

SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

AndersonMasonDale Architects

Parker Town Hall Expansion

Parker, CO 22-093

Town of Parker

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Parker, CO 80138

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RENDERING OF PROPOSED SOUTHEAST FACE OF ADDITION

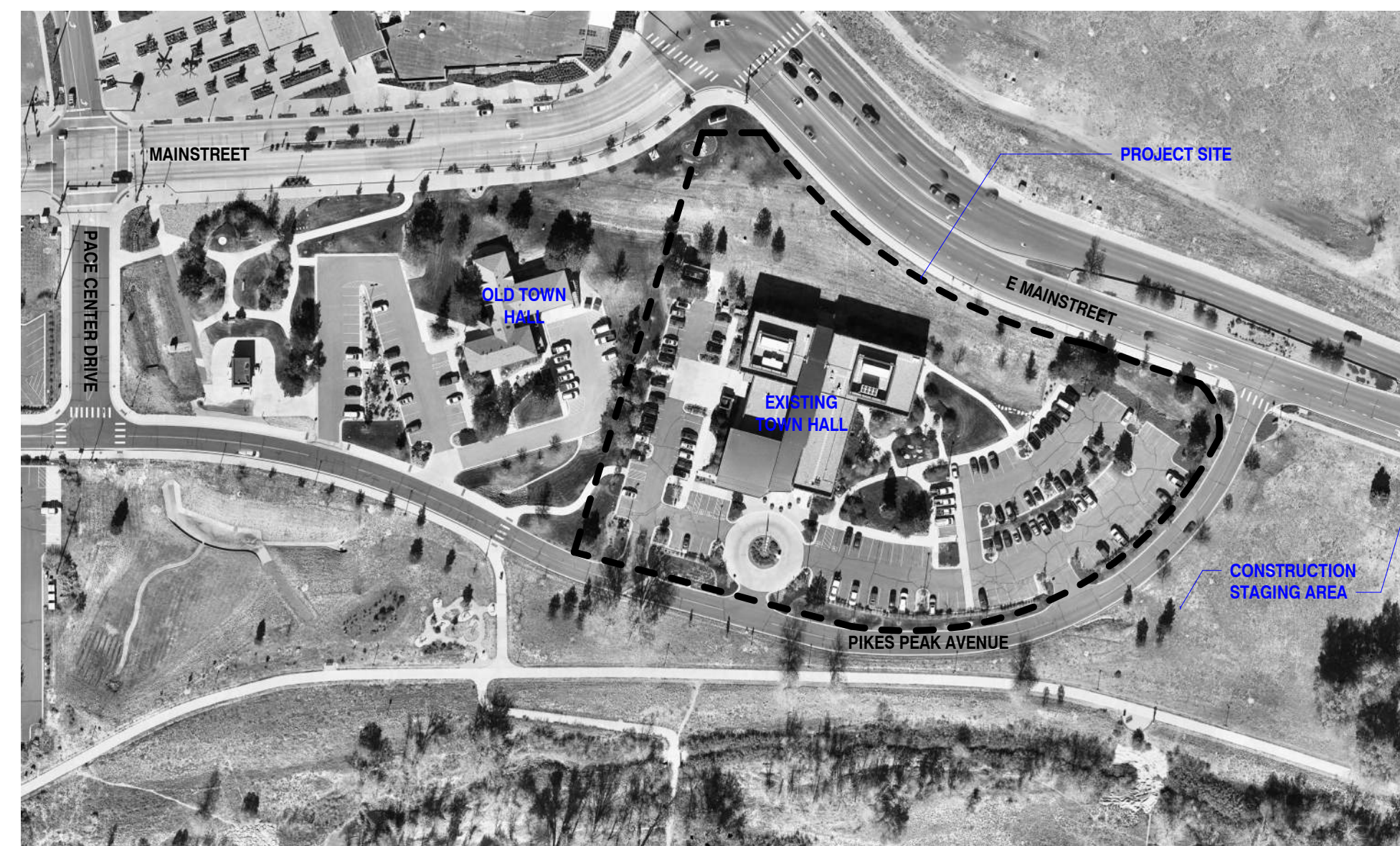


RENDERING OF PROPOSED SOUTH FACE OF ADDITION



RENDERING OF PROPOSED NEW MAIN ENTRY - REFER TO LANDSCAPE DRAWINGS FOR PLAZA CONFIGURATION

PROJECT SITE MAP



GENERAL NOTES

THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE TOWN OF PARKER ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.

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SITE STATISTICS

ZONING	GREATER DOWNTOWN DISTRICT - HISTORIC CENTER		
LOT AREA	SF	ACRES	% OF TOTAL
GROSS	168,446.5	3.867	100%
SITE DATA	SF	ACRES	% OF TOTAL
BUILDING AREA*	64,895	1.489	38.5%
HARDSCAPE AREA	47,925.5	1.100	28.5%
LANDSCAPE AREA	55,626	1.276	33%

*BUILDING AREA INCLUDES EXISTING TOWN HALL, ADDITION, (2) TRASH ENCLOSURES AND (1) GENERATOR ENCLOSURE

PARKING	SF	PARKING FORMULA	REQUIRED	PROVIDED
TOTAL PARKING SPACES*	57,360 NLA	1 PER 500NLA	115	121***
ACCESSIBLE SPACES			5 + 1 VAN	6 (INC. VAN)
EXISTING PARKING SPACES**				133
BICYCLE PARKING	64,895 GSF	2 PER 10,000 GSF (10 MAX)	10	work

*ACCESSIBLE SPACES AND BICYCLE SPACES ARE INCLUDED IN THE TOTAL PARKING SPACE COUNT, AS ARE EXISTING PARKING SPACES TO REMAIN.
** THIS REFLECTS THE EXISTING TOWN HALL PARKING SPACES. MANY OF THESE SPACES ARE RETAINED IN SCOPE OF WORK.
*** NEW PARKING SPACES PROVIDED: 14 STANDARD + 6 ACCESSIBLE. EXISTING PARKING SPACES RETAINED: 11

PARKING COUNT			
PARKING SPACE TYPE	COUNT	WIDTH	LENGTH
ACCESSIBLE SPACES	6	9'-0"	18'-0" MIN
PARKING LOT	115	9'-0"	18'-0" MIN
TOTAL SPACES	121		

Issue	Date
SITE PLAN SUBMITTAL	11 NOV 2023
SITE PLAN SUBMITTAL	06 FEB 2024

Project Number:	22-093
Drawn By:	JM
Reviewed By:	JT
Approved By:	JC

COVER SHEET

SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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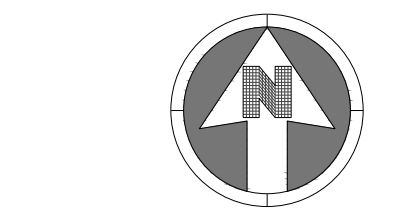
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Reviewed By:	RLH
Approved By:	MHV

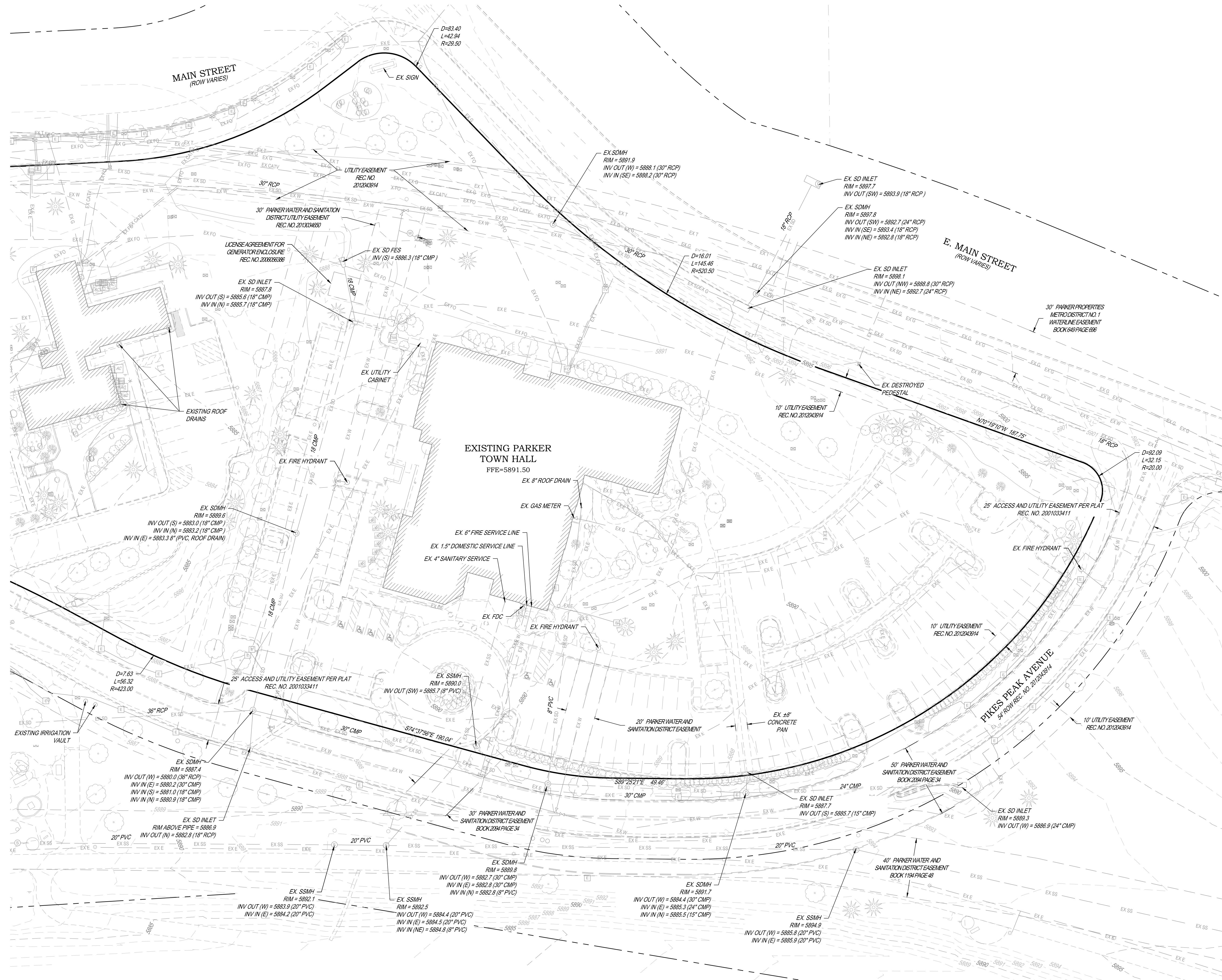
EXISTING CONDITIONS PLAN

02



LEGEND:

	PROPERTY LINE
	RIGHT OF WAY
	EXISTING BUILDING
	EXISTING CURB AND GUTTER
	EXISTING SIDEWALK
	EXISTING WALL
	EXISTING FENCE
	EXISTING SIGN
	EXISTING LIGHT
	EXISTING TREE
	EXISTING MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING EASEMENT
	EXISTING ELECTRICAL LINE
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	EXISTING WATER LINE
	EXISTING STORM INLET
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING MANHOLES



PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

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BICYCLE PARKING

PARKING TYPE	REQUIRED	EXISTING	PROPOSED	CALCULATION
BIKE	Pursuant to Section 13.06.060 Bicycle parking requirements state that 2 spaces are required for each 10,000 square feet of floor area.	7	6	64043 GSF / 10,000 SF = 6.4 SPACES REQUIRED (includes existing and proposed)
TOTAL 13 SPACES				

PARKING LOT INTERIOR LANDSCAPE

PARKING LOT ISLAND #	PARKING LOT ISLAND SIZE (SF)	INTERNAL TREES (1 TREE / 162SF) REQUIRED / PROVIDED	INTERNAL SHRUBS (5 SHRUBS / 162SF) REQUIRED / PROVIDED	*NOTES
1	274	1 R / 1 P	13 R / 23*	10 SHRUBS PROVIDED. 36.1 GAL GRASSES SUBSTITUTED FOR 12 SHRUBS.
2	318	1 R / 1 P	16 R / 19*	11 SHRUBS PROVIDED. 24.1 GAL GRASSES SUBSTITUTED FOR 8 SHRUBS.
3	178	1 R / 1 P	6 R / 6 P	6 SHRUBS PROVIDED. ADDTL GRASSES NOT INCLUDED IN PROVIDED COUNT, AS MINIMUM SHRUB COUNT IS MET WITH SHRUBS.
4	250	1 R / 1 P	11 R / 11 P	11 SHRUBS PROVIDED. ADDTL GRASSES NOT INCLUDED IN PROVIDED COUNT, AS MINIMUM SHRUB COUNT IS MET WITH SHRUBS.
5	285	1 R / 1 P	14 R / 18*	11 SHRUBS PROVIDED. 21.1 GAL GRASSES SUBSTITUTED FOR 7 SHRUBS.
6	253	1 R / 1 P	11 R / 23*	9 SHRUBS PROVIDED. 43.1 GAL GRASSES SUBSTITUTED FOR 14 SHRUBS.
7	2314	1 R / 10 P	149 R / 251*	61 SHRUBS PROVIDED. 9 TREES SUBSTITUTED FOR 90 SHRUBS. 301.1 GAL GRASSES SUBSTITUTED FOR 100 SHRUBS.
TOTAL SF		3872		

***NOTES:**
 Each landscape island shall, at a minimum, meet the following standards:
 a. Landscaped islands shall be at least the size of one (1) full-sized parking space (one hundred sixty-two [162] square feet) and have no dimension fewer than nine (9) feet.
 b. One (1) tree and five (5) shrubs shall be planted for each incremental one hundred sixty-two (162) square feet. For each incremental fifteen (15) square feet, an additional shrub shall be planted. One (1) tree may be substituted for ten (10) shrubs when approved during the site plan process.

13.06.070.L.5
 (5) In all required landscaped areas, except within public rights-of-way and residential roadway buffers, one (1) tree and five (5) shrubs shall be planted for each one thousand five hundred (1,500) square feet of lot area not covered by a building or required parking.

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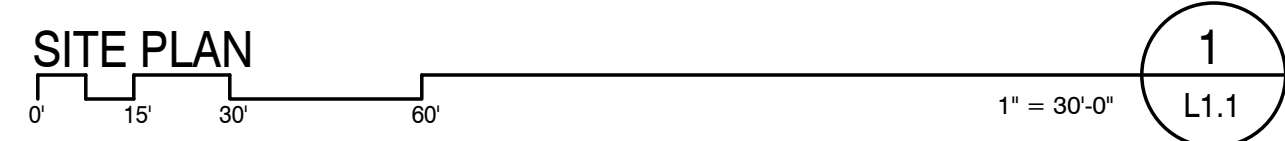
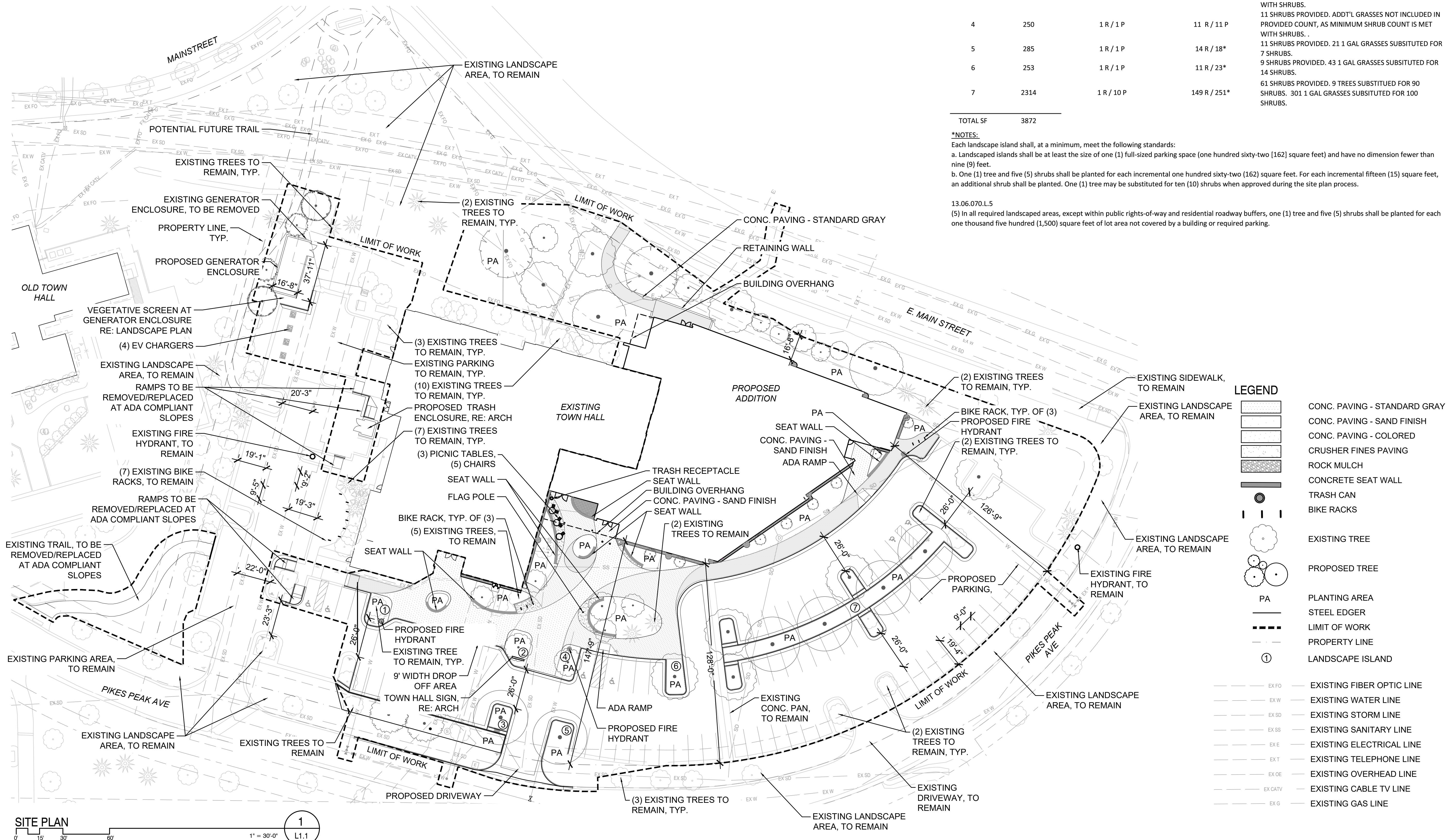
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 SDP 02 NOVEMBER 2023
 SDP 05 FEBRUARY 2024

