 SHRUBS / 1500 SF NOT COVERED BY BLDG OR REQ. PARKING	3,340 SF / 1500 X 5	11 SHRUBS	N/A	34 SHRUBS
13.06.070 (L)(5)	MIN. SITE LANDSCAPING STANDARDS	N/A	N/A	N/A	N/A	73 GRASSES
13.06.070 (M)	STREETSCAPE LANDSCAPING (E. MAINSTREET)	TREES NO GREATER THAN 40 FT APART	210 LF / 40	5 TREES	1 EXISTING TREE	4 REPLACEMENT TREES
13.06.070 (M)	STREETSCAPE LANDSCAPING (PIKES PEAK)	TREES NO GREATER THAN 40 FT APART	150 LF / 40	4 TREES	0 EXISTING TREE	0 NEW TREES*
13.06.070 (o) 3.	PARKING LOT BUFFER REQUIREMENT (PIKES PEAK)	10' MINIMUM BUFFER OR SAME AS EXISTING	60 LF x 10 SQ. FT.	600 SQ. FT.	86 SQ. FT.	174 + 70 = 244 SQ. FT.
13.06.070 (o) 3.	PARKING LOT BUFFER REQUIREMENT (PILGRIMS PLACE)	10' MINIMUM BUFFER OR SAME AS EXISTING	192 LF X 10 SQ. FT.	1,920 SQ. FT. OF BUFFER	220 + 14 + 9 = 243 SQ. FT.	380 + 12 + 9 = 401 SQ. FT.
13.06.070 (o) 6.	PARKING LOTS ADJACENT TO PARKING LOTS (WEST OF PARKING LOT)	8' MINIMUM BUFFER	72 LF x 8 SQ. FT.	576 SQ. FT.	9 SQ. FT.	9 SQ. FT. + NO ADDITIONAL BUFFER IS PROPOSED*

\*WE ARE UNABLE TO PROVIDE THE REQUIRED AMOUNT DUE TO THE NATURE OF THIS PROJECT BEING A RENOVATION  
\*\*REFERENCE EXISTING CONDITION PLAN

PREPARED BY:  
**Galloway**

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# EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

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CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAIN STREET

## PLANTING NOTES

### GENERAL

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED UP PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
13. ALL CHANGES TO THE APPROVED LANDSCAPE PLAN MUST FIRST BE APPROVED BY THE TOWN OF PARKER PLANNING DEPARTMENT.

### FINISH GRADING AND SOIL PREPARATION

14. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
15. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
16. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
17. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 6 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

### PLANTING

18. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.  
ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
20. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
21. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
22. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
23. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
24. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
25. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS, COLOR: BLACK.
26. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
27. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
28. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E.: MULCH, EDGER, LANDSCAPE FABRIC, ETC.

### MULCHING

29. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3' DIA.  
ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
30. GEOTEXTILE FABRIC IS REQUIRED FOR ALL SHRUB AND ORNAMENTAL GRASS BEDS. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL PLANTING BEDS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
32. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
33. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
34. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

## UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

## IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

## LANDSCAPE GUARANTEE AND MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

## TREE PROTECTION NOTES:

1. USE TOWN OF PARKER TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
2. "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE, GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIFLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
3. TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIFLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"X12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIFLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
4. NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
  - A. EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
  - B. TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
  - C. WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
  - D. WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
4. POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
5. PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS:
  - A. REMOVE ALL DEAD WOOD.
  - B. PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRAGGLY GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
  - C. FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
  - D. ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
  - E. IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
  - F. SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARDS. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.
6. LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
  - A. NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10' FROM THE TRUNK.
  - B. WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE. ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE. SPACED FAR APART WHERE CLOSE TO THE TREE, PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

PREPARED BY:

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LANDSCAPE DETAILS

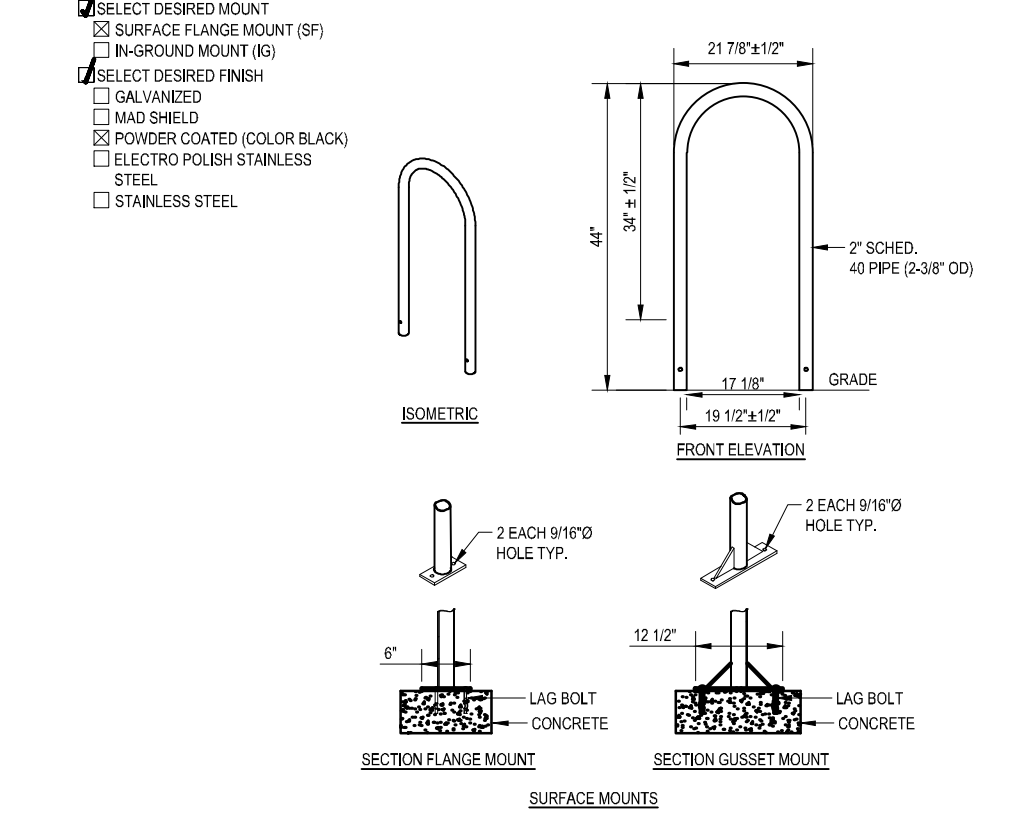
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5 OF 19

# EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

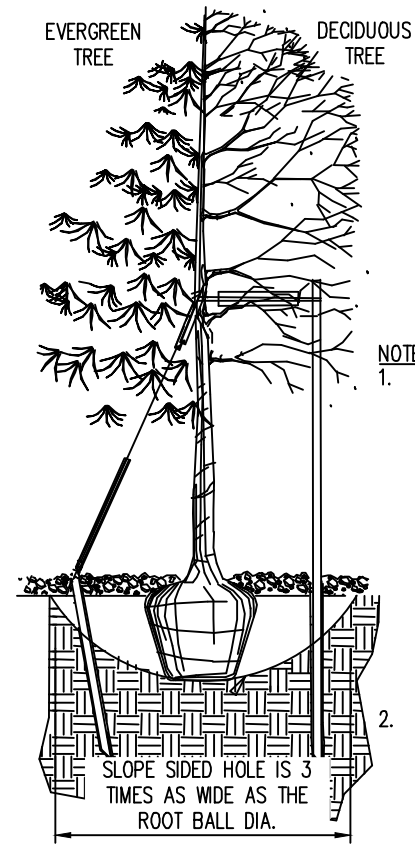
LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAINSTREET

**MADRAX**  
MADRAX DIVISION,  
GRABER MANUFACTURING, INC.  
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WAUKESHA, WI 53150  
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PHONE: (608) 849-1080  
FAX: (608) 849-1081  
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NOTES:  
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 2. DO NOT SCALE DRAWINGS.  
 3. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.  
 4. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.  
 5. OR APPROVED EQUAL MAY BE USED.

NOTE: BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED  
 PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING



NOTES:

1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSEND AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.

2. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.

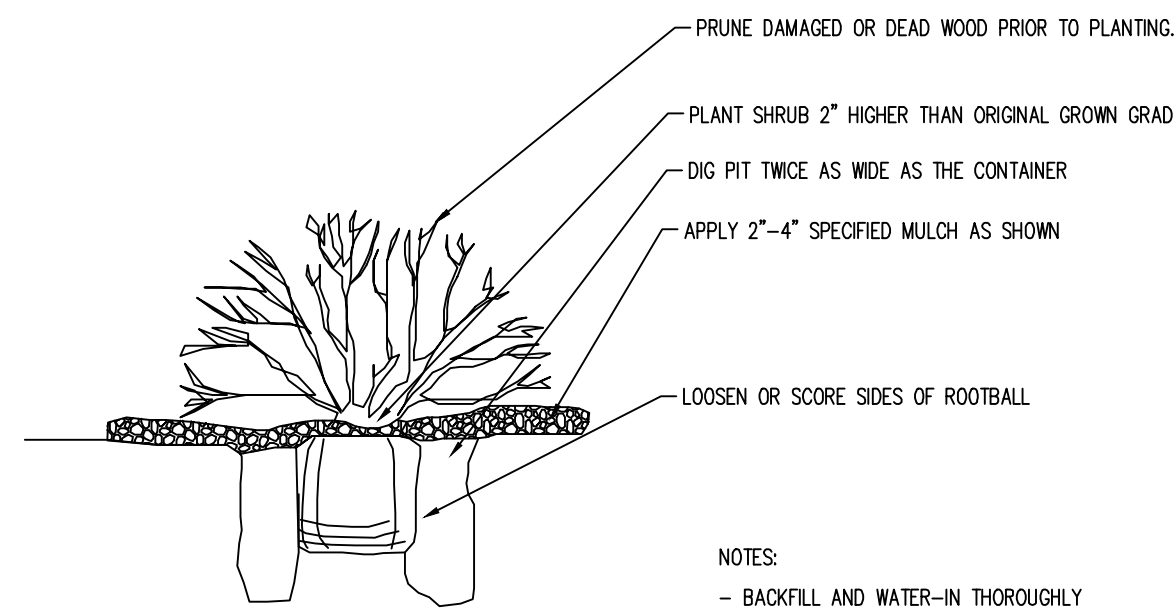
3. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL WIRE ON TREES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.

4. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.

5. STAKING AND CUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND CUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.

6. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.

