



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Troy Kelts, Galloway & Company
FROM: Stacey Nerger, Senior Planner
DATE: January 8, 2024
SUBJECT: The Exchange Lot 1 – Site Plan
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
 - a. Example: "03 Site Plan"

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

Redline comments have been addressed

2. Staff believe that there is a new streetlight installed where the new access off Pikes Peak is proposed. If this is correct, this light will need to be relocated to a new area along the Pikes Peak frontage. You will be responsible for the removal, storage and replacement of this light fixture.

Comment Addressed: Yes No

Response:

Acknowledged, plans have been updated to show the relocation of the new street light

Parking

1. Pursuant to Section 13.06.050 (f) (1) Each off-street parking space, other than parallel spaces, shall be nine (9) feet in width and eighteen (18) feet in length, with an unobstructed front-end overhang. Parking spaces adjacent to landscape islands shall be ten (10) feet in width or a concrete strip, at least eighteen (18) inches wide, shall be provided on the adjacent side of the island for pedestrians to step out of the car.

Please amend the parking space sizes to meet the minimum requirements.

Comment Addressed: Yes No

Response:

The proposed parking stalls are larger than the existing, with added building protection via wheel stops and added protection for the power poles to the south of the site

Landscaping

1. Pursuant to the Greater Downtown District Historic Center: A minimum of ten (10) percent of the total site area shall be designated for landscaping, plazas, pocket parks and/or open space. If the site currently does not meet the minimum ten percent requirement, the site would be considered legal nonconforming, but the amended conditions should not include less. The proposed plaza along the south side of the building can be included within the calculation for landscaping.

Comment Addressed: Yes No

Response:

Line item in the table has been moved to the top for clarification

2. Pursuant to Section 13.06.070 (o) (3) the Town of Parker LDO; parking lots adjacent to a public or private roadway shall provide a buffer a minimum of ten (10) feet in width measured from back of sidewalk or curb, whichever is greater and include landscape material to help screen the visual impact of the parking lot. The south and east property lines need to meet this requirement. However, since the existing condition did not meet this requirement, we can work with this proposal not meeting this requirement. Please provide what is existing and what is being proposed. The proposed should be either the same or more, not less.

Comment Addressed: Yes No

Response:

Landscape details have been added to the table to show the proposed layout has more landscape buffer than the existing layout

3. Pursuant to Section 13.06.070 (O) (6); the Town of Parker LDO Parking lots adjacent to parking lots. Parking lots adjoining another parking lot shall provide a buffer a minimum of eight (8) feet. This standard may be reduced or waived as approved during the site plan review process when a shared parking agreement is proposed, in accordance with Section 13.06.050 above. The following standards shall apply when determining the appropriateness of a reduction:

D .Compliance with an approved plan. Landscape plans shall take into consideration plant materials that are either pre-existing or have been approved by the Town on adjacent lots.

Please add to the table that there was no landscaping along the western property line between parking lots. This way the Site Plan can show compliance with the above requirement and allowance for a reduction.

Comment Addressed: Yes No

Response:

Landscape details have been added to the table to show the adjacent parking lot buffer did not change from the existing condition

4. Pursuant to Section 13.06.070 (p) (2) a. 1. the Town of Parker LDO; Parking lot interior landscaping shall not be applied to commercial developments requiring fewer than eighty (80) parking spaces. Since the development requires fewer than 80 parking spaces, the interior parking lot landscape requirement does not apply.

Comment Addressed: Yes No

Response:

Acknowledged

5. Please verify the numbers listed within the landscape requirement table to ensure the numbers listed as provided are correct.

Comment Addressed: Yes No

Response:

The numbers have been verified

6. Please provide an irrigation plan. This needs to be reviewed by the Parker Water and Sanitation District.

Comment Addressed: Yes No

Response:

Irrigation plan has been added

Lighting

1. Please see the redlines for minor comments.

Comment Addressed: Yes No

Response:

Redline comments have been addressed

Building Elevations

Staff has no additional comments on the building elevations.

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Building
- Fire Life Safety
- Parker Water and Sanitation District
- Town of Parker Construction Plans – Environmental
- Town of Parker Engineering and Stormwater

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed: Yes No

Response:

