



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Troy Kelts, Galloway & Company
FROM: Stacey Nerger, Senior Planner
DATE: November 15, 2023
SUBJECT: The Exchange Lot 1 – Site Plan
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
 - a. Example: "02 Site Plan"

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No
 Response:

2. Please change the title on all pages to be the legal description (Exchange Lot 1). See redlines for wording.

Comment Addressed: Yes No
 Response:

3. Please include a Site Data/Development Table. This table should include the proposal along with the existing development on site. This should include proposed use, square feet, height, setbacks, parking, landscaping, etc. An example of table is:

SITE STATISTICS			
ZONING	PD		
LOT AREA	SF	ACRES	% OF TOTAL
GROSS	283,165	6.50	100%
NET	283,165	6.50	100%
SITE DATA	SF	ACRES	% OF TOTAL
BUILDING AREA	14,842	0.34	5.24%
HARDSCAPE AREA	134,150	3.08	47.37%
LANDSCAPE AREA (REQD: 15%)	134,182	3.08	47.39%
TOTAL	283,174	6.50	100%

PARKING	GFA (SF)	PARKING FORMULA	REQUIRED	PROVIDED
MEDICAL OFFICE BUILDING	29,556	1 PER 300 SF***	99	150**
ACCESSIBLE SPACES			4+1 VAN*	4+1 VAN*
BICYCLE PARKING	29,556	2 PER 10,000 SF	6	6

**ACCESSIBLE SPACES ARE INCLUDED IN THE TOTAL REQUIRED SPACES
 ***ELECTRICAL CHARGING STATIONS WILL BE PROVIDED FOR LEED

LEGAL DESCRIPTION:
 LOT 3, PINE BLUFFS PLING NO.4, MINOR DEVELOP
 COUNTY OF DOUGLAS, STATE OF COLORADO.

Comment Addressed: Yes No
 Response:

4. Please label all building setbacks to all property lines (see redlines for areas needing measurements). Per the Greater Downtown District Historic Center District, buildings shall require a 0' front setback and there are no required setbacks only the side or rear. However, commercial buildings shall provide for a minimum of 18 feet along the fronts that provides two activity zones: an amenity or buffer zone where street trees, street and pedestrian lights, and other street furniture are located; and a walking zone with a minimum width of eight feet, clear

of obstructions. This area is measured from the back of curb.

Please include this information within the Site Data Table.

Comment Addressed: Yes No

Response:

5. Please include an existing conditions map as the second page of the Site Plan Set.

Comment Addressed: Yes No

Response:

Parking

- 1. Pursuant to Section 13.06.050 (i) (2) For expansions, changes of use, or modifications to existing buildings and property within the Historic Center, Pikes Peak Center, and Town Center, up to three thousand (3,000) square feet of net leasable area per lot shall be excluded from the calculations required by this Section.**

Please provide a breakdown of the existing parking and the proposed parking. Within the parking table (site data table) please add an asterisk that states the addition size along with the code section above that exempts this from additional parking requirements.

Comment Addressed: Yes No

Response:

- 2. Pursuant to Section 13.06.050 (f) (2) Each off-street parking space, other than parallel spaces, shall be nine (9) feet in width and eighteen (18) feet in length, with an unobstructed front-end overhang. Parking spaces adjacent to landscape islands shall be ten (10) feet in width or a concrete strip, at least eighteen (18) inches wide, shall be provided on the adjacent side of the island for pedestrians to step out of the car.**

Please ensure that all parking spaces adjacent to landscape islands meet the minimum requirements outlined above.

Comment Addressed: Yes No

Response:

- 3. Pursuant to Section 13.06.060 Bicycle parking requirements state that 2 spaces are required for each 10,000 square feet of floor area, not to exceed 10. It does not look like a bike rack currently exists which would make this legal nonconforming. However, with the addition, a bike rack will be required. Based on this just the addition a minimum of 1 rack which will provide 2 bicycle parking spaces will be required. Please add the required and provided bicycle parking to the site data table.

Comment Addressed: Yes No
Response:

- 4. Please provide an image of the bicycle rack including the material and color.

Comment Addressed: Yes No
Response:

Landscaping

- 1. Please provide landscape summary table similar to the example provided in the redlines. This summary table should include the required, existing and proposed landscape calculations for the different required sections of the Town Code.

Comment Addressed: Yes No
Response:

- 3. Pursuant to the Greater Downtown District Historic Center: A minimum of ten (10) percent of the total site area shall be designated for landscaping, plazas, pocket parks and/or open space. If the site currently does not meet the minimum ten percent requirement, the site would be considered legal nonconforming, but the amended conditions should not include less. The proposed plaza along the south side of the building can be included within the calculation for landscaping.

Comment Addressed: Yes No
Response:

- 4. Pursuant to Section 13.06.070 the Town of Parker LDO; there are several additional landscaping requirements (Site Perimeter, Parking Lot Perimeter, etc.) that are required. Please outline areas

that are required, what exists and what is proposed. If required landscaping is proposed to be reduced, a justification or additional process may be required.

Comment Addressed: Yes No

Response:

- 5. Please verify the numbers listed within the landscape requirement table to ensure the numbers listed as provided are correct.**

Comment Addressed: Yes No

Response:

- 6. Please provide an irrigation plan. This needs to be reviewed by the Parker Water and Sanitation District.**

Comment Addressed: Yes No

Response:

Lighting

- 1. Pursuant to Section 13.10.140 (c) (7) the maximum luminance permitted at the property lines is 1.0 footcandles. Please see redlines for areas where this is exceeded. If this excess light is provided by offsite lighting, please either amend the plans to remove these lights or add a note.**

Comment Addressed: Yes No

Response:

- 2. Please include the color of each luminaire within the lighting table. The color should be consistent throughout the site.**

Comment Addressed: Yes No

Response:

Building Elevations

1. Please see the attached redlines.

Comment Addressed: Yes No

Response:

2. All mechanical equipment is required to be screened from view. Please ensure that all mechanical equipment will be screened from view by either a wall or landscaping.

Comment Addressed: Yes No

Response:

3. Please note that no signage is approved as part of this Site Plan. Please remove all signage shown on the Site Plan to avoid confusion. The proposed mural is not considered signage and will be approved as part of the Site Plan.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Building
- Fire Life Safety
- Parker Water and Sanitation District
- Town of Parker Construction Plans - Environmental

The following agencies have not provided comments as of this memo. Please continue to watch eTRAKiT for these comments to be uploaded:

- IREA
- Town of Parker Engineering and Stormwater

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Staff Comments 01
SP23-080; The Exchange Lot 1
Site Plan
November 15, 2023

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

EXCHANGE LOT 1

The main title of the document should be the legal description of the property.

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET

PROJECT CONTACTS

PROPERTY OWNER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

APPLICANT/DEVELOPER

PARKER MAINSTREET EXCHANGE LLC
19501 E MAINSTREET, SUITE 200
PARKER, CO 80138
TEL: 303-210-4417
ATTN: TONY MANGO

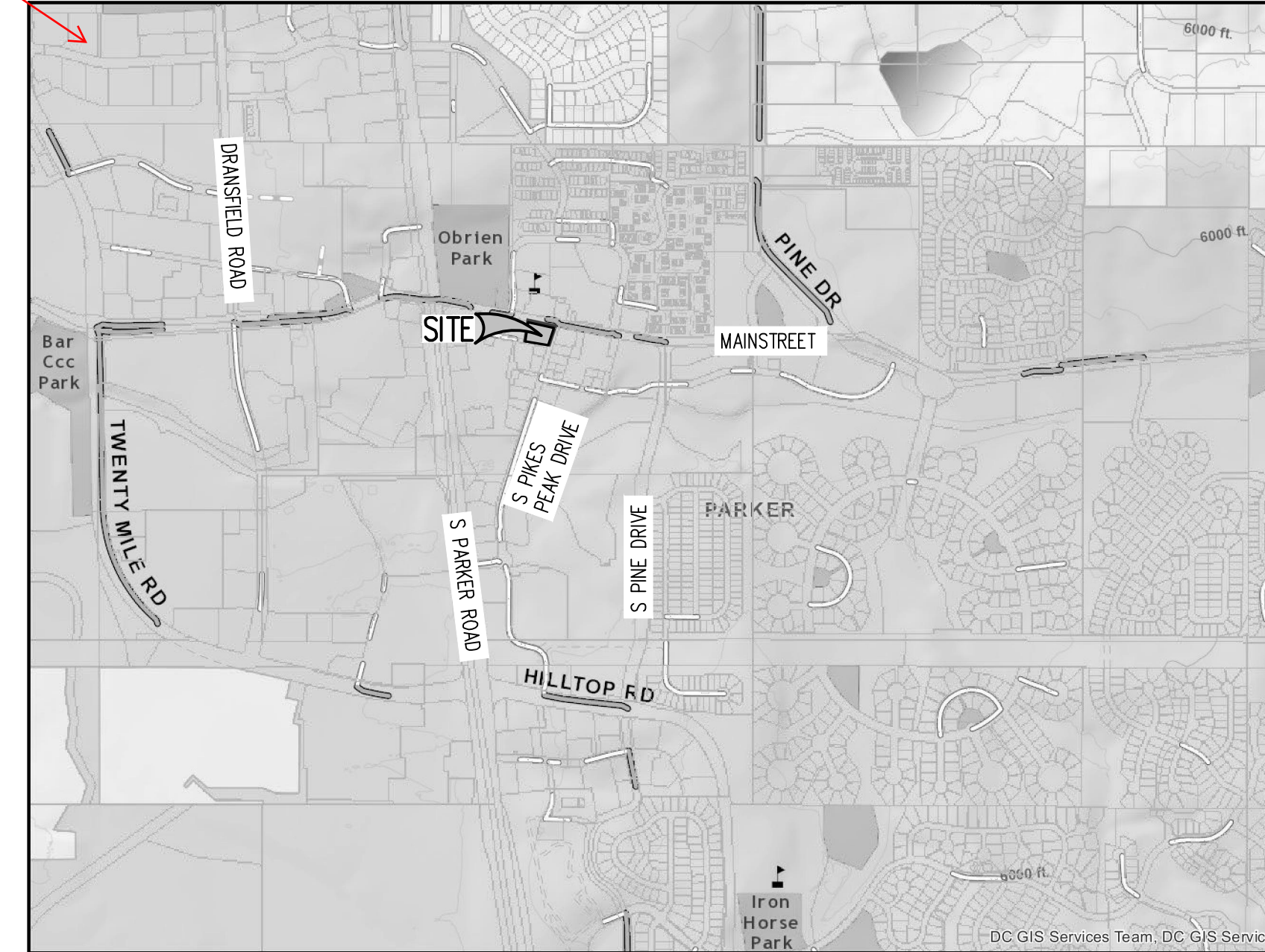
CIVIL ENGINEER

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
ATTN: TROY KELTS, PE

TOWN OF PARKER STANDARD CONSTRUCTION NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, CUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WOOD-PE-82, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREAM THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

Zoom this map in so the property is more visible.



