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**EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS**

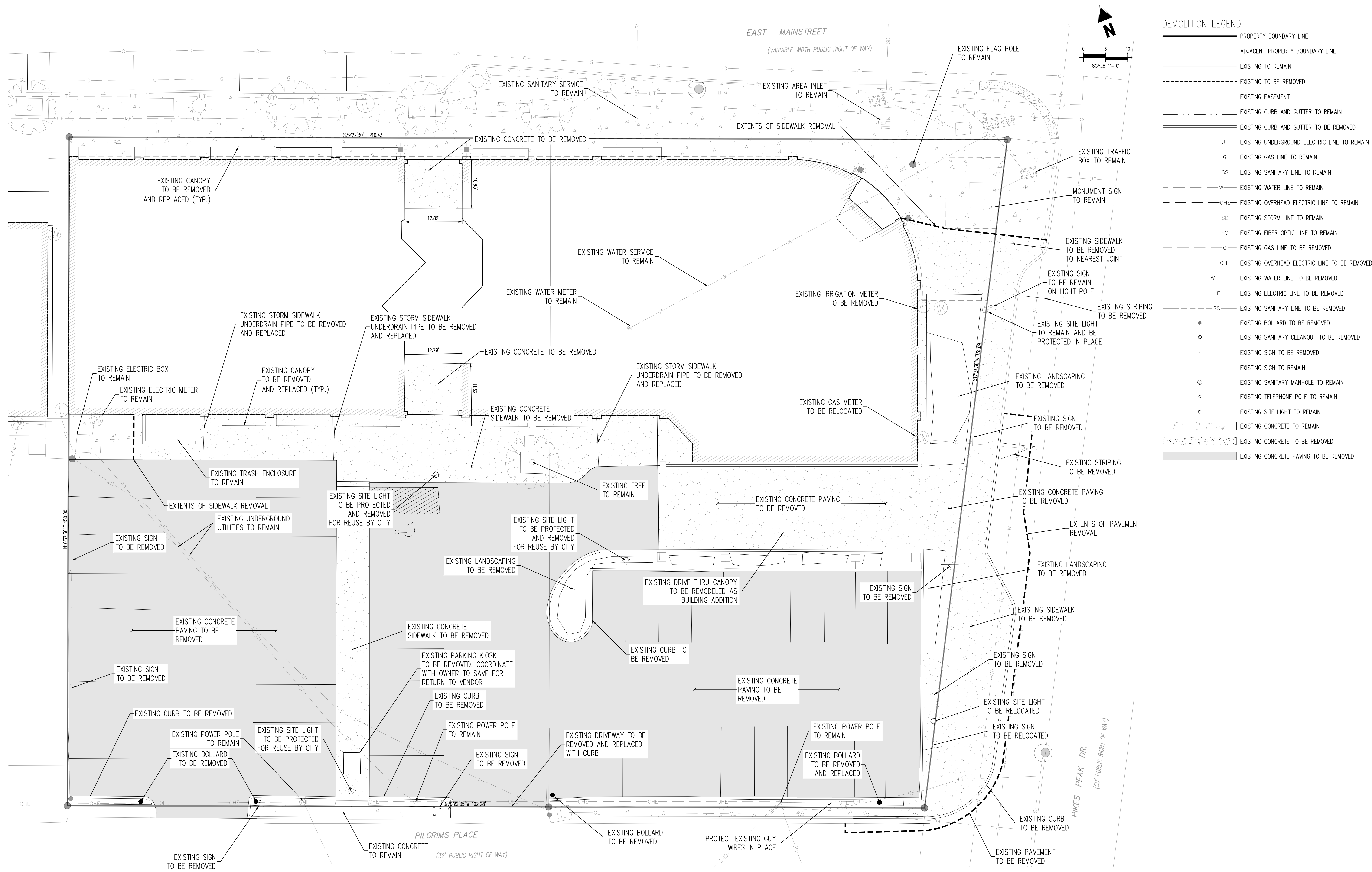
19590 MAIN STREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK

Project No:	MSG00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

DEMOLITION PLAN

C1.1



- DEMOLITION LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - - - EXISTING TO REMAIN
 - - - EXISTING TO BE REMOVED
 - - - EXISTING EASEMENT
 - EXISTING CURB AND GUTTER TO REMAIN
 - EXISTING CURB AND GUTTER TO BE REMOVED
 - UE— EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
 - G— EXISTING GAS LINE TO REMAIN
 - SS— EXISTING SANITARY LINE TO REMAIN
 - W— EXISTING WATER LINE TO REMAIN
 - OHE— EXISTING OVERHEAD ELECTRIC LINE TO REMAIN
 - SD— EXISTING STORM LINE TO REMAIN
 - FO— EXISTING FIBER OPTIC LINE TO REMAIN
 - G— EXISTING GAS LINE TO BE REMOVED
 - OHE— EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED
 - W— EXISTING WATER LINE TO BE REMOVED
 - UE— EXISTING ELECTRIC LINE TO BE REMOVED
 - SS— EXISTING SANITARY LINE TO BE REMOVED
 - EXISTING BOLLARD TO BE REMOVED
 - EXISTING SANITARY CLEANOUT TO BE REMOVED
 - EXISTING SIGN TO BE REMOVED
 - EXISTING SIGN TO REMAIN
 - ⊗ EXISTING SANITARY MANHOLE TO REMAIN
 - ⊗ EXISTING TELEPHONE POLE TO REMAIN
 - ⊗ EXISTING SITE LIGHT TO REMAIN
 - ⊗ EXISTING CONCRETE TO REMAIN
 - ⊗ EXISTING CONCRETE TO BE REMOVED
 - ⊗ EXISTING CONCRETE PAVING TO BE REMOVED

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAINSTREET
PARKER, CO

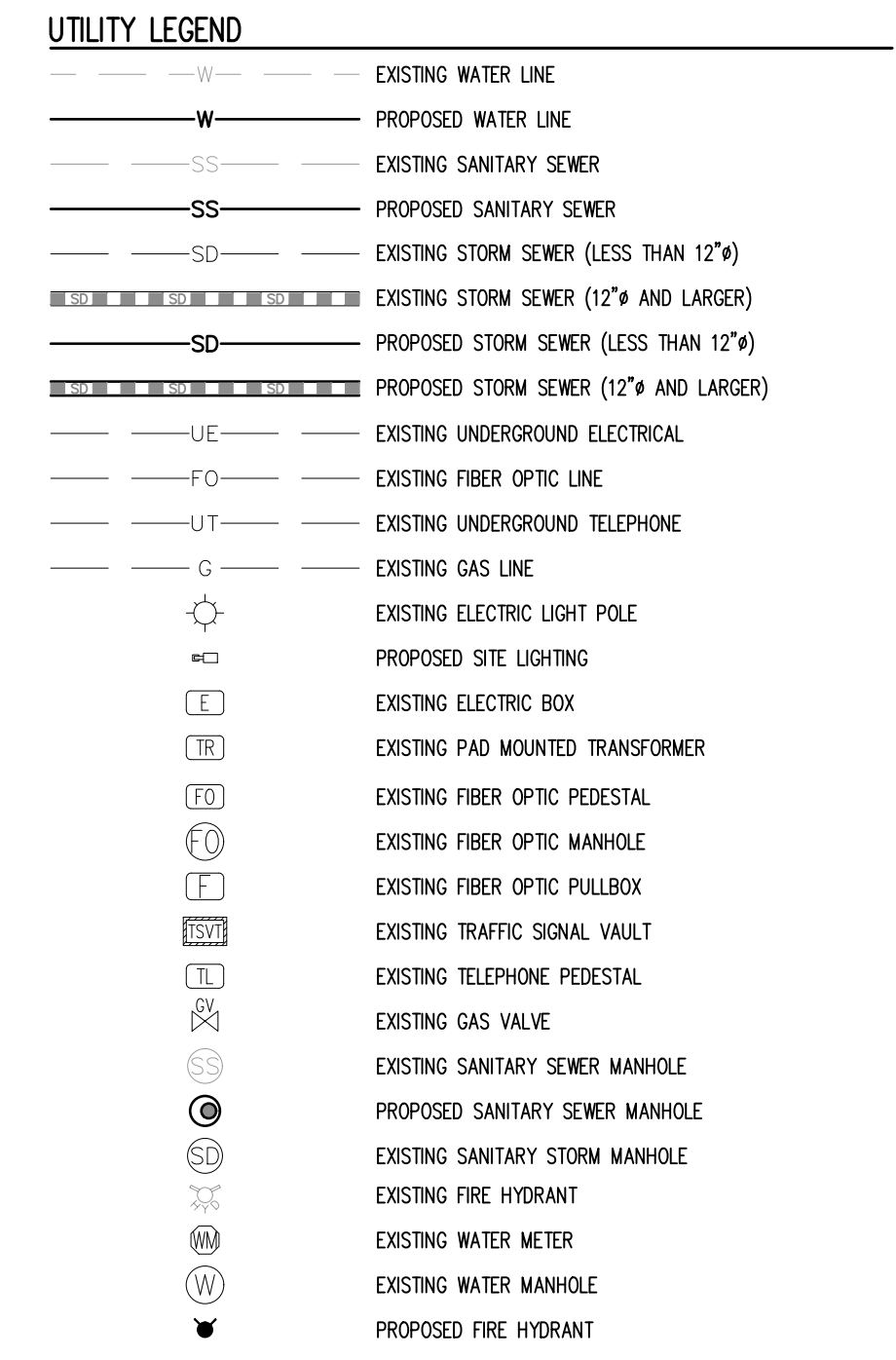
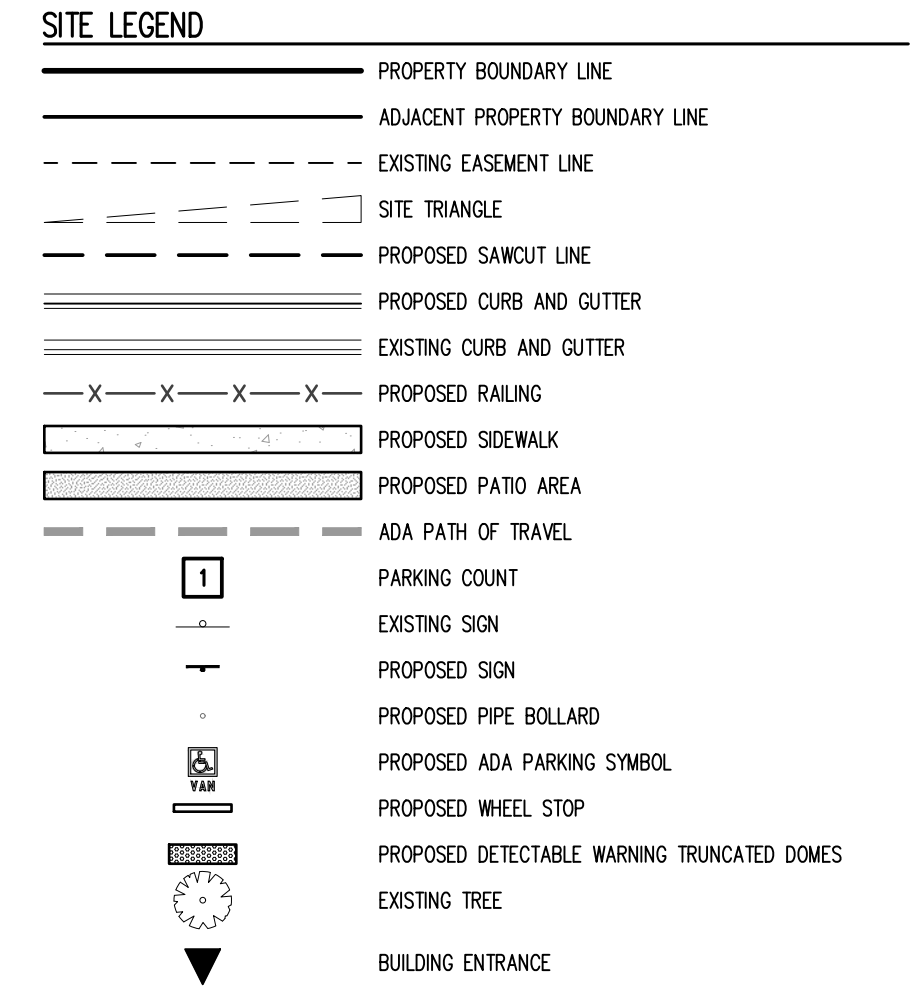
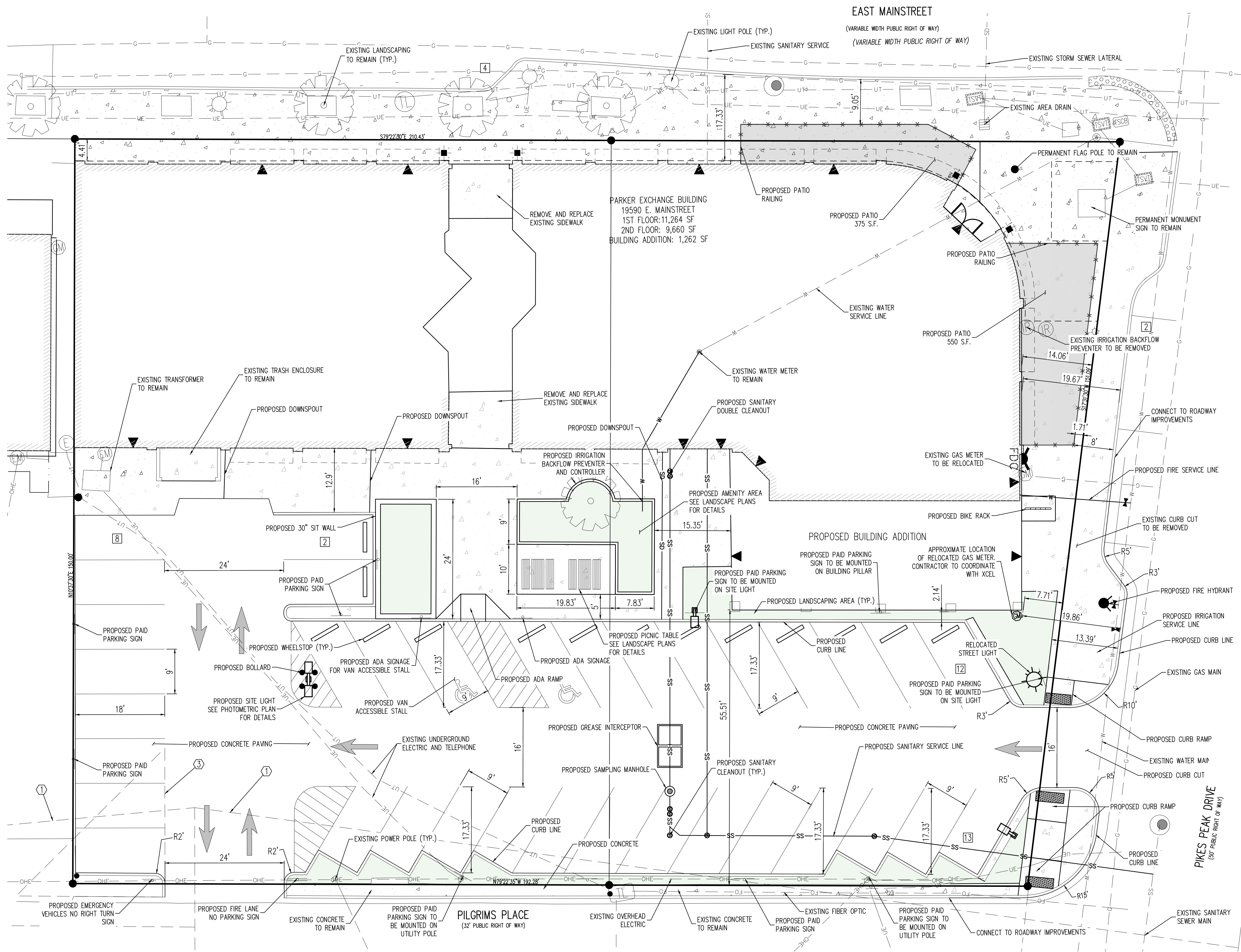
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SITE PLAN