7. RESETING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.



NOTES:  
 - BACKFILL AND WATER-IN THOROUGHLY  
 - BROKEN ROOTBALLS WILL BE REJECTED

1. TRUNK PROTECTION BOARDS MIN. 2" THICK. BENEATH BOARDS ARE 3-4 LAYERS OF BURLAP AROUND TRUNK. THE BOARDS SECURELY AT TOP, BOTTOM & CENTER WITH DUTY CORD, WIRE, OR CABEL CHOCKERS.
2. OUTLINE OF TREE CROWN (EDGE OF DRIFLINE) CORRESPONDS WITH ROOT SPREAD.
3. CONSTRUCTION FENCING (MIN. 4' HEIGHT)
4. WOOD MULCH - SEE MULCH
5. PLASTIC ORANGE CONSTRUCTION FENCE TIED TO T-POST
6. T-POST AT 8'-0" O.C. (TYP.)
7. EXISTING TREE
8. DRIFLINE

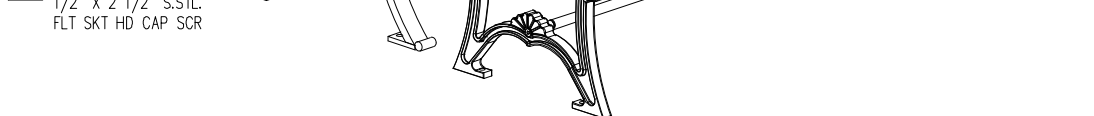
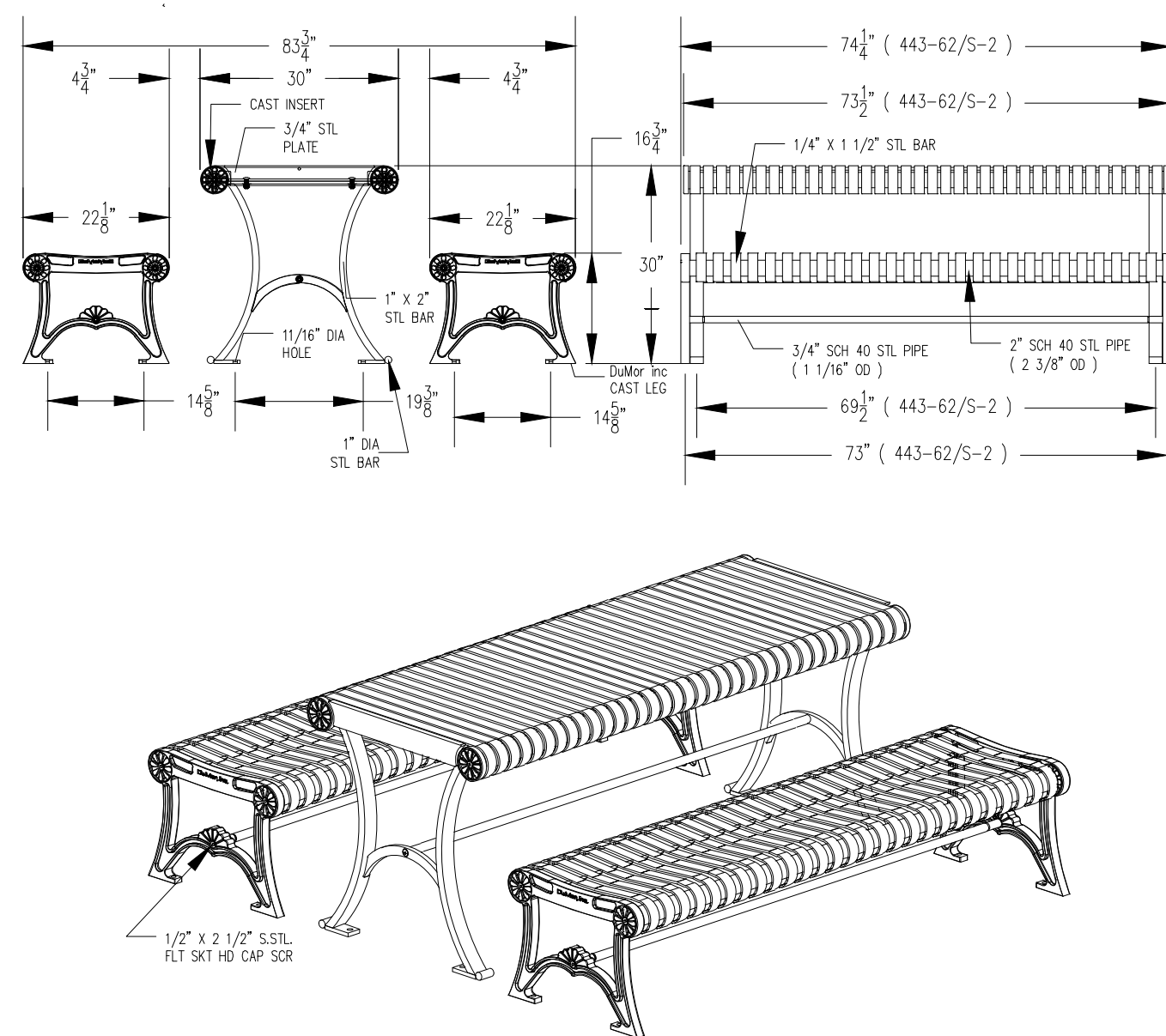
## 1 TOWN OF PARKER TREE PLANTING N.T.S.

## 2 TOWN OF PARKER SHRUB PLANTING STANDARD N.T.S.

## 3 TREE PROTECTION DETAIL N.T.S.

## 4 U-BIKE RACK, SURFACE MOUNT N.T.S.

**DuMor, inc.** TABLE 443 SERIES-2

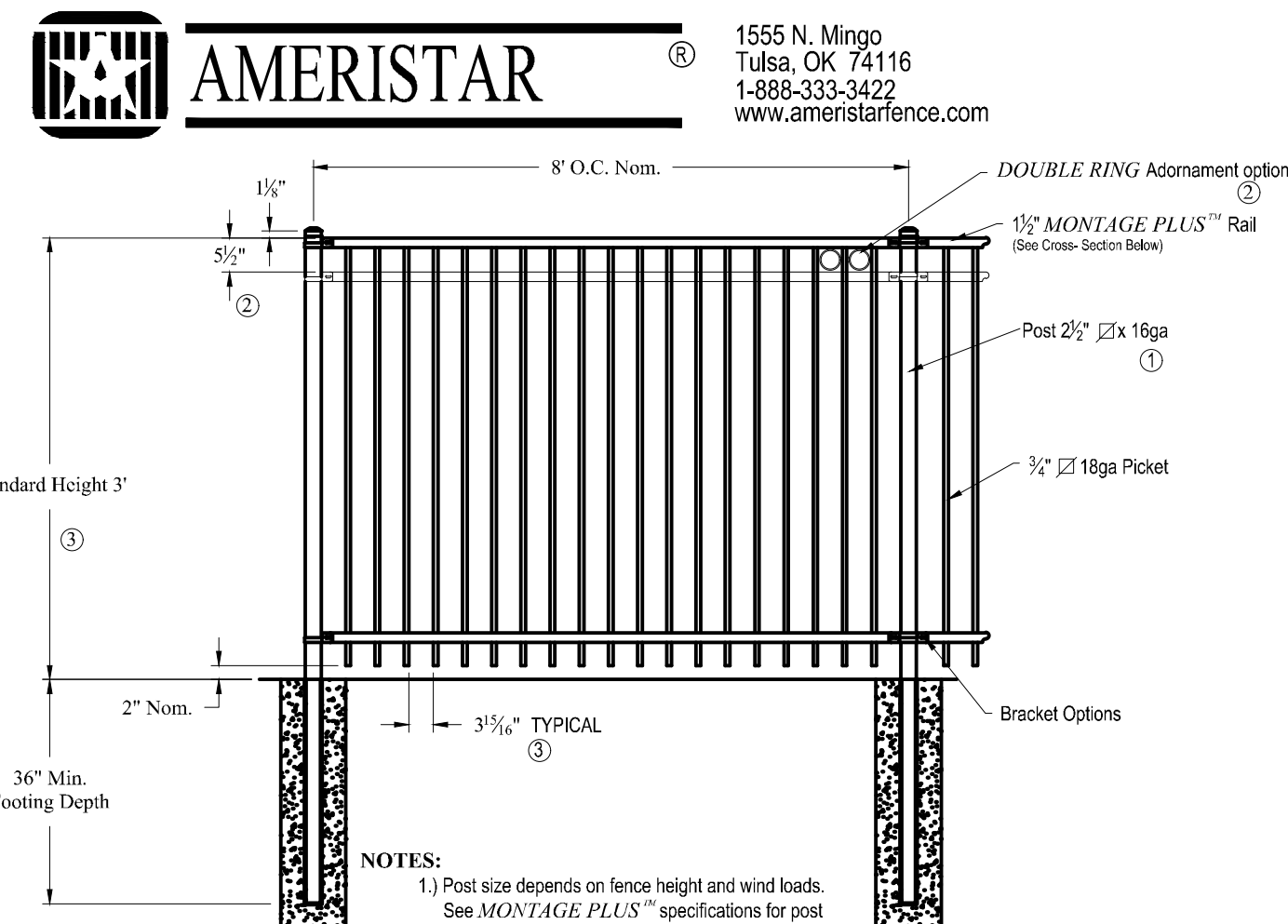


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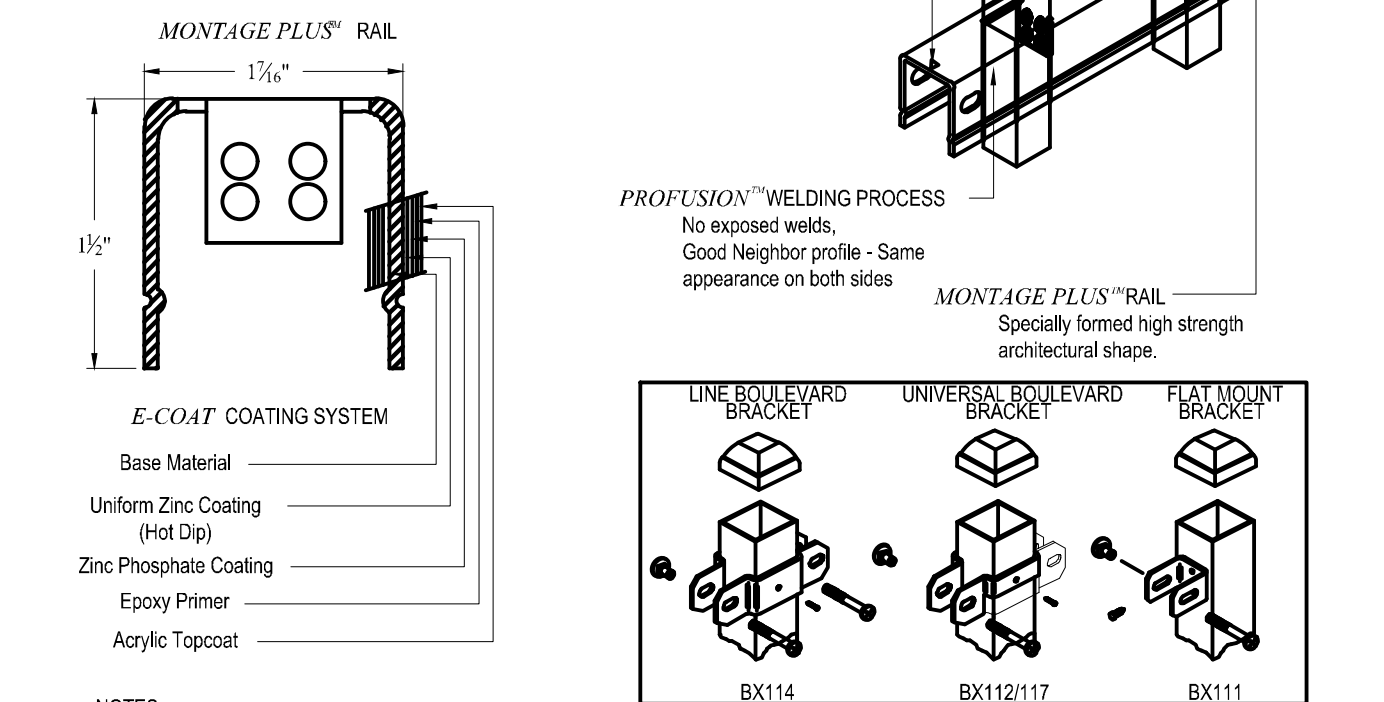
LENGTH OPTIONS  
 [ ] 6' TABLE  
 [ ] 8' TABLE