VICINITY MAP
SCALE: 1" = 1000'

LEGAL DESCRIPTION

PARCEL 1:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 0 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST

PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 860.80 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 3 IN BOUNDARY SURVEY OF A PORTION OF PARKER, COLORADO, JOB NO. 272-3985, DATED JUNE 18, 1981 AND RECORDED JULY 16, 1981 AT RECEPTION NO. 271187 OF THE DOUGLAS COUNTY RECORDS AND THE TRUE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF EAST PARKER ROAD A DISTANCE OF 108.00 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED AS PARCEL 9 IN ABOVE DESCRIBED BOUNDARY SURVEY; THENCE SOUTH 10 DEGREES 37 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID PARCEL 9 A DISTANCE OF 150.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE AND THE SOUTHWEST CORNER OF THE AFOREMENTIONED PARCEL 9; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE A DISTANCE OF 108.00 FEET TO THE SOUTHEAST CORNER OF AFOREMENTIONED PARCEL 3; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID PARCEL 3 A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

PARCEL 11:

A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 22; THENCE SOUTH 00 DEGREES 13 MINUTES 03 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST 1/4 1276.34 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST PARKER ROAD; THENCE SOUTH 79 DEGREES 16 MINUTES 30 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE 860.80 FEET; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH RIGHT OF WAY LINE 108.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 79 DEGREES 22 MINUTES 30 SECONDS EAST, ALONG SAID SOUTH LINE, 102.43 FEET TO THE WEST RIGHT OF WAY LINE OF PIKE'S PEAK DRIVE; THENCE SOUTH 17 DEGREES 31 MINUTES 30 SECONDS WEST, ALONG SAID WEST RIGHT OF WAY LINE, 151.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST UNIVERSITY PLACE; THENCE NORTH 79 DEGREES 22 MINUTES 30 SECONDS WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 84.28 FEET; THENCE NORTH 10 DEGREES 37 MINUTES 30 SECONDS EAST, 150.00 FEET TO THE POINT OF BEGINNING.

BENCHMARK

DOUGLAS COUNTY GIS CONTROL MONUMENT 1.085042; A 3.25" ALUMINUM CAP AT THE GROUND SURFACE APPROXIMATELY 92' SOUTH OF THE CENTERLINE OF PIKE'S PEAK AVENUE AND APPROXIMATELY 433' EAST OF THE CENTERLINE OF PIKE CENTER DRIVE, ALSO BEING 42' WEST BY 21' NORTH OF THE CENTERLINES OF THE ADJACENT CONCRETE PATHS. APPROXIMATE POSITION LAT 39.516689 N, LONG -104.754294 W, ELEVATION=5889.09

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS N89°33'17"E ALONG THE NORTH LINE OF LOT 1 AND LOT 2 BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON. THIS BEARING IS ASSUMED AS DOES NOT MATCH THE BEARING FOR THE NORTH BOUNDARY OF THE SUBDIVISION.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

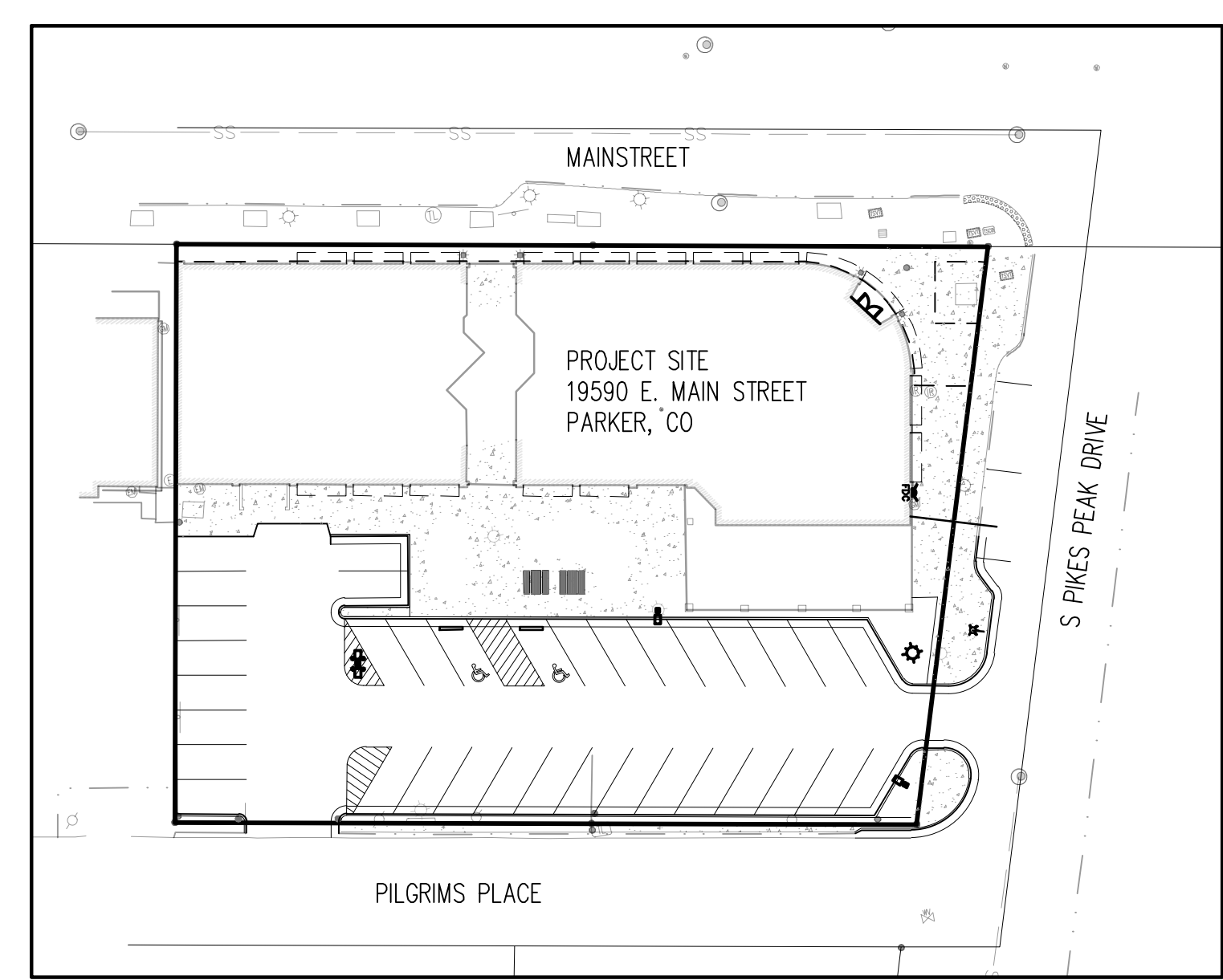
NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Please include a Site Development Table that outlines the proposed development. Since this includes an existing building, please include existing and proposed information (Building sq ft, parking, landscaping, setbacks, height, etc.). Please also include the proposed use of the addition. This way we can verify that the proposed use is permitted in zoning.



LOCATION MAP
SCALE: 1" = 40'

SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	SITE PLAN
3	LANDSCAPE PLAN
4	LANDSCAPE DETAILS
5	PHOTOMETRIC PLAN
6	PHOTOMETRIC DETAILS
7	FIRST FLOOR PLAN - EXISTING CONDITIONS
8	SECOND FLOOR PLAN - EXISTING CONDITIONS
9	FIRST FLOOR PLAN - PROPOSED CONSTRUCTION
10	SECOND FLOOR PLAN - PROPOSED CONSTRUCTION
11	ROOF PLAN - PROPOSED CONSTRUCTION
12	PLANNING ELEVATIONS
13	PLANNING ELEVATION DETAILS
14	PLANNING ELEVATION DETAILS
15	EXISTING SITE IMAGES

Please include an existing conditions map.

LIST OF ABBREVIATIONS

- SHT - SHEET
- Δ - DEFLECTION ANGLE
- L - LENGTH
- R - RADII
- CB - CHORD BEARING
- C - CHORD LENGTH
- N - NORTH/NORTHING
- W - WEST
- E - EAST/EASTING
- S - SOUTH
- DET - DETAIL
- EX - EXISTING
- W/ - WITH
- PC - POINT OF CURVATURE/PORTLAND CEMENT
- WWF - WELDED WIRE FABRIC
- VERT - VERTICAL
- OC - ON CENTER
- FDC - FIRE DEPARTMENT CONNECTION
- CT - COURT
- DR - DRIVE
- TYP - TYPICAL
- REC - RECEPTION NUMBER
- Ø, DIA - DIAMETER
- PT - POINT OF TANGENCY
- MIN - MINIMUM
- MAX - MAXIMUM
- HDPE - HIGH DENSITY POLYETHYLENE

PREPARED BY:

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884 • galloway.com

COVER SHEET

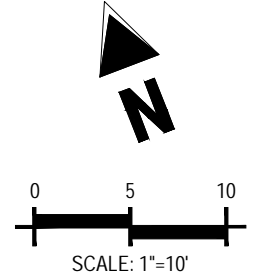
1

1 OF 15

Please provide the distances as required by code. See Planning memo for more information.