C1.2

3 OF 18



EXISTING VS. PROPOSED PARKING STALLS

	LENGTH (FT)	WIDTH (FT)	PROVIDED STALLS
EXISTING STALL	17	5	46
PROPOSED STALL	17.33	9	39

NOTE:
THE PROPOSED PARKING STALL SIZE DOES NOT MEET THE MINIMUM STANDARDS PER THE TOWN OF PARKER CODE. THE PROPOSED PARKING STALL SIZE IS DEEMED ALLOWABLE AS THEY ARE AN IMPROVEMENT FROM THE EXISTING CONDITIONS.

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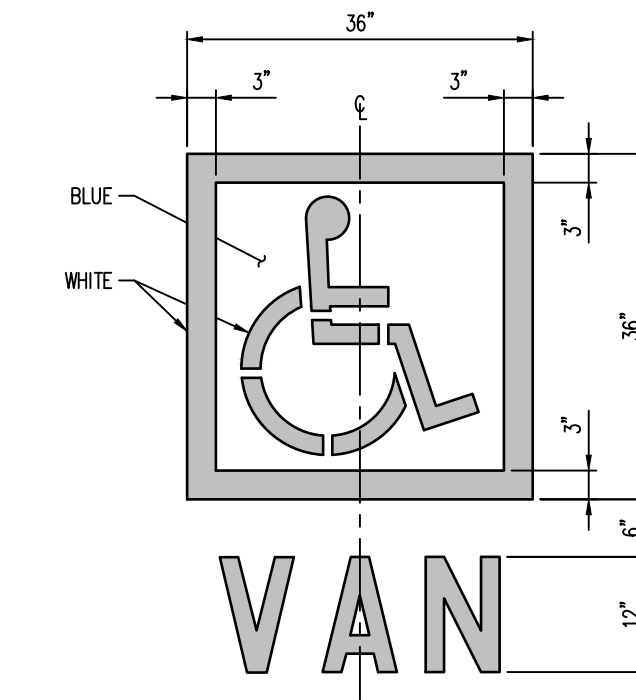


EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS
19590 MAIN STREET
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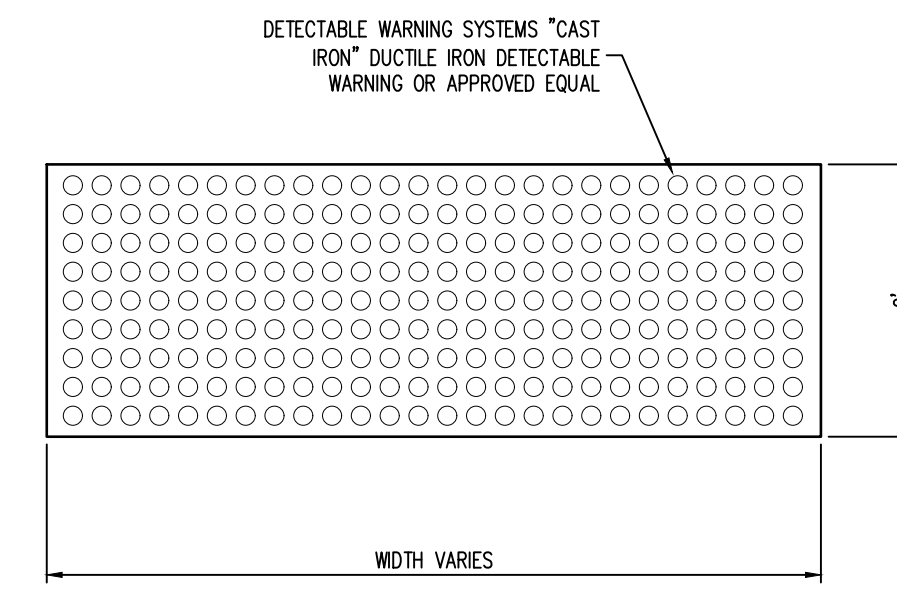
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0 06/14/2024 ISSUED FOR CONSTRUCTION TDK

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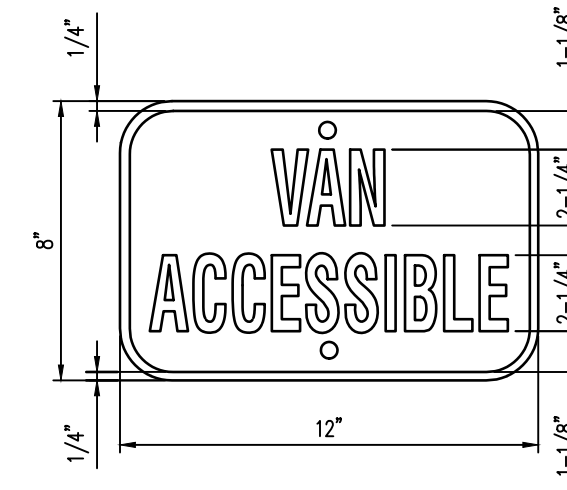
SITE DETAILS