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 Approved By: TS

SITE PLAN



PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

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LANDSCAPE PLAN

LANDSCAPE REQUIREMENTS

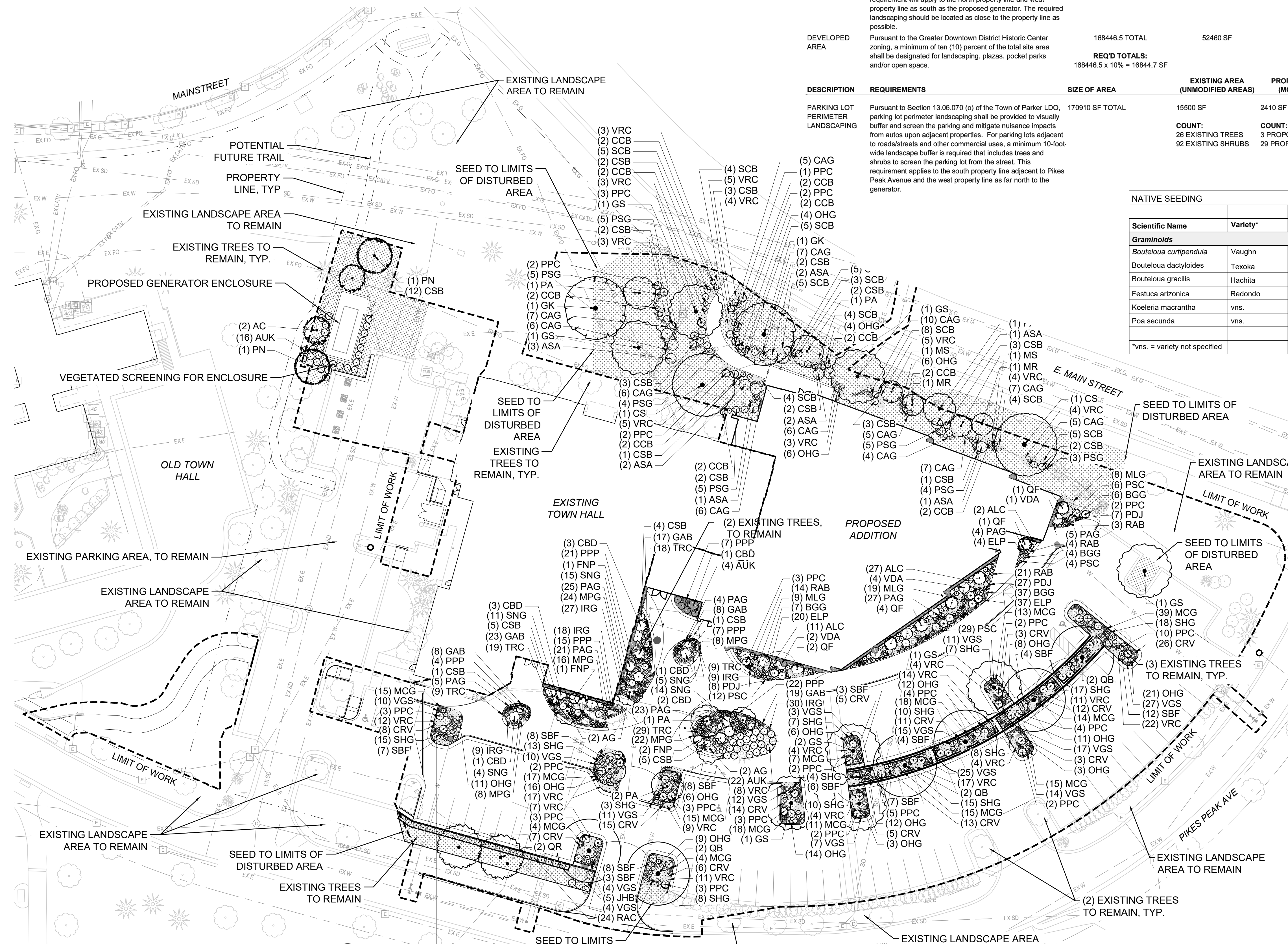
DESCRIPTION	REQUIREMENTS	REQUIRED	EXISTING AREA (UNMODIFIED AREAS)	PROPOSED NEW AREA (MODIFIED AREAS)	PROPOSED TOTAL COUNTS	NOTES
PARKING LOT INTERIOR LANDSCAPING	Pursuant to the LDO Section 13.06.070 (p) Parking Lot Interior Landscaping, a minimum area equal to ten (10) percent of the total area covered by the parking lot shall be allocated to landscaped islands.	PARKING LOT: 60122 SF PARKING ISLAND REQ'D SF: 60122 SF x 10% = 6012 SF	2543 SF (4.2%) 6 Existing Trees 1 Proposed Tree 1 Existing Shrub 10 Proposed Shrubs	3598 (6.0%) 3 Existing Trees 12 Proposed Trees 0 Existing Shrubs 109 Proposed Shrubs	6141 SF OF PARKING ISLAND PROVIDED = 10.2% OF PARKING LOT TOTAL: 22 Trees 119 Shrubs	Unmodified islands include all islands in west parking lot and 2 islands between unmodified spaces along eastern edge of southern parking lot. Shrub count does not include equivalencies for (1) Tree = 10 Shrubs or (3) 1 GAL Grasses = 1 Shrub in this table, but minimum shrub counts required are met in proposed landscape islands. See parking lot interior landscape table for counts with equivalencies calculated. Existing tree count does not include existing trees adjacent to north perimeter edge of existing town hall.
SITE PERIMETER LANDSCAPING	Pursuant to the LDO Section 13.06.070 (q), site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use a minimum of 1 tree and 5 shrubs is required for every 40 lineal feet of edge. This requirement will apply to the north property line and west property line as south as the proposed generator. The required landscaping should be located as close to the property line as possible.	796 LF TOTAL REQ'D TOTALS: 796 LF / 40 = 20 TREES 796 LF / 40 x 5 = 100 SHRUBS	12 TREES EXISTING 3 SHRUBS EXISTING	18 TREES PROPOSED 140 SHRUBS PROPOSED	TOTAL TREES: 30 TOTAL SHRUBS: 143	
DEVELOPED AREA	Pursuant to the Greater Downtown District Historic Center zoning, a minimum of ten (10) percent of the total site area shall be designated for landscaping, plazas, pocket parks and/or open space.	168446.5 TOTAL REQ'D TOTALS: 168446.5 x 10% = 16844.7 SF	52460 SF	15462 SF	67922 SF	Total site area extends to property line on west edge, and to back of curb on north, south, and east edges.

DESCRIPTION	REQUIREMENTS	SIZE OF AREA	EXISTING AREA (UNMODIFIED AREAS)	PROPOSED NEW AREA (MODIFIED AREAS)	PROPOSED TOTAL COUNTS	NOTES
PARKING LOT PERIMETER LANDSCAPING	Pursuant to Section 13.06.070 (o) of the Town of Parker LDO, parking lot perimeter landscaping shall be provided to visually buffer and screen the parking and mitigate nuisance impacts from autos upon adjacent properties. For parking lots adjacent to roads/streets and other commercial uses, a minimum 10-foot wide landscape buffer is required that includes trees and shrubs to screen the parking lot from the street. This requirement applies to the south property line adjacent to Pikes Peak Avenue and the west property line as far north to the generator.	170910 SF TOTAL	15500 SF COUNT: 26 EXISTING TREES 92 EXISTING SHRUBS	2410 SF COUNT: 3 PROPOSED TREES 29 PROPOSED SHRUBS	TOTAL TREES: 29 (3 NEW) TOTAL SHRUBS: 121 (9 NEW)	Unmodified area is west of existing parking lot adjacent to west property line and south of proposed generator, and southwestern planting buffer along Pikes Peak. Modified areas include centermost 2 buffer zones perimeter landscaping along Pikes Peak Ave.

NATIVE SEEDING

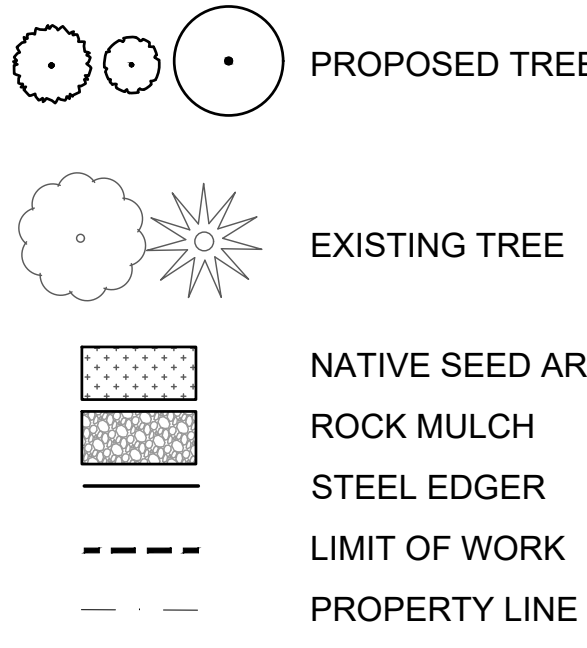
Scientific Name	Variety*	Common Name	Growth Form	PLS lbs/ac	% by weight	PLS/sq ft	% of PLS/ sq ft
Graminoids							
<i>Bouteloua curtipendula</i>	Vaughn	Sideoats grama	bunch	4.00	25	18	18
<i>Bouteloua dactyloides</i>	Texoka	Buffalo grass	stoloniferous	8.00	50	10	10
<i>Bouteloua gracilis</i>	Hachita	Blue grama	rhizomatous	1.20	8	21	21
<i>Festuca arizonica</i>	Redondo	Arizona fescue	bunch	1.50	9	19	19
<i>Koeleria macrantha</i>	vns.	Prairie junegrass	bunch	0.40	3	17	17
<i>Poa secunda</i>	vns.	Sandberg's bluegrass	bunch	0.75	5	15	15
				Total	15.85	100	100

*vns. = variety not specified



PARKING LOT LANDSCAPE REQUIREMENTS
 PROPOSED PARKING AREA = 59645 SF
 59645 SF X 10% = 5964.5 SF REQUIRED LANDSCAPE AREA
 6141 SF PROVIDED

PLANTING LEGEND



- NOTES:**
- SEE LANDSCAPE DETAILS SHEET 5 FOR PLANT SCHEDULE.
 - NO CHANGES TO THE LANDSCAPE PLAN ARE ALLOWED WITHOUT APPROVAL FROM THE TOWN OF PARKER.
 - 45 TREES TO BE REMOVED FOR THE NEW BUILDING EXPANSION.

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AndersonMasonDale Architects

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
AC	2	ABIES CONCOLOR / WHITE FIR	8' HT
AG	4	ACER GINNALA / AMUR MAPLE	2" CAL
CS	2	CATALPA SPECIOSA / NORTHERN CATALPA	2" CAL
GS	8	GLEDITSIA TRIACANTHOS INERMIS / SHADEMASTER / SHADEMASTER HONEY LOCUST	2" CAL
GK	2	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	2" CAL
MR	2	MALUS X 'RADIANT' / RADIANT CRABAPPLE	2" CAL
MS	2	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2" CAL
PN	2	PINUS NIGRA / AUSTRIAN PINE	8' HT
PA	6	PYRUS CALLERYANA 'AUTUMN BLAZE' / AUTUMN BLAZE CALLERY PEAR	2" CAL
QB	6	QUERCUS BICOLOR / SWAMP WHITE OAK	2" CAL
QF	8	QUERCUS ROBUR 'FASTIGIATA' / SKYROCKET® ENGLISH OAK	2" CAL
QR	2	QUERCUS RUBRA / RED OAK	2" CAL
CODE	QTY	BOTANICAL / COMMON NAME	SIZE
SHRUBS			
ASA	12	AMELANCHIER ALNIFOLIA / SASKATOON SERVICEBERRY	5 GAL
ALC	40	AMORPHA CANESCENS / LEADPLANT	5 GAL
CCB	20	CARYOPTERIS X CLANDONENSIS / BLUE MIST SPIREA	5 GAL
CBD	11	CORNUS SERICEA 'BAILEY' / BAILEY RED TWIG DOGWOOD	5 GAL
CSB	56	CYTISUS PURGANS 'SPANISH GOLD' / SPANISH GOLD BROOM	5 GAL
FNP	4	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET	5 GAL
PPC	71	PRUNUS BESSEYI 'P01S' / PAWNEE BUTTES® SAND CHERRY	5 GAL
RAC	24	RIBES ALPINUM / ALPINE CURRANT	5 GAL
SBF	70	SPIRAEA X BUMALDA 'FIRELIGHT' / FIRELIGHT SPIREA	5 GAL
VDA	7	VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM	5 GAL
GRASSES			
BGG	57	BOUTELOUA GRACILIS / BLUE GRAMA GRASS	1 GAL
CAG	90	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE' / AVALANCHE FEATHER REED GRASS	5 GAL
IRG	93	IMPERATA CYLINDRICA 'RED BARON' / JAPANESE BLOOD GRASS	1 GAL
MCG	205	MELICA CILIATA / SILKY SPIKE MELIC GRASS	1 GAL
MPG	78	MISCANTHUS X 'PURPURASCENS' / PURPLE FLAME GRASS	5 GAL
MLG	36	MUHLENBERGIA CAPILLARIS 'LENCA' / REGAL MIST® PINK MUHLY GRASS	5 GAL
OHG	155	ORYZOPSIS HYMENOIDES / INDIAN RICEGRASS	1 GAL
PSG	31	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	5 GAL
PAG	125	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	5 GAL
SNG	49	SORGHASTRUM NUTANS / INDIAN GRASS	5 GAL
SHG	139	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL
GROUND COVER			
AUK	42	ARCTOSTAPHYLOS UVA-URSI / KINNICKINICK	1 GAL
JHB	5	JUNIPERUS HORIZONTALIS 'BAR HARBOR' / BAR HARBOR CREEPING JUNIPER	5 GAL
PSC	59	PHLOX SUBULATA / CREEPING PHLOX	1 GAL
TRC	84	THYMUS X 'RED CREEPING' / RED CREEPING THYME	1 GAL
VRC	183	VERONICA X 'REAVIS' / CRYSTAL RIVER CREEPING SPEEDWELL	1 GAL
PERENNIALS			
CRV	143	CENTRANTHUS RUBER / RED VALERIAN	1 GAL
ELP	81	ECHINACEA PURPUREA / PURPLE CONEFLOWER	1 GAL
GAB	75	GALLARDIA ARISTATA / BLANKET FLOWER	1 GAL
PPP	76	PENSTEMON PALMERI / PALMER'S PENSTEMON	1 GAL
PDJ	42	PERSICARIA AFFINIS 'BORDER JEWEL' / HIMALAYAN BORDER JEWEL FLEECEFLOWER	1 GAL
RAB	42	RUDBECKIA AMPLEXICAULIS / BLACK-EYED SUSAN	1 GAL
SCB	51	SCABIOSA CAUCASICA 'BUTTERFLY BLUE' / BUTTERFLY BLUE PINCUSHION FLOWER	1 GAL
VGS	170	VERONICA X 'GOODNESS GROWS' / GOODNESS GROWS SPEEDWELL	1 GAL

TOWN OF PARKER- TREE PROTECTION DURING DEVELOPMENT - PUBLIC PROPERTY

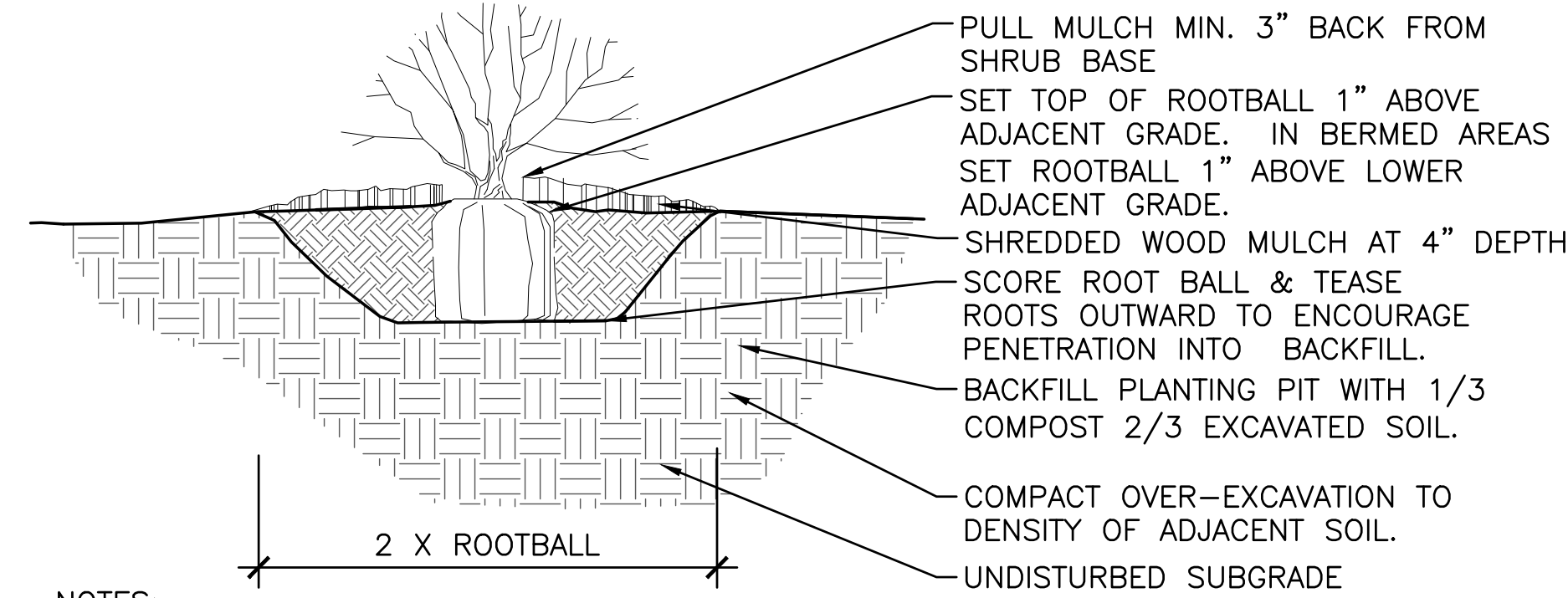
- NO PERSON SHALL ABUSE, MUTILATE OR OTHERWISE DAMAGE ANY TREE OR SHRUB LOCATED ON PUBLIC PROPERTY, INCLUDING THOSE LOCATED IN THE PUBLIC RIGHT-OF-WAY. HOWEVER, NOTHING IN THIS SECTION SHALL BE CONSTRUED TO PREVENT REASONABLE AND PROPER TRIMMING OF TREES AND SHRUBS LOCATED ON PUBLIC OR PRIVATE PROPERTY BY AUTHORIZED PERSONS IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL AND HORTICULTURAL PRACTICES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE, PLACARD, ELECTRICAL WIRE OR OTHER INJURIOUS DEVICE TO ANY TREE OR SHRUB LOCATED ON PUBLIC PROPERTY OR WITHIN A PUBLIC RIGHT-OF-WAY, NOR SHALL ANY PERSON CAUSE ANY SUBSTANCE HARMFUL TO TREES OR SHRUBS TO COME IN CONTACT WITH THEM, OR PREVENT WATER AND OXYGEN FROM REACHING THEIR ROOTS.