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



SITE LEGEND

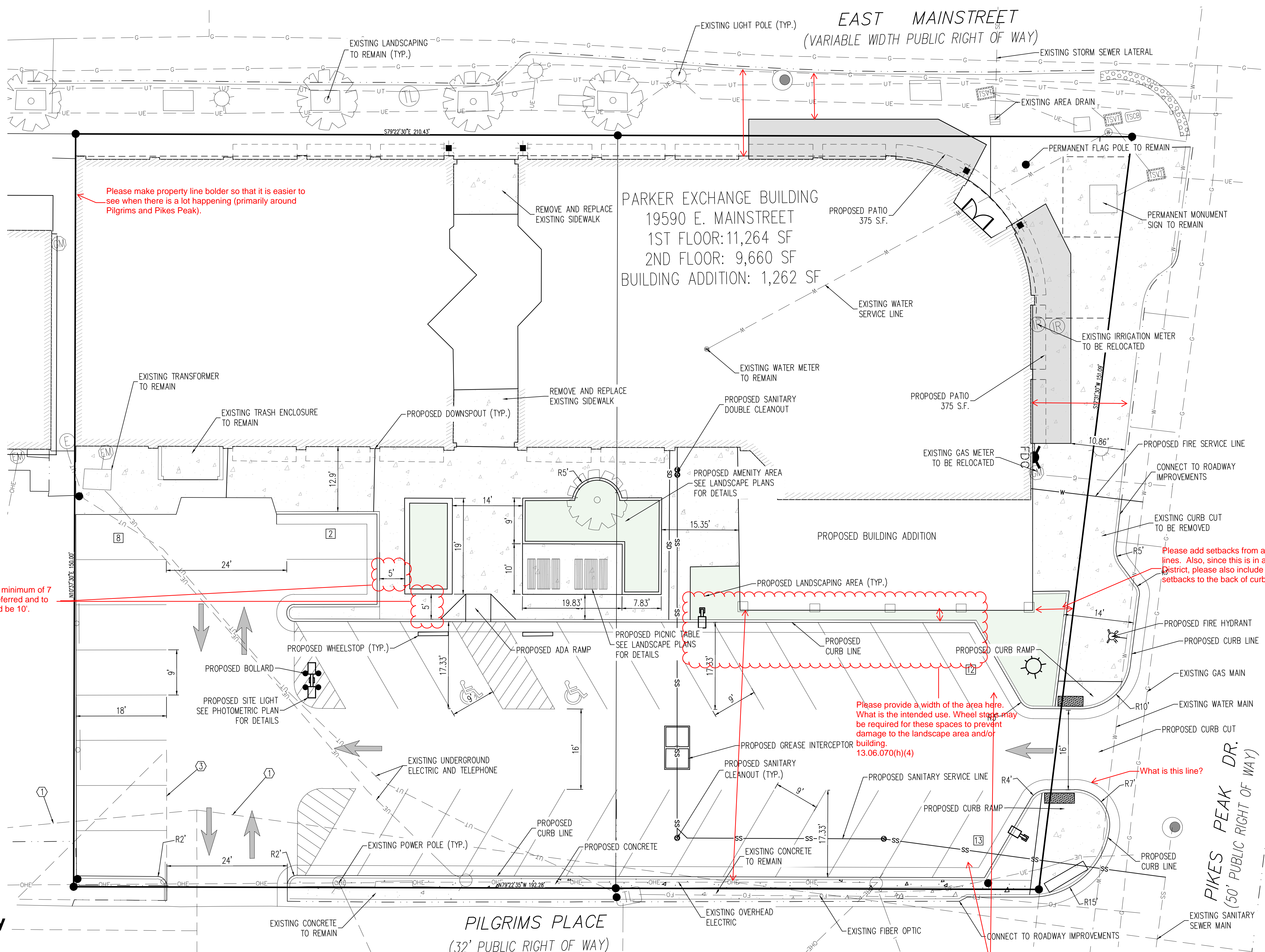
- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EXISTING EASEMENT LINE
- SITE TRIANGLE
- PROPOSED SAWCUT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- ADA PATH OF TRAVEL
- PARKING COUNT
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED PIPE BOLLARD
- PROPOSED ADA PARKING SYMBOL
- PROPOSED WHEEL STOP
- PROPOSED DETECTABLE WARNING TRUNCATED DOMES
- EXISTING TREE
- BUILDING ENTRANCE

UTILITY LEGEND

- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER (LESS THAN 12")
- PROPOSED STORM SEWER (12" AND LARGER)
- EXISTING STORM SEWER (12" AND LARGER)
- PROPOSED STORM SEWER (LESS THAN 12")
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING FIBER OPTIC LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING GAS LINE
- EXISTING ELECTRIC LIGHT POLE
- PROPOSED SITE LIGHTING
- EXISTING ELECTRIC SWITCH BOX
- EXISTING ELECTRIC VAULT
- EXISTING ELECTRIC BOX
- EXISTING PAD MOUNTED TRANSFORMER
- EXISTING FIBER OPTIC PEDESTAL
- EXISTING FIBER OPTIC MANHOLE
- EXISTING FIBER OPTIC PULLBOX
- EXISTING TRAFFIC SIGNAL CABINET
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING TELEPHONE VAULT
- EXISTING GAS VALVE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY STORM MANHOLE
- PROPOSED STORM SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER MANHOLE
- PROPOSED FIRE HYDRANT

SIGHT TRIANGLES

- PEDESTRIAN SIGHT TRIANGLE. THE PEDESTRIAN SIGHT TRIANGLE HAS A 10-FT LEG LOCATED AT THE EDGE OF THE DRIVEWAY AND A 10-FT LEG LOCATED AT THE BACK OF THE SIDEWALK. NO ITEMS THAT ARE WIDER THAN 18-INCHES MAY BE TALLER THAN 30-INCHES WITHIN THIS TRIANGLE.
- ROADWAY SIGHT TRIANGLE. THE ROADWAY SIGHT TRIANGLE HAS A 18-FT LEG LOCATED IN THE CENTER OF THE EXIT LANE OF THE DRIVEWAY 18-FT FROM THE EDGE OF THE TRAVELED WAY. THE SECOND LEG SHALL BE PER AASHTO GUIDELINES FOR DEPARTURE TRIANGLES AND LOCATED IN THE CENTER OF THE APPROACHING LANE. NO ITEMS THAT ARE WIDER THAN 18-INCHES MAY BE TALLER THAN 30-INCHES WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.
- CORNER SIGHT TRIANGLE. THE CORNER SIGHT TRIANGLE HAS A 30-FT LEG LOCATED AT THE EDGE OF EACH STREET FLOWLINE AND A 30-FT LEG LOCATED IN THE INTERSECTING STREETS FLOWLINE. CORNER SIGHT TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.



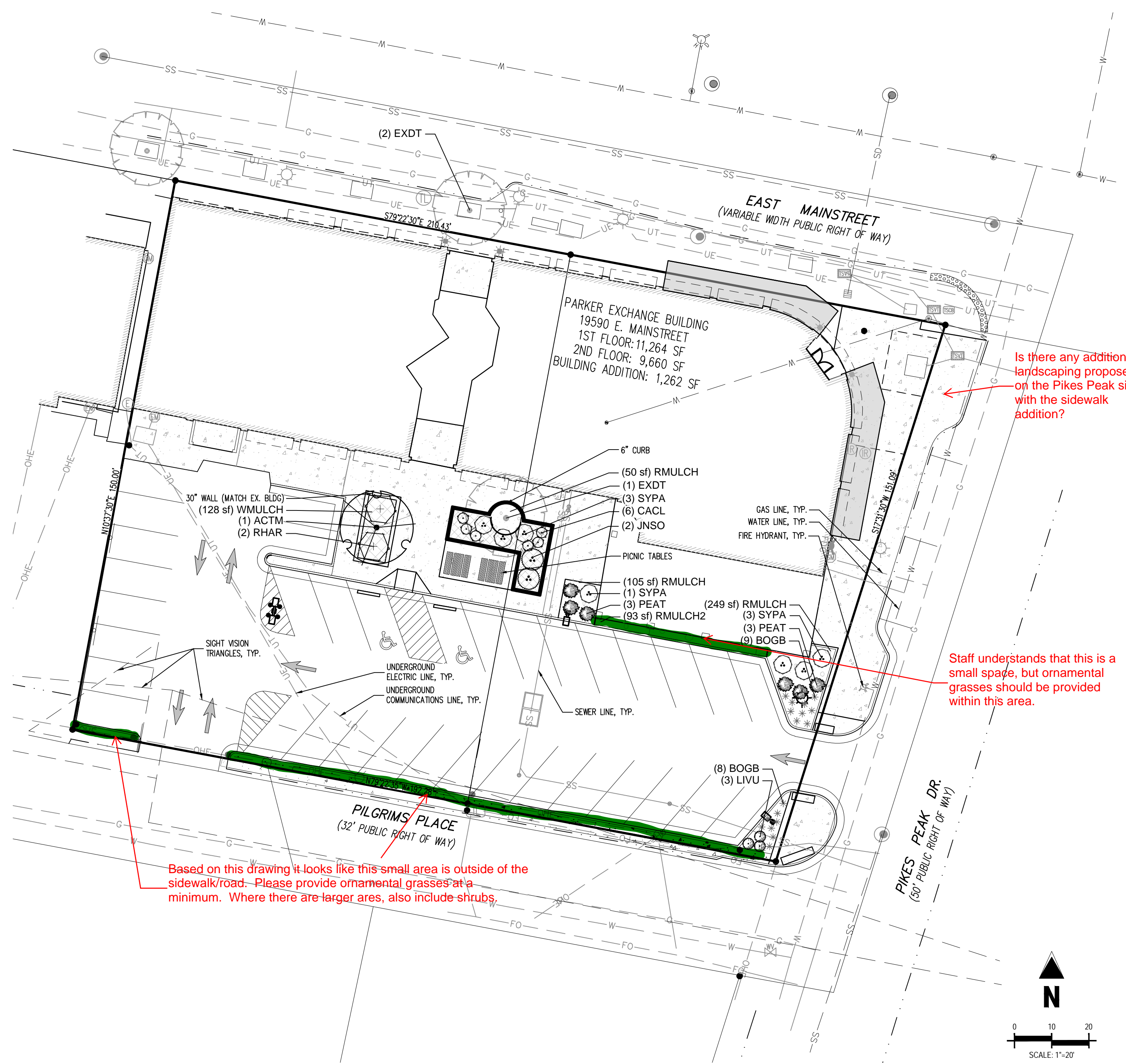
PREPARED BY:
Galloway

SITE PLAN
2
2 OF 15

Parking spaces adjacent to landscape islands are required to 10 feet in width or the landscape island shall include an 18 inch concrete curb to allow people to get out of their cars.

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



Please verify that the quantities listed in this table match the actual plans.

Is there any additional landscaping proposed on the Pikes Peak side with the sidewalk addition?