*Staff Comments 02
SP23-080; The Exchange Lot 1
Site Plan
January 8, 2024*

Property Owner

Date

Project Representative

Date

EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET

PROJECT CONTACTS

PROPERTY OWNER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

APPLICANT/DEVELOPER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

CIVIL ENGINEER

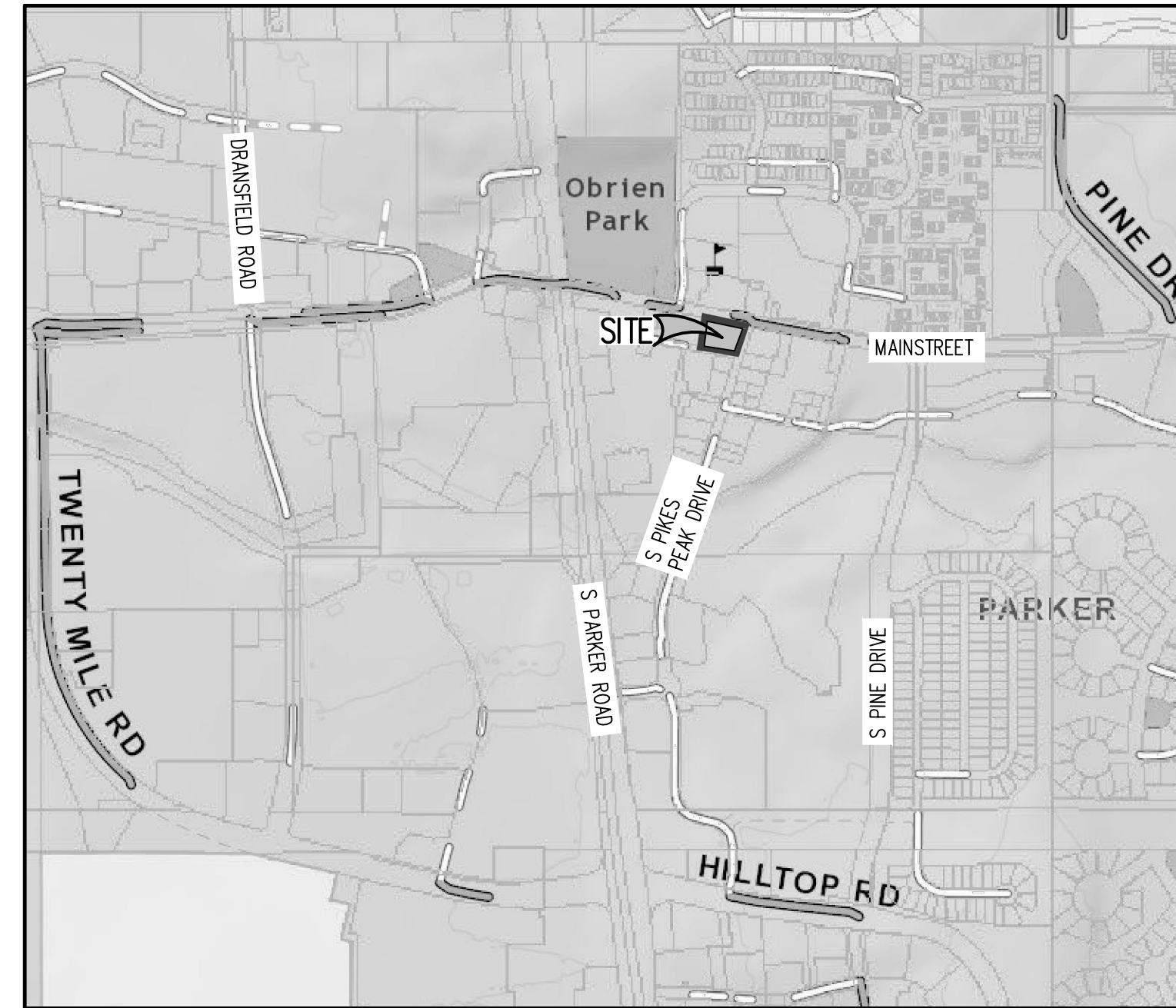
GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: TROY KELTS, PE

ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: CHRISTIAN ARNDT

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: JONAH WEISS



VICINITY MAP
SCALE: 1" = 1000'



LEGAL DESCRIPTION

PARCEL I:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 0 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST

PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 3 IN BOUNDARY SURVEY OF A PORTION OF PARKER, COLORADO, JOB NO. 272-3985, DATED JUNE 18, 1981 AND RECORDED JULY 16, 1981 AT RECEPTION NO. 271187 OF THE DOUGLAS COUNTY RECORDS AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF EAST PARKER ROAD A DISTANCE OF 108.00 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 9 IN ABOVE DESCRIBED BOUNDARY SURVEY; THENCE SOUTH 10 DEGREES 37 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 150.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE AND THE SOUTHWEST CORNER OF THE AFOREMENTIONED PARCEL 9; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE A DISTANCE OF 108.00 FEET TO THE SOUTHEAST CORNER OF AFOREMENTIONED PARCEL 3; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PARCEL 3 A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

PARCEL II:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 00 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE 860.80 FEET; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE 108.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH LINE, 102.43 FEET TO THE WEST RIGHT OF WAY LINE OF PIKES PEAK DRIVE; THENCE SOUTH 17 DEGREES 31 MINUTES 30 SECONDS WEST, ALONG SAID WEST RIGHT OF WAY LINE, 151.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 84.28 FEET; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST, 150.00 FEET TO THE POINT OF BEGINNING.

BENCHMARK

DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042; A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE, ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINES OF THE ADJACENT CONCRETE PATHS, APPROXIMATE POSITION LAT. 39.516689 N, LONG. -104.754294 W, ELEVATION=5889.09

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

LIST OF ABBREVIATIONS

SHT - SHEET
Δ - DEFLECTION ANGLE
L - LENGTH
R - RADIUS
CB - CHORD BEARING
C - CHORD LENGTH
N - NORTH/NORTHING
W - WEST
E - EAST/EASTING
S - SOUTH
DET - DETAIL
EX - EXISTING
W/ - WITH
PC - POINT OF CURVATURE/PORTLAND CEMENT
WVF - WELDED WIRE FABRIC
VERT - VERTICAL
OC - ON CENTER
FDC - FIRE DEPARTMENT CONNECTION
CT - COURT
DR - DRIVE
TYP - TYPICAL
REC - RECEPTION NUMBER
DIA - DIAMETER
PT - POINT OF TANGENCY
MIN - MINIMUM
MAX - MAXIMUM
HDPE - HIGH DENSITY POLYETHYLENE

PREPARED BY:

Galloway

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Greenwood Village, CO 80111
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SITE STATISTICS			
ZONING	GD		
LOT AREA	SE	ACRES	% OF TOTAL
GROSS	30,203	0.693	100%
NET	30,203	0.693	100%
SITE DATA - EXISTING	SE	ACRES	% OF TOTAL
BUILDING AREA	11,264	0.259	37.3%
HARDSCAPE AREA	17,727	0.406	58.7%
LANDSCAPE AREA	1,212	0.028	4.0%
TOTAL:	30,203	0.693	100%
SITE DATA - PROPOSED	SE	ACRES	% OF TOTAL
BUILDING AREA	12,446	0.286	41.2%
HARDSCAPE AREA	16,343	0.375	54.1%
LANDSCAPE AREA	1,414	0.032	4.7%
TOTAL:	30,203	0.693	100%
BUILDING HEIGHT	EXISTING	PROPOSED	
	40'	40'	
SETBACKS	FRONT	REAR	SIDE
	0'	0'	0'
BUILDING ADDITION	SE	LAND USE	
	1,182	OFFICE/RETAIL	
PARKING*	EXISTING PROVIDED	PROPOSED PROVIDED	REQUIRED PARKING
COMMERCIAL MIXED USE	46	35	1
ACCESSIBLE SPACES	1	2	
BICYCLE PARKING	0	2	

Adjacent parking spaces added to total

You can also include the spaces adjacent to the property on both Pikes Peak and Mainstreet.