TOWN OF PARKER- VIOLATIONS

- ENFORCEMENT OF ANY PROVISION OF THIS SECTION SHALL BE IN ACCORDANCE WITH SECTION 13.03.040 OF THIS TITLE.
- THE REMOVAL OR DESTRUCTION OF EACH TREE AND SHRUB IN VIOLATION OF THE PROVISIONS OF THIS SECTION FOR EACH DAY THE VIOLATION HAS OCCURRED IN VIOLATION OF AN APPROVED TREE CONSERVATION PLAN BY THE TOWN SHALL BE CONSIDERED A SEPARATE OFFENSE.
- IN ADDITION TO THE REMEDIES DESCRIBED IN THIS SECTION, THE TOWN MAY REFUSE TO ISSUE ANY BUILDING PERMITS OR CERTIFICATES OF OCCUPANCY UNTIL THE VIOLATION IS CURED.

TOWN OF PARKER-TREE PROTECTION DURING DEVELOPMENT - SITE

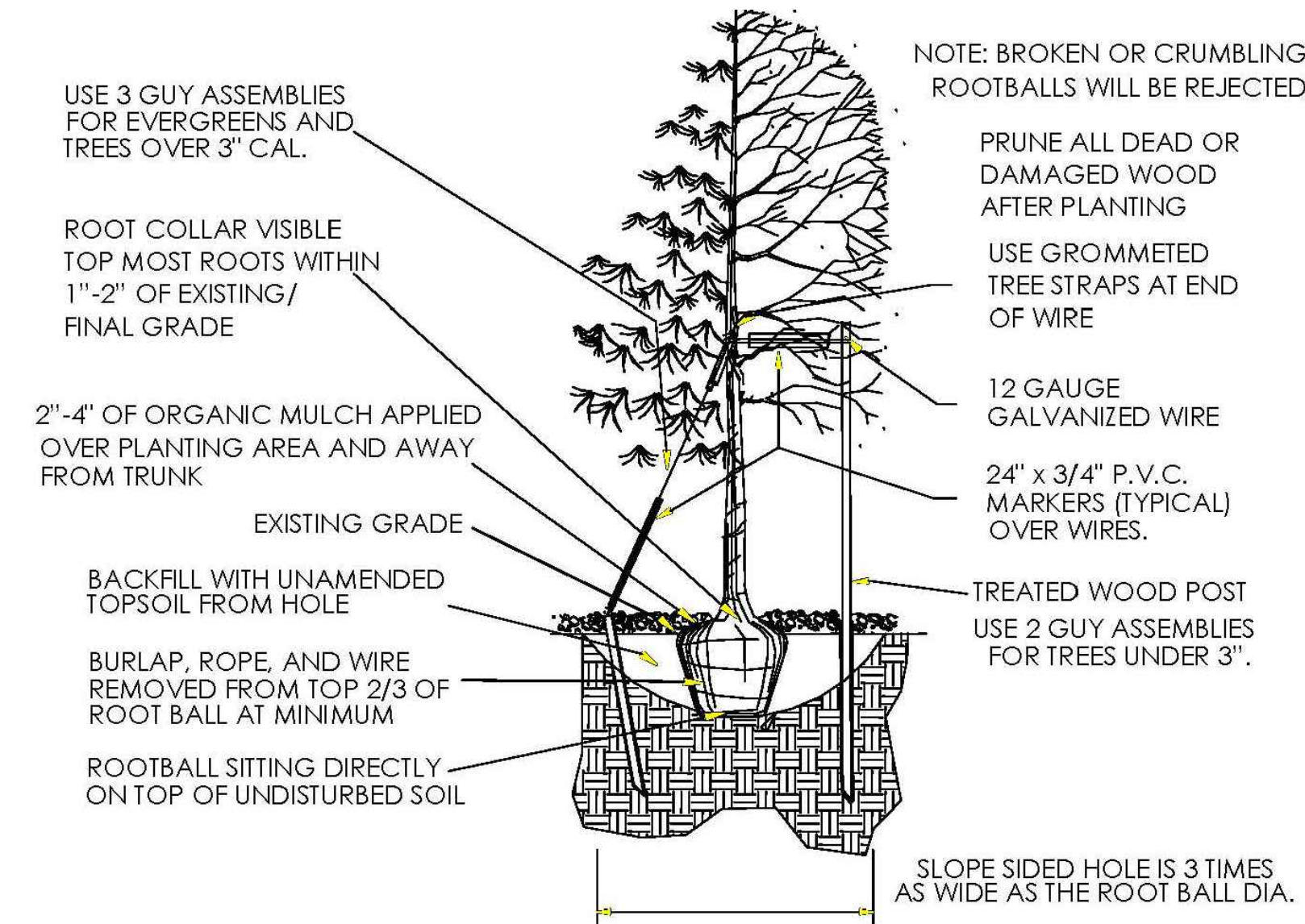
- PRIOR TO THE START OF CONSTRUCTION, ALL TREES AND SHRUBS ON THE SITE SHALL BE CLEARLY IDENTIFIED IN THE FIELD AS EITHER "PRESERVE," "RELOCATE" OR "REMOVE" BY THE PROPERTY OWNER. TOWN STAFF SHALL VERIFY THE IDENTIFICATION OF TREES AND SHRUBS ACCORDING TO THE APPROVED TREE CONSERVATION PLAN. TREE OR SHRUB REMOVAL OR REPLACEMENT SHALL NOT COMMENCE UNTIL THE LANDOWNER HAS OBTAINED WRITTEN VERIFICATION OF THE FIELD IDENTIFICATIONS IN ACCORDANCE WITH THE APPROVED TREE CONSERVATION PLAN WITHIN THIRTY (30) DAYS OF WRITTEN NOTIFICATION OF FIELD STAKING. TREES AND SHRUBS TO BE SAVED MAY BE IDENTIFIED IN GROUPS.
- DURING DEVELOPMENT OR RAZING ACTIVITY, THE LANDOWNER SHALL CAUSE TO BE INSTALLED EFFECTIVE PROTECTION AROUND ALL TREE PRESERVATION AREAS AND SHALL FURTHER INSTALL MECHANISMS SUCH AS TREE WELLS (DEPENDENT UPON SPECIES), RETAINING WALLS OR OTHER STRUCTURES NECESSARY TO PROTECT INDIVIDUAL TREES AND SHRUBS DESIGNATED FOR PRESERVATION. SUCH PROTECTIVE MEASURES SHALL BE SPECIFIED ON THE TREE CONSERVATION PLAN AND SHALL BE DESIGNED AND INSTALLED IN A MANNER CONSISTENT WITH GOOD HORTICULTURAL PRACTICES AND SUBJECT TO THE APPROVAL OF THE PLANNING DIRECTOR, WITH A RECOMMENDATION FROM THE PARKS AND RECREATION DEPARTMENT.
- THE TOWN SHALL FIELD VERIFY ALL LOCATIONS, SIZES AND QUANTITIES OF REPLACEMENT OR RELOCATED TREES AND SHRUBS PRIOR TO THE WARRANTY PERIOD ACCEPTANCE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THE DEVELOPMENT. IF NO PUBLIC IMPROVEMENTS ARE INVOLVED, VERIFICATION SHALL OCCUR PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WARRANTY PERIOD ACCEPTANCE OR CERTIFICATES OF OCCUPANCY SHALL NOT BE AUTHORIZED UNTIL WRITTEN VERIFICATION OF COMPLIANCE WITH THE TREE CONSERVATION PLAN IS OBTAINED FROM THE TOWN.
- ANY REPLACEMENT OR RELOCATED TREE OR SHRUB WHICH DIES WITHIN ONE (1) YEAR OF WRITTEN VERIFICATION OF COMPLIANCE SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT GROWING SEASON WITH THE SAME APPROVED SIZE AND SPECIES OF THE TREE OR SHRUB WHICH DIED. (H)ACTS HARMFUL TO TREES AND SHRUBS.



NOTES:

- PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.
- REMOVE ALL TWINE FROM ROOT BALL, AND FOLD BURLAP BACK 2/3.
- REMOVE PLASTIC BURLAP ENTIRELY. FOR CONTAINER SHRUBS, CAREFULLY REMOVE CONTAINER AND SCORE ROOT BALL.
- SEE PLANTING PLAN FOR MORE INFORMATION.

01 SHRUB PLANTING
NTS



- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil – no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

02 TREE PLANTING
NTS

TOWN OF PARKER STANDARD LANDSCAPE NOTES:

- PLANT MATERIAL SPECIFICATIONS.
 - PLANT MATERIALS SHALL BE SELECTED FROM THE TOWN'S RECOMMENDED PLANT SPECIES NOT INCLUDED IN THE RECOMMENDED PLANT LIST MAY BE SUBMITTED FOR CONSIDERATION, SO LONG AS THE SPECIES IS NOT ON THE EXCLUDED LIST. ALL PLANTS SHALL MEET OR EXCEED THE PLANT QUALITY AND SPECIES STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004, AS AMENDED. SELECTED PLANT MATERIALS SHALL BE HEALTHY AND SHALL BE NURSERY-GROWN AND ADAPTED TO THE LOCAL AREA. ARTIFICIAL PLANT MATERIALS ARE PROHIBITED WITHIN LANDSCAPED AREAS; THIS INCLUDES SYNTHETIC TURF.
 - (2)ALL PLANT MATERIALS MUST MEET THE FOLLOWING REQUIREMENTS:
 - A.DECIDUOUS SHADE TREES: BETWEEN 2-INCH CALIPER AND 2½-INCH CALIPER (MEASURED SIX (6) INCHES ABOVE THE GROUND).
 - B.ORNAMENTAL AND FLOWERING TREES: BETWEEN 1½-INCH CALIPER AND 2-INCH CALIPER (MEASURED SIX (6) INCHES ABOVE THE GROUND).
 - C.EVERGREENS: BETWEEN SIX (6) FEET TALL AND EIGHT (8) FEET TALL (MEASURED TO MID-POINT OF MOST RECENT YEAR'S GROWTH).D.SHRUBS: FIVE-GALLON CONTAINER (TWO (2) TO THREE (3) FEET IN HEIGHT FOR DECIDUOUS, EIGHTEEN- TO TWENTY-FOUR-INCH SPREAD FOR JUNIPERS, OR AS PROVIDED BY THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004, AS AMENDED).
- PLANTING STANDARDS.
 - LANDSCAPING SHALL COMPLY WITH THE PLANTING STANDARDS AS PROVIDED IN THE TOWN'S PUBLIC WORKS TECHNICAL REFERENCE MANUAL, AS AMENDED.
 - PLANT MATERIALS SHALL BE SPACED APPROPRIATELY TO ALLOW ADEQUATE ROOM FOR THE PLANT AT MATURITY.
 - TREE PITS AND CUTOUTS MUST MEET THE CRITERIA SET FORTH IN THE TOWN'S PUBLIC WORKS TECHNICAL REFERENCE MANUAL, AS AMENDED.
 - LANDSCAPING SHALL BE PROTECTED FROM VEHICLES BY THE PLACEMENT OF WHEEL STOPS, CURBS OR OTHER ACCEPTABLE MEANS, APPROVED BY THE TOWN.
 - ALL TREES SHALL BE SPACED APPROPRIATELY FROM LIGHT POLES, SIGNS, STRUCTURES,ETC.
 - TREES SHALL NOT BE ELIMINATED THROUGH THE LOCATION OF LIGHT POLES IN PARKING LOT ISLANDS AND WITHIN THE PARKING LOT PERIMETER LANDSCAPING.
- NONLIVING LANDSCAPE MATERIAL STANDARDS.
 - NONLIVING LANDSCAPE MATERIALS FOR GROUND COVER MAY CONSIST OF BARK, WOOD CHIPS, WOOD SHAVINGS, ROCKS, STONES OR OTHER MATERIALS APPROVED DURING THE SITE PLAN PROCESS.
 - WOOD MULCH SHALL CONSIST OF NATURAL CEDAR FIBER MULCH AND SHALL BE APPLIED A MINIMUM OF FOUR (4) INCHES IN DEPTH, INSTALLED OVER A BASE OF GEOTEXTILE FABRIC.A NO GEOTEXTILE FABRIC SHALL BE USED IN AREAS OF PERENNIAL FLOWER AND GROUND COVER PLANTINGS.B.NATURAL CEDAR FIBER MULCH SHALL BE INSTALLED OVER AREAS OF PERENNIAL FLOWER AND GROUND COVER PLANTINGS TO A DEPTH OF TWO (2) INCHES.
 - ROCK OR STONE SHALL BE TWO (2) TO SIX (6) INCHES IN SIZE AND A MINIMUM DEPTH OF THREE (3) INCHES INSTALLED OVER A BASE OF GEOTEXTILE FABRIC.
 - IRRIGATION REQUIREMENTS.
 - ALL LANDSCAPED AREAS SHALL BE SERVED BY A FUNCTIONING AUTOMATIC IRRIGATION SYSTEM.
 - LANDSCAPED AREAS IN EXCESS OF FIVE THOUSAND (5,000) SQUARE FEET SHALL HAVE A PROPERLY DESIGNED IRRIGATION SYSTEM PROVIDING FULL COVERAGE TO ALL TURF AND PLANT MATERIAL AREAS FROM ROTARY/GEAR-DRIVE SPRINKLERS, POP-UP AND SURFACE SPRAY SPRINKLERS, BUBBLERS, DRIP OR TRICKLE IRRIGATION, AS APPROPRIATE FOR THE AREA TO BE LANDSCAPED. RESIDENTIAL LANDSCAPED AREAS LESS THAN FIVE THOUSAND (5,000) SQUARE FEET MAY BE IRRIGATED BY HAND, SO LONG AS AN ADEQUATE WATER SOURCE, SUCH AS OUTDOOR HOSE BIBS, IS WITHIN FIFTY (50) FEET OF THE LANDSCAPED AREA.
 - A.LANDSCAPE PLANTINGS ARE TO BE GROUPED ACCORDING TO WATER NEEDS.
 - TREES, SHRUBS AND PLANTINGS IN BED AREAS SHALL BE IRRIGATED BY DRIP, BUBBLER SYSTEMS, LOW VOLUME SPRAY HEADS OR SUBSURFACE IRRIGATION SYSTEMS, WHICH MAY INCLUDE THE PRODUCT NETAFIM OR APPROVED EQUIVALENT. SUBSURFACE IRRIGATION SYSTEMS ARE STRONGLY ENCOURAGED DUE TO THEIR EFFICIENCY AND MINIMIZED RUNOFF POTENTIAL.
 - HIGH-WATER-USE TURF AREAS, WHICH MAY INCLUDE BLUEGRASS, FESCUE OR OTHER HIGH-WATER-USE TURF, MAY BE IRRIGATED USING POP-UP OR ROTARY/GEAR-DRIVE SPRINKLERS. POP-UP HEIGHTS ON SPRINKLER HEADS SHOULD BE ADEQUATE TO CLEAR THE GRASS HEIGHT WHEN EXTENDED.
 - THE USE OF SUBSURFACE IRRIGATION FOR ALTERNATIVE LOW-WATER-USE TURF GRASS AREAS, WHICH MAY INCLUDE BUFFALO GRASS, BLUE GRAMA OR OTHER LOW-WATER-USE TURF, IS ENCOURAGED.
 - TEMPORARY OR PERMANENT IRRIGATION MUST BE PROVIDED TO NATIVE GRASS AREAS FOR ESTABLISHMENT IN ORDER TO ASSIST IN COMPLYING WITH THE RE-VEGETATION STANDARDS AS PROVIDED IN THE STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL, AS AMENDED. TEMPORARY IRRIGATION FOR ESTABLISHMENT OF NATIVE VEGETATION MAY BE INSTALLED ABOVE GROUND AND REMOVED IMMEDIATELY AFTER ESTABLISHMENT IS COMPLETE, OR IN ANY CASE, NO LONGER THAN ONE (1) YEAR. UNDEVELOPED LOTS PLANNED FOR DEVELOPMENT, ROADWAYS AND/OR OTHER CAPITAL IMPROVEMENT PROJECTS MAY NOT REQUIRE TEMPORARY OR PERMANENT IRRIGATION AS DETERMINED BY THE DEPARTMENT OF ENGINEERING.
 - IRRIGATION SYSTEMS SHALL BE DESIGNED AND MAINTAINED TO MINIMIZE OVERSPRAY AND RUNOFF ONTO ADJACENT IMPERVIOUS SURFACES, SUCH AS ROADWAYS, SIDEWALKS AND PARKING LOTS.
 - RAINFALL OR SOIL MOISTURE SENSORS, CHECK VALVES, PRESSURE REDUCERS, WATER-EFFICIENT SPRINKLER HEADS, WHICH MAY INCLUDE HUNTER MP ROTATORS OR APPROVED EQUIVALENT, AND FLOW SENSOR VALVES ARE ALL DESIRABLE TO REDUCE UNNECESSARY WATER USAGE.