Staff understands that this is a small space, but ornamental grasses should be provided within this area.

Based on this drawing it looks like this small area is outside of the sidewalk/road. Please provide ornamental grasses at a minimum. Where there are larger areas, also include shrubs.

PLANT SCHEDULE

ORNAMENTAL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
	ACTM	1	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM	B&B	1.5' CAL	25' X 20'	MODERATE	SUN/PART SHADE
EXISTING TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
	EXDT	3	EXISTING DECIDUOUS TREE	TO REMAIN	EXISTING				
DECIDUOUS SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	CACL	6	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5 CONT.	3' X 3'	VERY LOW	SUN	
	LIVU	3	LODENSE PRIVET	LIGUSTRUM VULGARE 'LODENSE'	#5 CONT.	3' X 3'	VERY LOW	SUN/PART SHADE	
	PEAT	6	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	4' X 4'	VERY LOW	SUN	
	RHAR	2	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X 8'	LOW	SUN	
	SYPA	7	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.	5' X 5'	VERY LOW	SUN/PART SHADE	
EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	JNSO	3	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	1' X 6'	VERY LOW	SUN/PART SHADE	
ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	BOGB	18	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#1 CONT.	2' X 2'	LOW	SUN/PART SHADE	
MULCH	CODE	QTY	COMMON NAME	BOTANICAL NAME	TYPE				
	RMULCH	404 SF	2"-4" ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH	MULCH				
								Include required depth of 3"	
	RMULCH2	93 SF	4"-6" ROCK COBBLE MULCH	4"-6" ROCK COBBLE MULCH	MULCH				
								Include required depth of 3"	
	WMULCH	346 SF	WOOD MULCH	WOOD MULCH	MULCH				
								Include required depth of 4"	
13.07.070(i)(3)&(4)									

NOTE: EXISTING IRRIGATION SYSTEM TO BE MODIFIED AS REQUIRED.

Please submit a landscape table for reference. Since most of the site is existing, please provide an existing landscaping breakdown along with what is proposed. Below is an example of what this could look like:

LANDSCAPE REQUIREMENTS

DESCRIPTION	REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
DEVELOPED AREA	15% OF DEVELOPED AREA TO BE LANDSCAPED (313,414 SF X 15% = 47,012 SF) 1 TREE AND 5 SHRUBS PER 1,500 SF OF LANDSCAPE AREA (31 TREES / 157 SHRUBS)	47,012 SF (15%) 31 TREES	282,612 SF (90%) 18 TREES	275,777 SF (88%) 31 TREES TOTAL (13 NEW)
	75% OF LANDSCAPE AREA MUST BE LIVING PLANT MATERIAL	157 SHRUBS	60 SHRUBS*	157 SHRUBS TOTAL (97 NEW)
STREETSCAPE PLANTING	STREET TREES NO MORE THAN 40' ON CENTER (538 LF = 13 TREES)	13 TREES	0 TREES	13 TREES TOTAL (13 NEW)
PARKING LOT INTERIOR LANDSCAPE	MIN. 10% OF PARKING AREA MUST BE LANDSCAPE ISLAND (21,000 SF X 10% = 2,100SF)	2,100 SF	3,685 SF	3,685 SF TOTAL (0 SF NEW)
		5 TREES 22 SHRUBS	4 TREES 14 SHRUBS	5 TREES TOTAL (1 NEW) 22 SHRUBS TOTAL (8 NEW)
SITE TURF AREA	TURF GRASS NOT TO EXCEED 15% OF TOTAL LANDSCAPE AREA (275,365 SF X 15% = 41,305 SF)	41,305 SF (15%) MAX	1,783 SF (0.6%)**	808 SF (0.3%) TOTAL (0 SF NEW)

NOTES:
* 8 SHRUBS ARE TO BE REMOVED FOR THE NEW BUILDING EXPANSION.
**975 SF OF TURF GRASS IS TO BE REMOVED FOR THE NEW BUILDING EXPANSION.

NOTE

NO CHANGES TO THE LANDSCAPE PLAN ARE ALLOWED WITHOUT APPROVAL FROM THE TOWN OF PARKER

Please include the sheet numbers on all pages.

SITE PLAN
2
2 OF 15

CAUTION - NOTICE TO CONTRACTOR
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



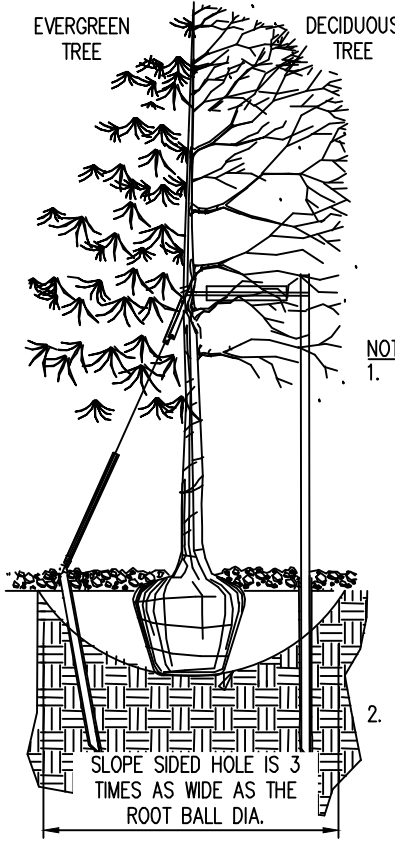
PREPARED BY:
Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884 • GallowayGIS.com

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET

NOTE: BROKEN OR CRUMBLING
ROOTBALLS WILL BE REJECTED
PRUNE ALL DEAD OR DAMAGED WOOD
AFTER PLANTING



NOTES:

1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSELY AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.

2. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED.

3. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE, AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.

4. FORM SOIL INTO A 3' TO 5' TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.

5. STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.

6. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.

7. RESETTling OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

1

TOWN OF PARKER TREE PLANTING N.T.S.

PLANTING NOTES

GENERAL

- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
- LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
- THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
- LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION

- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING

- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.

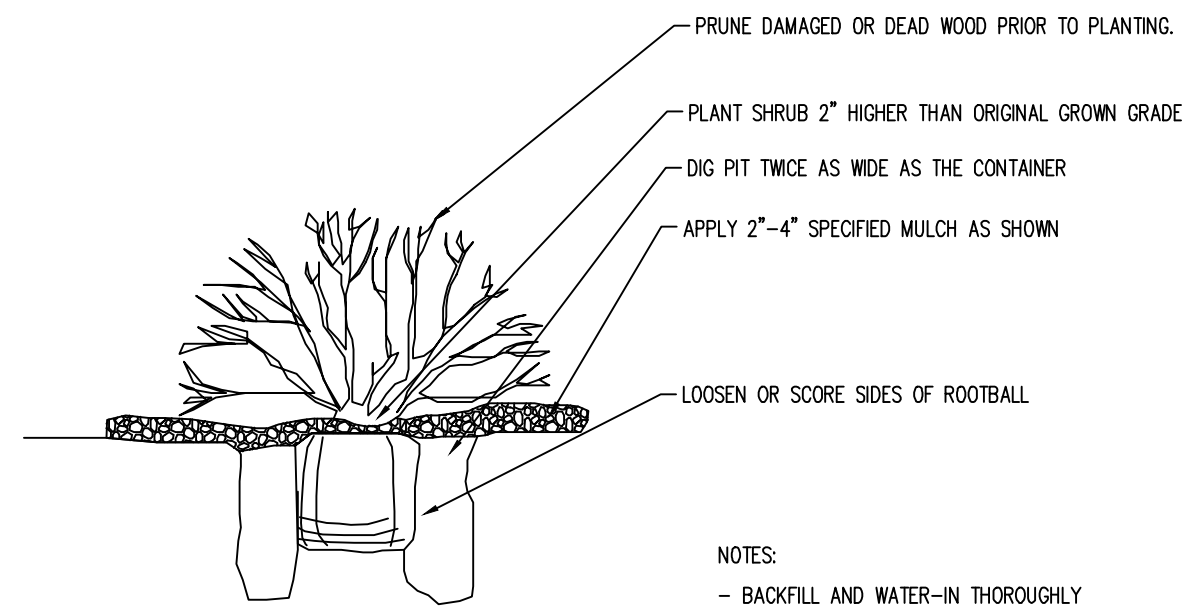
Please add a note that states 'All changes to the approved landscape plan must first be approved by The Town of Parker Planning Department.'

PREPARED BY:

Galloway

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Greenwood Village, CO 80111
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Please add a note that geotextile fabric is required for all shrub and ornamental grass beds.



PRUNE DAMAGED OR DEAD WOOD PRIOR TO PLANTING.

PLANT SHRUB 2" HIGHER THAN ORIGINAL GROWN GRADE

DIG PIT TWICE AS WIDE AS THE CONTAINER

APPLY 2"-4" SPECIFIED MULCH AS SHOWN

LOOSEN OR SCORE SIDES OF ROOTBALL

NOTES:

- BACKFILL AND WATER-IN THOROUGHLY

- BROKEN ROOTBALLS WILL BE REJECTED

2

TOWN OF PARKER SHRUB PLANTING STANDARD N.T.S.

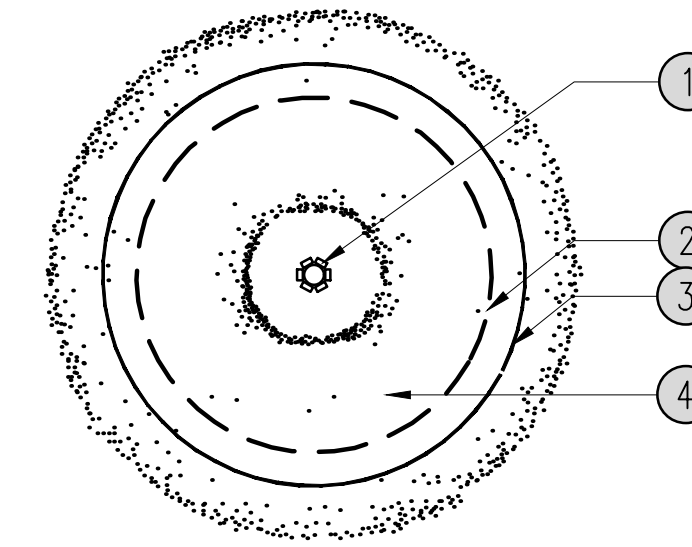
- ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO T-STAKES SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6 INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3' DIA.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE ICT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF/SEED/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



1 TRUNK PROTECTION BOARDS MIN. 2" THICK, BENEATH BOARDS ARE 3-4 LAYERS OF BURLAP AROUND TRUNK. THE BOARDS SECURELY AT TOP, BOTTOM & CENTER WITH HEAVY DUTY CORD, WIRE, OR CABLE CHOKERS.

