

MANGO MANAGEMENT EXCHANGE LOT 1

LOCATED IN THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAIN STREET, PARKER, CO

CIVIL CONSTRUCTION DRAWINGS

JANUARY 2025

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com



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PROJECT CONTACTS

PROPERTY OWNER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAIN STREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

APPLICANT/DEVELOPER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAIN STREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

CIVIL ENGINEER

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: TROY KELTS, PE

ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: CHRISTIAN ARNOT

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: TROY MOSER

TOWN OF PARKER STANDARD CONSTRUCTION NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBABILITARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-82, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION, PHONE (303) 692-3500.
- IF Dewatering is required, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



VICINITY MAP
SCALE: 1" = 1000'

LEGAL DESCRIPTION

PARCEL 1:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 0 DEGREES 13 MINUTES 03 SECONDS EAST; ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST

PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 3 IN BOUNDARY SURVEY OF A PORTION OF PARKER, COLORADO, JOB NO. 272-3985, DATED JUNE 18, 1981 AND RECORDED JULY 16, 1981 AT RECEPTION NO. 27187 OF THE DOUGLAS COUNTY RECORDS AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF EAST PARKER ROAD A DISTANCE OF 108.00 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 9 IN ABOVE DESCRIBED BOUNDARY SURVEY; THENCE SOUTH 10 DEGREES 37 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 150.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE AND THE SOUTHWEST CORNER OF THE AFOREMENTIONED PARCEL 9; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE A DISTANCE OF 108.00 FEET TO THE SOUTHEAST CORNER OF AFOREMENTIONED PARCEL 3; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PARCEL 3 A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

PARCEL 1:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 00 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE 108.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH LINE 102.43 FEET TO THE WEST RIGHT OF WAY LINE OF PIKES PEAK DRIVE; THENCE SOUTH 17 DEGREES 31 MINUTES 30 SECONDS WEST, ALONG SAID WEST RIGHT OF WAY LINE, 151.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 84.29 FEET; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST, 150.00 FEET TO THE POINT OF BEGINNING.

BENCHMARK

DOUGLAS COUNTY GIS CONTROL MONUMENT 1085942, A 1.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINES OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT: 39.516689 N, LONG: -104.754294 W, ELEVATION=5889.09

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°31'17" E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PARKER EXCHANGE BUILDING PARKING LOT RECONSTRUCTION

GEOTECHNICAL ENGINEER: KUNAR & ASSOCIATES, INC.

PROJECT NO: 24-1-257 DATE: APRIL 18, 2024

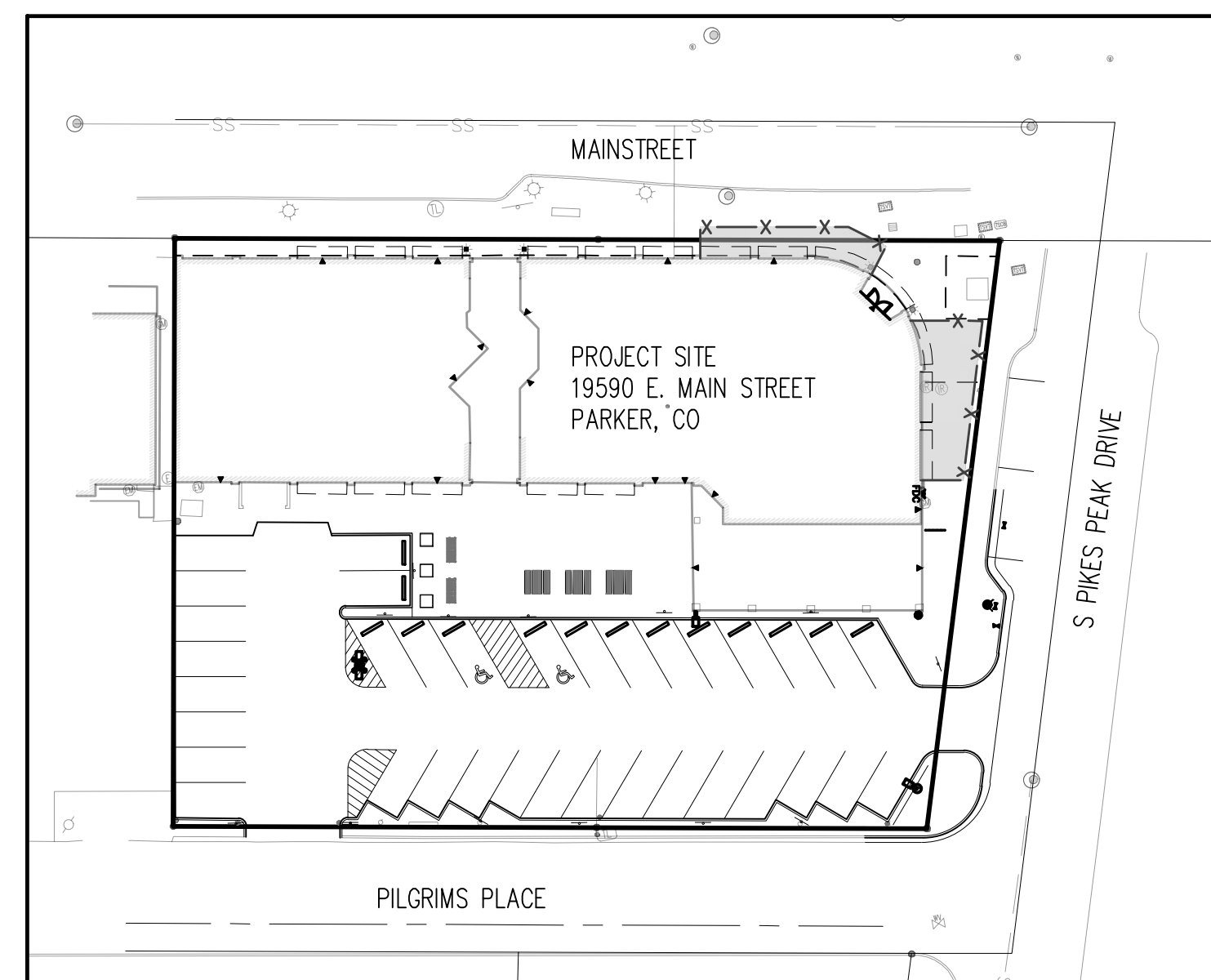
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

Sheet List Table

SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	DEMOLITION PLAN
C1.2	SITE PLAN
C1.3	HORIZONTAL CONTROL PLAN
C1.4	SITE DETAILS
C1.5	SITE DETAILS
C1.6	GRADING PLAN
C1.7	OVERALL UTILITY PLAN
C1.8	EROSION CONTROL PLAN
C1.9	EROSION CONTROL DETAILS
C1.10	EROSION CONTROL DETAILS
C1.11	EROSION CONTROL DETAILS
C1.12	EROSION CONTROL DETAILS
C1.13	EROSION CONTROL DETAILS
C1.14	EROSION CONTROL DETAILS
C1.15	EROSION CONTROL DETAILS
C1.16	EROSION CONTROL DETAILS
C1.17	EROSION CONTROL DETAILS

LIST OF ABBREVIATIONS

SHT - SHEET
Δ - DEFLECTION ANGLE
L - LENGTH
R - RADIUS
CB - CHORD BEARING
C - CHORD LENGTH
N - NORTH/NORTHING
W - WEST
E - EAST/EASTING
S - SOUTH
DET - DETAIL
EX - EXISTING
W/ - WITH
PC - POINT OF CURVATURE/PORTLAND CEMENT
WVF - WELDED WIRE FABRIC
VERT - VERTICAL
OC - ON CENTER
FDC - FIRE DEPARTMENT CONNECTION
CT - COURT
DR - DRIVE
TYP - TYPICAL
REC - RECEPTION NUMBER
Ø, DIA - DIAMETER
PT - POINT OF TANGENCY
MIN - MINIMUM
MAX - MAXIMUM
HDPE - HIGH DENSITY POLYETHYLENE



LOCATION MAP
SCALE: 1" = 40'

FIRE CODE REVIEW BLOCK

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative _____ Date _____

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK

Project No: MGC00001
Drawn By: HCH
Checked By: TDK
Date: JUNE 2024

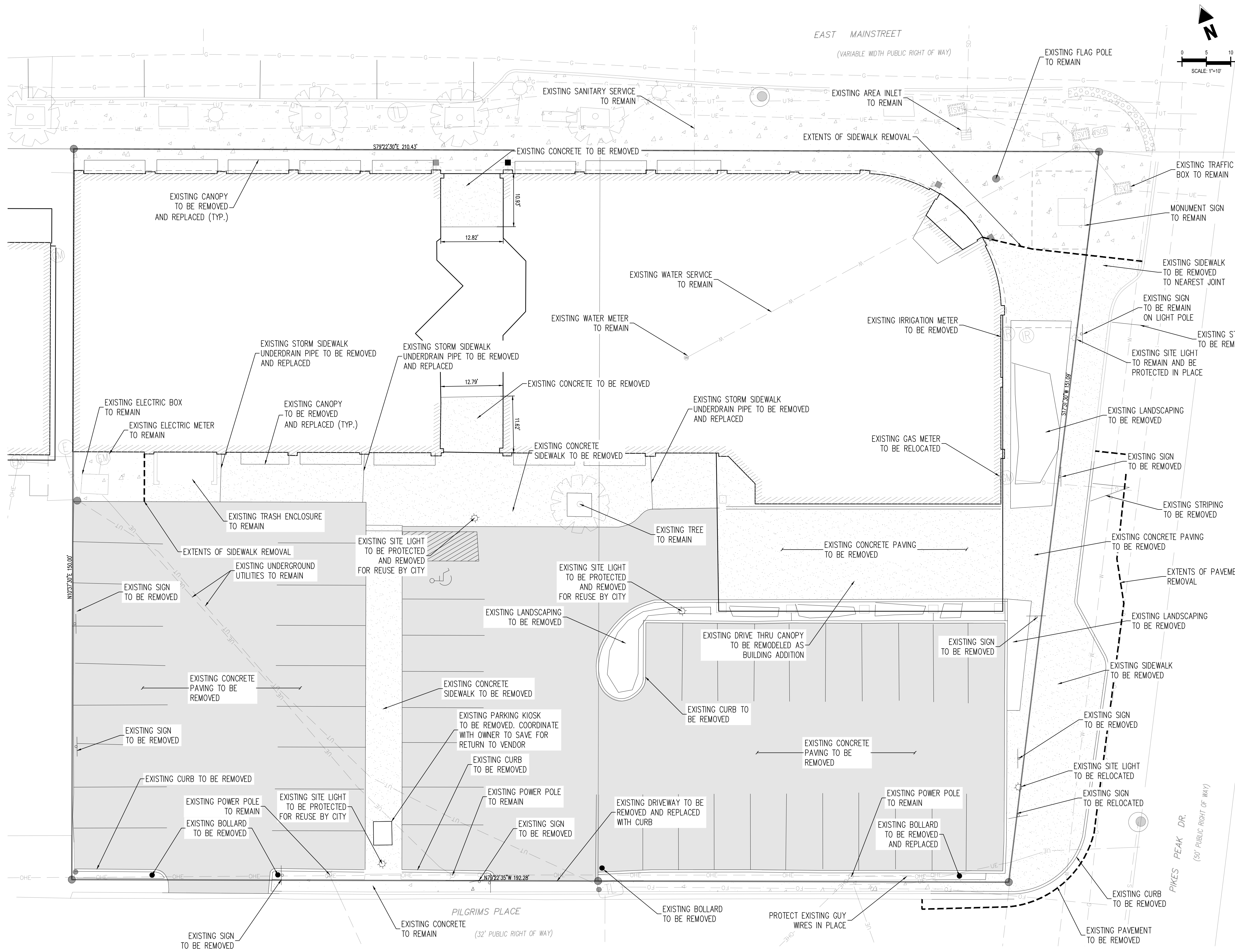
COVER SHEET

C1.0

1 OF 18

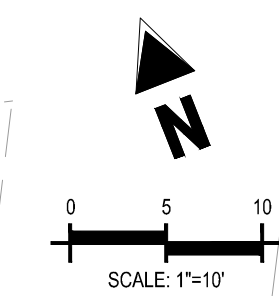
EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET
PARKER, CO



DEMOLITION LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING EASEMENT
- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- EXISTING GAS LINE TO REMAIN
- EXISTING SANITARY LINE TO REMAIN
- EXISTING WATER LINE TO REMAIN
- EXISTING OVERHEAD ELECTRIC LINE TO REMAIN
- EXISTING STORM LINE TO REMAIN
- EXISTING FIBER OPTIC LINE TO REMAIN
- EXISTING GAS LINE TO BE REMOVED
- EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED
- EXISTING WATER LINE TO BE REMOVED
- EXISTING ELECTRIC LINE TO BE REMOVED
- EXISTING SANITARY LINE TO BE REMOVED
- EXISTING BOLLARD TO BE REMOVED
- EXISTING SANITARY CLEANOUT TO BE REMOVED
- EXISTING SIGN TO BE REMOVED
- EXISTING SIGN TO REMAIN
- EXISTING SANITARY MANHOLE TO REMAIN
- EXISTING TELEPHONE POLE TO REMAIN
- EXISTING SITE LIGHT TO REMAIN
- EXISTING SITE LIGHT TO BE REMOVED
- EXISTING CONCRETE TO REMAIN
- EXISTING CONCRETE TO BE REMOVED
- EXISTING CONCRETE PAVING TO BE REMOVED



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EXCHANGE LOT 1
 CIVIL CONSTRUCTION DRAWINGS

19590 MAINSTREET
 PARKER, CO

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1	01/30/2025	SITE PLAN REVISION	TDK

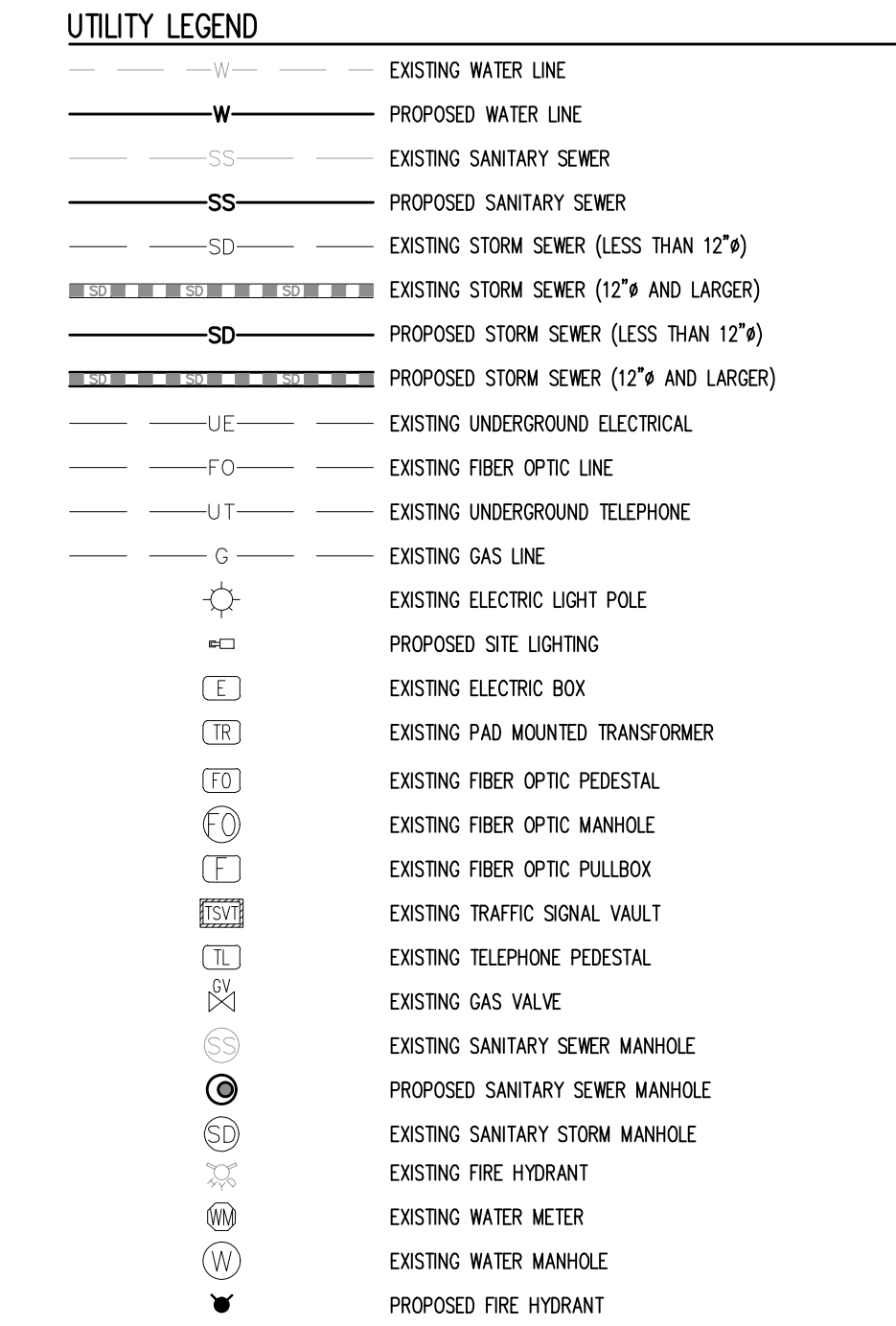
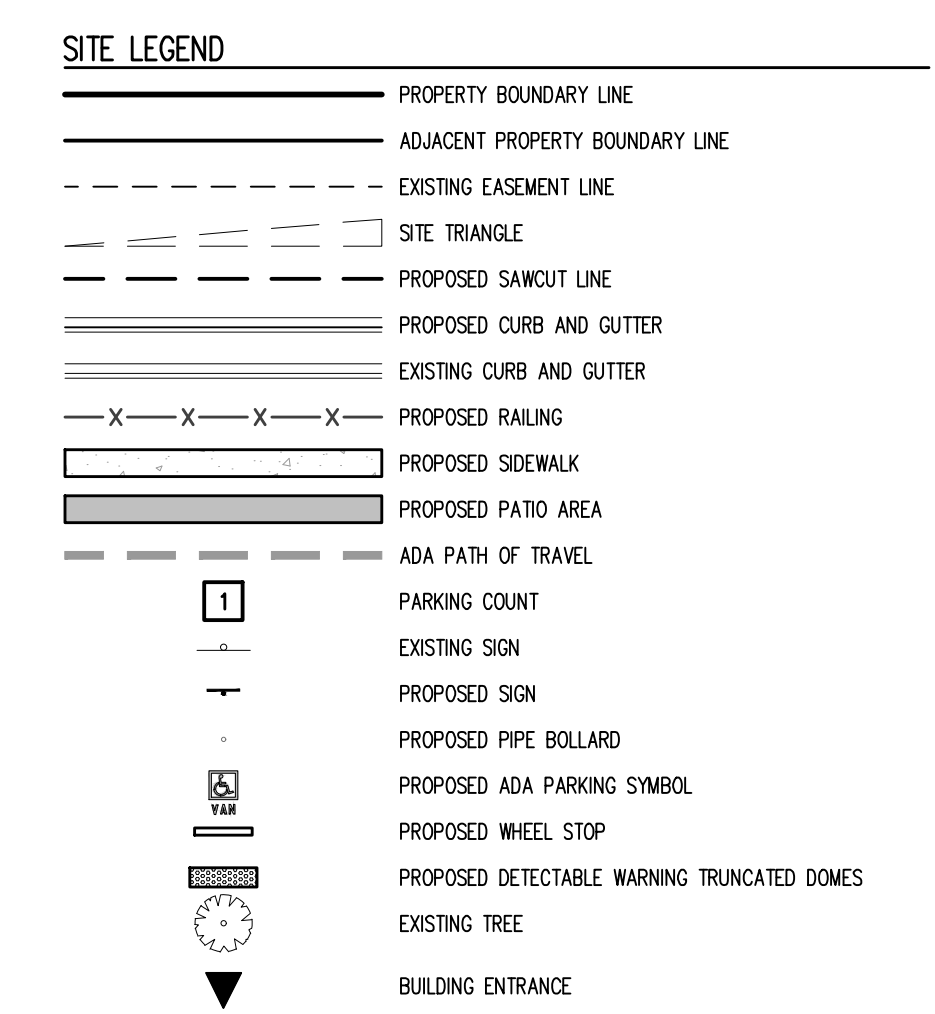
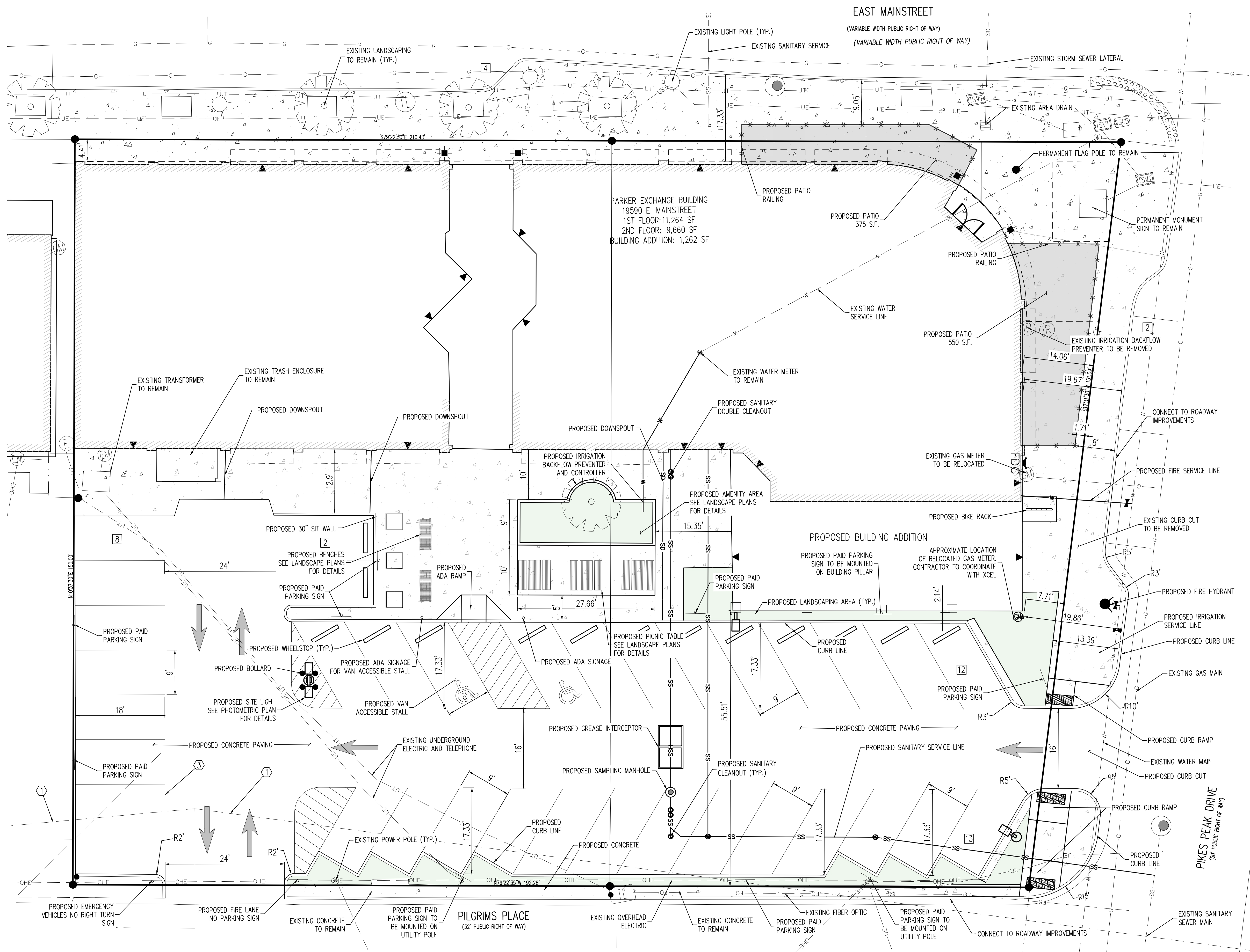
Project No:	MGC00901
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

DEMOLITION PLAN

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____



EXISTING STALL	LENGTH (FT)	WIDTH (FT)	PROVIDED STALLS
	17	5	46
PROPOSED STALL	17.33	9	39

NOTE:
THE PROPOSED PARKING STALL SIZE DOES NOT MEET THE MINIMUM STANDARDS PER THE TOWN OF PARKER CODE. THE PROPOSED PARKING STALL SIZE IS DEEMED ALLOWABLE AS THEY ARE AN IMPROVEMENT FROM THE EXISTING CONDITIONS.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE



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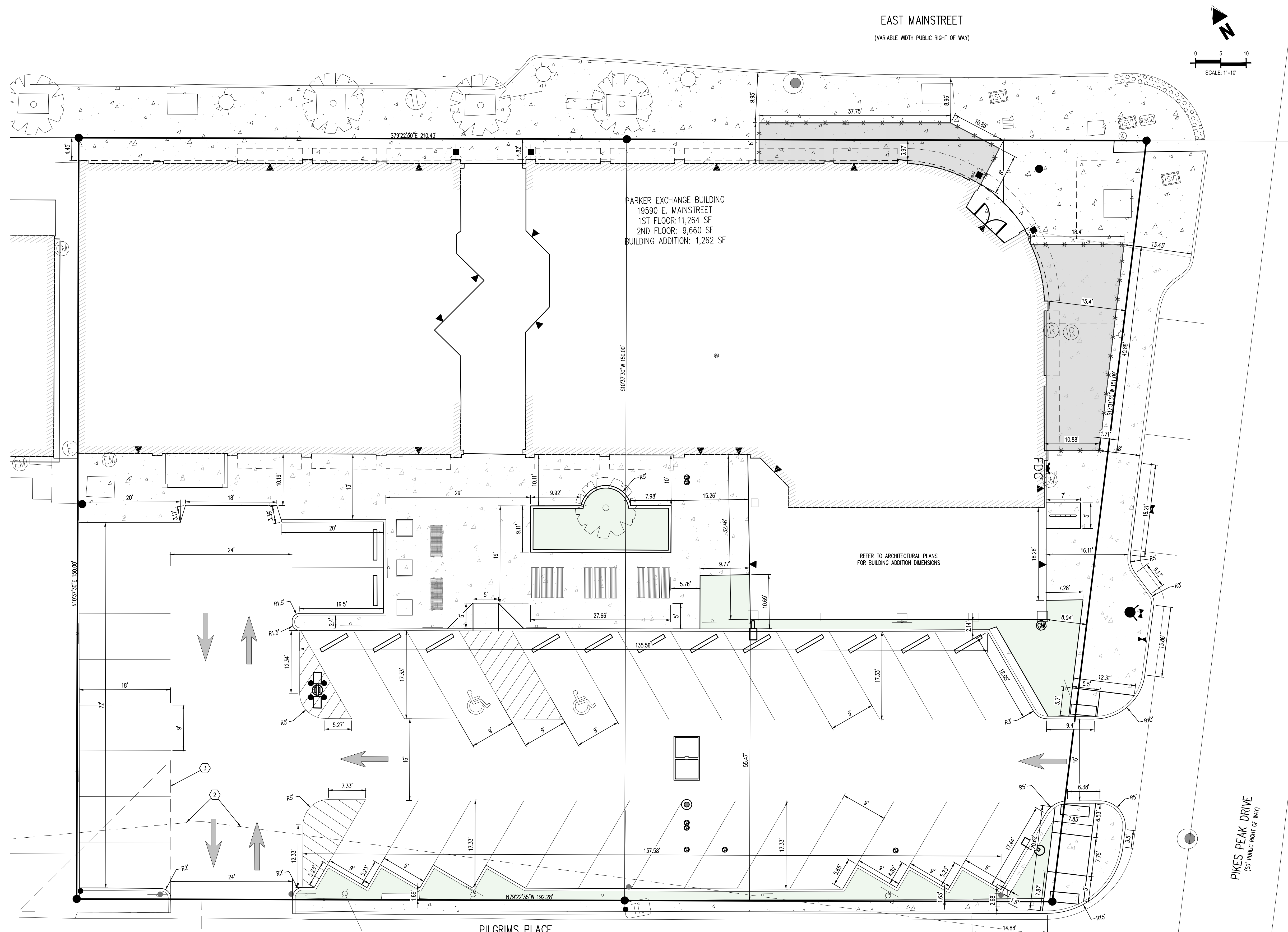
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1	01/30/2025	SITE PLAN REVISION	TDK

Project No: MGC00091
Drawn By: HCH
Checked By: TDK
Date: JUNE 2024

SITE PLAN



SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	EXISTING EASEMENT LINE
	SITE TRIANGLE
	PROPOSED SAWCUT LINE
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED SIDEWALK
	ADA PATH OF TRAVEL
	PARKING COUNT
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED PIPE BOLLARD
	PROPOSED ADA PARKING SYMBOL
	PROPOSED WHEEL STOP
	PROPOSED DETECTABLE WARNING TRUNCATED DOMES
	EXISTING TREE
	BUILDING ENTRANCE

UTILITY LEGEND

	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER (LESS THAN 12")
	EXISTING STORM SEWER (12" AND LARGER)
	PROPOSED STORM SEWER (LESS THAN 12")
	PROPOSED STORM SEWER (12" AND LARGER)
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING FIBER OPTIC LINE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	EXISTING ELECTRIC LIGHT POLE
	PROPOSED SITE LIGHTING
	EXISTING ELECTRIC SWITCH BOX
	EXISTING ELECTRIC VAULT
	EXISTING ELECTRIC BOX
	EXISTING PAD MOUNTED TRANSFORMER
	PROPOSED PAD MOUNTED TRANSFORMER
	EXISTING FIBER OPTIC PEDESTAL
	EXISTING FIBER OPTIC MANHOLE
	EXISTING FIBER OPTIC PULLBOX
	EXISTING TRAFFIC SIGNAL CABINET
	EXISTING TRAFFIC SIGNAL VAULT
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING TELEPHONE VAULT
	EXISTING GAS VALVE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY STORM MANHOLE
	PROPOSED STORM SEWER MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WATER MANHOLE
	PROPOSED WATER VALVE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

SIGHT TRIANGLES

1. PEDESTRIAN SIGHT TRIANGLE. THE PEDESTRIAN SIGHT TRIANGLE HAS A 10-FT LEG LOCATED AT THE EDGE OF THE DRIVEWAY AND A 10-FT LEG LOCATED AT THE BACK OF THE SIDEWALK. NO ITEMS THAT ARE WIDER THAN 18-INCHES MAY BE TALLER THAN 30-INCHES WITHIN THIS TRIANGLE.

