



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Bob Exstrom, Town of Parker
FROM: Stacey Nerger, Senior Planner
DATE: April 23, 2024
SUBJECT: Parker Town Hall Amendment 3 Lot 1 – Site Plan
Review Comments 03

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger

EMAIL: snerger@parkeronline.org

PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
 - a. Example: "04 Site Plan"

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

Please see updated drawing sheets

2. Please make sure all parking spaces proposed on site are shown on the overall site plan. There are several areas where text interferes with the locations.

Comment Addressed: Yes No

Response:

Labels have been moved out of parking areas so striping can be viewed.

Parking

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

Please see updated drawing sheets

Landscaping

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

Please see Wenk Associates' responses in green on redlined sheets.

2. Pursuant to Section 13.06.070 (I) (5) In all required landscaped areas, except within public rights-of-way, residential roadway buffers and landscape islands, one (1) tree and five (5) shrubs shall be planted for each one thousand five hundred (1,500) square feet of lot area not covered by a building or required parking. Please include the number of trees, shrubs and ornamental grasses required and proposed in the landscaped area for the site.

Comment Addressed: Yes No

Response:

Landscape plans and tables have been updated to conform and clarify.

3. The Town of Parker Parks Department is reviewing the proposed landscape plans. Additional

comments may be received once reviewed.

Comment Addressed: Yes No

Response:

Noted.

Lighting

1. Please see the lighting redlines for a couple of clarity items to be added.

Comment Addressed: Yes No

Response:

Please see updated drawing sheet

Building Elevations

Staff has no additional comments on the elevations. However, could you please add back in the 3D images for clarity. >>> 3D images are included on sheet 1 since the elevation sheets were quite full.

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker –Fire/Life Safety

The following agencies have not provided comments as of this memo. Please continue to watch eTRAKiT for these comments to be uploaded:

- Town of Parker – Building Division
- Parker Water and Sanitation District

Comment(s) Addressed: Yes No

Response:

Building noted in eTRAKiT needing to see the van accessible signage. This is located on the Civil CD set (re-uploaded for reference) on sheet C-421 - see 'HCV' tags at south side of entry plaza.

PWSD required another copy of the irrigation worksheet, this has been uploaded.

Property Owner

Date

Jenna Michieli, Anderson Mason Dale Architects

05/03/2024

Project Representative

Date

PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

AndersonMasonDale Architects

Parker Town Hall Expansion

Parker, CO 22-093

Town of Parker

20120 Mainstreet
Parker, CO 80138

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Electrical Engineer + Technology

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RENDERING OF NEW NORTH ENTRY



RENDERING OF NORTH FACADE



RENDERING OF NEW EAST ENTRY

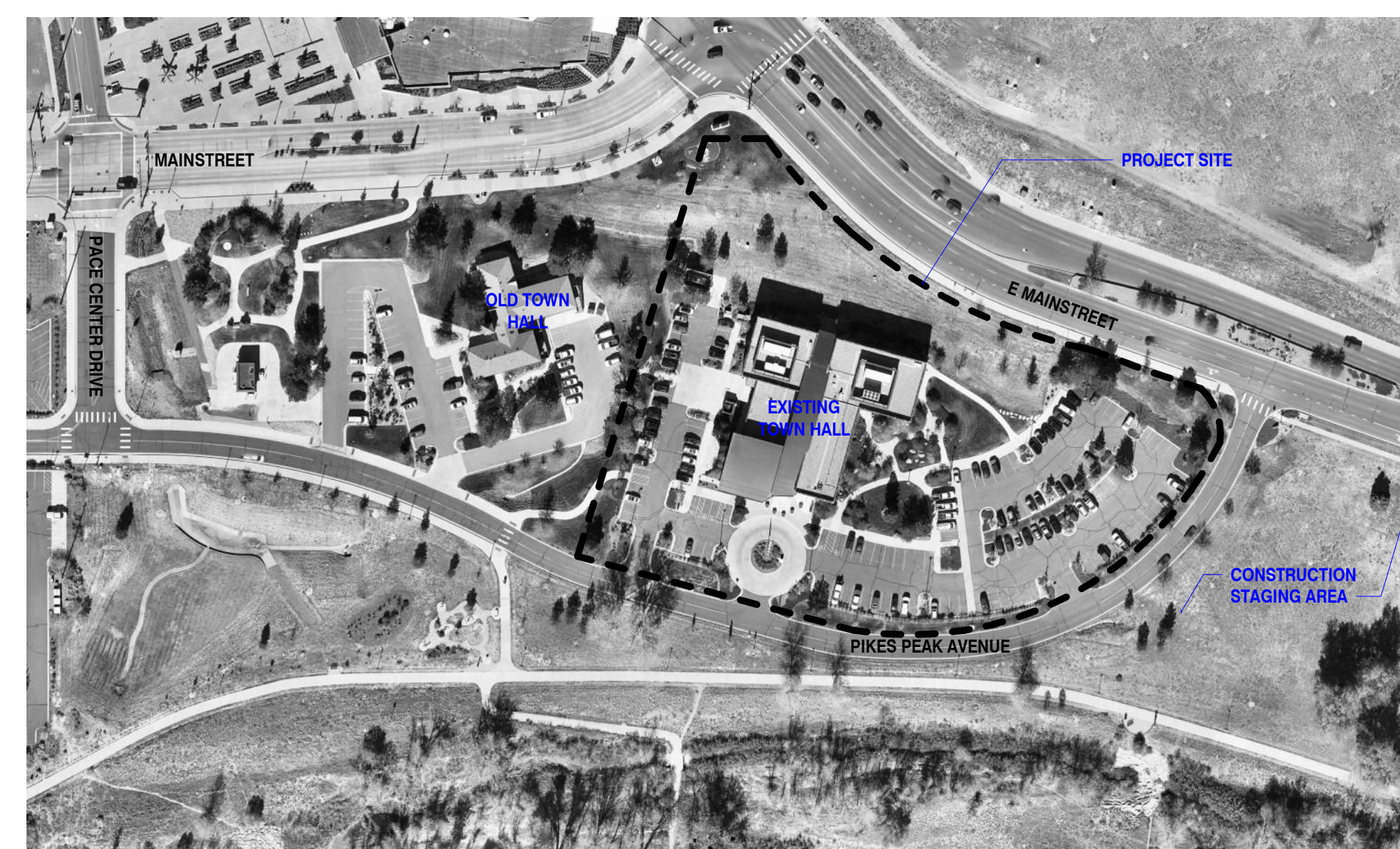


RENDERING OF SOUTHEAST FACADE



RENDERING OF NEW MAIN ENTRY AND PLAZA

PROJECT SITE MAP



GENERAL NOTES

THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE TOWN OF PARKER ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.

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SITE STATISTICS

GREATER DOWNTOWN DISTRICT - HISTORIC CENTER			
ZONING	SF	ACRES	% OF TOTAL
LOT AREA			
GROSS	210,568	4.834	100%
SITE DATA	SF	ACRES	% OF TOTAL
BUILDING AREA*	67,060	1.539	31.8%
SITE STRUCTURES AREA**	851	0.019	0.4%
HARDSCAPE AREA (TOTAL)	69,459	1.587	33.0%
HARDSCAPE - EXISTING TO REMAIN	25,152	0.57	12%
HARDSCAPE - NEW	44,307	1.017	21.0%
LANDSCAPE AREA (TOTAL)	73,198	1.689	34.8%
LANDSCAPE - EXISTING TO REMAIN	41,849	0.96	20%
LANDSCAPE - NEW	31,349	0.729	14.8%

*BUILDING AREA INCLUDES EXISTING TOWN HALL AND ADDITION.
** SITE STRUCTURES INCLUDE NEW GENERATOR ENCLOSURE, NEW TRASH ENCLOSURE, AND EXISTING TRASH ENCLOSURE

PARKING	SF	PARKING FORMULA	REQUIRED	PROVIDED
TOTAL PARKING SPACES*	57,360 NLA	1 PER 500NLA	115	121***
ACCESSIBLE SPACES			5 + 1 VAN	7 (INC. VAN + EV)
EXISTING PARKING SPACES**				133
BICYCLE PARKING	67,060 GSF	2 PER 10,000 GSF (10 MAX)	10	26****

*ACCESSIBLE SPACES AND EV PARKING SPACES ARE INCLUDED IN THE TOTAL PARKING SPACE COUNT. AS ARE EXISTING PARKING SPACES TO REMAIN.
** THIS REFLECTS THE EXISTING TOWN HALL PARKING SPACES. MANY OF THESE SPACES ARE RETAINED IN SCOPE OF WORK.
*** NEW PARKING SPACES PROVIDED: 74 STANDARD + 4 ACCESSIBLE. EXISTING PARKING SPACES RETAINED: 41
**** EXISTING BICYCLE PARKING (4 SPACES) TO REMAIN AND 22 IS INCLUDED IN THIS VALUE.