2 OUTLINE OF TREE CROWN (EDGE OF DRIFLINE) CORRESPONDS WITH ROOT SPREAD.

3 CONSTRUCTION FENCING (MIN. 4' HEIGHT)

4 WOOD MULCH - SEE MULCH

5 PLASTIC ORANGE CONSTRUCTION FENCE TIED TO 1-POST

6 1-POST AT 8'-0" O.C. (TYP.)

7 EXISTING TREE

8 DRIFLINE

3

TREE PROTECTION DETAIL N.T.S.

LANDSCAPE GUARANTEE AND MAINTENANCE

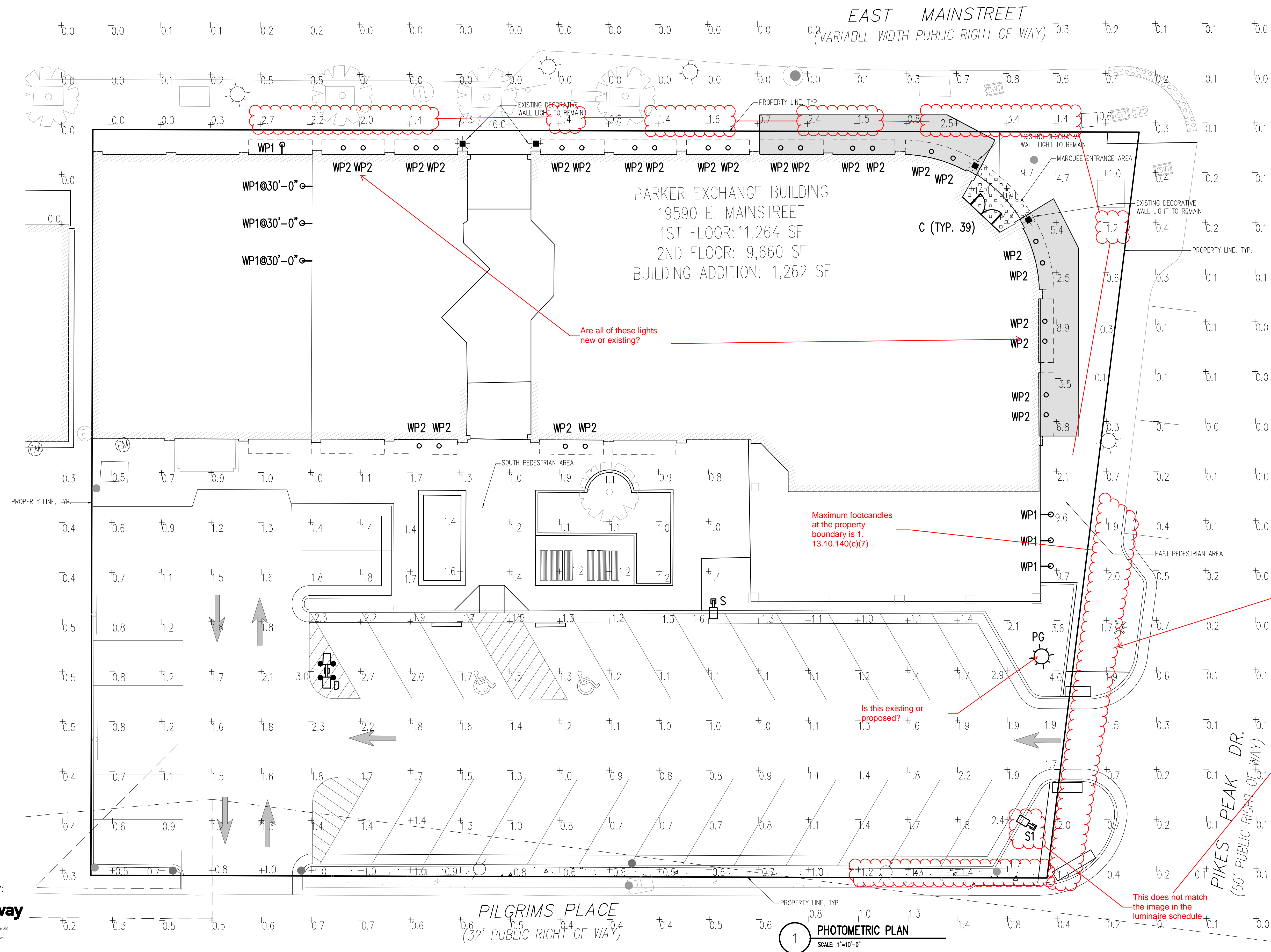
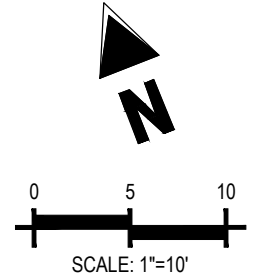
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

TREE PROTECTION NOTES:

- USE TOWN OF PARKER TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
- "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOLITION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED. THE FENCE SHALL BE INSTALLED NO CLOSER TO THE TREE THAN THE EDGE OF THE TREE'S PROTECTED ZONE, GENERALLY DEFINED AS THE AREA BEGINNING FIVE FEET OUTSIDE OF THE TREE'S DRIFLINE AND EXTENDING TOWARDS THE TREE (OR AS FAR AWAY FROM THE TRUNK AS PRACTICABLE). THE FENCING SHALL BE OF A MATERIAL AND HEIGHT ACCEPTABLE TO THE LANDSCAPE ARCHITECT. ALL CONTRACTORS AND THEIR CREWS SHALL NOT BE ALLOWED INSIDE THIS "PROTECTED ZONE" NOR SHALL THEY BE ALLOWED TO STORE OR DUMP FOREIGN MATERIALS WITHIN THIS AREA. NO WORK OF ANY KIND, INCLUDING TRENCHING, SHALL BE ALLOWED WITHIN THE PROTECTED ZONE EXCEPT AS DESCRIBED BELOW. THE FENCING SHALL REMAIN AROUND EACH TREE TO BE SAVED UNTIL THE COMPLETION OF CONSTRUCTION OPERATIONS.
- TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC, AND ONLY WHERE FENCING CANNOT BE SET FIVE FEET OUTSIDE OF THE DRIFLINE, THE CONTRACTOR SHALL INSTALL A LAYER OF MULCH, 9"-12" THICK, OVER ALL EXPOSED EARTH FROM THE TREE TRUNK TO 5' OUTSIDE OF THE DRIFLINE. THIS LAYER SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. WHEN PLANTING OPERATIONS ARE COMPLETED, THE MULCH SHALL BE REDISTRIBUTED THROUGHOUT ALL PLANTING AREAS IN A 3" THICK "PERMANENT" MULCH LAYER.
- NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE", SUCH AS FOR FINE GRADING, IRRIGATION INSTALLATION, AND PLANTING OPERATIONS, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING RULES:
 - EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES IN AS WIDE AN AREA AS POSSIBLE.
 - TRENCHING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND, AND WITH EXTREME CARE NOT TO SEVER ROOTS 1-1/2" IN DIAMETER AND LARGER. WHERE ROOTS 1-1/2" IN DIAMETER AND LARGER ARE ENCOUNTERED, THE CONTRACTOR SHALL TUNNEL UNDER SAID ROOTS. EXPOSED ROOTS THAT HAVE BEEN TUNNELED UNDER SHALL BE WRAPPED IN WET BURLAP AND KEPT MOIST WHILE THE TRENCH IS OPEN.
 - WHERE ROOTS 1-1/2" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES, THOSE ROOTS MUST BE EXPOSED BY HAND DIGGING AND CUT CLEANLY. RAGGED CUTS GENERALLY DO NOT HEAL PROPERLY, AND MAY LEAVE THE TREE OPEN TO PESTS AND PATHOGENS.
 - WHERE TRENCHING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE HIS TRENCHING OPERATIONS TO THE PREVIOUSLY-CREATED TRENCHES, WHILE ADHERING TO THE CONDITIONS SET FORTH IN 3B.
- POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE BETWEEN THESE SPECIFICATIONS AND/OR LARGE ROOTS ENCOUNTERED IN THE FIELD, AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT TAKE ANY ACTION IN SUCH CONFLICTS WITHOUT THE ARBORIST'S WRITTEN APPROVAL. THE ARBORIST SHALL HAVE FINAL AUTHORITY OVER ALL METHODS NECESSARY TO HELP ENSURE THE PROTECTION AND SURVIVAL OF EXISTING TREES.
- PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING. PRUNE TREES ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE / ANSI A300 STANDARDS:
 - REMOVE ALL DEAD WOOD.
 - PRUNE LIVE WOOD FOR HEALTH OR STRUCTURAL REASONS ONLY, INCLUDING THE NEED TO ELIMINATE DISEASED OR DAMAGED GROWTH, ELIMINATE STRUCTURALLY UNSOUND GROWTH, REDUCE THE POTENTIAL FOR WIND TOPPLING OR WIND DAMAGE, OR TO MAINTAIN GROWTH WITHIN LIMITED SPACE. DO NOT REMOVE MORE THAN 25% OF ANY TREE'S LIVE FOLIAGE IN ANY ONE GROWING SEASON. PRUNE ONLY TO INTERNATIONAL SOCIETY OF ARBORICULTURE/ANSI A300 STANDARDS, AND ONLY UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
 - FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA. EXTREMELY FLUSHED CUTS WHICH PRODUCE LARGE WOUNDS SHALL NOT BE MADE.
 - ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
 - IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PAY FOR ALL WORK NECESSARY TO CORRECT SUCH PRUNING WHEN PERFORMED BY HIS CREWS OR SUBCONTRACTORS.
 - SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411 FOR A COPY OF THE ANSI A300 PRUNING STANDARDS. CONTRACTOR SHALL ADHERE TO THE METHODS AND PRACTICES SET FORTH IN THIS DOCUMENT.
- LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
 - NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10" FROM THE TRUNK.
 - WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED WHEREVER POSSIBLE. ADDITIONALLY, ONLY PLANTS WITH LOW WATER NEEDS SHOULD BE PLANTED WITHIN THE PROTECTED ZONE, SPACED FAR APART WHERE CLOSE TO THE TREE. PLANTS MAY BE SPACED CLOSER TOGETHER NEAR THE EDGE OF THE PROTECTED ZONE.