2. ROADWAY SIGHT TRIANGLE. THE ROADWAY SIGHT TRIANGLE HAS A 18-FT LEG LOCATED IN THE CENTER OF THE EXIT LANE OF THE DRIVEWAY 18-FT FROM THE EDGE OF THE TRAVELED WAY. THE SECOND LEG SHALL BE PER AASHTO GUIDELINES FOR DEPARTURE TRIANGLES AND LOCATED IN THE CENTER OF THE APPROACHING LANE. NO ITEMS THAT ARE WIDER THAN 18-INCHES MAY BE TALLER THAN 30-INCHES WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

3. CORNER SIGHT TRIANGLE. THE CORNER SIGHT TRIANGLE HAS A 30-FT LEG LOCATED AT THE EDGE OF EACH STREET FLOWLINE AND A 30-FT LEG LOCATED IN THE INTERSECTING STREETS FLOWLINE. CORNER SITE TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____

Galloway
5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

PROFESSIONAL ENGINEER
40733
1/30/2025

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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAINSTREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK

Project No: MGC00901
Drawn By: HCH
Checked By: TDK
Date: JUNE 2024

HORIZONTAL CONTROL PLAN

C1.3
4 OF 18



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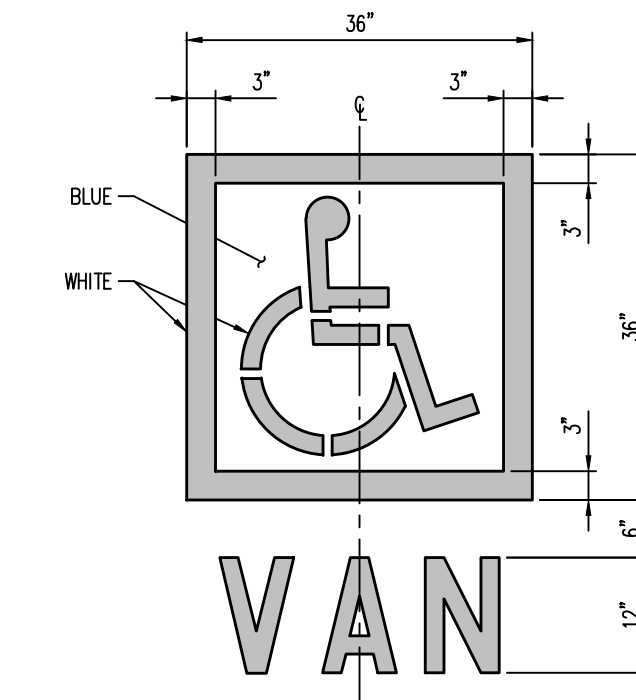
EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET
PARKER, CO

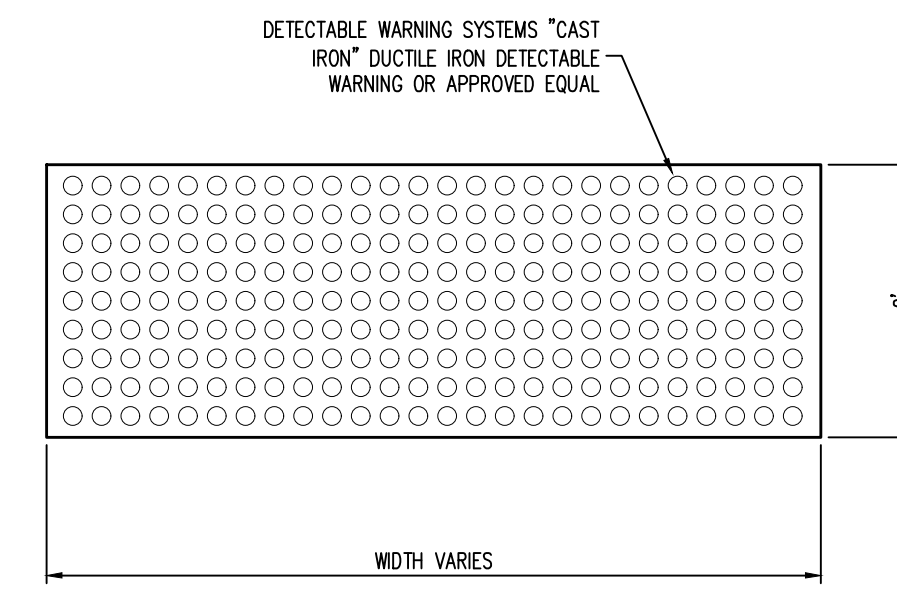
#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK

Project No:	MGC00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

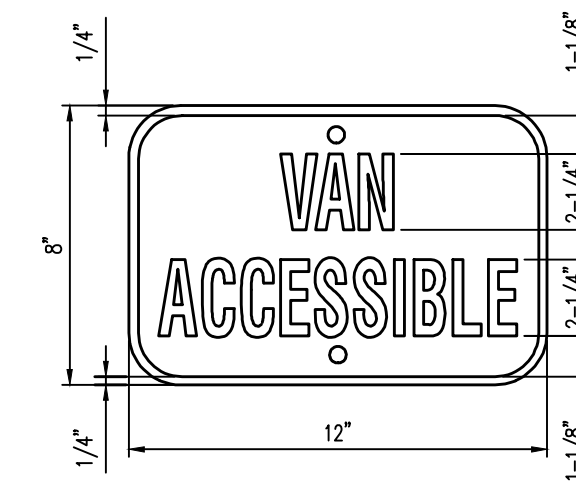
SITE DETAILS



- NOTES:**
- PROVIDE TWO COATS OF PAINT
 - BLUE BACKGROUND WITH WHITE SYMBOL



4 TRUNCATED DOMES
NOT TO SCALE



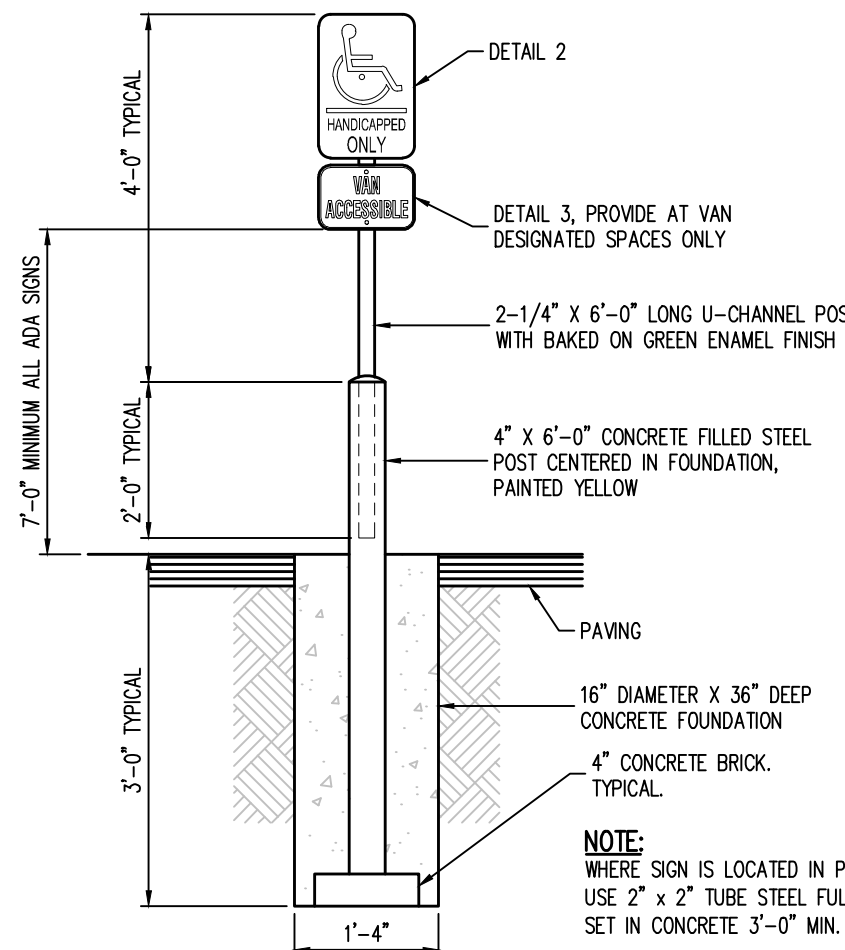
- MATERIAL:**
- 0.060 ALUMINUM - BLUE BACKGROUND WITH WHITE COPY AND BORDER, 1-1/2" RADIUS CORNERS, WHITE, 2 MOUNTING HOLES.
 - SIGN USED WITH CORRESPONDING VAN SPACE.

3 "VAN ACCESSIBLE" SIGN
NOT TO SCALE

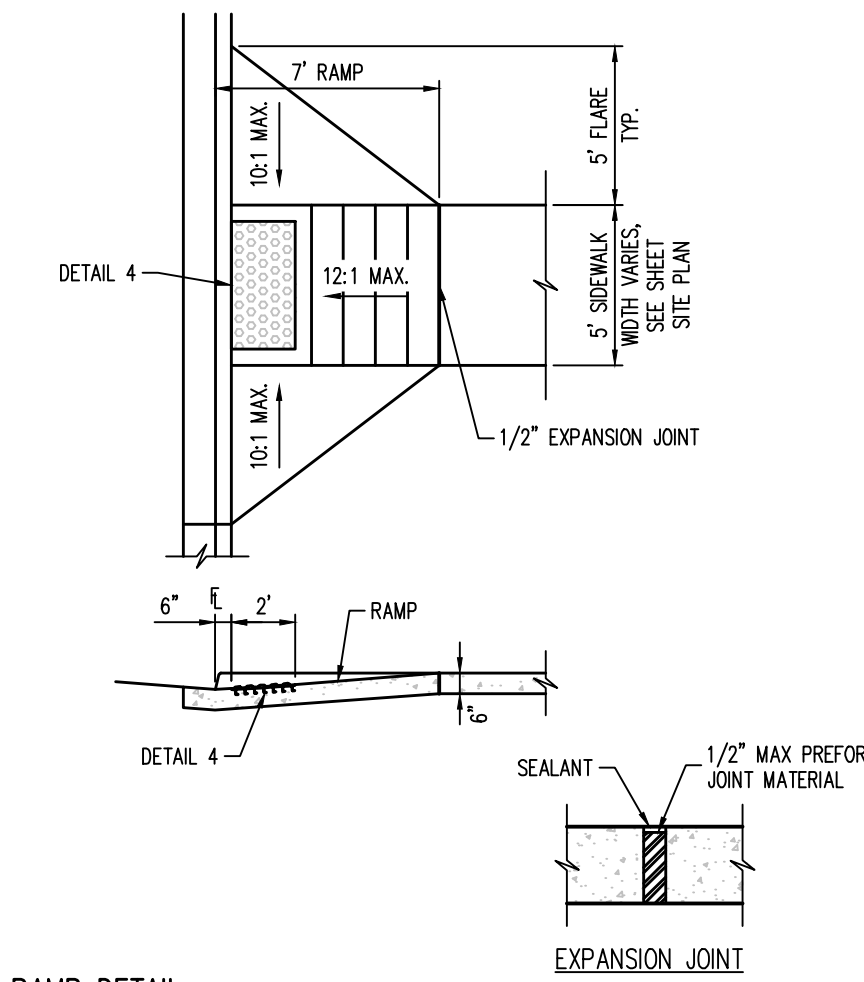


- NOTE:**
- MATERIAL: .060 ALUMINUM - WHITE BACKGROUND WITH BLUE COPY AND BORDER - SYMBOL HAS BLUE BACKGROUND, WHITE COPY WITH BLACK BORDER 1 1/2" RADIUS CORNERS WHITE 2 MOUNTING HOLES

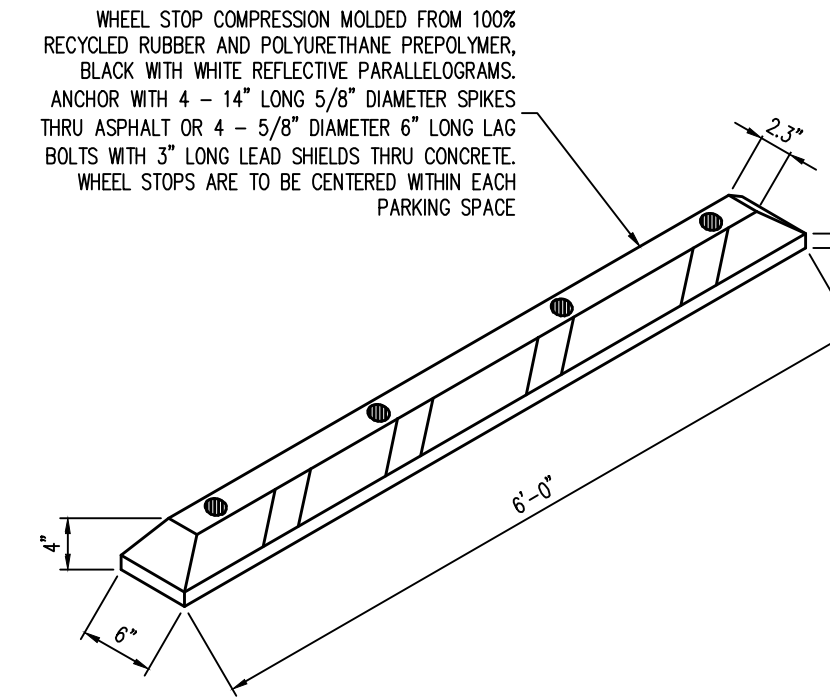
2 HANDICAP PARKING SIGN
NOT TO SCALE



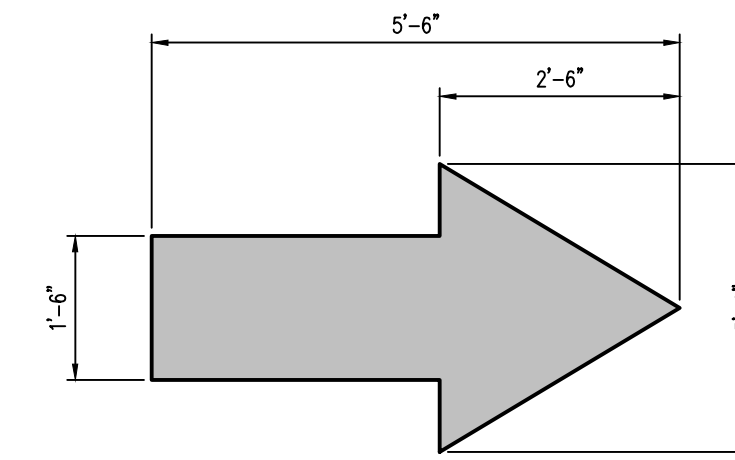
1 HANDICAP PARKING SIGN POST
NOT TO SCALE



10 ACCESSIBLE RAMP DETAIL
NOT TO SCALE

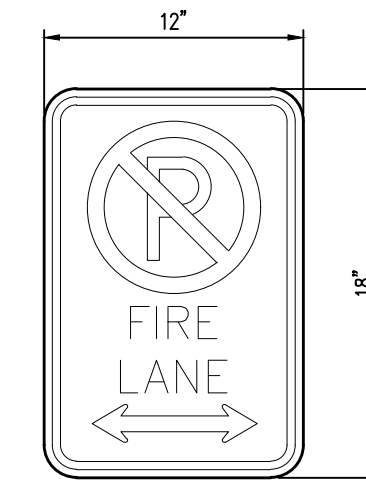


9 WHEEL STOP DETAIL
NOT TO SCALE



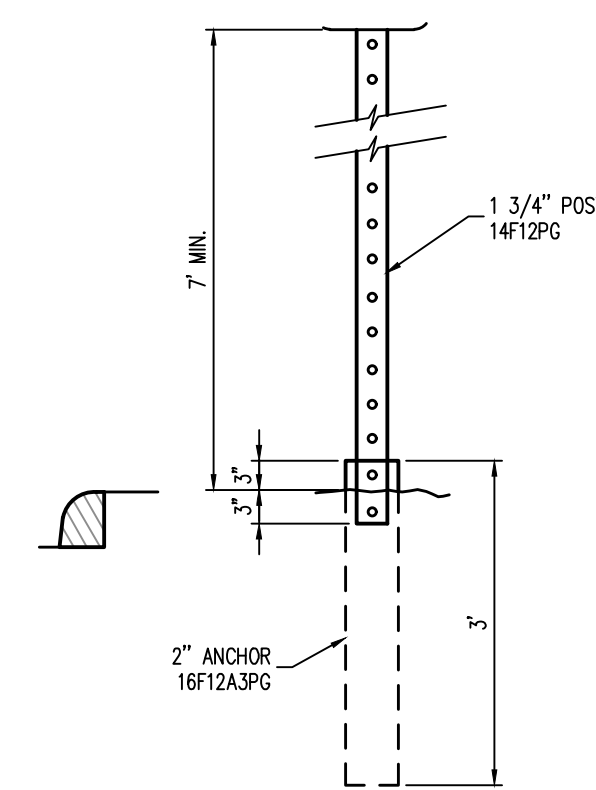
- NOTES:**
- ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.

8 DIRECTIONAL ARROW DETAIL
NOT TO SCALE

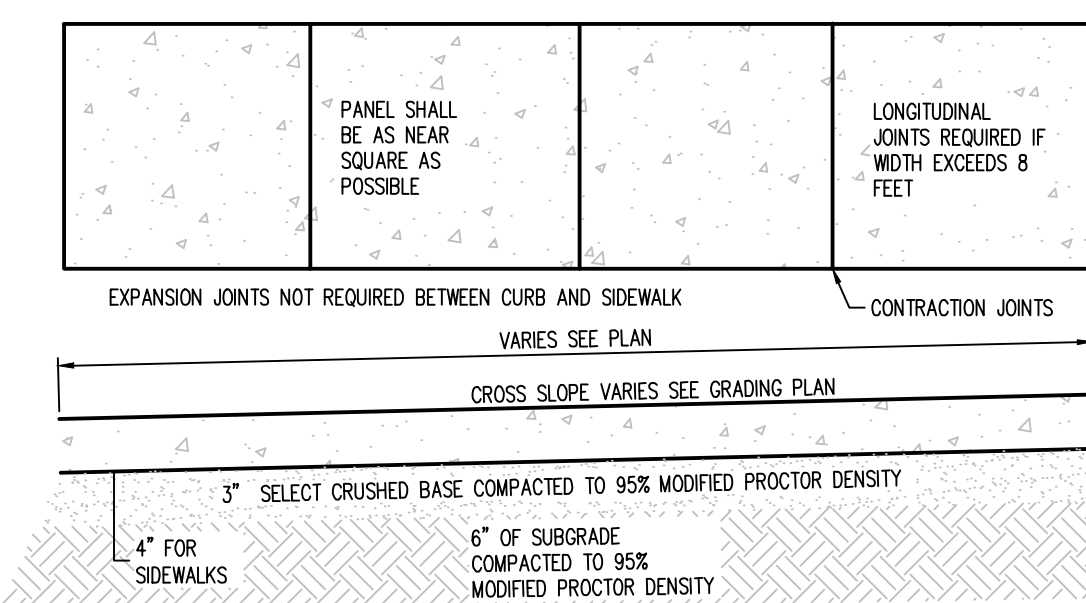


- NOTES:**
- SIGN DETAILS ARE PROVIDED AS A MINIMUM STANDARD ONLY.
 - SIGNS SHALL COMPLY WITH AUTHORITY HAVING JURISDICTION AND MUTCD R7-94.
 - CONTRACTOR SHALL COORDINATE WITH JURISDICTION HAVING AUTHORITY, SUPPLY & INSTALL.

7 "NO PARKING - FIRE LANE" SIGN
NOT TO SCALE

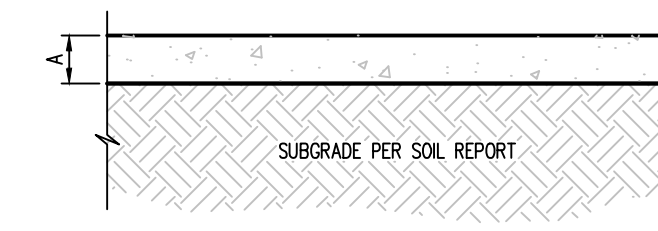


6 STANDARD SIGN POST DETAIL
NOT TO SCALE



- NOTES:**
- CONTRACTION JOINTS SHALL BE SPACED SO AS TO FORM AS NEAR SQUARE PANEL AS POSSIBLE, NO SINGLE PANEL SHALL EXCEED 8' ON ANY SIDE. CONTRACTION JOINTS SHALL BE 3/4" DEEP.
 - EXPANSION JOINTS OF 1/2" MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS: P.C.S AND P.T.S OF CURVES GRADE BREAKS AT DRIVEWAYS AT OTHER LOCATIONS AS SPECIFIED BY ENGINEER
 - NO SIDEWALK SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER
 - CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.

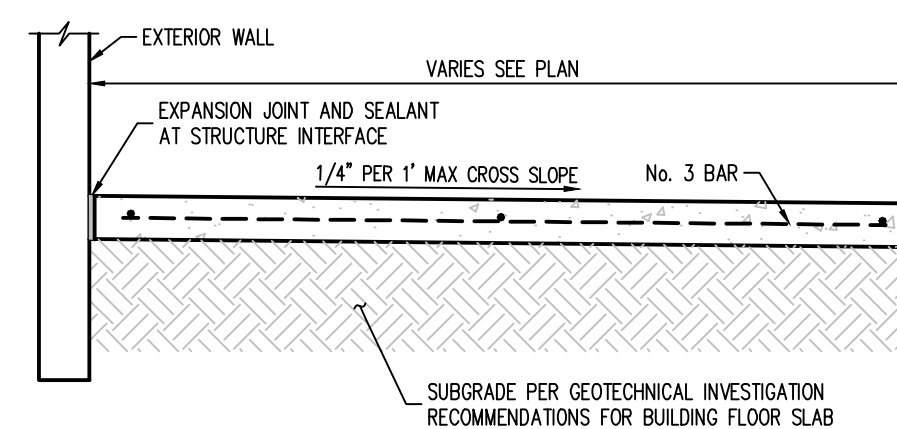
15 CONCRETE SIDEWALK DETAIL (PRIVATE)
NOT TO SCALE



- STANDARD DUTY CONCRETE**
A = 6" CONCRETE PAVEMENT SECTION
- HEAVY DUTY CONCRETE**
A = 7" CONCRETE PAVEMENT SECTION
- NOTE:**
CONTRACTOR TO VERIFY PAVEMENT DESIGN WITH GEOTECH REPORT PRIOR TO CONSTRUCTION.

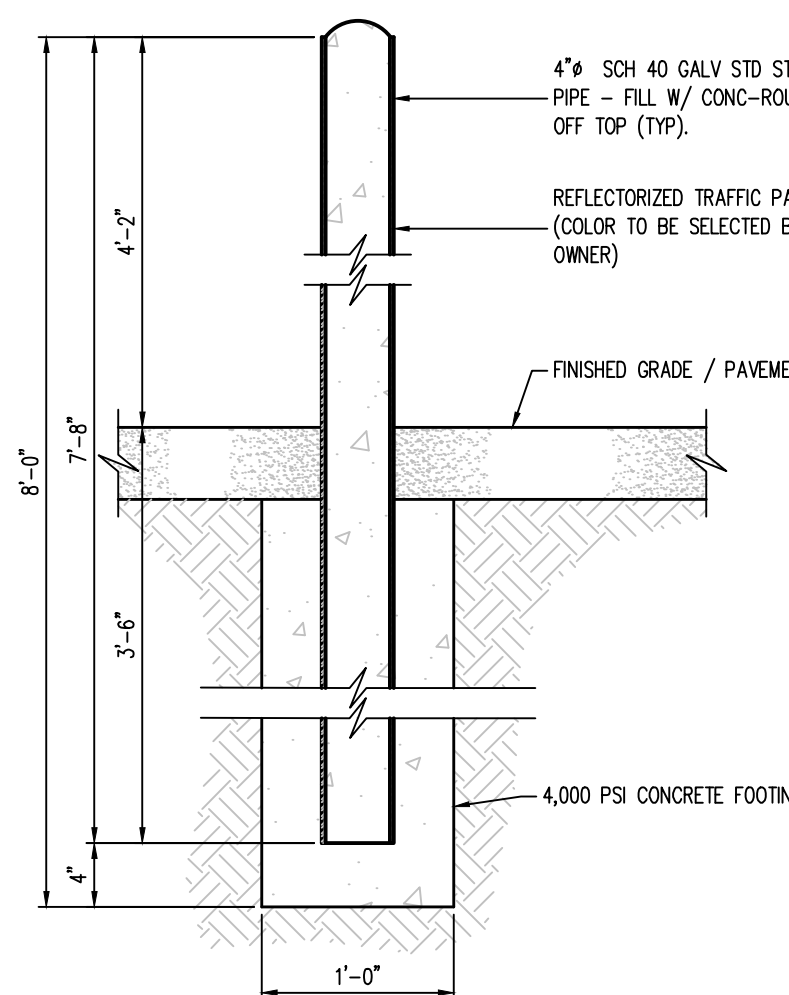
- NOTES:**
- SUBGRADE COMPACTION: PER GEOTECHNICAL REPORT SPECIFICATIONS.
 - ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

14 CONCRETE PAVING DETAIL
NOT TO SCALE

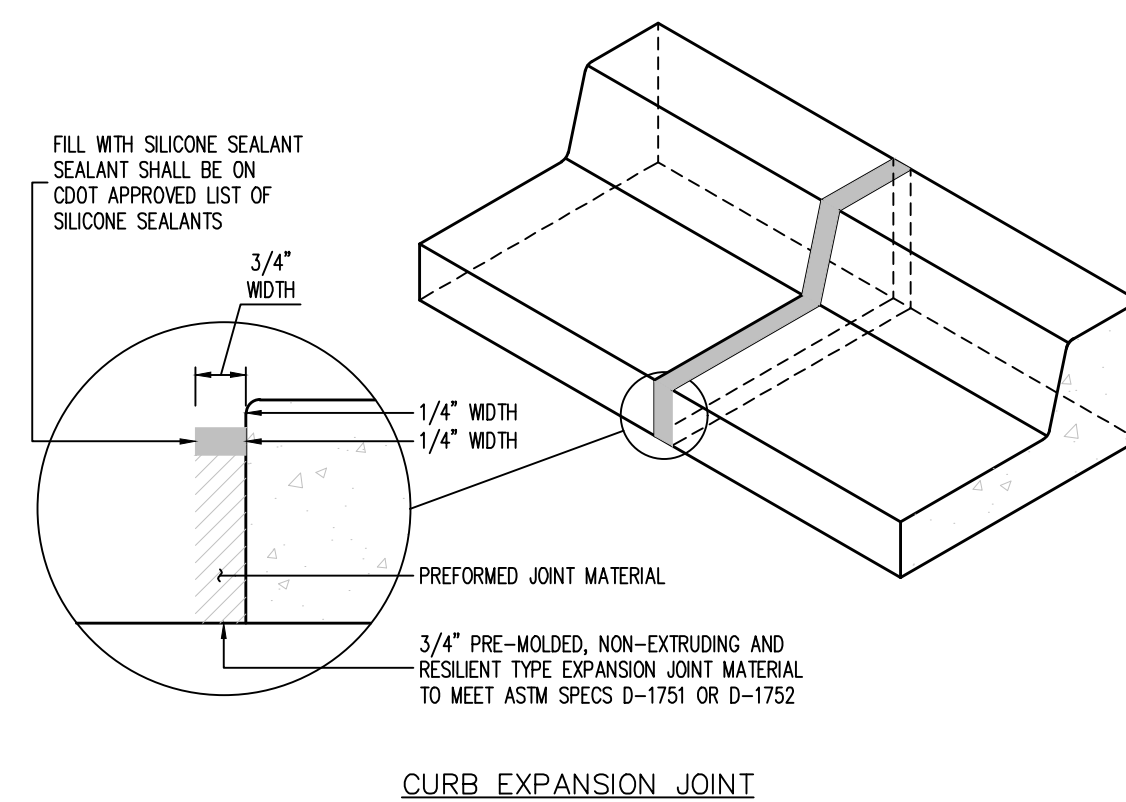


- NOTES:**
- CONTRACTION JOINTS SHALL BE SPACED SO AS TO FORM AS NEAR SQUARE PANEL AS POSSIBLE, NO SINGLE PANEL SHALL EXCEED THE WIDTH OF THE WALK ON ANY SIDE. CONTRACTION JOINTS SHALL BE 3/4" DEEP. REFER TO HORIZONTAL CONTROL PLAN FOR JOINT PATTERNING PERIPHERAL TO THE BUILDING.
 - ISOLATION JOINTS OF 1/2" MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS: P.C.S AND P.T.S OF CURVES GRADE BREAKS AT DRIVEWAYS AT OTHER LOCATIONS AS SPECIFIED BY ENGINEER OR ARCHITECT.
 - REINFORCE WITH NO. 3 BARS AT 18" O.C.E.W.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SIDEWALK REPLACEMENT DUE TO DEFECT, EXCESSIVE OR INADEQUATE GRADE, OR ADA NON-COMPLIANCE IF PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.
 - CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.