- NOTES:**
1. PROVIDE TWO COATS OF PAINT
 2. BLUE BACKGROUND WITH WHITE SYMBOL



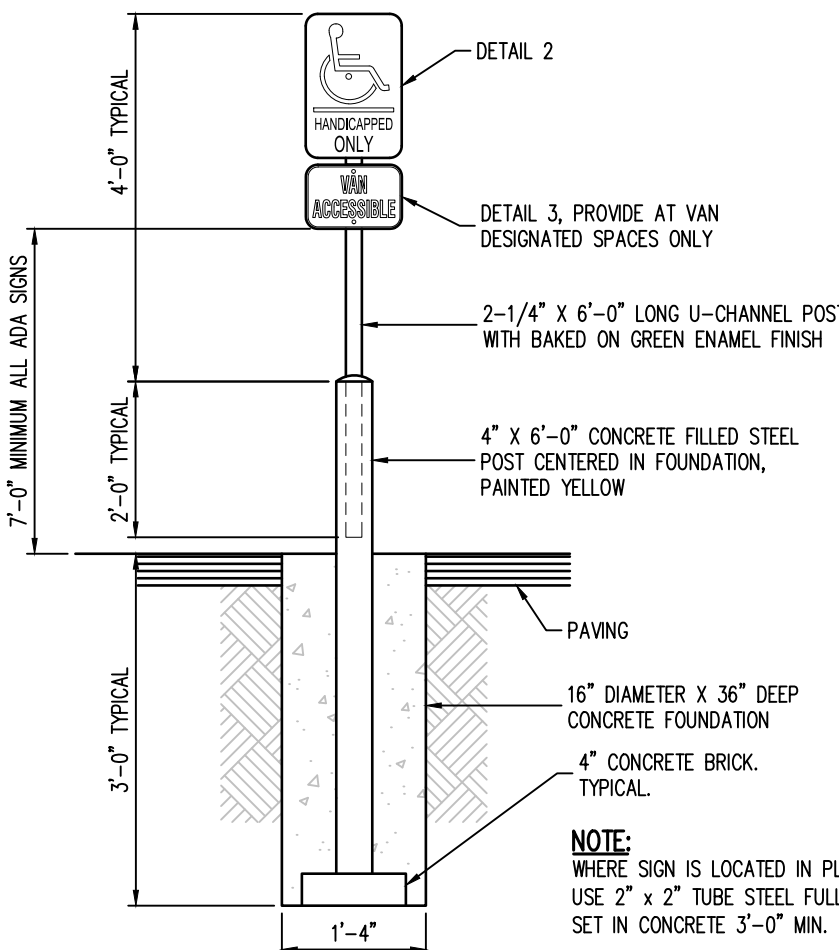
- 4 TRUNCATED DOMES**
NOT TO SCALE



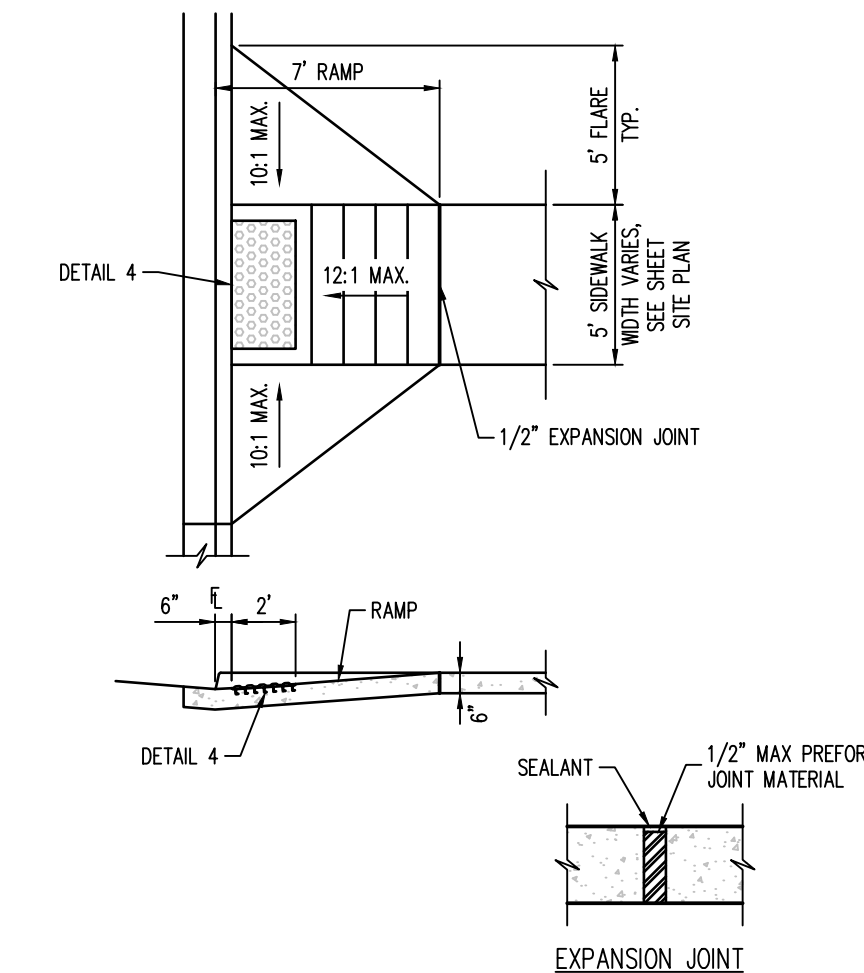
- 3 "VAN ACCESSIBLE" SIGN**
NOT TO SCALE
- MATERIAL:**
1. 0.060 ALUMINUM - BLUE BACKGROUND WITH WHITE COPY AND BORDER, 1-1/2" RADIUS CORNERS, WHITE, 2 MOUNTING HOLES.
 2. SIGN USED WITH CORRESPONDING VAN SPACE.



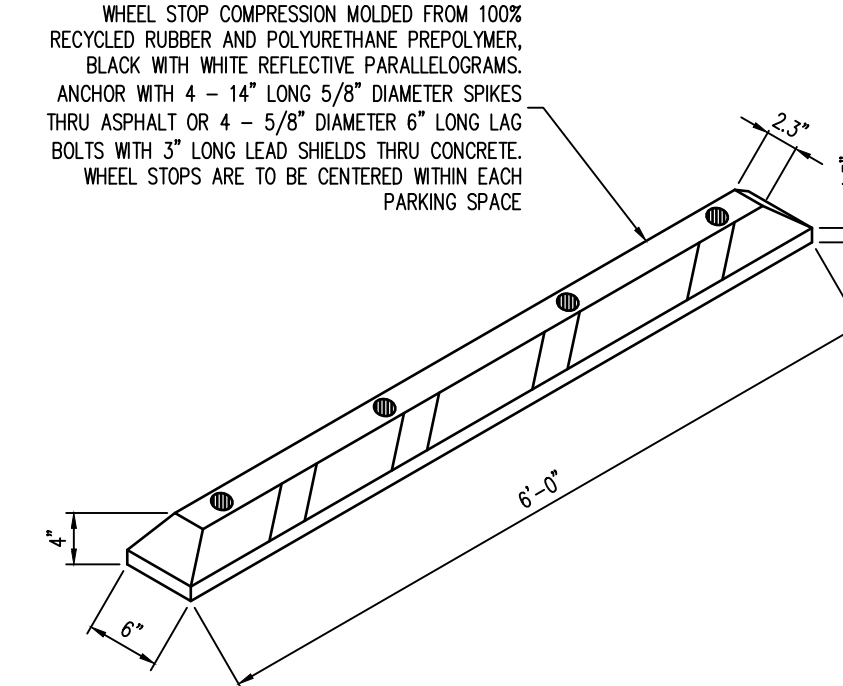
- 2 HANDICAP PARKING SIGN**
NOT TO SCALE
- NOTE:**
- MATERIAL: .060 ALUMINUM - WHITE BACKGROUND WITH BLUE COPY AND BORDER - SYMBOL HAS BLUE BACKGROUND, WHITE COPY WITH BLACK BORDER 1 1/2" RADIUS CORNERS WHITE 2 MOUNTING HOLES



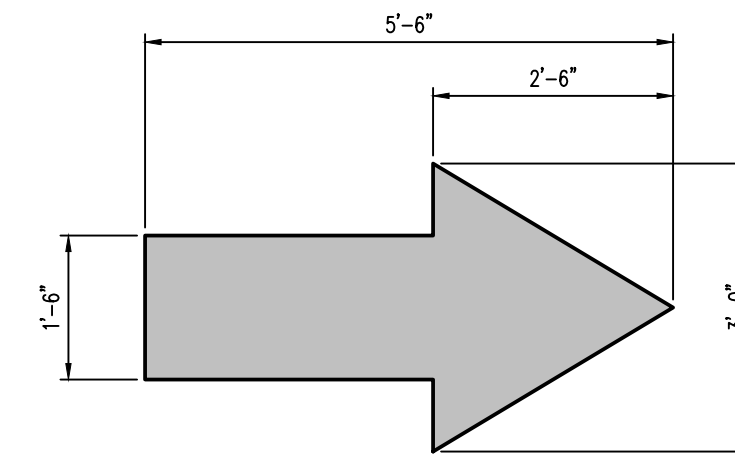
- 1 HANDICAP PARKING SIGN POST**
NOT TO SCALE



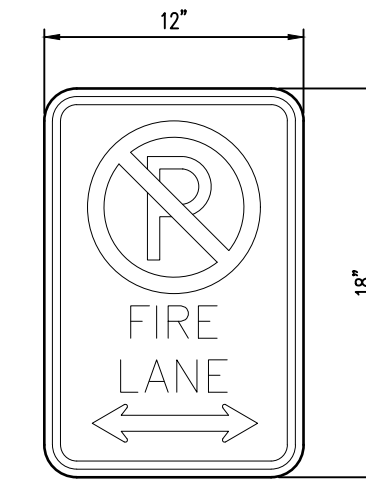
- 10 ACCESSIBLE RAMP DETAIL**
NOT TO SCALE



