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EXCHANGE LOT 1  
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET  
PARKER, CO

#	Date	Issue / Description	Int.
0	03/07/2025	ISSUED FOR CONSTRUCTION	TDK

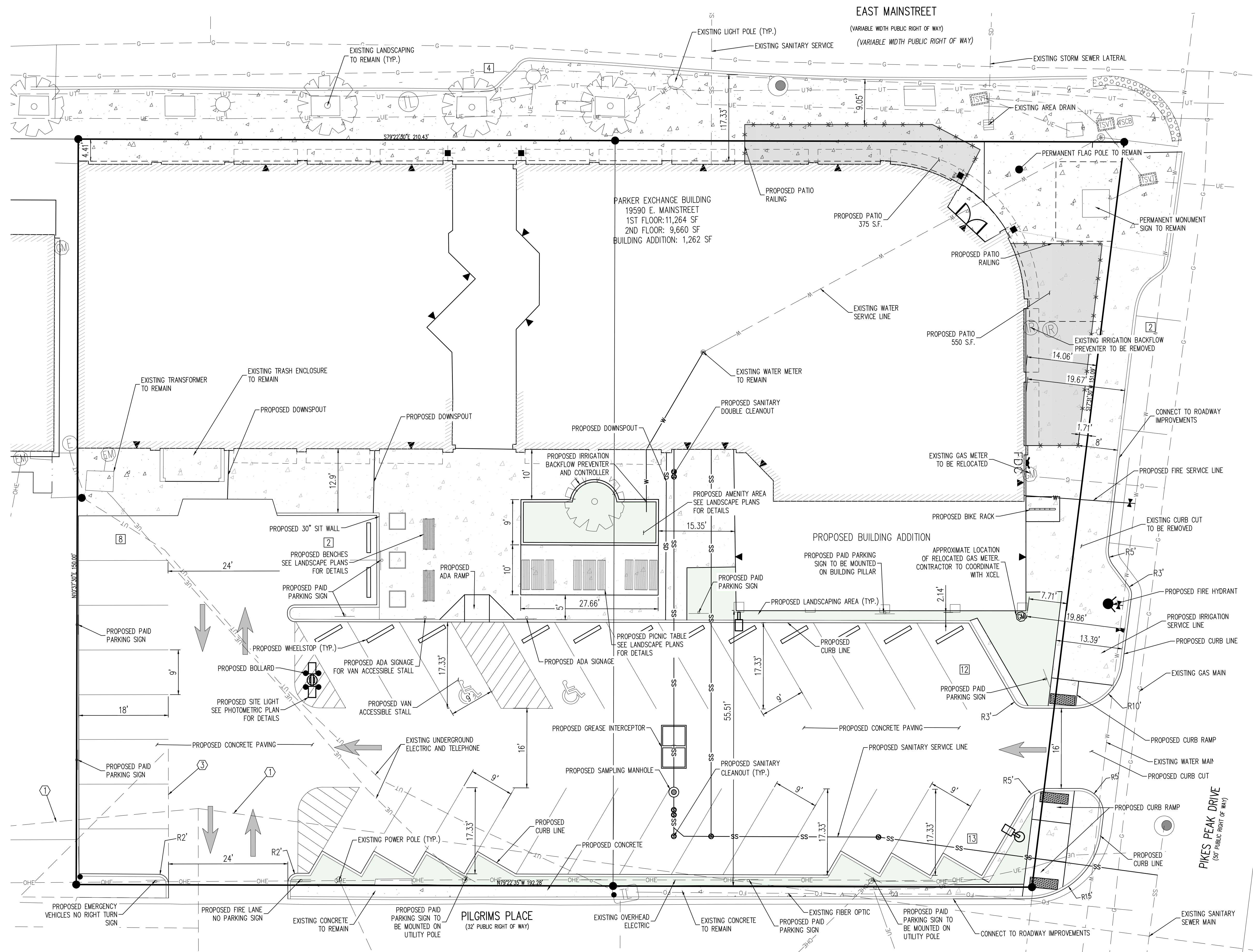
EXISTING STALL	LENGTH (FT)	WIDTH (FT)	PROVIDED STALLS
	17	5	46
PROPOSED STALL	17.33	9	39

**NOTE:**  
THE PROPOSED PARKING STALL SIZE DOES NOT MEET THE MINIMUM STANDARDS PER THE TOWN OF PARKER CODE. THE PROPOSED PARKING STALL SIZE IS DEEMED ALLOWABLE AS THEY ARE AN IMPROVEMENT FROM THE EXISTING CONDITIONS.

Project No:	MG000901
Drawn By:	HCH
Checked By:	TDK
Date:	MARCH 2025

SITE PLAN

**C1.2**  
3 OF 18



- SITE LEGEND**
- PROPERTY BOUNDARY LINE
  - - - ADJACENT PROPERTY BOUNDARY LINE
  - - - EXISTING EASEMENT LINE
  - - - SITE TRIANGLE
  - - - PROPOSED SAWCUT LINE
  - PROPOSED CURB AND GUTTER
  - - - EXISTING CURB AND GUTTER
  - - - PROPOSED RAILING
  - - - PROPOSED SIDEWALK
  - - - PROPOSED PATIO AREA
  - - - ADA PATH OF TRAVEL
  - PARKING COUNT
  - EXISTING SIGN
  - PROPOSED SIGN
  - PROPOSED PIPE BOLLARD
  - PROPOSED ADA PARKING SYMBOL
  - PROPOSED WHEEL STOP
  - PROPOSED DETECTABLE WARNING TRUNCATED DOMES
  - EXISTING TREE
  - BUILDING ENTRANCE

- UTILITY LEGEND**
- EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - EXISTING STORM SEWER (LESS THAN 12")
  - PROPOSED STORM SEWER (LESS THAN 12")
  - EXISTING STORM SEWER (12" AND LARGER)
  - PROPOSED STORM SEWER (12" AND LARGER)
  - EXISTING UNDERGROUND ELECTRICAL
  - EXISTING FIBER OPTIC LINE
  - EXISTING UNDERGROUND TELEPHONE
  - EXISTING GAS LINE
  - EXISTING ELECTRIC LIGHT POLE
  - PROPOSED SITE LIGHTING
  - EXISTING ELECTRIC BOX
  - EXISTING PAD MOUNTED TRANSFORMER
  - EXISTING FIBER OPTIC PEDESTAL
  - EXISTING FIBER OPTIC MANHOLE
  - EXISTING FIBER OPTIC PULLBOX
  - EXISTING TRAFFIC SIGNAL VAULT
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING GAS VALVE
  - EXISTING SANITARY SEWER MANHOLE
  - PROPOSED SANITARY SEWER MANHOLE
  - EXISTING SANITARY STORM MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING WATER MANHOLE
  - PROPOSED FIRE HYDRANT

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS \_\_\_\_\_ DATE \_\_\_\_\_





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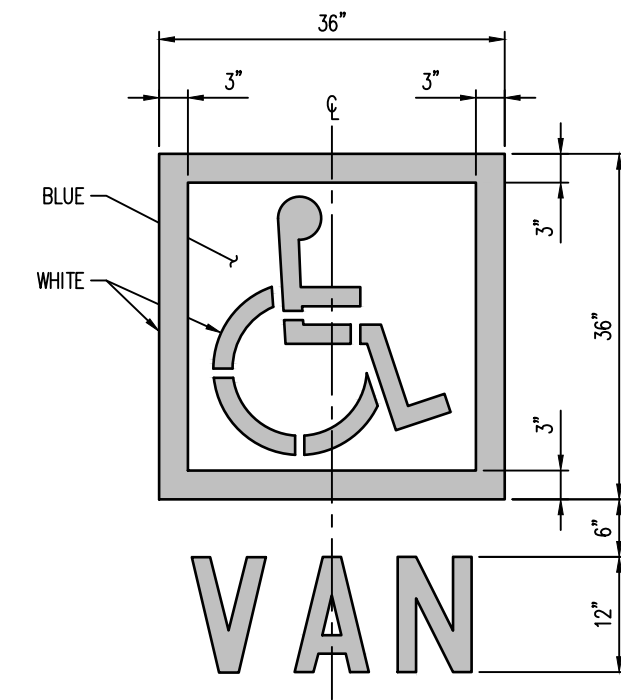
EXCHANGE LOT 1  
CIVIL CONSTRUCTION DRAWINGS