Parker Town Hall Expansion

Parker, CO 22-093

Town of Parker
20120 Mainstreet
Parker, CO 80138

Architect

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Issue	Date
SDP	02 NOVEMBER 2023
SDP	05 FEBRUARY 2024

Project Number:	22-093
Drawn By:	JM
Reviewed By:	TS
Approved By:	TS

LANDSCAPE DETAILS

PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

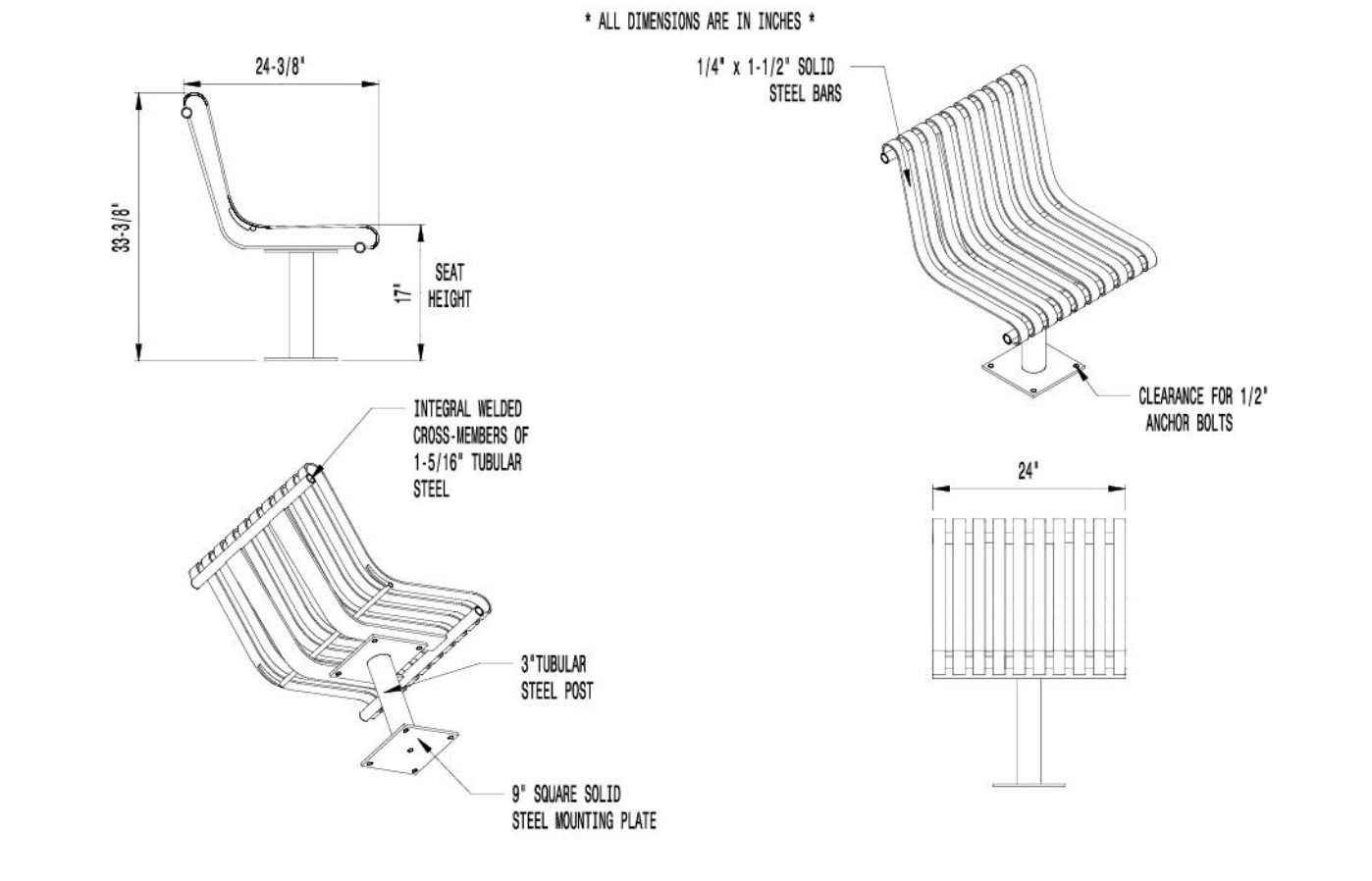
SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

AndersonMasonDale Architects

VICTOR STANLEY, INC.
Manufacturers of Quality Site Furnishings since 1962.

P.O. DRAWER 330 - DUNKIRK, MO 20754 USA
TOLL FREE: (800) 368-2570 (USA & CANADA)
TEL: (301) 855-8300 - FAX: (410) 257-7579
WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

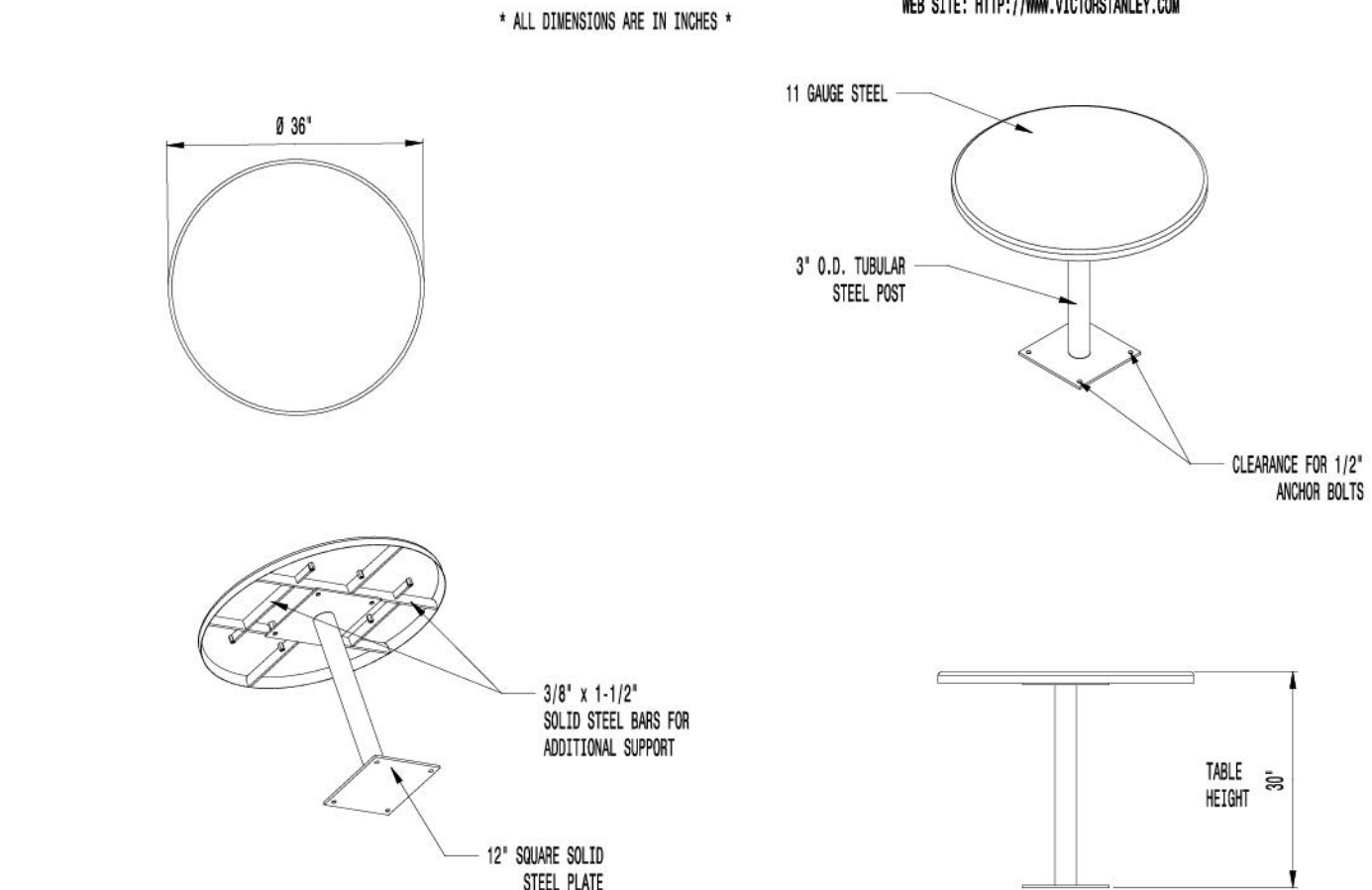


AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS, COLOR: BLACK
CUSTOM COLORS (INCLUDING THE RAL RANGE)
ARMRESTS
AVAILABLE WITH OPTIONAL ARMRESTS

NOTES:
1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
2. ALL FABRICATED METAL COMPONENTS ARE STEEL, SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER COATED WITH T.G.I.C. POLYESTER POWDER COATING. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BULGE COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL SEAT IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
5. FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND DIMENSION IN A TANK OF CHARGED LIQUID ZINC AT OR AROUND 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER COATING SURFACE FINISH OVER THIS GALVANIZED SURFACE MAY CRACK, CHIP, UNIFORMNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS.
6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
7. THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.

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AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS, COLOR: BLACK
CUSTOM COLORS (INCLUDING THE RAL RANGE)
MOUNTING
STANDARD IN-GROUND AND SURFACE MOUNT
TABLE TOP
AVAILABLE WITH OPTIONAL UMBRELLA HOLE, AND OPTIONAL GAZE BOARD

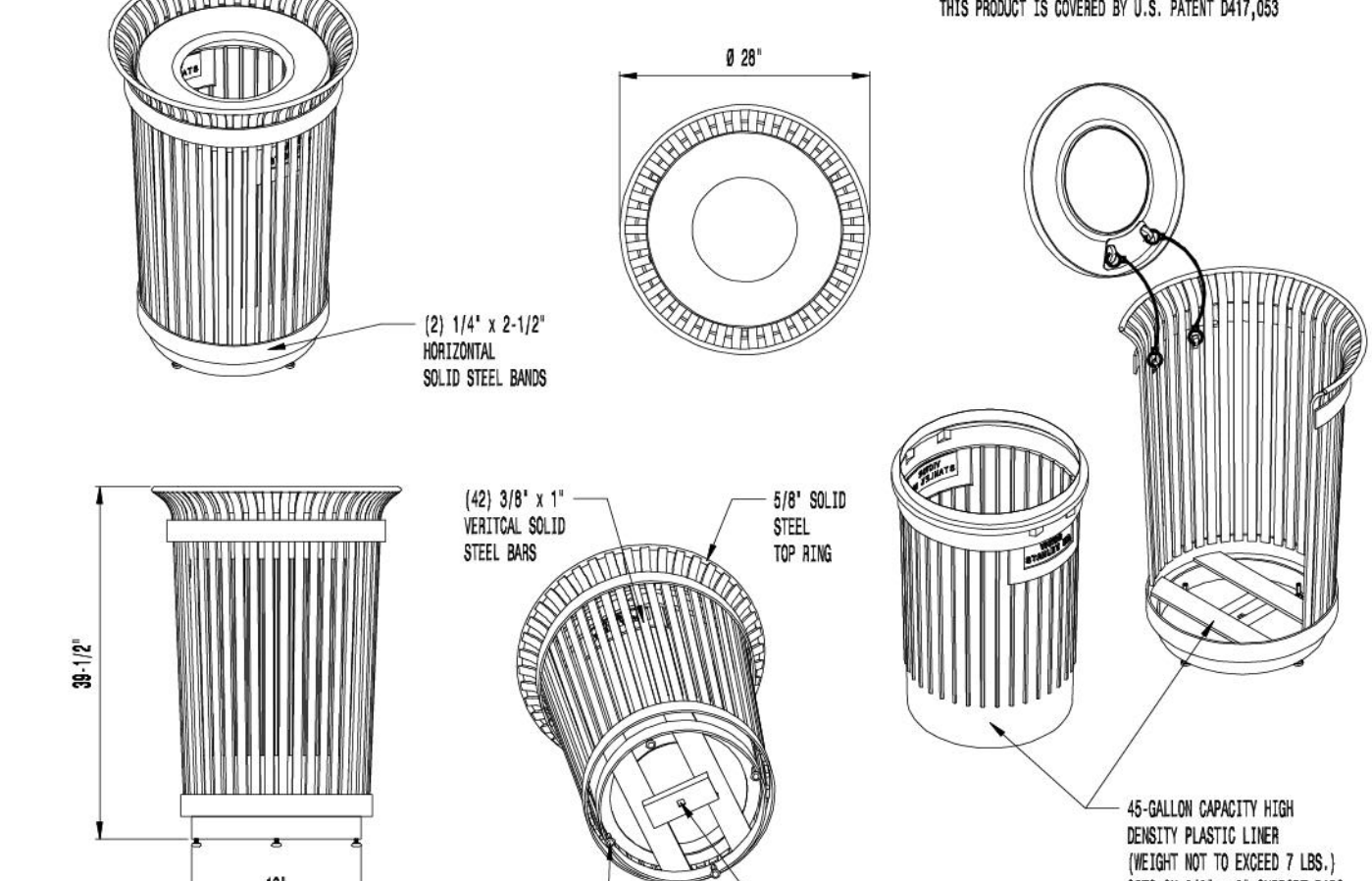
TABLE SIZES
STANDARD 24" ROUND TOP
STANDARD 30" ROUND TOP
STANDARD 36" ROUND TOP (AS SHOWN)
STANDARD 42" ROUND TOP

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3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL TABLE IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
5. FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
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THIS PRODUCT IS COVERED BY U.S. PATENT 0417,053



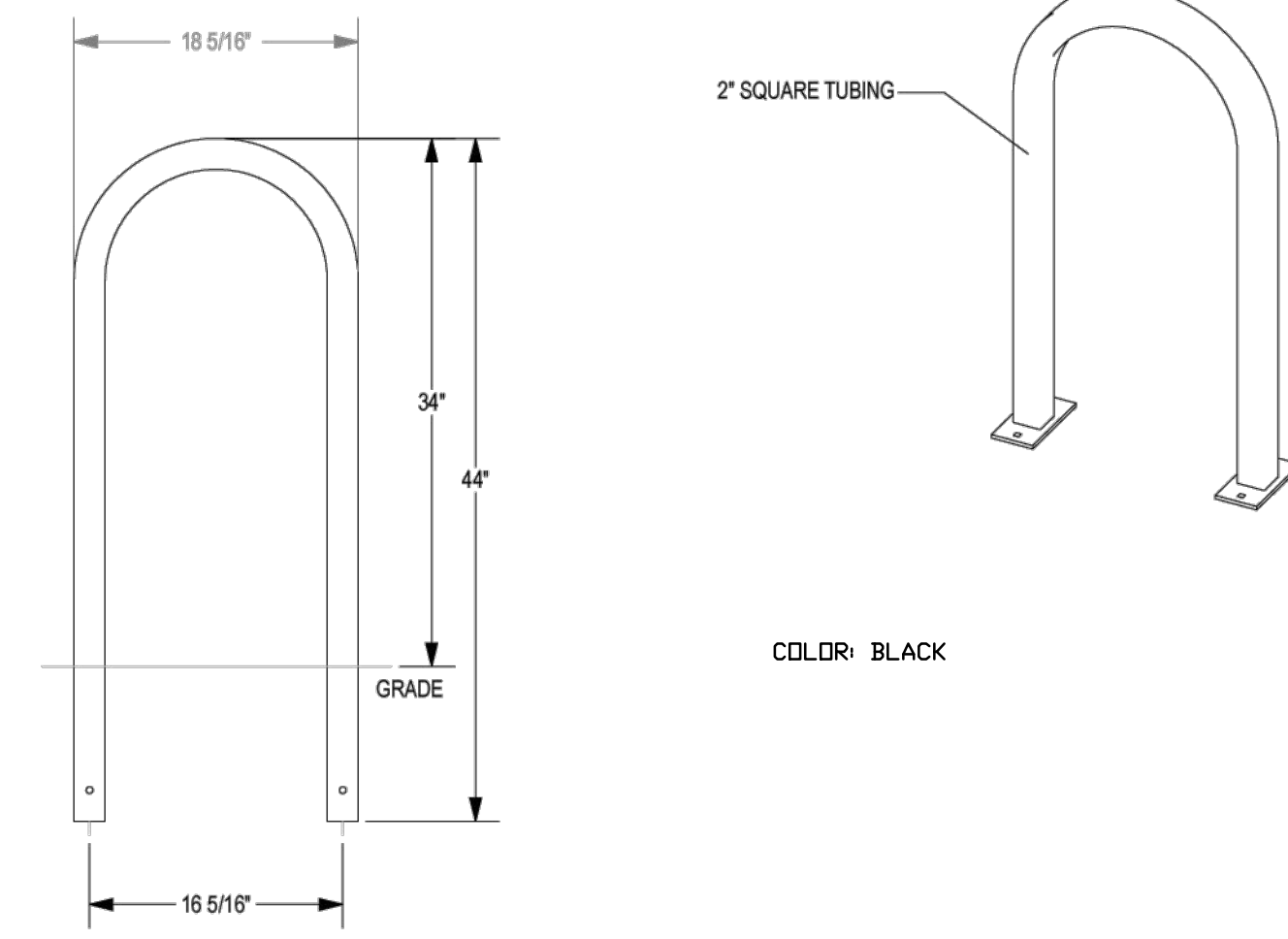
AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, CUSTOM COLORS (INCLUDING THE RAL RANGE) COLOR: BLACK
CUSTOM PLAKES & DECALS
AVAILABLE WITH STEEL PLAKES IN VARIOUS SIZES AND PRESSURE SENSITIVE VINYL OUTDOOR DECALS

NOTES:
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3. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. VICTOR STANLEY, INC., PLASTIC LINER LINERS ARE MOLDED ON TOOLING DESIGNED FOR AND OWNED BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH LIGHTWEIGHT CONSTRUCTION USING OPTICAL MOLDING RIBS, INTERNAL HANDHOLDS, AND HIGH-STRENGTH MATERIALS. THIS KNOWLEDGE HANDLING DIFFICULTY AND FACILITATES EASY EMPTYING AND STORAGE WHILE APPROXIMATING LONG SERVICE LIFE.
5. ANCHOR BOLT(S) NOT PROVIDED BY VICTOR STANLEY, INC.
6. FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
7. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
8. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

MADRAX

MADRAX DIVISION

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WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



CHECK DESIRED MOUNT

ANCHOR ROD
CONCRETE
3" X 8" X 1/4" THICK
2 EA. 3/8" SQ HOLES
SPIKE
CONCRETE

□ IN GROUND MOUNT (IG)
□ SURFACE FLANGE MOUNT (SF)