PARKING COUNT	PARKING SPACE TYPE	COUNT	WIDTH	LENGTH
ACCESSIBLE SPACES		6	9'-0"	18'-0" MIN
ACCESSIBLE EV SPACES		1	11'-0"	18'-0" MIN
EV SPACES		7**	9'-0"	18'-0" MIN
TYPICAL PARKING SPACES		115	9'-0"	18'-0" MIN
TOTAL SPACES		121		

*CURB ADJACENT ACCESSIBLE SPACES HAVE 1/4" WIDE CONCRETE PAV BETWEEN SPACE AND CURB
**EV SPACES ARE ELECTRIC VEHICLE READY

Add parking spaces adjacent to landscape islands. These spaces need to either be 10' in width or the island needs to include an 18" concrete step out strip. If you are using the 18" concrete strip, please add a note below table and leave as currently written.

Change this to be the actual parking spaces provided with EV chargers. Also, please remove these spaces from the typical parking spaces as the numbers don't work. Understand that there is a note to clarify, but it would be cleaner to just removed the EV spaces from the typical spaces.

TABLES HAVE BEEN UPDATED ON REVISED SHEETS

Issue Date
SCHEMATIC DESIGN 01 MAY 2023
DESIGN DEVELOPMENT 20 OCT 2023

Project Number: 22-093
Drawn By: JM
Reviewed By: JT
Approved By: JC

COVER SHEET

PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

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PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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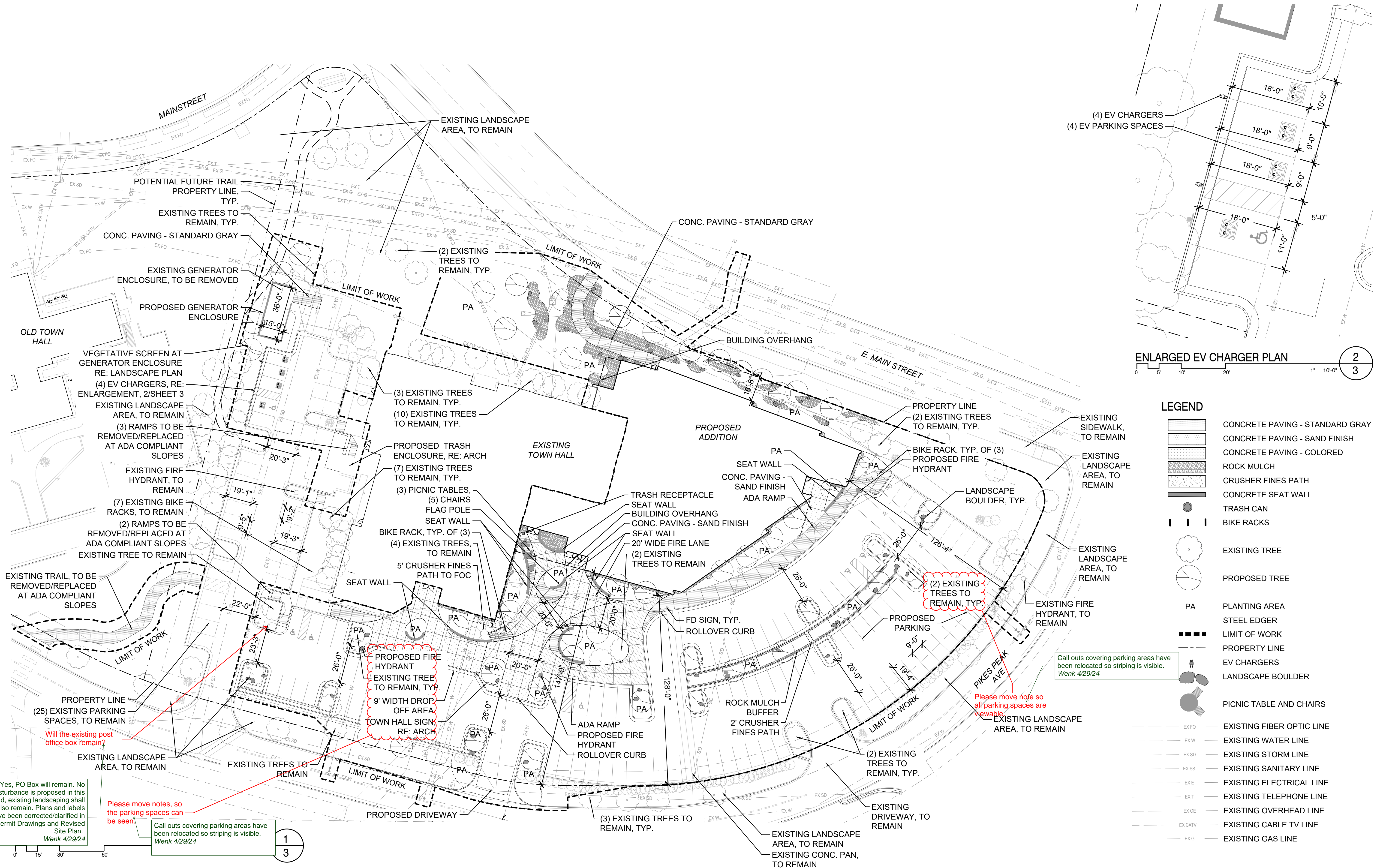
Electrical Engineer + Technology
AE Design
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Denver, CO 80202
Telephone: 303-296-3034

Issue	Date
SDP	02 NOVEMBER 2023
SDP	05 FEBRUARY 2024
SITE PLAN SUBMITTAL	12 APR 2024

Project Number:	22-093
Drawn By:	JM
Reviewed By:	TS
Approved By:	TS

SITE PLAN

3



PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

SITE PLAN SUBMITTAL

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NATIVE SEEDING SCHEDULE

(SEEDING RATES: DRILLED: 25 LBS/ACRE or BROADCAST: 50 LBS/ACRE)

- 20% SWITCHGRASS
- 15% EPHRAIM CRESTED WHEATGRASS
- 10% INDIAN RICEGRASS
- 15% GALLETA GRASS
- 10% SIDEOATS GRAMA
- 15% BLUE GRAMA
- 10% BUFFALO GRASS
- 5% ANNUAL RYEGRASS