19590 MAIN STREET  
PARKER, CO

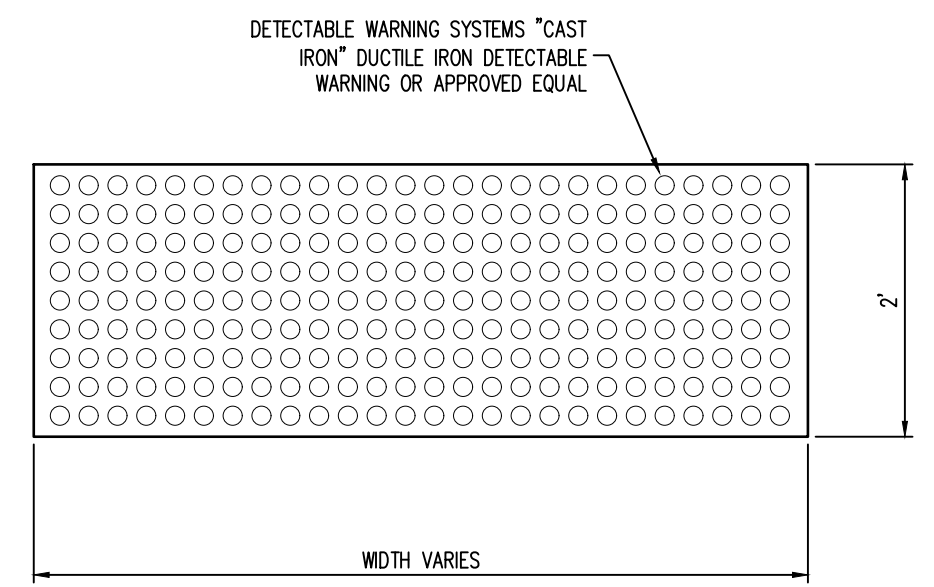
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Drawn By:	HCH
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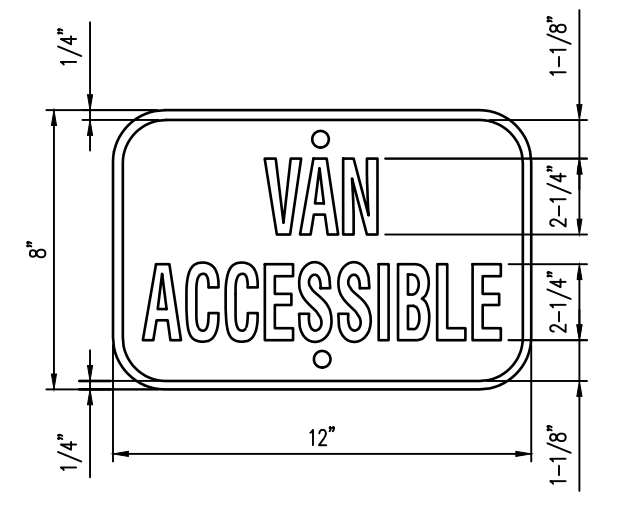
SITE DETAILS



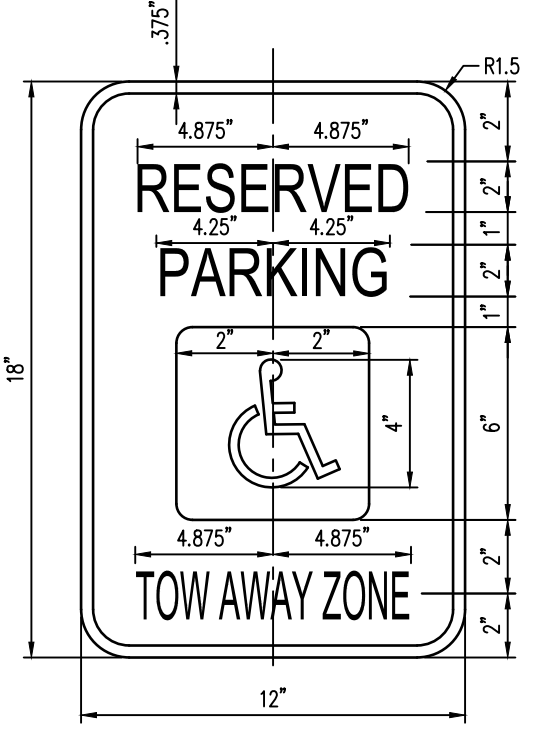
**NOTES:**  
1. PROVIDE TWO COATS OF PAINT  
2. BLUE BACKGROUND WITH WHITE SYMBOL



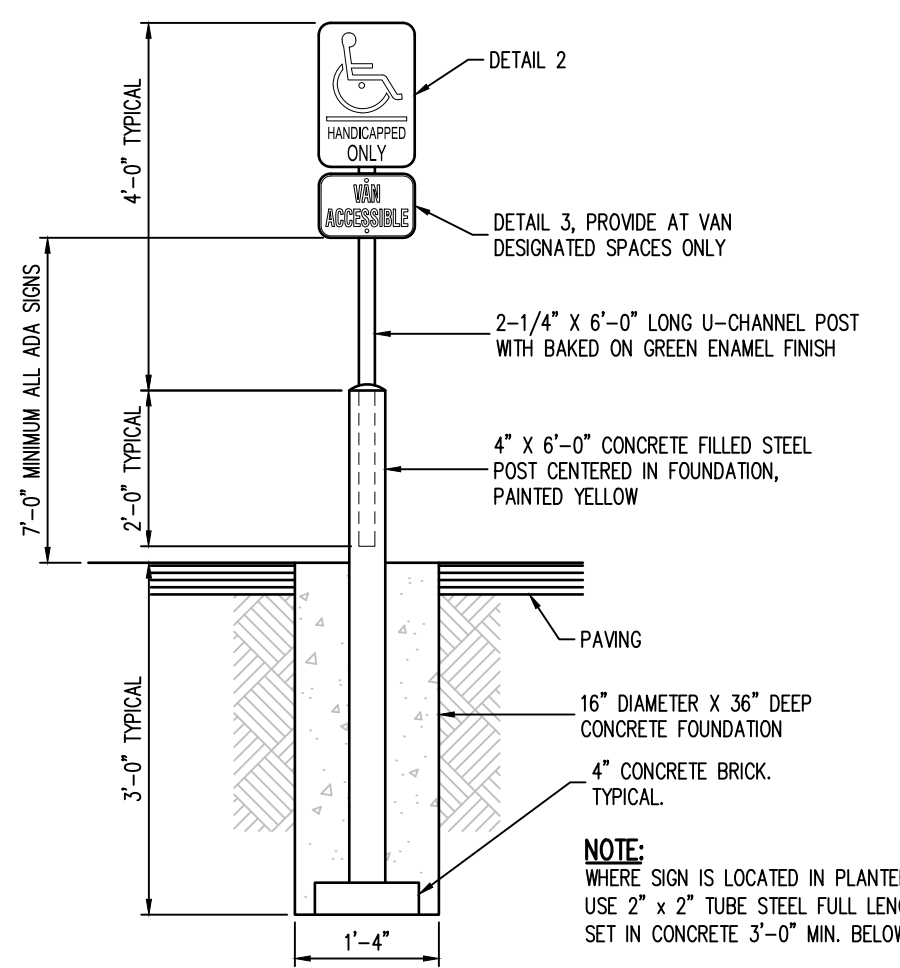
**4 TRUNCATED DOMES**  
NOT TO SCALE



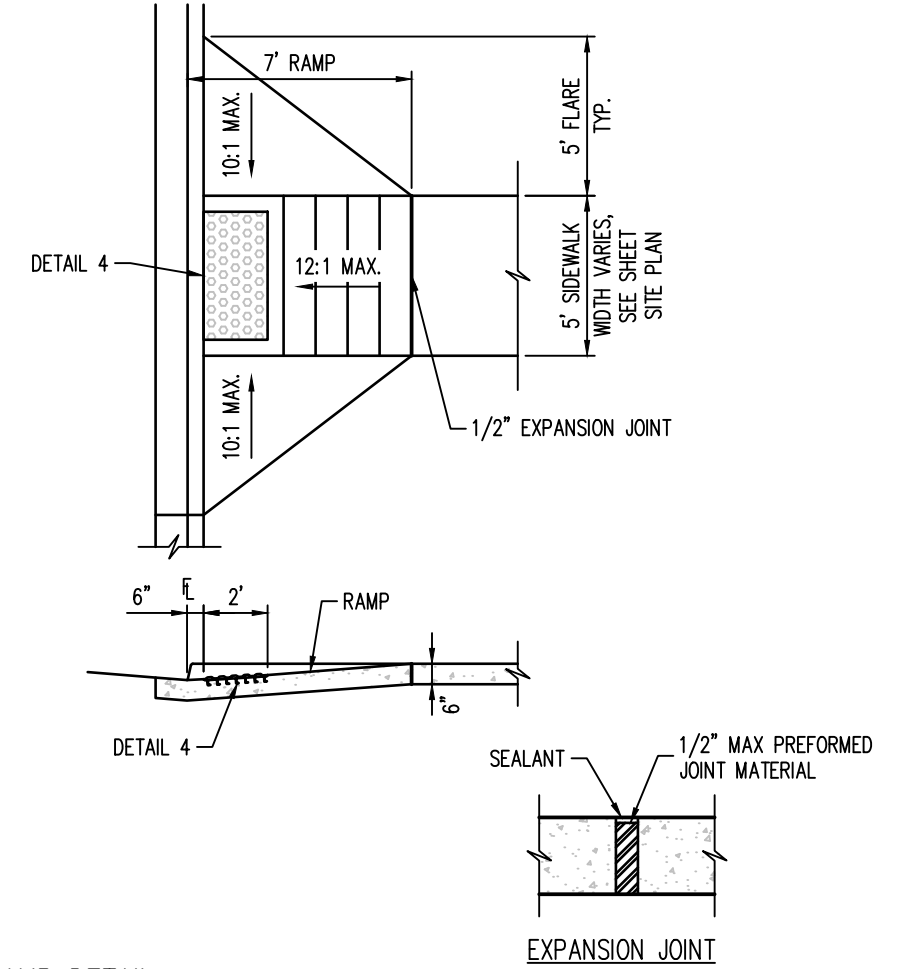
**3 "VAN ACCESSIBLE" SIGN**  
NOT TO SCALE