## 5 6' PICNIC TABLE DETAIL N.T.S.



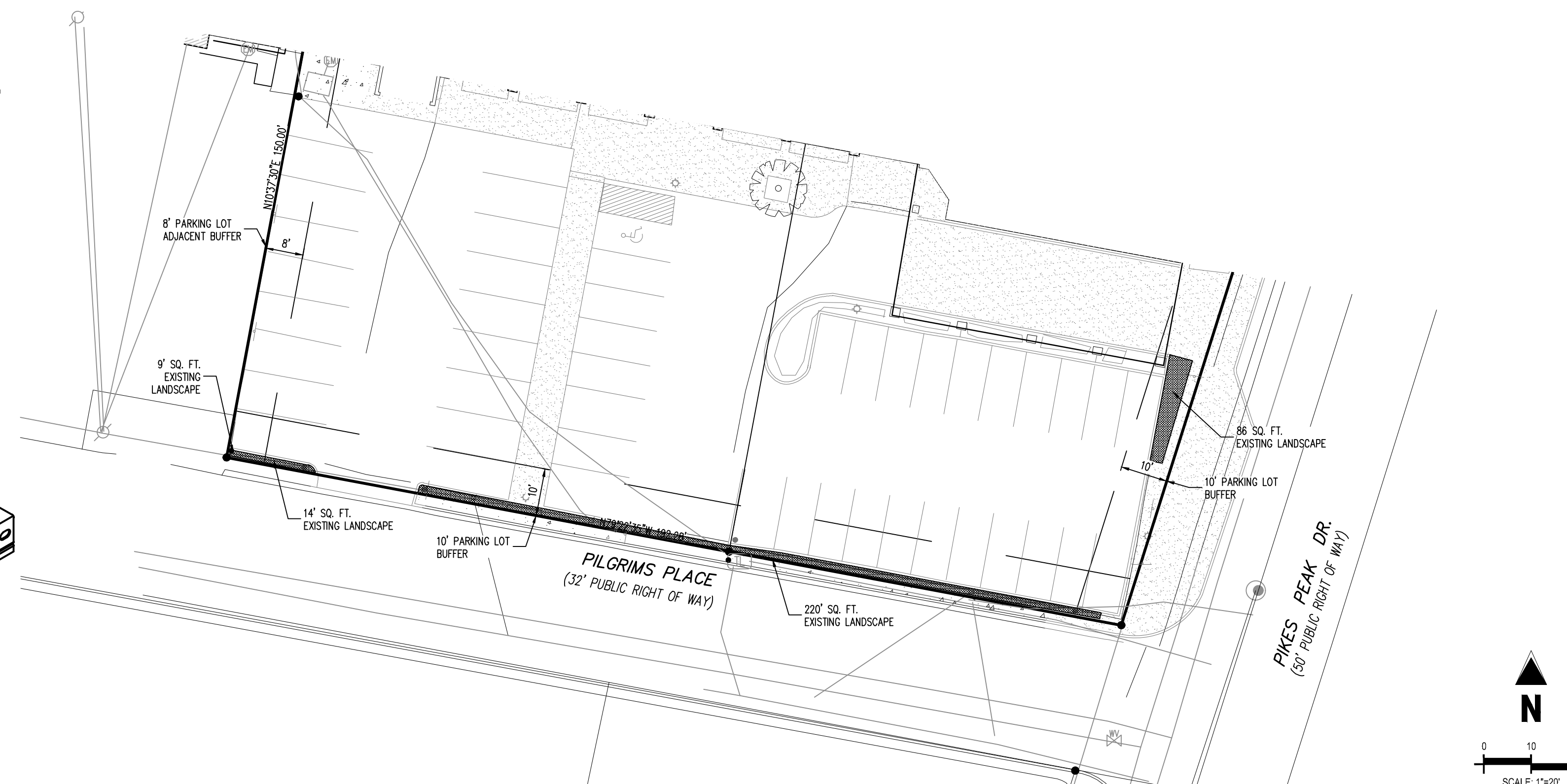
NOTES:  
 1) Post size depends on fence height and wind loads. See MONTAGE PLUS™ specifications for post sizing chart.  
 2) Third rail required for Double Rings.  
 3) Available in 3" air space and/or Flush Bottom on most heights.

RAKING DIRECTIONAL ARROW  
 Welded panel can be raked 30° over 8" with arrow pointing down grade.



NOTES:  
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 4. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.  
 5. OR APPROVED EQUAL MAY BE USED.

## 6 3' FENCE DETAIL N.T.S.



## 7 EXISTING LANDSCAPE 1"=20'

PREPARED BY:  
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LANDSCAPE DETAILS

6

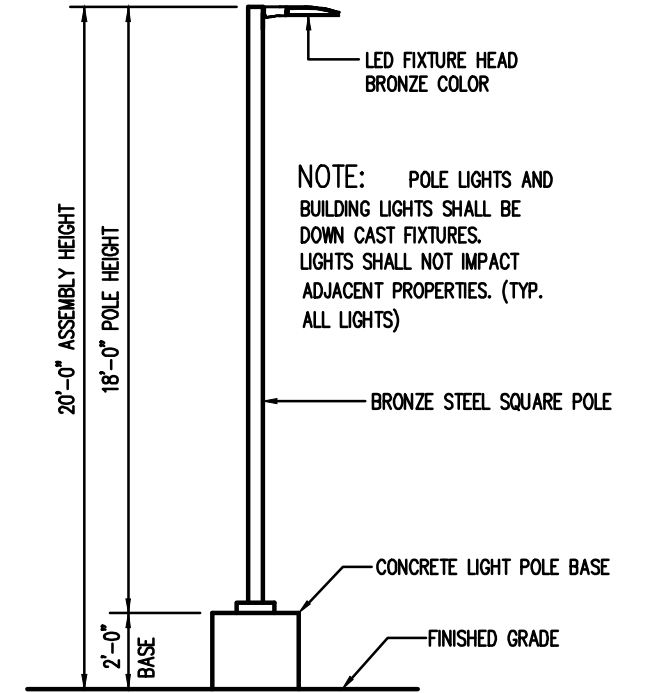
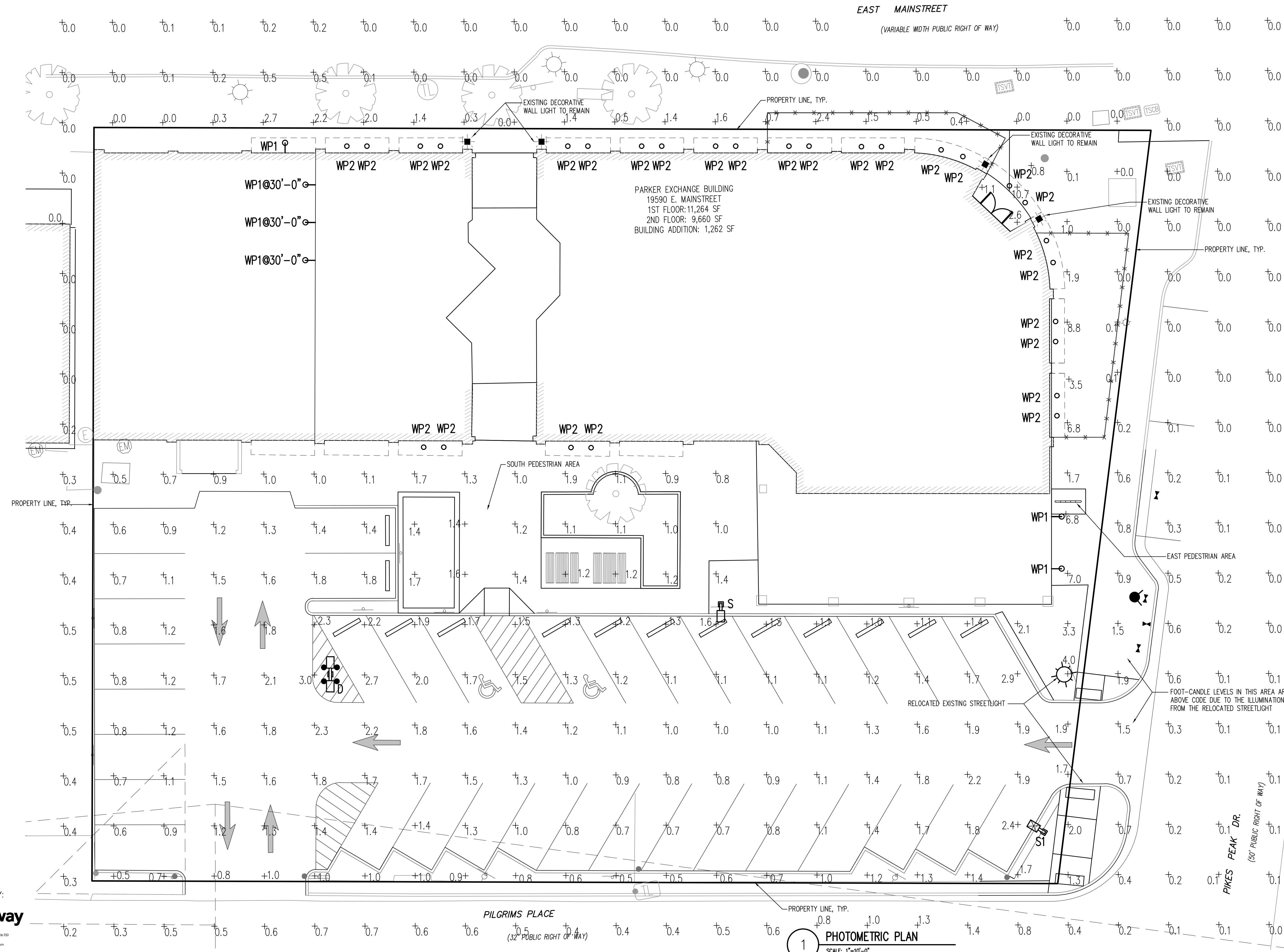
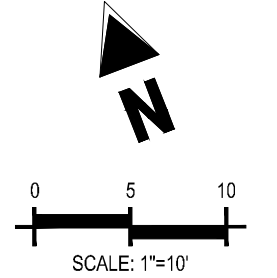
6 OF 19





# EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAINSTREET



**2 AREA LIGHT DETAIL**  
SCALE: NOT TO SCALE

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING AREA	FC	1.41	3.0	0.6	2.35 to 1	5.00 to 1
SOUTH PEDESTRIAN AREA	FC	1.18	1.9	0.5	2.36 to 1	3.80 to 1
EAST PEDESTRIAN AREA	FC	3.45	7.0	1.3	2.65 to 1	5.38 to 1

LUMINAIRE SCHEDULE				
MARK	QTY	LABEL	MOUNTING	COLOR
WP1	1	S	20' POLE	BRONZE
WP2	1	SI	20' POLE	BRONZE
WP3	1	D	20' POLE	BRONZE
WP4	6	WP1	10'-4" WALL	BLACK
WP5	28	WP2	10'-4" WALL	BLACK

REFER TO SHEET 6-PHOTOMETRIC DETAILS FOR MANUFACTURER CUT SHEETS AND EXPANDED LUMINAIRE SCHEDULE

PREPARED BY:  
**Galloway**  
1533 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8888 • GallowayUS.com

**1 PHOTOMETRIC PLAN**  
SCALE: 1"=10'-0"

# EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
1950 E MAIN STREET

Project	Catalog #	Type	S.S.I. & D
Prepared by	Notes	Date	



## McGraw-Edison GALN Galleon II

Area / Site Luminaire

Product Features

Product Certifications



### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 3
- Product Specifications page 3
- Energy and Performance Data page 6
- Control Options page 16

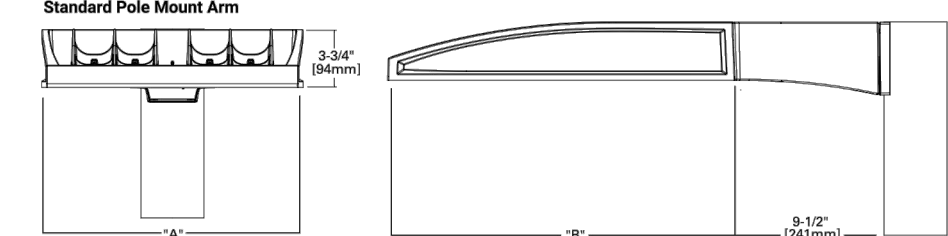
### Quick Facts

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

### Connected Systems

- WaveLux Lite
- WaveLux

### Dimensional Details



Number of Luminaire	Width 'X'	Height Length 'Y'	Weight with Standard 1/2" O.D. Arm	IPX with Standard 1/2" O.D. Arm
1-4	16"	22"	29 lb	0.55
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

NOTE: For more information and additional details see Mounting Details section.