TOTAL: 100%

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES - DECIDUOUS			
AG	4	ACER GINNALA / AMUR MAPLE	2" CAL
CS	2	CATALPA SPECIOSA / NORTHERN CATALPA	2" CAL
GS	8	GLEDNITIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST	2" CAL
GK	2	GYMNOCALDIUS DIOICA / KENTUCKY COFFEETREE	2" CAL
MR	3	MALLUS X 'RADIANT' / RADIANT CRABAPPLE	2" CAL
MS	1	MALLUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2" CAL
PA	6	PYRUS CALLERYANA 'AUTUMN BLAZE' / AUTUMN BLAZE CALLERY PEAR	2" CAL
QB	6	QUERCUS BICOLOR / SWAMP WHITE OAK	2" CAL
QF	8	QUERCUS ROBUR 'FASTIGIATA' / SKYROCKET® ENGLISH OAK	2" CAL
QR	2	QUERCUS RUBRA / RED OAK	2" CAL
TREES - EVERGREEN			
AC	2	ABIES CONCOLOR / WHITE FIR	8" HT
PN	2	PINUS NIGRA / AUSTRIAN PINE	8" HT
SHRUBS - DECIDUOUS			
ASA	12	AMELANCHIER ALNIFOLIA / SASKATOON SERVICEBERRY	5 GAL
ALC	40	AMORPHA CANESCENS / LEADPLANT	5 GAL
AMS	20	ARONIA MELANOCARPA 'SMINPEM' / LOW SCAPE SNOWFIRE™ BLACK CHOKEBERRY	5 GAL
AMM	36	ARONIA MELANOCARPA 'UCONN165' / LOW SCAPE MOUND® BLACK CHOKEBERRY	5 GAL
CCB	29	CARYOPTERIS X CLANDONENSIS / BLUE MIST SPIREA	5 GAL
CCD	11	CORNUS SERICEA 'BAILEY' / BAILEY RED TWIG DOGWOOD	5 GAL
CSB	46	CYTISUS PURGANS 'SPANISH GOLD' / SPANISH GOLD BROOM	5 GAL
FNP	4	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET	5 GAL
HKA	99	HYPERICUM KALMIANUM 'AMES' / AMES ST. JOHNSWORT	5 GAL
PPC	80	PRUNUS BESSEYI 'P0115' / PAWNEE BUTTES® SAND CHERRY	5 GAL
RAC	41	RIBES ALPINUM / ALPINE CURRANT	5 GAL
SBF	103	SPIRAEA X BUMALDA 'FIRELIGHT' / FIRELIGHT SPIREA	5 GAL
VDA	7	VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM	5 GAL
GRASSES			
BGG	54	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL
CAG	28	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE' / AVALANCHE FEATHER REED GRASS	1 GAL
ETG	82	ELYMUS TRACHYCAULUS / SLENDER WHEATGRASS	1 GAL
IRG	94	IMPERATA CYLINDRICA 'RED BARON' / JAPANESE BLOOD GRASS	1 GAL
MCG	88	MELICA CILIATA / SILKY-SPIKE MELIC GRASS	1 GAL
MPG	61	MISCANTHUS X 'PURPURASCENS' / PURPLE FLAME GRASS	1 GAL
MLG	33	MULLENBERGIA CAPILLARIS 'LENCA' / REGAL MIST® PINK MUHLY GRASS	1 GAL
OHG	81	ORYZOPSIS HYMENOIDES / INDIAN RICEGRASS	1 GAL
PSG	20	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	1 GAL
PAG	123	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	1 GAL
SNG	50	SORGHASTRUM NUTANS / INDIAN GRASS	1 GAL
SHG	72	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL
GROUND COVER			
AUK	29	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	1 GAL
CPP	28	CERATOSTIGMA PLUMBAGINOIDES / DWARF CREEPING PLUMBAGO	1 GAL
CVG	85	CHRYSOGONUM VIRGINIANUM / GREEN-AND-GOLD	1 GAL
PSS	55	PHLOX STOLONIFERA 'SHERWOOD PURPLE' / CREEPING PHLOX	1 GAL
PSC	55	PHLOX SUBULATA / CREEPING PHLOX	1 GAL
TRC	80	THYMUS X 'RED CREEPING' / RED CREEPING THYME	1 GAL
VRC	132	VERONICA X 'REAVIS' / CRYSTAL RIVER CREEPING SPEEDWELL	1 GAL
PERENNIALS			
CRV	80	CENTRANTHUS RUBER / RED VALERIAN	1 GAL
ELP	61	ECHINACEA PURPUREA / PURPLE CONEFLOWER	1 GAL
GAB	71	GALLIARDA ARISTATA / BLANKET FLOWER	1 GAL
PPP	86	PENSTEMON PALMERI / PALMER'S PENSTEMON	1 GAL
PDJ	42	PERSICARIA AFFINIS 'BORDER JEWEL' / HIMALAYAN BORDER JEWEL FLEECEFLOWER	1 GAL
RAB	42	RUDBECKIA AMPLEXICAULIS / BLACK-EYED SUSAN	1 GAL
SCB	24	SCABIOSA CAUCASICA 'BUTTERFLY BLUE' / BUTTERFLY BLUE PINCUSHION FLOWER	1 GAL
VGS	71	VERONICA X 'GOODNESS GROWS' / GOODNESS GROWS SPEEDWELL	1 GAL
SHRUB EVERGREEN			
JHB	23	JUNIPERUS HORIZONTALIS 'BAR HARBOR' / BAR HARBOR CREEPING JUNIPER	5 GAL

NOTES:

- NO CHANGES TO THE LANDSCAPE PLAN ARE ALLOWED WITHOUT APPROVAL FROM THE TOWN OF PARKER.

PLANTING LEGEND

- PROPOSED TREE
- EXISTING TREE
- EXISTING SHRUB
- CRUSHER FINES PATH
- NATIVE SEEDING AREA
- STEEL EDGER
- LIMIT OF WORK
- PROPERTY LINE
- LANDSCAPE BOULDER

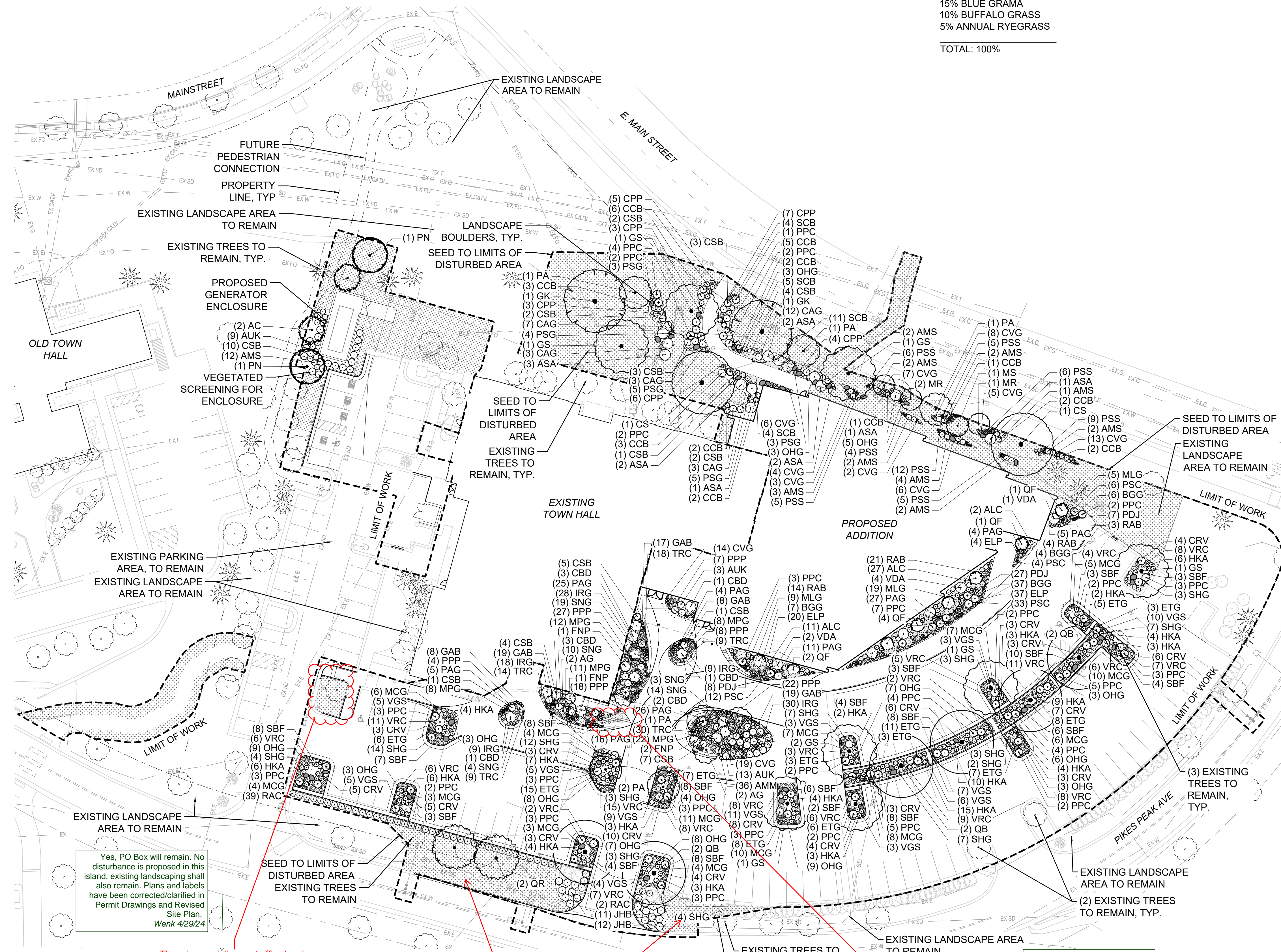
The only place I see this is the bike rack location. Is this correct? Is so, can this be changed to concrete?

Crusher fines are in the large parking lot median as cut through areas, and behind the bike racks for fire dept access, please see site plan. Bike rack area is concrete. Wenk 4/29/24

Issue	Date
SDP	02 NOVEMBER 2023
SDP	05 FEBRUARY 2024
SITE PLAN SUBMITTAL	12 APR 2024

Project Number:	22-093
Drawn By:	JM
Reviewed By:	TS
Approved By:	TS

LANDSCAPE PLAN



Yes, PO Box will remain. No disturbance is proposed in this island, existing landscaping shall also remain. Plans and labels have been corrected/clarified in Permit Drawings and Revised Site Plan. Wenk 4/29/24

There is an existing post office box in this location. Will it remain? If not, please fill in with additional shrubs.

I believe the existing groundcover within this area is turf grass. Filling in with native will most likely not work. Please verify.

Plans have been revised to include bluegrass sod/repair in kind to match adjacent/existing sod. Wenk 4/29/24

Why crusher fines? Can this be changed to concrete?