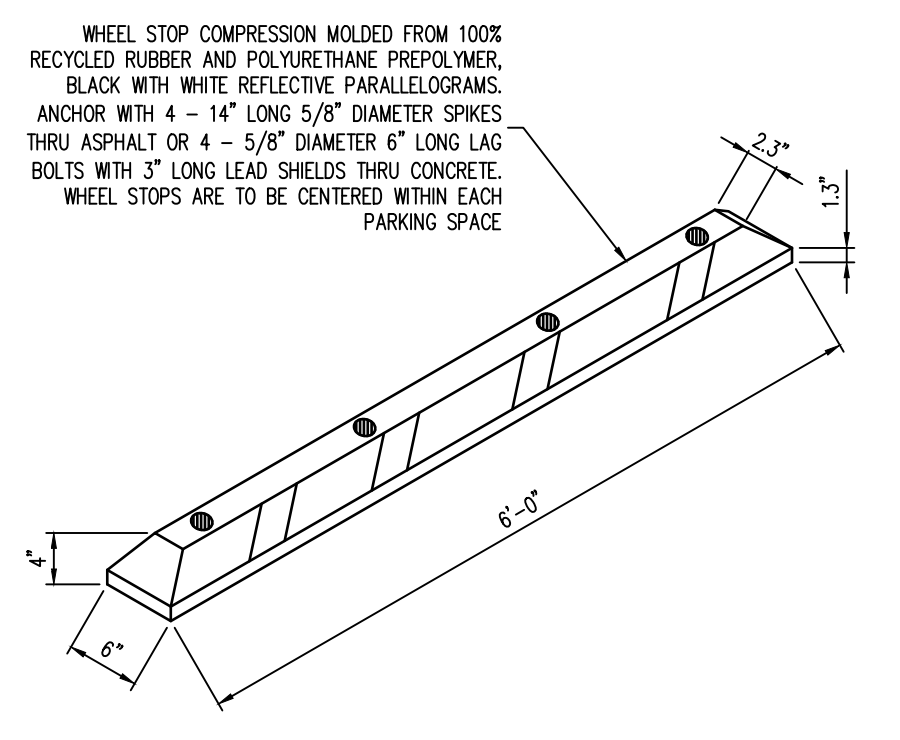
**2 HANDICAP PARKING SIGN**  
NOT TO SCALE



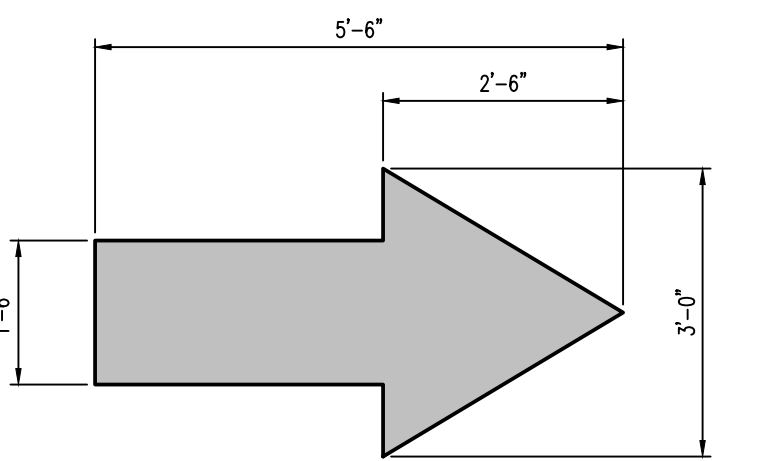
**1 HANDICAP PARKING SIGN POST**  
NOT TO SCALE



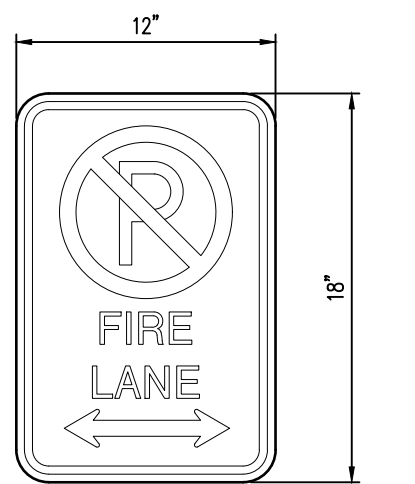
**10 ACCESSIBLE RAMP DETAIL**  
NOT TO SCALE



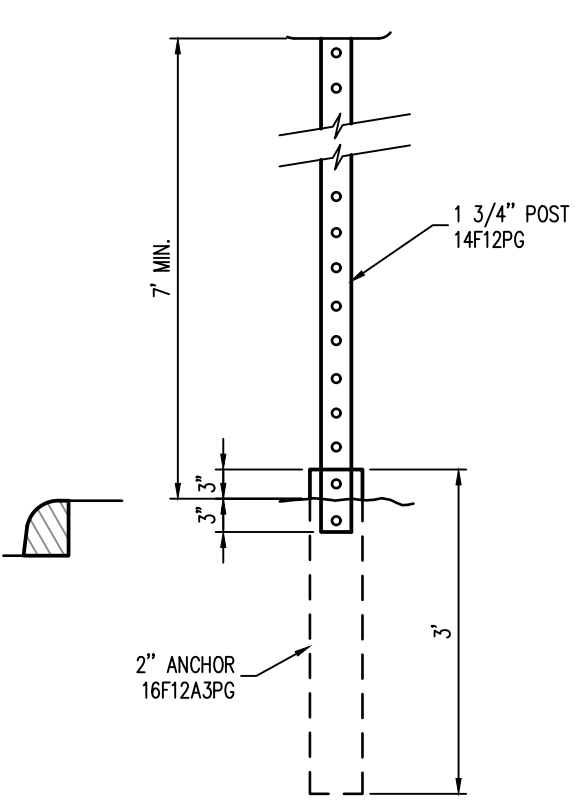
**9 WHEEL STOP DETAIL**  
NOT TO SCALE



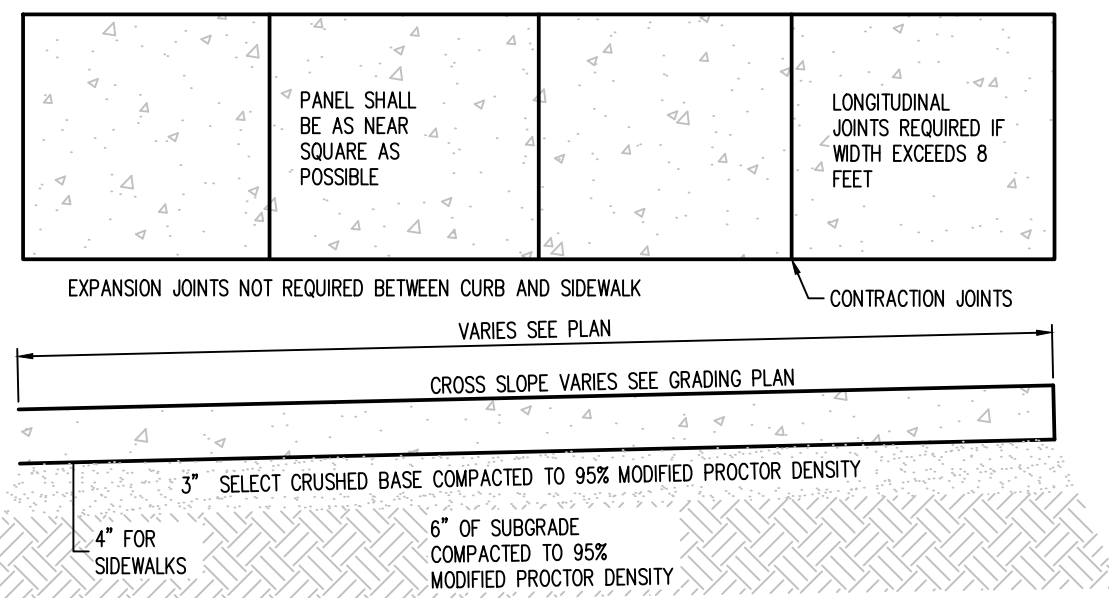
**8 DIRECTIONAL ARROW DETAIL**  
NOT TO SCALE