## McGraw-Edison GALN Galleon II

### Ordering Information

SAMPLE NUMBER: GALN-SAIC-740-U-T4FT-GM

Product Family	Light Engine	Color	Voltage	Distribution	Mounting	Finish
MAX NEW (LED) 1000 Series	SA-1000 Series	1000 Series	120V	1000 Series	1000 Series	1000 Series
MAX NEW (LED) 1000 Series	SA-1000 Series	1000 Series	120V	1000 Series	1000 Series	1000 Series

### Options (Add as Suffix)

Options (Add as Suffix)	Control and System Options (Add as Suffix)	Accessories (Order Separately)
DM-External 0-10V Dimming (LED)	DM-External 0-10V Dimming (LED)	DM-External 0-10V Dimming (LED)
DM-External 0-10V Dimming (LED)	DM-External 0-10V Dimming (LED)	DM-External 0-10V Dimming (LED)

NOTE: For more information and additional details see Mounting Details section.

### LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Camera Options	Camera Accessories
L-Intelligent Technology	L-Intelligent Technology	L-Intelligent Technology	L-Intelligent Technology

## THE ORIGINAL™ INTEGRATED LED SERIES

Order Example: BLE - G - WHS16 - 600 - G22 - NA - ACR - 600 - NA - LED18 - 2700K - DL

Label	Value
BLE - G	- WHS16 - 150 - NA - NA
NA	- NA - LED16 - 4000K - FL
NA	- NA - LED16 - 4000K - FL

### A - MOUNTING STYLE

C	Cord Hung
CH	Chain Hung
F	Flush Mount
G	Goose-neck
S	Stem Mount

### C - SHADE FINISH (CONTINUED)

POWDER COAT FINISHES:	
790	Lavender
800	Industrial Gray
805	Charcoal Granite
810	Graphite
815	Galvanized

### THE ORIGINAL™

WHIS20	White
WHIS14	White
WHIS10	White
WHIS12	White
WHIS18	White

### C - SHADE FINISH

150	Black
250	White
350	Vintage Green
355	Jade
455	Cherry Red
465	Yellow
555	Bronze
655	Cobalt Blue
755	Delphite Blue
855	Graphite
950	Metallic Chrome

### POWDER COAT FINISHES:

100	Black
105	Tan
200	White
300	Dark Green
307	Emerald Green
311	Jade
370	Mint
380	Chartruse
390	Tan
400	Barn Red
420	Orange
470	Watermelon
480	Blush Pink
490	Magenta
495	Shearwater
500	Buttery Yellow
600	Bronze
601	Chocolate
605	Rust
615	Oil-Rubbed Bronze
700	Royal Blue
705	Navy
710	Cobalt Blue
715	Delphite Blue

### CHAIN MOUNT OPTIONS:

CH36	3' of Chain
CH48	4' of Chain
CH60	5' of Chain
CH72	6' of Chain

### GOOSENECK OPTIONS:

G1	G1
G2	G2
G3	G3
G4	G4
G5	G5
G6	G6
G7	G7
G8	G8
G9	G9
G10	G10

NOTE: For more information and additional details see Mounting Details section.

## COOPER Lighting Solutions

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## VISION-3 LIGHTING

Job: Approval: Type: WP2

### MR16 Staff Light MODEL PA11

12V 50W Max., MR16 Halogen  
12V 7.5W, 12/24V 6W, or 12V 10W LED

### Specifications

**Material:** Available in machined 6061-T6 aluminum or 304 stainless steel.

**Head:** Machined head comes in two styles: Side Mount and Front Mount. (See illustration for mounting capability of each head style.)

**Stem:** 1" diameter machined stem comes in various stem lengths. Maximum allowable stem length depends on mount option (see Ordering Information). Stem type and installation manner may limit safe stem length further. To prevent future stem twisting and/or breakage, stem should be secured to prevent rotation. These factors must be taken into account when choosing stem length or mount type.

**Handle:** Machined handle allows for a full range of tilting positions. Double angle design (U.S. Patent #6,966,679) allows fixture to hold position during tilting and ensure a solid lock when tilting. Integral LED models have a machined silicone wrist rest to prevent future wrist strain. Available in Black and Lock option (U.S. Patent #7,106,405 & #7,658,572) allows for full 360° rotational tilting and locking.

**Cap:** Machined caps lock in place with one 1/8" diameter set screw, and are sealed to the body with a high temperature silicone O-ring. Regrow Lens caps have drain holes for water drainage from top of lens if mounted in the up position. "Flush Lens" cap will incorporate a tapered lip to reduce the collection of water and debris on the lens. All caps accept up to three integral accessories, held in place by a stainless steel clip.

**Finish:** (1) Clear: thermo set polyester powder coat paint available in 14 standard colors. On aluminum model, finish is applied over a corrosion resistant, hexavalent chromium free, RoHS compliant coating. Aluminum model available in use.

**Additional metal finish:** Clear Anodized. Brass model available in three additional metal finishes: Nickel, Polished, and Gold.

**Lens:** Tempered, clear lens, secured to cap with a high temperature, UV curing, silicone adhesive.

**Socket:** GX-53 porcelain socket with 600V, 250°C, PTT1 coated 1/2" gas tabs.

**Lamps:** MR16 Halogen, 12V 50W pin up to 50W (maximum allowable wattage depends on model and application. See Certification heading). Integral 8.0W, 12.24V AC/DC LED (4000K) or 12V AC/DC 10W (1000K) LED options include integral driver with high beam available for 510/20W (HW) or 50W/35W (LW) halogen equivalent outputs. LED Modules are lead-free and feature high-contrast lenses, up to 175° beam angle, dynamic transformer recognition, phase dimming (see Transformer and Dimmer Compatibility List), and patented LEDPower™ thermal management.

**Roatible MR16 LED 12V 7.5W (option) 10-pin remote base™:** MR16 LED lamp with specially engineered heat sink to ensure proper heat transfer to body. Note: Roatible LED will overheat without supplied heat sink mount.

**Certification:** CSA tested & certified to US and Canadian safety standards for the following applications (except for 230V output):

3000 lumens halogen lamp (UL E185)

PA11A - 50W Max. MR16 Halogen lamp.

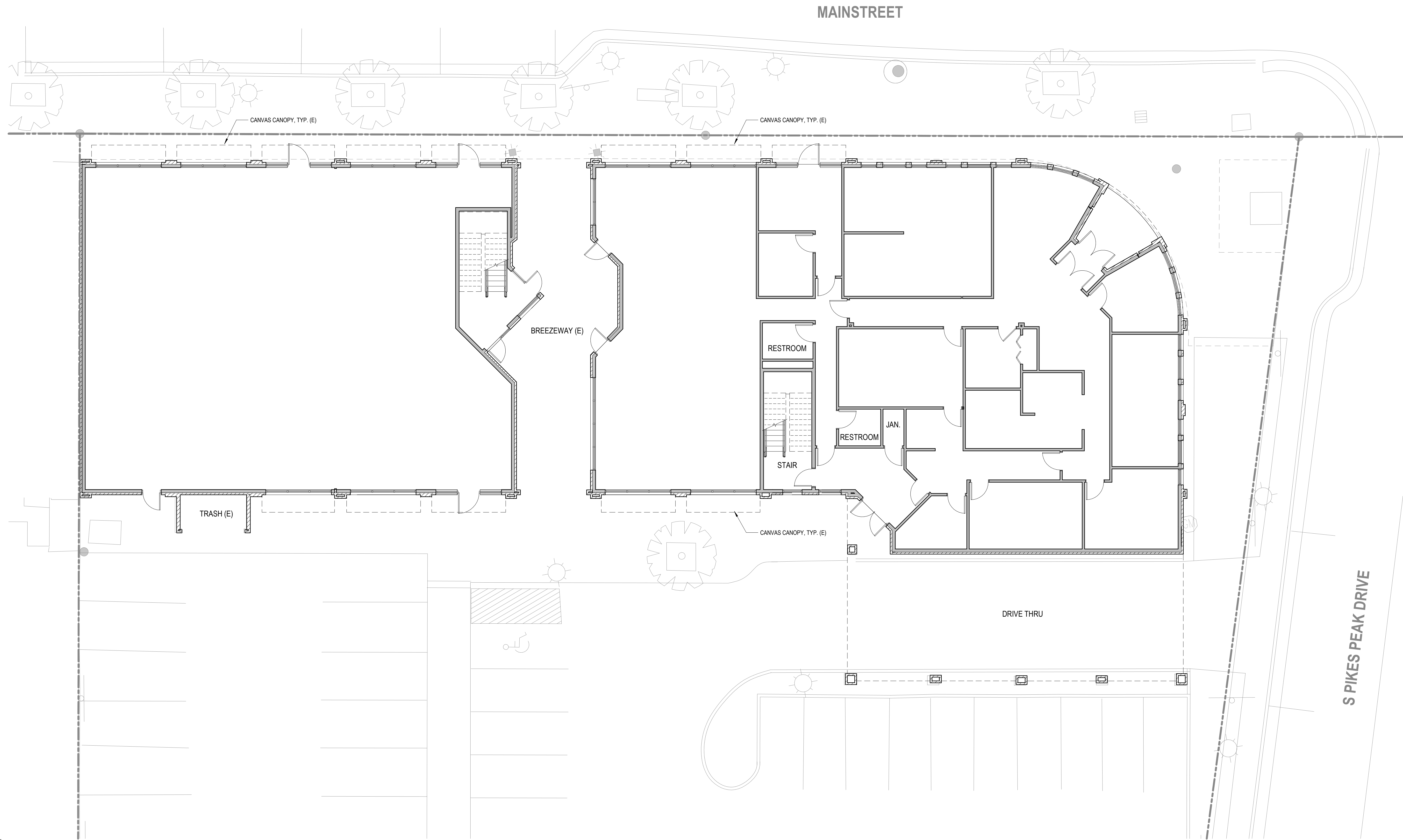
PA11B - 35W Max. MR16 Halogen lamp.

LED options can be used in all models and applications.