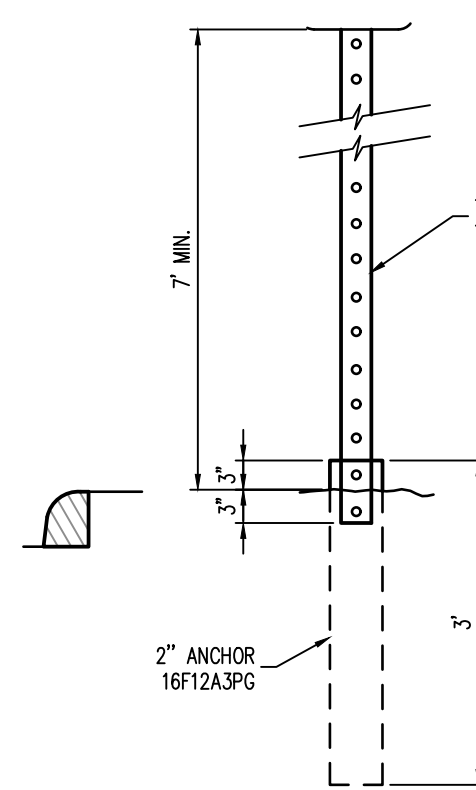
- 9 WHEEL STOP DETAIL**
NOT TO SCALE



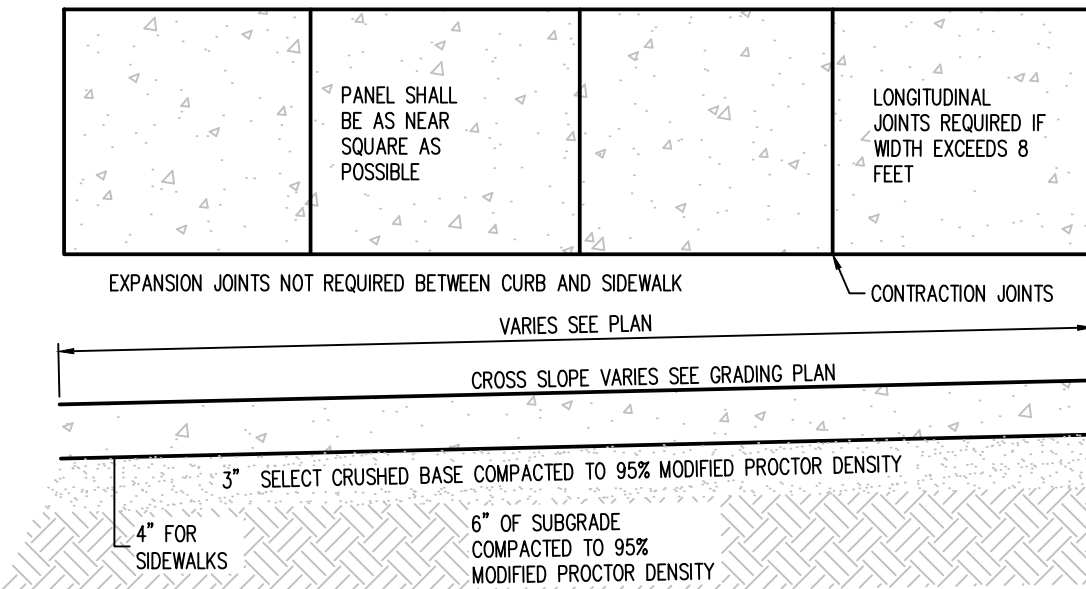
- 8 DIRECTIONAL ARROW DETAIL**
NOT TO SCALE



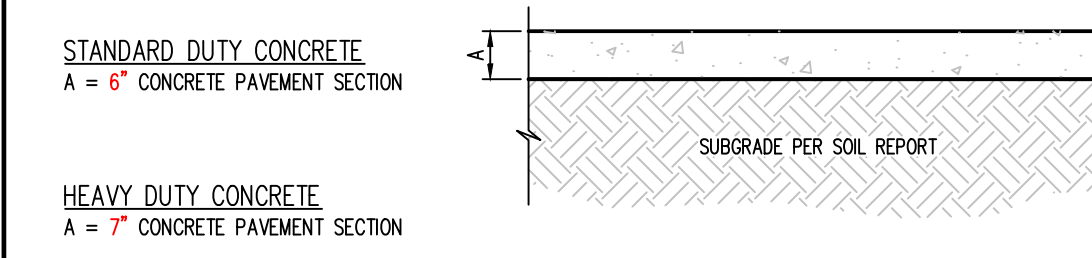
- 7 "NO PARKING - FIRE LANE" SIGN**
NOT TO SCALE



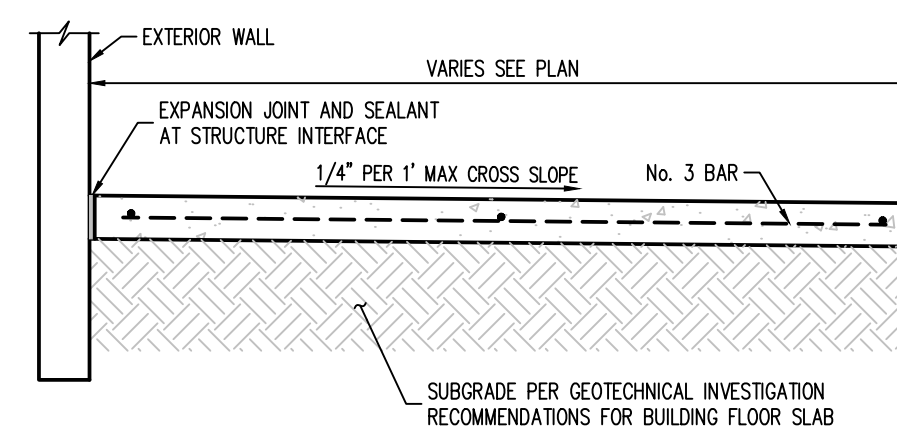
- 6 STANDARD SIGN POST DETAIL**
NOT TO SCALE



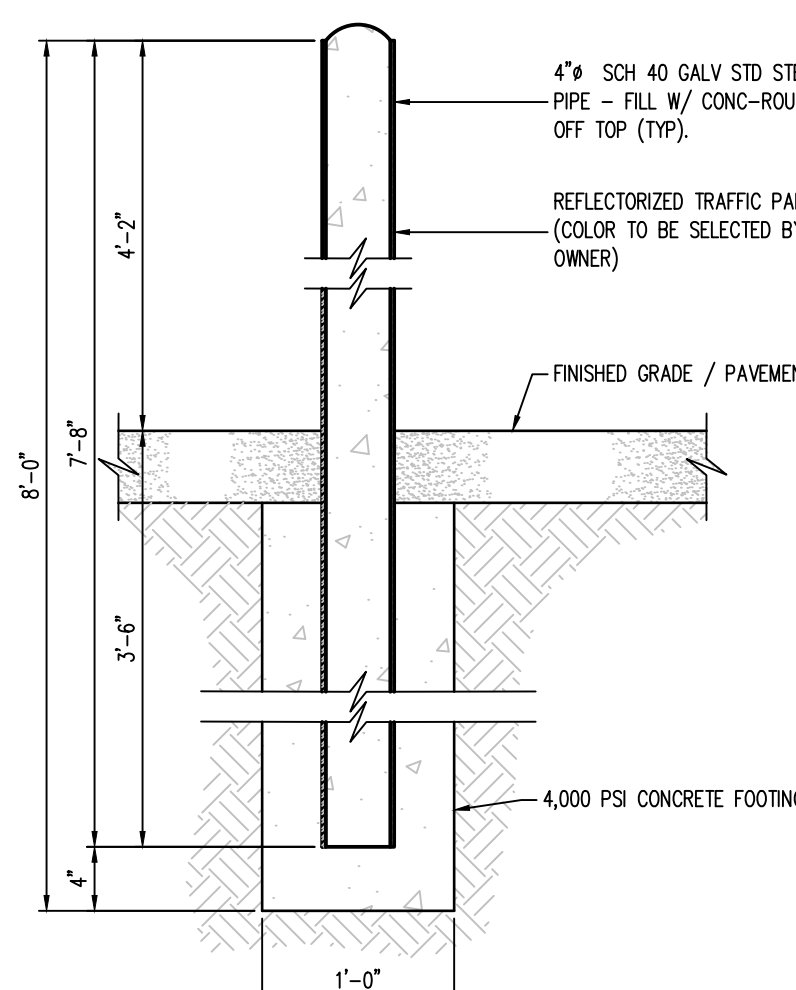
- 15 CONCRETE SIDEWALK DETAIL (PRIVATE)**
NOT TO SCALE
- NOTES:**
1. CONTRACTION JOINTS SHALL BE SPACED SO AS TO FORM AS NEAR SQUARE PANEL AS POSSIBLE, NO SINGLE PANEL SHALL EXCEED 8' ON ANY SIDE. CONTRACTION JOINTS SHALL BE 3/4" DEEP.
 2. EXPANSION JOINTS OF 1/2" MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS:
P.C.S AND P.T.S OF CURVES
GRADE BREAKS
AT DRIVEWAYS
AT OTHER LOCATIONS AS SPECIFIED BY ENGINEER
 3. NO SIDEWALK SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER
 4. CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.



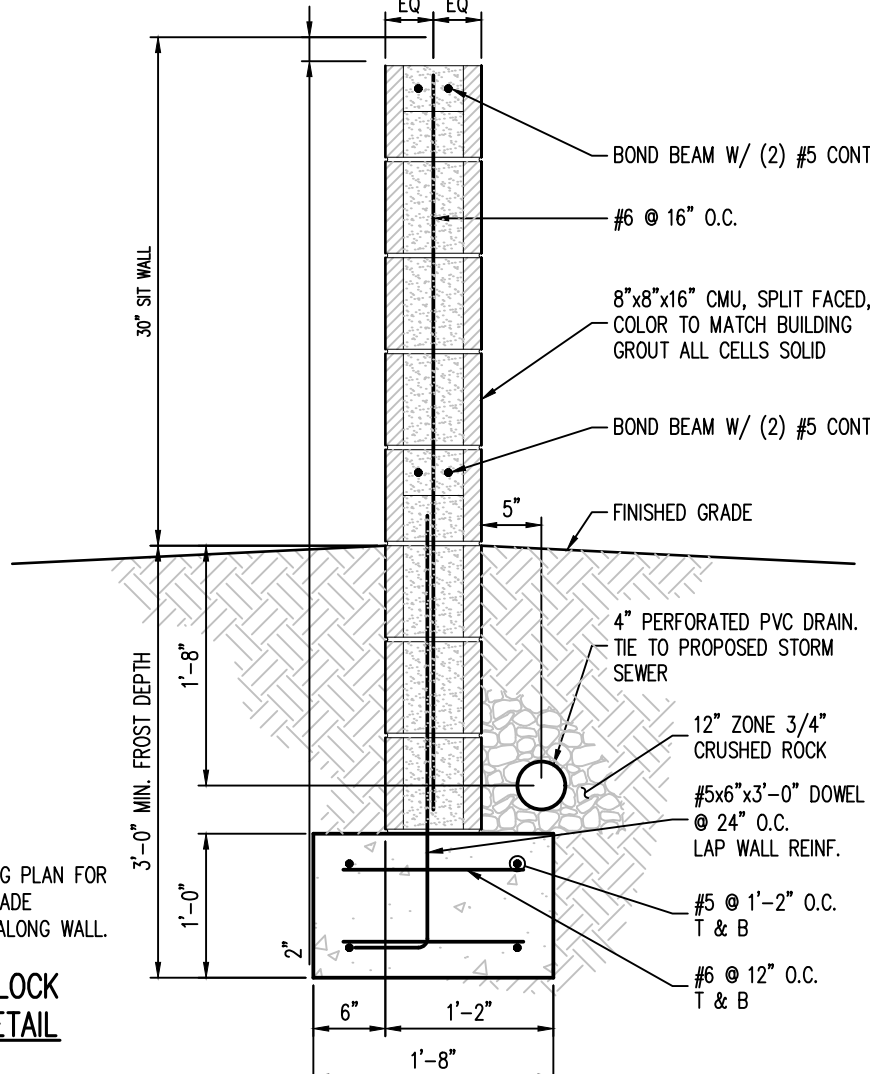
- 14 CONCRETE PAVING DETAIL**
NOT TO SCALE
- STANDARD DUTY CONCRETE**
A = 6" CONCRETE PAVEMENT SECTION
- HEAVY DUTY CONCRETE**
A = 7" CONCRETE PAVEMENT SECTION
- NOTE:**
CONTRACTOR TO VERIFY PAVEMENT DESIGN WITH GEOTECH REPORT PRIOR TO CONSTRUCTION.
- NOTES:**
1. SUBGRADE COMPACTION: PER GEOTECHNICAL REPORT SPECIFICATIONS.
 2. ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