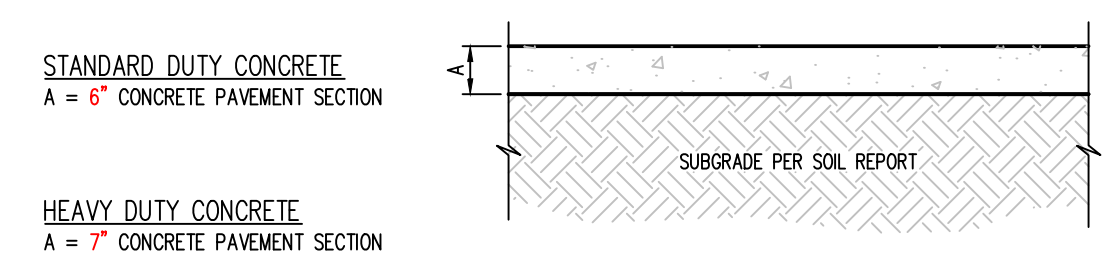
**7 "NO PARKING - FIRE LANE" SIGN**  
NOT TO SCALE



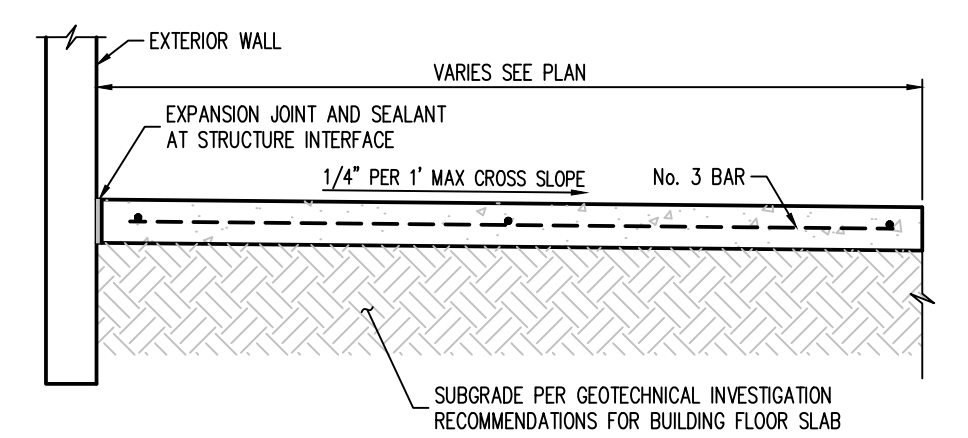
**6 STANDARD SIGN POST DETAIL**  
NOT TO SCALE



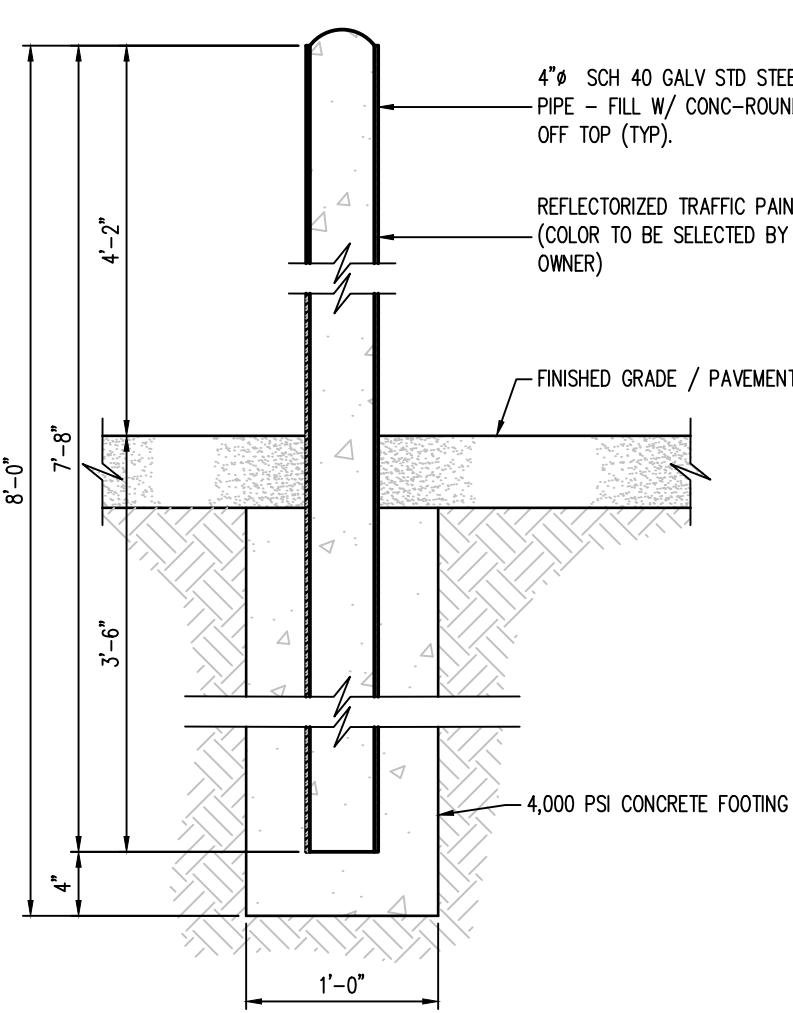
**15 CONCRETE SIDEWALK DETAIL (PRIVATE)**  
NOT TO SCALE



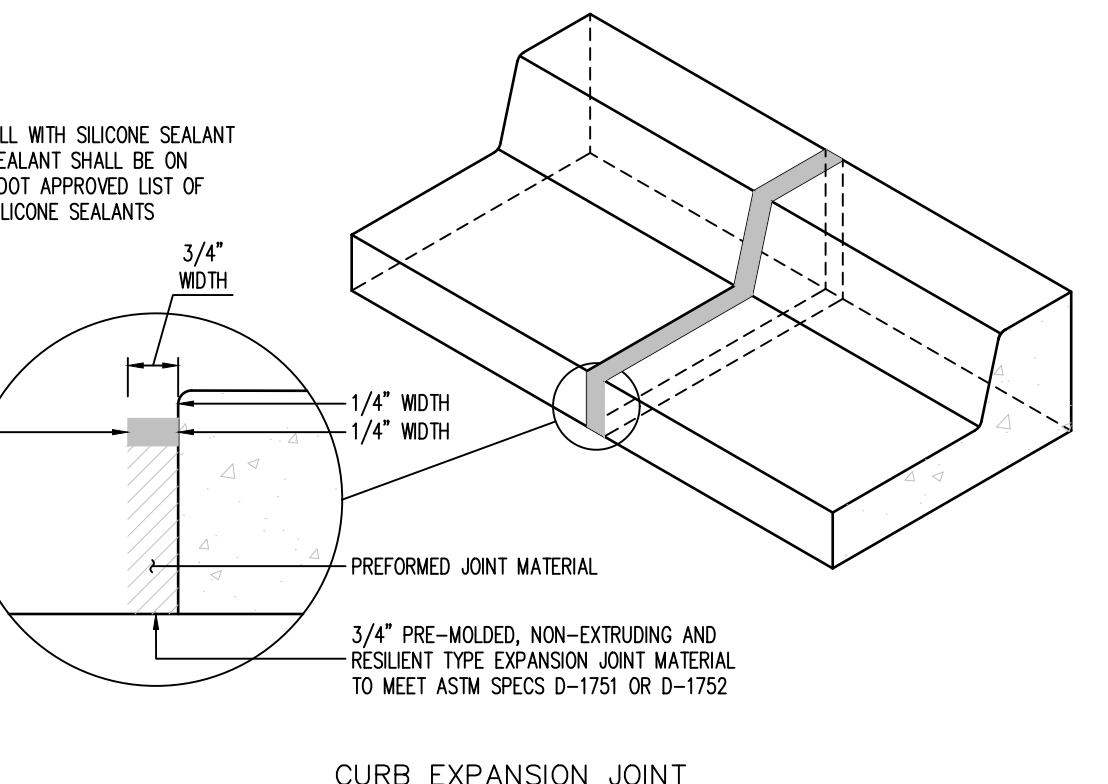
**14 CONCRETE PAVING DETAIL**  
NOT TO SCALE