Mounting options: M01-SM, M01-FM, M01-S, M01-F, M01-S2, M01-F2, M01-S4, M01-F4, M01-S8, M01-F8, M01-S16, M01-F16, M01-S32, M01-F32, M01-S64, M01-F64, M01-S128, M01-F128, M01-S256, M01-F256, M01-S512, M01-F512, M01-S1024, M01-F1024, M01-S2048, M01-F2048, M01-S4096, M01-F4096, M01-S8192, M01-F8192, M01-S16384, M01-F16384, M01-S32768, M01-F32768, M01-S65536, M01-F65536, M01-S131072, M01-F131072, M01-S262144, M01-F262144, M01-S524288, M01-F524288, M01-S1048576, M01-F1048576, M01-S2097152, M01-F2097152, M01-S4194304, M01-F4194304, M01-S8388608, M01-F8388608, M01-S16777216, M01-F16777216, M01-S33554432, M01-F33554432, M01-S67108864, M01-F67108864, M01-S134217728, M01-F134217728, M01-S268435456, M01-F268435456, M01-S536870912, M01-F536870912, M01-S1073741824, M01-F1073741824, M01-S2147483648, M01-F2147483648, M01-S4294967296, M01-F4294967296, M01-S8589935744, M01-F8589935744, M01-S17179871488, M01-F17179871488, M01-S34359742976, M01-F34359742976, M01-S68719485952, M01-F68719485952, 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# PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAINSTREET



PREPARED BY:  
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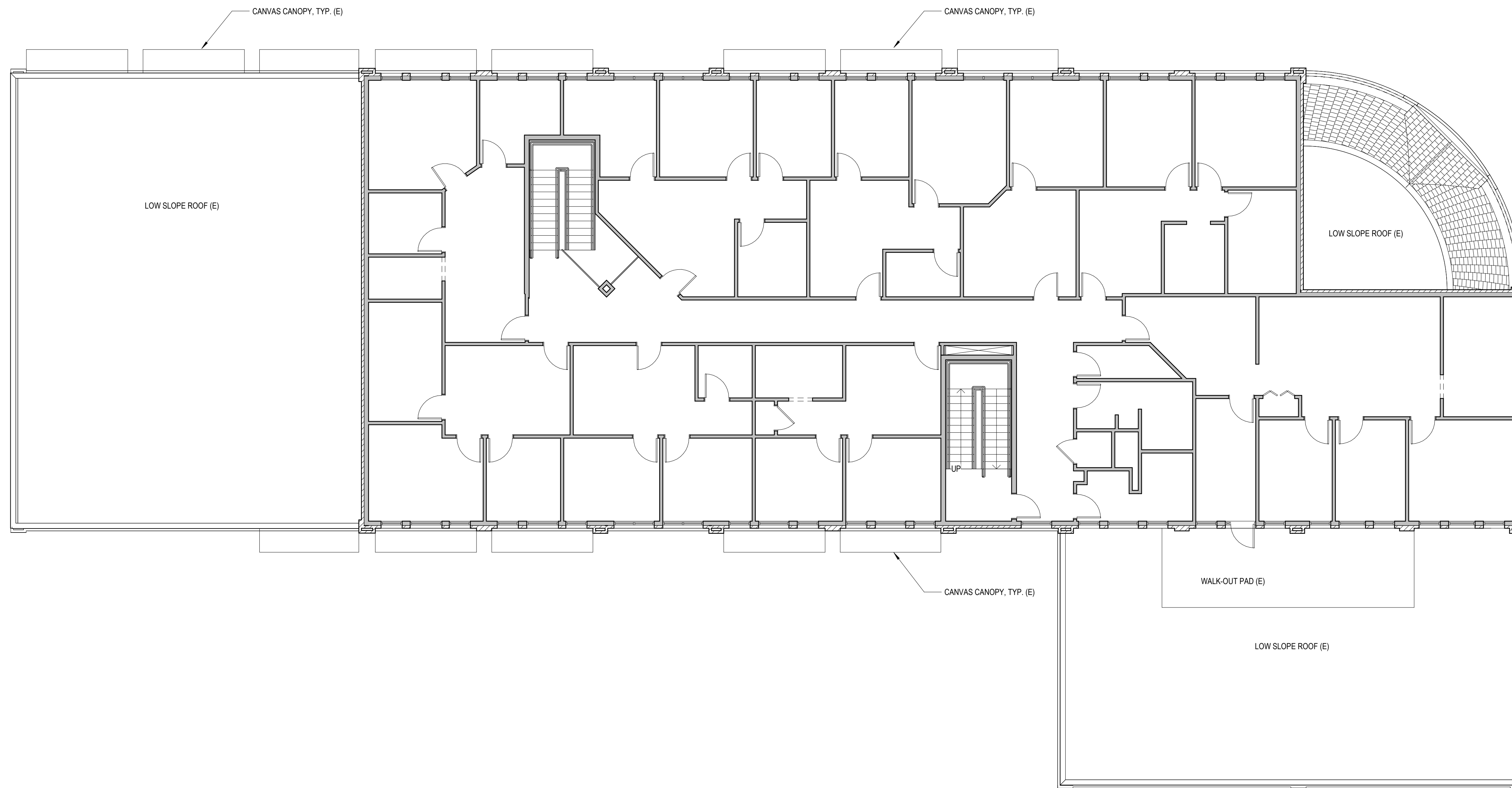
1 EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - EXISTING CONDITIONS

# PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

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1 EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



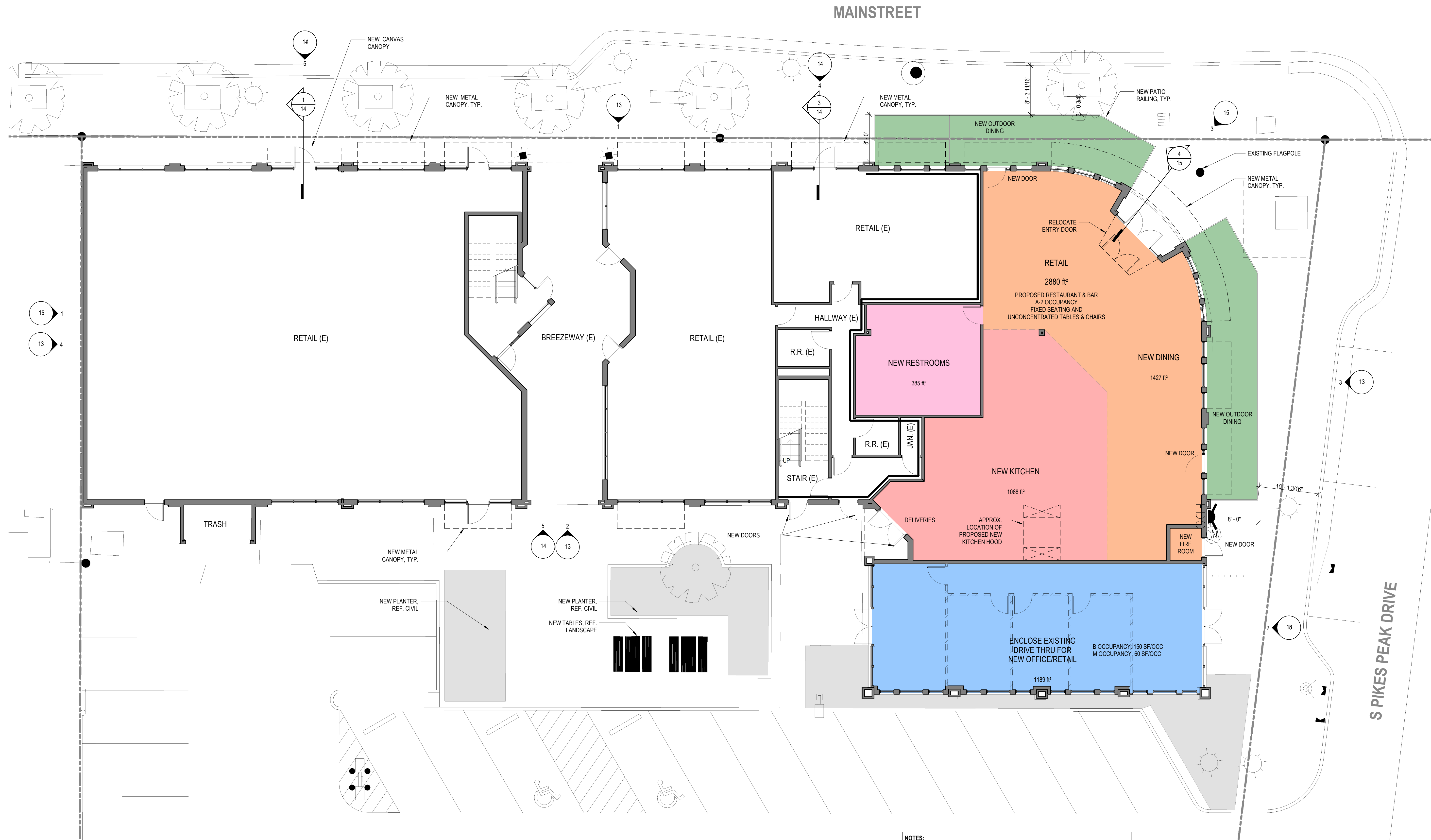
SECOND FLOOR PLAN - EXISTING CONDITIONS

12

12 OF 19

# PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

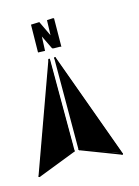
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- NOTES:**
- NEW KITCHEN REQUIRES GRILL EXHAUST HOOD AND GREASE INTERCEPTOR
  - NEW AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED FOR RESTAURANT/BAR OCCUPANCY. REQUEST SPRINKLER INFRASTRUCTURE TO BE SIZED FOR ENTIRE BUILDING AND ALLOWED TO BE EXTENDED FROM RESTAURANT TO EXISTING BUILDING IN PHASES AS TENANT IMPROVEMENTS OCCUR IN THE FUTURE.
  - REFERENCE CIVIL DRAWINGS FOR FULL SITE PLAND AND IMPROVEMENTS

PREPARED BY:  
**Galloway**

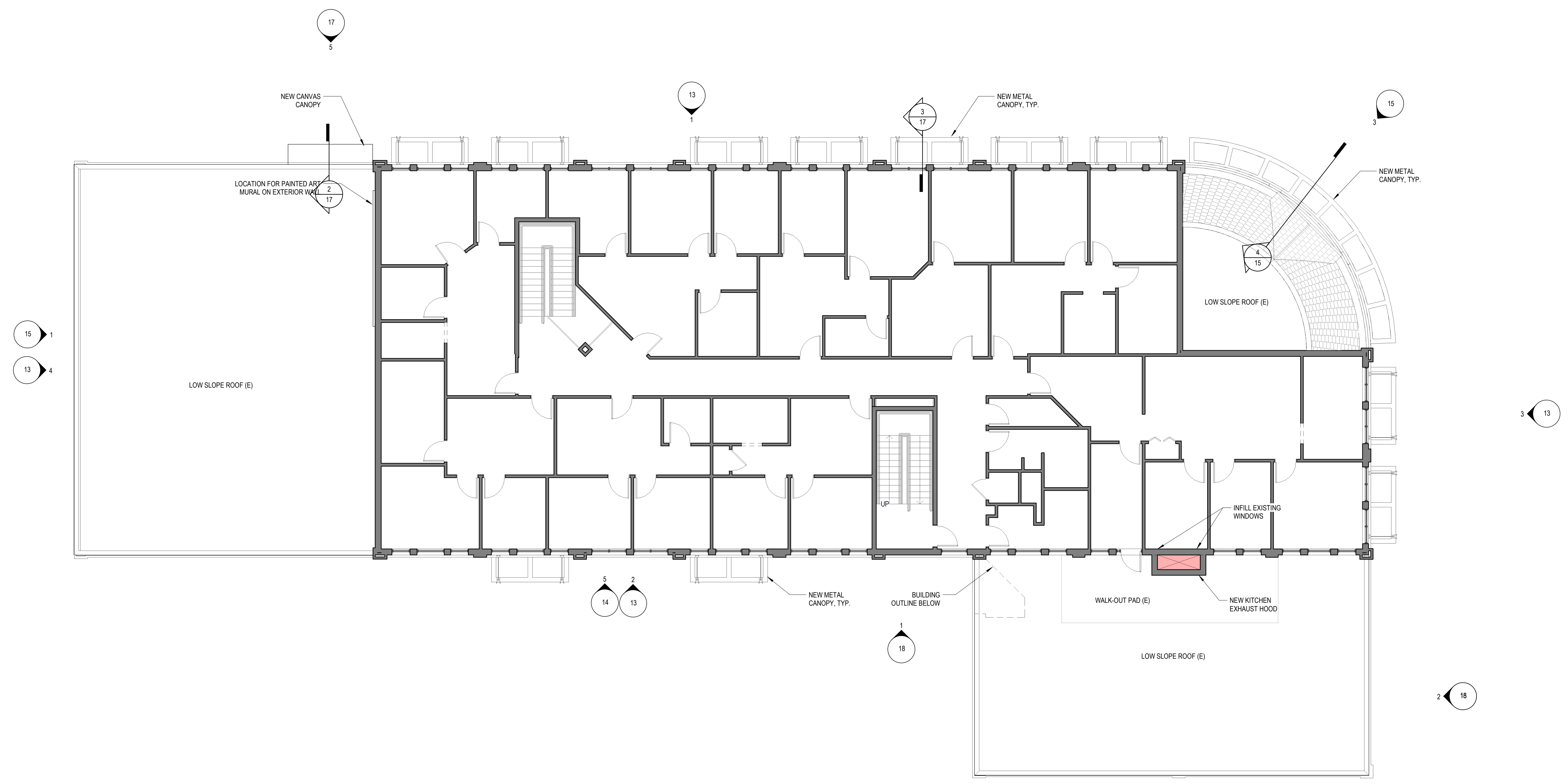
**1** CONCEPTUAL FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - PROPOSED CONSTRUCTION