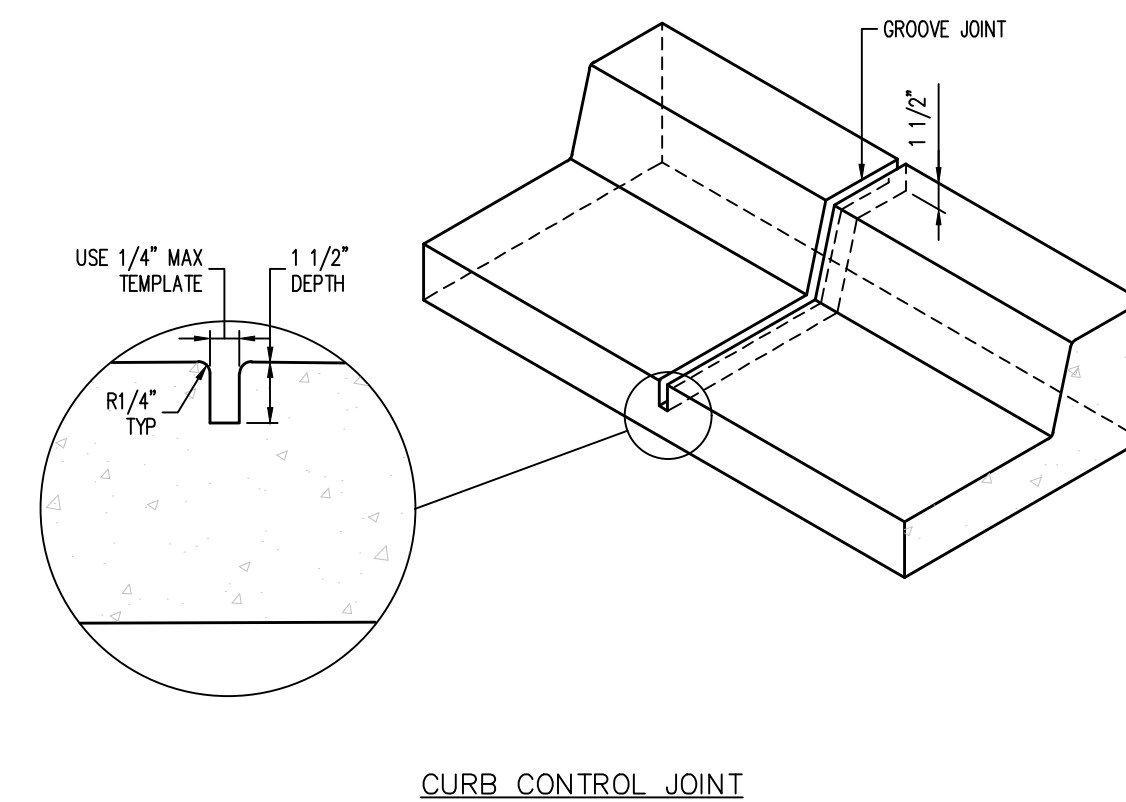
13 CONCRETE SIDEWALK AT BUILDING
NOT TO SCALE



12 SITE BOLLARD
SCALE: 1" = 1'-0"



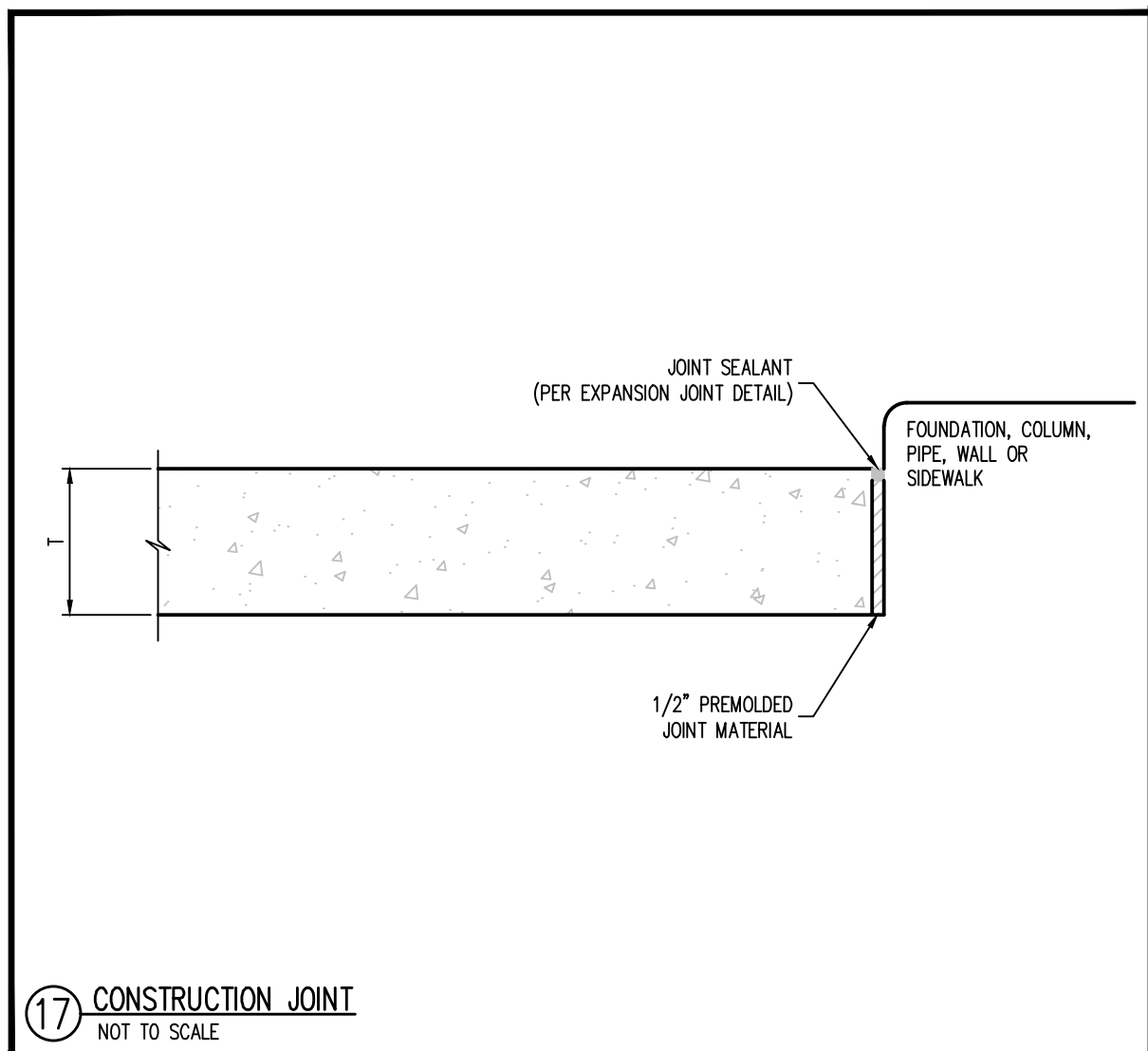
16 CURB JOINT DETAIL
NOT TO SCALE



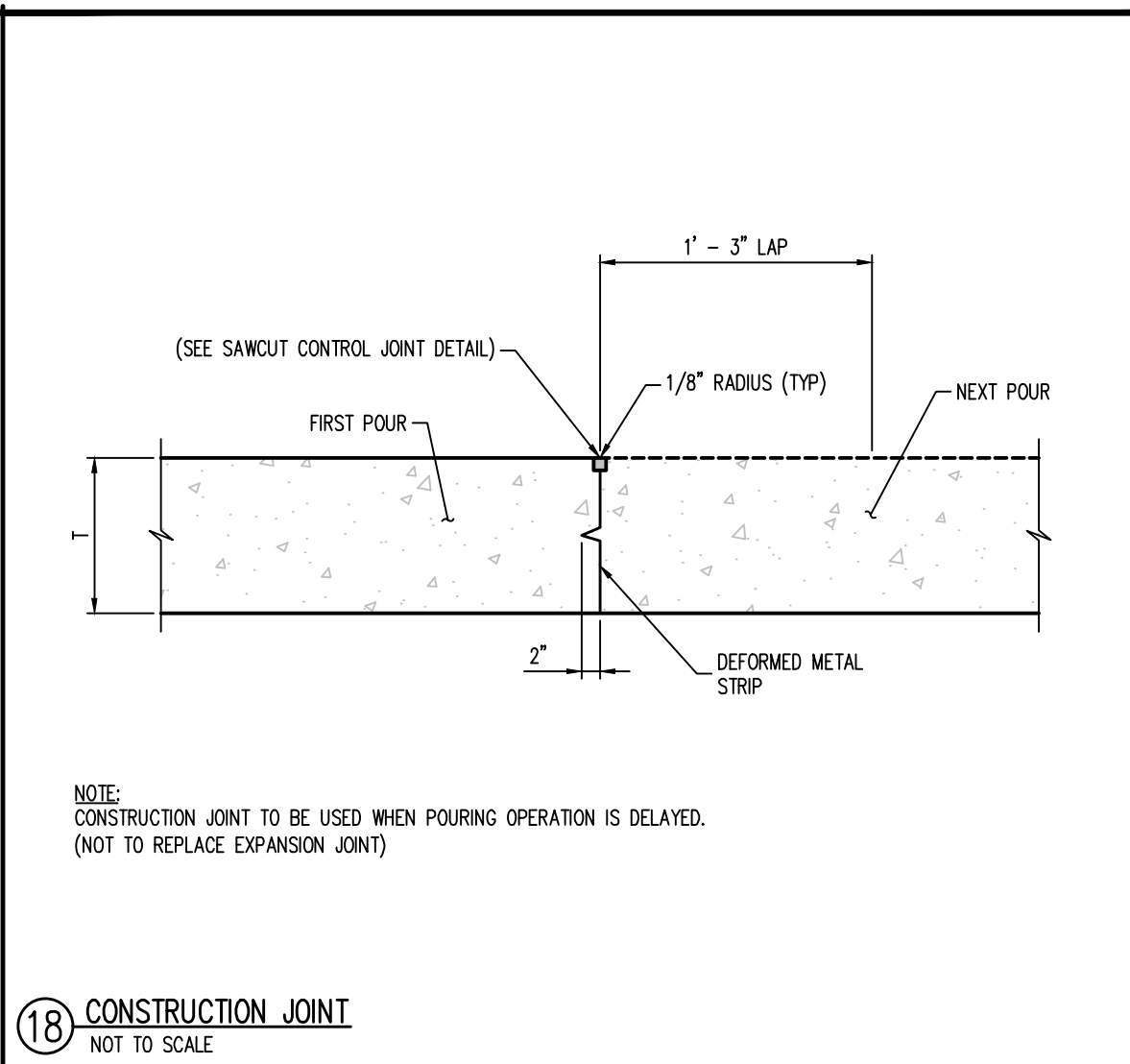
CURB CONTROL JOINT



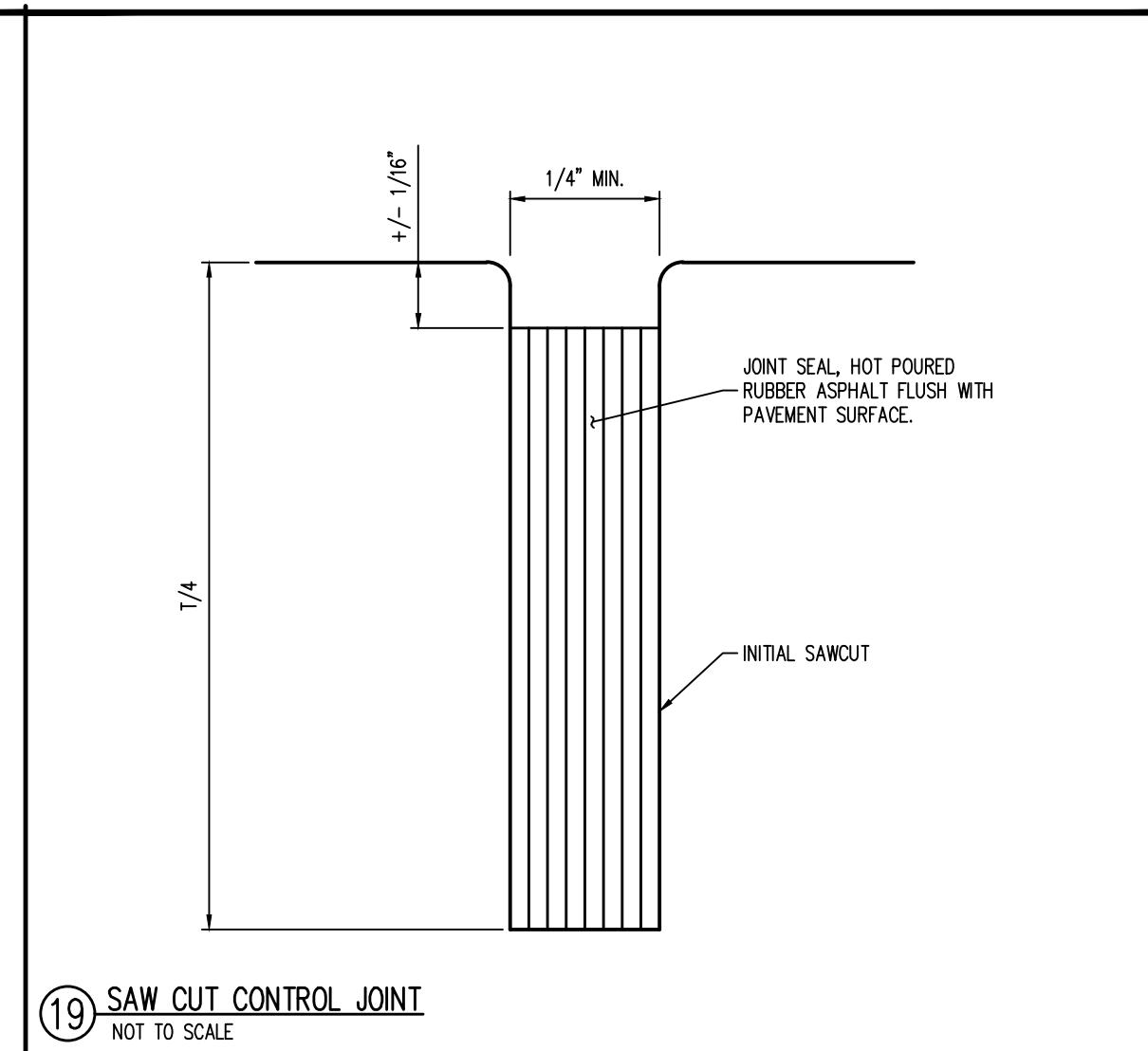
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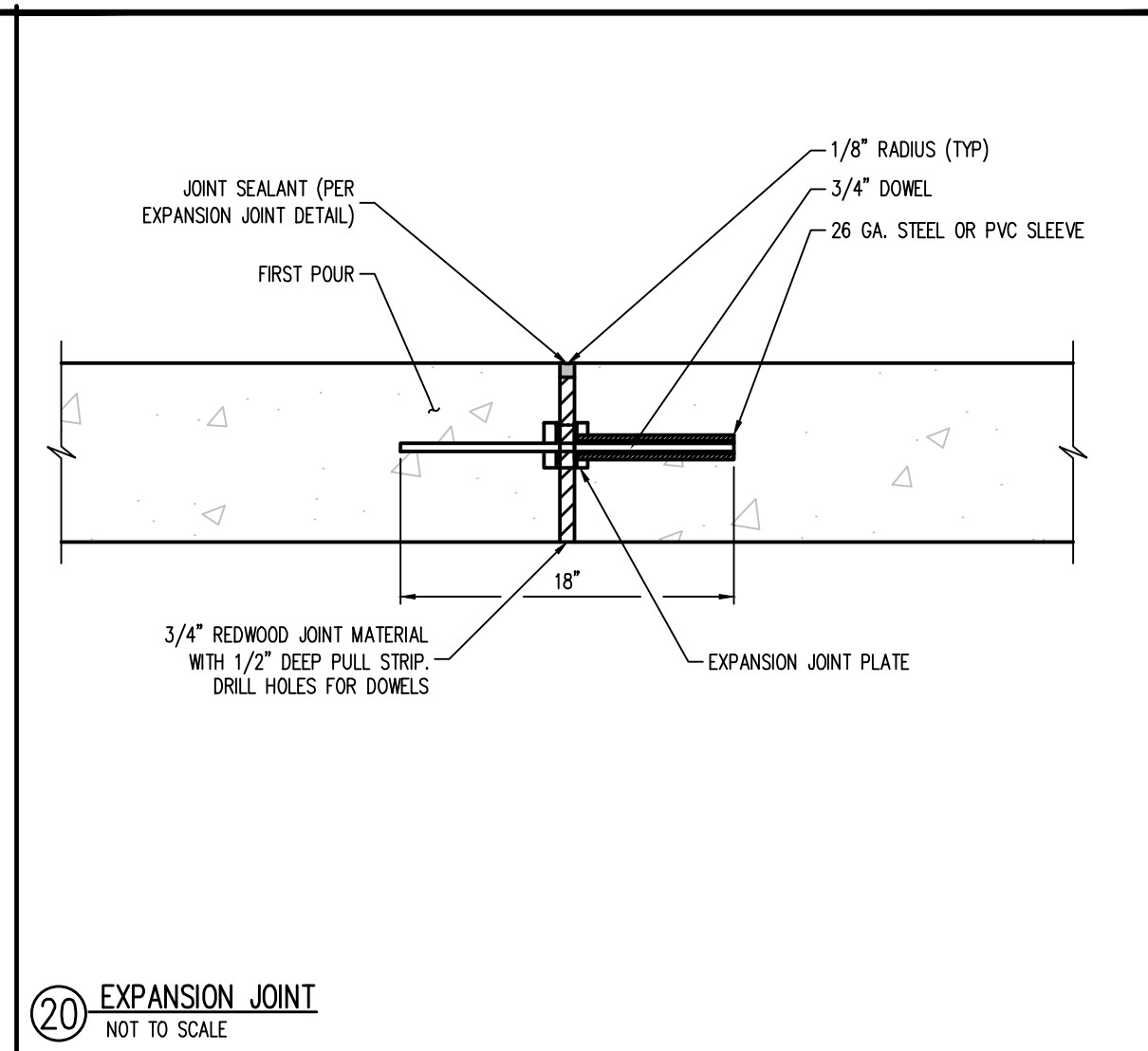
17 CONSTRUCTION JOINT
NOT TO SCALE



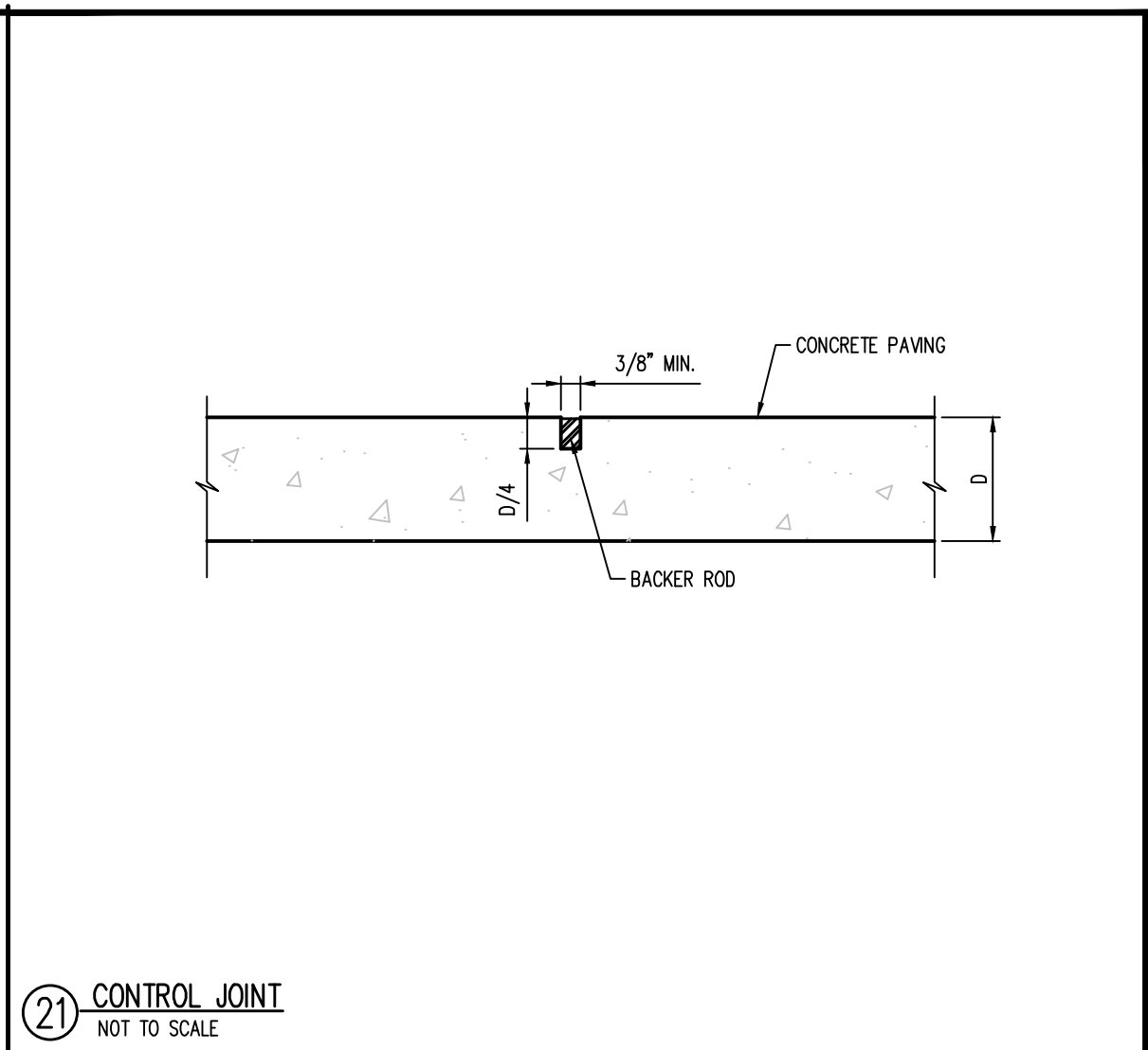
18 CONSTRUCTION JOINT
NOT TO SCALE



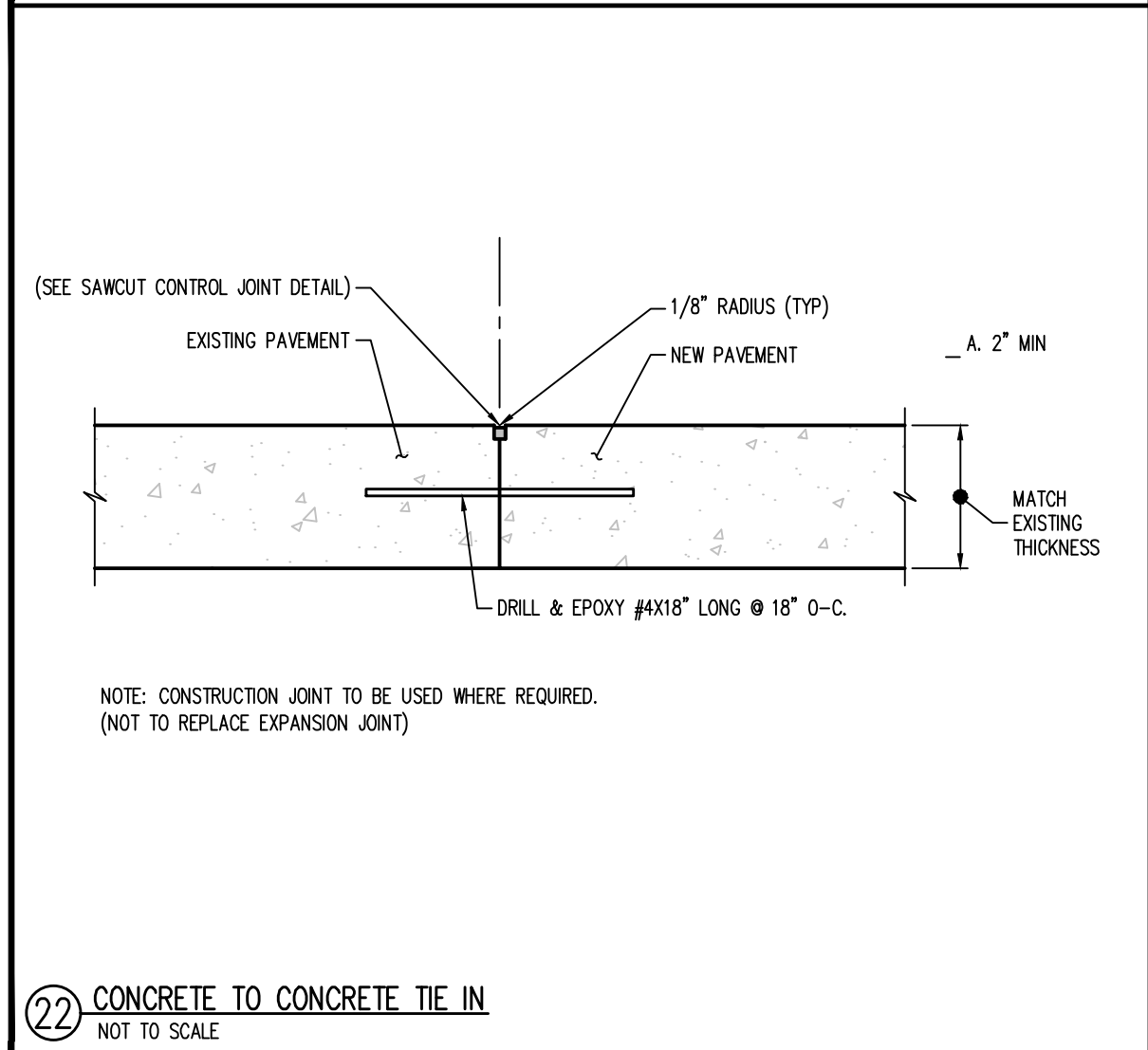
19 SAW CUT CONTROL JOINT
NOT TO SCALE



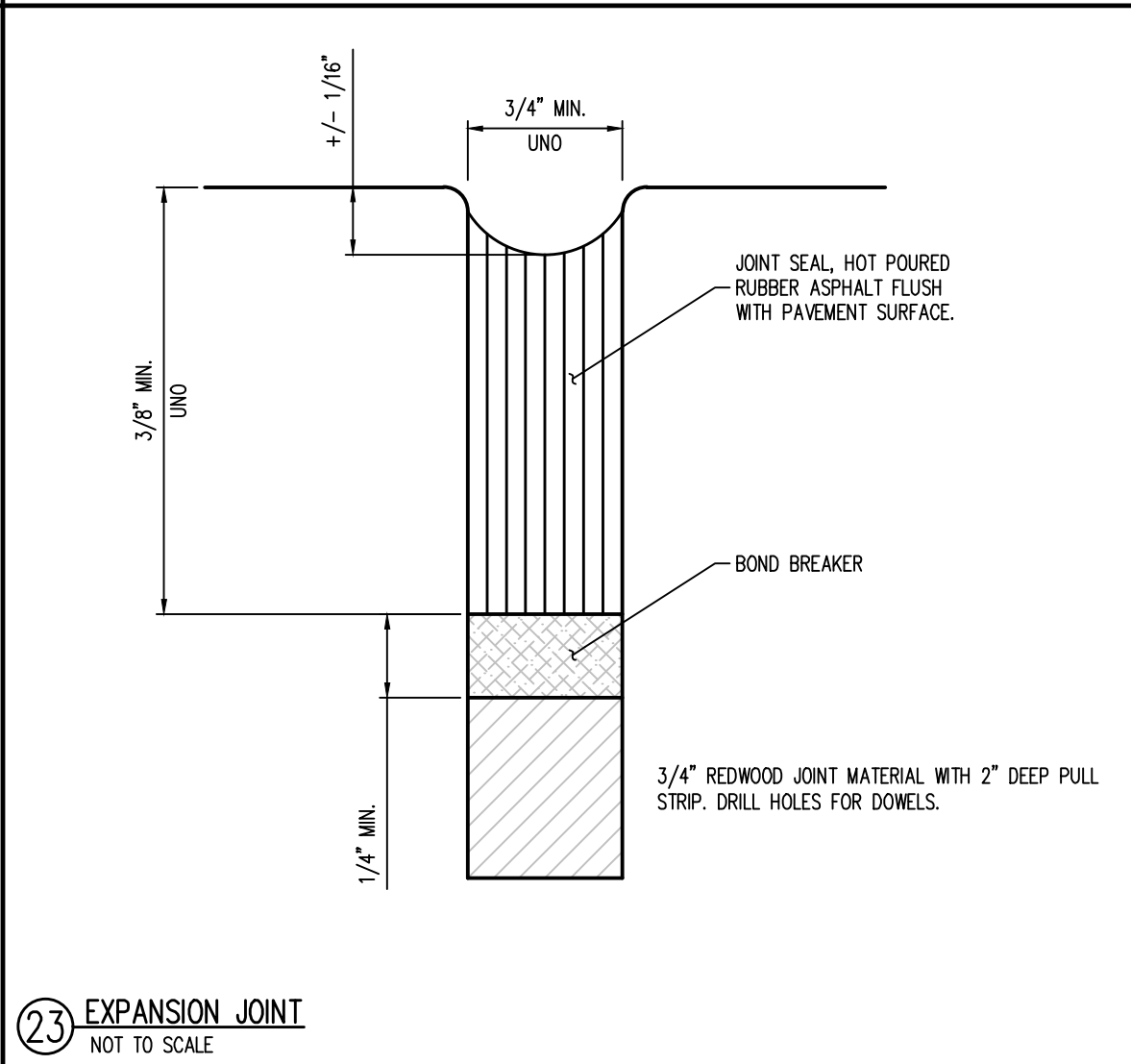
20 EXPANSION JOINT
NOT TO SCALE



21 CONTROL JOINT
NOT TO SCALE



22 CONCRETE TO CONCRETE TIE IN
NOT TO SCALE

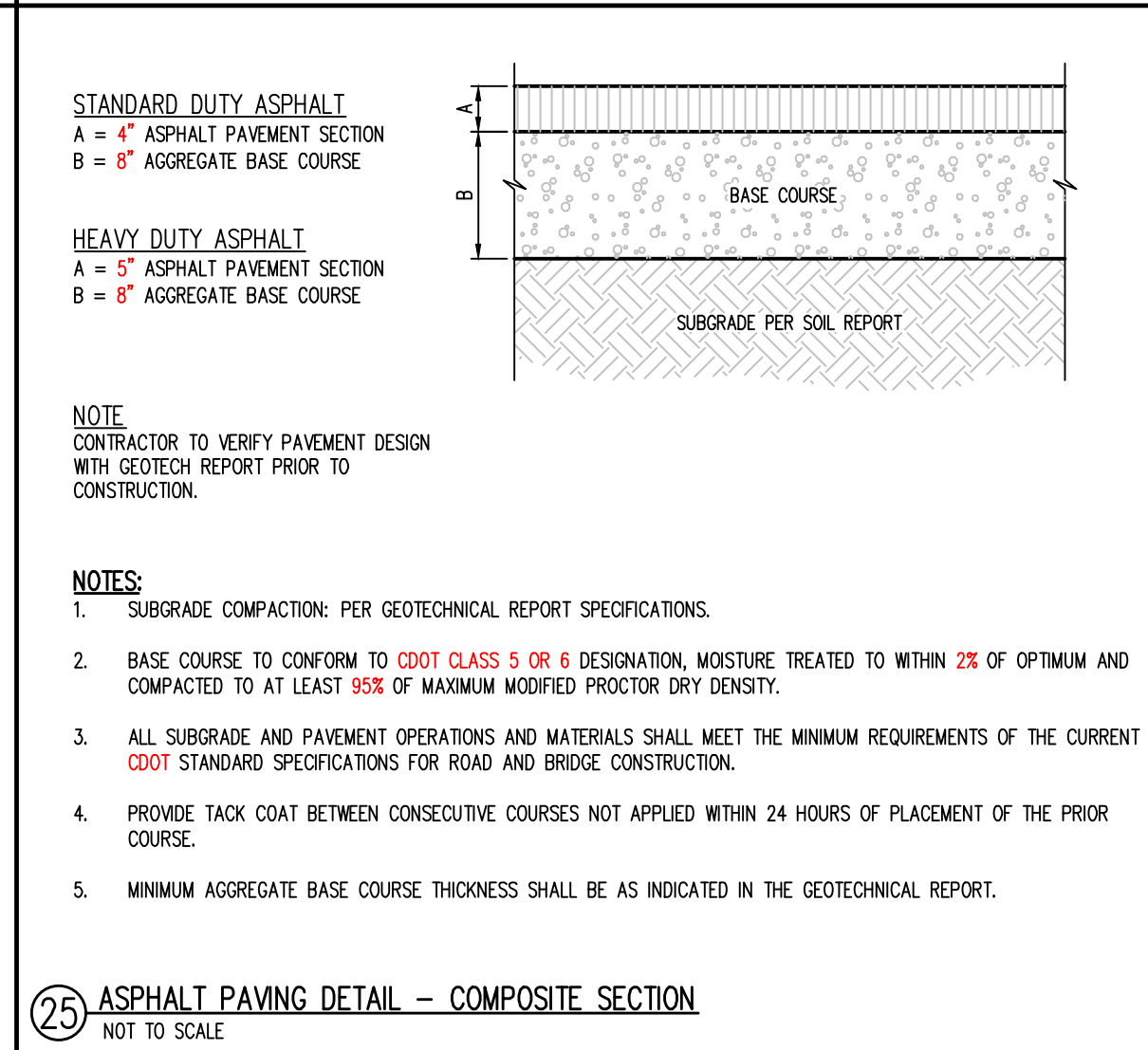


23 EXPANSION JOINT
NOT TO SCALE

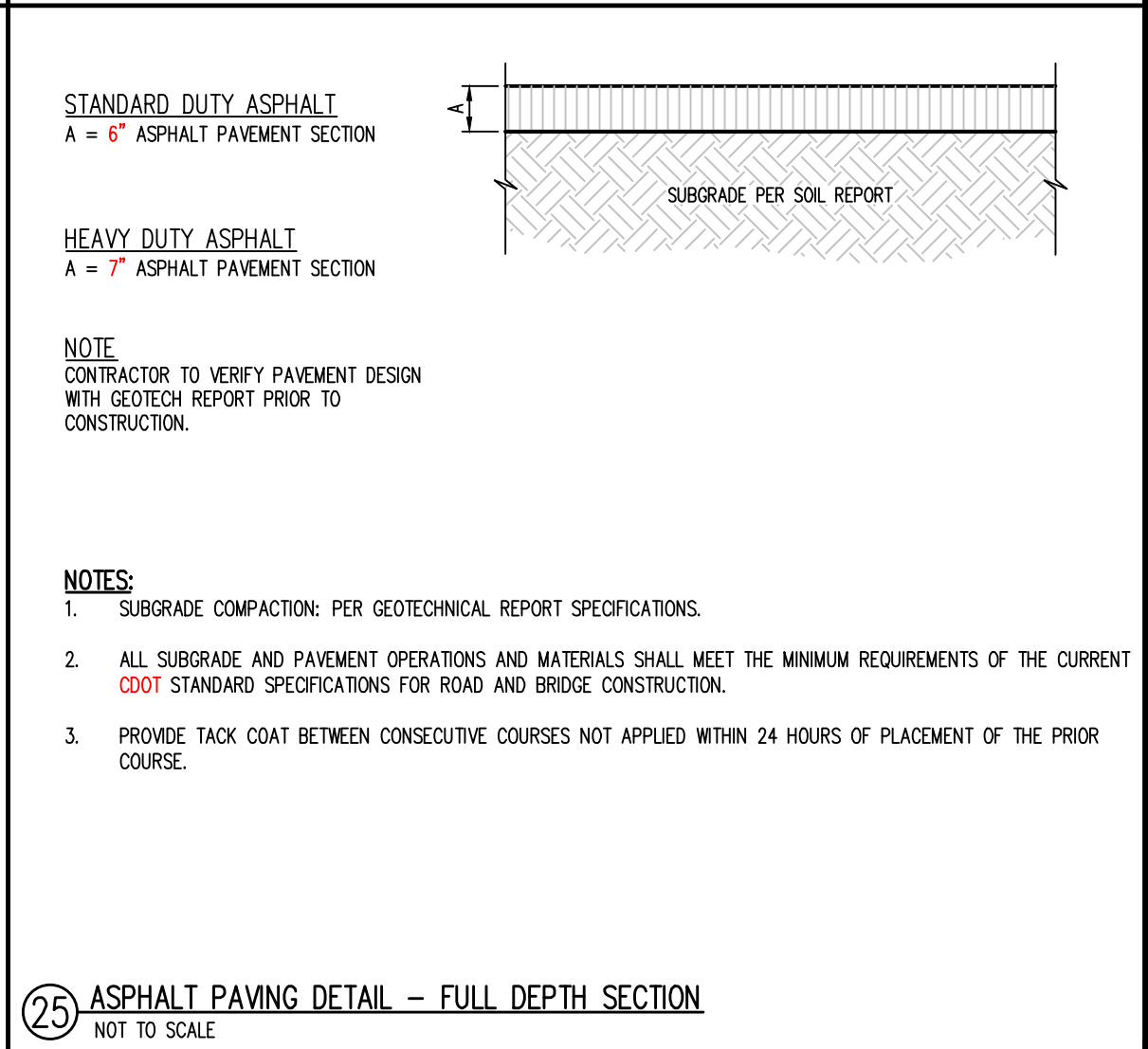
24 CONCRETE JOINT NOTES
NOT TO SCALE

NOTES:

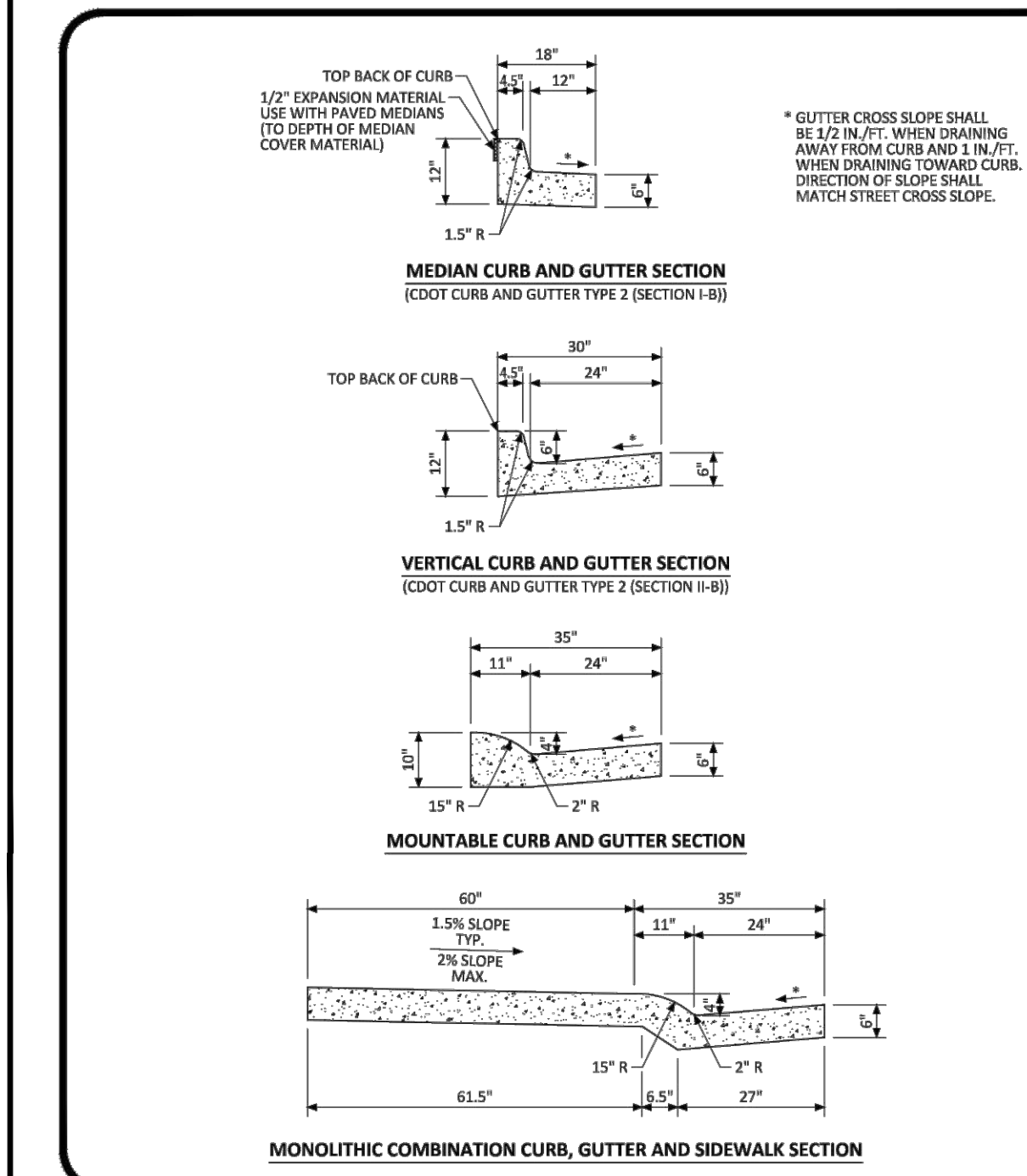
- CONCRETE PAVING MIX DESIGN SHALL HAVE MINIMUM 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. GEOTECHNICAL REPORT CONCRETE PAVING MIX DESIGN SHALL SUPERSEDE VALUES HEREIN.
- MAXIMUM JOINT SPACING SHALL BE PER JOINT LAYOUT PLAN (IF PROVIDED) BUT SHALL NOT EXCEED VALUES IN TABLE.
- MAXIMUM JOINT SPACING IN GEOTECHNICAL REPORT SHALL SUPERSEDE VALUES IN ABOVE TABLE.
- ALL JOINTS IN PAVING SHALL BE REFLECTED IN CURBING AND SHALL HAVE ALL THEIR RESPECTIVE JOINTING MATERIALS PRESENT (I.E. EXPANSION JOINTS SHALL HAVE THEIR RESPECTIVE FILLER BOARD AND CAULK REPLACED).
- CURB EXPANSION JOINTS: - IF THERE IS AN EXPANSION JOINT IN THE PAVING, THE EXPANSION JOINT MUST FOLLOW THROUGH THE CURB. A SAW CUT EXPANSION JOINT IS NOT ACCEPTABLE BECAUSE NORMAL EXPANSION AND CONTRACTION WILL CAUSED THE CONCRETE TO PUSH AGAINST THE TWO SECTIONS AND ONE SIDE WILL EVENTUALLY FAIL. IF AN EXPANSION JOINT IS LEFT OUT AND MUST BE SAW CUT IN, THE CURB SHOULD BE CUT TWICE AND A 3/4" PIECE OF CONCRETE IS REMOVED. IN ALL CASES THE JOINT SHOULD BE CAULKED WITH NP1.
- CONCRETE TOUCHING THE BACK OF CURBS: - ANY CONCRETE THAT TOUCHES THE BACK OF A CURB INCLUDING SIDEWALKS, ISLAND NOSINGS AND PARKPHONE PADS SHALL BE ISOLATED FROM THE CURB USING 1/2" BLACK ASPHALT IMPREGNATED FIBERBOARD. CONTRACTOR SHALL USE A REMOVABLE STRIP OR A ZIP-STRIP AND SEAL THE JOINT WITH SL1. THE ONLY EXCEPTION IS IF THE ISLAND NOSINGS ARE POURED MONOLITHICALLY WITH THE CURB AND PARKING LOT.
- CURBS AT THE BUILDING FOUNDATION: - IF A CURB TOUCHES THE BUILDING FOUNDATION, IT NEEDS TO BE ISOLATED WITH EXPANSION JOINT MATERIAL JUST LIKE THE PAVING. IF AN EXPANSION JOINT IS LEFT OUT AND MUST BE SAW CUT IN, A 1/2" PIECE OF CONCRETE SHOULD BE REMOVED. THE JOINT SHOULD BE CAULKED WITH NP1.
- EXPANSION JOINTS AT ISLAND NOSINGS: - IF THE ISLAND NOSINGS ARE POURED MONOLITHICALLY WITH THE CURB AND PARKING LOT, THEN PAVING EXPANSION JOINTS SHOULD CONTINUE THROUGH THE NOSINGS.



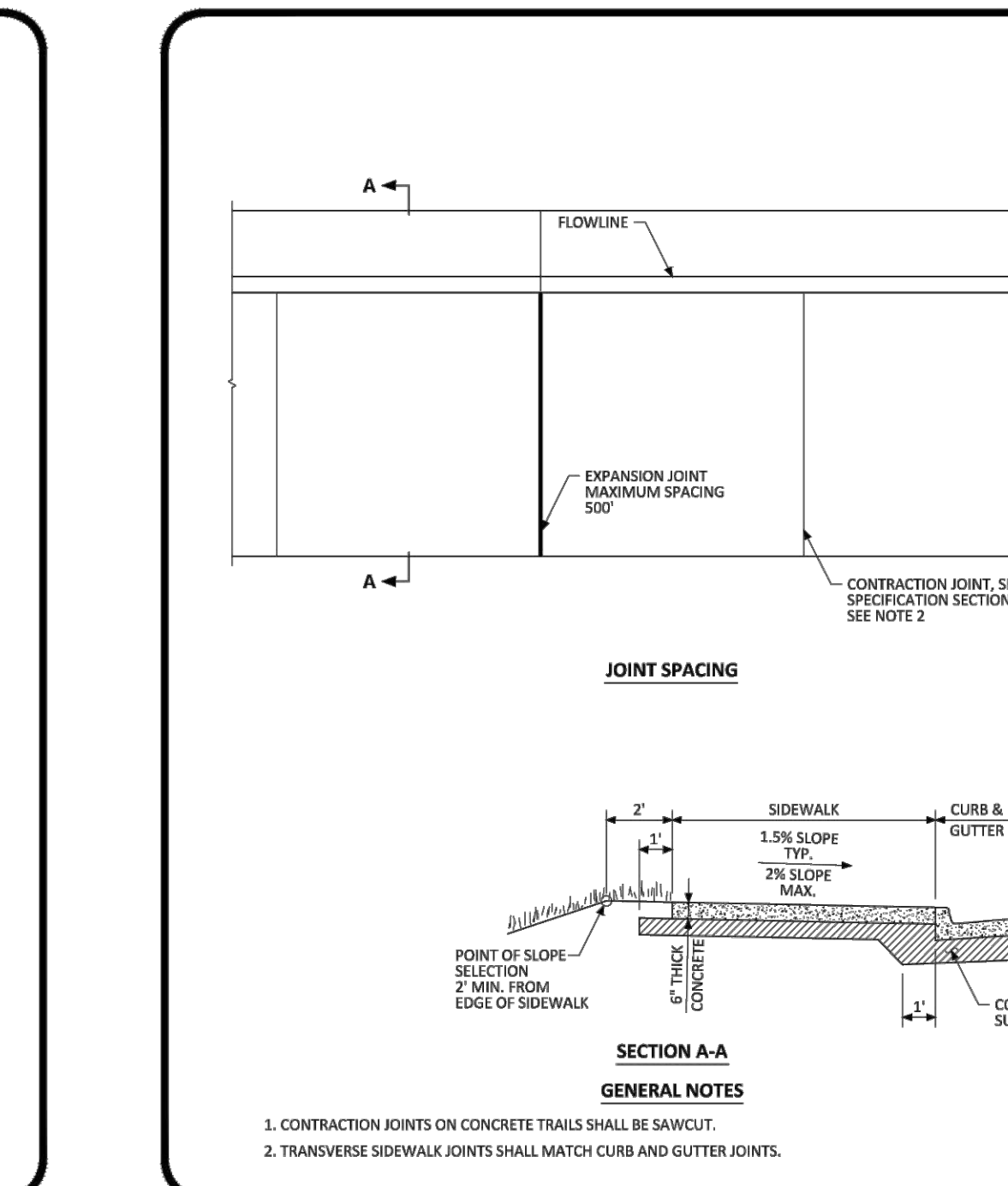
25 ASPHALT PAVING DETAIL - COMPOSITE SECTION
NOT TO SCALE



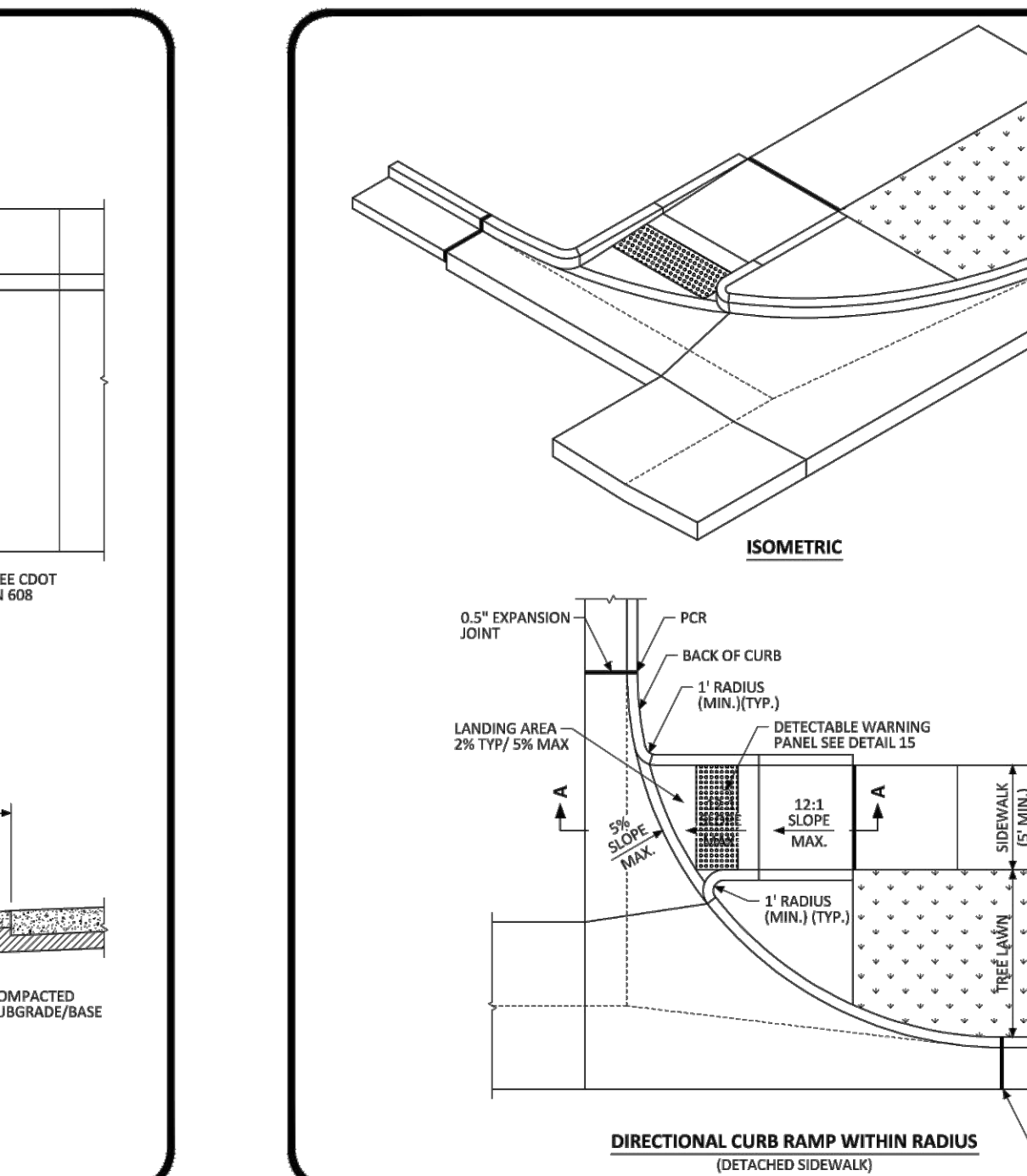
25 ASPHALT PAVING DETAIL - FULL DEPTH SECTION
NOT TO SCALE



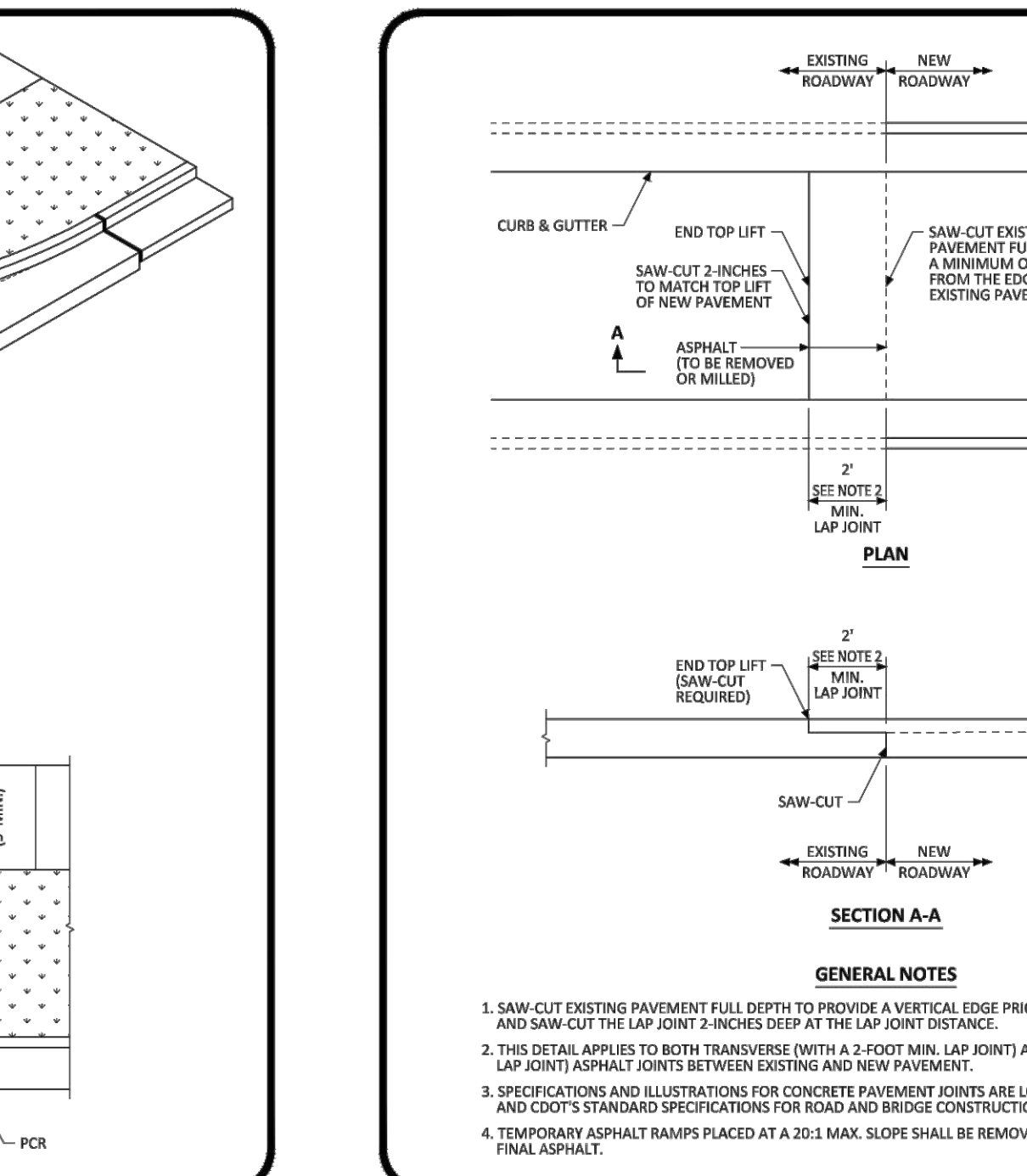
PARKER COLORADO CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 3 1 OF 1



PARKER COLORADO ATTACHED SIDEWALK STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 4 2 OF 2



PARKER COLORADO DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 18 2 OF 2



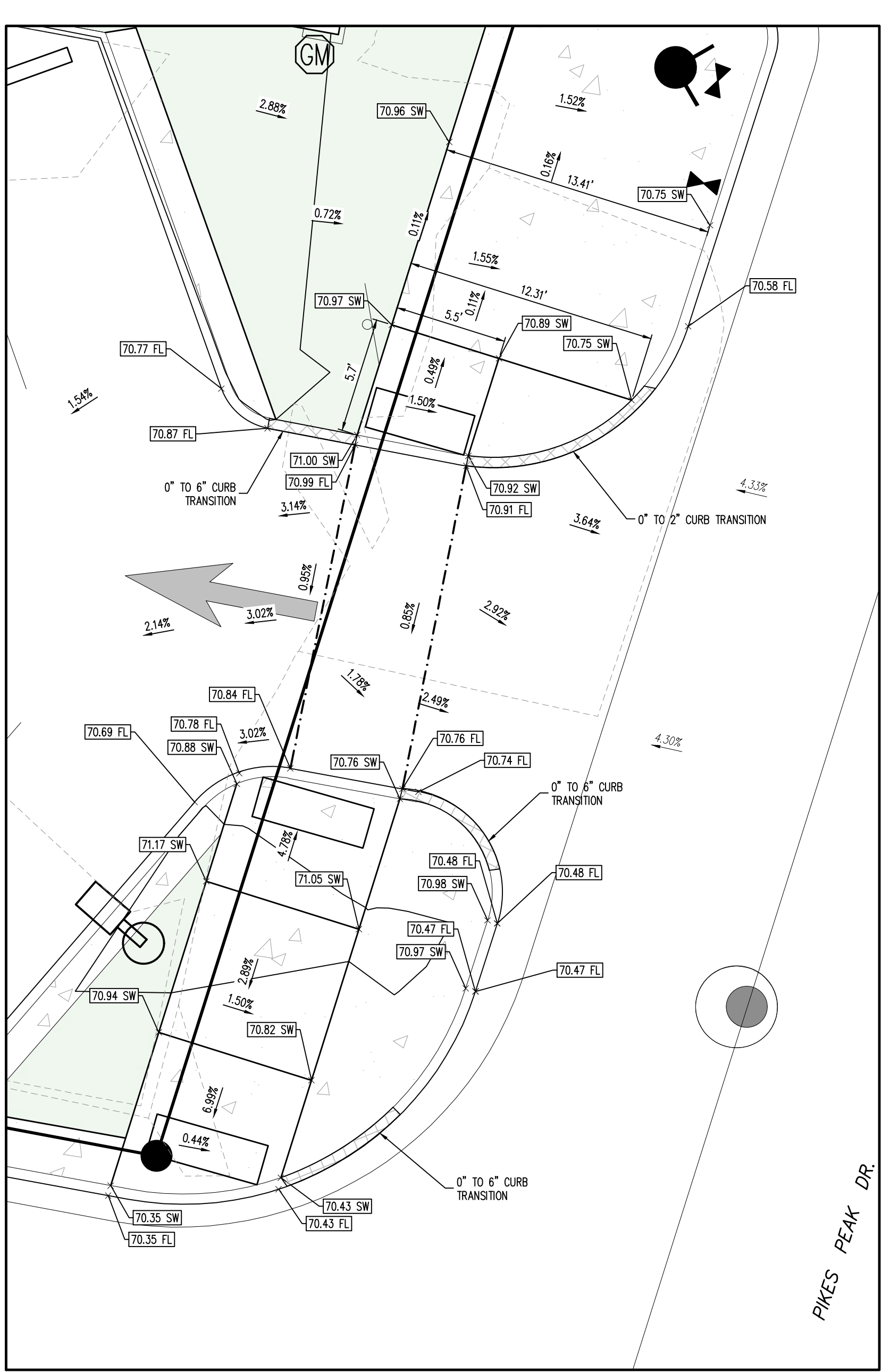
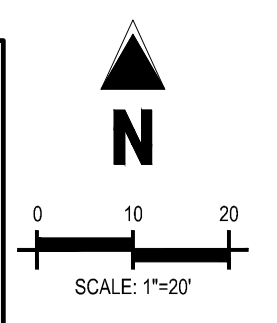
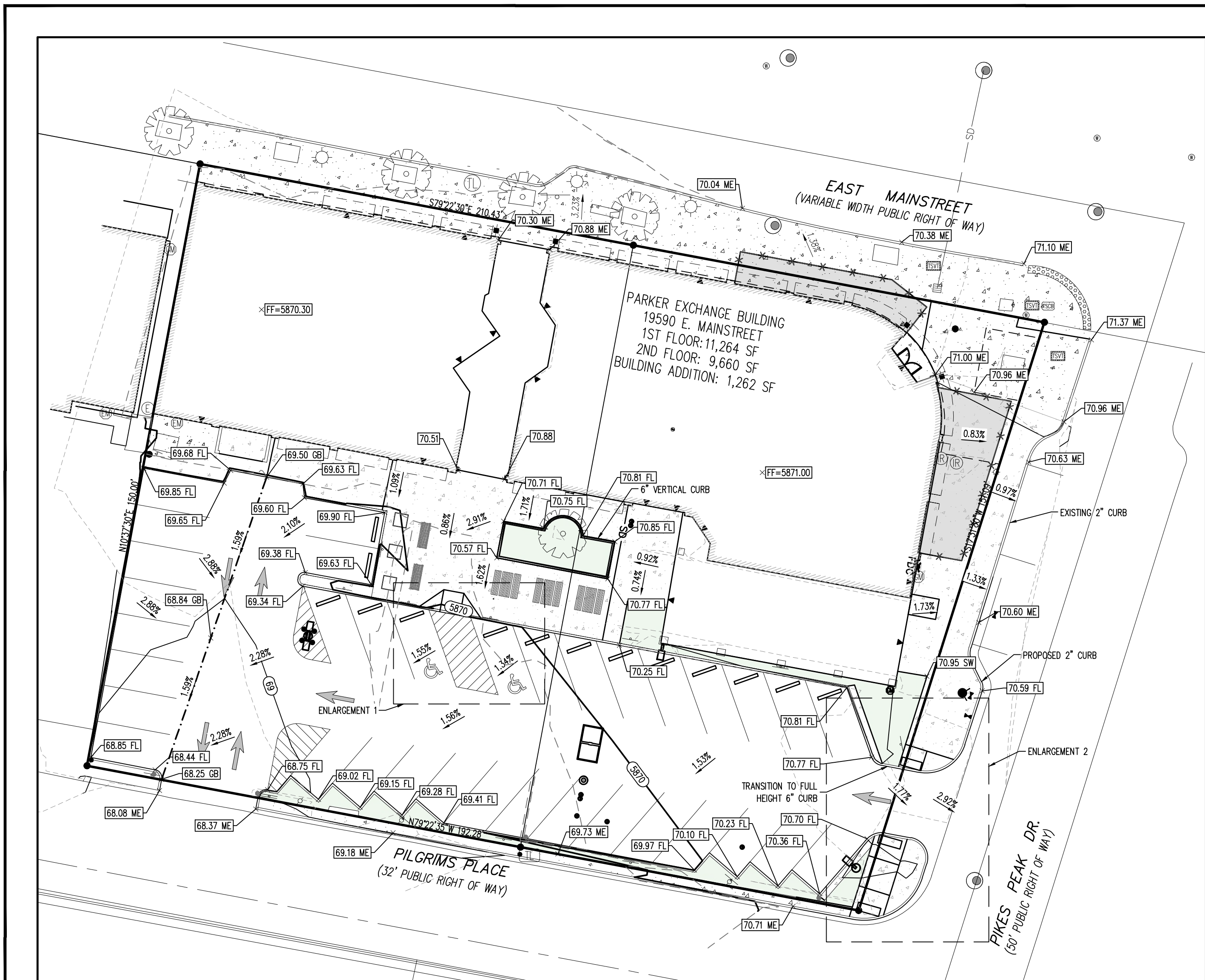
PARKER COLORADO ASPHALT CONNECTION BETWEEN EXISTING AND NEW PAVEMENT STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 26 1 OF 1

EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS
19590 MAINS TREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK

Project No: MGC00001
Drawn By: HCH
Checked By: TDK
Date: JUNE 2024

SITE DETAILS

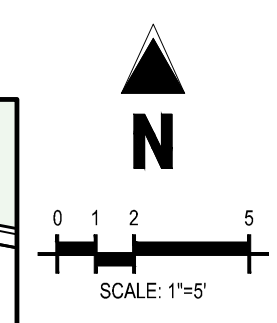
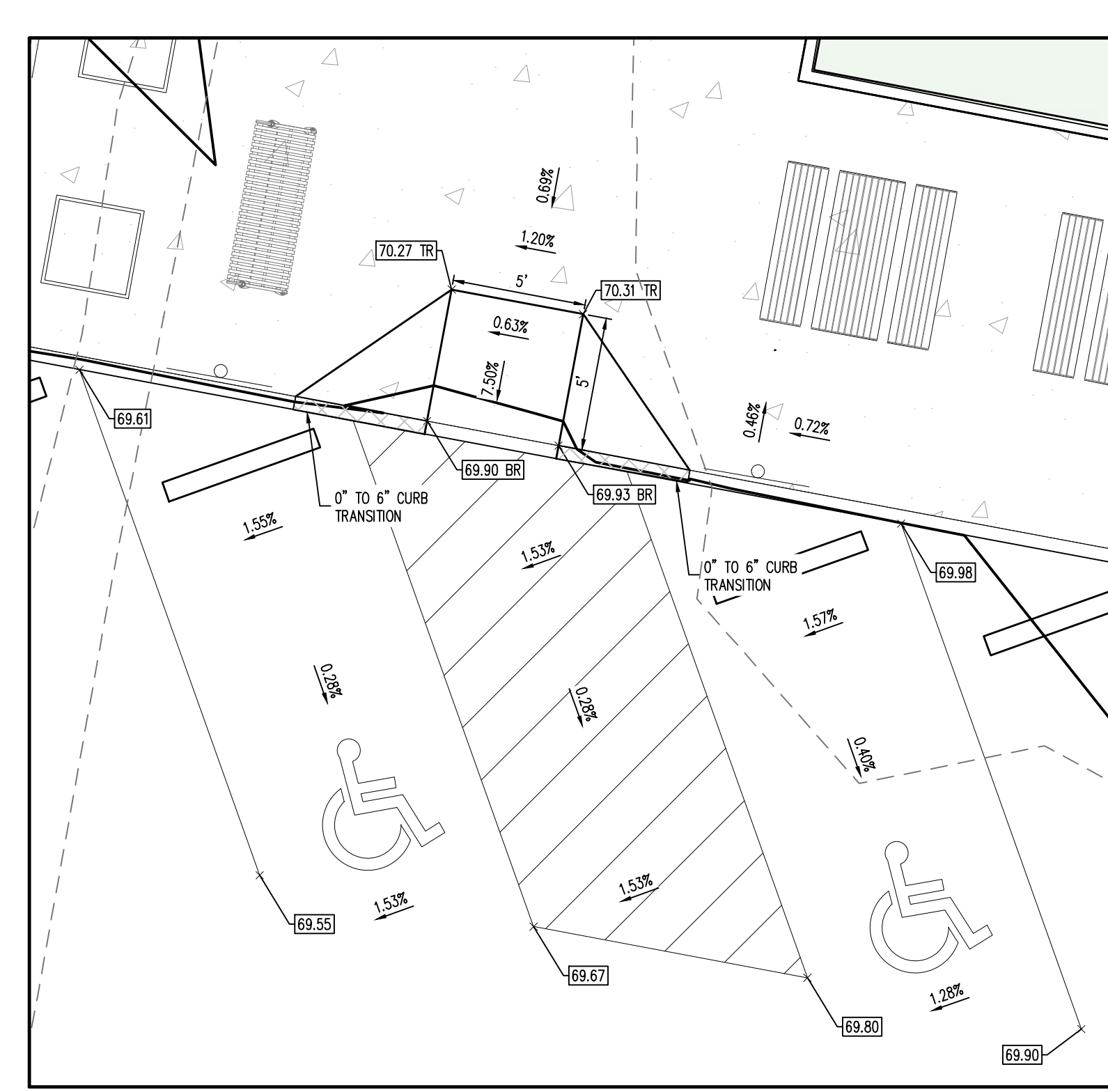


SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- SITE TRIANGLE
- PROPOSED SAWCUT LINE
- PROPOSED SWALE FLOWLINE
- EXISTING TO REMAIN
- PROPOSED NEW
- PROPOSED EDGE OF ASPHALT
- PROPOSED EDGE OF GRAVEL
- PROPOSED CURB AND GUTTER
- PROPOSED CATCH CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- EXISTING FENCE TO REMAIN
- PROPOSED FENCE
- LIMITS OF ARCHITECTURAL SCOPE
- ADA PATH OF TRAVEL
- PARKING COUNT
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED PIPE BOLLARD
- PROPOSED ADA PARKING SYMBOL
- PROPOSED WHEEL STOP
- PROPOSED DETECTABLE WARNING TRUNCATED DOMES
- EXISTING ELECTRICAL PULL BOX
- PROPOSED PAD MOUNTED TRANSFORMER
- EXISTING LIGHT POLE
- PROPOSED SITE LIGHTING
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING TREE

GRADING LEGEND

- 5460 EXISTING MAJOR CONTOUR
- 52 EXISTING MINOR CONTOUR
- 5465 PROPOSED MAJOR CONTOUR
- 66 PROPOSED MINOR CONTOUR
- SD EXISTING STORM SEWER (LESS THAN 12")
- SD EXISTING STORM SEWER (12" AND LARGER)
- SD PROPOSED STORM SEWER (LESS THAN 12")
- SD PROPOSED STORM SEWER (12" AND LARGER)
- PROPOSED GRADE BREAK
- 15.00 PROPOSED SPOT ELEVATION
- TC PROPOSED TOP OF CURB ELEVATION
- FL PROPOSED FLOWLINE ELEVATION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- SW TOP OF SIDEWALK
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- BR BOTTOM OF RAMP
- TR TOP OF RAMP



SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PARKER EXCHANGE BUILDING PARKING LOT RECONSTRUCTION

GEOTECHNICAL ENGINEER: KUMAR & ASSOCIATES, INC.

PROJECT NO: 24-11-257 DATE: APRIL 18, 2024

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

GRADING NOTES

- ADD 5800 TO ALL SPOT GRADE ELEVATIONS.
- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO BID.
- NO WORK IS TO BEGUN UNTIL ALL PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL STATE AND LOCAL STORMWATER DISCHARGE AND EROSION CONTROL PERMITS ON SITE PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- THIS DESIGN IS BASED ON A SOIL AND FOUNDATION INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTOR.
- ALL LANDSCAPING AREAS SHALL BE GRADED WITHIN 0.10' OF DESIGN WITH APPROVED TOP SOIL TO A MINIMUM DEPTH AS SPECIFIED BY THE LANDSCAPE ARCHITECT AND CITY SPECIFICATIONS.
- ALL SPOT GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ON-SITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR INFORMATION.
- GENERAL CONTRACTOR SHALL PROVIDE BARRICADE PROTECTION AS REQUIRED BY THE CITY AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- THE PROPOSED STORM SEWER SYSTEM ON-SITE IS PRIVATELY OWNED AND MAINTAINED.
- EXCAVATION AND EMBANKMENT SHALL MEET SECTION 203 OF CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR REQUIREMENTS OTHERWISE SET FORTH IN THE APPROVED SOILS REPORT.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- TOP OF GRADE (TOG) AND FLOWLINE (FL) SPOT GRADES AT INLETS DO NOT INCLUDE GUTTER DEPRESSION.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

BENCHMARK INFORMATION

THE BENCHMARK USED FOR THIS SURVEY IS DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042. A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINE OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W. ELEVATION=5889.09

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____

Galloway
5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

PROFESSIONAL ENGINEER
40733
1/30/2025

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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

1950 MAINSTREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK



Know what's below.
Call before you dig.