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET

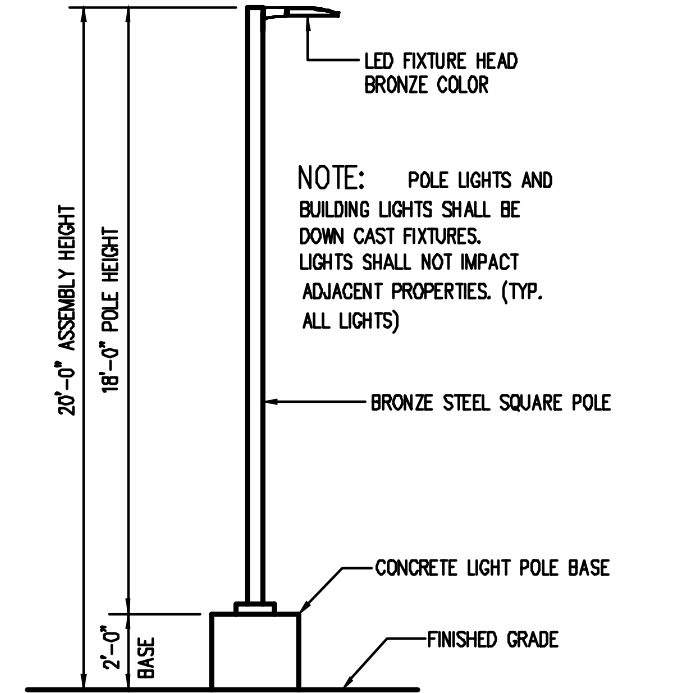


Are all of these lights new or existing?

Maximum footcandles at the property boundary is 1.13.10.140(c)(7)

Is this existing or proposed?

This does not match the image in the luminaire schedule.



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE

Are these footcandles from lights on site or street lights. If these numbers are coming from the street lights you can either remove that light from the calculations or add a note.

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING AREA	FC	1.41	3.0	0.6	2.35 to 1	5.00 to 1
SOUTH PEDESTRIAN AREA	FC	1.18	1.9	0.5	2.36 to 1	3.80 to 1
EAST PEDESTRIAN AREA	FC	4.08	9.7	1.7	2.40 to 1	5.71 to 1
MARQUEE ENTRANCE AREA	FC	14.87	16.2	14.1	1.06 to 1	1.15 to 1

LUMINAIRE SCHEDULE			
MARK	QTY	LABEL	MOUNTING
WP1	1	S	20' POLE
WP2	1	S1	20' POLE
WP3	1	D	20' POLE
C	39	C	10'-4" CANOPY
WP1	7	WP1	10'-4" WALL
WP2	26	WP2	10'-4" WALL
PG	1	PG	9' POLE

Please include fixture color within this table.

REFER TO SHEET 6-PHOTOMETRIC DETAILS FOR MANUFACTURER CUT SHEETS AND EXPANDED LUMINAIRE SCHEDULE

PREPARED BY:
Galloway
5500 Greenwood Plaza Blvd, Suite 300
Greenwood Village, CO 80111
303.770.8884 • galloway@gsd.com

1 PHOTOMETRIC PLAN
SCALE: 1"=10'-0"

Please note signage requires a separate permit. Please remove all signage from the elevations to avoid confusion.

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET

Staff understands that the placement of this element provides for the most visibility, but have you considered making this larger to make up more space on this facade?



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

3 EAST ELEVATION (PIKES PEAK DRIVE)
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION (PILGRIMS PLACE)
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION (MAINSTREET)
SCALE: 1/8" = 1'-0"

Please include an image of the railing along with height and colors.

Are these windows new? If new, please add a note. If existing, no changes needed.

Are these areas proposed to be stucco similar to the other areas, or painted brick? If painted brick, please add note to state so.

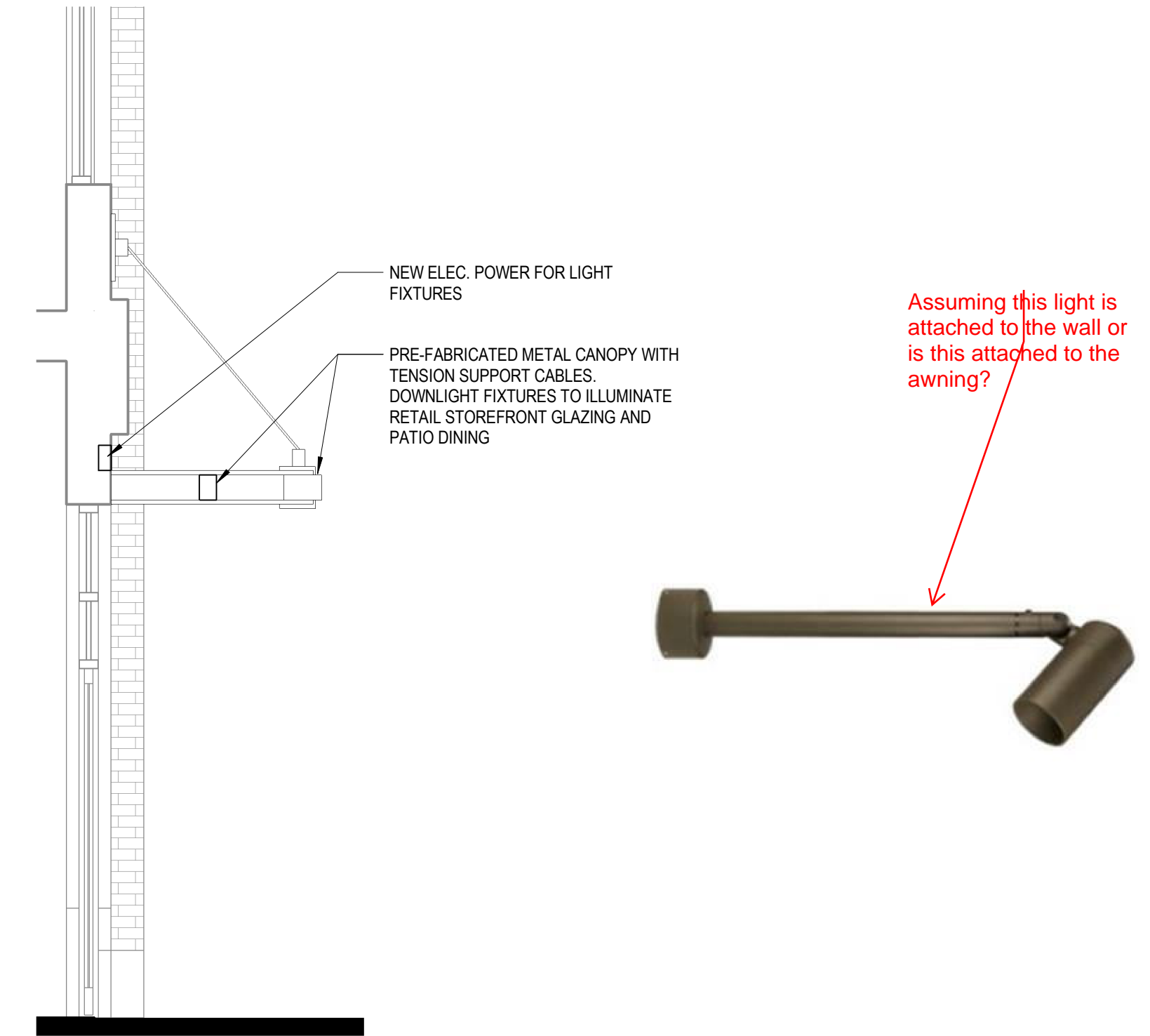
Where is this pointing? Up Lights are not permitted

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAINSTREET



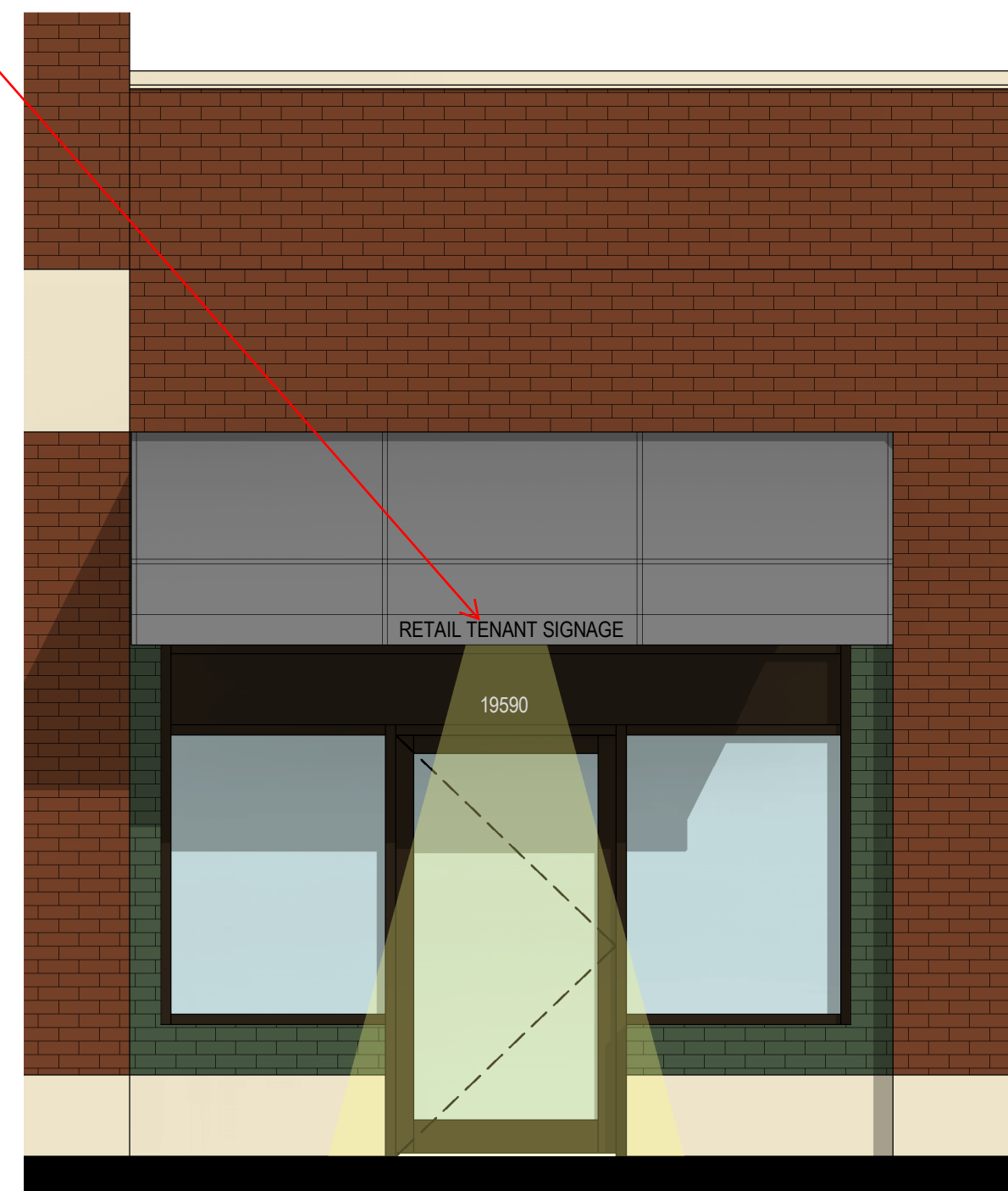
4 PROPOSED NEW STOREFRONT
SCALE: 3/8" = 1'-0"