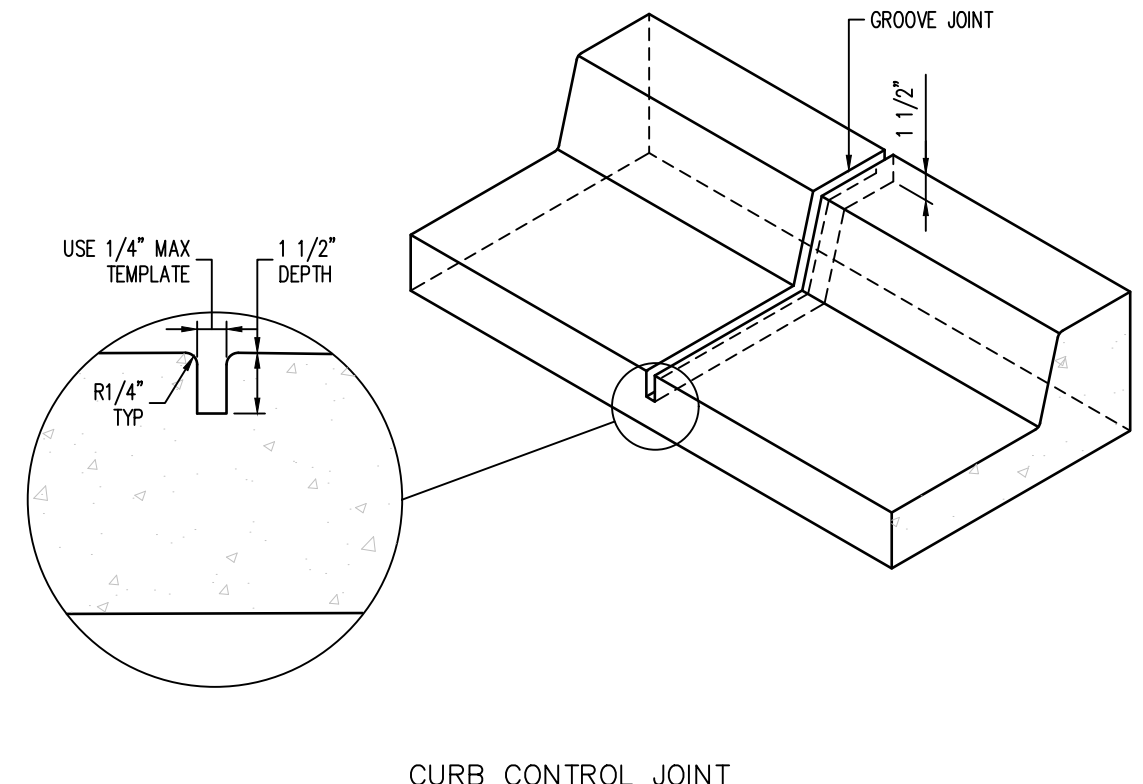
**13 CONCRETE SIDEWALK AT BUILDING**  
NOT TO SCALE



**12 SITE BOLLARD**  
SCALE: 1" = 1'-0"



**16 CURB JOINT DETAIL**  
NOT TO SCALE



**17 CURB CONTROL JOINT**  
NOT TO SCALE

15/03/2025 10:00 AM C:\Users\galloway\OneDrive\Documents\19590 Main Street\19590 Main Street.dwg





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CIVIL CONSTRUCTION DRAWINGS

19590 MAINSTREET  
PARKER, CO

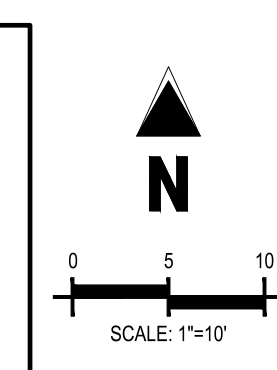
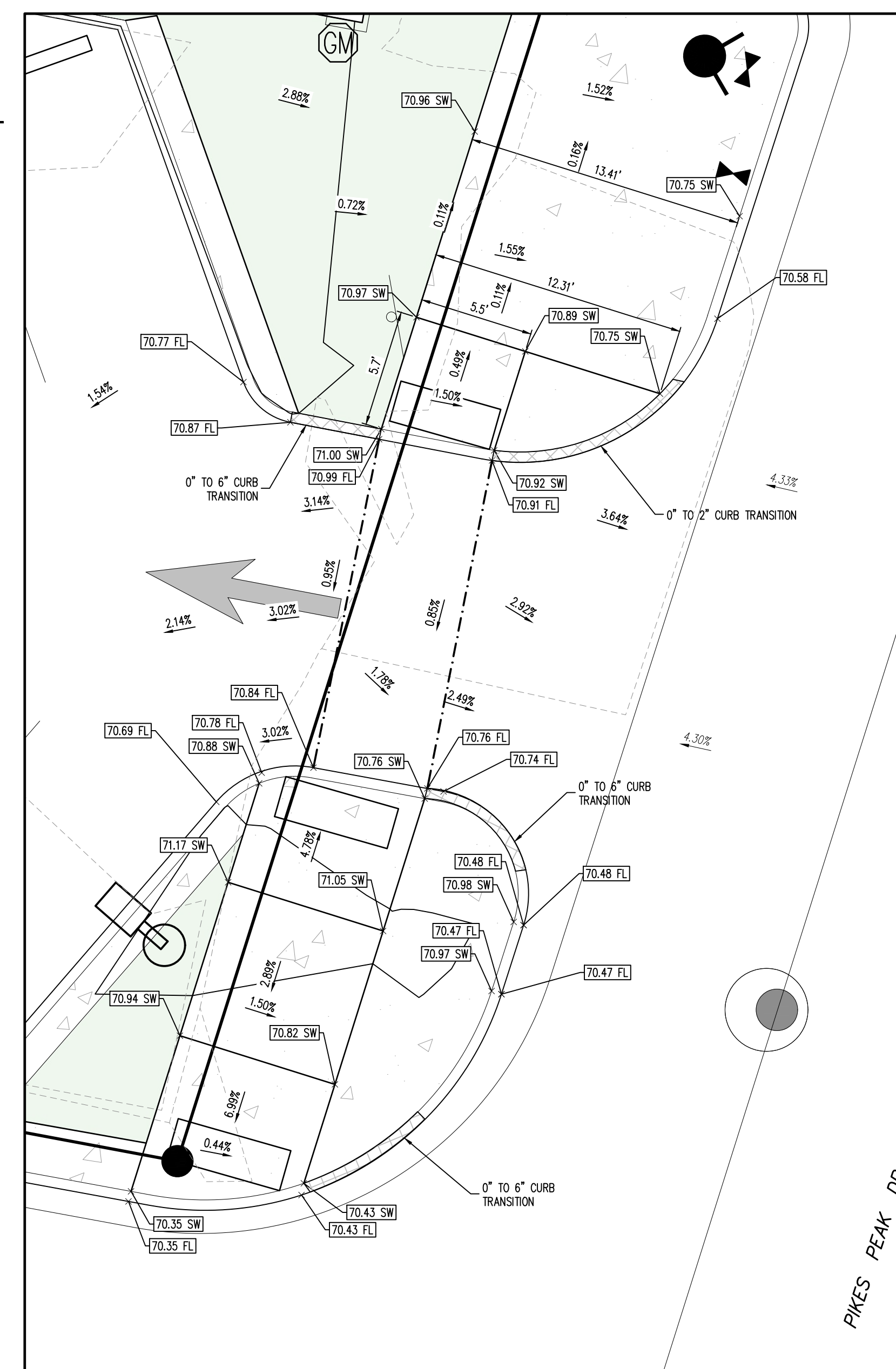
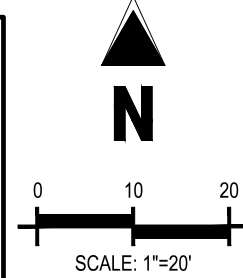
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GRADING PLAN

**C1.6**

7 OF 18

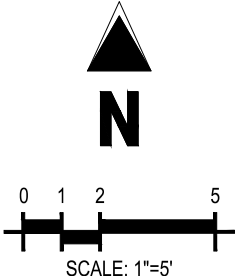
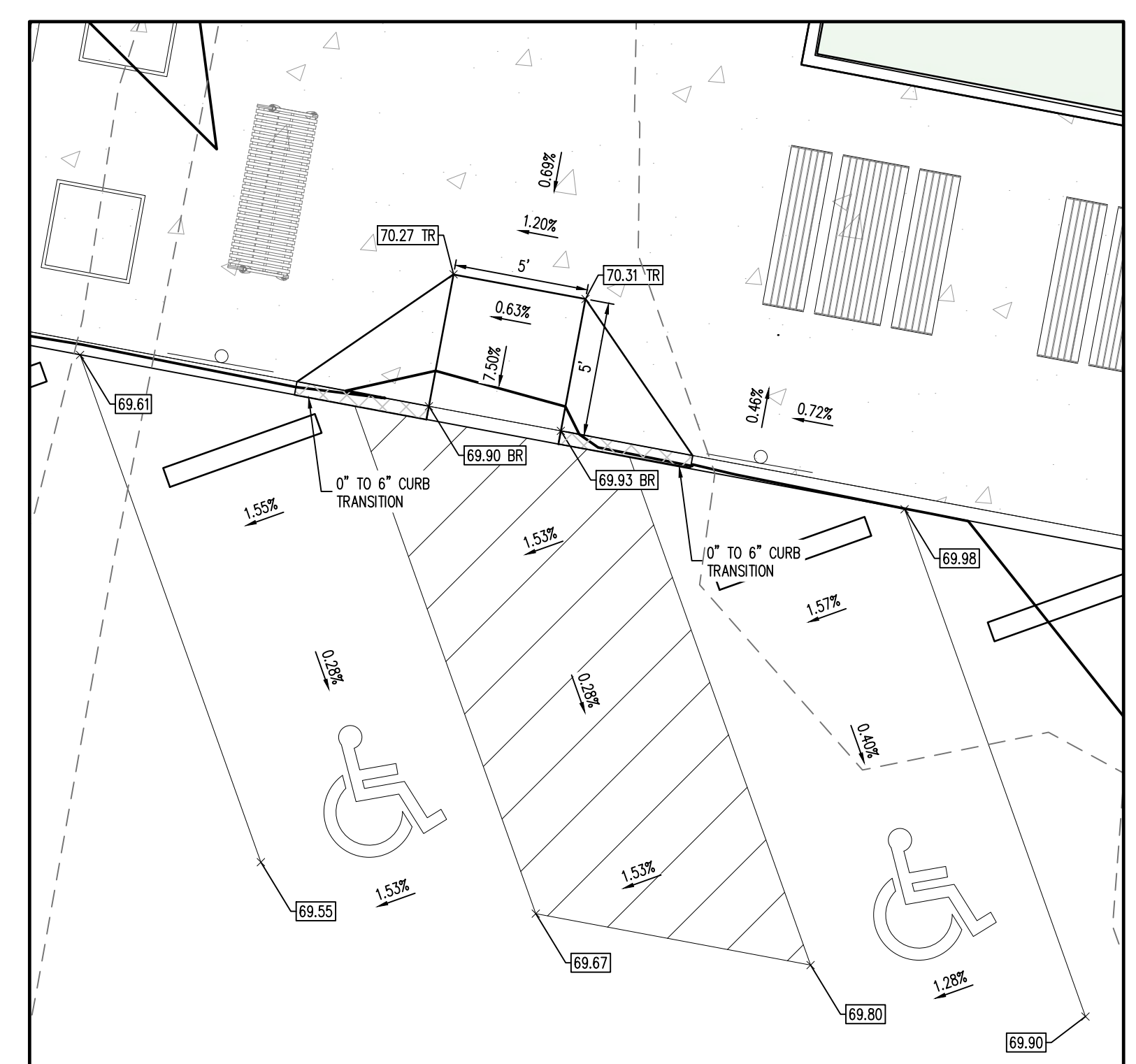