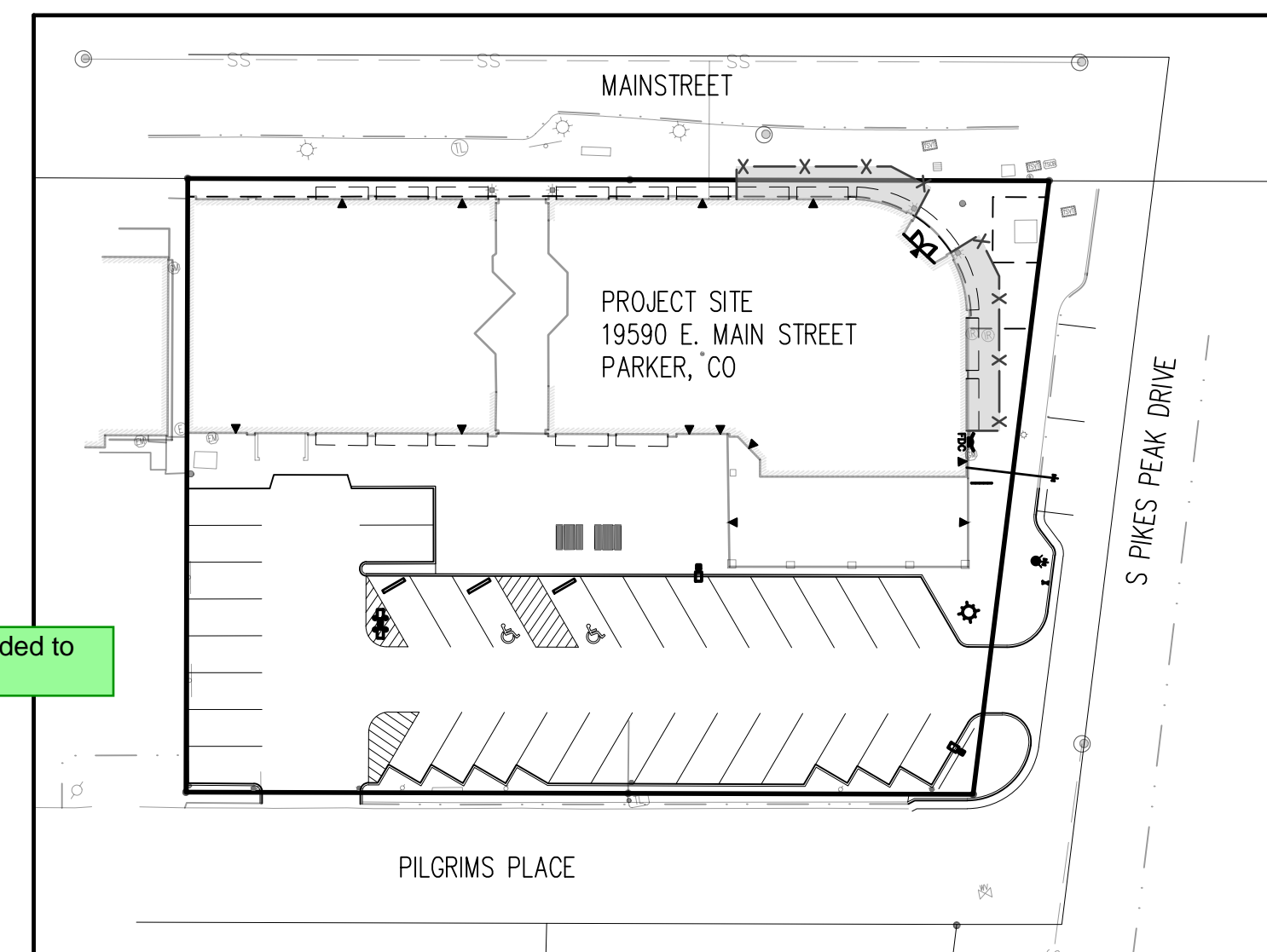
Information added to table

Need more information on these. Front (north?)

Also, is this the required setback or the proposed? If required, please add the proposed.

Please include a calculation for the parking that is required since you are proposing to remove spaces. Per the Historic Center requirements, 1 parking space is required for every 500 square feet of net leasable area. Therefore, a total of 23 parking spaces are required. Your asterisk should also be added next to the number for required parking.

Required parking added



LOCATION MAP
SCALE: 1" = 40'



SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	LANDSCAPE PLAN
5	LANDSCAPE DETAILS
6	PHOTOMETRIC PLAN
7	PHOTOMETRIC DETAILS
8	FIRST FLOOR PLAN - EXISTING CONDITIONS
9	SECOND FLOOR PLAN - EXISTING CONDITIONS
10	FIRST FLOOR PLAN - PROPOSED CONSTRUCTION
11	SECOND FLOOR PLAN - PROPOSED CONSTRUCTION
12	ROOF PLAN - PROPOSED CONSTRUCTION
13	PLANNING ELEVATIONS
14	PLANNING ELEVATION DETAILS
15	PLANNING ELEVATION DETAILS
16	EXISTING SITE IMAGES