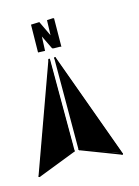
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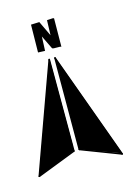
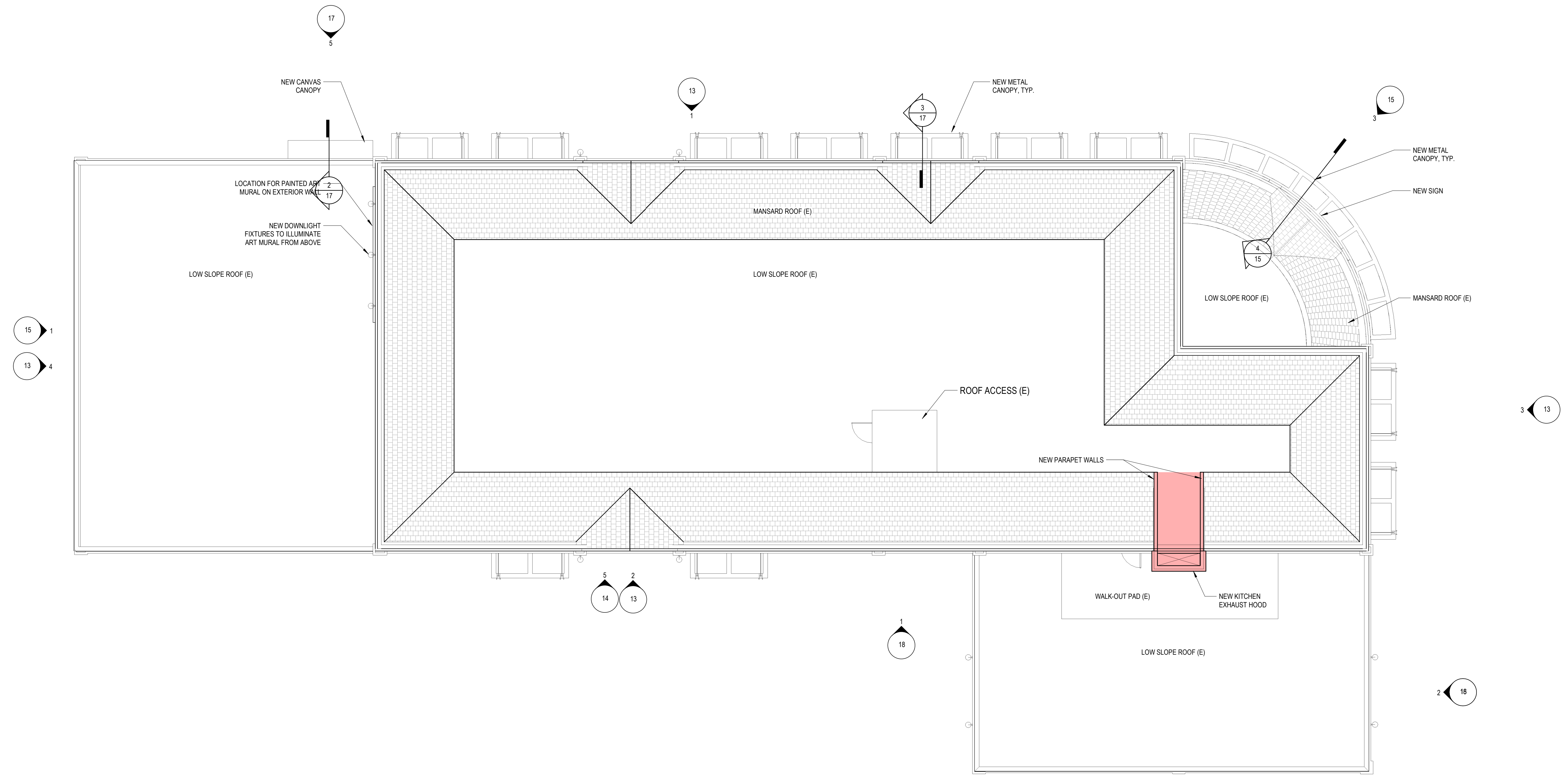
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SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN - PROPOSED CONSTRUCTION  
**14**  
14 OF 19

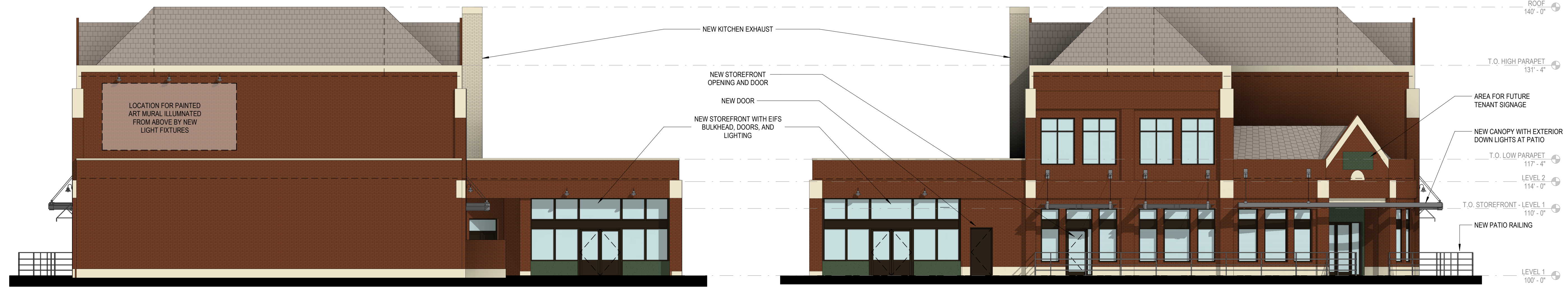
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4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

3 EAST ELEVATION (PIKES PEAK DRIVE)  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION (PILGRIMS PLACE)  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION (MAINSTREET)  
SCALE: 1/8" = 1'-0"