**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- ROAD CENTERLINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - SETBACK LINE
- ▲ SITE TRIANGLE
- - - PROPOSED SAWCUT LINE
- PROPOSED SWALE FLOWLINE
- EXISTING TO REMAIN
- PROPOSED NEW
- PROPOSED EDGE OF ASPHALT
- PROPOSED EDGE OF GRAVEL
- PROPOSED CURB AND GUTTER
- PROPOSED CATCH CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- EXISTING FENCE TO REMAIN
- x - x - x - PROPOSED FENCE
- x - x - x - EXISTING FENCE
- LIMITS OF ARCHITECTURAL SCOPE
- ADA PATH OF TRAVEL
- 1) PARKING COUNT
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED PIPE BOLLARD
- PROPOSED ADA PARKING SYMBOL
- PROPOSED WHEEL STOP
- PROPOSED DETECTABLE WARNING TRUNCATED DOMES
- EXISTING ELECTRICAL PULL BOX
- PROPOSED PAD MOUNTED TRANSFORMER
- EXISTING LIGHT POLE
- PROPOSED SITE LIGHTING
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING TREE

**GRADING LEGEND**

- 5460 — EXISTING MAJOR CONTOUR
- 52 — EXISTING MINOR CONTOUR
- 5485 — PROPOSED MAJOR CONTOUR
- 66 — PROPOSED MINOR CONTOUR
- SD — EXISTING STORM SEWER (LESS THAN 12")
- SD — EXISTING STORM SEWER (12" AND LARGER)
- SD — PROPOSED STORM SEWER (LESS THAN 12")
- SD — PROPOSED STORM SEWER (12" AND LARGER)
- PROPOSED GRADE BREAK
- 15.00 — PROPOSED SPOT ELEVATION
- TC — PROPOSED TOP OF CURB ELEVATION
- FL — PROPOSED FLOWLINE ELEVATION
- FF — FINISHED FLOOR
- FG — FINISHED GRADE
- SW — TOP OF SIDEWALK
- HP — HIGH POINT
- LP — LOW POINT
- ME — MATCH EXISTING
- BR — BOTTOM OF RAMP
- TR — TOP OF RAMP



GRADING ENLARGEMENT 1  
SCALE: 1" = 5'

**SOIL PREPARATION AND PAVEMENT DESIGN NOTE**  
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PARKER EXCHANGE BUILDING PARKING LOT RECONSTRUCTION  
GEOTECHNICAL ENGINEER: KUMAR & ASSOCIATES, INC.  
PROJECT NO: 24-11-257 DATE: APRIL 18, 2024  
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

**GRADING NOTES**

- ADD 5800 TO ALL SPOT GRADE ELEVATIONS.
- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO BID.
- NO WORK IS TO BEGUN UNTIL ALL PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL STATE AND LOCAL STORMWATER DISCHARGE AND EROSION CONTROL PERMITS ON SITE PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- THIS DESIGN IS BASED ON A SOIL AND FOUNDATION INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTOR.
- ALL LANDSCAPING AREAS SHALL BE GRADED WITHIN 0.10' OF DESIGN WITH APPROVED TOP SOIL TO A MINIMUM DEPTH AS SPECIFIED BY THE LANDSCAPE ARCHITECT AND CITY SPECIFICATIONS.
- ALL SPOT GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ON-SITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR INFORMATION.
- GENERAL CONTRACTOR SHALL PROVIDE BARRICADE PROTECTION AS REQUIRED BY THE CITY AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- THE PROPOSED STORM SEWER SYSTEM ON-SITE IS PRIVATELY OWNED AND MAINTAINED.
- EXCAVATION AND EMBANKMENT SHALL MEET SECTION 203 OF CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR REQUIREMENTS OTHERWISE SET FORTH IN THE APPROVED SOILS REPORT.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- TOP OF GRATE (TOG) AND FLOWLINE (FL) SPOT GRADES AT INLETS DO NOT INCLUDE GUTTER DEPRESSION.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

**BENCHMARK INFORMATION**

THE BENCHMARK USED FOR THIS SURVEY IS DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042. A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINE OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W. ELEVATION=5889.09

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE



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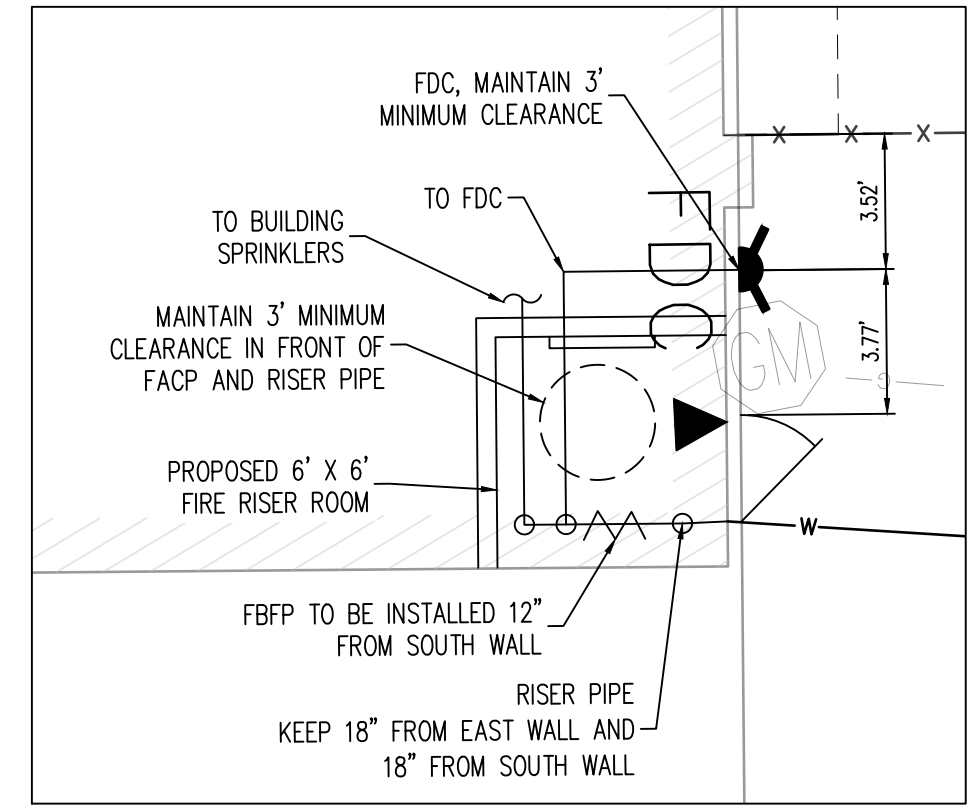
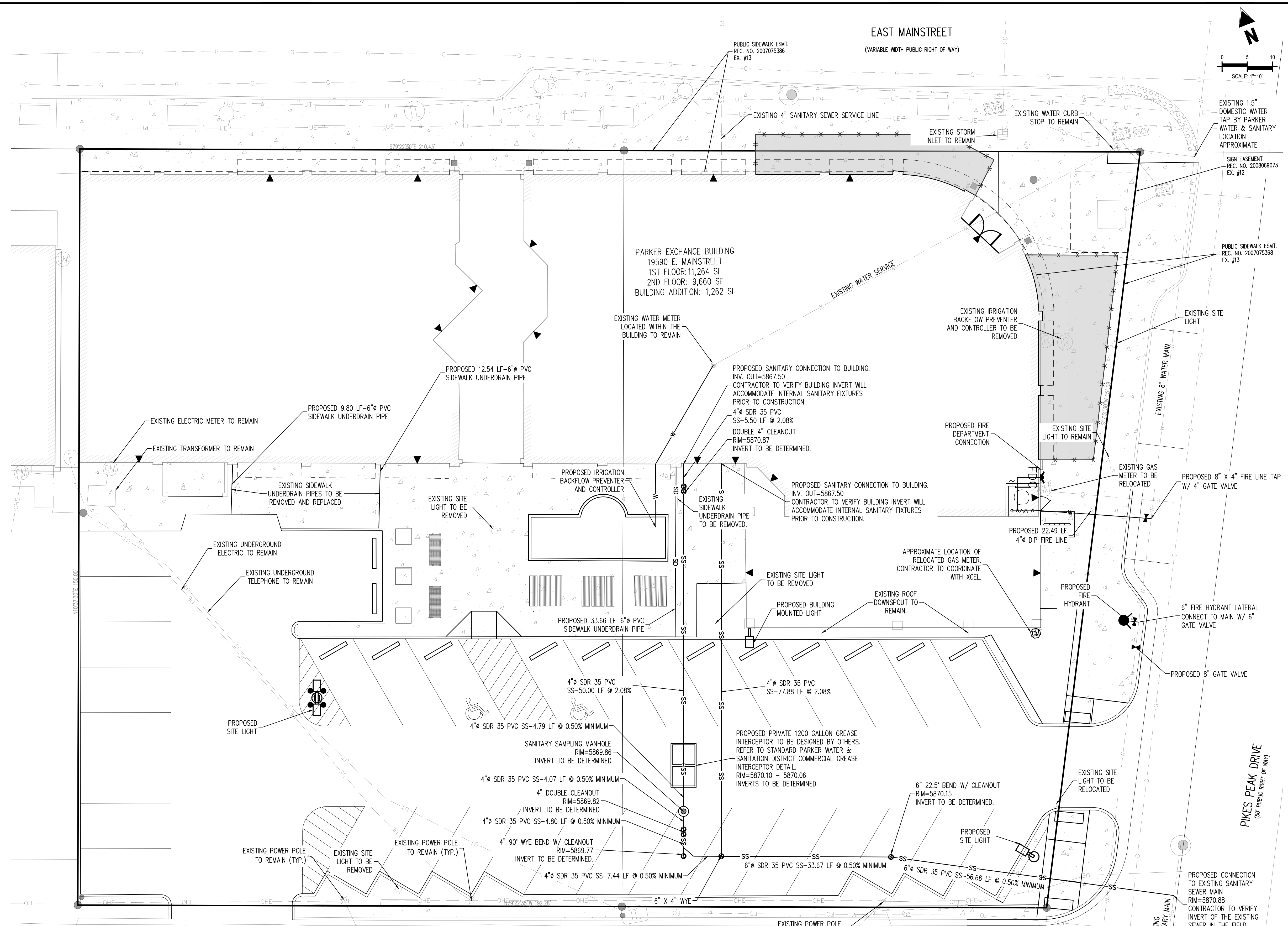
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OVERALL UTILITY PLAN