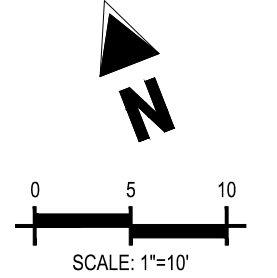
COVER SHEET

1

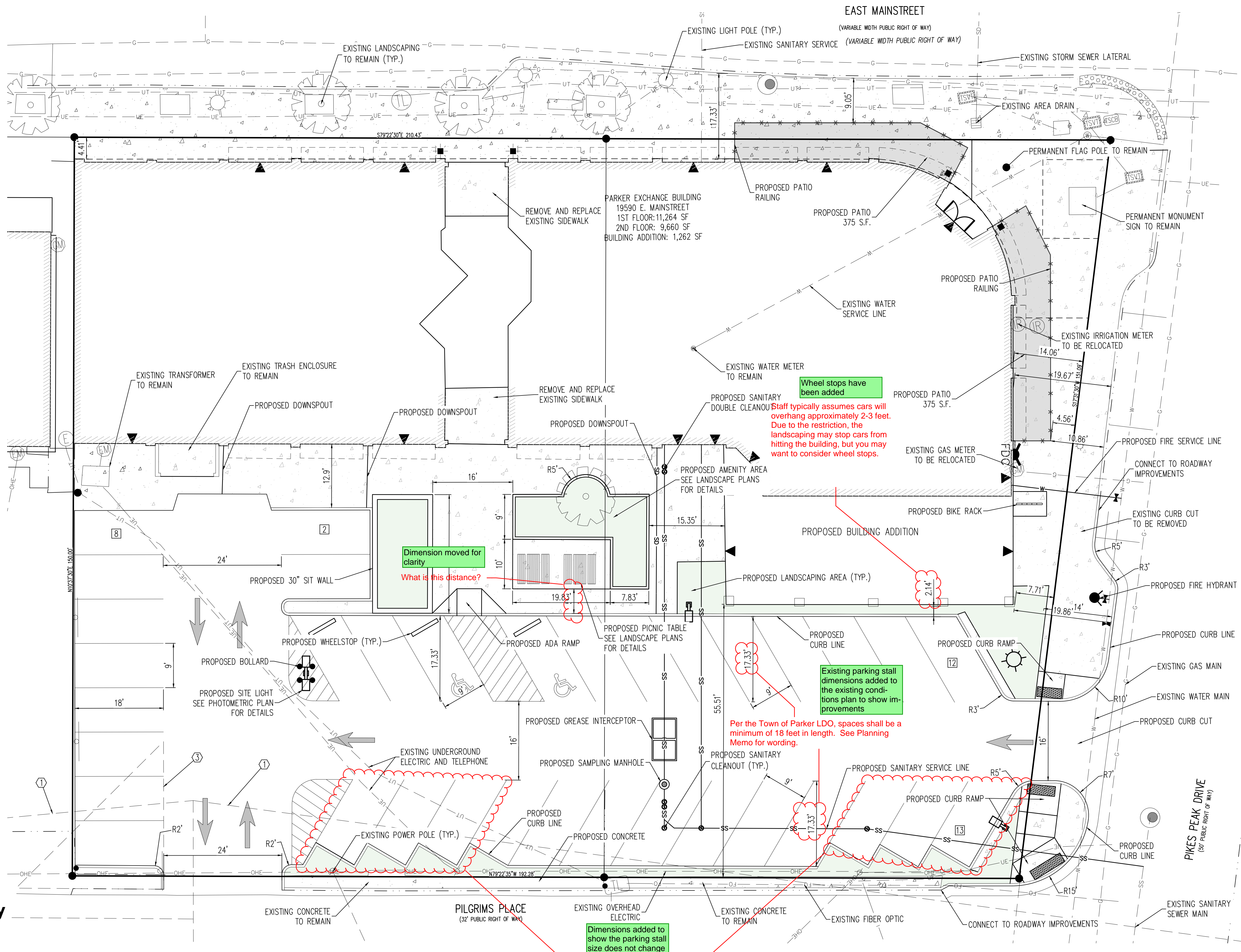
1 OF 16

EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



- SITE LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - - - EXISTING EASEMENT LINE
 - △ SITE TRIANGLE
 - - - PROPOSED SAWCUT LINE
 - PROPOSED CURB AND GUTTER
 - EXISTING CURB AND GUTTER
 - PROPOSED RAILING
 - PROPOSED SIDEWALK
 - PROPOSED PATIO AREA
 - ADA PATH OF TRAVEL
 - 1 PARKING COUNT
 - EXISTING SIGN
 - PROPOSED SIGN
 - PROPOSED PIPE BOLLARD
 - PROPOSED ADA PARKING SYMBOL
 - PROPOSED WHEEL STOP
 - PROPOSED DETECTABLE WARNING TRUNCATED DOMES
 - EXISTING TREE
 - ▲ BUILDING ENTRANCE
- UTILITY LEGEND**
- W — EXISTING WATER LINE
 - W — PROPOSED WATER LINE
 - SS — EXISTING SANITARY SEWER
 - SS — PROPOSED SANITARY SEWER
 - SD — EXISTING STORM SEWER (LESS THAN 12")
 - SD — EXISTING STORM SEWER (12" AND LARGER)
 - SD — PROPOSED STORM SEWER (LESS THAN 12")
 - SD — PROPOSED STORM SEWER (12" AND LARGER)
 - UE — EXISTING UNDERGROUND ELECTRICAL
 - FO — EXISTING FIBER OPTIC LINE
 - UT — EXISTING UNDERGROUND TELEPHONE
 - G — EXISTING GAS LINE
 - E — EXISTING ELECTRIC LIGHT POLE
 - E — PROPOSED SITE LIGHTING
 - E — EXISTING ELECTRIC BOX
 - TR — EXISTING PAD MOUNTED TRANSFORMER
 - FO — EXISTING FIBER OPTIC PEDESTAL
 - FO — EXISTING FIBER OPTIC MANHOLE
 - FO — EXISTING FIBER OPTIC PULLBOX
 - TSV — EXISTING TRAFFIC SIGNAL VAULT
 - TEL — EXISTING TELEPHONE PEDESTAL
 - G — EXISTING GAS VALVE
 - SS — EXISTING SANITARY SEWER MANHOLE
 - SS — PROPOSED SANITARY SEWER MANHOLE
 - SS — EXISTING SANITARY STORM MANHOLE
 - SS — EXISTING FIRE HYDRANT
 - W — EXISTING WATER METER
 - W — EXISTING WATER MANHOLE
 - W — PROPOSED FIRE HYDRANT



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SITE PLAN
3
3 OF 16

Are these spaces smaller/shorter?

EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

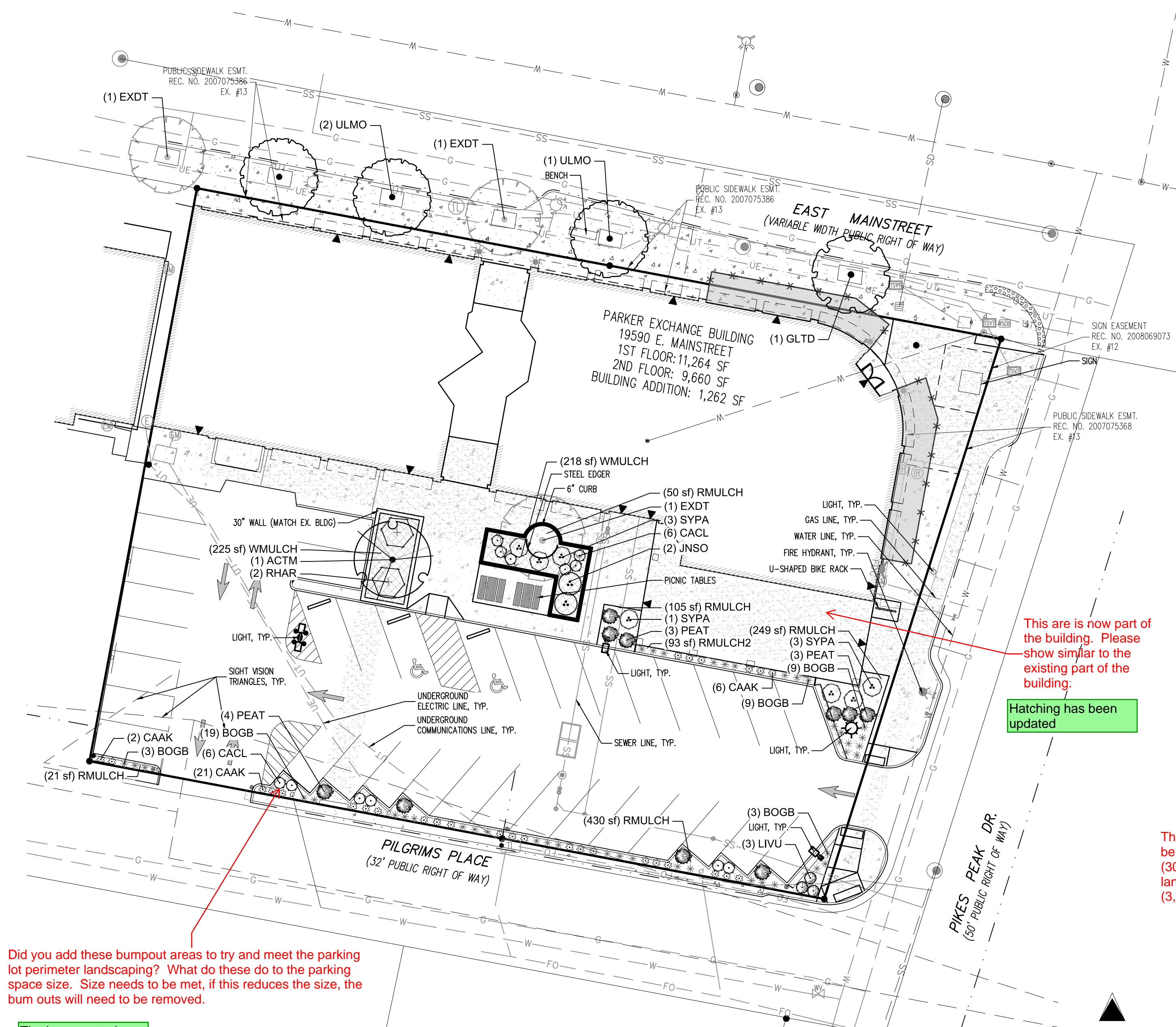
LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET

Please verify that the quantities listed in this table match the actual plans and the landscape table below.

Quantities have been verified

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
TREES									
	ULMO	3	TRIUMPH™ ELM	ULMUS X 'MORTON GLOSSY'	B&B	2' CAL	50' X35'	MODERATE	SUN/PART SHADE
DECIDUOUS TREES									
	GLTD	1	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM	B&B	2' CAL	45' X20'	LOW	SUN
ORNAMENTAL TREES									
	ACTM	1	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM	B&B	1.5" CAL	25' X20'	MODERATE	SUN/PART SHADE
EXISTING TREES									
	EXDT	3	EXISTING DECIDUOUS TREE	TO REMAIN	EXISTING				
DECIDUOUS SHRUBS									
	CACL	12	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5 CONT.	3' X3'		VERY LOW	SUN
	LIVU	3	LODENSE PRIVET	LIGUSTRUM VULGARE 'LODENSE'	#5 CONT.	3' X3'		VERY LOW	SUN/PART SHADE
	PEAT	10	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	4' X4'		VERY LOW	SUN
	RHAR	2	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X8'		LOW	SUN
	SYPA	7	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.	5' X5'		VERY LOW	SUN/PART SHADE
EVERGREEN SHRUBS									
	JNSO	3	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	1' X6'		VERY LOW	SUN/PART SHADE
ORNAMENTAL GRASSES									
	BOGB	44	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#1 CONT.	2' X2'		LOW	SUN/PART SHADE
	CAAK	29	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5' X2'		LOW	SUN
MULCH									
	RMULCH	855 SF	2"-4" ROCK COBBLE MULCH 3" REQUIRED DEPTH, WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	2"-4" ROCK COBBLE MULCH					
	RMULCH2	93 SF	4"-6" ROCK COBBLE MULCH 3" REQUIRED DEPTH, WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	4"-6" ROCK COBBLE MULCH					
	WMULCH	443 SF	WOOD MULCH 4" REQUIRED DEPTH, DARK BROWN SHREDDED HARDWOOD MULCH	WOOD MULCH					



This area is now part of the building. Please show similar to the existing part of the building.
Hatching has been updated

Table has been updated

Please add a column between required and provided that shows what is existing. There may be circumstances where the existing does not meet the required and is not proposed to be changed. This is ok.

There are two thoughts in this one row. The first should be that a minimum of 10% of the site shall be landscaped. (30,203 * 10% = 3,020). The second is that 75% of the landscaped area should consist of living landscaping. (3,020 * 75% = 2,265).

Table has been updated

Table has been updated
Where is this number coming from?

Acknowledged

In the Historic Center trees on Mainstreet shall be spaced 35 lineal feet on center. This will be the important area to outline what is existing and what is proposed. If there are no changes proposed to the existing, this should be ok.

Table has been updated

Please also include Pikes Peak. There are none existing or proposed, but please outline this for reference.

See Planning Memo for Parking Lots adjacent to Parking Lots.

Table has been updated to show the existing compared to the proposed adjacent parking buffers

These two should actually follow the parking lot perimeter landscaping requirement. See Planning memo.

Table has been updated

This only applies to parking lots that require a minimum of 80 spaces or more. This site will not be required to meet this code section.