Bike parking area is concrete, please reference site plan. Planting plan has been revised for clarity. Wenk 4/29/24

PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

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Table has been updated. Wenk 4/29/24

Required shrubs are calculated as 5 are required for the first 162 s.f., then 1 additional shrub is required per every 15 s.f. additional. This one would therefore, require 9.
 $227 - 162 = 65/15=4$
 $5+4 = 9$

AndersonMasonDale Architects

Table has been updated to include proposed grasses. Wenk 4/29/24

Previous submittals had grasses within the islands. Have these been removed? If these still exist, please add to the notes as they do count towards the minimums.

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Issue Date
 SDP 02 NOVEMBER 2023
 SDP 05 FEBRUARY 2024
 SITE PLAN SUBMITTAL 12 APR 2024

Project Number: 22-093
 Drawn By: JM
 Reviewed By: TS
 Approved By: TS

LANDSCAPE TABLES

SITE LANDSCAPE

DESCRIPTION	REQUIREMENTS	REQUIRED	EXISTING AREA (UNMODIFIED AREAS)	PROPOSED NEW AREA (MODIFIED AREAS)	PROPOSED TOTAL COUNTS	NOTES
PARKING LOT INTERIOR LANDSCAPING	Pursuant to the LDO Section 13.06.070 (p) Parking Lot Interior Landscaping, a minimum area equal to ten (10) percent of the total area covered by the parking lot shall be allocated to landscaped islands.	PARKING LOT: 57648 SF PARKING ISLAND REQ'D SF: 57648 SF x 10% = 5764.8 SF	1528 SF (2.65%) 5 Existing Trees 0 Proposed Trees 1 Existing Shrub 0 Proposed Shrubs	5086 (8.82%) 4 Existing Trees 13 Proposed Trees 0 Existing Shrubs 260 Proposed Shrubs	6614 SF OF PARKING ISLAND PROVIDED = 11.47% OF PARKING LOT TOTAL: 22 Trees / 261 Shrubs	Table has been updated. Wenk 4/29/24
SITE PERIMETER LANDSCAPING (NORTH PROPERTY LINE ONLY)	Pursuant to the LDO Section 13.06.070 (q), site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use a minimum of 1 tree and 5 shrubs is required for every 40 lineal feet of edge. This requirement will apply from the north property line to north building face, and west property line as south as the limit of disturbance.	739 LF TOTAL (NORTH PROPERTY LINE ONLY) REQ'D TOTALS: 739 LF / 40 LF = 18.5 TREES 739 LF / 40 LF x 5 = 92.4 SHRUBS	18 TREES EXISTING 3 SHRUBS EXISTING	2 TREE EXISTING 14 TREES PROPOSED 94 SHRUBS PROPOSED	TOTAL TREES: 34 TOTAL SHRUBS: 97	Unmodified area is north of existing Town Hall to north property line, and west of extent of northern limit of disturbance to west property line. Per the Town code, parking lot interior landscaping does not count towards the overall site landscaping. Please remove from total number.
DEVELOPED AREA	Pursuant to the Greater Downtown District Historic Center zoning, a minimum of ten (10) percent of the total site area shall be designated for landscaping, plazas, pocket parks and/or open space.	171721 SF TOTAL SITE AREA (INCLUDING BLDG & PARKING LOTS) REQ'D TOTALS: 171721 x 10% = 17172.1 SF	42226 SF	37270 SF	79,496 SF	Includes all existing and proposed parking lot interior landscaping, site perimeter landscaping, and parking lot perimeter landscaping shown in hatching on landscape requirements diagram.

DESCRIPTION	REQUIREMENTS	SIZE OF AREA	EXISTING AREA (UNMODIFIED AREAS)	PROPOSED NEW AREA (MODIFIED AREAS)	PROPOSED TOTAL COUNTS	NOTES
PARKING LOT PERIMETER LANDSCAPING	Pursuant to Section 13.06.070 (o) of the Town of Parker LDO, parking lot perimeter landscaping shall be provided to visually buffer and screen the parking and mitigate nuisance impacts from autos upon adjacent properties. For parking lots adjacent to roads/streets and other commercial uses, a minimum 10-foot-wide landscape buffer is required that includes trees and shrubs to screen the parking lot from the street. This requirement applies to the parking along the south property line adjacent to Pikes Peak Avenue, and the west property line as far north to the proposed EV chargers.	12132 SF TOTAL	9442 SF COUNT: 17 EXISTING TREES 78 EXISTING SHRUBS	2690 SF COUNT: 2 EXISTING TREES 3 PROPOSED TREES 11 EXISTING SHRUBS 53 PROPOSED SHRUBS	TOTAL TREES: 22 (3 PROPOSED) TOTAL SHRUBS: 142 (53 PROPOSED)	Pursuant to the Town of Parker Landscape Standards, 1 tree and 5 shrubs are required for each 1,500 s.f. of landscaping proposed. Based on your numbers, this would require 49 trees and 243 shrubs. The trees and shrubs provided in the landscape islands would be the only trees and shrubs that could not count to meet these minimum requirements.

BICYCLE PARKING

PARKING SPACE TYPE	REQUIRED	EXISTING	PROPOSED	CALCULATION
BIKE	Pursuant to Section 13.06.060 Bicycle parking requirements state that 2 spaces are required for each 10,000 square feet of floor area, not to exceed 10 spaces.	7 RACKS (14 SPACES)	6 RACKS (12 SPACES)	(64,895 GSF / 10,000 SF) X 2 =13 SPACES REQUIRED PER CODE TOTAL PROVIDED: 13 RACKS (26 SPACES)* *TOTAL INCLUDES EXISTING AND PROPOSED RACKS



PARKING LOT INTERIOR LANDSCAPE

PARKING LOT ISLAND #	PARKING LOT ISLAND SIZE (SF)	INTERNAL TREES (1 TREE / 162SF) REQUIRED / PROVIDED	INTERNAL SHRUBS (5 SHRUBS / 162SF) REQUIRED / PROVIDED	NOTES
1	227	1 R / 1 P	5 R / 12 P	Proposed or modified island.
2	162	1 R / 1 P	5 R / 7 P	Proposed or modified island.
3	170	1 R / 1 P	5 R / 10 P	Proposed or modified island.
4	393	1 R / 1 P	16 R / 19 P	Proposed or modified island.
5	416	1 R / 1 P	17 R / 19 P	Proposed or modified island.
6	165	1 R / 1 P	5 R / 8 P	Proposed or modified island.
7	164	1 R / 1 P	5 R / 6 P	Proposed or modified island.
8	397	1 R / 1 P	20 R / 22 P	Proposed or modified island.
9	490	1 R / 1 P	27 R / 28 P	Proposed or modified island.
10	171	1 R / 1 P	5 R / 8 P	Proposed or modified island.
11	169	1 R / 1 P	5 R / 7 P	Proposed or modified island.
12	280	1 R / 1 P	13 R / 13 P	Proposed or modified island.
13	268	1 R / 1 P	12 R / 14 P	Proposed or modified island.
14	294	1 R / 1 P	14 R / 14 P	Proposed or modified island.
15	329	1 R / 1 P	17 R / 18 P	Proposed or modified island.
16	231	1 R / 1 P	10 R / 11 P	Proposed or modified island.
17	292	1 R / 1 P	14 R / 14 P	Proposed or modified island.
18	192	1 R / 1 P	7 R / 11 P	Proposed or modified island.
19	276	1 R / 1 P	13 R / 19 P	Proposed or modified island.
20	229	1 R / 1 P	N/A	Existing / Not to be disturbed. Does not count against required planting quantities (proposed areas only).
21	256	1 R / 1 P	N/A	Existing / Not to be disturbed. Does not count against required planting quantities (proposed areas only).
22	269	1 R / 1 P	N/A	Existing / Not to be disturbed. Does not count against required planting quantities (proposed areas only).
23	197	1 R / 0 P	N/A	Existing / Not to be disturbed. Does not count against required planting quantities (proposed areas only).
24	157	1 R / 0 P	N/A	Existing / Not to be disturbed. Does not count against required planting quantities (proposed areas only).
25	254	1 R / 0 P	N/A	Existing / Not to be disturbed. Does not count against required planting quantities (proposed areas only).
26	166	1 R / 0 P	N/A	Existing / Not to be disturbed. Does not count against required planting quantities (proposed areas only).

Based on this information the total is 6,387 s.f.

TOTAL SF 6614
 This total is correct, please confirm the reviewer included parking lot island #1 square footage. Wenk 4/29/24

NOTES:
 Each landscape island shall, at a minimum, meet the following standards:
 a. Landscaped islands shall be at least the size of one (1) full-sized parking space (one hundred sixty-two [162] square feet) and have no dimension fewer than nine (9) feet.
 b. One (1) tree and five (5) shrubs shall be planted for each incremental one hundred sixty-two (162) square feet. For each incremental fifteen (15) square feet, an additional shrub shall be planted. One (1) tree may be substituted for ten (10) shrubs when approved during the site plan process.