**C1.7**  
 8 OF 10



**FIRE RISER ROOM SCHEMATIC LAYOUT**  
 SCALE: 1" = 5'

**NOTE**  
 FIRE RISER ROOM LAYOUT TO BE FINALIZED WITH INTERIOR REMODEL. PROJECT LOCATIONS OF EQUIPMENT ARE APPROXIMATE. REQUIRED CLEARANCES SHALL BE MAINTAINED.

**NOTE:**  
 1. ANY PROPOSED UTILITY CONNECTION WITHIN AN EXISTING ROADWAY WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN REQUIRES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK.

**FIRE CODE REVIEW BLOCK**

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative \_\_\_\_\_ Date \_\_\_\_\_

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS \_\_\_\_\_ DATE \_\_\_\_\_

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	ADJACENT PROPERTY BOUNDARY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	SETBACK LINE
	SITE TRIANGLE
	PROPOSED SAWNOT LINE
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED PIPE BOLLARD
	PROPOSED ADA PARKING SYMBOL
	PROPOSED WHEEL STOP
	PROPOSED DETECTABLE WARNING TRUNCATED DOMES
	EXISTING TREE
	BUILDING ENTRANCE

**UTILITY LEGEND**

	EXISTING WATER LINE		EXISTING PAD MOUNTED TRANSFORMER
	PROPOSED WATER LINE		EXISTING STORM INLET
	EXISTING SANITARY SEWER		EXISTING WATER VALVE
	PROPOSED SANITARY SEWER		PROPOSED WATER VALVE
	EXISTING STORM SEWER		PROPOSED FIRE HYDRANT
	PROPOSED STORM SEWER (LESS THAN 12")		EXISTING TRAFFIC VAULT
	EXISTING UNDERGROUND ELECTRICAL		EXISTING TELEPHONE PEDESTAL
	EXISTING UNDERGROUND TELEPHONE		EXISTING TELEPHONE VAULT
	EXISTING FIBER OPTIC LINE		EXISTING STORM SEWER MANHOLE
	EXISTING GAS LINE		EXISTING SANITARY SEWER MANHOLE
	EXISTING OVERHEAD ELECTRICAL		EXISTING SANITARY SEWER CLEANOUT
	EXISTING STREET LIGHT		PROPOSED SANITARY SEWER CLEANOUT

**PILGRIMS PLACE**  
 (32' PUBLIC RIGHT OF WAY)

**PIKE'S PEAK DRIVE**  
 (50' PUBLIC RIGHT OF WAY)

1/14/2025 10:00 AM C:\Users\jgalloway\OneDrive\Desktop\19590 Main Street\19590 Main Street\19590 Main Street.dwg



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PARKER, CO

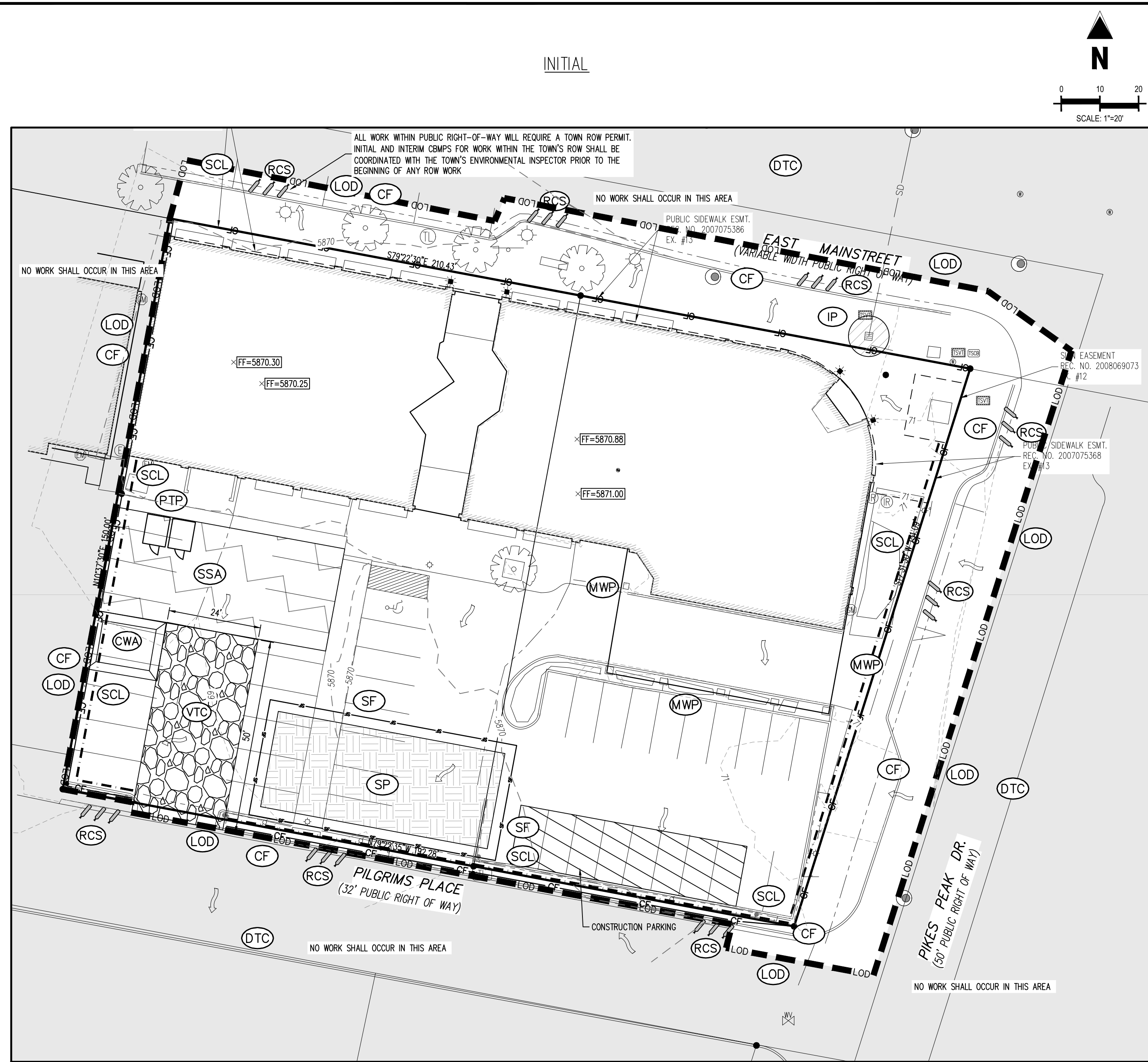
#	Date	Issue / Description	Int'l.
0	03/07/2025	ISSUED FOR CONSTRUCTION	TDK