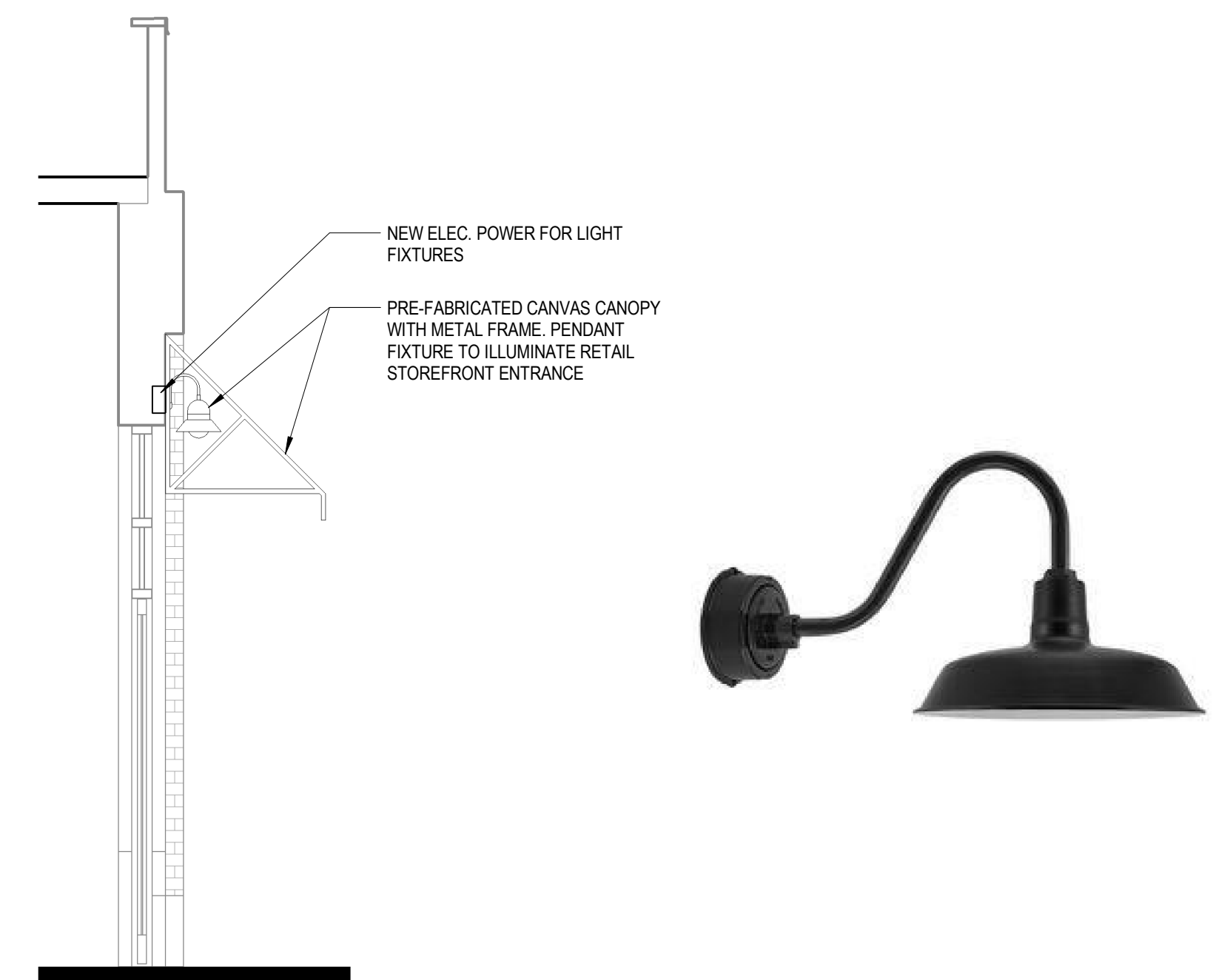
3 WALL SECTION @ METAL CANOPY
SCALE: 3/8" = 1'-0"



5 PROPOSED BREEZEWAY SURROUND
SCALE: 3/8" = 1'-0"



2 PROPOSED RETAIL STOREFRONT
SCALE: 3/8" = 1'-0"



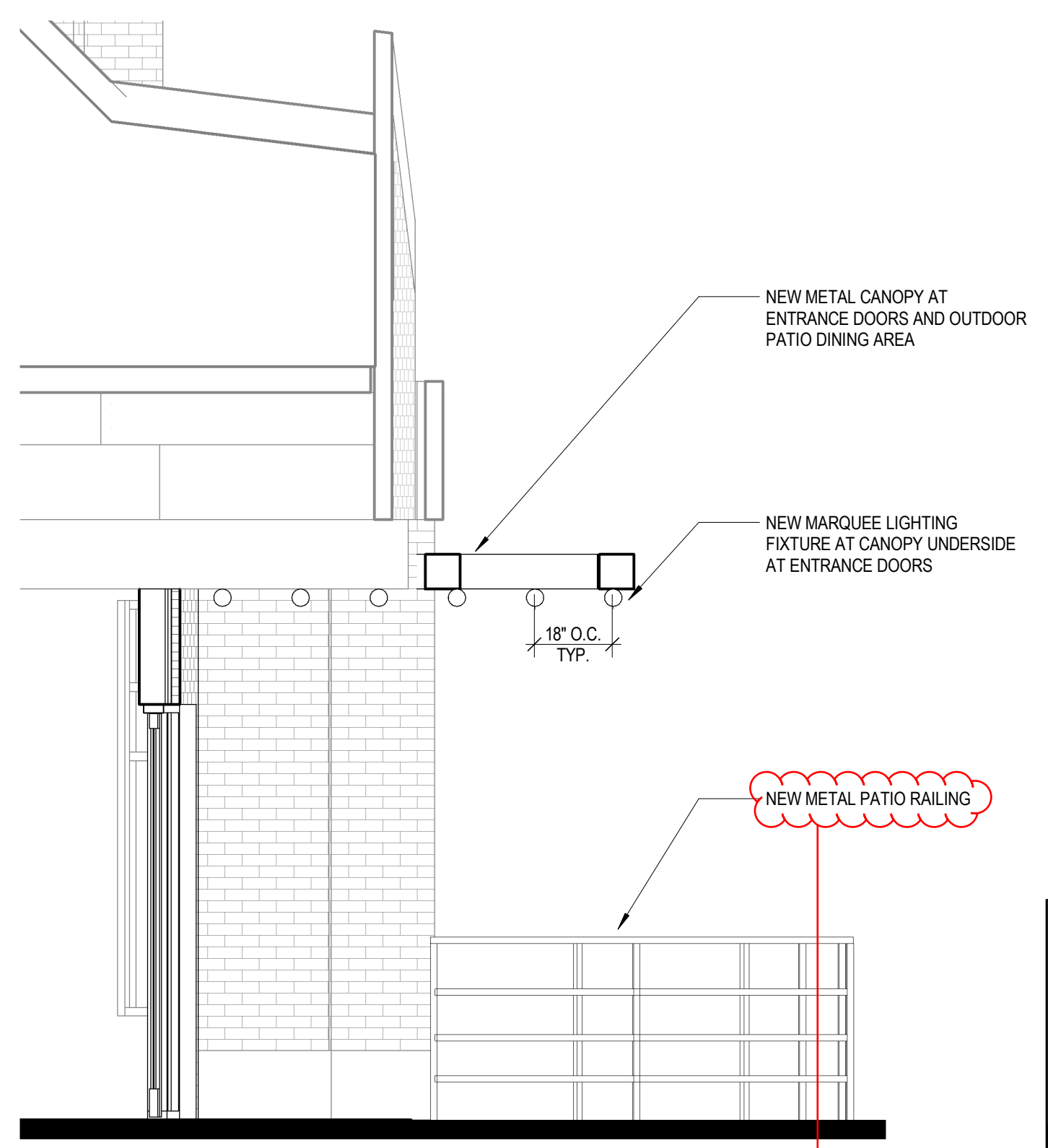
1 WALL SECTION @ FABRIC AWNING
SCALE: 3/8" = 1'-0"