PRODUCT: U200-IG(SF)
DESCRIPTION: U BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-22-18
ENG: SMC

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NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR/FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

NRS-24
STEELSTITS™ SERIES
INDIVIDUAL SEAT
SHOWN: STANDARD SURFACE MOUNT

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01 CHAIR

NTS

RPCT-36
STEELSTITS™ SERIES
ALL STEEL INDEPENDENT POST TABLE
SHOWN: STANDARD 36" ROUND TABLE
STANDARD SURFACE MOUNT

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02 PICNIC TABLE

NTS

RB-45
STEELSTITS™ RB SERIES
45-GALLON LITTER RECEPTACLE
SHOWN: STANDARD TAPERED FORMED LID

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03 TRASH/RECYCLING RECEPTACLE

NTS

BICYCLE RACK

NTS

04 BICYCLE RACK

NTS

KTY234 LED II Security Bollard

Bollards and Pathway Luminaires

1/5

we-ef



Description
Impact-Rated Bollard (IP66, Class I, IK10, Marine-grade, all aluminum construction, SCE superior corrosion protection including PCS hardware, Silicone CCS® Controlled Compression Gaskets, Polycarbonate lens, CAD-optimized indirect optics for superior illumination and glare control, Integral driver in thermally separated compartment, Factory-installed LED circuit board, SMD, PL40 0-10V Dimming, Luminaire spacing up to 26 ft, ideal for pathway lighting applications. Specify product with 7 digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-8004 (Black) + XXX-XXXX (Accessory 1)

1. IMPACT RATED
2. COLOR: GRAY METALLIC
3. DR APPROVED EQUAL.

05 BOLLARD

NTS



1. SMOOTH FINISH STANDARD GRAY CONC.
2. 18" HEIGHT
3. 12" WIDTH

06 CONCRETE SEAT WALL

NTS

Parker Town Hall Expansion

Parker, CO 22-093

Town of Parker
20120 Mainstreet
Parker, CO 80138

Architect
AndersonMasonDale Architects, P.C.
3198 Speer Boulevard
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Electrical Engineer + Technology
AE Design
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Denver, CO 80202
Telephone: 303-296-3034

Issue Date
SDP 02 NOVEMBER 2023
SDP 05 FEBRUARY 2024

Project Number: 22-093
Drawn By: JM
Reviewed By: TS
Approved By: TS

LANDSCAPE DETAILS

6

SITE PLAN SUBMITTAL

PARKER TOWN HALL, LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

AndersonMasonDale Architects

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Parker, CO 22-093

Town of Parker

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Project Number:	22-093
Drawn By:	EP
Reviewed By:	TS
Approved By:	EP

IRRIGATION DESIGN STRATEGY				
HATCH	DESCRIPTION	AREAS < 6'	AREAS 6'-25'	AREAS > 25'
	NATIVE GRASS	NA	HI-POP SPRAY SPRINKLERS	HI-POP ROTORS
	SHRUBS, PERENNIALS & GROUND COVERS	INLINE SUBSURFACE DRIP	INLINE SUBSURFACE DRIP	INLINE SUBSURFACE DRIP

*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.

IRRIGATION DEVELOPMENT DESIGN NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 4:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 70 GPM. THE STATIC PRESSURE REQUIRED AT THE SITE IS 90 PSI.
4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
5. IRRIGATION DESIGN APPROACH
 - 5.1. ANNUALS- INLINE DRIPPERLINE LINE ON SURFACE
 - 5.2. SHRUBS, PERENNIALS AND GROUND COVERS - INLINE DRIPPERLINE LINE ON SURFACE.
 - 5.3. PERENNIAL ORNAMENTAL GRASSES AND GROUND COVERS - INLINE DRIPPERLINE LINE ON SURFACE.
6. IRRIGATION SYSTEM SHALL UTILIZE A NEW IRRIGATION SMART CONTROLLER, SPECIFICATION IS TO BE DETERMINED.

IRRIGATION SCHEDULE		
SYMBOL	DESCRIPTION	DETAIL NO.
	EXISTING TORO SENTINEL, 30-STATION	1
	PVC MAINLINE - 2-1/2" OR SMALLER	2
	PVC SLEEVING	3
	EXISTING PVC MAINLINE	NA
	FLOW SENSOR	NA
	QUICK COUPLER	4
	MASTER VALVE	NA
	EXISTING ISOLATION GATE VALVE	NA

SLEEVE LEGEND	
SYMBOL	SLEEVE (COUNT) SIZE
	(1)4" & (1)3"
	(2)2"
PIPE MATERIAL	CL. 160 PVC
INSTALLATION DEPTH	24"

DIRECTORY	
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EXISTING POINT OF CONNECTION #1 - 1.5"

PEAK FLOW REQUIREMENT: 38 GPM. REQUIRED STATIC PRESSURE: 90 PSI
 CONTRACTOR SHALL FIELD LOCATE EXISTING 2" WATER METER AND BACKFLOW PREVENTER AT THIS APPROXIMATE LOCATION. CUT EXISTING MAINLINE DOWNSTREAM OF BACKFLOW AND ISOLATION GATE VALVE AND MAKE NEW 2.5" CLASS 200 PVC MAINLINE CONNECTION TO EXISTING WITH THREADED SCHEDULE 40 PVC ADAPTER AND ROUTE NEW 2.5" MAINLINE AS SHOWN. INSTALL NEW 1.5" FLOW SENSOR, QUICK COUPLER VALVE, AND 1.5" MASTER VALVE AS SHOWN. THE CONTROLLER PLATFORM FOR THIS PROJECT HAS NOT BEEN DETERMINED. EXTEND ONE PE89 SHIELDED CABLE FROM FLOW SENSOR TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. EXTEND 4 UFUL14# WIRE (TWO ORANGE AND TWO BLUE) AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT. WORK SHALL CONFORM TO LOCAL CODE. FEES, PERMITS AND INSPECTIONS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

AndersonMasonDale Architects

Parker Town Hall Expansion

Parker, CO 22-093

Town of Parker

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 Parker, CO 80138

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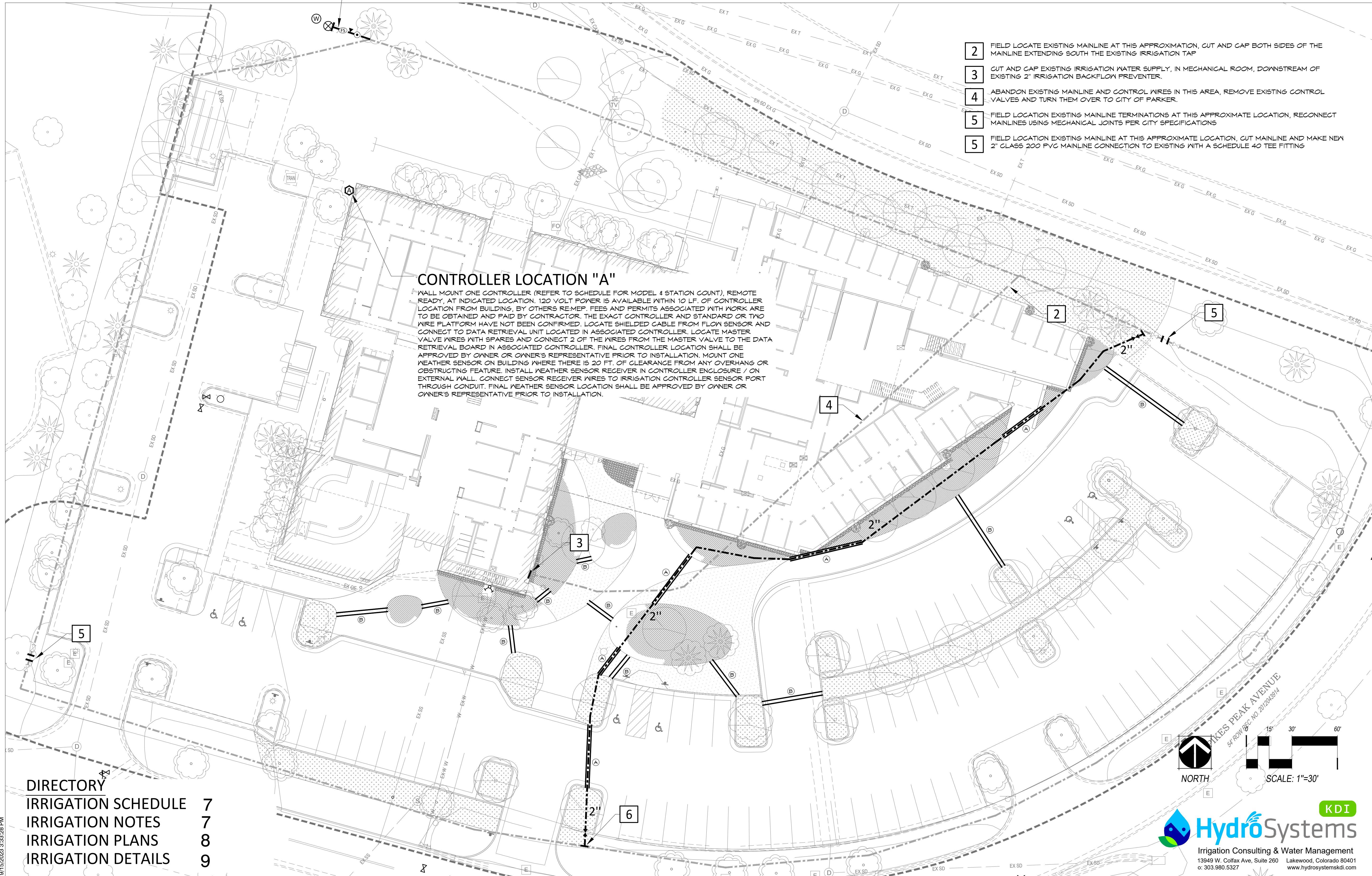
Electrical Engineer + Technology

AE Design
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 Denver, CO 80202
 Telephone: 303-296-3034

Issue	Date
SDP	02 NOVEMBER 2023
SDP	05 FEBRUARY 2024

Project Number:	22-093
Drawn By:	EP
Reviewed By:	TS
Approved By:	EP

IRRIGATION PLAN



SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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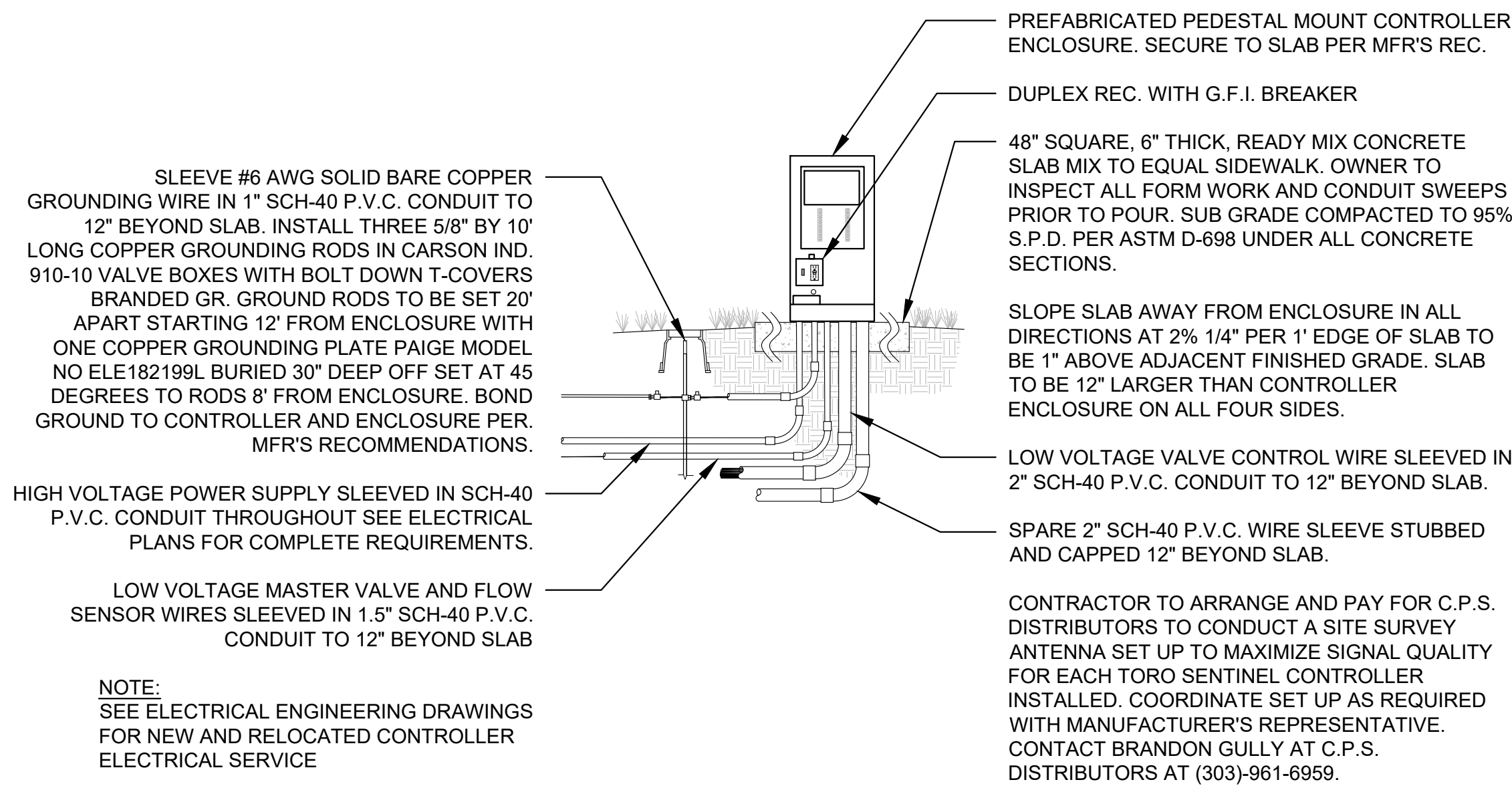
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IRRIGATION DETAILS

CONTROLLER SPECIFICATION SUMMARY:

CONTROLLER (C1) ----- CONTRACTOR TO SUPPLY AND INSTALL ONE NEW TORO SENTINEL SERIES CONTROLLER MODEL NO. (SEE DRAWINGS)



1 CONTROLLER AND ENCLOSURE ELEVATION

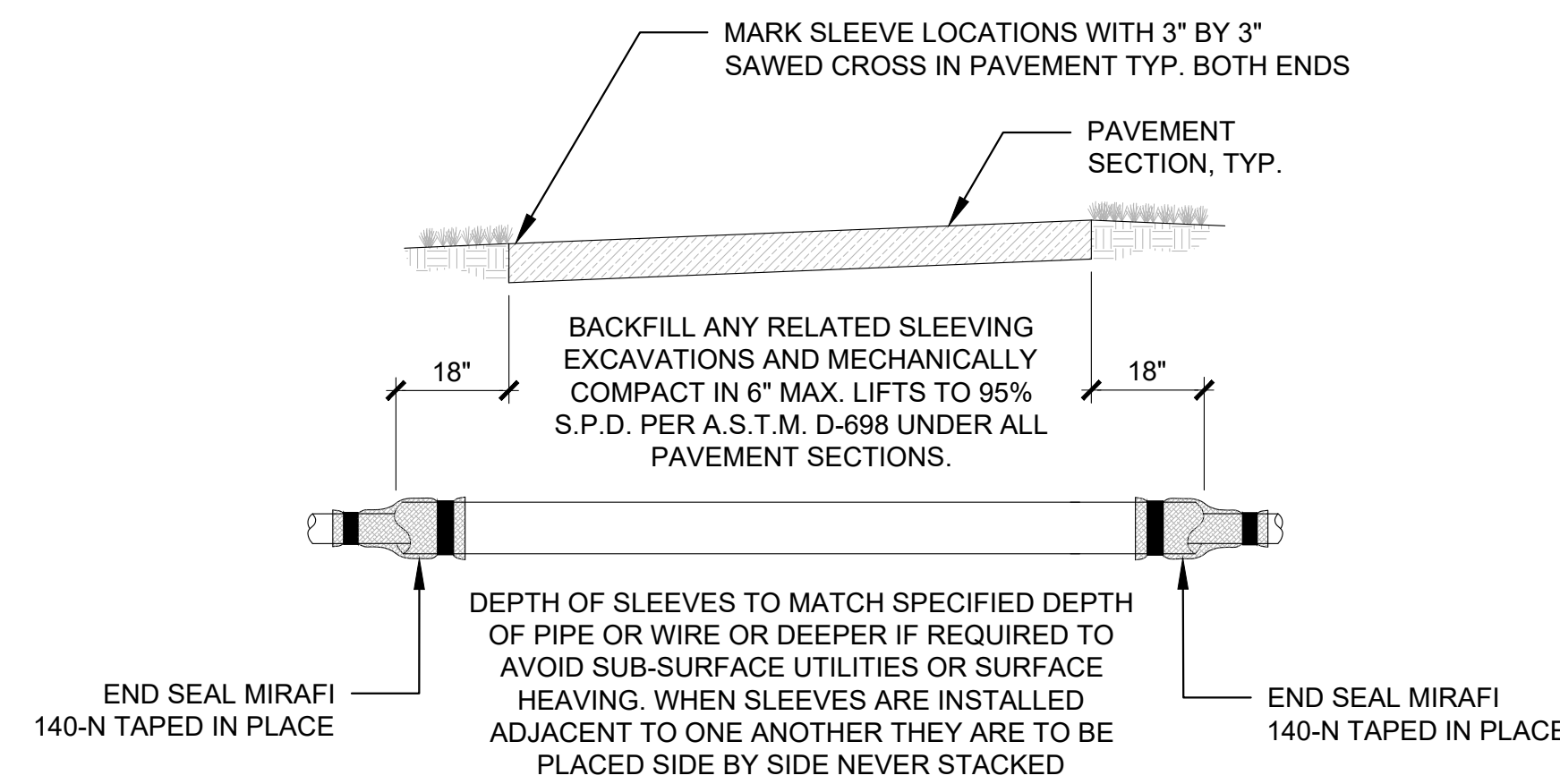
NO SCALE (SCALE VP TO 1/4" = 1'-0")

DIRECTORY

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IRRIGATION NOTES	7
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IRRIGATION DETAILS	9

2 IRRIGATION TRENCHING

NO SCALE (SCALE VP TO 1/4" = 1'-0")



SLEEVING SHALL BE S.I.D.R.-11.5 H.D.P.E. INSTALLED BY DIRECTIONAL BORING UNDER EXISTING ASPHALT OR CONCRETE PAVEMENT IF REQUIRED AND CL-200 P.V.C. INSTALLED BY OPEN TRENCHING UNDER PROPOSED ASPHALT OR CONCRETE PAVEMENT. MAINLINE SLEEVES ARE 4", WIRE SLEEVES ARE 4" AND SECONDARY PIPE SLEEVES ARE 4".