Table has been updated

LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED
13.06.070 (L)(2) a	MN SITE LANDSCAPING STANDARDS	75% LANDSCAPE AREA VEGETATION COVERAGE	TOTAL LANDSCAPE AREA 843 SF X 0.75	632 SF	674 SF (80% VEGETATION COVERAGE)
13.06.070 (L)(5)	MN SITE LANDSCAPING STANDARDS	1 TREE / 1500 SF NOT COVERED BY BLDG OR REQ. PARKING	843 SF / 1500	1 TREES	1 EXISTING TREES + 1 PROPOSED TREE
13.06.070 (L)(5)	MN SITE LANDSCAPING STANDARDS	5 SHRUBS / 7500 SF NOT COVERED BY BLDG OR REQ. PARKING	6,792 SF / 1500 X 5	23 SHRUBS	110 SHRUBS + GRASSES
13.06.070 (M)	STREETSCAPE LANDSCAPING (E. MAINSTREET)	TREES NO GREATER THAN 40 FT APART	210 LF / 40	5 TREES	4 REPLACEMENT TREES + 1 EXISTING TREES
13.06.070	TOTAL LANDSCAPE/PLAZA AREA	TOTAL SITE AREA x 10% = REQUIRED LANDSCAPE AND PLAZA AREA	30,203 SQ. FT. X 0.1	3,020 SQ. FT. OF REQUIRED LANDSCAPE/ PLAZA AREA	3,340 SQ. FT.
13.06.070 (O) 5	PARKING LOT PERIMETER ADJACENT TO SITES WITH SIMILAR USES	8' MN. LANDSCAPE BUFFER	8' MN. LANDSCAPE BUFFER	8' MN. LANDSCAPE BUFFER	1.5' BUFFER* 48 GRASSES AND 13 SHRUBS
13.06.070 B	SITE PERIMETER (PKES PEEK DR.) (ADJACENT TO NONRESIDENTIAL USE)	1 TREES AND 5 SHRUBS FOR EACH 40 LF OF EDGE	151 / 40 191 / 40.5	4 TREES 19 SHRUBS	0 TREES* 9 SHRUBS AND 12 GRASSES
13.06.070 B	SITE PERIMETER (PILGRIMS PLACE) (ADJACENT TO NONRESIDENTIAL USE)	1 TREES AND 5 SHRUBS FOR EACH 40 LF OF EDGE	191 / 40 191 / 40.5	5 TREES 24 SHRUBS	0 TREES* 45 GRASSES AND 10 SHRUBS
13.06.070 (P)(2)	INTERNAL PARKING LOT LANDSCAPING	10% OF PARKING ALLOCATED TO LANDSCAPE ISLANDS	10,734 SF OF PARKING LOT AREA X 0.10	1,073 SF	1,020 SF*

Table has been updated

All trees and shrubs proposed on site, excluding the trees within Mainstreet ROW can count towards your overall site landscaping.

Table has been updated

Add an additional row for grasses. Not required, but they do count towards the landscaping.

Table has been updated

This should be the number that the number of trees and shrubs should be based off.

CAUTION - NOTICE TO CONTRACTOR

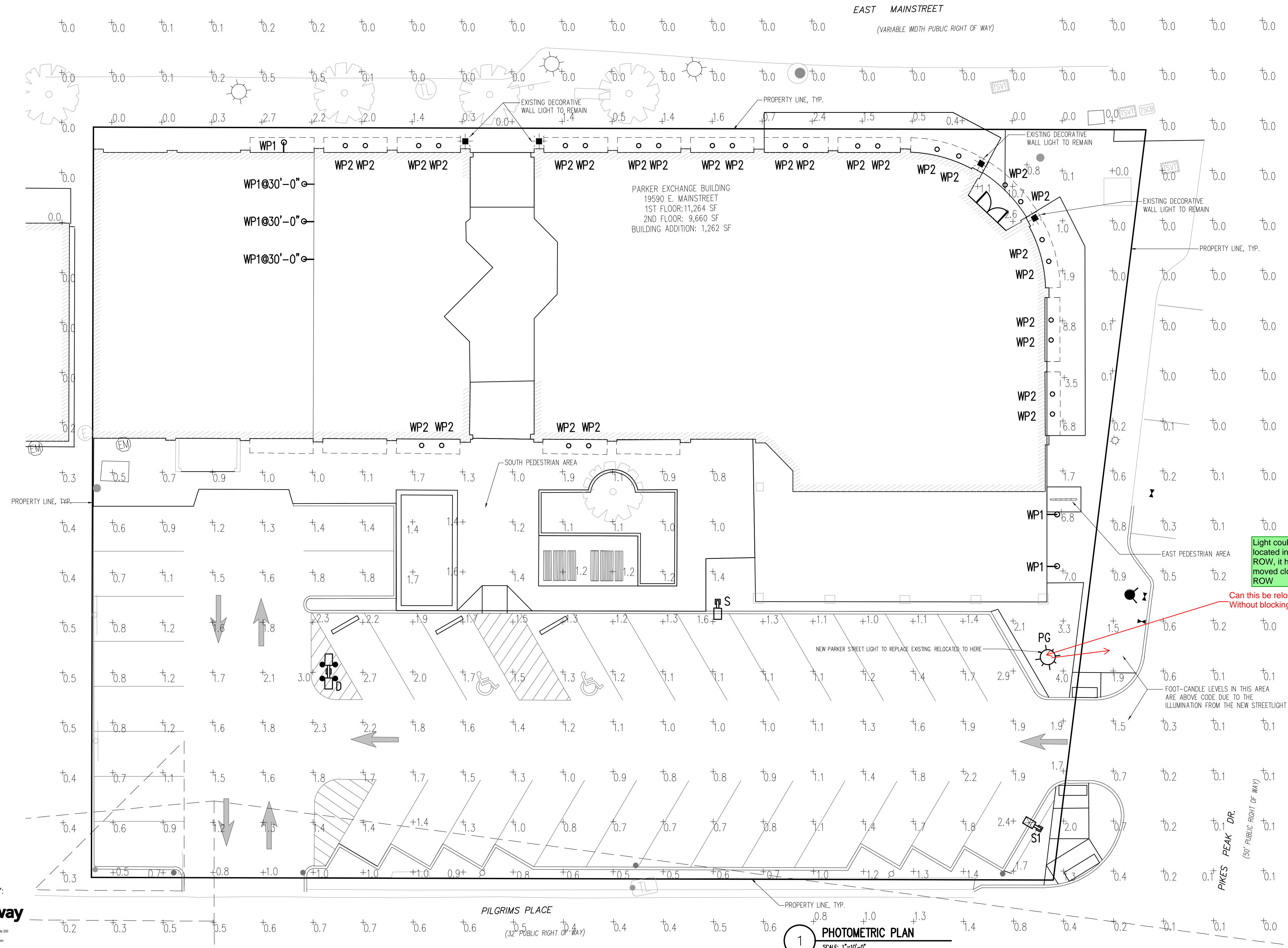
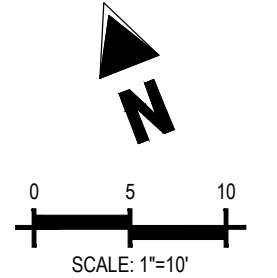
- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