PARKER EXCHANGE BUILDING SITE DEVELOPMENT PLAN

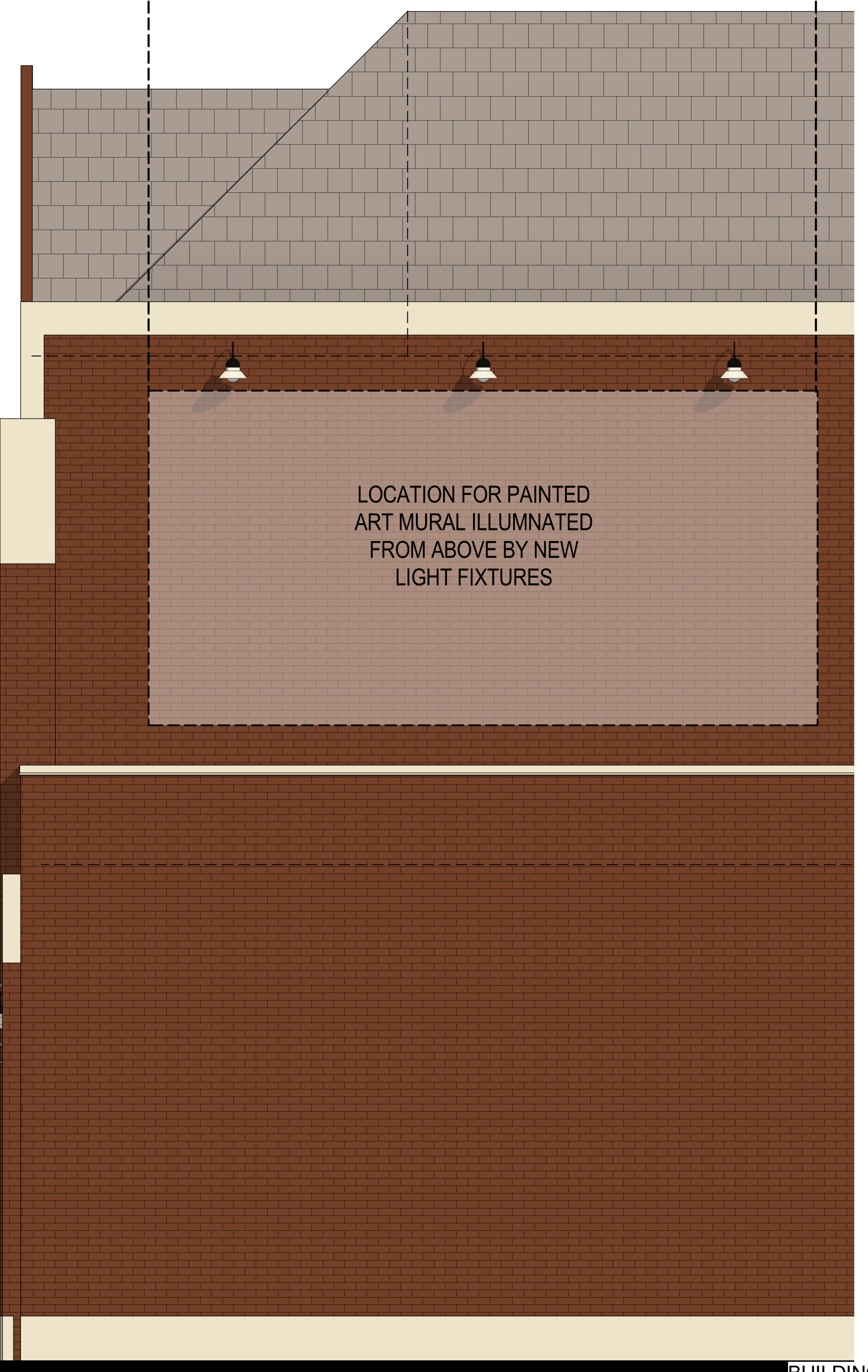
LOCATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
19590 E MAIN STREET



3 DINING ENTRANCE ELEVATION
SCALE: 3/8" = 1'-0"



4 SECTION @ DINING ENTRANCE
SCALE: 3/8" = 1'-0"
Please include an image with the height and color of metal.



1 PROPOSED ART MURAL
SCALE: 3/8" = 1'-0"



2 PROPOSED INFILL WALL ELEVATION
SCALE: 3/8" = 1'-0"

PREPARED BY:
Galloway
1500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884 • galloway@gb.com



PARKER
COLORADO

Project Reviews Town of Parker



Project Number: SP23-080

Description: **The Exchange L1 - Site Plan Amendment Addition and Remodel**

Applied: **9/22/2023**

Approved:

Site Address: **19590 MAINSTREET**

Closed:

Expired:

City, State Zip Code: **PARKER, CO 80138**

Status: **UNDER REVIEW 1**

Applicant: **Galloway and Company LLC**

Parent Project: **4363**

Owner: **PARKER MAINSTREET EXCHANGE LLC**

Contractor: **Galloway and Company LLC**

Details:

The applicant, Galloway and Company, is proposing a Site Plan Amendment to add 1182 sq. ft. to an existing building, make changes to the existing elevation and amend the parking and landscaping, The site is located on the southwest corner of Mainstreet and Pikes Peak Drive.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: ALL

9/28/2023	10/5/2023	10/6/2023	COMPLETENESS REVIEW	Stacey Nerger	REVISIONS REQUIRED	
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Notes:

Jeff,

The above Site Plan Amendment application has been assigned to me. I have finished the Completeness Review and the following items are still needed:

1. Application Fees: \$2,1090.00 (An additional \$54.75 will apply if paid by credit card)
2. Physical Materials Board
3. Public Notice Requirements – Two public notice signs will be required for the property. These signs will need to be installed on the property no later than 2nd referral. I will send a subsequent email to FastSigns for the placement of the signs.

Please let me know if you have any questions.

Thank you,
Stacey

Review Group: AUTO

9/22/2023			ENGINEERING ADMINISTRATIVE	Tom Williams		
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Notes:

9/22/2023	10/4/2023	10/6/2023	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
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Notes:



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Project Reviews Town of Parker



Review Group: SP 1ST 20

10/17/2023	11/3/2023	11/15/2023	BUILDING 20	Randy Capra	REVISIONS REQUIRED	See Notes and respond
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Notes:

The new parking area indicates that there are two accessible parking spots proposed; the applicant shall provide documentation that with the increase in building size and with the increase in occupant load (for the proposed group A-2 occupancy) that adequate accessible parking has been provided. The Town of Parker currently has adopted the 2017 edition of the A117.1 Code. Provide an analysis on how the applicant has arrived at the determination that only two accessible parking spots are required.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2020 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2024. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

Note - reach out to Jon Nelson (Senior Plans examiner) specific to EV parking requirement issues that could arise should a building permit for this project not be pulled prior to December. 31, 2024. Apparently, a House Bill (House Bill HB - 1233) has been signed into law that has the potential to affect commercial parking once a municipality adopts the next versions of the code.

10/17/2023		11/15/2023	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

10/17/2023	10/24/2023	11/15/2023	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Val Endyk	ADVISORY COMMENTS	See Notes
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Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP23-080, The Exchange L! - Site Plan Amendment Addition and Remodel have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

10/17/2023		11/15/2023	COMCAST 20	Butch Buster		
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Notes:



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Project Reviews Town of Parker



10/17/2023	11/8/2023	11/15/2023	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Notes
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Notes:

SP23-080 – The Exchange L1 – Parker Mainstreet Exchange - 1st Environmental Review, 11-8-23

GENERAL COMMENTS (Initial and Interim/Final Plan Sheets)

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

1. Please add a note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.
2. Please add a note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
3. Please add a note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
4. Please add a note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
5. Please add the following note to the Initial and Interim/Final CBMP plan sheets: “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”
6. Please add a note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.
7. Please add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.
8. Please provide a callout outside the perimeter controls along the public sidewalk(s) to be modified/replaced with the project that states the following: “ALL WORK WITHIN PUBLIC RIGHT-OF-WAY (ROW) WILL REQUIRE A TOWN ROW PERMIT. INITIAL AND INTERIM CBMPs FOR WORK WITHIN THE TOWN’S ROW SHALL BE COORDINATED WITH THE TOWN’S ENVIRONMENTAL INSPECTOR PRIOR TO THE BEGINNING OF ANY ROW WORK.”
9. Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. Addition PTPs may be needed in the interim and final phases.
10. Please include within the plans, immediately following the Final Erosion Control plan sheet, ALL 71 pages of the Town of Parker’s CBMP Legends/Symbols, General Notes & CBMP Details.
11. Please provide and identify Masonry Work Protection (MWP) on the plans for construction on the building.
12. Provide and identify Debris and Trash Control (DTC) for the construction site and surrounding areas.

10/17/2023		11/15/2023	CONSTRUCTION PLANS - CIVIL	Michael Walton		
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Notes:

10/17/2023		11/15/2023	DRAINAGE REPORT - CIVIL	Michael Walton		
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Notes:

10/17/2023	10/19/2023	11/15/2023	ECONOMIC DEVELOPMENT 20	Weldy Fezell	NO COMMENT	
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Notes:

10/17/2023	11/3/2023	11/15/2023	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:

A response letter has been provided that requires an applicant response; the letter has been provided in both a PDF format and a word document... with the word document provided to allow the applicant and easy way to respond.



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COLORADO

Project Reviews Town of Parker



10/17/2023	11/15/2023	11/15/2023	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	Provide EUSERC Cabinet location
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Notes:
The applicant will be required to meet CORE's metering requirements and provide EUSERC cabinet location on the utility plan per CORE Builder Handbook.
The applicant will be required to provide a 1-foot separation between curb and existing power poles. In addition, install curb stops in front of existing CORE power poles.

10/17/2023	10/19/2023	11/15/2023	PARKER AUTHORITY FOR REINVESTMENT 20	Weldy Feazell	NO COMMENT	
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Notes:

10/17/2023		11/15/2023	POLICE 20	Greg Epp		
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Notes:

10/17/2023	11/3/2023	11/15/2023	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	COMPLETED	please see attached
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Notes:
please see attached; no resubmittals necessary

10/17/2023		11/15/2023	SITE PLAN - CIVIL	Michael Walton		
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Notes:

10/17/2023		11/15/2023	SITE PLAN 20	Stacey Nerger		
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Notes:

10/17/2023		11/15/2023	SOUTH METRO FIRE 20	South Metro Fire		
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Notes:

10/17/2023		11/15/2023	TRAFFIC IMPACT STUDY - CIVIL	Michael Walton		
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Notes:

Review Group: SP 1ST 20 ADD

10/17/2023	10/26/2023	11/15/2023	PARKER WATER AND SANITATION DISTRICT 20	Drayton Sanderson	REVISIONS REQUIRED	See Notes
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Notes:
Please refer to PWSD comment letter and redline plans for revisions required prior to plan approval.



PARKER
C O L O R A D O



Project Reviews Town of Parker

Review Group: SUBMITTAL CHECKLIST

10/5/2023	10/17/2023	10/19/2023	COMPLETENESS REVIEW	Stacey Nerger	COMPLETED	
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Notes:
The materials board and public notice signs can be posted no later than the 2nd referral.