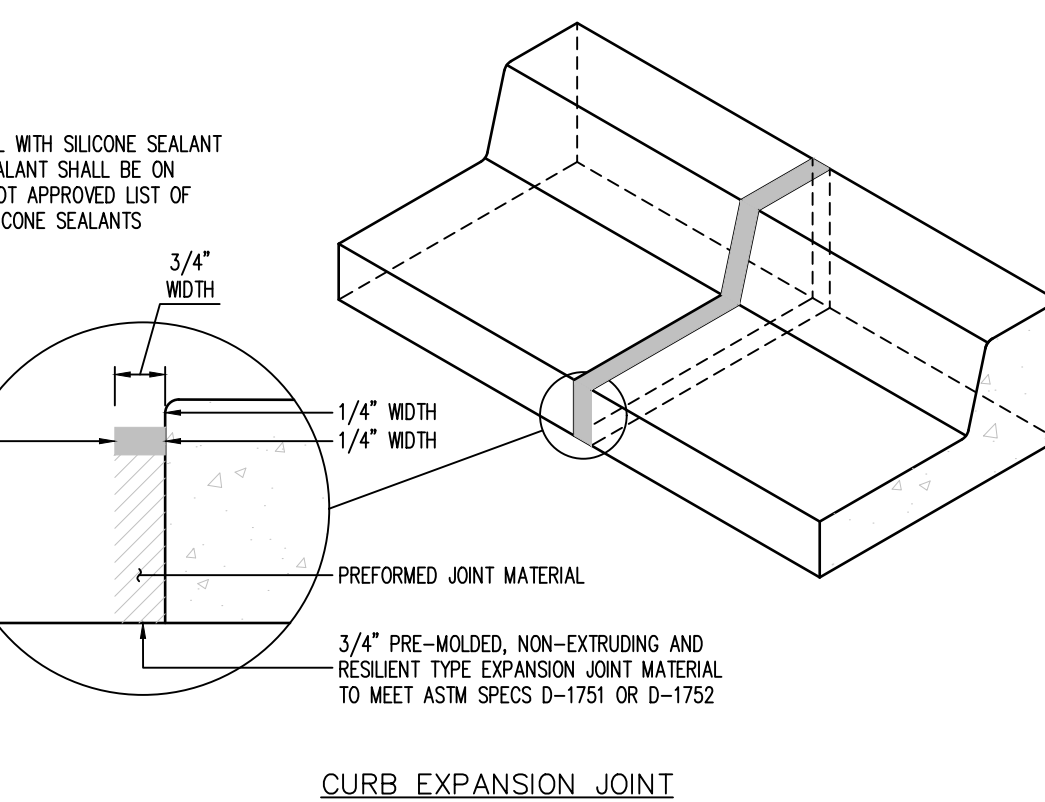
- 13 CONCRETE SIDEWALK AT BUILDING**
NOT TO SCALE



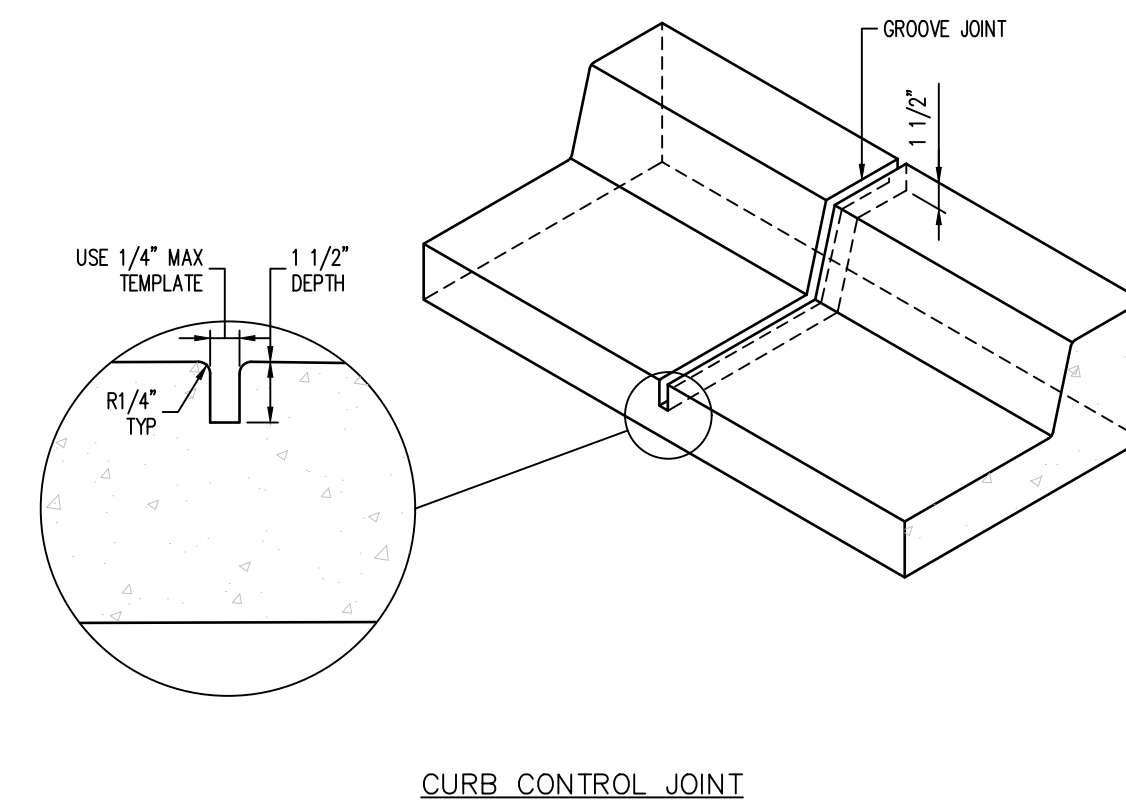
- 12 SITE BOLLARD**
SCALE: 1" = 1'-0"



- 11 MASONRY BLOCK SIT WALL DETAIL**
SCALE: NTS



- 16 CURB JOINT DETAIL**
NOT TO SCALE



CURB CONTROL JOINT



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EXCHANGE LOT 1
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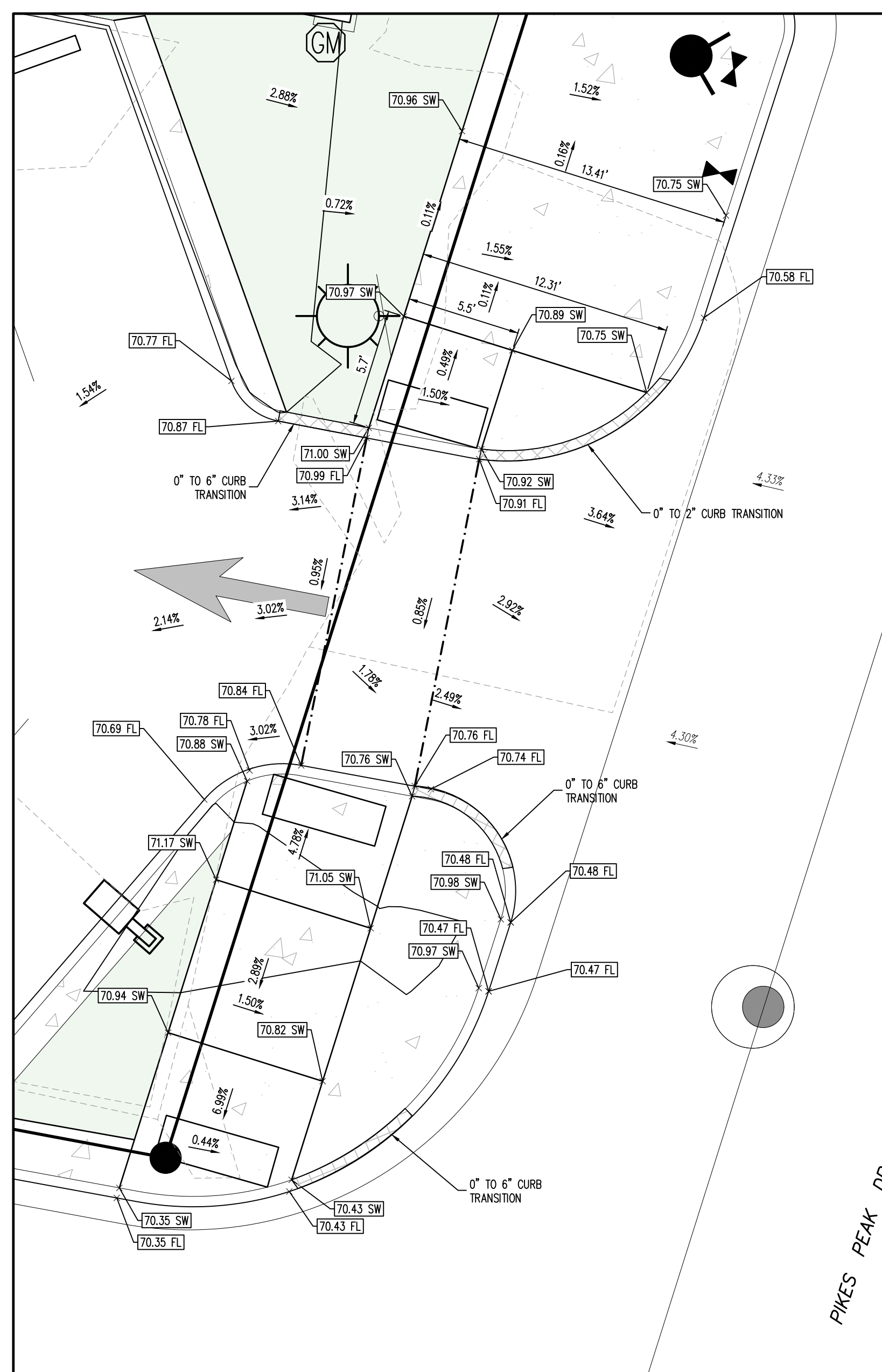
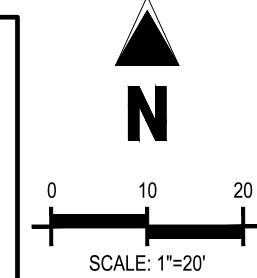
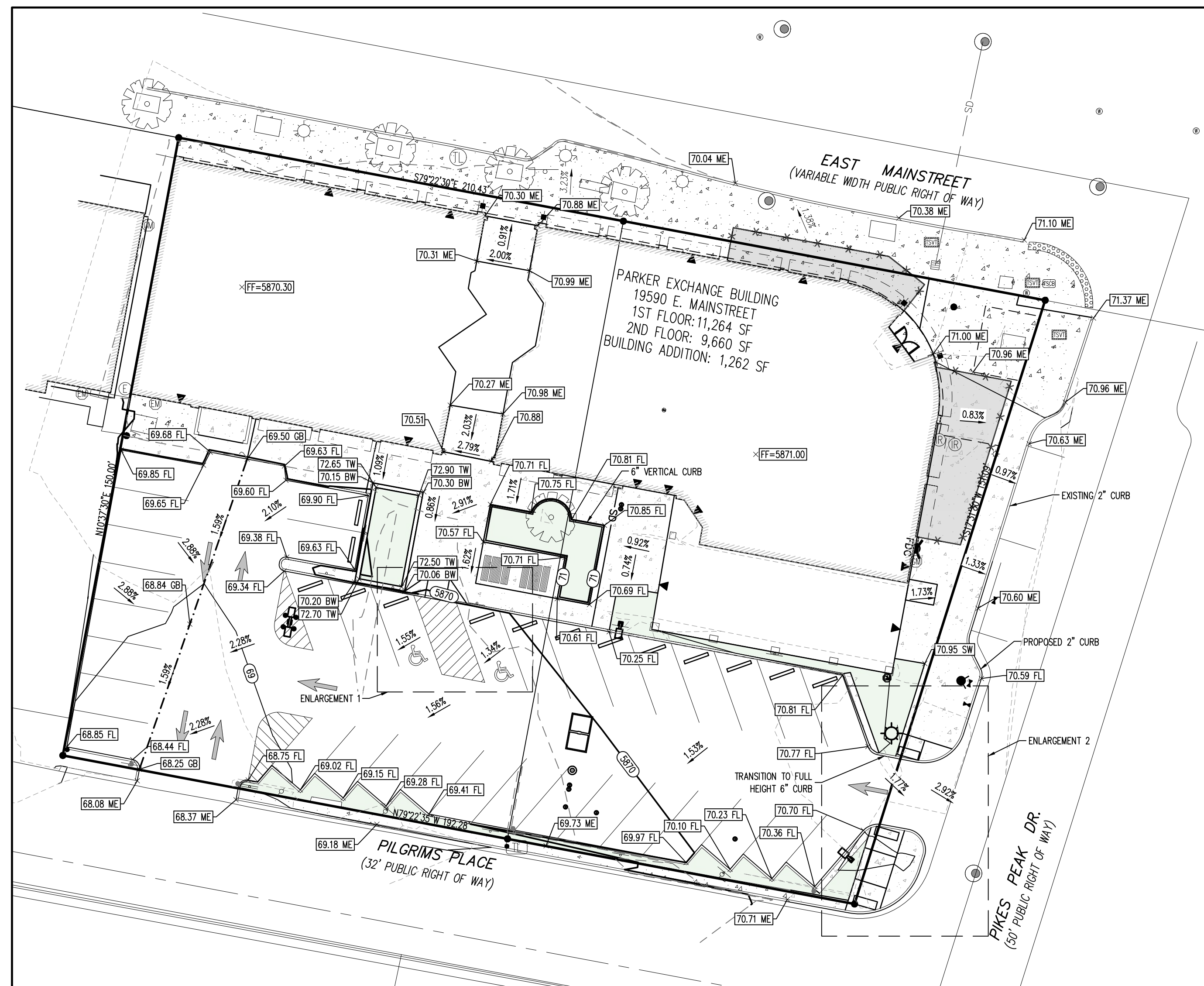
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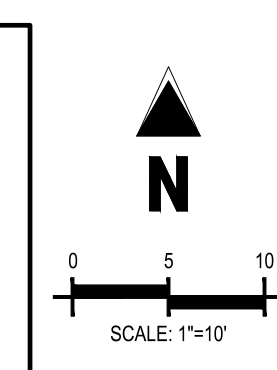
Project No:	MGC00001
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Date:	JUNE 2024