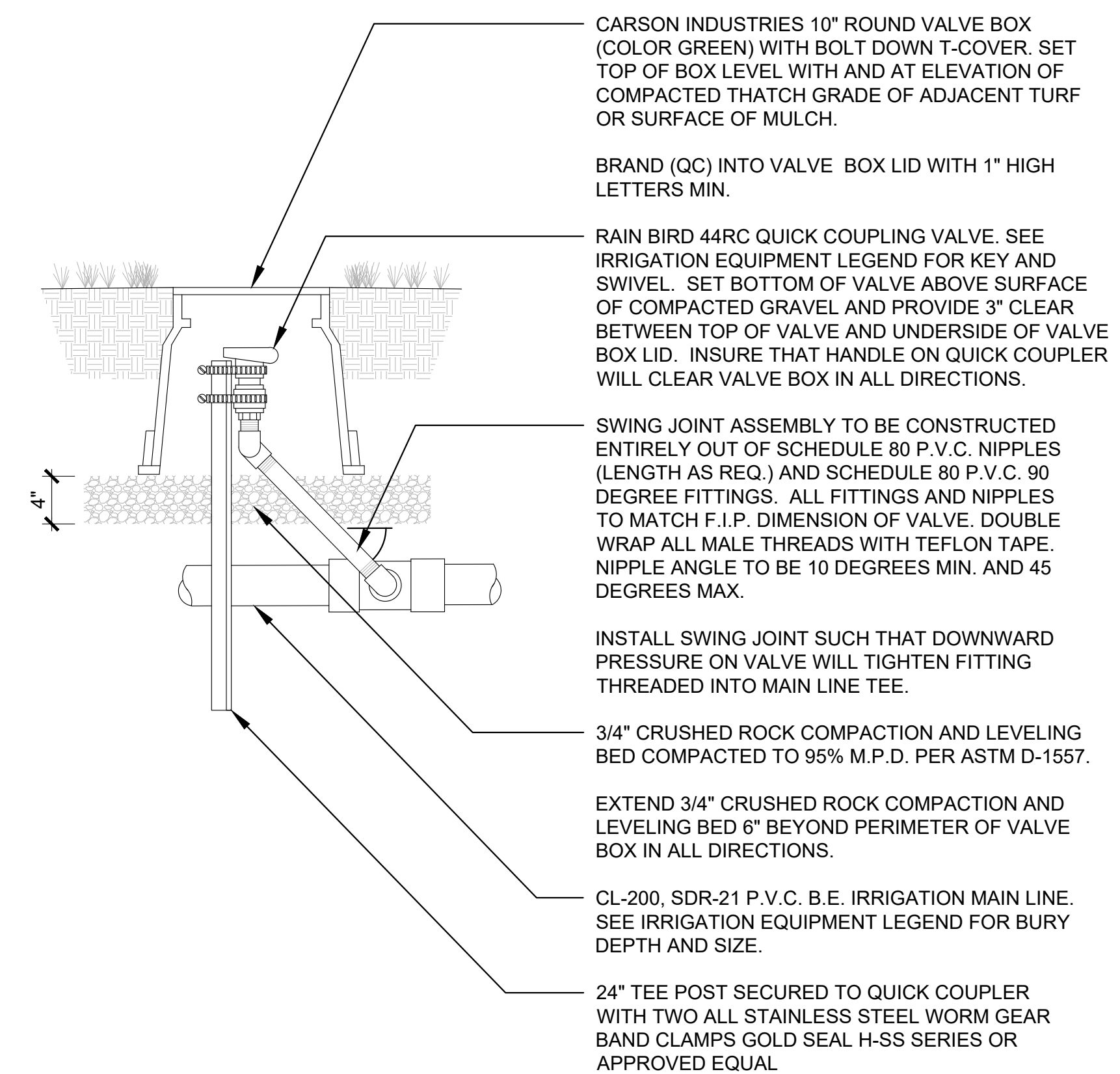
SLEEVING WILL BE MEASURED FROM THE POINT WHERE THE MAINLINE PIPE, SECONDARY PIPE OR WIRE ENTER THE SLEEVE (AT THE SPECIFIED DEPTH) TO THE POINT WHERE THE MAINLINE PIPE, SECONDARY PIPE OR WIRE EXIT THE SLEEVE (AT THE SPECIFIED DEPTH). ANY ADDITIONAL PIPE OR BORING REQUIRED TO ACHIEVE THE SPECIFIED PIPE AND OR WIRE DEPTH AND ANY ADDITIONAL PIPE OR BORING REQUIRED TO RETURN TO THE SURFACE INCLUDING ANY AND ALL PULL PIPE WILL BE CONSIDERED AS A SUBSIDIARY OBLIGATION OF THE CONTRACTOR UNDER THE CONTRACT UNIT PRICE FOR SLEEVING AND WILL NOT BE PAID FOR SEPARATELY.

ALL SURFACE RESTORATION (REQUIRED BY BORING AND SLEEVING OPERATIONS) INCLUDING BACKFILL, COMPACTION, FINE GRADE AND SOD PATCH OR NATIVE SEEDING WILL BE CONSIDERED AS A SUBSIDIARY OBLIGATION OF THE CONTRACTOR UNDER THE CONTRACT UNIT PRICE FOR SLEEVING AND WILL NOT BE PAID FOR SEPARATELY.

ADJUST SLEEVING DEPTH AS REQUIRED TO AVOID SUBSURFACE UTILITIES AND OR TO AVOID SURFACE HEAVING. ANY ADDITIONAL PIPE OR BORING REQUIRED TO CARRY SLEEVING DEEPER WILL BE CONSIDERED AS A SUBSIDIARY OBLIGATION OF THE CONTRACTOR UNDER THE CONTRACT UNIT PRICE FOR SLEEVING AND WILL NOT BE PAID FOR SEPARATELY.

3 IRRIGATION SLEEVING

NO SCALE (SCALE VP TO 1/4" = 1'-0")



4 QUICK COUPLER VALVE

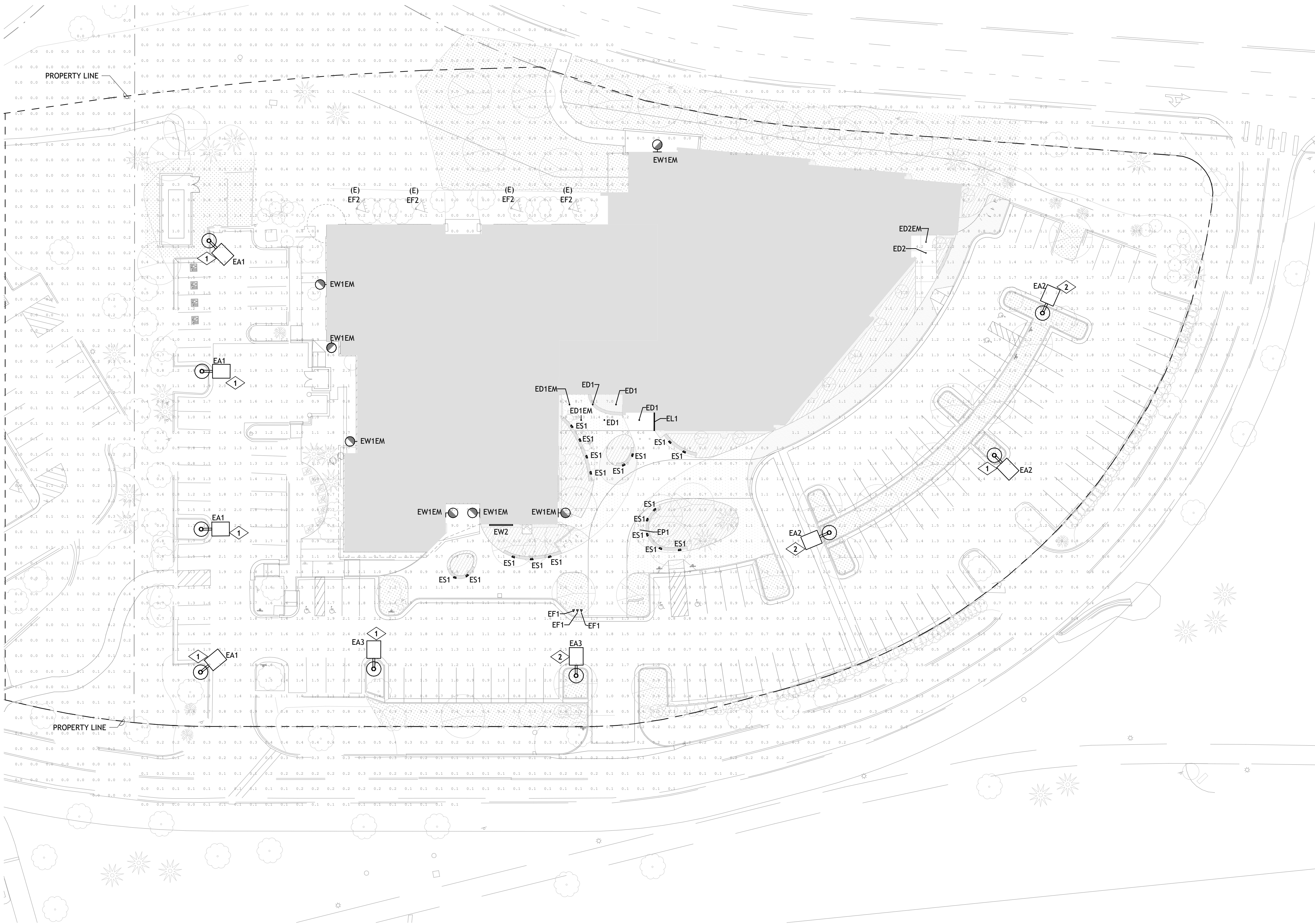
NO SCALE (SCALE VP TO 1/4" = 1'-0")

SITE PLAN SUBMITTAL

PARKER TOWN HALL, LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

EXTERIOR LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QUAN.	LAMP WATTAGE	LAMP / CCT / CRI	MAX WATTAGE	LUMEN OUTPUT	DIMMING / MIN LEVEL	FIXTURE FINISH	MOUNTING	BOF/RFD/OFH	NOTES
EA1	EXTERIOR LED AREA POLE LIGHT, SINGLE HEAD TYPE IV DISTRIBUTION	GARDCO	OPF-M-A08-730-T5W-A1-UNV-BZ-SERIES	277 V	1	74 W	LED / 3000K/70 CRI	74 VA	12438 LM	0-10V	BRONZE	POLE MOUNTED	30'-0" OFH	
EA2	EXTERIOR LED AREA POLE LIGHT, SINGLE HEAD TYPE V WIDE FLOOD DISTRIBUTION	GARDCO	OPF-M-A12-730-T5W-A1-UNV-BZ-SERIES	277 V	1	150 W	LED / 3000K/70 CRI	150 VA	24816 LM	0-10V	BRONZE	POLE MOUNTED	30'-0" OFH	
EA3	EXTERIOR LED AREA POLE LIGHT, SINGLE HEAD TYPE III WIDE FLOOD DISTRIBUTION	GARDCO	OPF-M-A08-730-T3M-A1-UNC-BZ-SERIES	277 V	1	74 W	LED / 3000K/70 CRI	74 VA	12890 LM	0-10V	BRONZE	POLE MOUNTED	30'-0" OFH	
ED1	EXTERIOR 4" WIDE CYLINDER, MOUNTED FLUSH WITH BOTTOM OF WOOD SLAT CEILING, HIGH OUTPUT	LUCIFER	CY4-FB-2-BK-BK-90551E-30-60-XX	277 V	1	30 W	LED / 3000K / 80 CRI	30 VA	3104 LM	0-10V TO 1%	BLACK	CEILING SURFACE	0'-10" OFH	
ED1EM	EXTERIOR 4" WIDE CYLINDER, MOUNTED FLUSH WITH BOTTOM OF WOOD SLAT CEILING, HIGH OUTPUT	LUCIFER	CY4-FB-2-BK-BK-90551E-30-60-XX	277 V	1	30 W	LED / 3000K / 80 CRI	30 VA	3104 LM	0-10V TO 1%	BLACK	CEILING SURFACE	0'-10" OFH	
ED2	EXTERIOR 4" WIDE CANOPY CEILING RECESSED DOWNLIGHT, 40 DEGREE BEAM ANGLE	LUCIFER	F4RS-FFS-1-BB-90511A-35-40-IC-I-XX	277 V	1	11 W	LED / 3000K / 80 CRI	18 VA	1277 LM	0-10V TO 1%	BLACK	CEILING RECESSED	0'-3.34" RFD	
ED2EM	EXTERIOR 4" WIDE CANOPY CEILING RECESSED DOWNLIGHT, 40 DEGREE BEAM ANGLE	LUCIFER	F4RS-FFS-1-BB-90511A-35-40-IC-I-XX	277 V	1	11 W	LED / 3000K / 80 CRI	18 VA	1277 LM	0-10V TO 1%	BLACK	CEILING RECESSED	0'-3.34" RFD	
EF1	EXTERIOR GROUND MOUNTED MONOPOINT LED, MONUMENT LIGHTING, 25 DEG BEAM SPREAD, 30FT MAX DISTANCE	IGUZZINI	IPLCIO-5-BO-830-MD-REM-02-4548-0350-019-U-NV-D10	277 V	1	24 W	LED / 3000K / 80 CRI	24 VA	312 LM	0-10V TO 10%	BLACK	GROUND MOUNTED	2" OFH	
EF2	EXISTING GROUND MOUNTED FLOOD LIGHT	E-CONOLIGHT	E-FFA13A-TN40Z	277 V	1	118 W	LED/4000K/70CRI	118 VA	13500 LM	--	BLACK	GROUND MOUNTED	2" OFH	
EL1	92" LONG RECESSED WALL GRAZER, MOUNTED FLUSH TO GLAZING TO CONTINUOUS APPEARANCE BETWEEN LOBBY, VESTIBULE, AND EXTERIOR	ALW	HYRP-SL-S92"-WTV-MIN-90-3500K-0/10/1%-SB-LUNV-N-N-N	277 V	1	58 W	LED / 3500K / 90 CRI	58 VA	3919 LM	0-10V TO 1%	BLACK	CEILING RECESSED	6" RFD	
EP1	EXTERIOR POLE MOUNTED LED SPOTLIGHT FOR PARKING LOT FLAG	EAGLE MOUNTAIN	SG-3K-EHS-M-60-BRZ	277 V	1	13 W	LED / 3000K / 80 CRI	13 VA	1005 LM	--	BRONZE	POLE MOUNTED	9" OFH	
ES1	EXTERIOR SURFACE MOUNTED 4.5" WIDE SQUARE STEP LIGHT, REMOTE DRIVER	SISTEMALLIX	S6250-W-FM-UNV-24-D10	277 V	1	5 W	LED / 3000K / 90 CRI	5 VA	169 LM	0-10V TO 10%	ANTHRACITE GRAY	WALL RECESSED	0'-1 1/4" RFD	
EW1EM	EXTERIOR WALL MOUNTED SCONCE, TYPE IV DISTRIBUTION, DIFFUSE LENS	LANDSCAPE FORMS	TML-24-A-TIV-O-BK	277 V	1	35 W	LED / 3000K / 80 CRI	35 VA	1035 LM	0-10V TO 10%	BLACK	WALL SURFACE	9'-0" BOF	
EW2	EXTERIOR ADJUSTABLE, 12" LONG WALL-MOUNTED LINEAR SIGNAGE LIGHT, 12" CANTILEVER ARM	LUMINI	RUNWW-12-27K-HO-C-4-BZ	277 V	1	103 W	LED / 3000K / 90 CRI	103 VA	410 LM/FT	SWITCHING	BRONZE	WALL SURFACE	27'-6" BOF	



LIGHTING GENERAL NOTES

- ILLUMINANCE VALUES SHOWN HAVE BEEN CALCULATED AT GRADE WITH A LIGHT LOSS FACTOR (LLF) OF 1.0.
- AT ALL PROPERTY LINES, ILLUMINANCE VALUES DO NOT EXCEED 1.0 FC.
- ALL LUMINAIRES EXCEEDING 15,000 LUMENS SHALL BE SHIELDED.
- UNLESS OTHERWISE NOTED, MAXIMUM ILLUMINANCE VALUES DO NOT EXCEED 12.0 FC.
- IN ALL PARKING AREAS, MAX/MIN UNIFORMITY RATIOS DO NOT EXCEED 10:1 AND AVG/MIN UNIFORMITY RATIOS DO NOT EXCEED 3:1.
- ALL PARKING LOT LIGHTS, EXCEPT THOSE REQUIRED FOR SECURITY, SHALL BE EXTINGUISHED WITHIN ONE HOUR AFTER THE END OF BUSINESS AND REMAIN EXTINGUISHED UNTIL ONE HOUR PRIOR TO THE COMMENCEMENT OF BUSINESS.

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
1	AT THIS LOCATION, NEW FIXTURE HEAD SHALL BE PROVIDED FOR EXISTING POLE. EXISTING HEAD SHALL BE REMOVED AND REPLACED TO MEET TOWN OF PARKER EXTERIOR LIGHTING REQUIREMENTS.
2	AT THIS LOCATION, NEW POLE MOUNTED AREA LIGHT SHALL BE PROVIDED (NEW LIGHT, NEW POLE, NEW BASE).

Calculation Summary

LABEL	AVG.	MAX	MIN	AVG/MIN	MAX/MIN
Full Site	0.88	11.4	0	N.A.	N.A.
Property Line	0.16	1.0	0	N.A.	N.A.
Parking Lot Averages	1.48	3.0	0.5	2.96	6.0

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Issue _____ Date _____
 Site Plan Submittal _____ 06 FEBRUARY 2024

Project Number: 22-093
 Drawn By: SH
 Reviewed By: KM
 Approved By: KM

PHOTOMETRIC SITE PLAN

PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

*N/A = TREES WITH SIGNIFICANT STRUCTURAL DAMAGE AND BORER INSECT ISSUES. TO BE REMOVED BY FORESTER REGARDLESS OF PROJECT LIMITS.