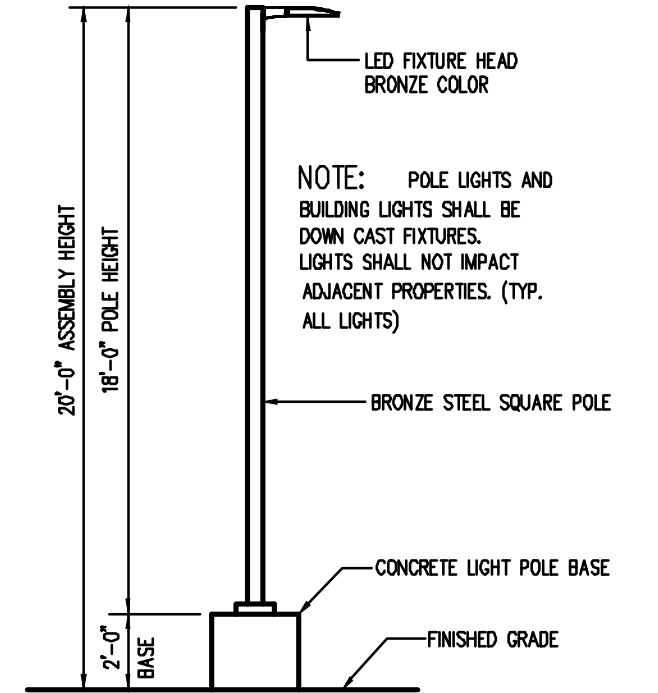
Know what's below.
Call before you dig.

EXCHANGE LOT 1 SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



PARKER EXCHANGE BUILDING
19590 E. MAINSTREET
1ST FLOOR: 11,264 SF
2ND FLOOR: 9,660 SF
BUILDING ADDITION: 1,262 SF



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE

Light could not be re-located into the ROW, it has been moved closer to the ROW

Can this be relocated into the ROW? Without blocking the walking path.

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING AREA	FC	1.41	3.0	0.6	2.35 to 1	5.00 to 1
SOUTH PEDESTRIAN AREA	FC	1.18	1.9	0.5	2.36 to 1	3.80 to 1
EAST PEDESTRIAN AREA	FC	3.45	7.0	1.3	2.65 to 1	5.38 to 1

LUMINAIRE SCHEDULE				
MARK	QTY	LABEL	MOUNTING	COLOR
WP1	1	S	20' POLE	BRONZE
WP2	1	S	20' POLE	BRONZE
PG	1	D	20' POLE	BRONZE
WP1	6	WP1	10'-4" WALL	BLACK
WP2	28	WP2	10'-4" WALL	BLACK
PG	1	PG	9' POLE	BLACK

REFER TO SHEET 6-PHOTOMETRIC DETAILS FOR MANUFACTURER CUT SHEETS AND EXPANDED LUMINAIRE SCHEDULE

PREPARED BY:
Galloway
5000 Greenwood Plaza Blvd, Suite 200
Greenwood Village, CO 80111
303.770.8884 • galloway@gsd.com

1 PHOTOMETRIC PLAN
SCALE: 1"=10'-0"



Project Reviews Town of Parker

Project Number: SP23-080

Description: The Exchange L1 - Site Plan Amendment Addition and Remodel

Applied: **9/22/2023**

Approved:

Site Address: **19590 MAINSTREET**

Closed:

Expired:

City, State Zip Code: **PARKER, CO 80138**

Status: **UNDER REVIEW 2**

Applicant: **Galloway and Company LLC**

Parent Project: **4363**

Owner: **PARKER MAINSTREET EXCHANGE LLC**

Contractor: **Galloway and Company LLC**

Details:

The applicant, Galloway and Company, is proposing a Site Plan Amendment to add 1182 sq. ft. to an existing building, make changes to the existing elevation and amend the parking and landscaping, The site is located on the southwest corner of Mainstreet and Pikes Peak Drive.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: ALL

9/28/2023	10/5/2023	10/6/2023	COMPLETENESS REVIEW	Stacey Nerger	REVISIONS REQUIRED	
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Notes:

Jeff,

The above Site Plan Amendment application has been assigned to me. I have finished the Completeness Review and the following items are still needed:

1. Application Fees: \$2,1090.00 (An additional \$54.75 will apply if paid by credit card)
2. Physical Materials Board
3. Public Notice Requirements – Two public notice signs will be required for the property. These signs will need to be installed on the property no later than 2nd referral. I will send a subsequent email to FastSigns for the placement of the signs.

Please let me know if you have any questions.

Thank you,
Stacey

Review Group: AUTO

9/22/2023			ENGINEERING ADMINISTRATIVE	Tom Williams		
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Notes:

9/22/2023	10/4/2023	10/6/2023	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
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Notes:



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Project Reviews Town of Parker



Review Group: SP 1ST 20

10/17/2023	11/3/2023	11/15/2023	BUILDING 20	Randy Capra	REVISIONS REQUIRED	See Notes and respond
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Notes:

The new parking area indicates that there are two accessible parking spots proposed; the applicant shall provide documentation that with the increase in building size and with the increase in occupant load (for the proposed group A-2 occupancy) that adequate accessible parking has been provided. The Town of Parker currently has adopted the 2017 edition of the A117.1 Code. Provide an analysis on how the applicant has arrived at the determination that only two accessible parking spots are required.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2020 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2024. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

Note - reach out to Jon Nelson (Senior Plans examiner) specific to EV parking requirement issues that could arise should a building permit for this project not be pulled prior to December. 31, 2024. Apparently, a House Bill (House Bill HB - 1233) has been signed into law that has the potential to affect commercial parking once a municipality adopts the next versions of the code.