Project No.	MSG00001
Drawn By:	HCH
Checked By:	TDK
Date:	MARCH 2025

EROSION CONTROL PLAN

**C1.8**

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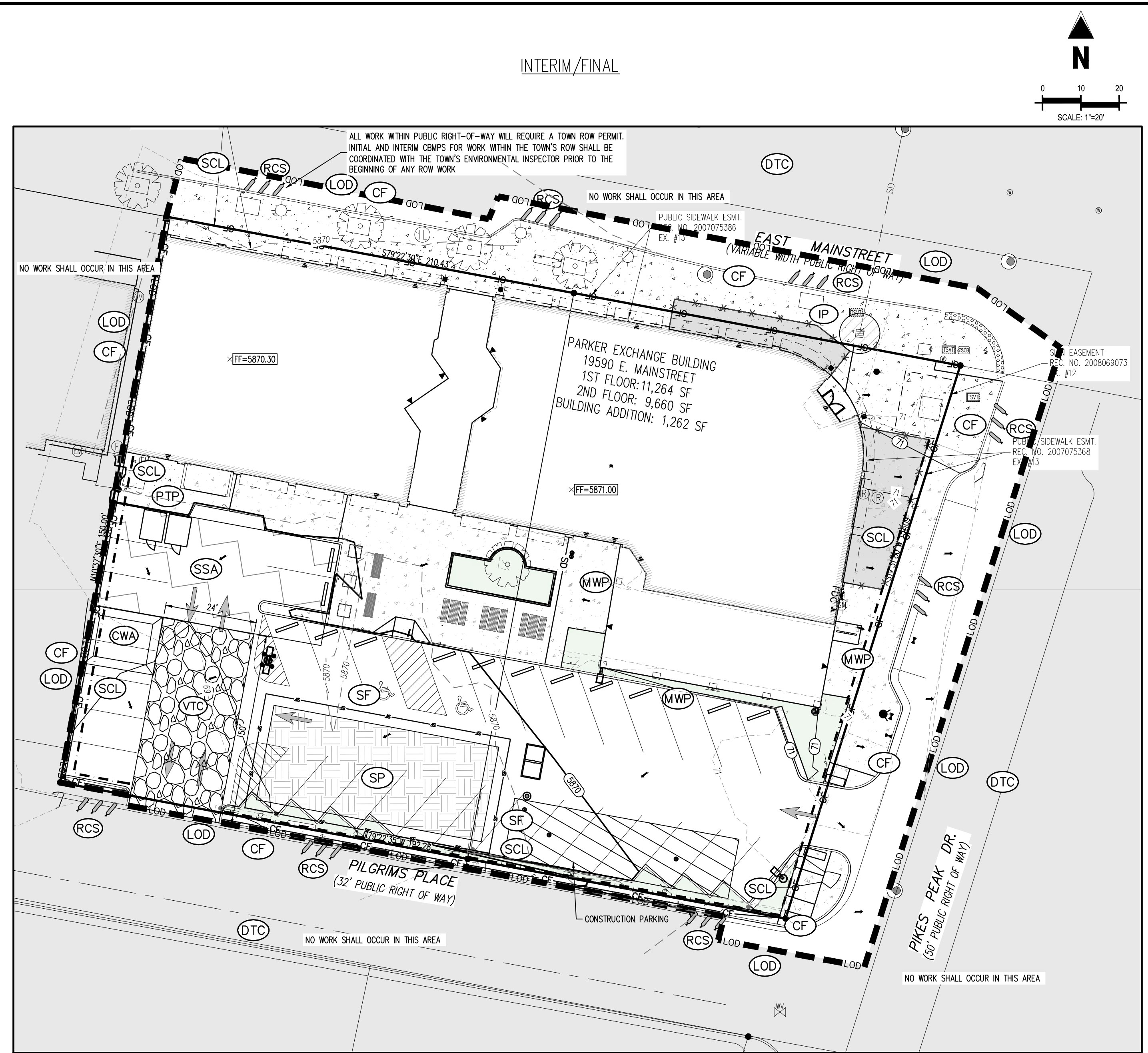
**EROSION CONTROL LEGEND**

---	5460	EXISTING MAJOR CONTOUR
---	52	EXISTING MINOR CONTOUR
---	5465	PROPOSED MAJOR CONTOUR
---	60	PROPOSED MINOR CONTOUR
---	SD	EXISTING STORM SEWER (LESS THAN 12")
---	SD	EXISTING STORM SEWER (12" AND LARGER)
---	SD	PROPOSED STORM SEWER (LESS THAN 12")
---	SD	PROPOSED STORM SEWER (12" AND LARGER)
---		PROPOSED RIDGE LINE
---		EXISTING FLOW ARROW
---		FLOW ARROW
---	LOD	LIMITS OF DISTURBANCE
---	SCL	SEDIMENT CONTROL LOG
---	VTC	VEHICLE TRACKING CONTROL
---	CWA	CONCRETE WASHOUT AREA
---	SSA	STABILIZED STAGING AREA
---	IPS	SUMP INLET PROTECTION (P-3)
---	RS	ROCK SOCKS
---	SC	PROPOSED SAWCUT LINE
---	SF	SILT FENCE
---	CF	CONSTRUCTION FENCE
---	PT	PORTABLE TOILET
---	SP	SITE POSTING (CONTACTS AND PERMITS)
---	WP	WASHOUT POSTING

**SITE LEGEND**

---		PROPERTY BOUNDARY LINE
---		ADJACENT PROPERTY BOUNDARY LINE
---		EXISTING EASEMENT LINE
---		SITE TRIANGLE
---		PROPOSED SAWCUT LINE
---		PROPOSED CURB AND GUTTER
---		EXISTING CURB AND GUTTER
---		PROPOSED SIDEWALK
---		ADA PATH OF TRAVEL
---		PARKING COUNT
---		EXISTING SIGN
---		PROPOSED SIGN
---		PROPOSED PIPE BOLLARD
---		PROPOSED ADA PARKING SYMBOL
---		PROPOSED WHEEL STOP
---		PROPOSED DETECTABLE WARNING TRUNCATED DOMES
---		EXISTING TREE
---		BUILDING ENTRANCE

**NOTE:**  
THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.



**NOTES:**

- THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION MAY BE DETERMINED BY THE TOWN AND THE ECS.
- MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
- LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
- ANY ON-SITE BULK FUEL STORAGE REQUIRES A FIRE LINE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.

**VEHICLE TRACKING CONTROL (VTC) NOTICE**  
THE CONSTRUCTION EXIT AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE EXIT WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL-WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

**STABILIZED STAGING AREA (SSA) NOTICE**  
THE STAGING AND STORAGE AREA AT THIS SITE MAY MAKE USE OF A PAVED DRIVE, DEPENDING ON CONTRACTOR'S WORK PHASING. SINCE THIS AREA WOULD CONSIST OF AN IMPERVIOUS SURFACE, A STONE STAGING AREA WOULD NOT BE NEEDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL CONTROL MEASURES AROUND THE STAGING AREA TO PREVENT POLLUTANTS FROM FLOWING TO OTHER SITE AREAS. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED ON ANY EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. ANY WATER USED IN THE STABILIZED STAGING AREA SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

**BMP MAINTENANCE NOTE:**  
ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP, SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESS.

**CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS**  
DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY INTO PORTABLE, IMPERMEABLE BASINS SUCH AS AN ECO-PAN. ALTERNATIVELY, WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIP RAP OR OTHER USEFUL CONCRETE PRODUCTS. THE CURED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. THIS JOBSITE SUPERINTENDENT IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES ARE FOLLOWED. THE LOCATION OF CONCRETE WASHOUT AREAS SHALL BE SHOWN ON THE SITE MAPS. FOLLOW ALL APPLICABLE ENVIRONMENTAL REGULATIONS FOR CONCRETE WASH OUT AREAS.

CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY STABILIZING ALL ON- AND OFF-SITE AREAS DISTURBED DURING CONSTRUCTION, WHETHER THESE AREAS ARE SHOWN ON THE PLAN OR NOT, INCLUDING MAINTENANCE OF ALL CONTROL MEASURES UNTIL A NOTICE OF INACTIVATION HAS ACCEPTED BY THE STATE.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS

DATE

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

**BENCHMARK INFORMATION**

THE BENCHMARK USED FOR THIS SURVEY IS DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042, A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKES PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PACE CENTER DRIVE. ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINE OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W, ELEVATION=5889.09

**CAUTION - NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



