TREE MITIGATION NOTE:

- 45 REMOVED TREES ARE BEING MITIGATED BY PLANTING 46 ADDITIONAL TREES.
- TOWN FORESTER HAS CONFIRMED TREE SPECIES & SIZES.
- TREE VALUATION PROVIDED BY TOWN FORESTER, JANUARY 2024.

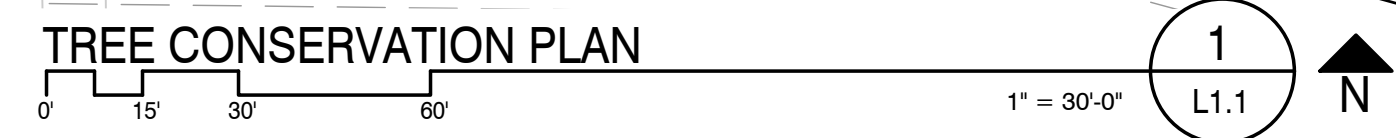
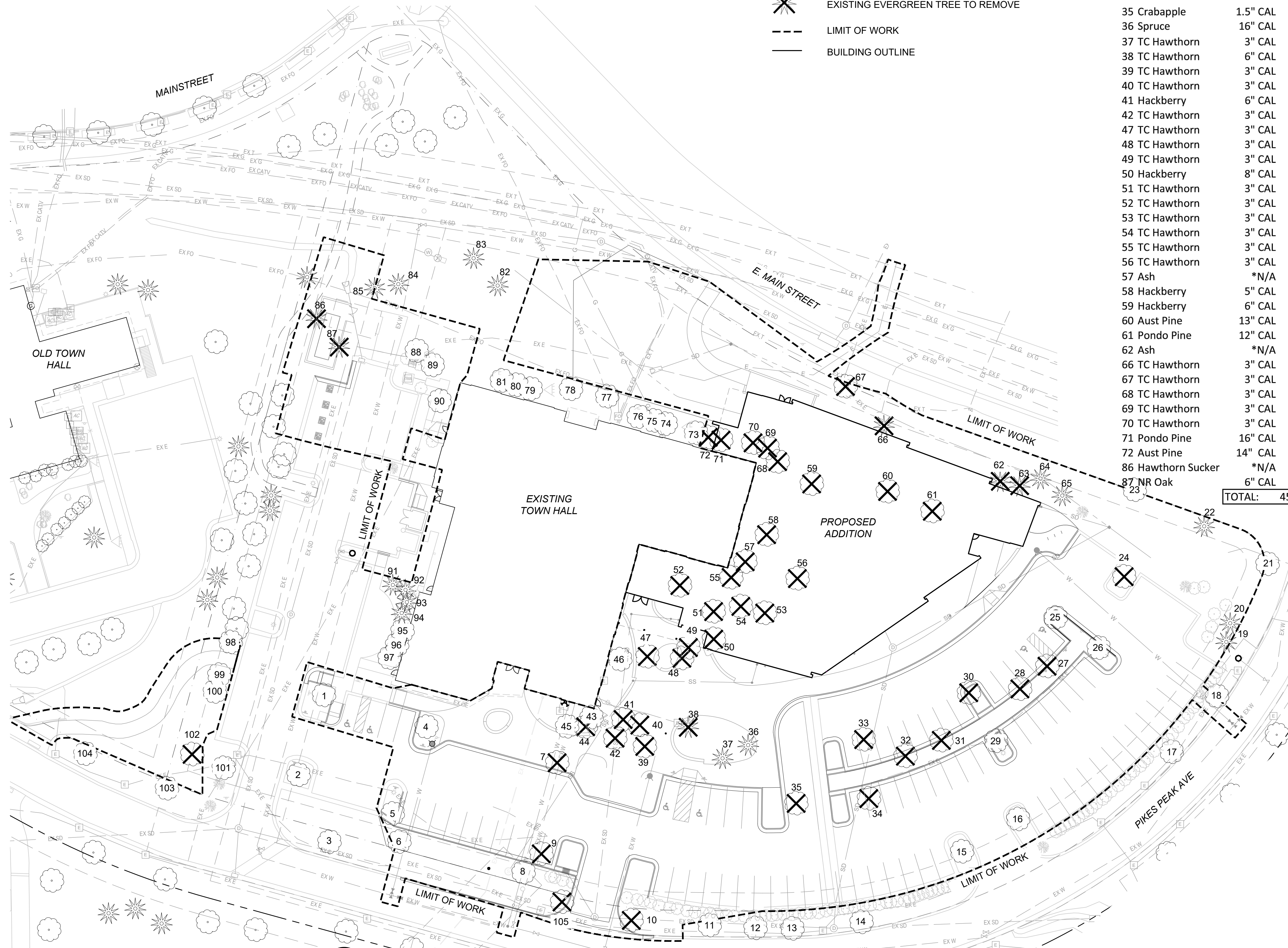
TREE MITIGATION LEGEND

- EXISTING DECIDUOUS TREE TO PRESERVE
- EXISTING EVERGREEN TREE TO PRESERVE
- EXISTING DECIDUOUS TREE TO REMOVE
- EXISTING EVERGREEN TREE TO REMOVE
- LIMIT OF WORK
- BUILDING OUTLINE

TREES TO BE REMOVED:

#	Species	Size (CALIPER)	Height (FT)	Value (\$)	Condition
7	Pear	2" CAL		\$352.93	80%
9	Crabapple	2" CAL		\$376.79	80%
10	NR Oak	6" CAL		\$1,830.00	80%
24	Ash	*N/A		\$0.00	Poor
27	SW Oak	6" CAL		\$1,830.00	80%
28	SW Oak	5" CAL		\$1,390.00	80%
30	SW Oak	4" CAL		\$807.13	80%
31	SW Oak	6" CAL		\$1,830.00	80%
32	SW Oak	5" CAL		\$1,390.00	80%
33	SW Oak	2" CAL		\$302.67	60%
34	SW Oak	3" CAL		\$454.01	60%
35	Crabapple	1.5" CAL		\$282.58	80%
36	Spruce	16" CAL	32ft	\$3,970.00	60%
37	TC Hawthorn	3" CAL		\$565.15	80%
38	TC Hawthorn	6" CAL		\$1,710.00	80%
39	TC Hawthorn	3" CAL		\$565.15	80%
40	TC Hawthorn	3" CAL		\$565.15	80%
41	Hackberry	6" CAL		\$1,830.00	80%
42	TC Hawthorn	3" CAL		\$565.15	80%
47	TC Hawthorn	3" CAL		\$565.15	80%
48	TC Hawthorn	3" CAL		\$423.86	80%
49	TC Hawthorn	3" CAL		\$423.86	80%
50	Hackberry	8" CAL		\$2,960.00	80%
51	TC Hawthorn	3" CAL		\$423.86	80%
52	TC Hawthorn	3" CAL		\$423.86	80%
53	TC Hawthorn	3" CAL		\$423.86	80%
54	TC Hawthorn	3" CAL		\$423.86	80%
55	TC Hawthorn	3" CAL		\$423.86	80%
56	TC Hawthorn	3" CAL		\$423.86	80%
57	Ash	*N/A		\$0.00	Poor
58	Hackberry	5" CAL		\$1,390.00	80%
59	Hackberry	6" CAL		\$1,830.00	80%
60	Aust Pine	13" CAL	18ft	\$2,520.00	70%
61	Pondo Pine	12" CAL	18ft	\$2,160.00	70%
62	Ash	*N/A		\$0.00	Poor
66	TC Hawthorn	3" CAL		\$423.86	80%
67	TC Hawthorn	3" CAL		\$423.86	80%
68	TC Hawthorn	3" CAL		\$423.86	80%
69	TC Hawthorn	3" CAL		\$423.86	80%
70	TC Hawthorn	3" CAL		\$423.86	80%
71	Pondo Pine	16" CAL	20ft	\$3,750.00	70%
72	Aust Pine	14" CAL	25ft	\$3,110.00	75%
86	Hawthorn Sucker	*N/A		\$0.00	Poor
87	NR Oak	6" CAL		\$1,830.00	80%
TOTAL:				45 TREES	\$46,242.10

*N/A = TREES WITH SIGNIFICANT STRUCTURAL DAMAGE AND BORER INSECT ISSUES. TO BE REMOVED BY FORESTER REGARDLESS OF PROJECT LIMITS.



TOTAL TREE COUNT				
#	Species	Size (CALIPER)	Height (FT)	Notes
1	Elm	3" CAL		PRESERVE
2	Pear	2" CAL		PRESERVE
3	Coffee Tree	2.5" CAL		PRESERVE
4	Pear	2" CAL		PRESERVE
5	Crabapple	2" CAL		PRESERVE
6	Crabapple	2" CAL		PRESERVE
7	Pear	2"		REMOVE
8	Crabapple	2"		PRESERVE
9	Crabapple	2"		REMOVE
10	NR Oak	6"		REMOVE
11	Coffee Tree	2"		PRESERVE
12	Coffee Tree	4"		PRESERVE
13	Coffee Tree	4"		PRESERVE
14	Coffee Tree	4"		PRESERVE
15	SW Oak	2"		PRESERVE
16	SW Oak	2"		PRESERVE
17	Linden	7"		PRESERVE
18	Linden	7"		PRESERVE
19	Aust Pine		25ft	PRESERVE
20	Aust Pine		25ft	PRESERVE
21	Crabapple		11ft	PRESERVE
22	Aust Pine		21ft	PRESERVE
23	Hackberry	3"		PRESERVE
24	Ash	*N/A		REMOVE
25	SW Oak	4"		PRESERVE
26	SW Oak	10		PRESERVE
27	SW Oak	6"		REMOVE
28	SW Oak	5"		REMOVE
29	SW Oak	5"		PRESERVE
30	SW Oak	4"		REMOVE
31	SW Oak	6"		REMOVE
32	SW Oak	5"		REMOVE
33	SW Oak	2"		REMOVE
34	SW Oak	3"		REMOVE
35	Crabapple	1.5"		REMOVE
36	Aust Pine	11" CAL	25ft	PRESERVE
37	Aust Pine	13" CAL	30ft	PRESERVE
38	Spruce	16" CAL	32ft	REMOVE
39	TC Hawthorn	3" CAL		REMOVE
40	TC Hawthorn	6" CAL		REMOVE
41	TC Hawthorn	3" CAL		REMOVE
42	TC Hawthorn	3" CAL		REMOVE
43	TC Hawthorn	3" CAL		PRESERVE
44	TC Hawthorn	3" CAL		PRESERVE
45	TC Hawthorn	3" CAL		PRESERVE
46	TC Hawthorn	3" CAL		PRESERVE
47	Hackberry	6" CAL		REMOVE
48	TC Hawthorn	3" CAL		REMOVE
49	TC Hawthorn	3" CAL		REMOVE
50	TC Hawthorn	3" CAL		REMOVE
51	TC Hawthorn	3" CAL		REMOVE
52	Hackberry	8" CAL		REMOVE
53	TC Hawthorn	3" CAL		REMOVE
54	TC Hawthorn	3" CAL		REMOVE
55	TC Hawthorn	3" CAL		REMOVE
56	TC Hawthorn	3" CAL		REMOVE
57	TC Hawthorn	3" CAL		REMOVE
58	TC Hawthorn	3" CAL		REMOVE
59	Ash	*N/A		REMOVE
60	Hackberry	5" CAL		REMOVE
61	Hackberry	6" CAL		REMOVE
62	Aust Pine	13" CAL	18ft	REMOVE
63	Pondo Pine	12" CAL	18ft	REMOVE
64	Aust Pine	18ft		PRESERVE
65	Aust Pine	18ft		PRESERVE
66	Spruce	*N/A		REMOVE
67	Ash	*N/A		REMOVE
68	TC Hawthorn	3" CAL		REMOVE
69	TC Hawthorn	3" CAL		REMOVE
70	TC Hawthorn	3" CAL		REMOVE
71	TC Hawthorn	3" CAL		REMOVE
72	TC Hawthorn	3" CAL		REMOVE
73	TC Hawthorn	3" CAL		PRESERVE
74	TC Hawthorn	3" CAL		PRESERVE
75	TC Hawthorn	3" CAL		PRESERVE
76	TC Hawthorn	3" CAL		PRESERVE
77	Golden R Tree	4" CAL		PRESERVE
78	Golden R Tree	4" CAL		PRESERVE
79	TC Hawthorn	3" CAL		PRESERVE
80	TC Hawthorn	3" CAL		PRESERVE
81	TC Hawthorn	3" CAL		PRESERVE
82	Aust Pine		20ft	PRESERVE
83	Aust Pine		22ft	PRESERVE
84	Spruce		18ft	PRESERVE
85	Aust Pine		28ft	PRESERVE
86	Pondo Pine	16" CAL	20ft	REMOVE
87	Aust Pine	14" CAL	25ft	REMOVE
88	Chokecherry	4" CAL		PRESERVE
89	Pear	4" CAL		PRESERVE
90	Wash Hawthorn	3" CAL		PRESERVE
91	Bosnian Pine		16ft	PRESERVE
92	Bosnian Pine		16ft	PRESERVE
93	Bosnian Pine		18ft	PRESERVE
94	Bosnian Pine		18ft	PRESERVE
95	TC Hawthorn	3" CAL		PRESERVE
96	TC Hawthorn	3" CAL		PRESERVE
97	TC Hawthorn	3" CAL		PRESERVE
98	Japanese Lilac	5" CAL		PRESERVE
99	Japanese Lilac	4" CAL		PRESERVE
100	Japanese Lilac	5" CAL		PRESERVE
101	Pear	3" CAL		PRESERVE
102	Hawthorn Sucker	*N/A		REMOVE
103	NR Oak	6" CAL		PRESERVE
104	Elm	6" CAL		PRESERVE
105	NR Oak	6"		REMOVE

AndersonMasonDale Architects

Parker Town Hall Expansion
Parker, CO 22-093
Town of Parker
20120 Mainstreet
Parker, CO 80138

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Telephone: 303-296-3034

Issue	Date
SDP	02 NOVEMBER 2023
SDP	05 FEBRUARY 2024

Project Number:	22-093
Drawn By:	JM
Reviewed By:	TS
Approved By:	TS

TREE CONSERVATION PLAN

SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Parker Town Hall Expansion

Parker, CO 22-093

Town of Parker

20120 Mainstreet
Parker, CO 80138

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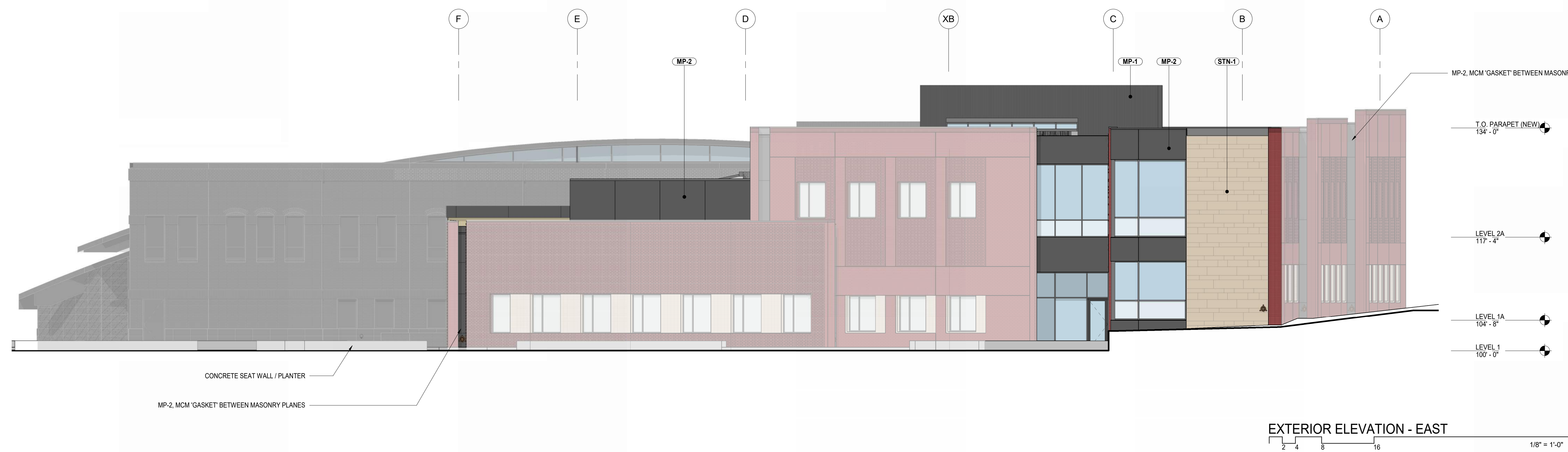
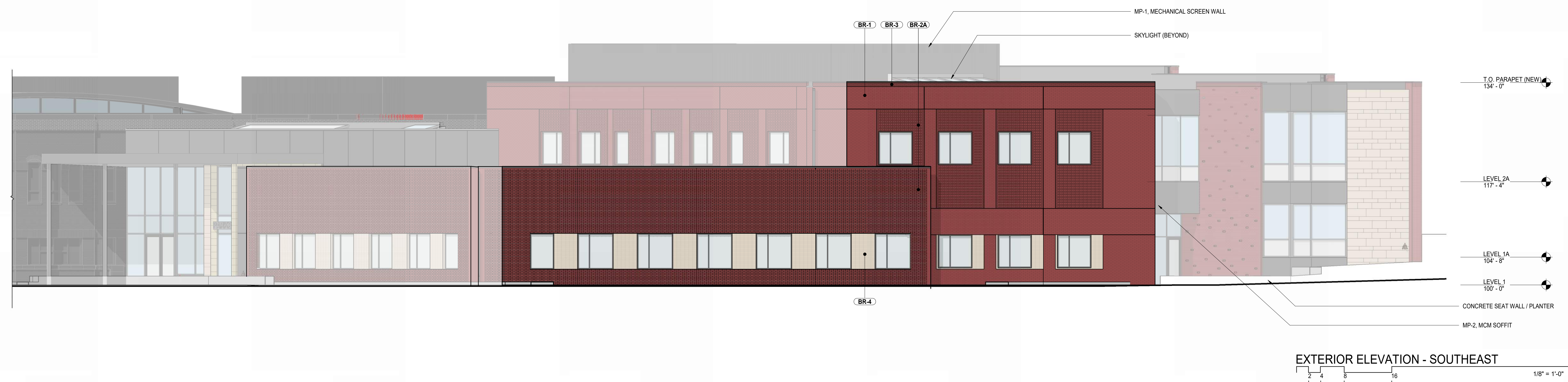
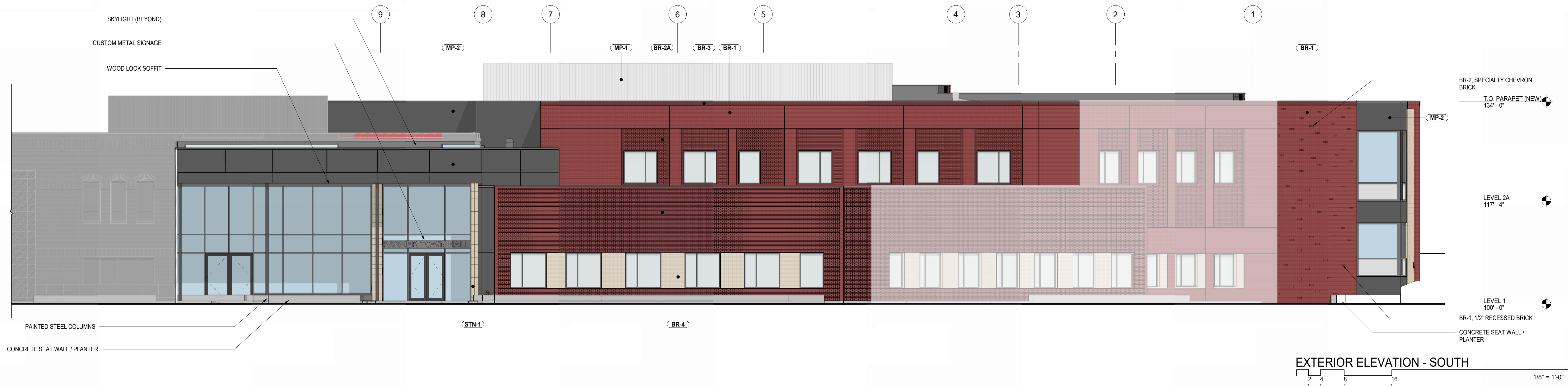
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Issue	Date
SITE PLAN SUBMITTAL	11 NOV 2023
SITE PLAN SUBMITTAL	06 FEB 2024