LANDSCAPE NOTES:
 1. No changes to the landscape plan are allowed without approval from the Town of Parker.
 2. 46 trees and 45 shrubs are to be removed for the new building expansion.

13.06.070.L.5
 (5) In all required landscaped areas, except within public rights-of-way and residential roadway buffers, one (1) tree and five (5) shrubs shall be planted for each one thousand five hundred (1,500) square feet of lot area not covered by a building or required parking.
 a. Ten (10) shrubs may be substituted for one (1) tree when approved during the site plan process. An administrative finding that strict compliance with the tree requirement cannot be reasonably accomplished on site, and is not the result of a self-imposed hardship, will be required.

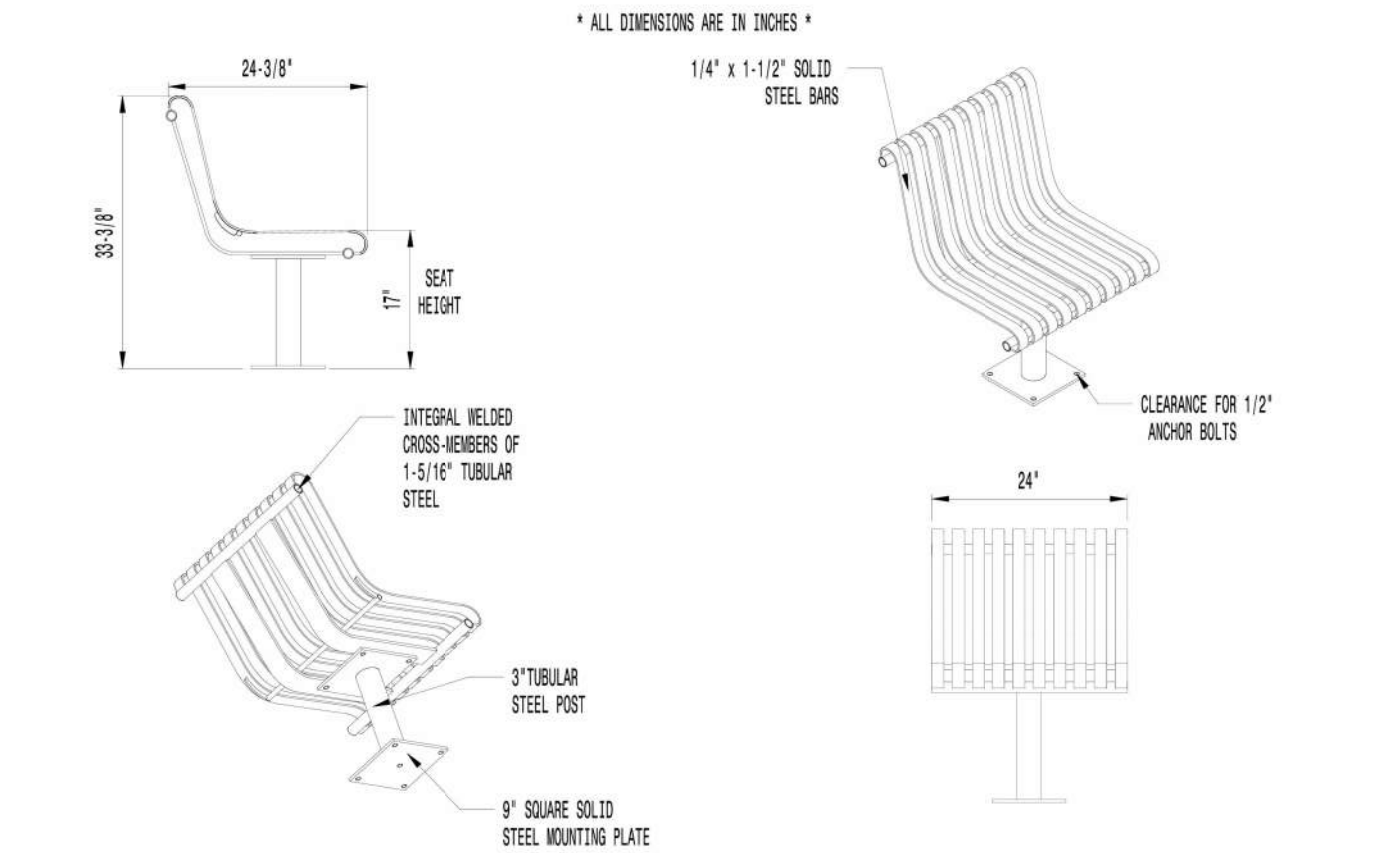
PARKER TOWN HALL EXEMPTION PLAN AMD3 L1

SITE PLAN SUBMITTAL

PARKER TOWN HALL. LOCATED IN THE NORTHWEST CORNER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 66 WEST, LOT 1 COMPRISING 3.867 ACRES, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



P.O. DRAWER 330 - DUNKER, MO 20754 USA
TOLL FREE: (800) 368-2570 (USA & CANADA)
TEL: (301) 855-8300 - FAX: (410) 257-7579
WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

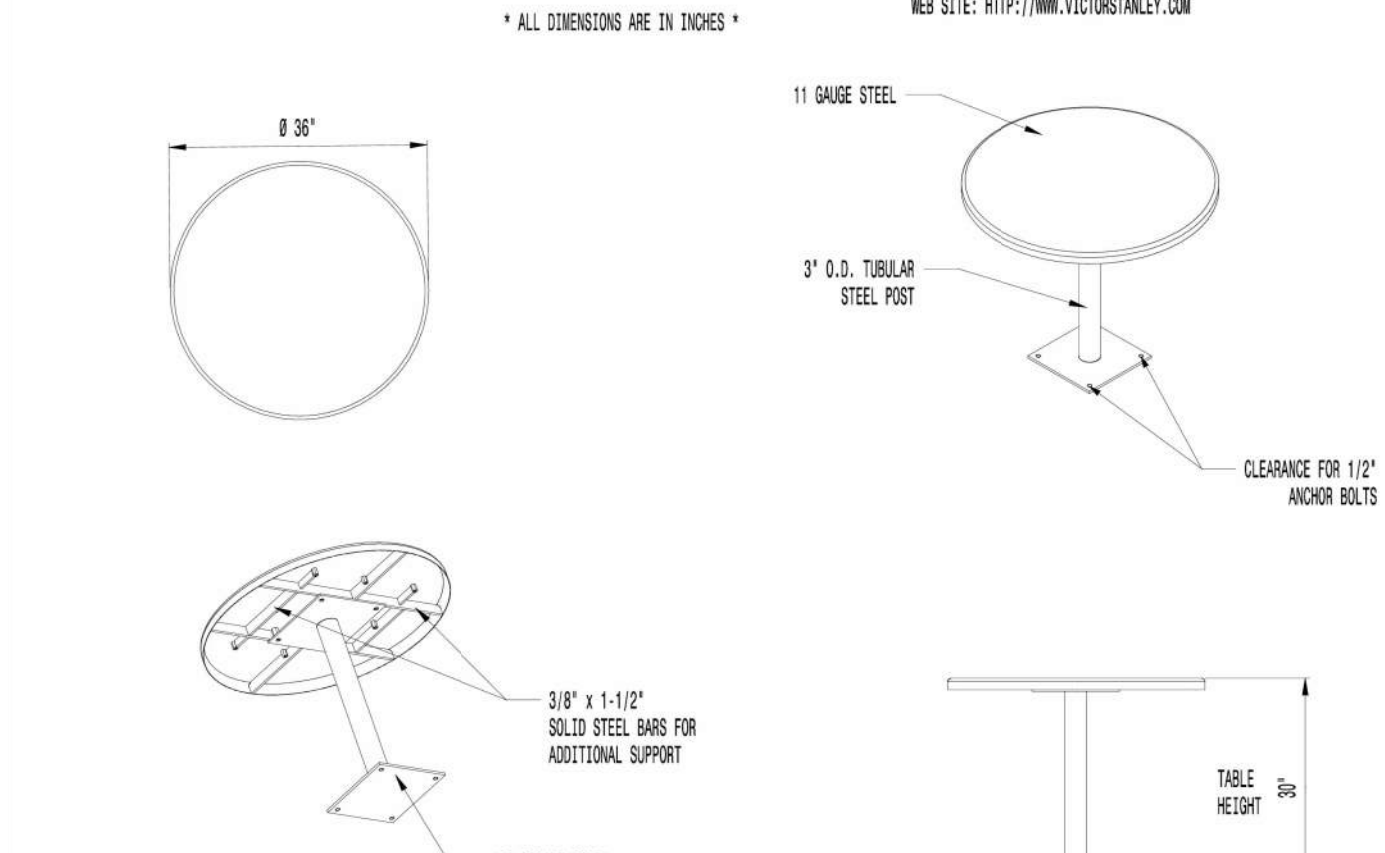


AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS, **COLOR: BLACK**
CUSTOM COLORS (INCLUDING THE RAL RANGE)
ARRESTS
AVAILABLE WITH OPTIONAL ARRESTS

- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREHEATED, PREHEATED AND COATED WHILE HOT TO FILL CRACKS AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL SEAT IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND IMMERSION IN A TANK OF CHARGED LIQUID ZINC AT OR AROUND 800°F (426°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH OVER THAT GALVANIZED SURFACE MAY EXHIBIT GRAINS, UNEVENNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND DISCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS.
 - ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 - THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.