10/17/2023		11/15/2023	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

10/17/2023	10/24/2023	11/15/2023	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Val Endyk	ADVISORY COMMENTS	See Notes
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Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP23-080, The Exchange L! - Site Plan Amendment Addition and Remodel have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

10/17/2023		11/15/2023	COMCAST 20	Butch Buster		
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Notes:



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Project Reviews Town of Parker



10/17/2023	11/8/2023	11/15/2023	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Notes
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Notes:

SP23-080 – The Exchange L1 – Parker Mainstreet Exchange - 1st Environmental Review, 11-8-23

GENERAL COMMENTS (Initial and Interim/Final Plan Sheets)

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

1. Please add a note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.
2. Please add a note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
3. Please add a note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
4. Please add a note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
5. Please add the following note to the Initial and Interim/Final CBMP plan sheets: “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”
6. Please add a note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.
7. Please add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.
8. Please provide a callout outside the perimeter controls along the public sidewalk(s) to be modified/replaced with the project that states the following: “ALL WORK WITHIN PUBLIC RIGHT-OF-WAY (ROW) WILL REQUIRE A TOWN ROW PERMIT. INITIAL AND INTERIM CBMPS FOR WORK WITHIN THE TOWN’S ROW SHALL BE COORDINATED WITH THE TOWN’S ENVIRONMENTAL INSPECTOR PRIOR TO THE BEGINNING OF ANY ROW WORK.”
9. Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. Addition PTPs may be needed in the interim and final phases.
10. Please include within the plans, immediately following the Final Erosion Control plan sheet, ALL 71 pages of the Town of Parker’s CBMP Legends/Symbols, General Notes & CBMP Details.
11. Please provide and identify Masonry Work Protection (MWP) on the plans for construction on the building.
12. Provide and identify Debris and Trash Control (DTC) for the construction site and surrounding areas.

10/17/2023	11/15/2023	11/15/2023	CONSTRUCTION PLANS - CIVIL	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
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Notes:

10/17/2023	11/15/2023	11/15/2023	DRAINAGE REPORT - CIVIL	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
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Notes:

10/17/2023	10/19/2023	11/15/2023	ECONOMIC DEVELOPMENT 20	Weldy Fezell	NO COMMENT	
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Notes:

10/17/2023	11/3/2023	11/15/2023	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:

A response letter has been provided that requires an applicant response; the letter has been provided in both a PDF format and a word document... with the word document provided to allow the applicant and easy way to respond.



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Project Reviews Town of Parker



10/17/2023	11/15/2023	11/15/2023	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	Provide EUSERC Cabinet location
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Notes:
The applicant will be required to meet CORE's metering requirements and provide EUSERC cabinet location on the utility plan per CORE Builder Handbook.
The applicant will be required to provide a 1-foot separation between curb and existing power poles. In addition, install curb stops in front of existing CORE power poles.

10/17/2023	10/19/2023	11/15/2023	PARKER AUTHORITY FOR REINVESTMENT 20	Weldy Feazell	NO COMMENT	
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Notes:

10/17/2023		11/15/2023	POLICE 20	Greg Epp		
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Notes:

10/17/2023	11/3/2023	11/15/2023	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	COMPLETED	please see attached
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Notes:
please see attached; no resubmittals necessary

10/17/2023	11/15/2023	11/15/2023	SITE PLAN - CIVIL	Michael Walton	APPROVED	
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Notes:

10/17/2023	11/15/2023	11/15/2023	SITE PLAN 20	Stacey Nerger	REVISIONS REQUIRED	
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Notes:
See Planning Comments 1st Referral within the attachments.

10/17/2023		11/15/2023	SOUTH METRO FIRE 20	South Metro Fire		
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Notes:

10/17/2023	11/15/2023	11/15/2023	TRAFFIC IMPACT STUDY - CIVIL	Michael Walton	NOT APPLICABLE	See Notes
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Notes:
The scope of the change proposed does not require a revised traffic study.

Review Group: SP 1ST 20 ADD

10/17/2023	10/26/2023	11/15/2023	PARKER WATER AND SANITATION DISTRICT 20	Drayton Sanderson	REVISIONS REQUIRED	See Notes
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Notes:
Please refer to PWSD comment letter and redline plans for revisions required prior to plan approval.



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Project Reviews Town of Parker



Review Group: SP 2ND 15

12/14/2023		1/8/2024	BUILDING 15	Randy Sale		
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Notes:

12/14/2023	1/2/2024	1/8/2024	CONST PLANS - ENVIRONMENTAL 15	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP23-080 – The Exchange L1 – Parker Mainstreet Exchange – 2nd Environmental Review, 1-2-24

GENERAL COMMENTS (Initial and Interim/Final Plan Sheets)

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

1. Please include within the plans, immediately following the Final Erosion Control plan sheet, ALL 71 pages of the Town of Parker’s CBMP Legends/Symbols, General Notes & CBMP Details. These must be on the CDs (6-8 pages per sheet) so they can be printed with the plan set. See examples below.

12/14/2023	1/3/2024	1/8/2024	CONSTRUCTION PLANS - CIVIL 15	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
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Notes:

12/14/2023	1/3/2024	1/8/2024	DRAINAGE REPORT - CIVIL 15	Michael Walton	APPROVED	
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Notes:

12/14/2023	12/21/2023	1/8/2024	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:

The applicant is required to respond (in writing) to the fire life safety letter provided. To assist the applicant, the response is provided in a word document, along with the pdf, so that the applicant can easily and quickly respond using the provided word document.

The document provided is named “SP23-080 The Exchange L1 - SP Amendment Addition and Remodel [2] Fire Life Safety Response Ltr 122123”

12/14/2023	1/8/2024	1/8/2024	IREA 15	Brooks Kaufman	APPROVED	
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Notes:

12/14/2023		1/8/2024	SITE PLAN 15	Stacey Nerger		
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Notes:

Review Group: SP 2ND 15 ADD

12/14/2023	1/2/2024	1/8/2024	PARKER WATER AND SANITATION DISTRICT 15	Drayton Sanderson	REVISIONS REQUIRED	See Notes
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Notes:

Please refer to PWSD comment letter 2nd referral for revisions required prior to PWSD utility plan approval.



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Project Reviews Town of Parker

Review Group: SUBMITTAL CHECKLIST

10/5/2023	10/17/2023	10/19/2023	COMPLETENESS REVIEW	Stacey Nerger	COMPLETED	
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Notes:
The materials board and public notice signs can be posted no later than the 2nd referral.