Project Number:	22-093
Drawn By:	JM
Reviewed By:	JT
Approved By:	JC

BUILDING ELEVATIONS



SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Parker Town Hall Expansion

Parker, CO 22-093

Town of Parker
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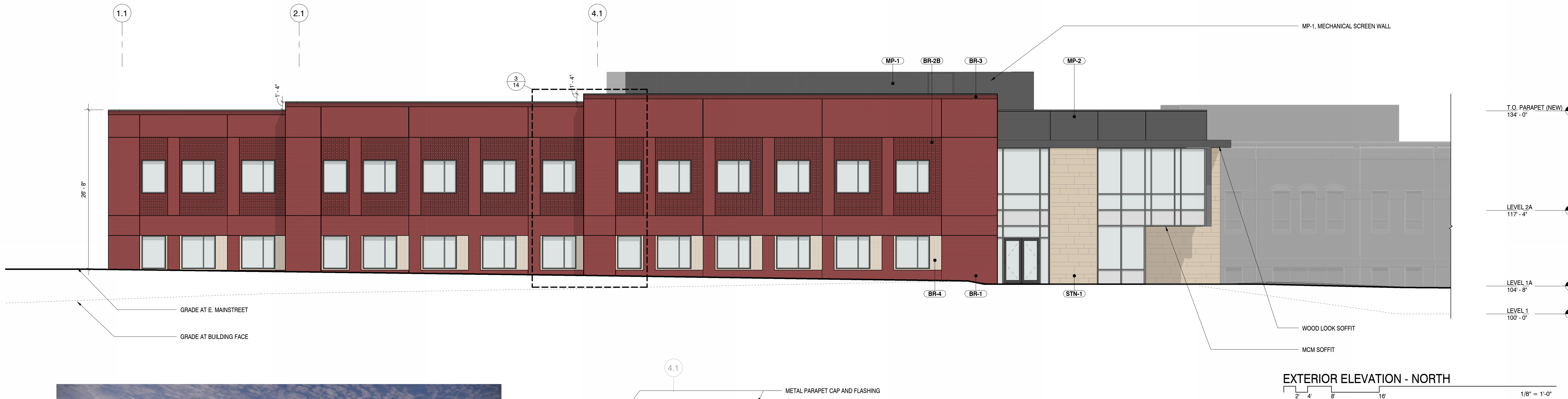
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- GENERAL NOTES**
1. THE EXISTING BUILDING IS SHOWN WITH A SOLID GRAY TRANSPARENT FILL OVER IT. NO EXTERIOR IMPROVEMENTS TO THE EXISTING BUILDING ARE INCLUDED WITHIN THIS SCOPE OF WORK.
 2. THE ADDITION HAS SEVERAL WALL PLANES THAT ARE ANGLED. ANY WALL PLANE THAT IS NOT TRULY PERPENDICULAR TO THE ELEVATION VIEW, ARE SHOWN IN GRAYTONE LINWORK.
 3. SHADOWS ARE INCLUDED ON ELEVATIONS TO HELP CONVEY CHANGES IN PLANE.

LEGEND

	STN-1, STONE CLADDING
	BR-1, BRICK VENEER: STANDARD BRICK COLOR 1 - RED BRICK, RUNNING BOND
	BR-2A, BRICK VENEER: SAWTOOTH BRICK AND STANDARD BRICK (COLOR 1 - RED BRICK), EVERY OTHER COURSE, RUNNING BOND
	BR-2B, BRICK VENEER: SAWTOOTH BRICK AND STANDARD BRICK (COLOR 2 - DARK BRICK), EVERY OTHER COURSE, RUNNING BOND
	BR-3, BRICK VENEER: STANDARD BRICK COLOR 2 - DARK BRICK, STACK BOND
	BR-4, BRICK VENEER: STANDARD BRICK (COLOR 3 - BLONDE BRICK), STACK BOND
	MP-1, CORRUGATED METAL PANEL
	MP-2, COMPOSITE METAL PANEL



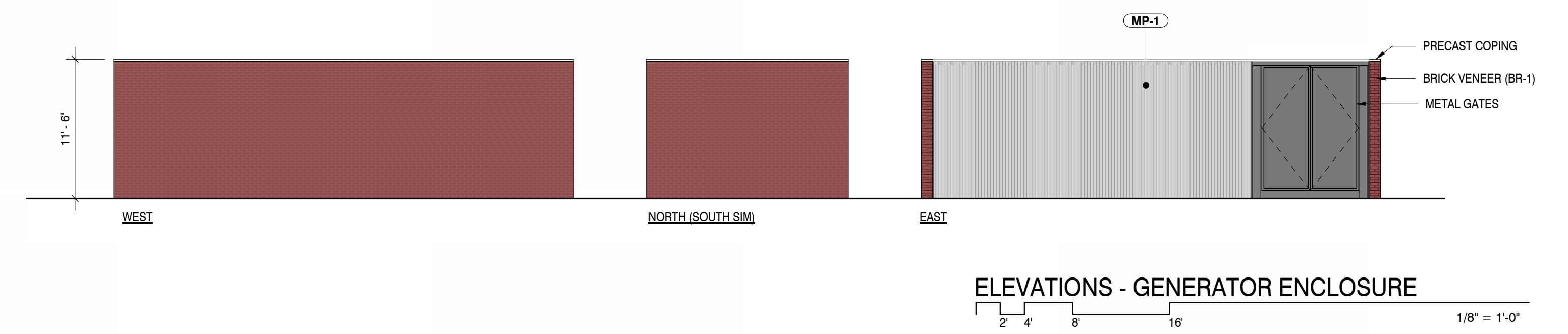
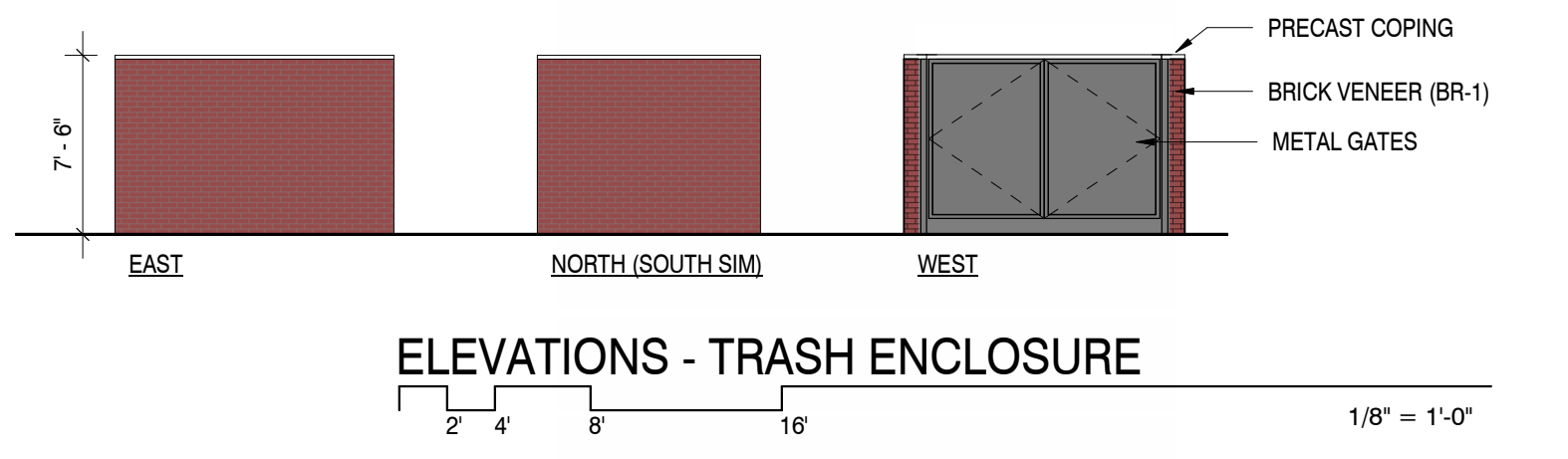
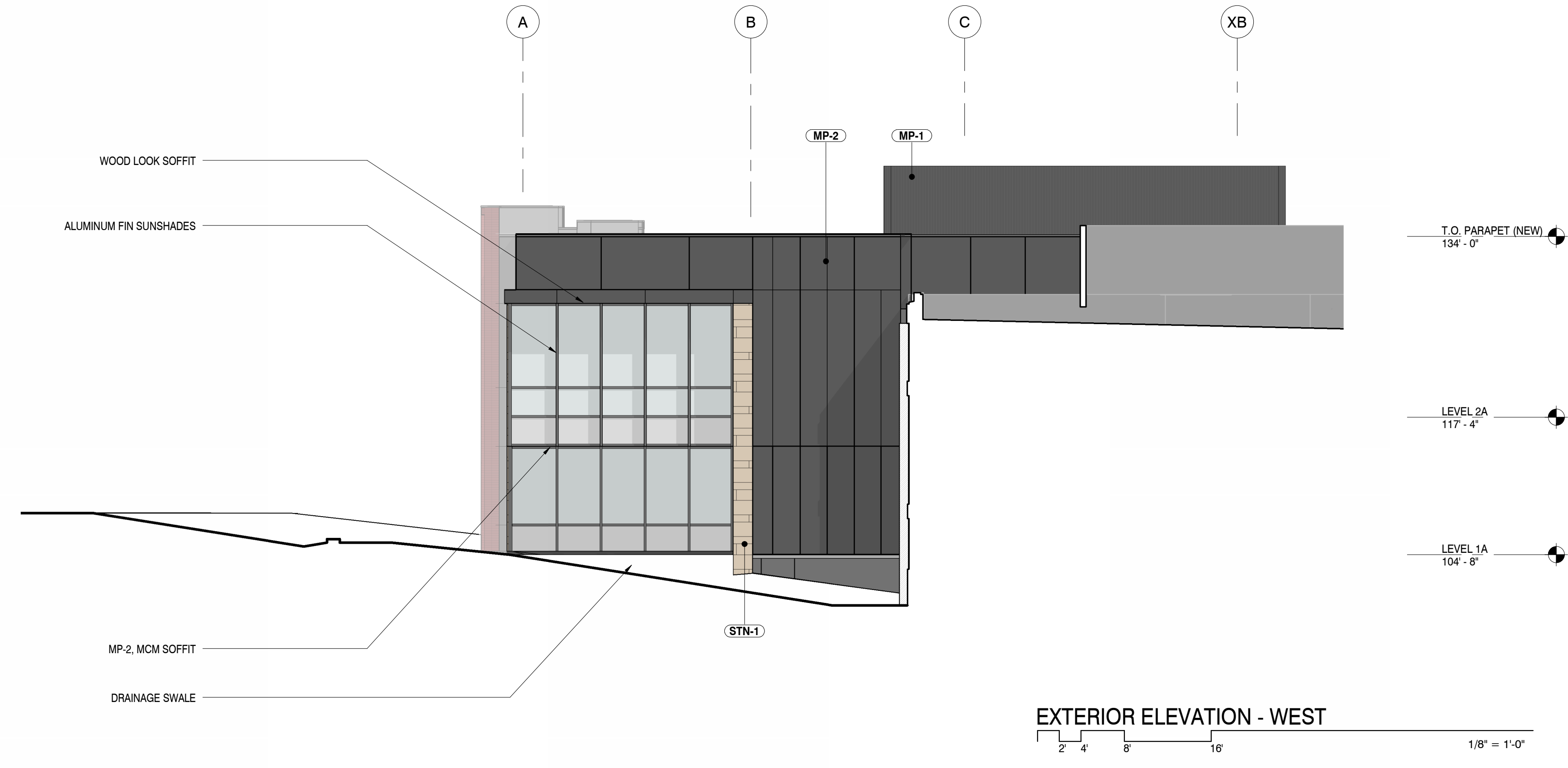
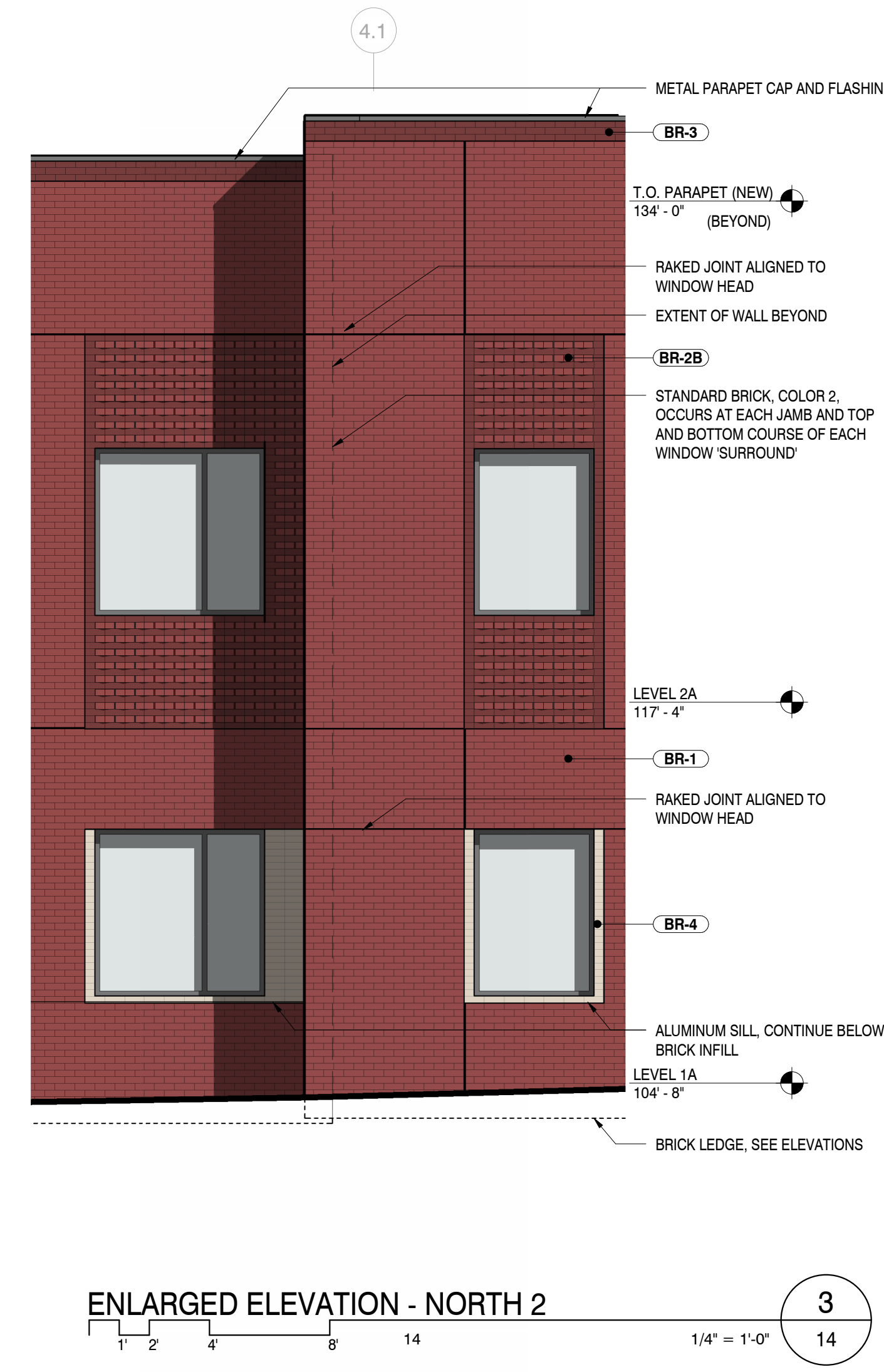
RENDERING OF PROPOSED NORTHWEST APPROACH TO ADDITION



RENDERING OF PROPOSED NORTH FACADE OF ADDITION



RENDERING OF PROPOSED EAST APPROACH TO ADDITION



Issue	Date
SCHEMATIC DESIGN	01 MAY 2023
DESIGN DEVELOPMENT	20 OCT 2023

Project Number:	22-093
Drawn By:	JM
Reviewed By:	JT
Approved By:	JC

BUILDING ELEVATIONS