Project No: MGC00001
Drawn By: HCH
Checked By: TDK
Date: JUNE 2024

GRADING PLAN

C1.6
7 OF 18



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

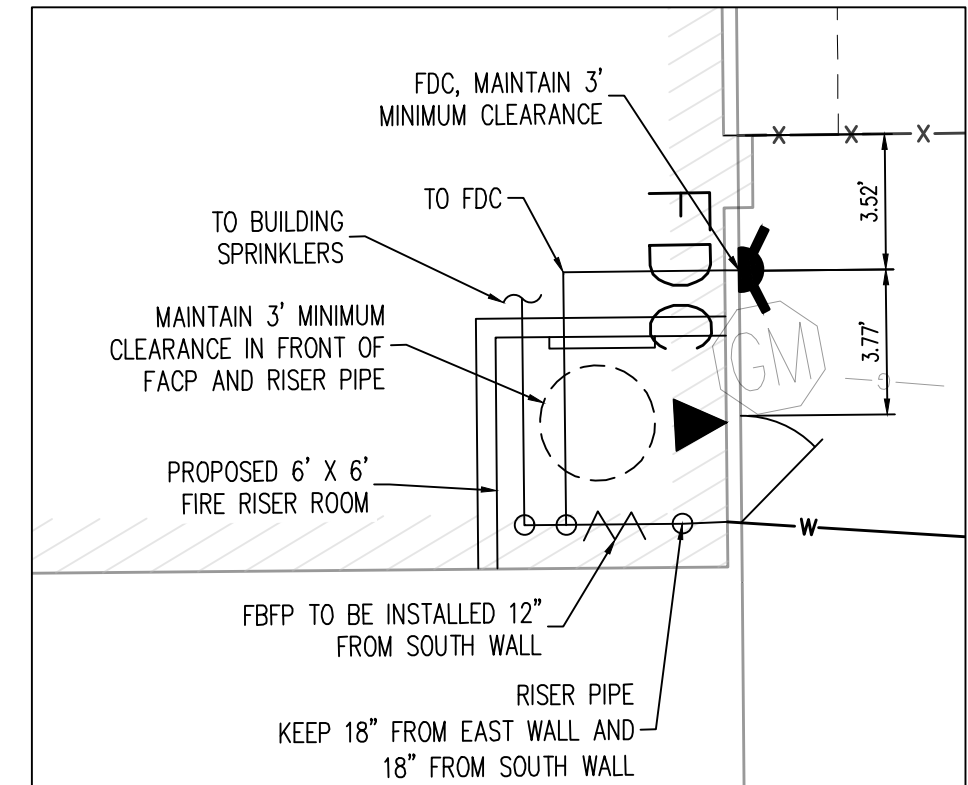
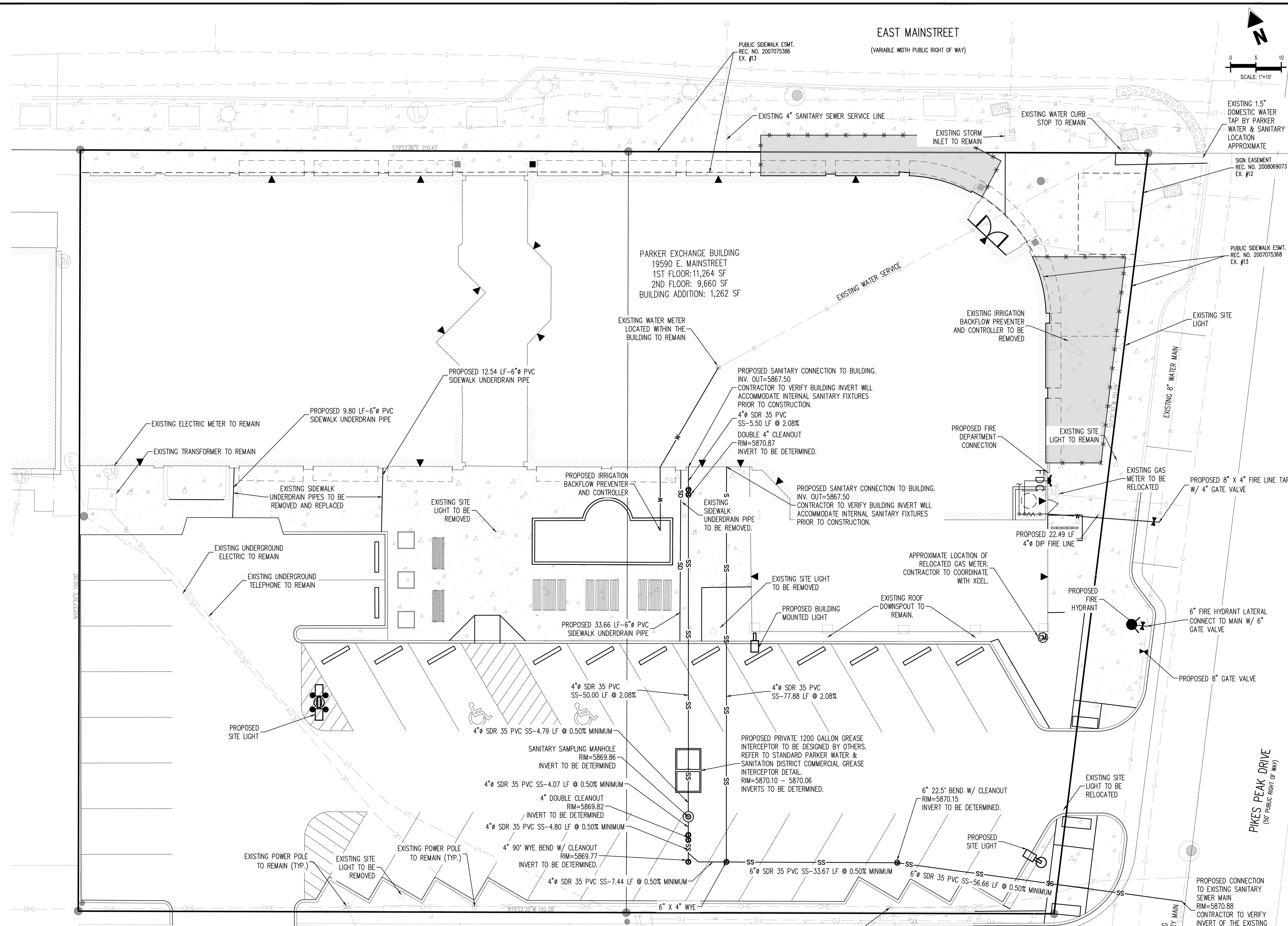
19590 MAIN STREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK

Project No:	MGC00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

OVERALL UTILITY PLAN

C1.7
8 OF 10



FIRE RISER ROOM SCHEMATIC LAYOUT
SCALE: 1" = 5'

NOTE
FIRE RISER ROOM LAYOUT TO BE FINALIZED WITH INTERIOR REMODEL. PROJECT LOCATIONS OF EQUIPMENT ARE APPROXIMATE. REQUIRED CLEARANCES SHALL BE MAINTAINED.

NOTE:
1. ANY PROPOSED UTILITY CONNECTION WITHIN AN EXISTING ROADWAY WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN REQUIRES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK.

FIRE CODE REVIEW BLOCK

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative _____ Date _____

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

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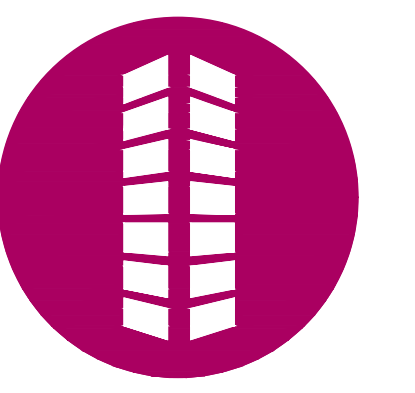
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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____

SITE LEGEND		UTILITY LEGEND	
	PROPERTY BOUNDARY LINE		EXISTING WATER LINE
	ADJACENT PROPERTY BOUNDARY LINE		PROPOSED WATER LINE
	EXISTING EASEMENT LINE		EXISTING SANITARY SEWER
	PROPOSED EASEMENT LINE		PROPOSED SANITARY SEWER
	SETBACK LINE		EXISTING STORM SEWER
	SITE TRIANGLE		PROPOSED STORM SEWER (LESS THAN 12")
	PROPOSED SAWCUT LINE		EXISTING UNDERGROUND ELECTRICAL
	PROPOSED CURB AND GUTTER		EXISTING UNDERGROUND TELEPHONE
	EXISTING CURB AND GUTTER		EXISTING FIBER OPTIC LINE
	EXISTING SIGN		EXISTING GAS LINE
	PROPOSED SIGN		EXISTING OVERHEAD ELECTRICAL
	PROPOSED PIPE BOLLARD		EXISTING STREET LIGHT
	PROPOSED ADA PARKING SYMBOL		EXISTING PAD MOUNTED TRANSFORMER
	PROPOSED WHEEL STOP		EXISTING STORM INLET
	PROPOSED DETECTABLE WARNING TRUNCATED DOMES		EXISTING WATER VALVE
	EXISTING TREE		PROPOSED WATER VALVE
	BUILDING ENTRANCE		PROPOSED FIRE HYDRANT
			EXISTING TRAFFIC VAULT
			EXISTING TELEPHONE PEDESTAL
			EXISTING TELEPHONE VAULT
			EXISTING STORM SEWER MANHOLE
			EXISTING SANITARY SEWER MANHOLE
			EXISTING SANITARY SEWER CLEANOUT
			PROPOSED SANITARY SEWER CLEANOUT



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EXCHANGE LOT 1
 CIVIL CONSTRUCTION DRAWINGS

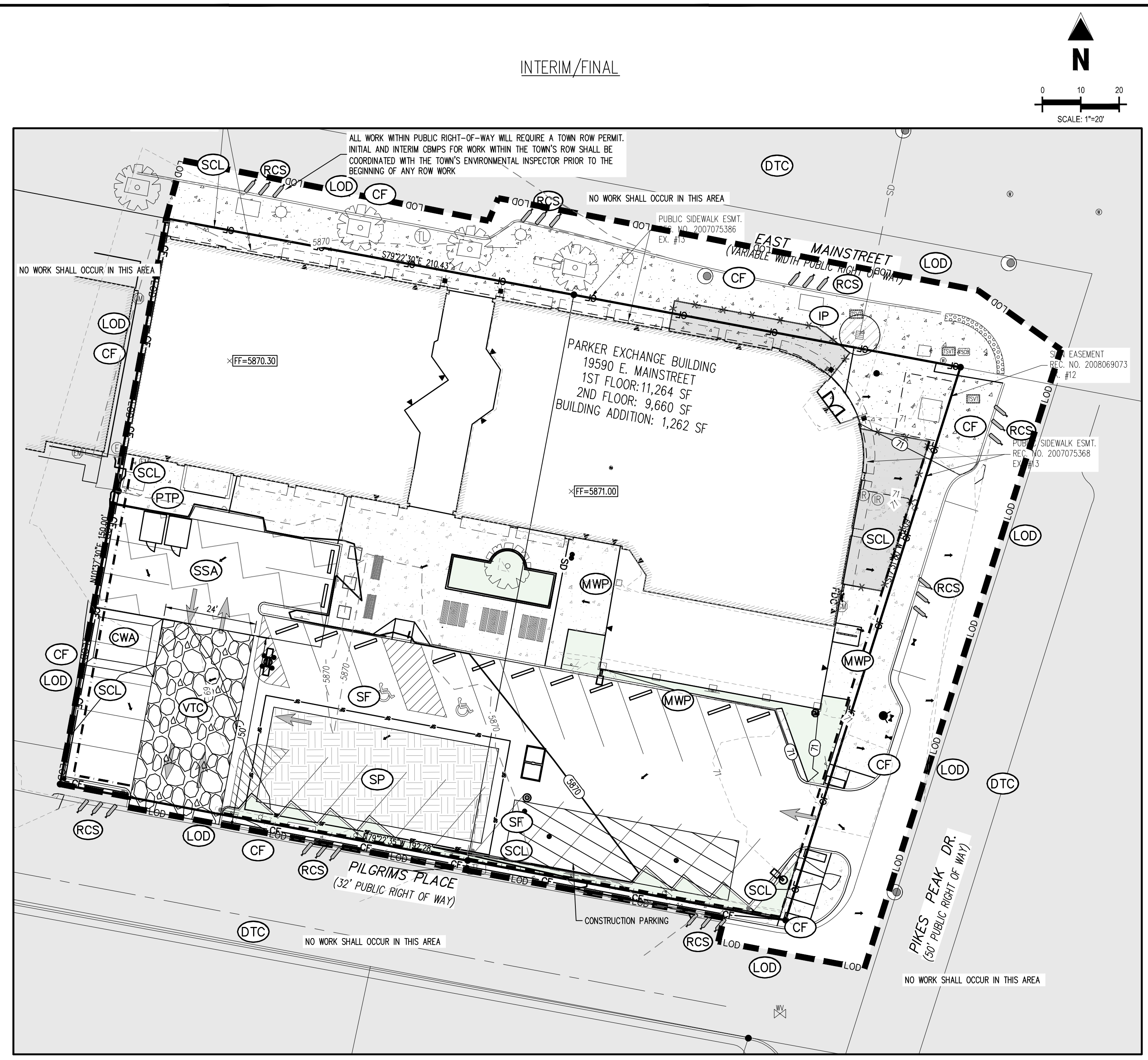
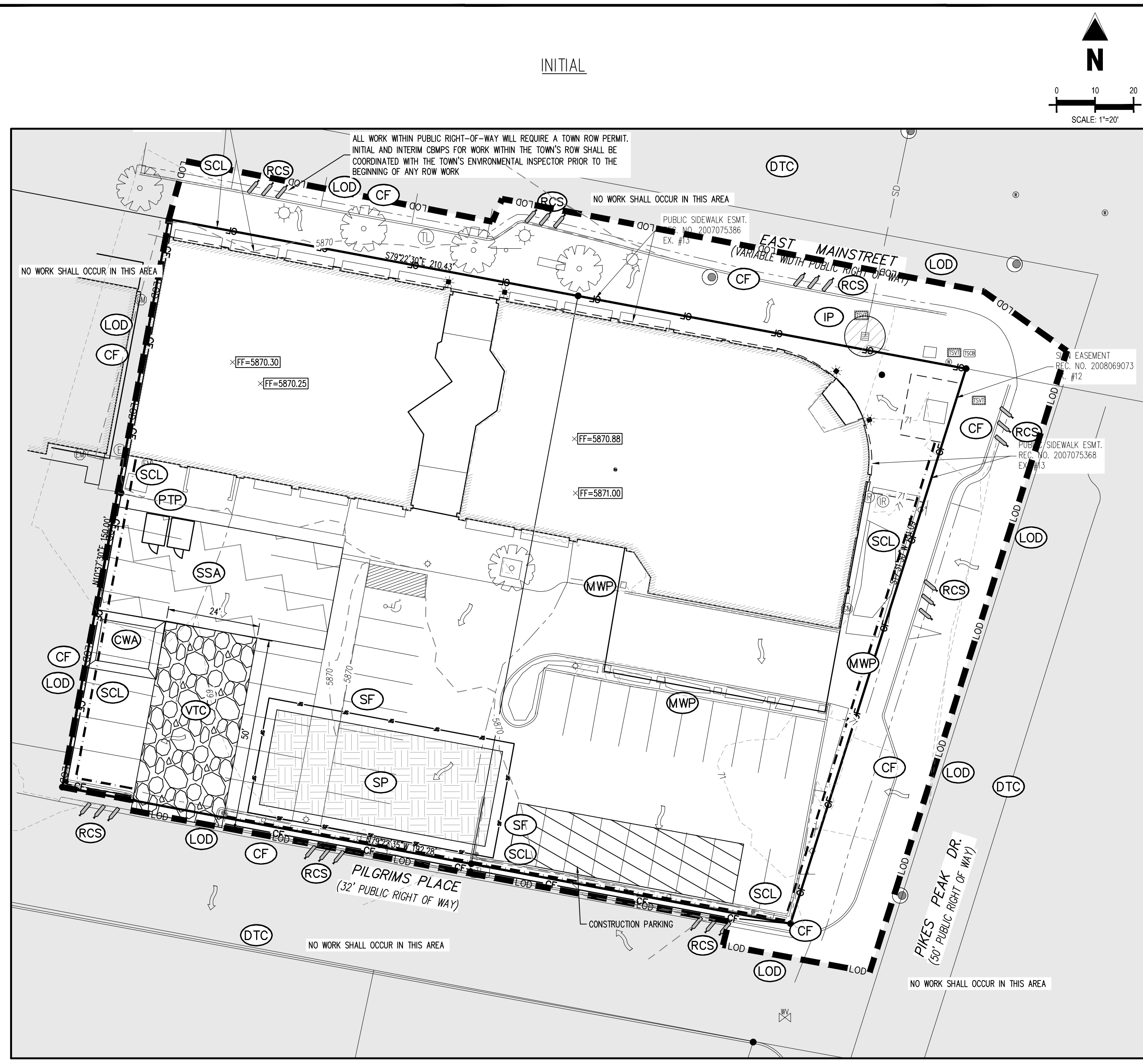
19590 MAIN STREET
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Project No:	MGC00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

EROSION CONTROL PLAN

C1.8
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EROSION CONTROL LEGEND

---	5460	EXISTING MAJOR CONTOUR
---	52	EXISTING MINOR CONTOUR
---	5465	PROPOSED MAJOR CONTOUR
---	60	PROPOSED MINOR CONTOUR
---	SD	EXISTING STORM SEWER (LESS THAN 12")
---	SD	EXISTING STORM SEWER (12" AND LARGER)
---	SD	PROPOSED STORM SEWER (LESS THAN 12")
---	SD	PROPOSED STORM SEWER (12" AND LARGER)
---		PROPOSED RIDGE LINE
---		EXISTING FLOW ARROW
---		FLOW ARROW
---	LOD	LIMITS OF DISTURBANCE
---	SCL	SEDIMENT CONTROL LOG
---	VTC	VEHICLE TRACKING CONTROL
---	CWA	CONCRETE WASHOUT AREA
---	SSA	STABILIZED STAGING AREA
---	IPS	SUMP INLET PROTECTION (P-3)
---	RS	ROCK SOCKS
---	SC	PROPOSED SAWCUT LINE
---	SF	SILT FENCE
---	CF	CONSTRUCTION FENCE
---	PT	PORTABLE TOILET
---	SP	SITE POSTING (CONTACTS AND PERMITS)
---	WP	WASHOUT POSTING

SITE LEGEND

---		PROPERTY BOUNDARY LINE
---		ADJACENT PROPERTY BOUNDARY LINE
---		EXISTING EASEMENT LINE
---		SITE TRIANGLE
---		PROPOSED SAWCUT LINE
---		PROPOSED CURB AND GUTTER
---		EXISTING CURB AND GUTTER
---		PROPOSED SIDEWALK
---		ADA PATH OF TRAVEL
---		PARKING COUNT
---		EXISTING SIGN
---		PROPOSED SIGN
---		PROPOSED PIPE BOLLARD
---		PROPOSED ADA PARKING SYMBOL
---		PROPOSED WHEEL STOP
---		PROPOSED DETECTABLE WARNING TRUNCATED DOMES
---		EXISTING TREE
---		BUILDING ENTRANCE

NOTE:
 THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

NOTES:

- THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
- THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION MAY BE DETERMINED BY THE TOWN AND THE ECS.
- MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
- LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
- ANY ON-SITE BULK FUEL STORAGE REQUIRES A FIRE LINE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.

VEHICLE TRACKING CONTROL (VTC) NOTICE

THE CONSTRUCTION EXIT AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE EXIT WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL-WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

STABILIZED STAGING AREA (SSA) NOTICE

THE STAGING AND STORAGE AREA AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE STAGING AREA WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL CONTROL MEASURES AROUND THE STAGING AREA TO PREVENT POLLUTANTS FROM FLOWING TO OTHER SITE AREAS. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED ON ANY EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. ANY WATER USED IN THE STABILIZED STAGING AREA SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

BMP MAINTENANCE NOTE:
 ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP, SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS

DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY INTO PORTABLE, IMPERMEABLE BASINS SUCH AS AN ECO-PAN. ALTERNATIVELY, WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIP RAP OR OTHER USEFUL CONCRETE PRODUCTS. THE CURED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. THIS JOBSITE SUPERINTENDENT IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES ARE FOLLOWED. THE LOCATION OF CONCRETE WASHOUT AREAS SHALL BE SHOWN ON THE SITE MAPS. FOLLOW ALL APPLICABLE ENVIRONMENTAL REGULATIONS FOR CONCRETE WASH OUT AREAS.

CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY STABILIZING ALL ON- AND OFF-SITE AREAS DISTURBED DURING CONSTRUCTION, WHETHER THESE AREAS ARE SHOWN ON THE PLAN OR NOT, INCLUDING MAINTENANCE OF ALL CONTROL MEASURES UNTIL A NOTICE OF INACTIVATION HAS ACCEPTED BY THE STATE.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS

DATE

BASIS OF BEARINGS

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CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLES OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



APPENDIX C
CBMP STANDARD DETAILS

Table listing erosion control methods with symbols and descriptions: CD CHECK DAM, CF CONSTRUCTION FENCE, CP CULVERT PROTECTION, CWA CONCRETE WASHOUT AREA, D DEWATERING, DD DIVERSION DITCH, DP DETENTION POND PROTECTION, DTC DEBRIS TRASH CONTROL, ECB EROSION CONTROL BLANKET, IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT, IPAP INLET PROTECTION FOR AREA INLETS IN PAVEMENT, IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET, IPCOS INLET PROTECTION, CURB ON SUMP, TYPE R INLET

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, LEGEND 1 OF 3 06/1/2013

Table listing erosion control methods with symbols and descriptions: LP LOT PROTECTION, MWP MASONRY WORK PROTECTION, PTP PORTABLE TOILET PROTECTION, RCSC ROUGH CUT STREET CONTROL, RS ROCK SOCK, RSS ROCK SOCK IN SWALE, SB STRAW BALE, SCL SEDIMENT CONTROL LOGS, SF SILT FENCE, SMC SEEDING, MULCHING AND CRIMPING, SR SURFACE ROUGHING, SSA STABILIZED STAGING AREA, STP SIDEWALK TRANSITION PROTECTION

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, LEGEND 2 OF 3 06/1/2013

Table listing erosion control methods with symbols and descriptions: TI TEMPORARY IRRIGATION, TSB TEMPORARY SEDIMENT BASIN, VTC VEHICLE TRACKING CONTROL

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, LEGEND 3 OF 3 06/1/2013

- 1. GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
2. THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
3. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
4. THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
5. THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
6. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (S&S, CONSTRUCTION SITE RINSE CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
7. THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
8. IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW FLOWING AND SNOW REMOVAL.
9. AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
10. AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
(i) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
(ii) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
(iii) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, GEN NOTES 1 OF 4 06/1/2013

- 11. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
12. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
13. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRUCKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
14. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
15. ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
16. ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
17. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCHARGED ON A DAILY BASIS.
18. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
19. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ADHERE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
20. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
21. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
22. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKETS. TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
23. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
24. A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

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- 25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULCHES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 110) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
27. VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
30. APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
31. GRADING SECURITY RELEASE REQUIREMENTS:
(i) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
C. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
D. IF ANY EROSION IS PRESENT, IT IS INEFFECTIVE AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.0.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

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- 2) NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
B. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
C. EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
D. THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARE OR OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
E. WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.0.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
J. ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
(D) NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
DEFINITIONS:
DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: FARMS, OPEN SPACE, HOMEOWNERS ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.0 OF THE TOWN OF PARKER MUNICIPAL CODE.
33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.0 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS
19500 MAINS STREET
PARKER, CO

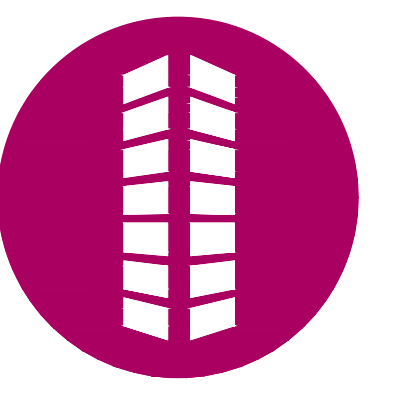
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0 06/14/2024 ISSUED FOR CONSTRUCTION TDK
1 01/30/2025 SITE PLAN REVISION TDK

Project No: MCO0001
Drawn By: HCH
Checked By: TDK
Date: JUNE 2024

EROSION CONTROL DETAILS



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK

Project No:	MCC00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

EROSION CONTROL DETAILS

PLAN VIEW

SECTION A

CHECK DAM

CD

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SECTION B

SECTION C

SPACING BETWEEN CHECK DAMS

CHECK DAM

CD

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CONSTRUCTION BEST MANAGEMENT PRACTICES

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CHECK DAM INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
- CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
- RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
- RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
- THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

CHECK DAM INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

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CONSTRUCTION BEST MANAGEMENT PRACTICES

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STUDDED STEEL TEE POST OR APPROVED EQUAL

ORANGE PLASTIC CONSTRUCTION FENCE OR APPROVED EQUAL

EXISTING GRADE

CONSTRUCTION FENCE

CF

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

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CONSTRUCTION FENCE INSTALLATION NOTES

- THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
- CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

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PLAN

ISOMETRIC

CULVERT PROTECTION (INLET)

CP

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

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CULVERT PROTECTION (INLET) INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
- ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
- AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
- CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

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PLAN VIEW

SECTION A

CONCRETE WASHOUT AREA

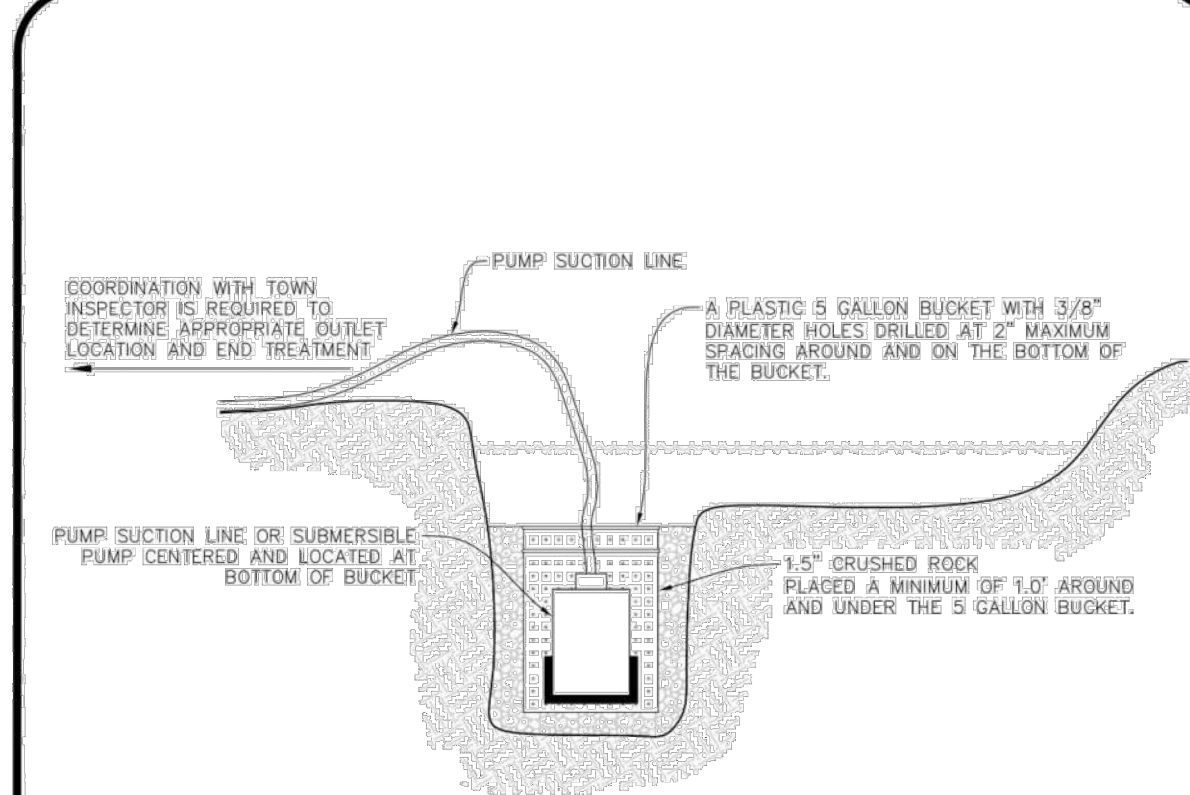
CWA

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CONSTRUCTION BEST MANAGEMENT PRACTICES

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- CONCRETE WASHOUT AREA INSTALLATION NOTES**
- CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 - A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
 - IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.
- CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
 - CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
 - CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
 - CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMO).

CBMP | **CWA**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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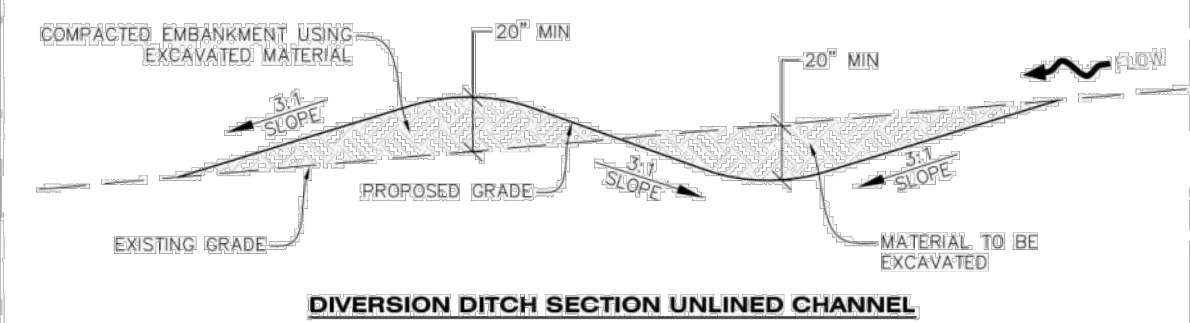
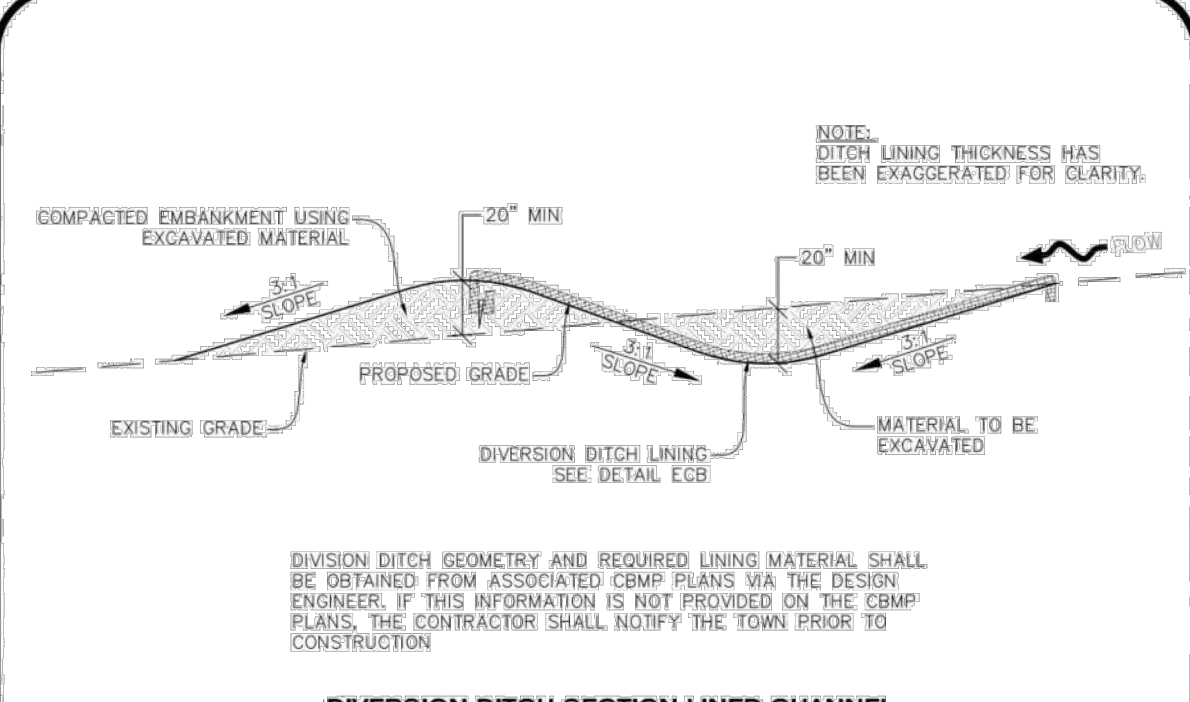


NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE APPROPRIATE MEASURES TO PROTECT PUMPING EQUIPMENT AND MINIMIZE SEDIMENT. USE OF A PLASTIC 5 GALLON BUCKET IS SUGGESTED BUT NOT REQUIRED. THE CONTRACTOR SHALL NOT HOLD THE TOWN LIABLE FOR DAMAGE TO PUMPING EQUIPMENT REGARDLESS OF METHODS USED.