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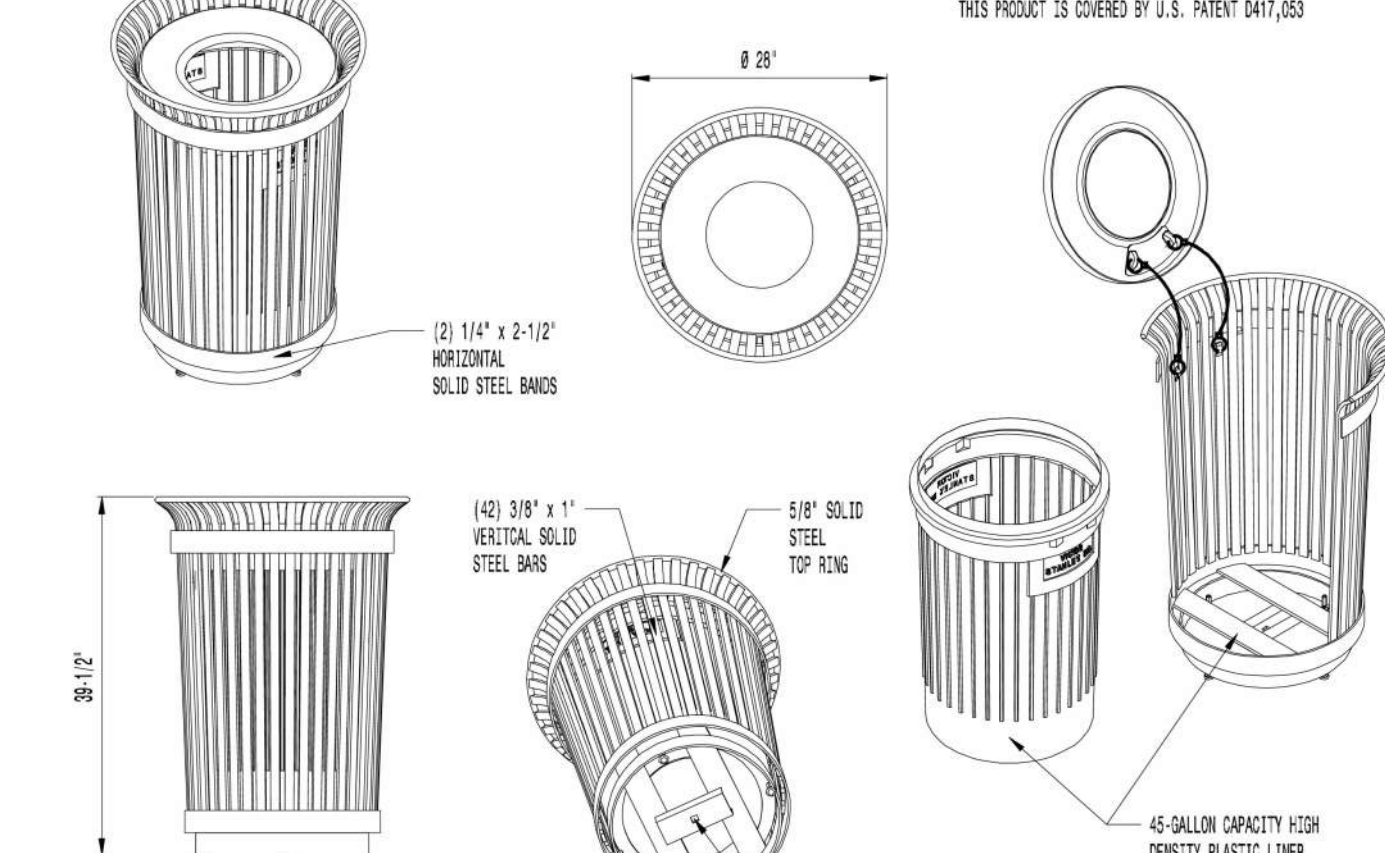


AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS, **COLOR: BLACK**
CUSTOM COLORS (INCLUDING THE RAL RANGE)
MOUNTING
STANDARD IN-GROUND AND SURFACE MOUNT
TABLE TOP
AVAILABLE WITH OPTIONAL UMBRELLA HOLE, AND OPTIONAL GAZE BOARD

- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREHEATED, PREHEATED AND COATED WHILE HOT TO FILL CRACKS AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL TABLE IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
 - ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 - THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.



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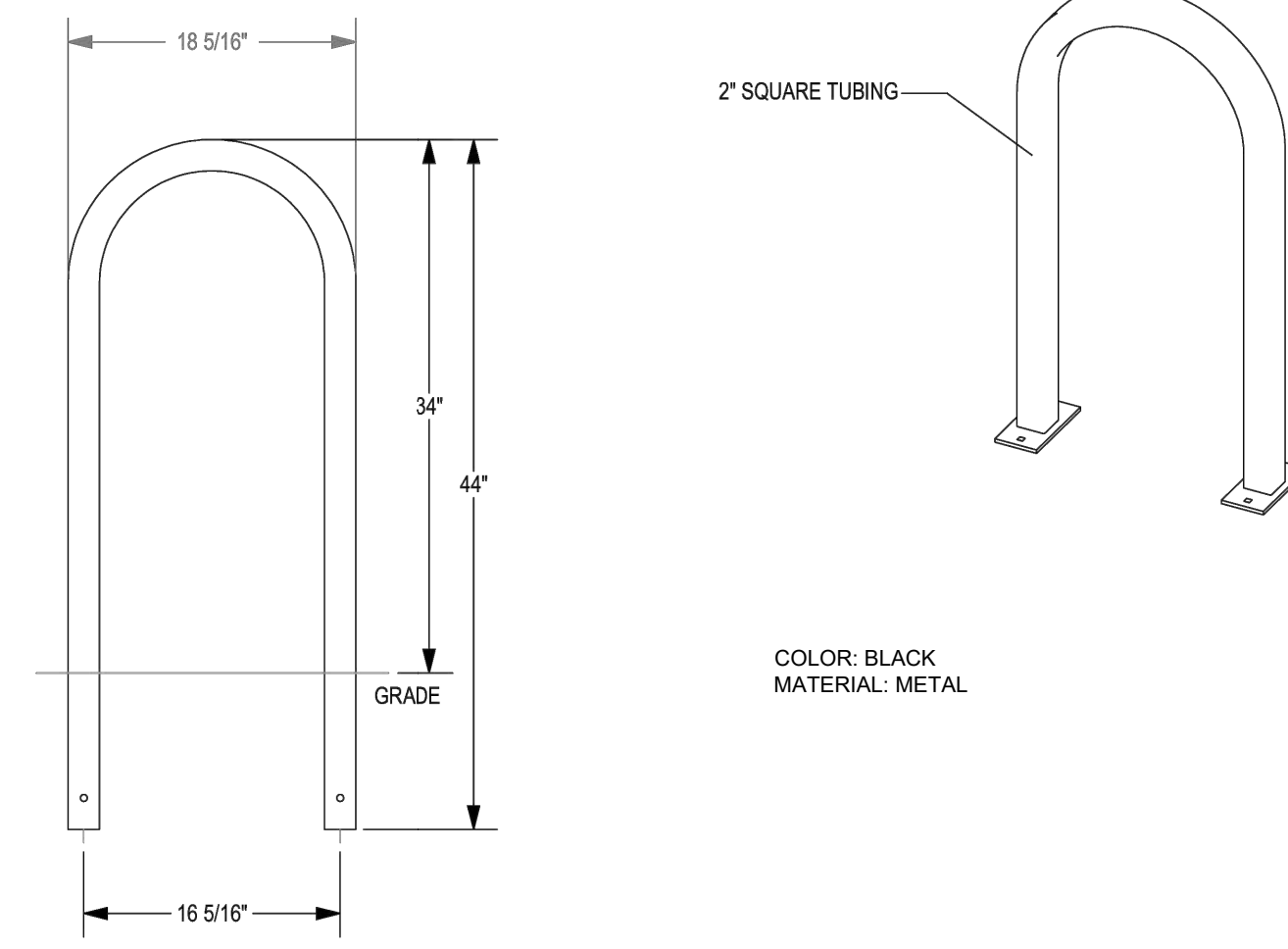
AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, CUSTOM COLORS (INCLUDING THE RAL RANGE) **COLOR: BLACK**
CUSTOM PLANKS & DECALS
AVAILABLE WITH STEEL PLANKS IN VARIOUS SIZES AND PRESSURE SENSITIVE VINYL OUTDOOR DECALS

- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREHEATED, PREHEATED AND COATED WHILE HOT TO FILL CRACKS AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - VICTOR STANLEY, INC. PLASTIC LINER LINES ARE MOLDED ON TOOLING DESIGNED FOR AND OWNED BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH LIGHTWEIGHT CONSTRUCTION USING CRITICAL MOLDED RIBS, INTERNAL HANDHOLDS, AND HIGH-STRENGTH MATERIALS. THIS MINIMIZES HANDLING DIFFICULTY AND FACILITATES EASY EMPTYING AND STORAGE BILES APPROXIMATE LONG SERVICE LIFE.
 - ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
 - ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 - THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.



MADRAX DIVISION

GRABER MANUFACTURING, INC.
1000 LINNEK DRIVE
WALUNAKEE, WI 53597
P(800) 448-7331 P(608) 848-1081 F(608) 848-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



CHECK DESIRED MOUNT

ANCHOR ROD
CONCRETE

3" X 6" X 1/4" THICK
2 EA. 3/8" SQ HOLES

SPIKE
CONCRETE

□ IN GROUND MOUNT (IG)

□ SURFACE FLANGE MOUNT (SF)

PRODUCT: U200-IG(SF)
DESCRIPTION: U BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-22-18
ENG: SMC

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- NOTES:
- INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
 - SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

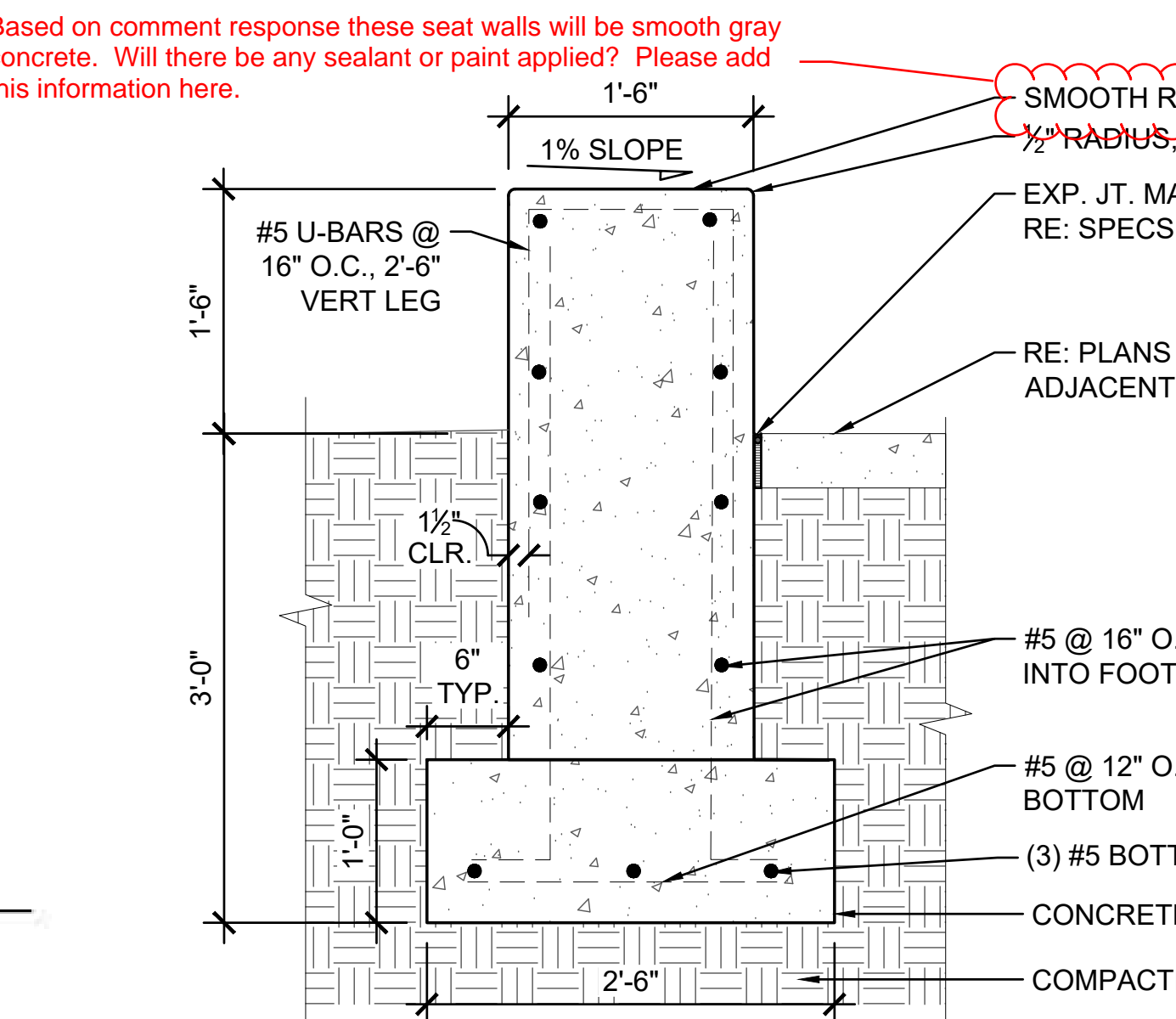
01 CHAIR



Description
Impact-Rated Bollard, IP66, Class I, IK10. Marine-grade, all aluminum construction, 5CE superior corrosion protection including PCS hardware, Silicone CCG® Controlled Compression Gasket. Polycarbonate lens. CAD-optimized indirect optics for superior illumination and glare control. Integral driver in thermally separated compartment. Factory-installed LED circuit board. SC40, PU40 0-10V Dimming. Luminaire spacing up to 35 ft; ideal for pathway lighting applications. Specify product with 7 Digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX (Accessory 1)