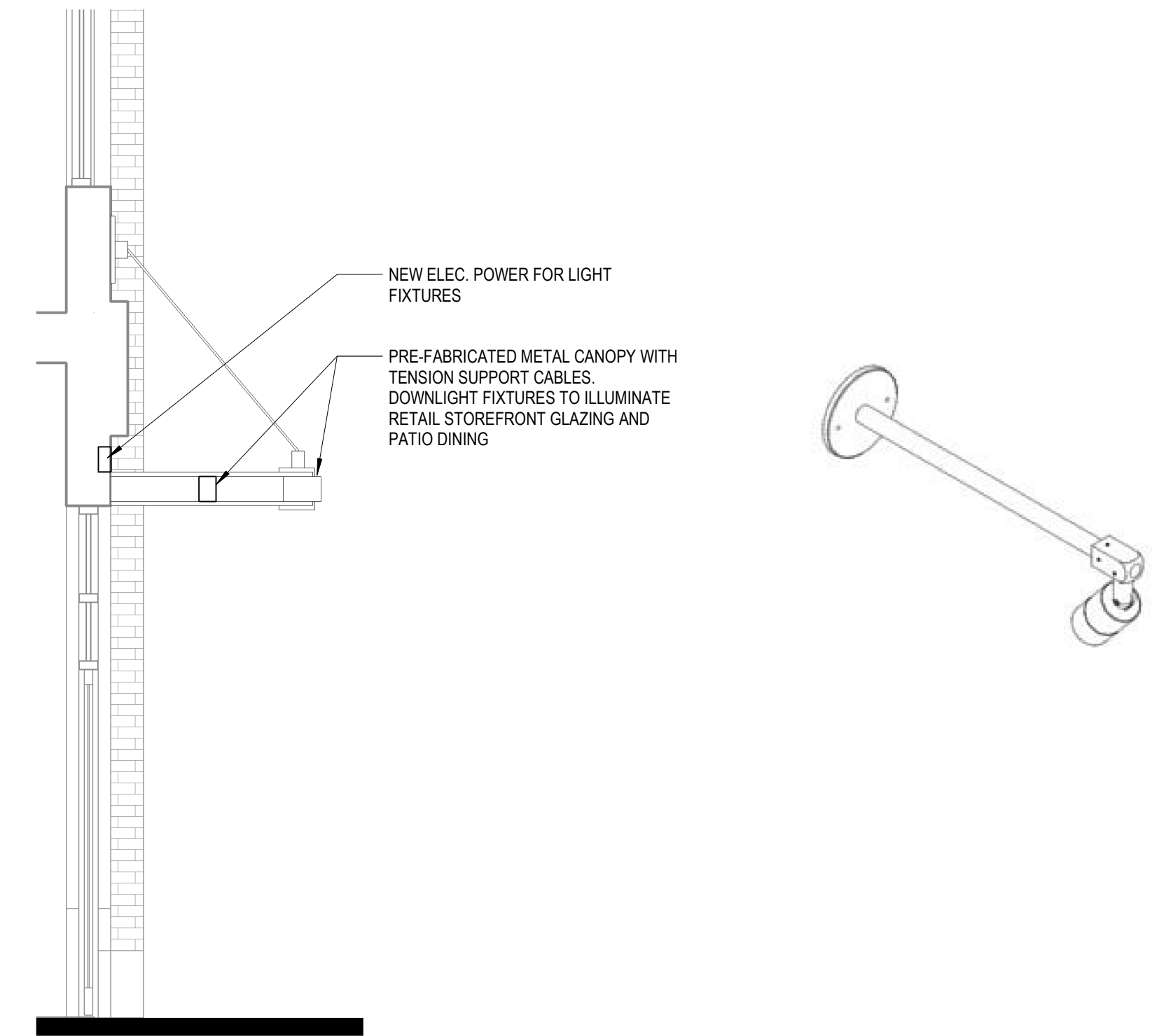
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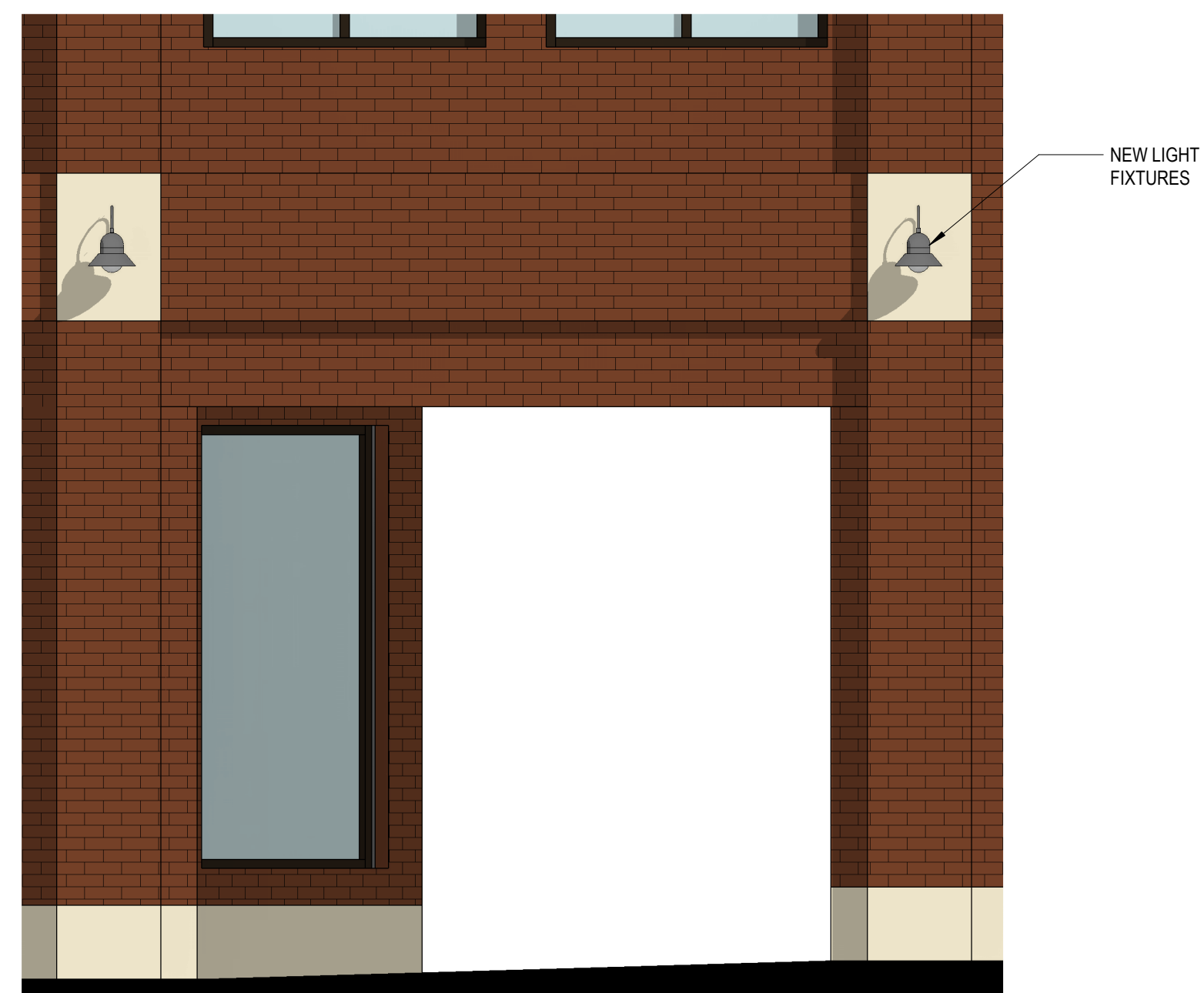
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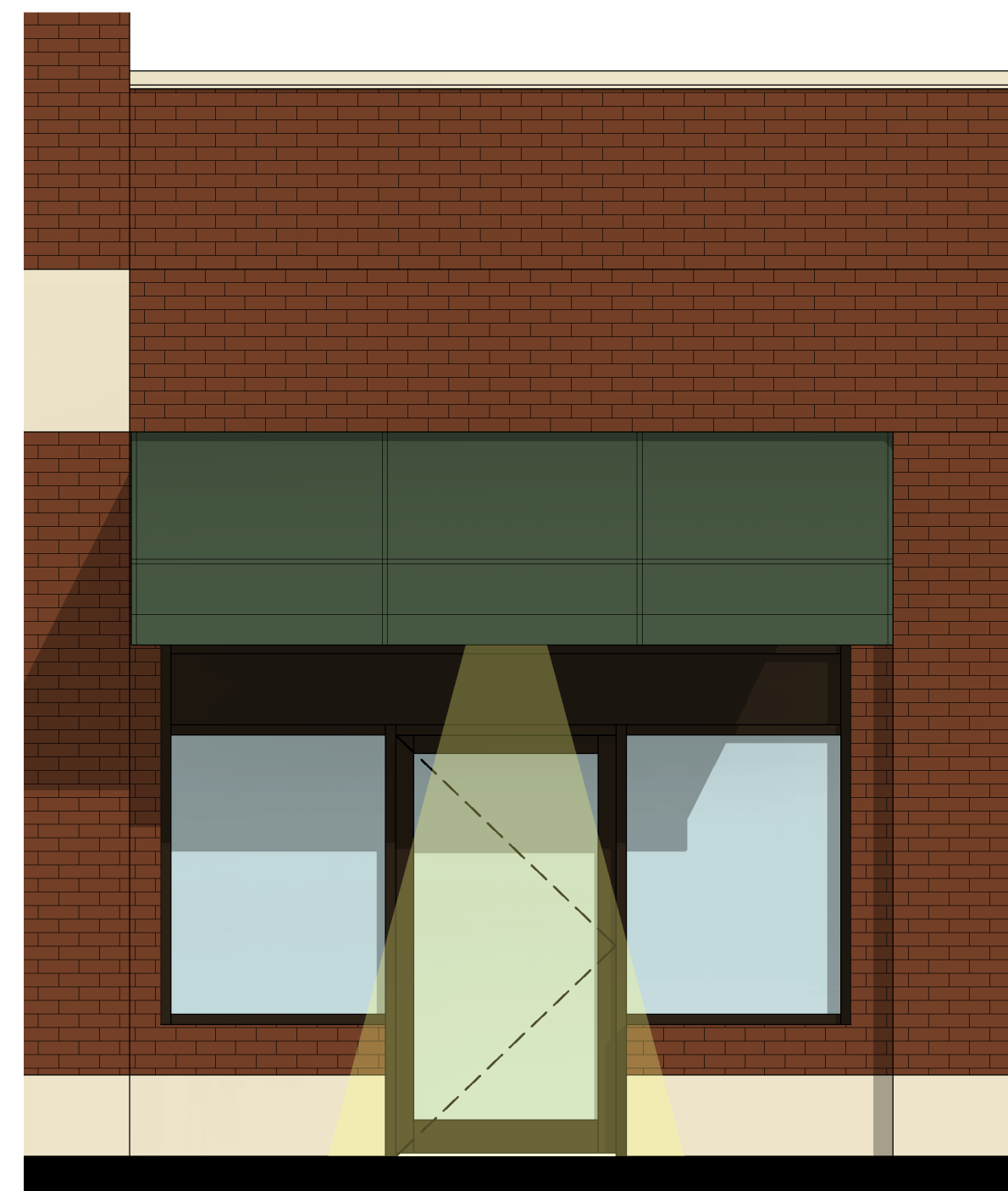
4 PROPOSED NEW STOREFRONT  
SCALE: 3/8" = 1'-0"



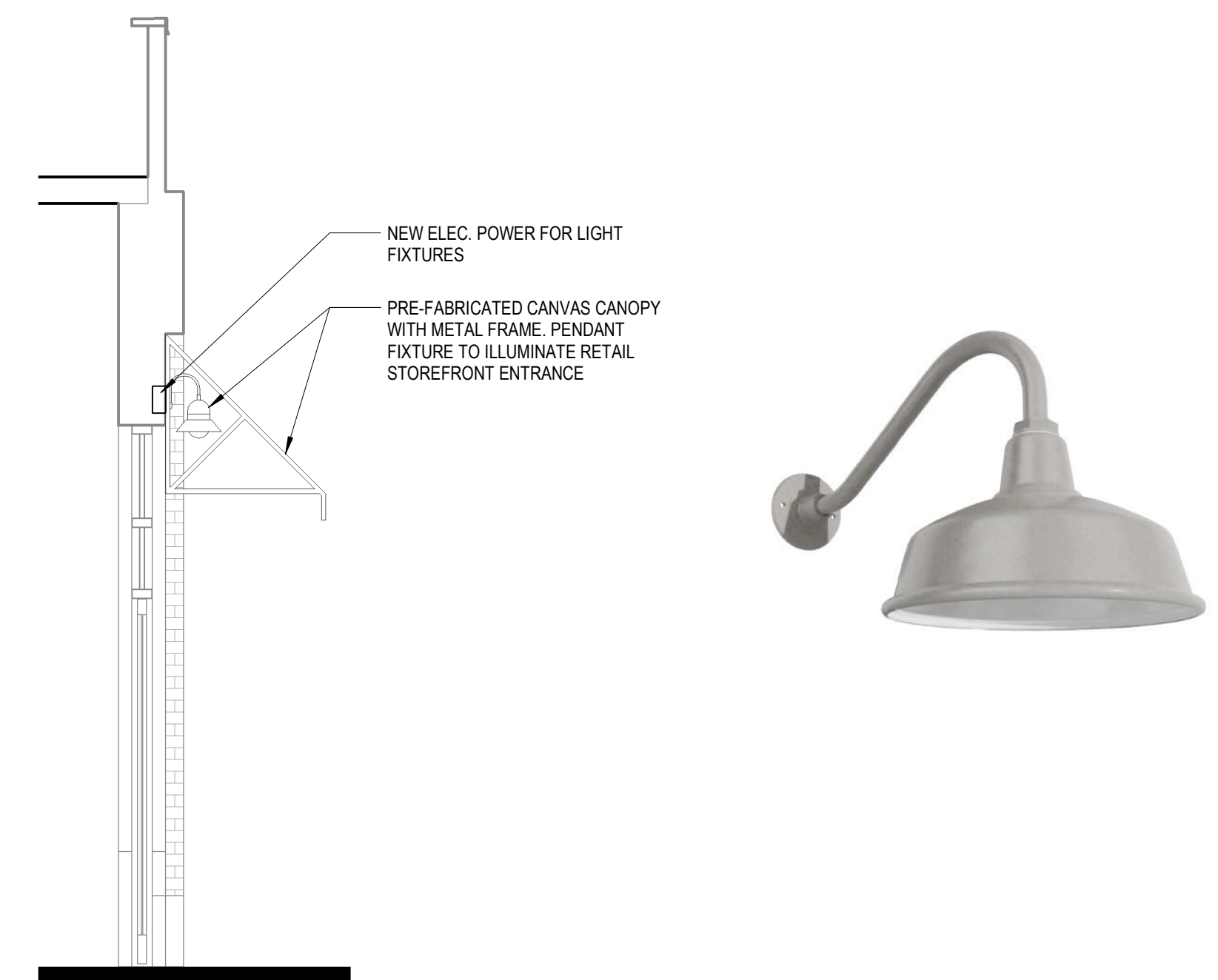
3 WALL SECTION @ METAL CANOPY  
SCALE: 3/8" = 1'-0"