DEWATERING
CBMP | **D**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
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- DEWATERING INSTALLATION NOTES**
- IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).
- DEWATERING MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

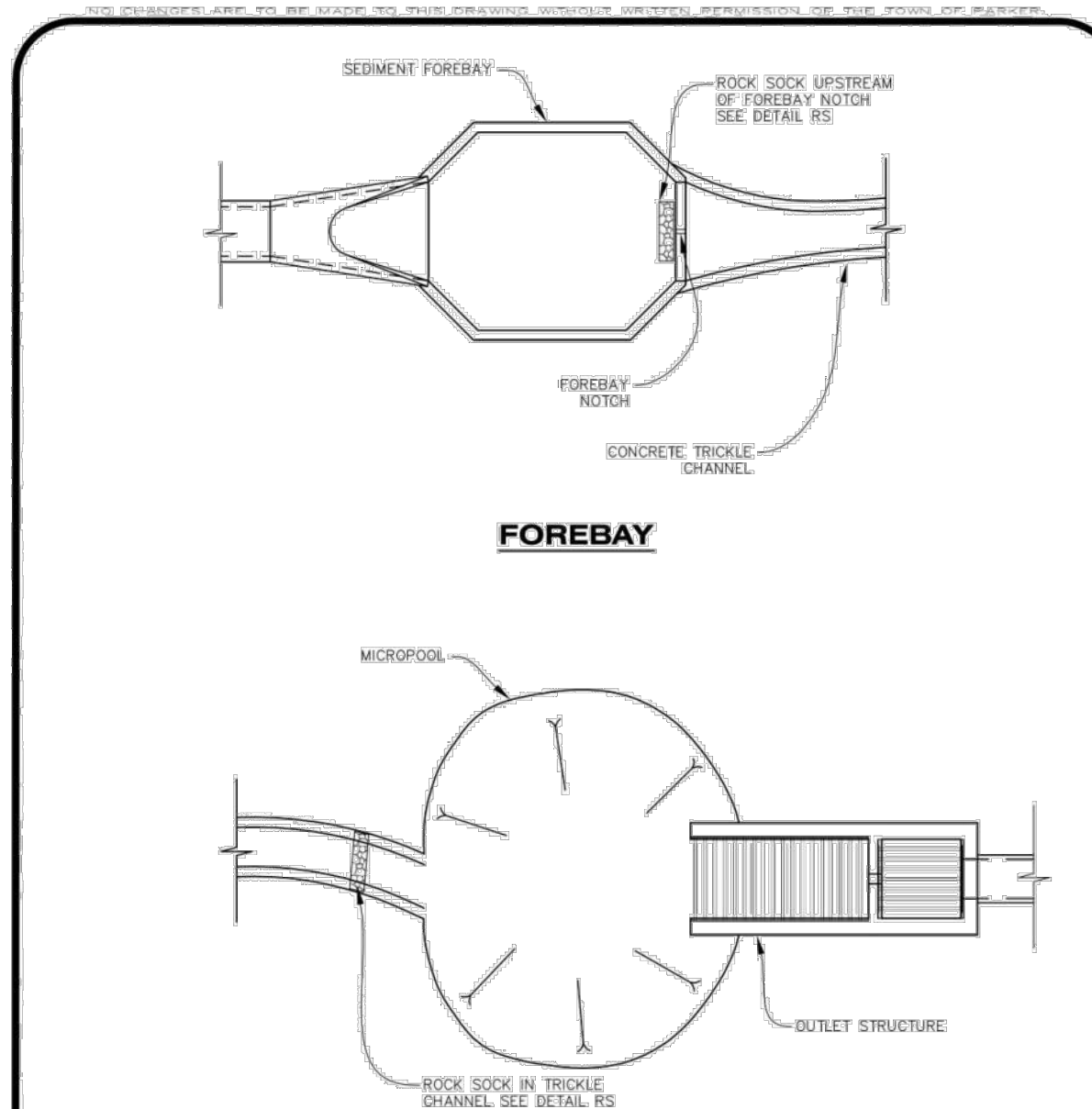
CBMP | **D**
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DEWATERING
CBMP | **DD**
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- DIVERSION DITCH INSTALLATION NOTES**
- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
 - A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
 - ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
 - THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
 - THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.
- DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
 - DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
 - DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

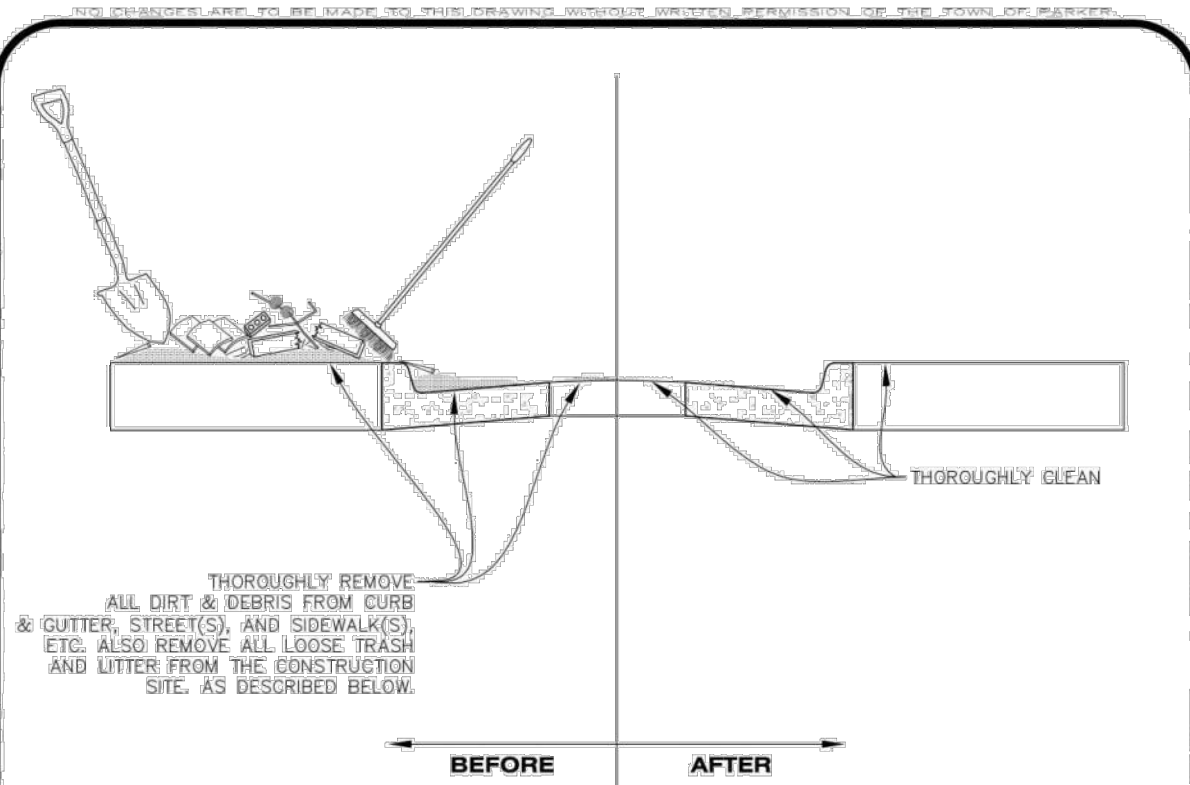
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DETENTION POND PROTECTION
CBMP | **DP**
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- DETENTION POND PROTECTION INSTALLATION NOTES**
- DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
 - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
 - ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).
- DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
 - OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
 04/11/2013



- NOTE:**
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY. FURTHERMORE, ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

CBMP | **DTC**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 04/11/2013



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EXCHANGE LOT 1
 CIVIL CONSTRUCTION DRAWINGS
 19590 MAIN STREET
 PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
1	01/30/2025	SITE PLAN REVISION	TDK

Project No: MCG0001
 Drawn By: HCH
 Checked By: TDK
 Date: JUNE 2024

EROSION CONTROL DETAILS



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET
PARKER, CO

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1	01/30/2025	SITE PLAN REVISION	TDK

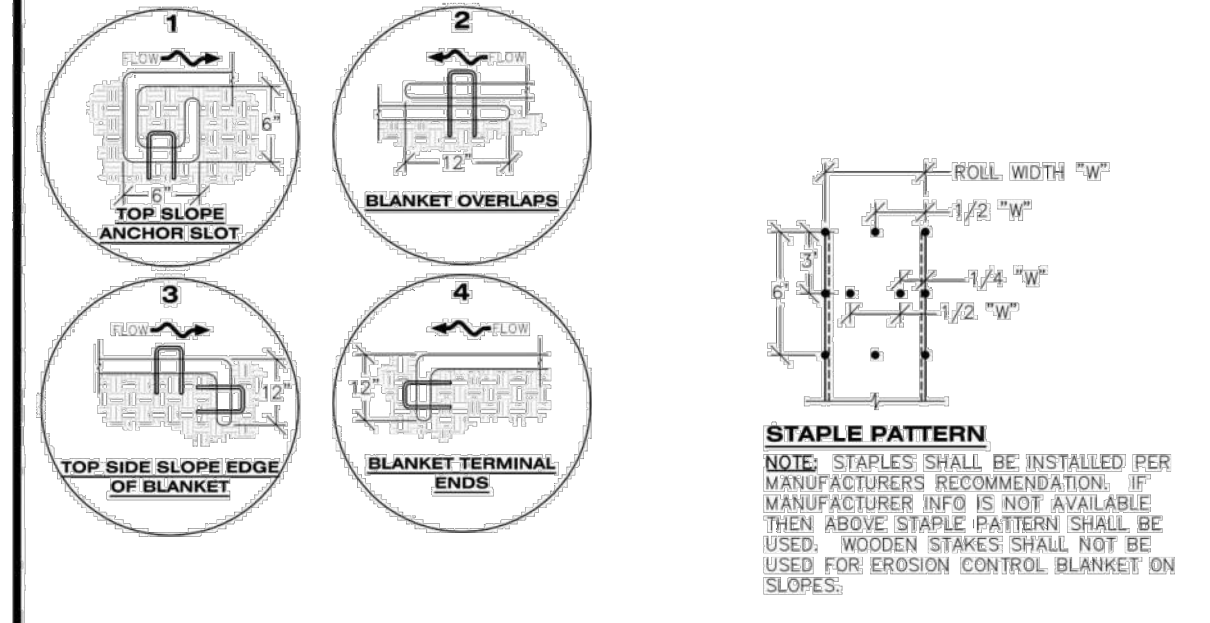
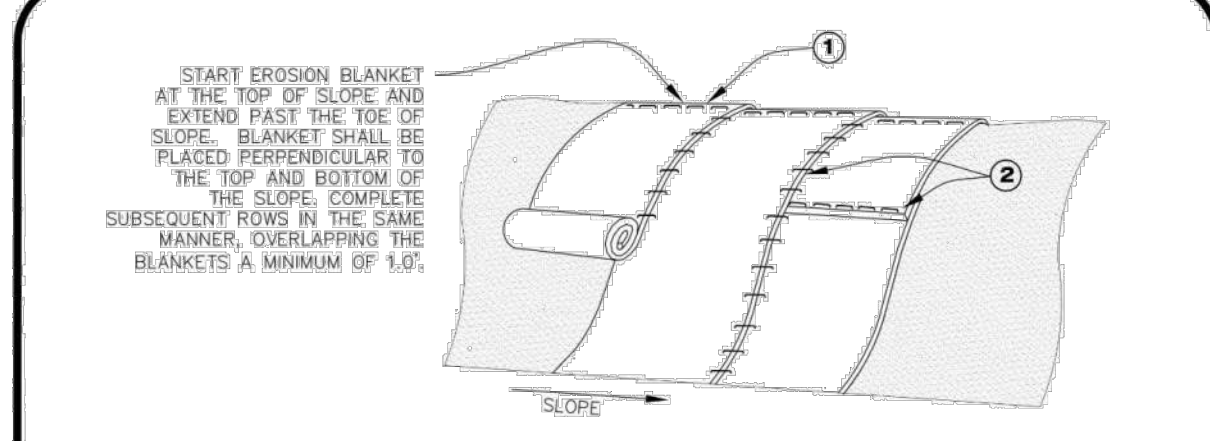
Project No:	MGC00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

EROSION CONTROL DETAILS

DEBRIS CONTROL NOTES:

1. A COMBINATION OF SURFACE SCRAPPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
2. ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
3. ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

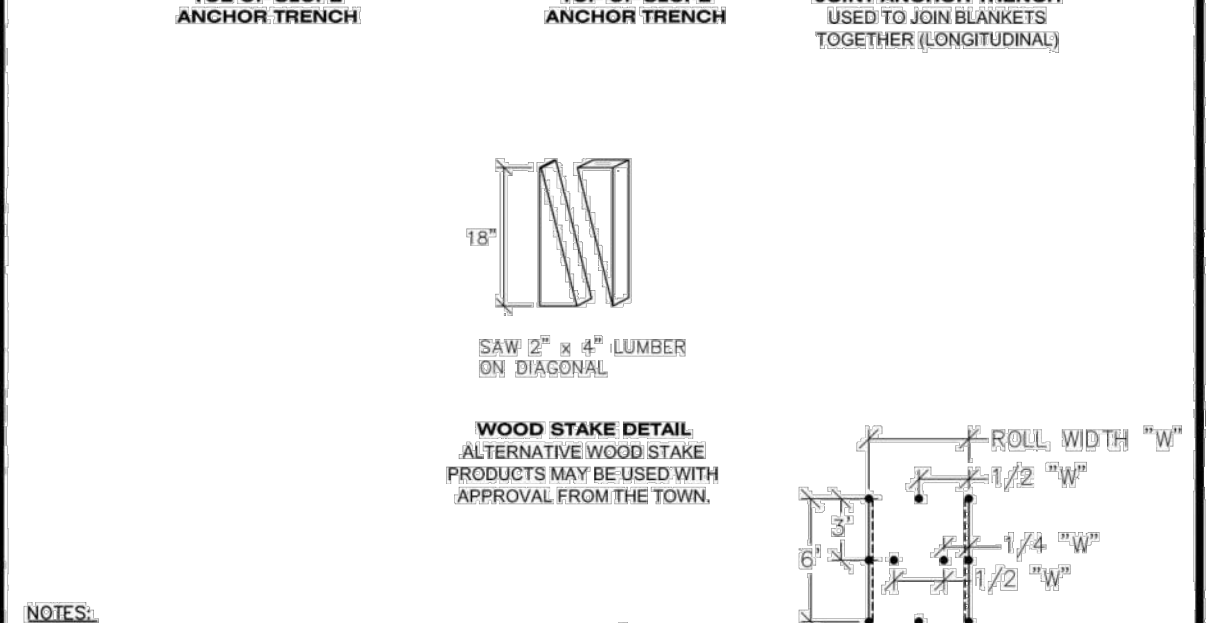
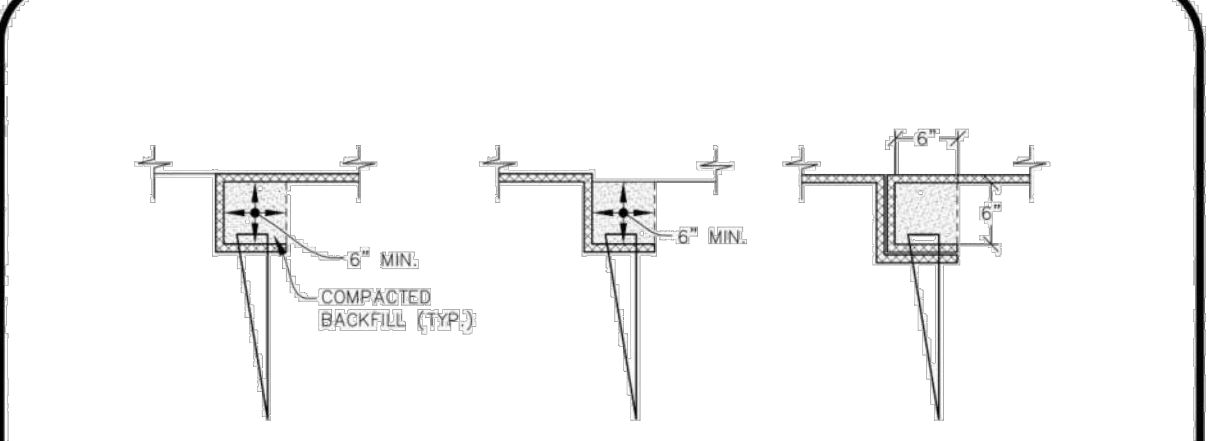
Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **DTC** 2 OF 2 06/14/2024



NOTE: WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMG FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

ECB EROSION CONTROL BLANKET (SLOPE)

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **ECB** 1 OF 3 06/14/2024



NOTE: WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1" IS EXPOSED ABOVE THE GROUND. WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMG FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

ECB EROSION CONTROL BLANKET (CHANNEL)

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **ECB** 2 OF 3 06/14/2024

EROSION CONTROL BLANKET INSTALLATION NOTES

1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
3. IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH, AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
4. EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
5. ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.

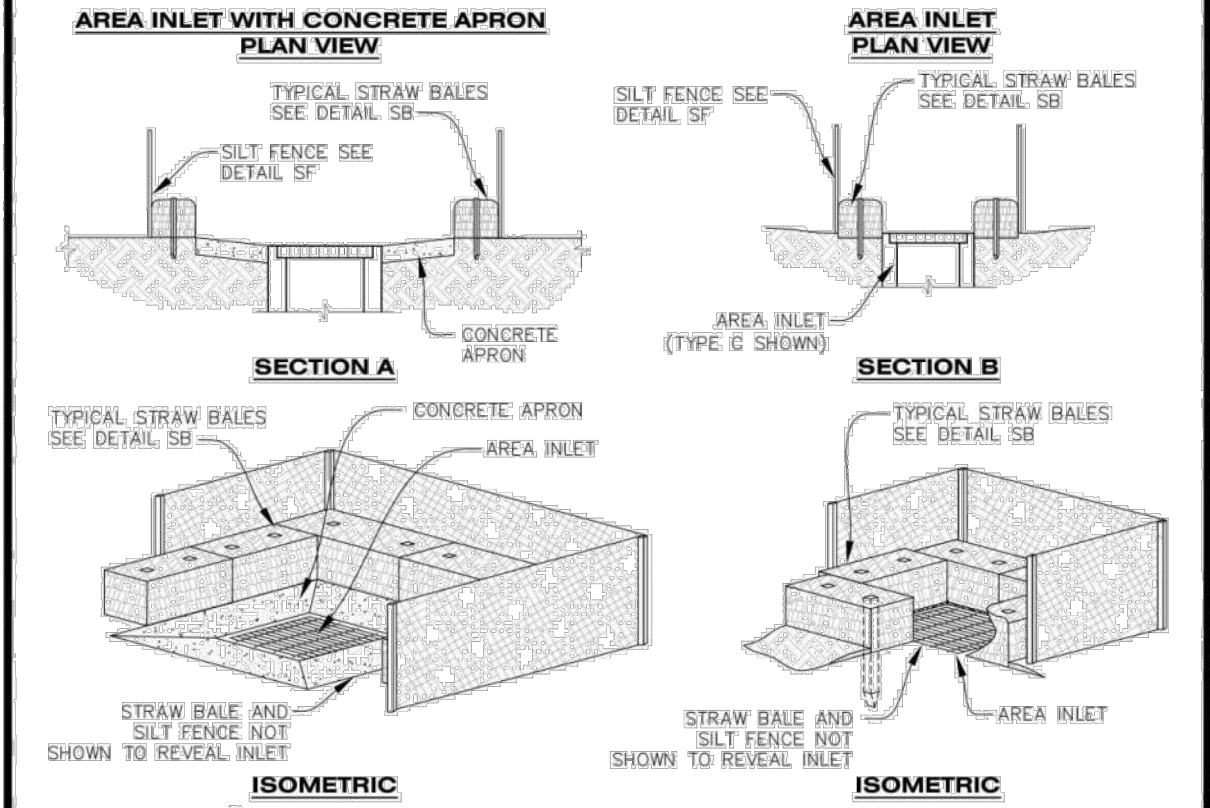
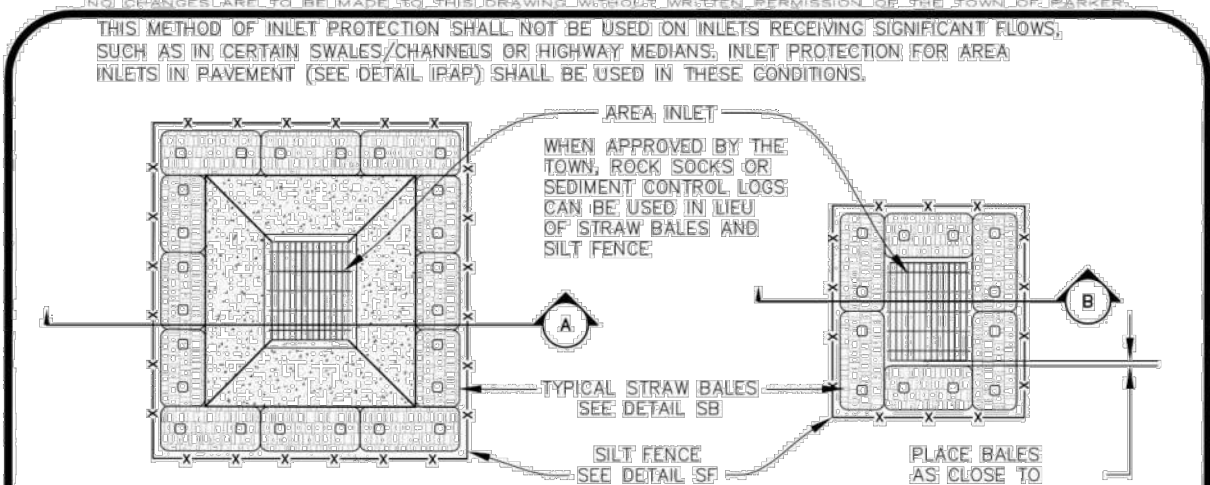
MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN	S150
APPROVED EQUAL	APPROVED EQUAL

7. IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **ECB** 3 OF 3 06/14/2024



IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPAN** 1 OF 1 06/14/2024

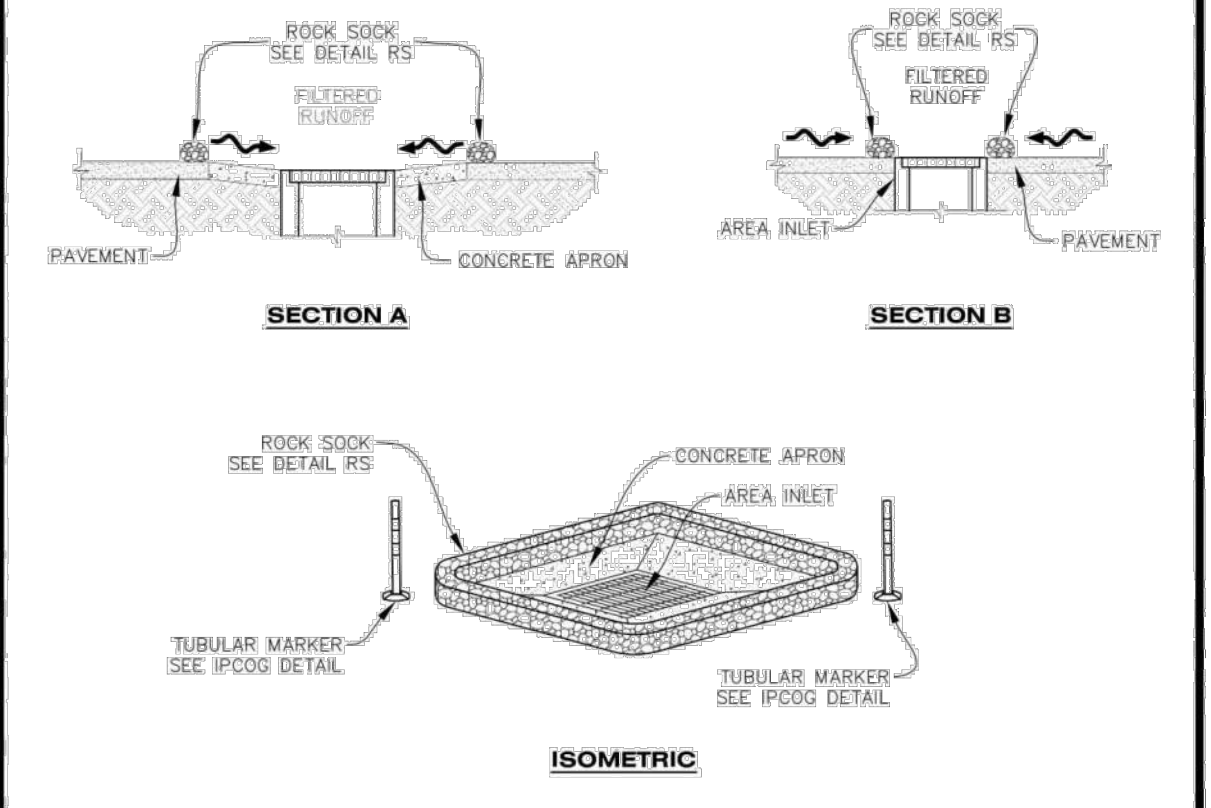
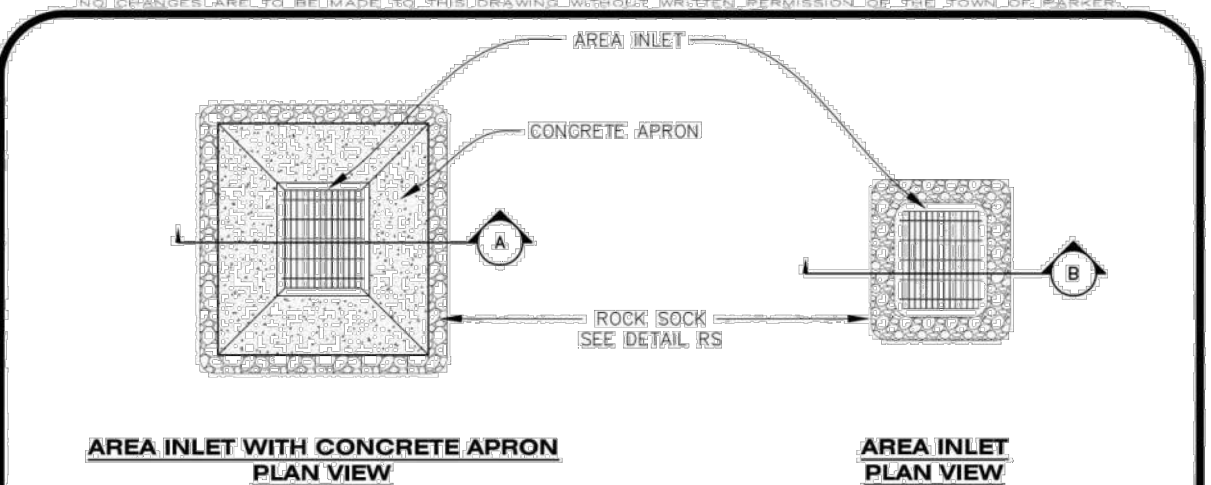
AREA INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

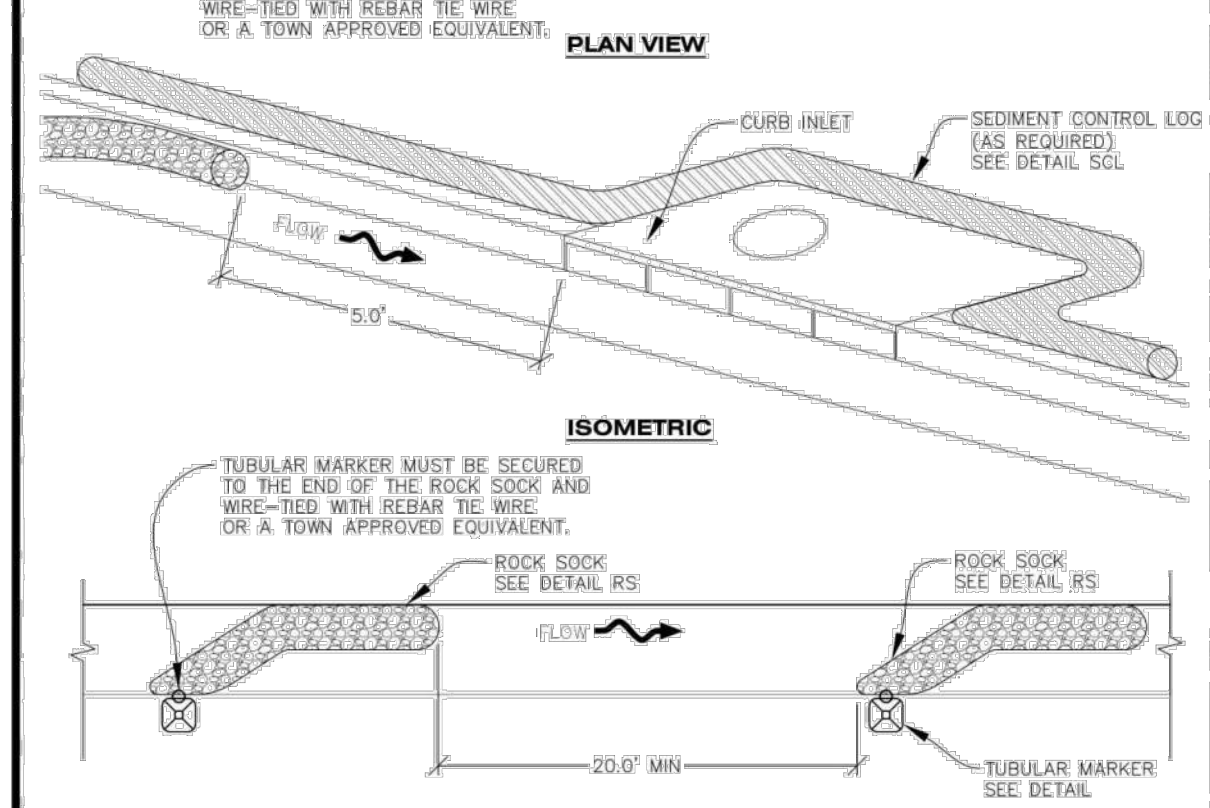
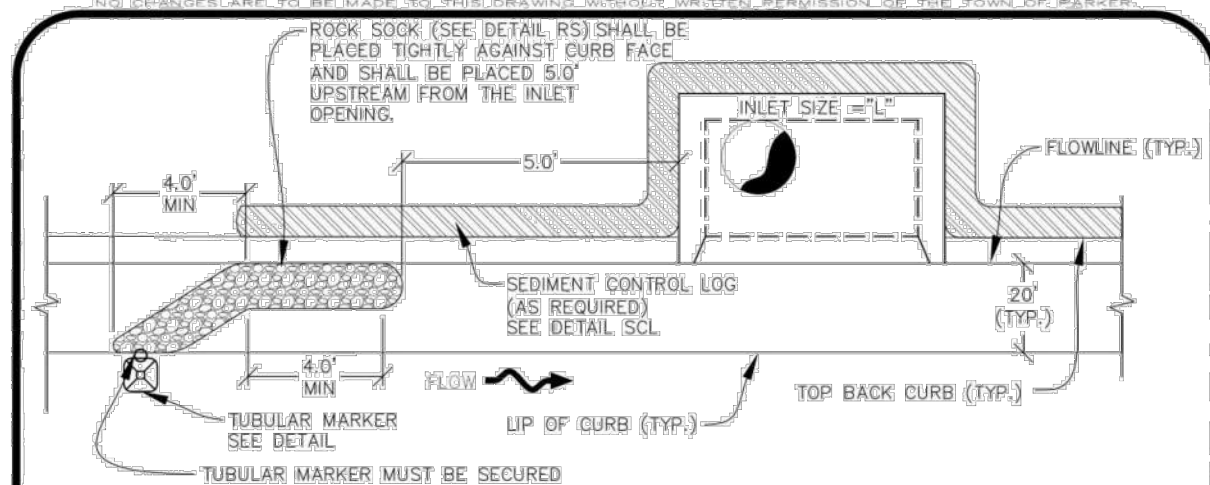
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMG).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPA** 1 OF 1 06/14/2024



IPAP INLET PROTECTION FOR AREA INLETS IN PAVEMENT

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPAP** 1 OF 1 06/14/2024



IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPCOG** 1 OF 3 06/14/2024



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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET
PARKER, CO

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Project No:	MCC00001
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EROSION CONTROL DETAILS

TUBULAR TRAFFIC MARKER DETAIL

CBMP | **IPCOG**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
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INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