05 BOLLARD

02 PICNIC TABLE



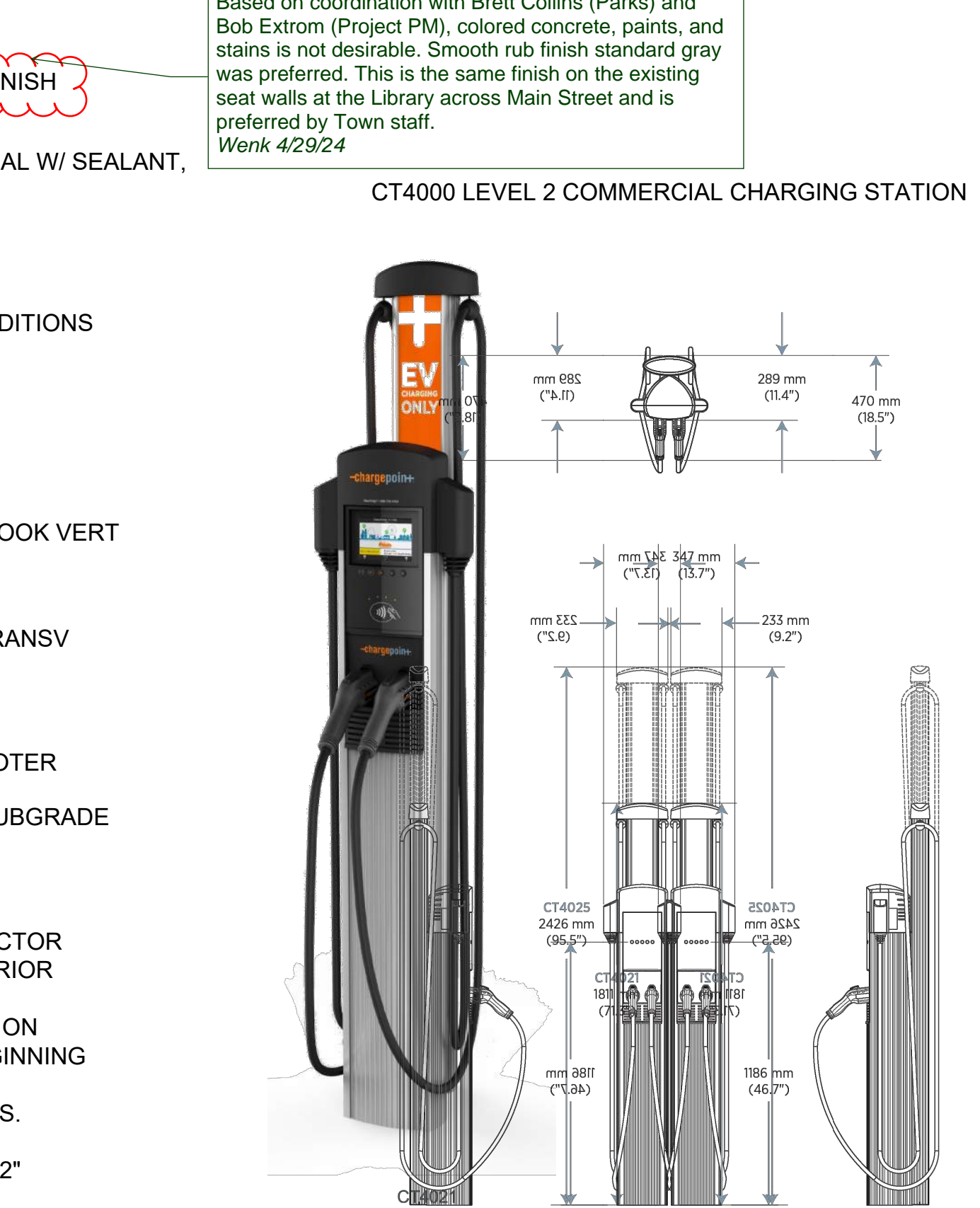
SECTION

NOTES:

- REFERENCE GRADING PLAN FOR TOP OF WALL ELEVATIONS. CONTRACTOR SHALL VERIFY WALL ELEVATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- SUBMIT SHOP DRAWINGS DEMONSTRATING PREFERRED CONSTRUCTION METHOD, REINFORCING, AND JOINTING FOR APPROVAL PRIOR TO BEGINNING WORK.
- REBAR DIMENSIONS PER STRUCTURAL ENGINEER RECOMMENDATIONS.
- REFERENCE SPECIFICATIONS FOR CONCRETE FINISH AND COLOR.
- ALL VERTICAL AND HORIZONTAL EDGES OF CONCRETE TO INCLUDE 1/2" CHAMFER IF NOT OTHERWISE NOTED.

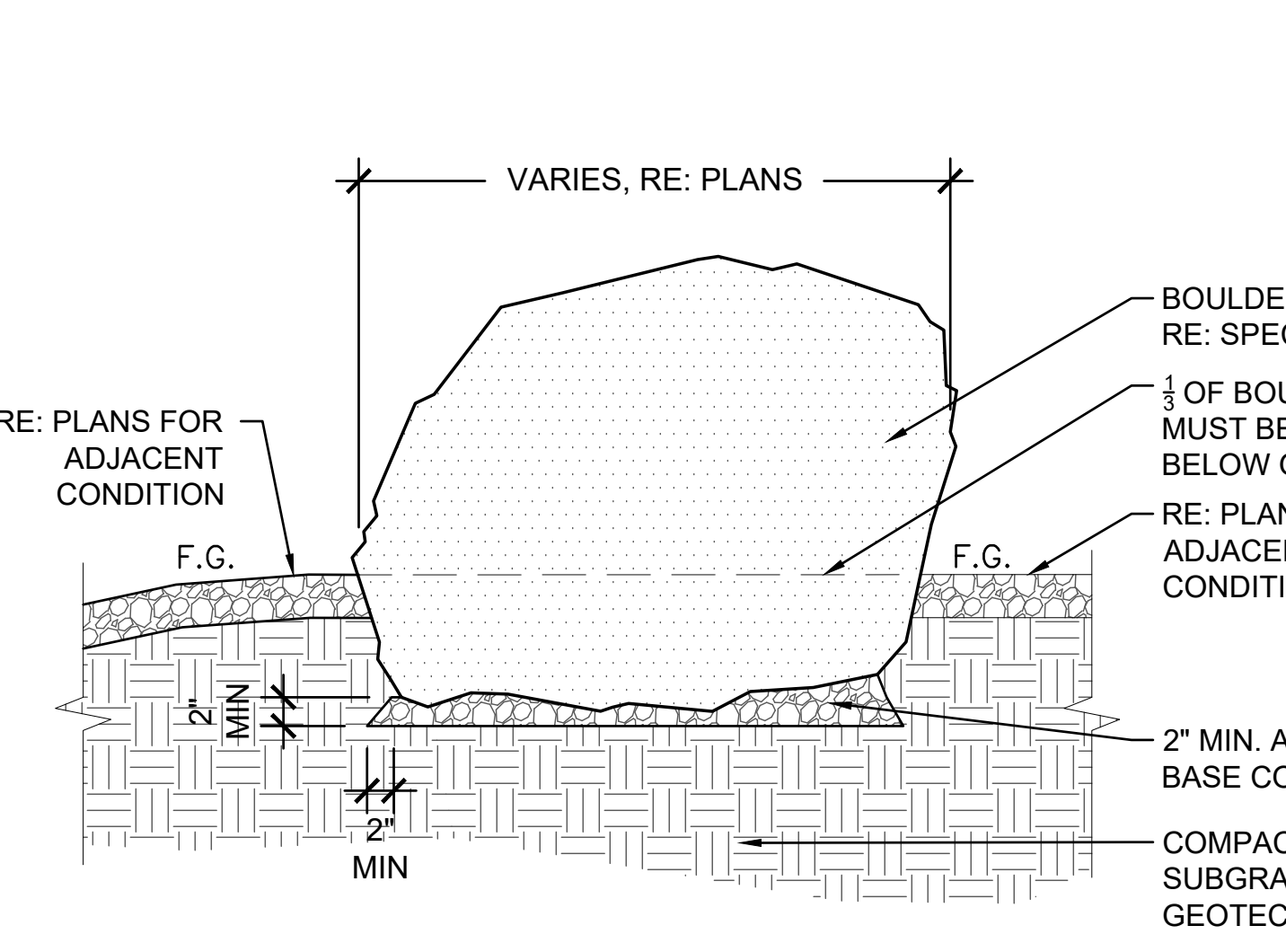
06 SEAT WALL

03 TRASH/RECYCLING RECEPTACLE



07 EV CHARGER

04 BICYCLE RACK



NOTES:

- COORDINATE BOULDER LOCATIONS IN THE FIELD WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE
- TOP OF BOULDER ELEVATION SHOULD NOT EXCEED 30" IN HEIGHT FROM ADJACENT FINAL GRADE.
- CONTRACTOR SHALL VERIFY WALL ELEVATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION
- PRIOR TO PLACEMENT OF BOULDER MATERIAL, CONTRACTOR SHALL MEET ONSITE WITH THE LANDSCAPE ARCHITECT TO REVIEW PLACEMENT AND AESTHETIC INTENT
- CONTRACTOR SHALL ANTICIPATE REHANDLING OF STONE BOULDERS TO ACHIEVE DESIRED DESIGN INTENT
- GAPS GREATER THAN 3" BETWEEN BOULDERS SHOULD BE FILLED WITH CHINKING STONES, ROCK, AND SOIL

08 LANDSCAPE BOULDER



Parker Town Hall Expansion
Parker, CO
22-093
Town of Parker
20120 Mainstreet
Parker, CO 80138

Architect
AndersonMasonDale Architects, P.C.
3198 Speer Boulevard
Denver, CO, 80211
Telephone: 303-294-9448

Civil Engineer
S.A. Miro, Inc.
4582 S. Ulster Street #750
Denver, CO 80237
Telephone: 303-741-3737

Landscape Architect
Wenk Associates
1130 31st Street #101
Denver, CO 80205
Telephone: 303-628-0003

Structural Engineer
KL&A, Inc.
1717 Washington Ave.
Golden, CO 80401
Telephone: 303-384-9910

Mechanical + Plumbing Engineer
The Ballard Group, Inc.
2525 S. Wadsworth Blvd. #200
Lakewood, CO 80227
Telephone: 303-988-4514

Electrical Engineer + Technology
AE Design
1900 Wazee Street #205
Denver, CO 80202
Telephone: 303-296-3034

Issue	Date
SDP	02 NOVEMBER 2023
SDP	05 FEBRUARY 2024
SITE PLAN SUBMITTAL	12 APR 2024

Project Number:	22-093
Drawn By:	JM
Reviewed By:	TS
Approved By:	TS

LANDSCAPE DETAILS