GRADING PLAN

C1.6
7 OF 18



GRADING ENLARGEMENT 2
SCALE: 1" = 5'



SITE LEGEND

[Symbol]	PROPERTY BOUNDARY LINE
[Symbol]	ADJACENT PROPERTY BOUNDARY LINE
[Symbol]	RIGHT OF WAY BOUNDARY LINE
[Symbol]	ROAD CENTERLINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	PROPOSED EASEMENT LINE
[Symbol]	SETBACK LINE
[Symbol]	SITE TRIANGLE
[Symbol]	PROPOSED SAWCUT LINE
[Symbol]	PROPOSED SWALE FLOWLINE
[Symbol]	EXISTING TO REMAIN
[Symbol]	PROPOSED NEW
[Symbol]	PROPOSED EDGE OF ASPHALT
[Symbol]	PROPOSED EDGE OF GRAVEL
[Symbol]	PROPOSED CURB AND GUTTER
[Symbol]	PROPOSED CATCH CURB AND GUTTER
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING FENCE TO REMAIN
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF ARCHITECTURAL SCOPE
[Symbol]	ADA PATH OF TRAVEL
[Symbol]	PARKING COUNT
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED PIPE BOLLARD
[Symbol]	PROPOSED ADA PARKING SYMBOL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED DETECTABLE WARNING TRUNCATED DOMES
[Symbol]	EXISTING ELECTRICAL PULL BOX
[Symbol]	PROPOSED PAD MOUNTED TRANSFORMER
[Symbol]	EXISTING LIGHT POLE
[Symbol]	PROPOSED SITE LIGHTING
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	EXISTING SANITARY SEWER MANHOLE
[Symbol]	EXISTING STORM SEWER MANHOLE
[Symbol]	PROPOSED STORM SEWER MANHOLE
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	EXISTING TREE

GRADING LEGEND

[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	EXISTING STORM SEWER (LESS THAN 12")
[Symbol]	EXISTING STORM SEWER (12" AND LARGER)
[Symbol]	PROPOSED STORM SEWER (LESS THAN 12")
[Symbol]	PROPOSED STORM SEWER (12" AND LARGER)
[Symbol]	PROPOSED GRADE BREAK
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED TOP OF CURB ELEVATION
[Symbol]	PROPOSED FLOWLINE ELEVATION
[Symbol]	FINISHED FLOOR
[Symbol]	FINISHED GRADE
[Symbol]	TOP OF SIDEWALK
[Symbol]	HIGH POINT
[Symbol]	LOW POINT
[Symbol]	MATCH EXISTING
[Symbol]	BOTTOM OF RAMP
[Symbol]	TOP OF RAMP

SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PARKER EXCHANGE BUILDING PARKING LOT RECONSTRUCTION
GEOTECHNICAL ENGINEER: KUMAR & ASSOCIATES, INC.
PROJECT NO: 24-11-257 DATE: APRIL 18, 2024
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

GRADING NOTES

- ADD 5800 TO ALL SPOT GRADE ELEVATIONS.
- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO BID.
- NO WORK IS TO BEGUN UNTIL ALL PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL STATE AND LOCAL STORMWATER DISCHARGE AND EROSION CONTROL PERMITS ON SITE PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- THIS DESIGN IS BASED ON A SOIL AND FOUNDATION INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTOR.
- ALL LANDSCAPING AREAS SHALL BE GRADED WITHIN 0.10' OF DESIGN WITH APPROVED TOP SOIL TO A MINIMUM DEPTH AS SPECIFIED BY THE LANDSCAPE ARCHITECT AND CITY SPECIFICATIONS.
- ALL SPOT GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ON-SITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR INFORMATION.
- GENERAL CONTRACTOR SHALL PROVIDE BARRICADE PROTECTION AS REQUIRED BY THE CITY AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- THE PROPOSED STORM SEWER SYSTEM ON-SITE IS PRIVATELY OWNED AND MAINTAINED.
- EXCAVATION AND EMBANKMENT SHALL MEET SECTION 203 OF CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR REQUIREMENTS OTHERWISE SET FORTH IN THE APPROVED SOILS REPORT.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- TOP OF GRADE (TOG) AND FLOWLINE (FL) SPOT GRADES AT INLETS DO NOT INCLUDE GUTTER DEPRESSION.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

BENCHMARK INFORMATION

THE BENCHMARK USED FOR THIS SURVEY IS DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042. A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINE OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W. ELEVATION=5889.09

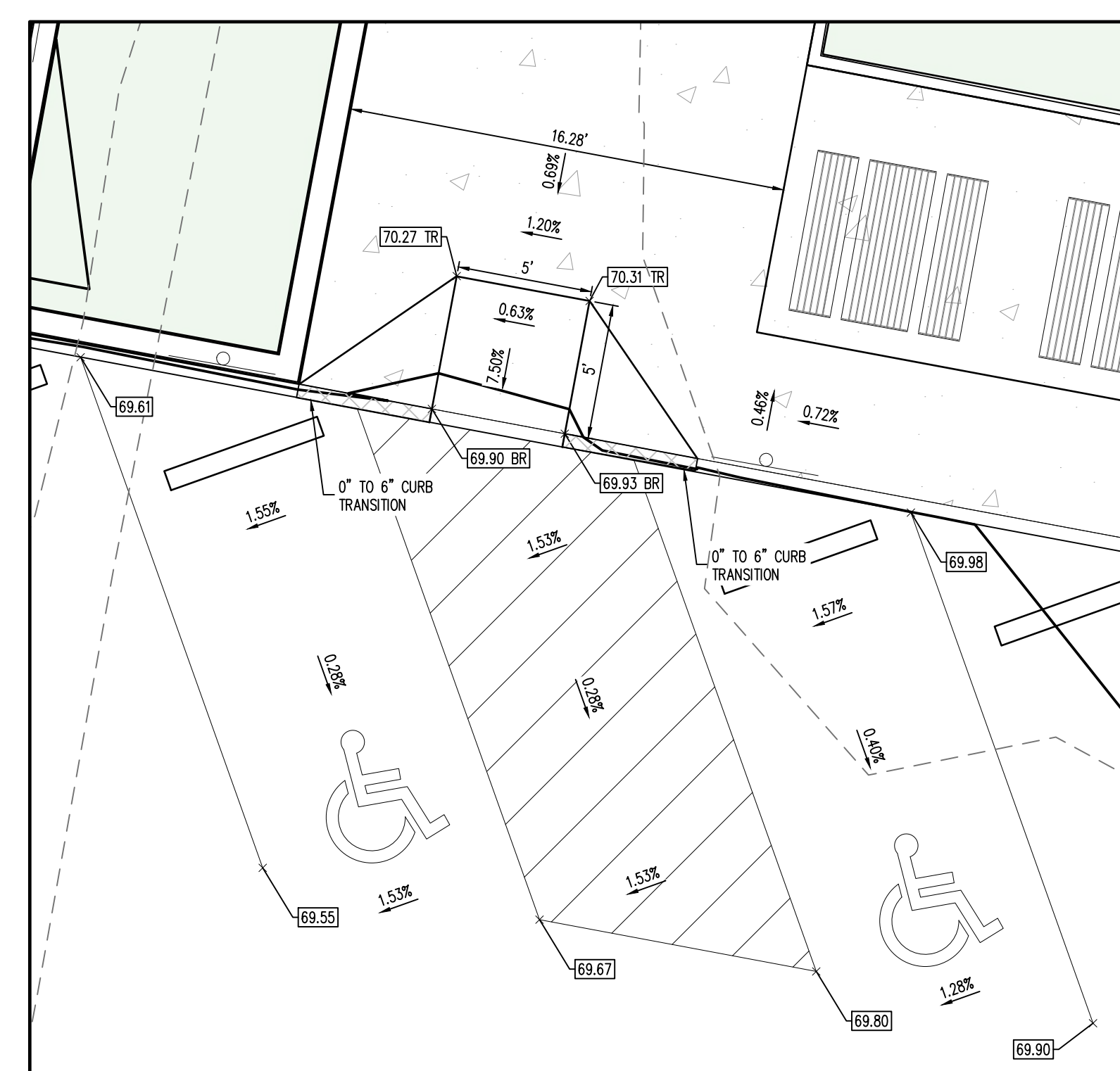
NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

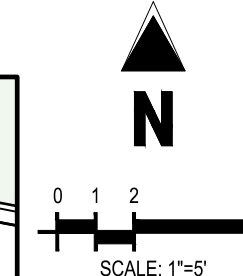
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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____



GRADING ENLARGEMENT 1
SCALE: 1" = 5'



NOTE:
CURRENT CONSTRUCTION WILL RESULT IN DESIGN CHANGES.
AS-BUILTS FOR THE NEW ROADWAY WILL BE NEEDED TO UPDATE DESIGN TO CURRENT CONDITIONS.