5 PROPOSED BREEZEWAY SURROUND  
SCALE: 3/8" = 1'-0"



2 PROPOSED RETAIL STOREFRONT  
SCALE: 3/8" = 1'-0"



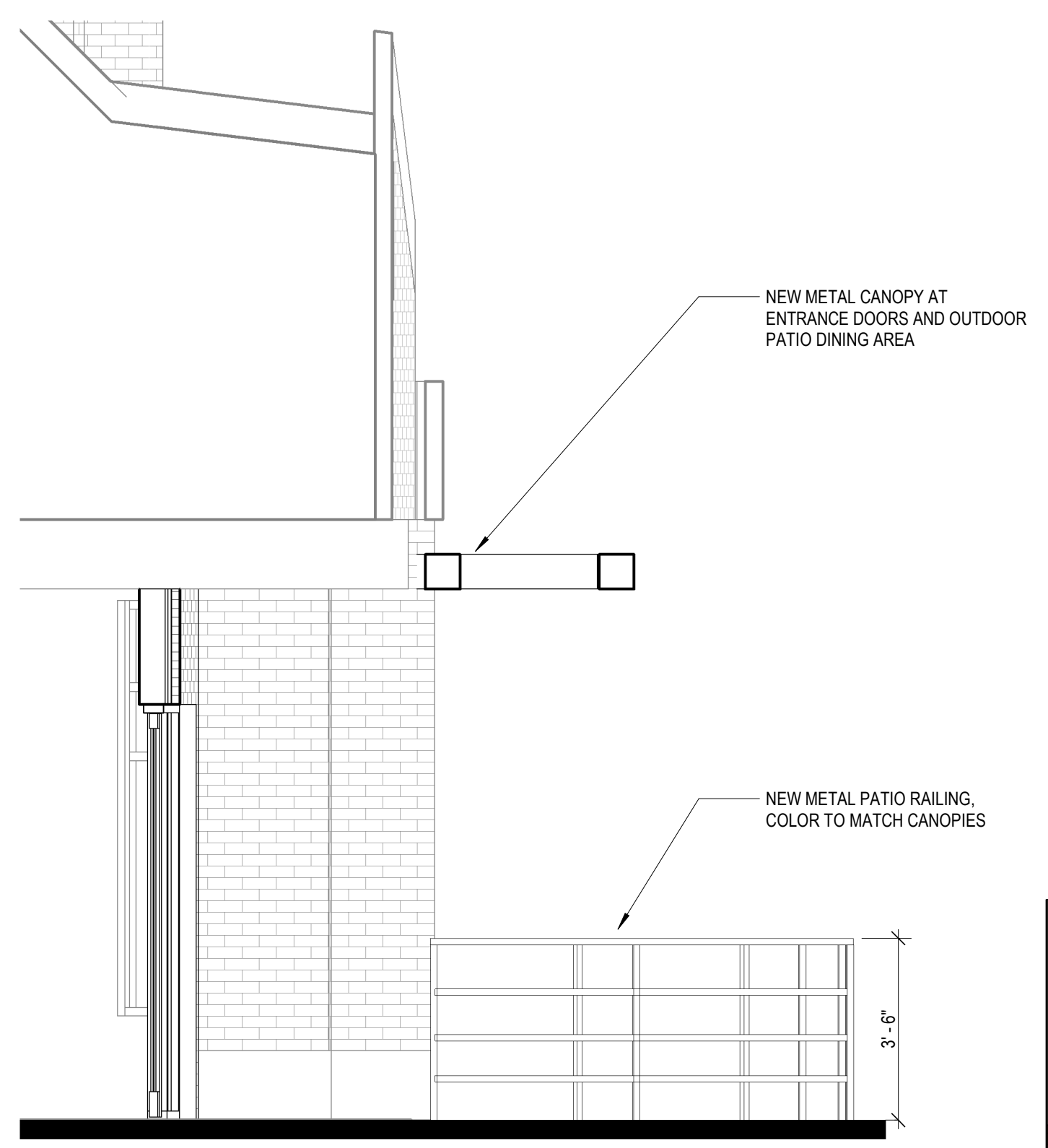
1 WALL SECTION @ FABRIC AWNING  
SCALE: 3/8" = 1'-0"

# PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAIN STREET



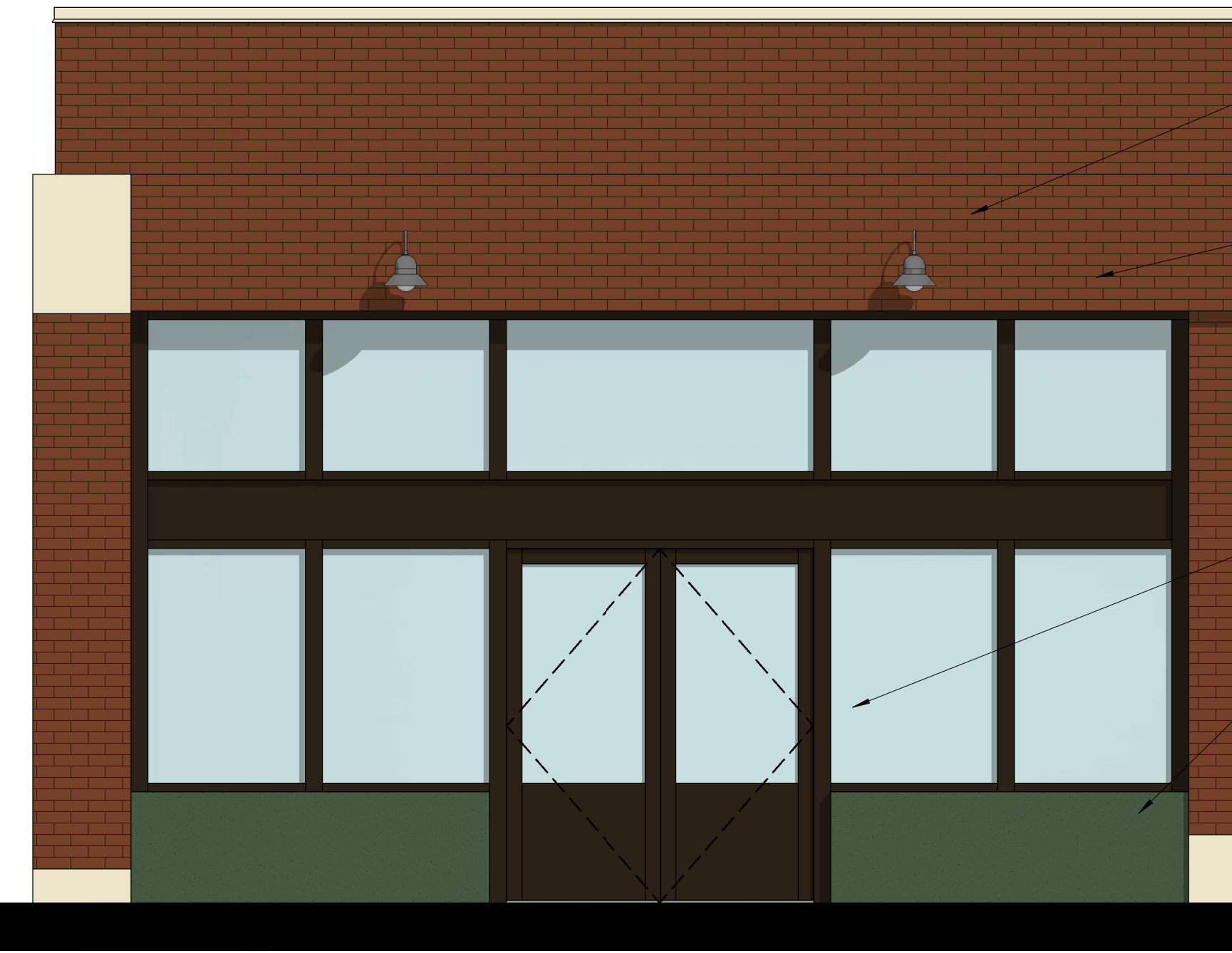
3 DINING ENTRANCE ELEVATION  
SCALE: 3/8" = 1'-0"



4 SECTION @ DINING ENTRANCE  
SCALE: 3/8" = 1'-0"



1 PROPOSED ART MURAL  
SCALE: 3/8" = 1'-0"



2 PROPOSED INFILL WALL ELEVATION  
SCALE: 3/8" = 1'-0"

EXISTING BRICK VENEER WALL  
NEW EXTERIOR LIGHT FIXTURES  
NEW STOREFRONT AND DOORS  
PAINTED STUCCO FINISH BULKHEAD

# PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19590 E MAINSTREET



MAINSTREET



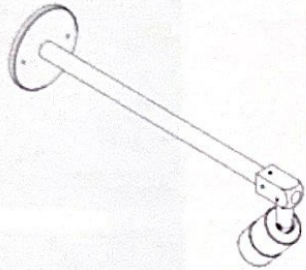
PIKES PEAK DRIVE



PIKES PEAK DRIVE



PILGRIMS PLACE



B-K LIGHTING DELTA STAR 18" SIGN LIGHT, POWDER COAT GRAY FINISH



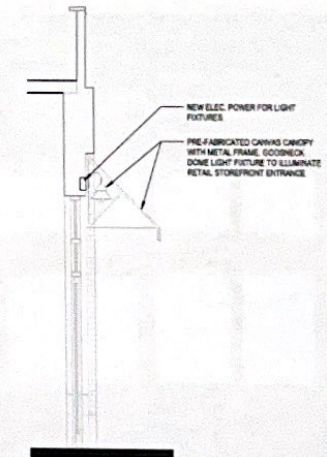
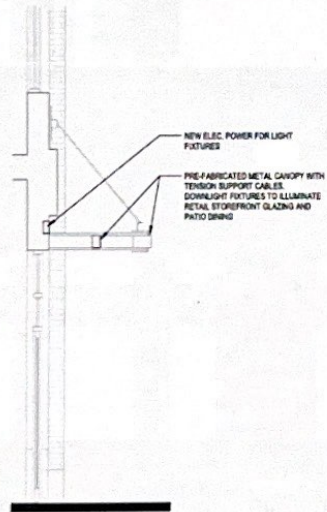
FOUR SEASONS AWNING PRE-MANUFACTURED ALUMINUM CANOPY, CHARCOAL GRAY



FOUR SEASON AWNING CANVAS AWNING, FOREST GREEN



BOCK LIGHTING 512-EG14-IG1 12" DOME LIGHT, POWDER COAT GRAY FINISH





NEW BRICK MECHANICAL VENT SURROUND,  
HEBRON BRICK, CHAMPAGNE VELOUR

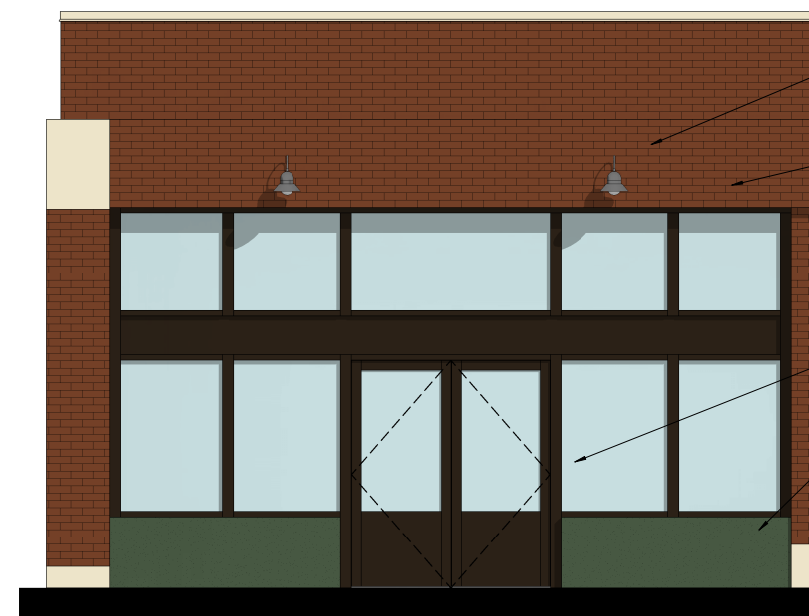


HEBRON BRICK COMPANY THIN BRICK,  
CHAMPAGNE VELOUR



SW 6447 EVERGREENS

SHERWIN WILLIAMS PAINT



EXISTING BRICK  
VENEER WALL

NEW EXTERIOR  
SCONCE LIGHTING  
LIGHT FIXTURES

NEW STOREFRONT AND DOORS

PAINTED STUCCO  
FINISH BULKHEAD -  
SW 6447 EVERGREENS