CBMP | **IPCOG**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
OVI, 2013

INLET PROTECTION, CURB ON SUMP, TYPE R INLET

CBMP | **IPCOG**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
OVI, 2013

CURB INLET PROTECTION INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCKS SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

CBMP | **IPCOG**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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LOT PROTECTION

CBMP | **LP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
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EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES

- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN	S150_BN
APPROVED EQUAL	APPROVED EQUAL
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
 - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
 - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADE EDGES BEING PLACED ON TOP OF THE DOWN-GRADE EDGE OF THE ADJACENT BLANKET.
 - THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
 - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
- ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.
- THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
- EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

CBMP | **LP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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MASONRY WORK PROTECTION

CBMP | **MWP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
OVI, 2013

MASONRY WORK PROTECTION INSTALLATION NOTES

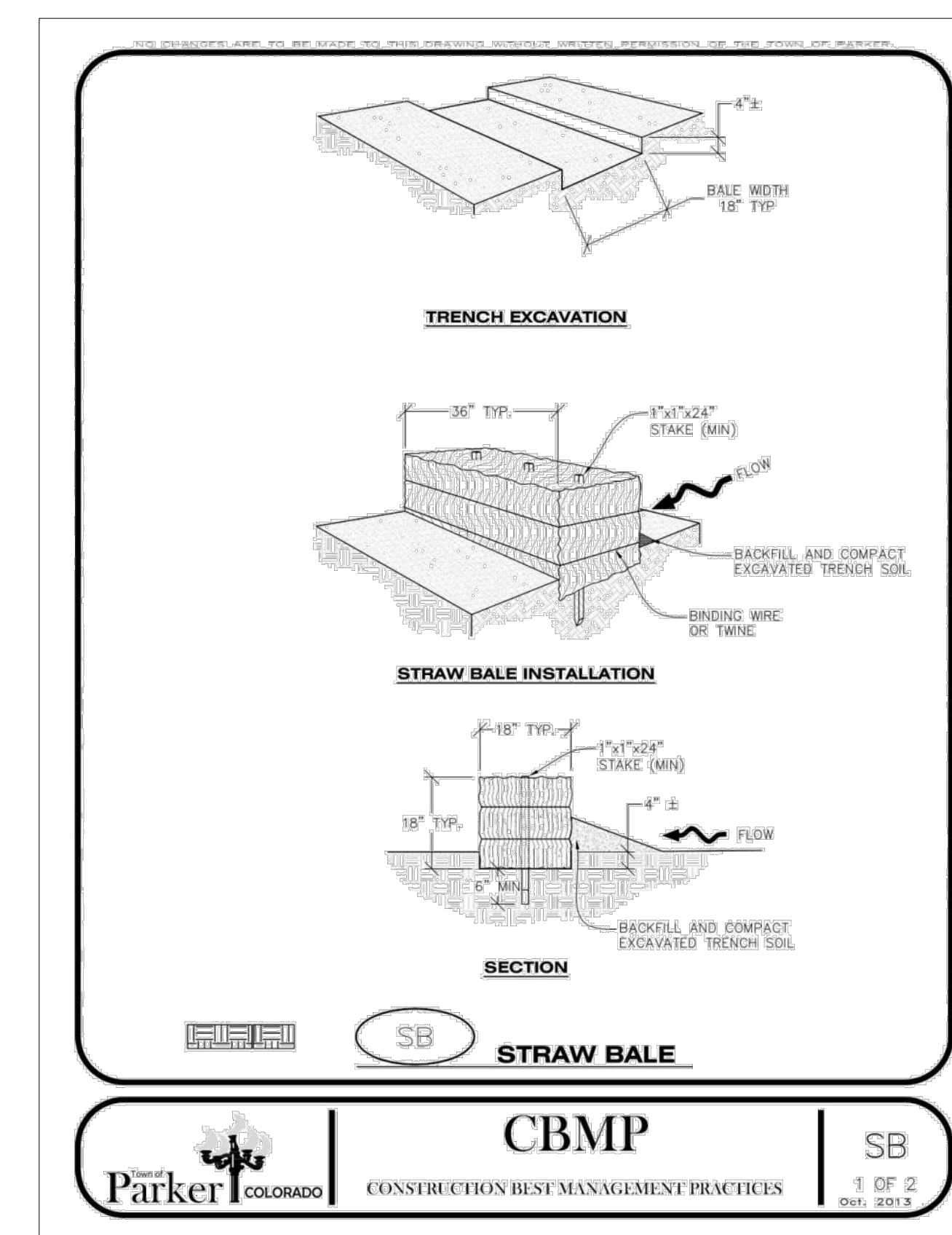
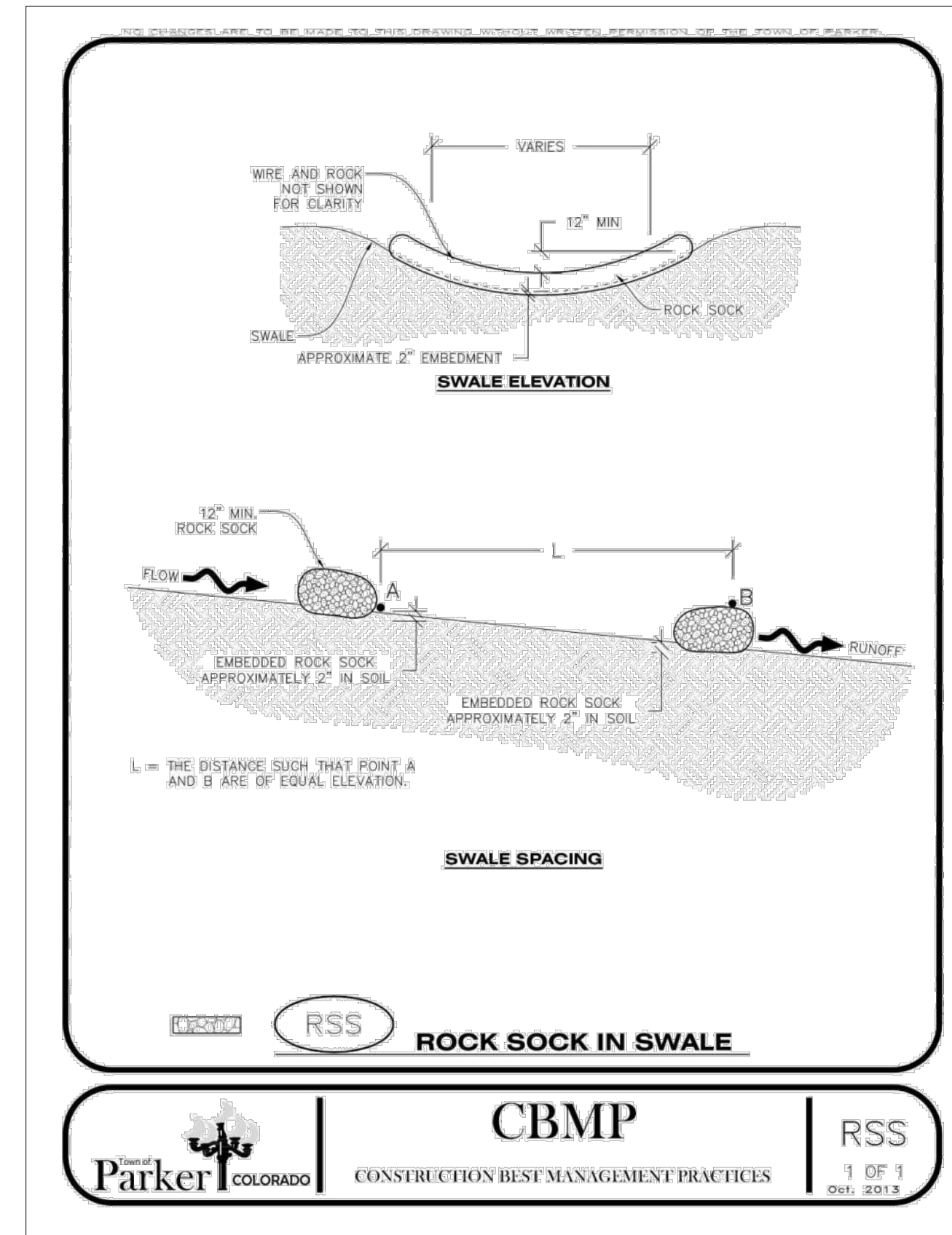
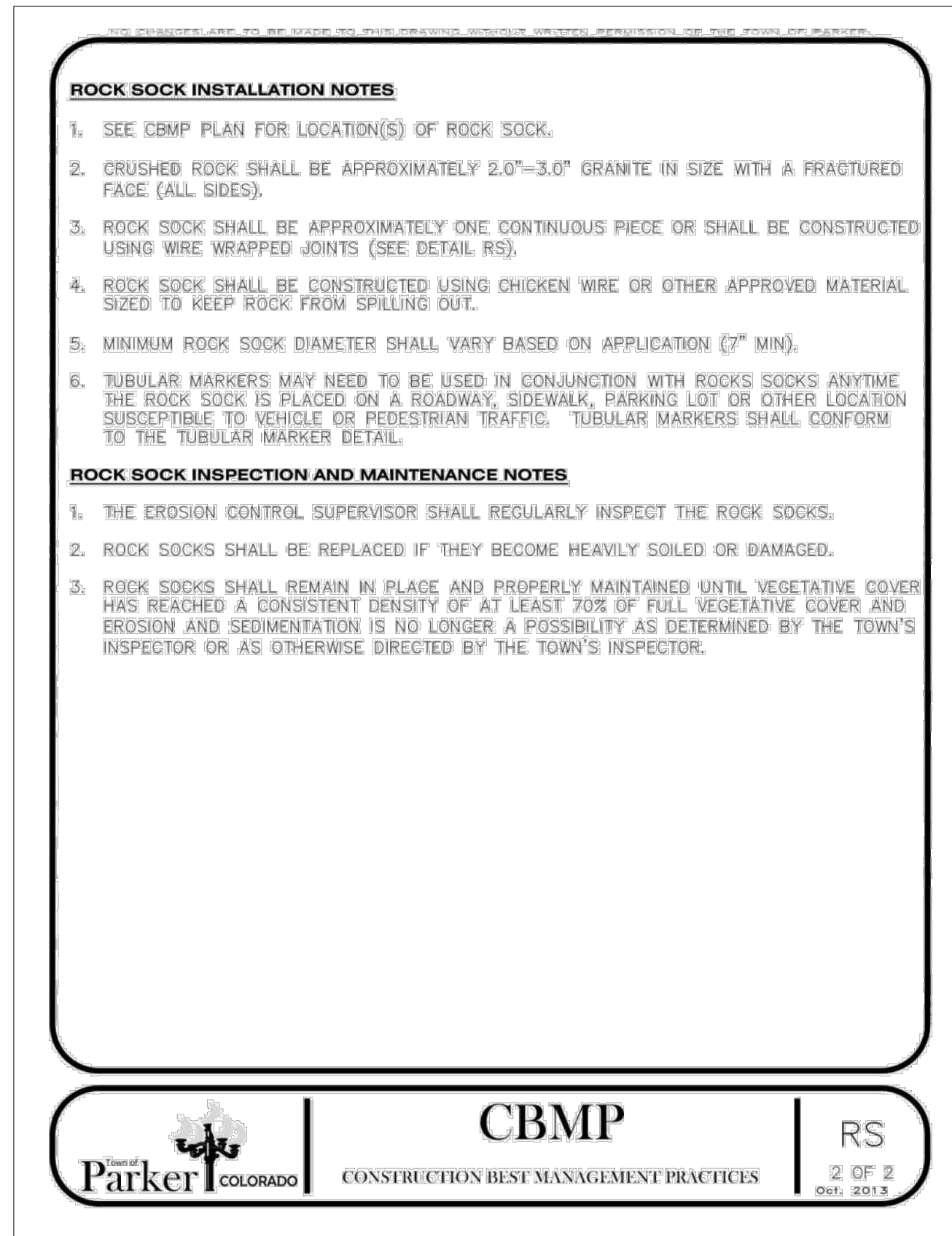
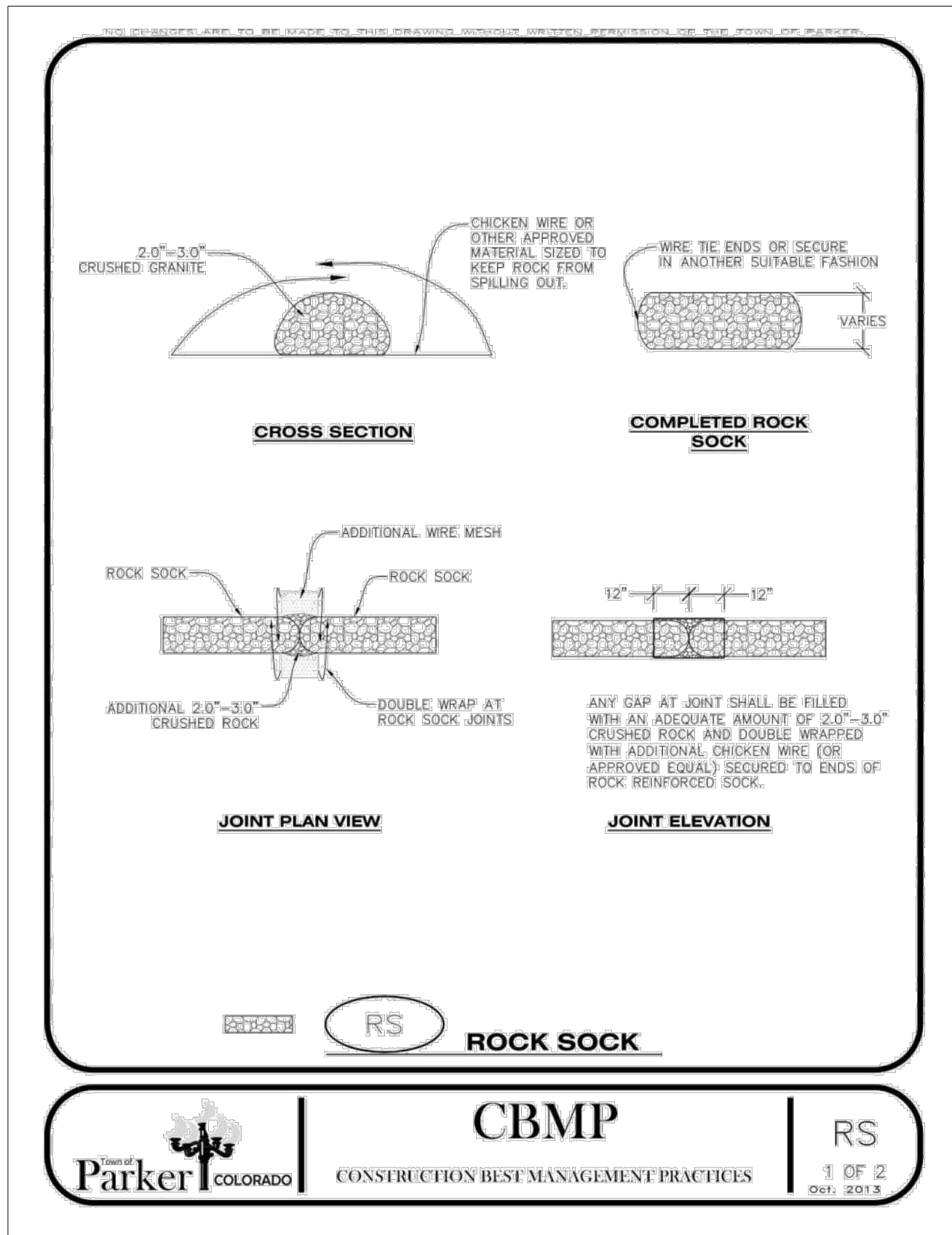
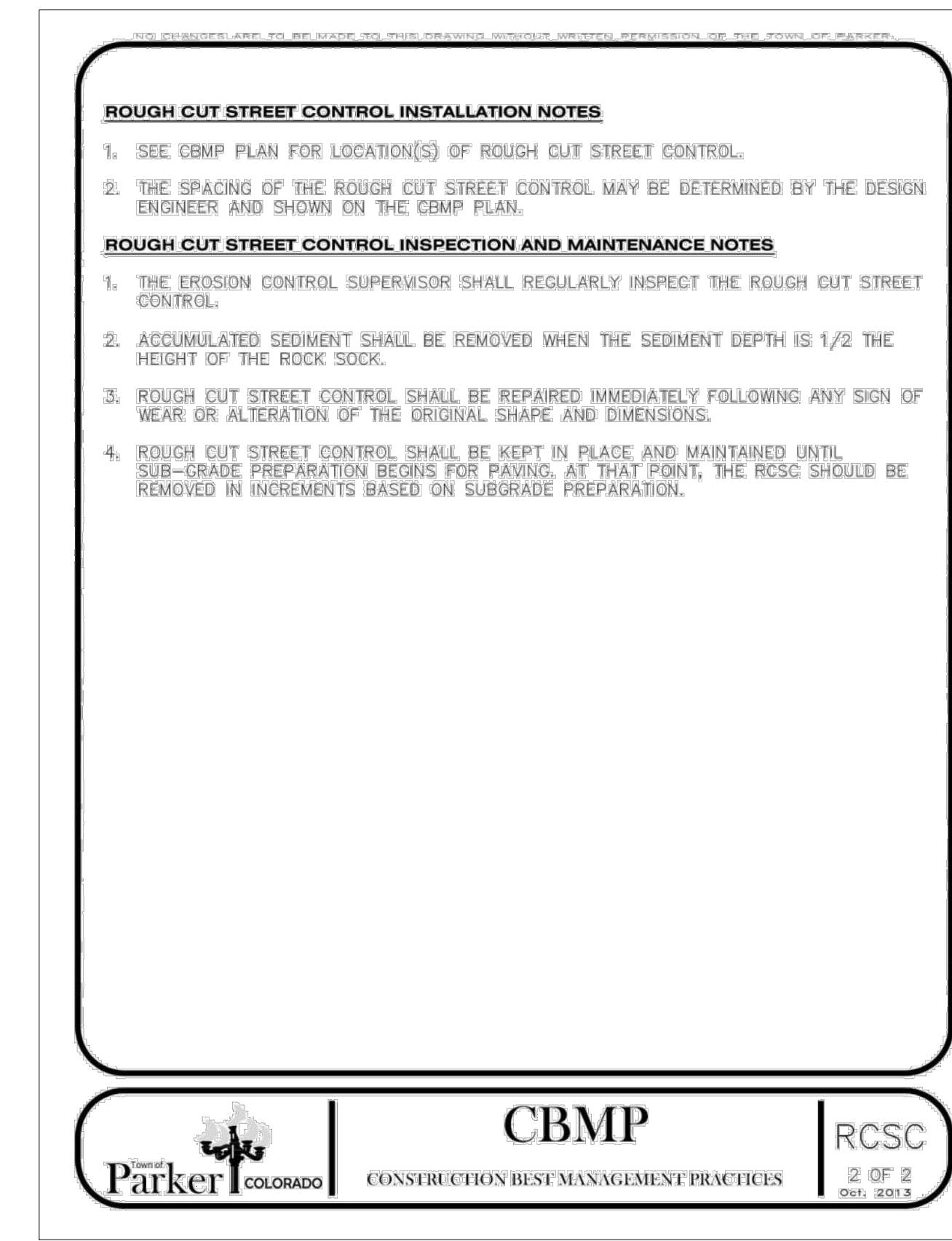
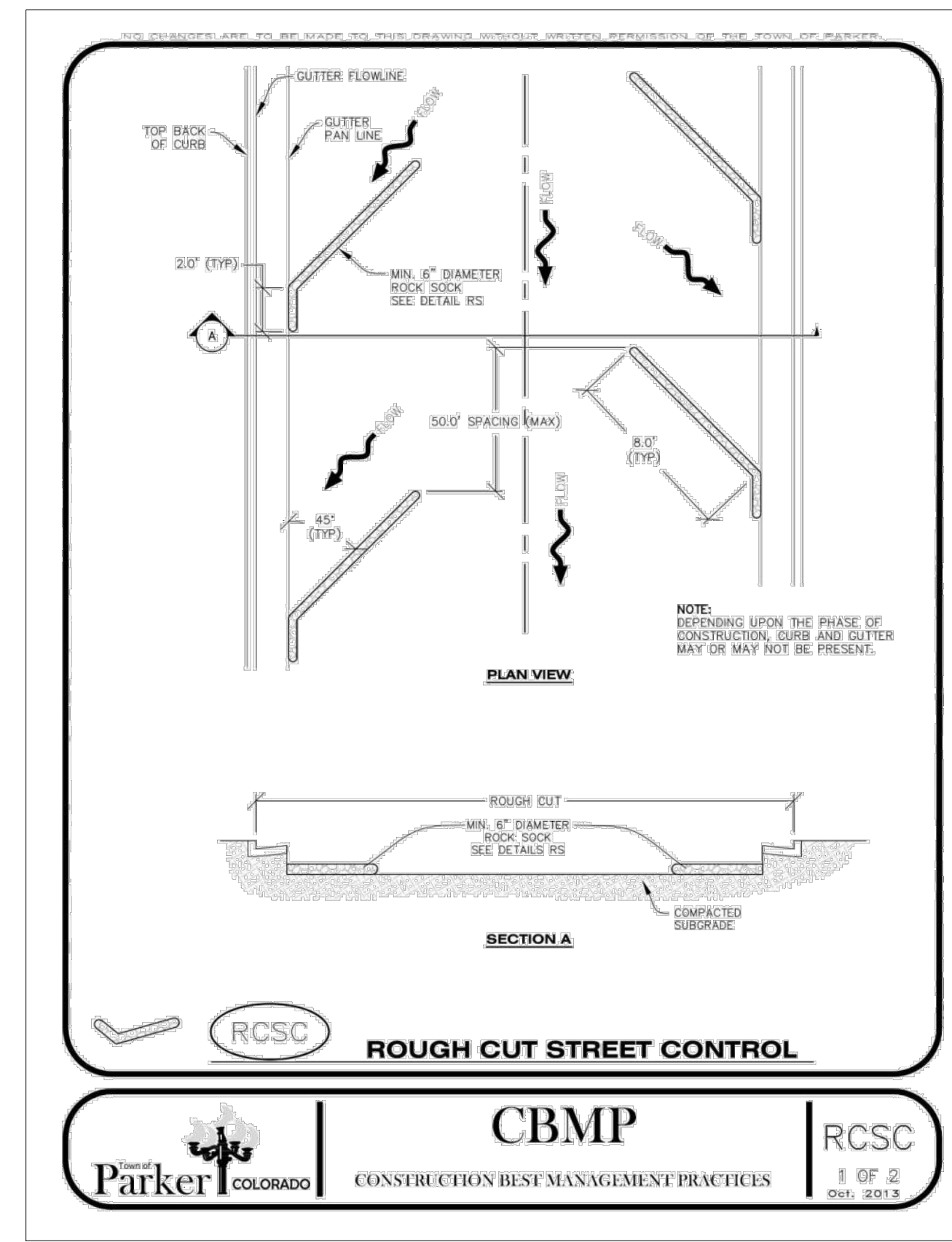
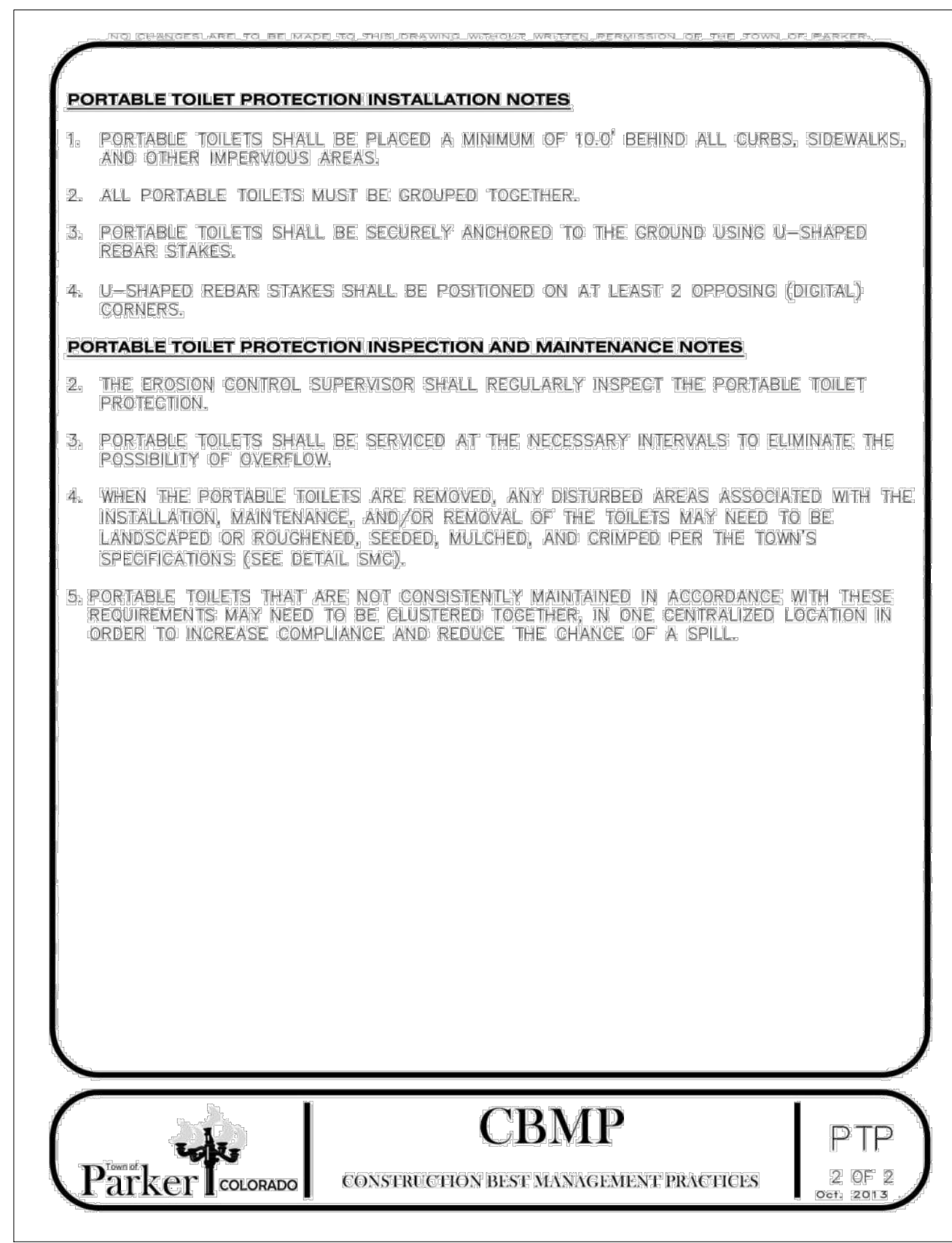
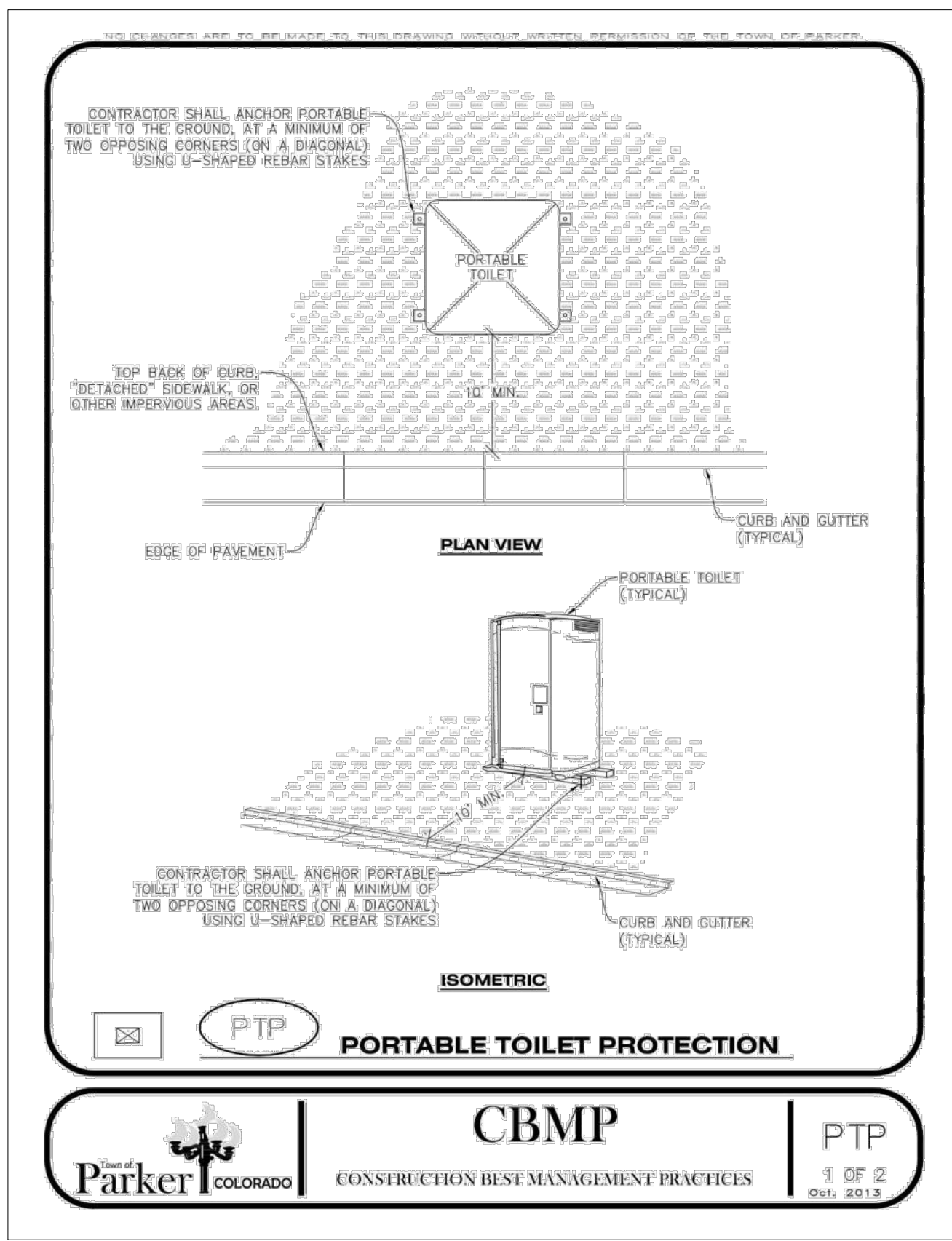
- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.

MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

CBMP | **MWP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
OVI, 2013

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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAINS STREET
PARKER, CO

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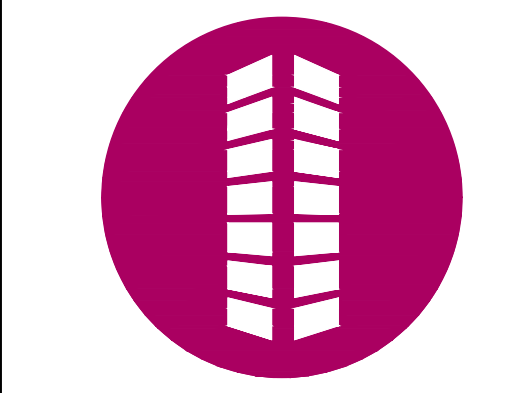
Project No:	MCC00001
Drawn By:	HCH
Checked By:	TDK
Date:	JUNE 2024

EROSION CONTROL DETAILS



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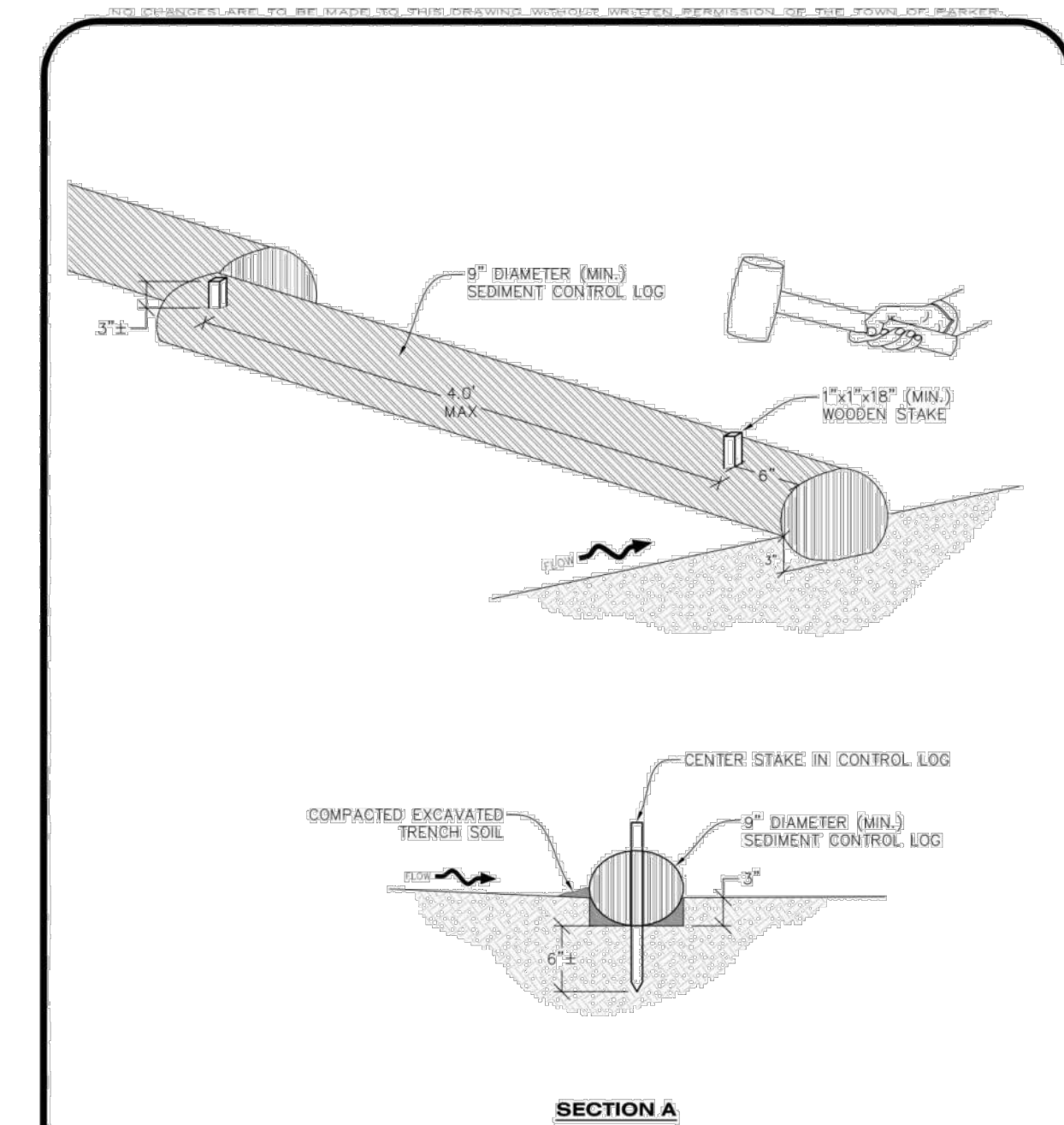
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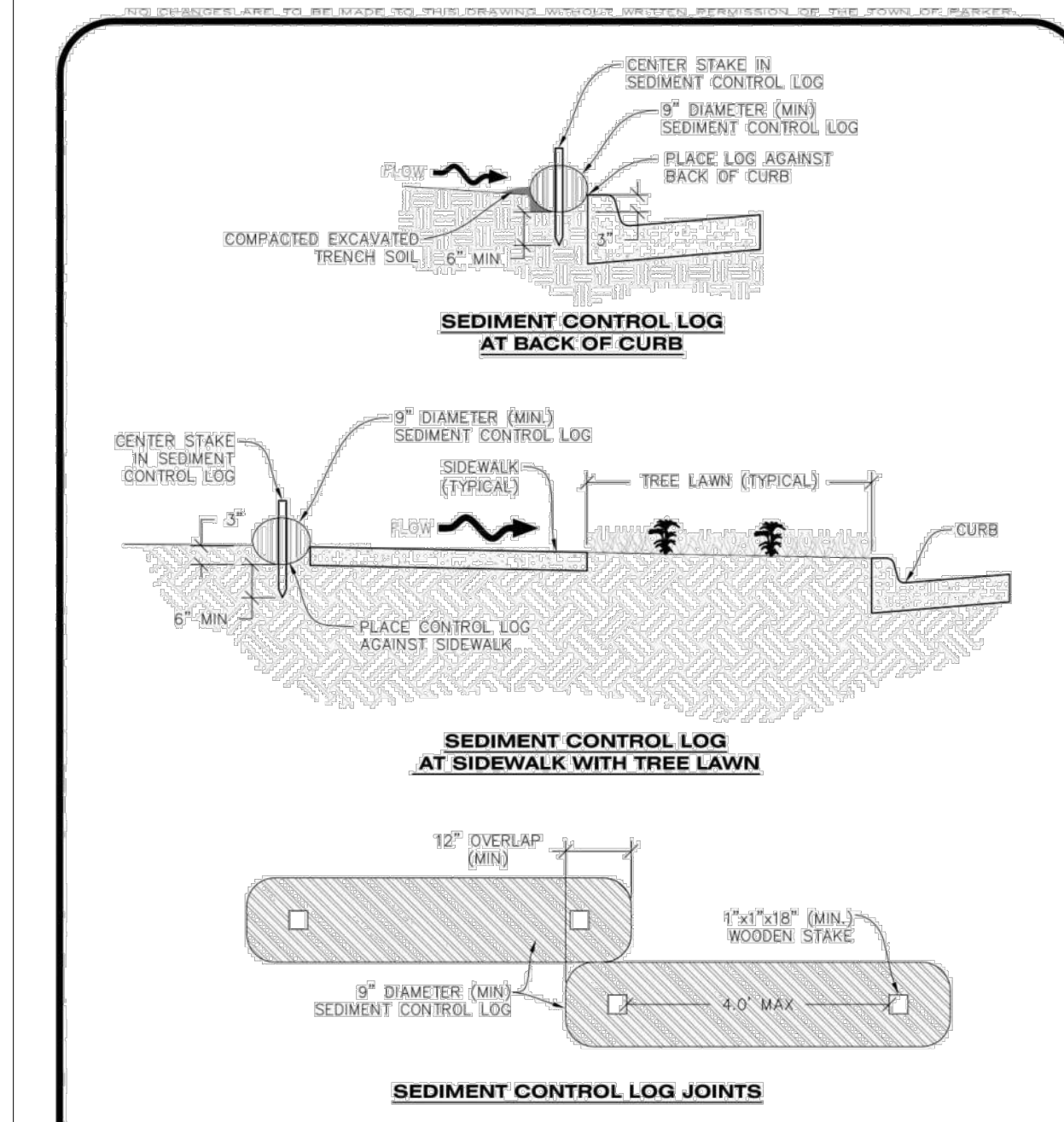
- STRAW BALE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
 - TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"x18"x18".
 - TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
 - WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
 - STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.

- STRAW BALE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
 - STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
 - STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN INSPECTOR.
 - WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

Parker COLORADO | **CBMP** | **SB**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
OCT. 2013



Parker COLORADO | **CBMP** | **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3
OCT. 2013

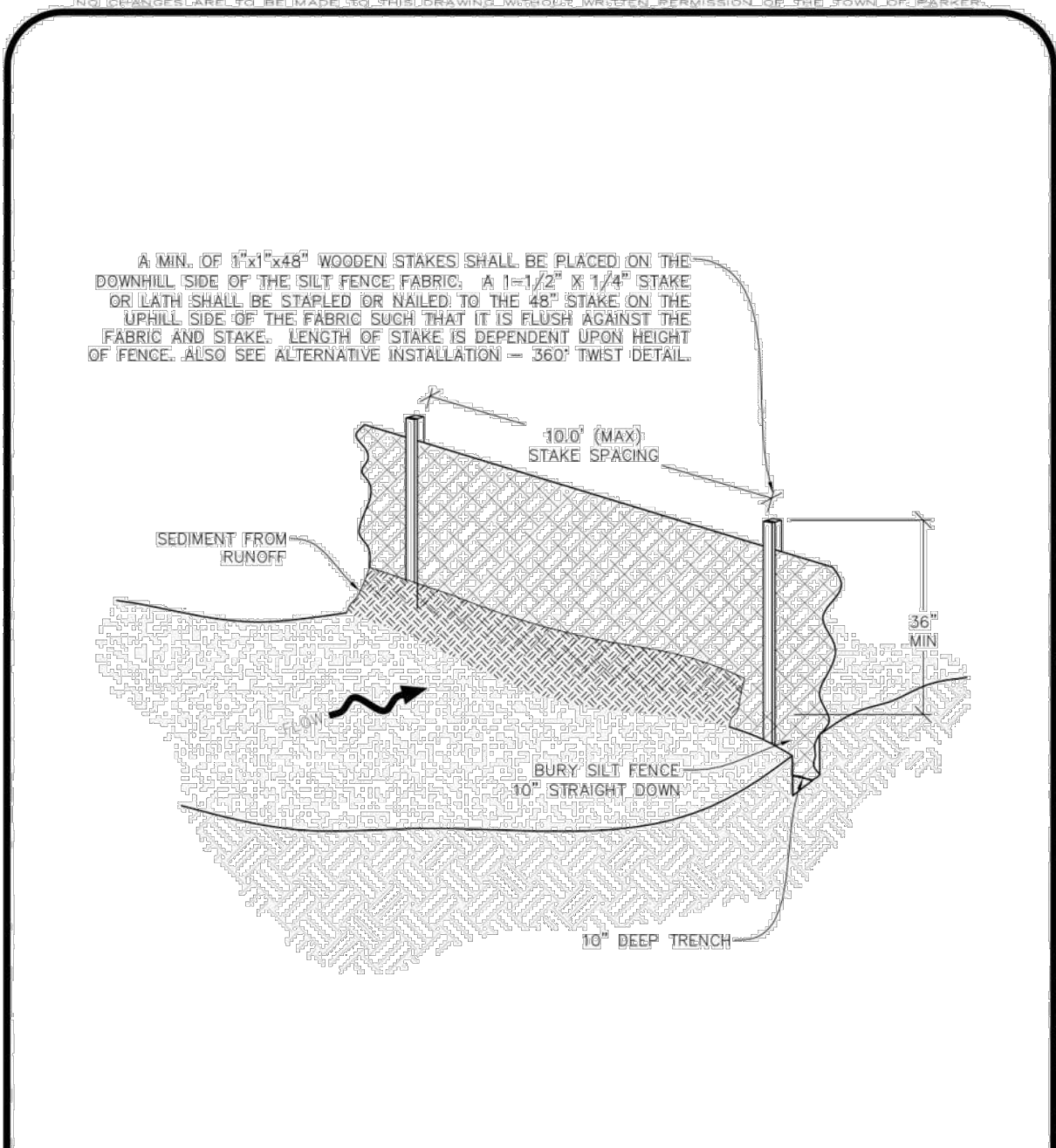


Parker COLORADO | **CBMP** | **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
OCT. 2013

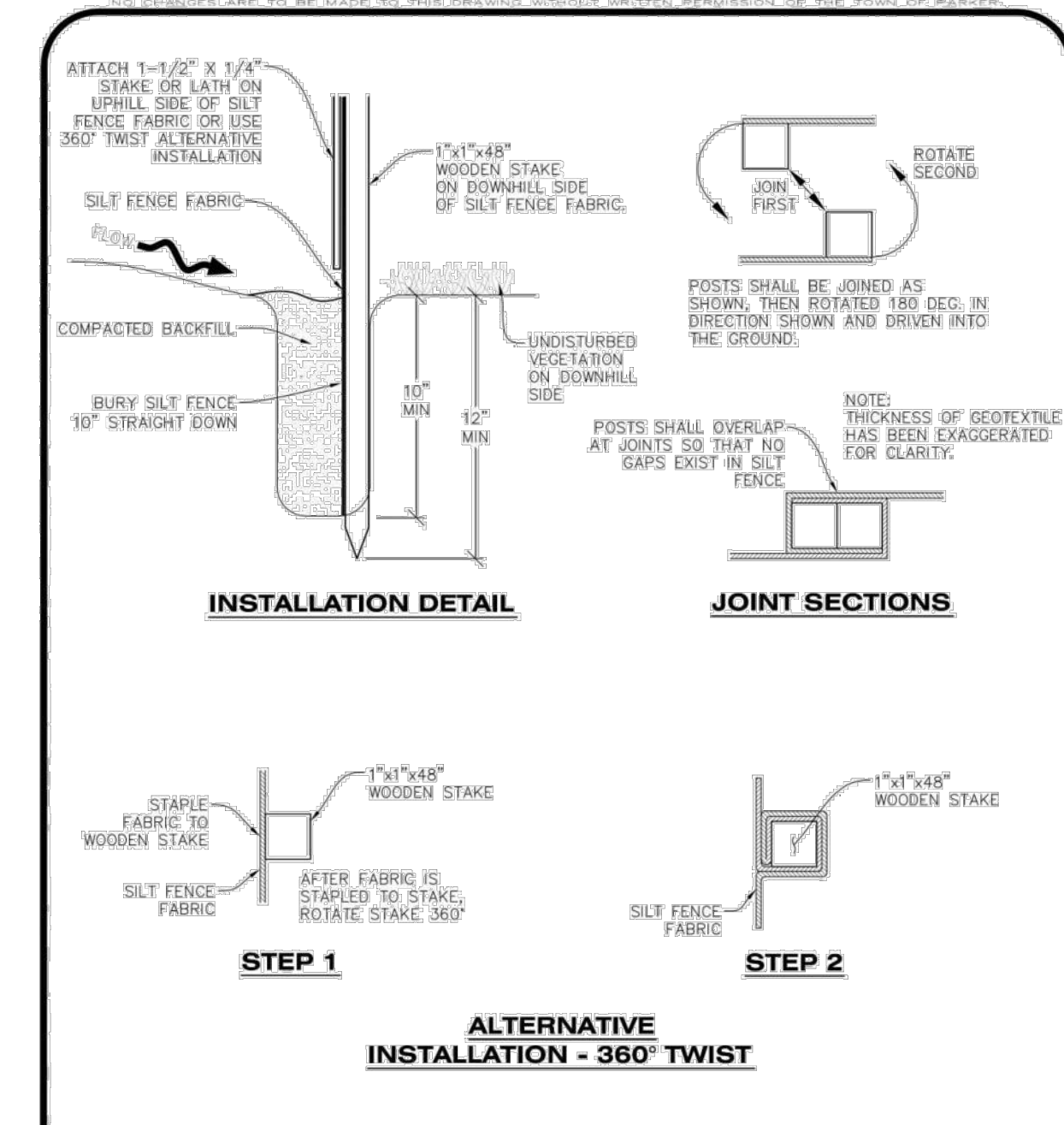
- SEDIMENT CONTROL LOG INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
 - ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 - SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
 - A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHARPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
 - ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
 - ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
 - THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL OR SIMILAR DEVICE.
 - SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SOL IN PLACE.
 - STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
 - SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADIENT SIDE OF THE LOGS.
 - SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
 - SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

- SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
 - SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 - SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
 - WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

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- SILT FENCE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
 - ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 - A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
 - A 10" DEEP ANCHOR SLIT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
 - ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
 - THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
 - ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRADIENT SIDE OF THE SILT FENCE.
 - STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x2"x24".
 - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
 - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH. ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
 - SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:
- | PROPERTIES | TEST METHOD | MANDATORY REQUIREMENTS |
|-------------------------|-------------|-----------------------------------|
| GRAB TENSILE STRENGTH | ASTM D 4632 | ≥ 124 LBS |
| MILLEN BURST STRENGTH | ASTM D 3786 | ≥ 200 PSI |
| PUNCTURE STRENGTH | ASTM D 4833 | ≥ 60 LBS |
| TRAPEZOID TEAR STRENGTH | ASTM D 4533 | ≥ 65 LBS |
| UV RESISTANCE | ASTM D 4355 | ≥ 80% AT 500 HOURS OF UV EXPOSURE |
| FLOW RATE | ASTM D 4491 | ≥ 10 GAL/MIN/FT2 |
- AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
 - SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
 - SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

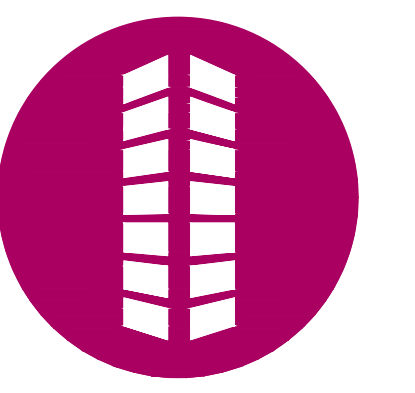
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- SILT FENCE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
 - SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 - SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
 - WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

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Project No: MGC00001
Drawn By: HCH
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EROSION CONTROL DETAILS



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- SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAILS(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE.**
- SEE PLAN VIEW FOR:
 - LOCATION(S) OF SEEDING AND MULCHING
 - TYPE OF SEED MIX
 - SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
 - SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
 - AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
 - IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.
 - ALL AREAS TO BE SEEDING AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
 - WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF 1/4 - 1/2 INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
 - ALL AREAS INCAPABLE OF BEING DRILL SEEDER SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDER RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF 1/4 - 1/2 INCH.
 - AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED Y-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
 - IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

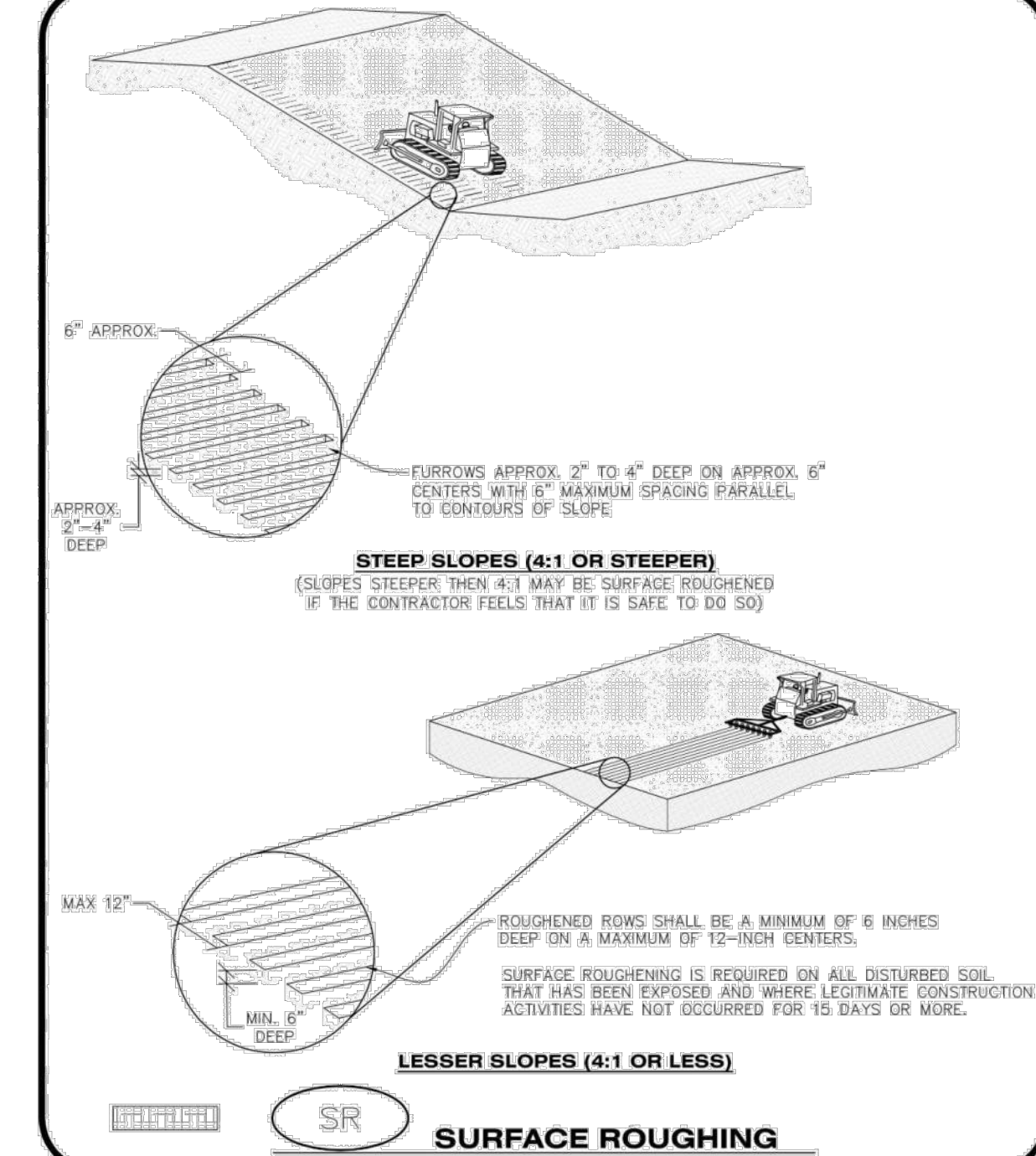
CBMP
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- SEEDING AND MULCHING MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
 - ANY SEEDING AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.
- WEED MANAGEMENT**
- ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
 - HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
 - AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
 - HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

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- TOWN OF PARKER, SEED MIX 1**
- 20% CANADA WILDRIE
 - 15% CRESTED WHEATGRASS
 - 15% SLENDER WHEATGRASS
 - 10% ANNUAL RYEGRASS
 - 10% SHEEP FESCUE
 - 10% BIG BLUESTEM
 - 10% SIDEDOTS GRAMA
 - 5% CANADA BLUEGRASS
 - 5% BLUE GRAMA
- SEEDING RATE:**
DRILLED: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE
- TOWN OF PARKER, SEED MIX 2**
- 25% SLENDER WHEATGRASS
 - 18% SODAR STREAMBANK WHEATGRASS
 - 13% ARIZONA FESCUE
 - 13% BLUE GRAMA
 - 12% BUFFALOGRASS
 - 12% BARLEY OR OATS
 - 5% SPIKE MUNCH
 - 5% INDIAN RICEGRASS
- SEEDING RATE:**
DRILLED: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE
- TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)**
- 25% EFFRAB CRESTED WHEATGRASS
 - 23% SHEEP FESCUE
 - 18% PERENNIAL RYEGRASS
 - 13% CANADA BLUEGRASS
 - 12% BARLEY OR OATS
 - 9% BLUE FESCUE
- SEEDING RATE:**
DRILLED: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE
- SEED MIX 4:**
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

CBMP
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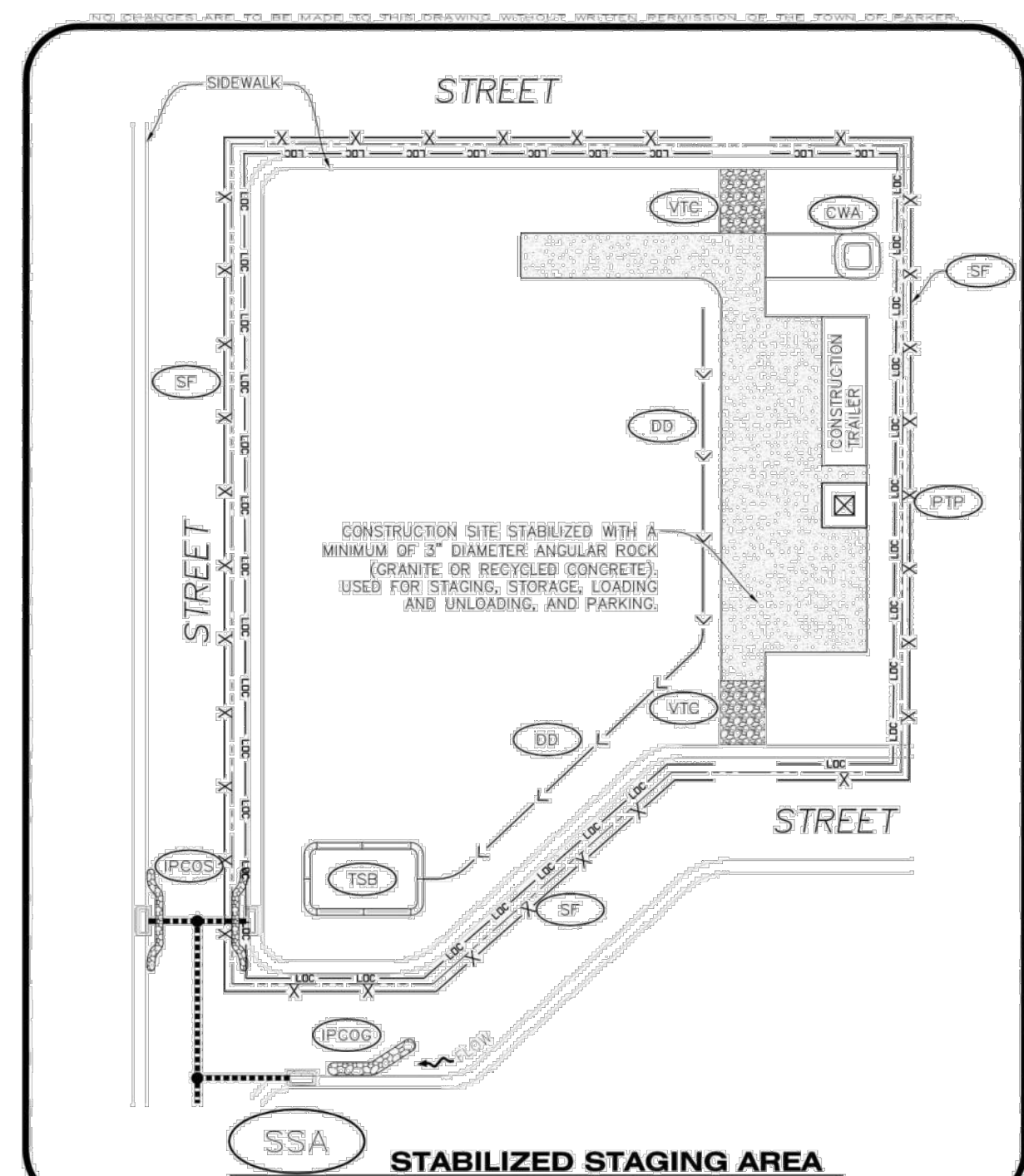
CBMP
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- SURFACE ROUGHENING INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
 - DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SDCM. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
 - FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
 - SCHEDULES FOR REQUIRING STABILIZATION MAY BE MODIFIED BY THE PERMITTEE TO ALLOW FOR SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL PROACTIVELY INSPECT THE SURFACE ROUGHENING.

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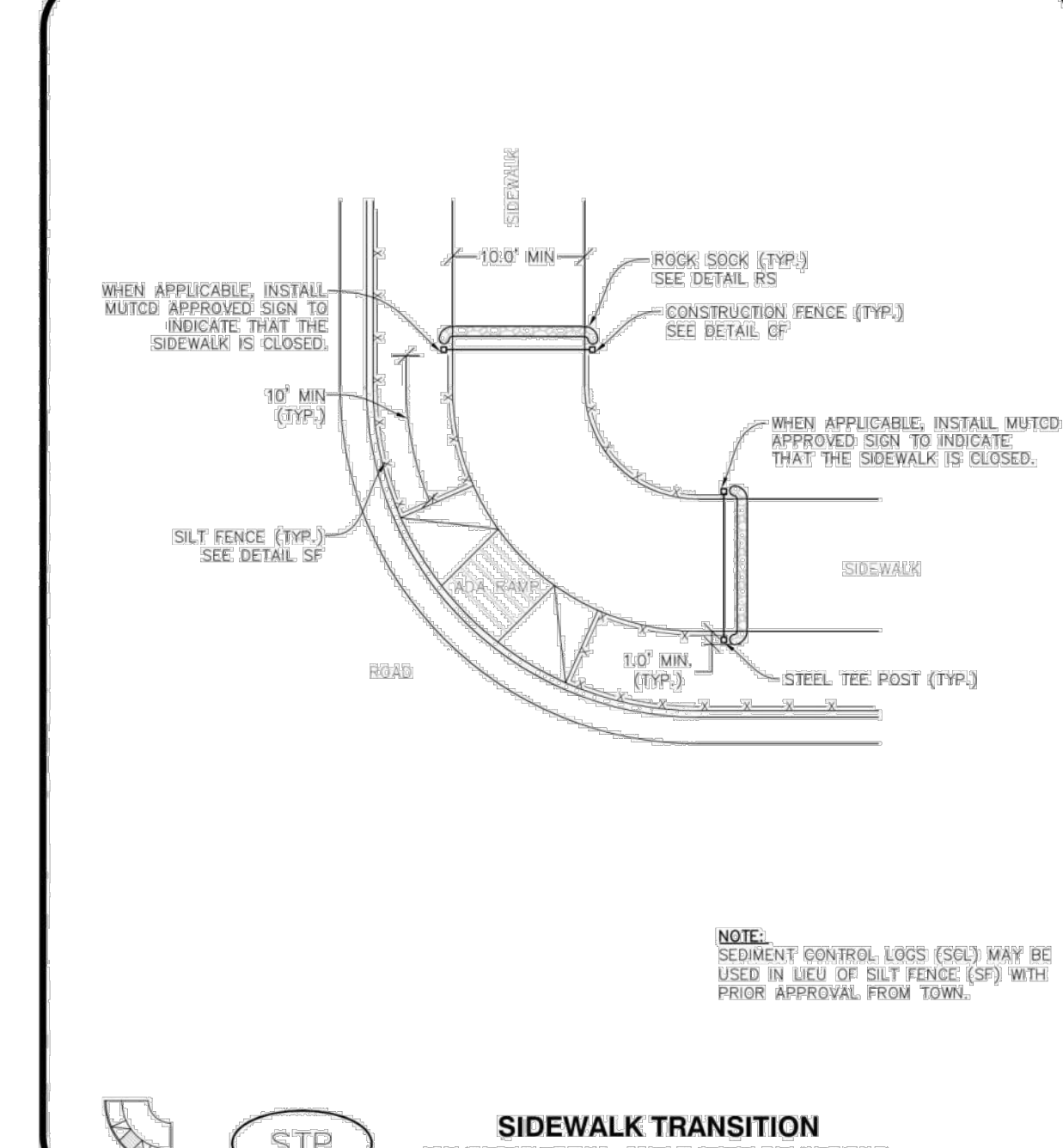
CBMP
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- STABILIZED STAGING AREA INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
 - STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
 - THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
 - SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
- STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

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EXCHANGE LOT 1
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET
PARKER, CO

#	Date	Issue / Description	Init.
0	06/14/2024	ISSUED FOR CONSTRUCTION	TDK
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EROSION CONTROL DETAILS



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SIDEWALK TRANSITION PROTECTION (ALONG STRAIGHT ROADWAY)

NOTE: SEDIMENT CONTROL LOGS (SCL) MAY BE USED IN LIEU OF SILT FENCE (SF) WITH PRIOR APPROVAL FROM TOWN.

STP **CBMP** **STP**
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SIDEWALK TRANSITION PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF SIDEWALK TRANSITION PROTECTION.
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
- CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
- SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

SIDEWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDEWALK TRANSITION INSPECTION.

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TEMPORARY SEDIMENT BASIN INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT BASIN(S).
- THE TEMPORARY SEDIMENT BASIN(S) SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY OTHER GRADING ACTIVITIES.
- THE EXACT DIMENSIONS AND DETAILS OF THE TEMPORARY SEDIMENT BASIN SHALL BE DETERMINED BY THE DESIGN ENGINEER, IN ACCORDANCE WITH UDFCO VOLUME 3, AS AMENDED.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3" AND SHALL HAVE A MINIMUM OF 15% BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY, AND WITHIN +/- 2% OF OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D698.
- AN APPROPRIATELY SIZED DEWATERING BAG SHALL BE SECURED TO THE END OF THE DISCHARGE PIPE. THE DEWATERING BAG SHALL BE REPLACED ONCE SEDIMENT ACCUMULATION REACHES 50%.

TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE TEMPORARY SEDIMENT BASIN.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT REACHES A DEPTH OF 2.0', OR WITHIN 2.0' OF THE SPILLWAY CREST, OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL UPSTREAM VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.

TSB **CBMP** **TSB**
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ON SITES LESS THAN 10 ACRES AND WHERE SIGNIFICANT SOIL IMPORTING/EXPORTING IS NOT OCCURRING, CONSTRUCTION FENCE (CF) OR SILT FENCE (SF) MAY BE USED IN LIEU OF THE TYPE 4 JERSEY BARRIERS WITH PRIOR APPROVAL FROM THE TOWN'S INSPECTOR.

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VTC **CBMP** **VTC**
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VEHICLE TRACKING CONTROL PAD INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF VEHICLE TRACKING CONTROL PAD(S).
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50-FOOT LONG AND 10-FOOT WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.
- A BIAXIAL GEO-GRID SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY VOIDS, ROCKS AND DEBRIS. THE BIAXIAL GEO-GRID SHALL BE TENSAR BX1100, MIRAFI BASXGRID II, OR AN APPROVED EQUAL. GEO-GRID SHALL BE PLACED, AND APPROPRIATELY OVERLAPPED IF NECESSARY, TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.
- CRUSHED ROCK SHALL BE A MINIMUM OF 3-6" GRANITE WITH A FRACTURED FACE (ALL SIDES).

VEHICLE TRACKING CONTROL PAD INSTALLATION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.
- WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS RELATIVELY LOOSE AND ACCUMULATED MUD AND OTHER DEBRIS IS REGULARLY REMOVED.

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EXCHANGE LOT 1
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