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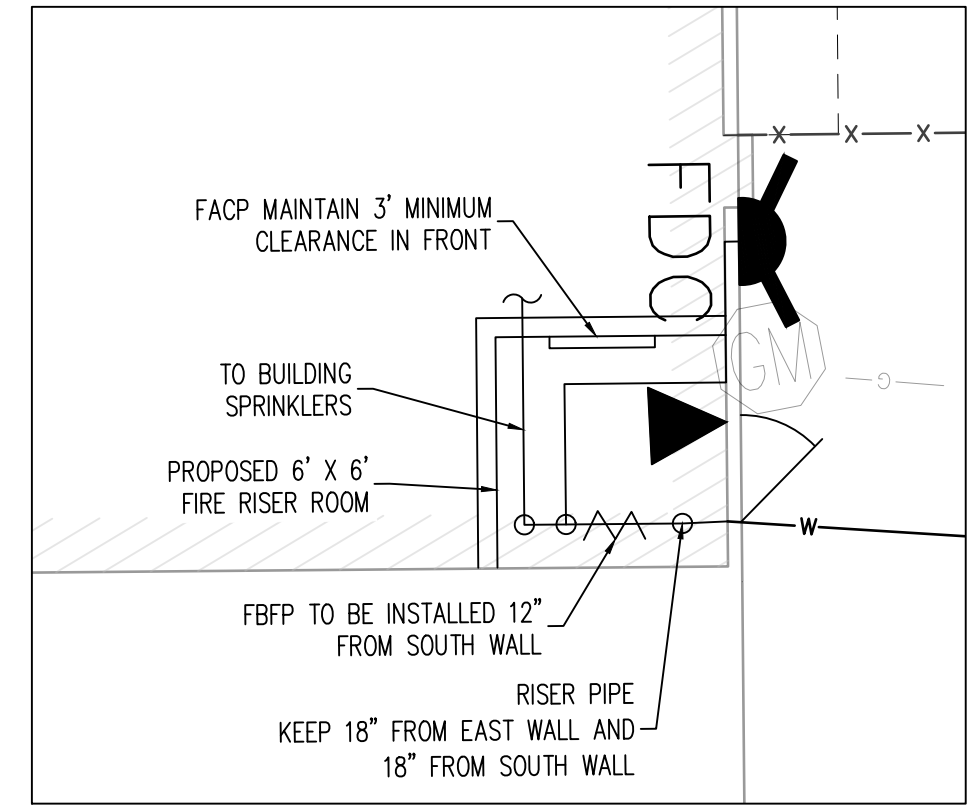
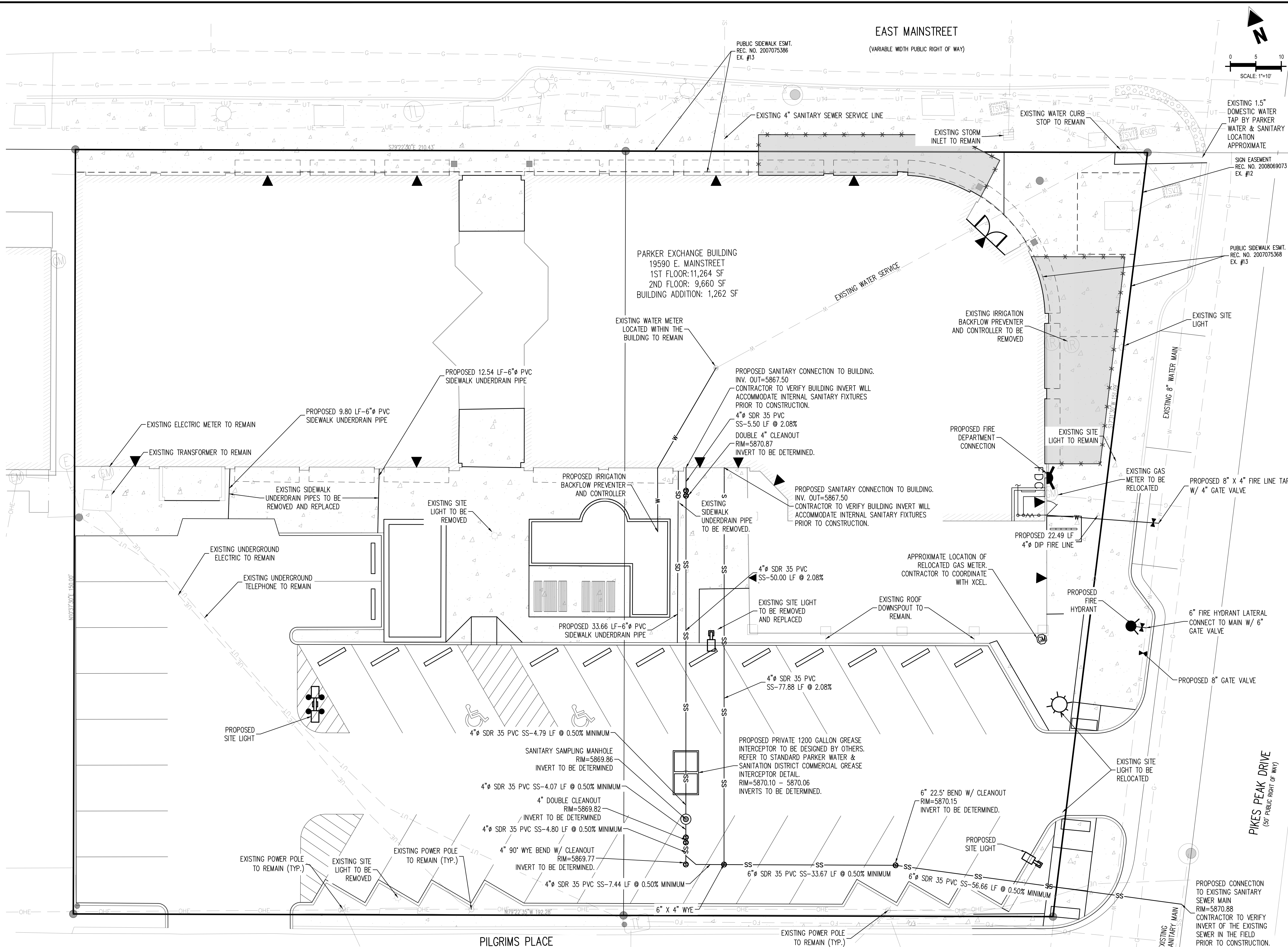
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Checked By:	TDK
Date:	JUNE 2024

OVERALL UTILITY PLAN

C1.7
8 OF 10



FIRE RISER ROOM SCHEMATIC LAYOUT
SCALE: 1" = 5'

NOTE
FIRE RISER ROOM LAYOUT TO BE FINALIZED WITH INTERIOR REMODEL PROJECT. LOCATIONS OF EQUIPMENT ARE APPROXIMATE. REQUIRED CLEARANCES SHALL BE MAINTAINED.

NOTE:
1. ANY PROPOSED UTILITY CONNECTION WITHIN AN EXISTING ROADWAY WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN REQUIRES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK.

SITE LEGEND

—	PROPERTY BOUNDARY LINE
- - -	ADJACENT PROPERTY BOUNDARY LINE
- - - -	EXISTING EASEMENT LINE
- - - - -	PROPOSED EASEMENT LINE
- - - - -	SETBACK LINE
▲	SITE TRIANGLE
- - - - -	PROPOSED SAWMUT LINE
- - - - -	PROPOSED CURB AND GUTTER
- - - - -	EXISTING CURB AND GUTTER
+	EXISTING SIGN
+	PROPOSED SIGN
○	PROPOSED PIPE BOLLARD
○	PROPOSED ADA PARKING SYMBOL
○	PROPOSED WHEEL STOP
○	PROPOSED DETECTABLE WARNING TRUNCATED DOMES
○	EXISTING TREE
○	BUILDING ENTRANCE

UTILITY LEGEND

—	EXISTING WATER LINE	⊞	EXISTING PAD MOUNTED TRANSFORMER
—	PROPOSED WATER LINE	⊞	EXISTING STORM INLET
—	EXISTING SANITARY SEWER	⊞	EXISTING WATER VALVE
—	PROPOSED SANITARY SEWER	⊞	PROPOSED WATER VALVE
—	EXISTING STORM SEWER	⊞	PROPOSED FIRE HYDRANT
—	PROPOSED STORM SEWER (LESS THAN 12")	⊞	EXISTING TRAFFIC VAULT
—	EXISTING UNDERGROUND ELECTRICAL	⊞	EXISTING TELEPHONE PEDESTAL
—	EXISTING UNDERGROUND TELEPHONE	⊞	EXISTING TELEPHONE VAULT
—	EXISTING FIBER OPTIC LINE	⊞	EXISTING STORM SEWER MANHOLE
—	EXISTING GAS LINE	⊞	EXISTING SANITARY SEWER MANHOLE
—	EXISTING OVERHEAD ELECTRICAL	⊞	EXISTING SANITARY SEWER CLEANOUT
—	EXISTING STREET LIGHT	⊞	PROPOSED SANITARY SEWER CLEANOUT

FIRE CODE REVIEW BLOCK

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative _____ Date _____

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

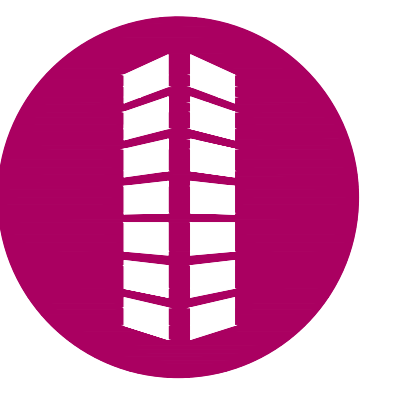
THE TOWN OF PARKER CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

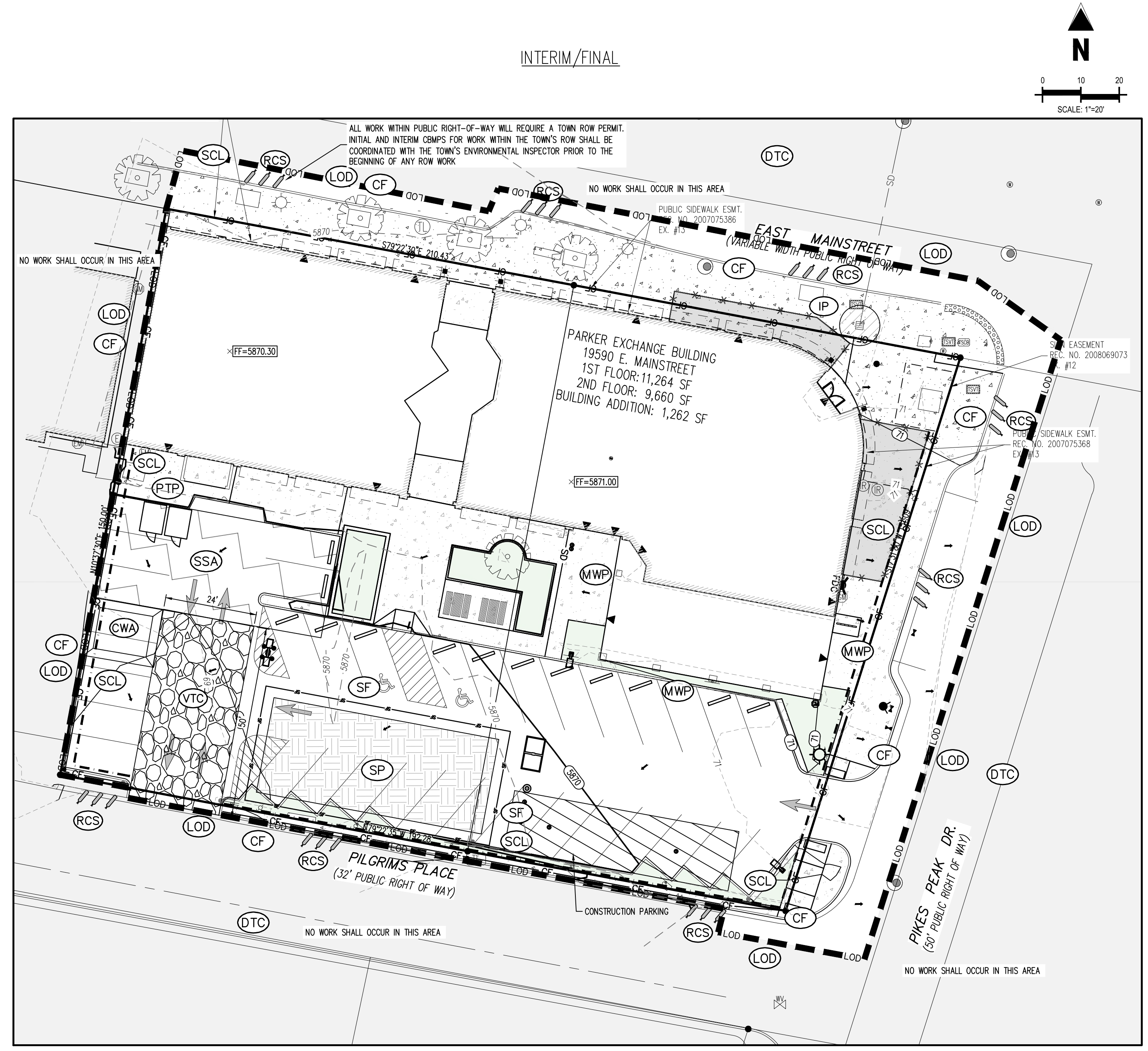
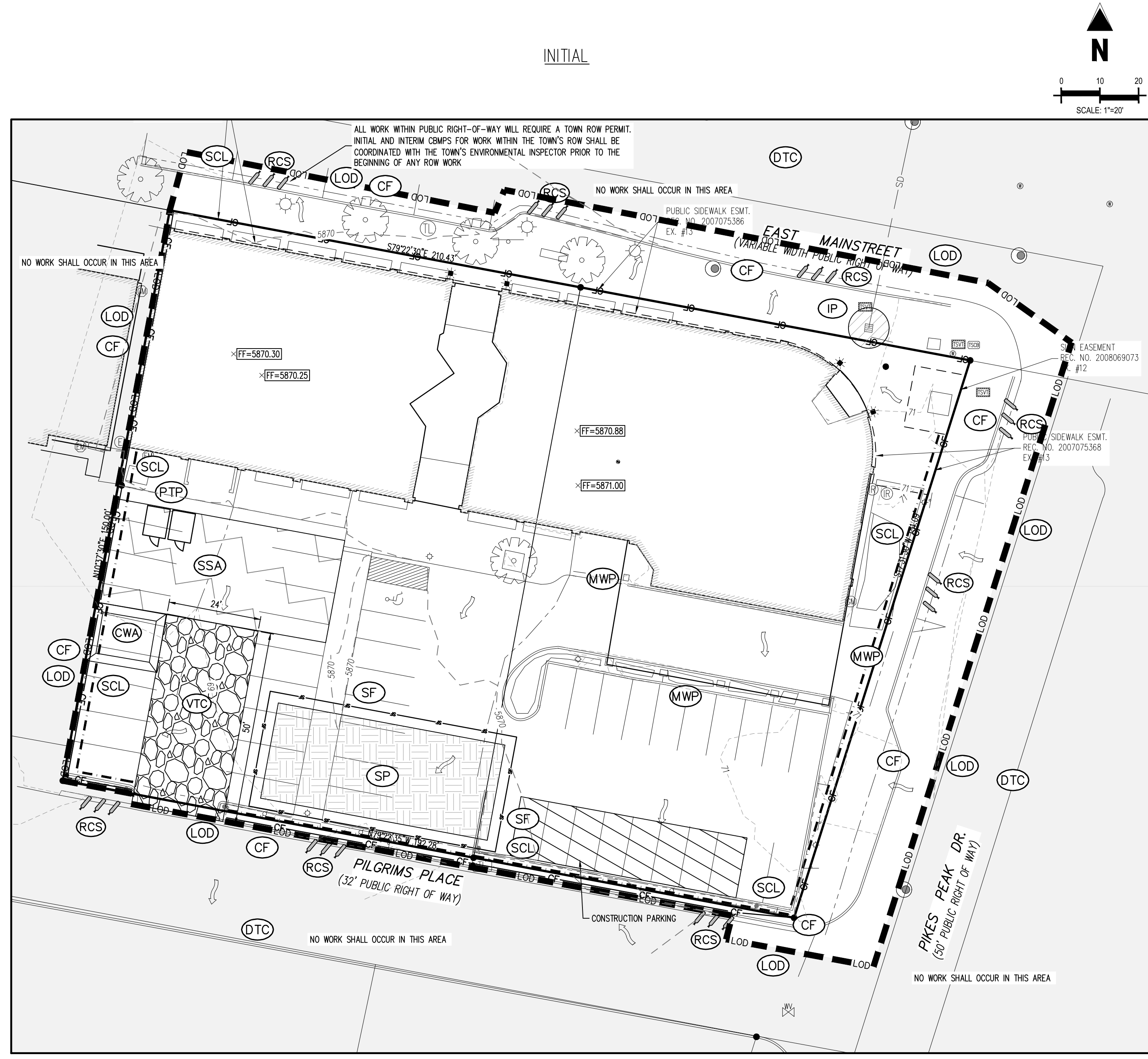
19590 MAIN STREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK

Project No:	MGC00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

EROSION CONTROL PLAN

C1.8
9 OF 18



EROSION CONTROL LEGEND

---	5460	EXISTING MAJOR CONTOUR
---	52	EXISTING MINOR CONTOUR
---	5465	PROPOSED MAJOR CONTOUR
---	60	PROPOSED MINOR CONTOUR
---	SD	EXISTING STORM SEWER (LESS THAN 12")
---	SD	EXISTING STORM SEWER (12" AND LARGER)
---	SD	PROPOSED STORM SEWER (LESS THAN 12")
---	SD	PROPOSED STORM SEWER (12" AND LARGER)
---		PROPOSED RIDGE LINE
---		EXISTING FLOW ARROW
---		FLOW ARROW
---	LOD	LIMITS OF DISTURBANCE
---	SCL	SEDIMENT CONTROL LOG
---	VTC	VEHICLE TRACKING CONTROL
---	CWA	CONCRETE WASHOUT AREA
---	SSA	STABILIZED STAGING AREA
---	IPS	SUMP INLET PROTECTION (P-3)
---	RS	ROCK SOCKS
---	SC	PROPOSED SAWCUT LINE
---	SF	SILT FENCE
---	CF	CONSTRUCTION FENCE
---	PT	PORTABLE TOILET
---	SP	SITE POSTING (CONTACTS AND PERMITS)
---	WP	WASHOUT POSTING

SITE LEGEND

---		PROPERTY BOUNDARY LINE
---		ADJACENT PROPERTY BOUNDARY LINE
---		EXISTING EASEMENT LINE
---		SITE TRIANGLE
---		PROPOSED SAWCUT LINE
---		PROPOSED CURB AND GUTTER
---		EXISTING CURB AND GUTTER
---		PROPOSED SIDEWALK
---		ADA PATH OF TRAVEL
---		PARKING COUNT
---		EXISTING SIGN
---		PROPOSED SIGN
---		PROPOSED PIPE BOLLARD
---		PROPOSED ADA PARKING SYMBOL
---		PROPOSED WHEEL STOP
---		PROPOSED DETECTABLE WARNING TRUNCATED DOMES
---		EXISTING TREE
---		BUILDING ENTRANCE

NOTE:
THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

NOTES:

- THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION MAY BE DETERMINED BY THE TOWN AND THE ECS.
- MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
- LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
- ANY ON-SITE BULK FUEL STORAGE REQUIRES A FIRE LINE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.

VEHICLE TRACKING CONTROL (VTC) NOTICE
THE CONSTRUCTION EXIT AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE EXIT WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL-WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

STABILIZED STAGING AREA (SSA) NOTICE
THE STAGING AND STORAGE AREA AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE STAGING AREA WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL CONTROL MEASURES AROUND THE STAGING AREA TO PREVENT POLLUTANTS FROM FLOWING TO OTHER SITE AREAS. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED ON ANY EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. ANY WATER USED IN THE STABILIZED STAGING AREA SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

BMP MAINTENANCE NOTE:
ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP, SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESS.

CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS
DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY INTO PORTABLE, IMPERMEABLE BASINS SUCH AS AN ECO-PAN. ALTERNATIVELY, WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIP RAP OR OTHER USEFUL CONCRETE PRODUCTS. THE CURED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. THIS JOBSITE SUPERINTENDENT IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES ARE FOLLOWED. THE LOCATION OF CONCRETE WASHOUT AREAS SHALL BE SHOWN ON THE SITE MAPS. FOLLOW ALL APPLICABLE ENVIRONMENTAL REGULATIONS FOR CONCRETE WASH OUT AREAS.

CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY STABILIZING ALL ON- AND OFF-SITE AREAS DISTURBED DURING CONSTRUCTION, WHETHER THESE AREAS ARE SHOWN ON THE PLAN OR NOT, INCLUDING MAINTENANCE OF ALL CONTROL MEASURES UNTIL A NOTICE OF INACTIVATION HAS ACCEPTED BY THE STATE.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS

DATE

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

BENCHMARK INFORMATION

THE BENCHMARK USED FOR THIS SURVEY IS DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042. A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINE OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W. ELEVATION=5889.09

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



