



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Robert Palmer, Strategic Land Solutions, Inc.
FROM: Cynthia Thye, Planner I
DATE: April 3, 2026
SUBJECT: SP24-012: Parker Central Area F5 L2 B1 - McDonalds– Site Plan Amendment Review Comments 04

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Cynthia Thye

EMAIL: cthye@parkeronline.org

PHONE: 303.805.3334

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

Site Plan Comments:

- 1. **Please refer to the redlines for additional comments/clarification.**

Comment Addressed: Yes No

Response:

- 2. **Revised first line on title sheet to “Site Plan Amendment”. Per LDO Administrative Manual page 25, change title page to this format. Include "Page _ of __." Put "Page __ of __Pages on each subsequent page. Also use format on title page of Administrative Manual. Example is shown on redlines.**

Comment Addressed: Yes No

Response:

- 3. **The Town of Parker LDO Table 13.08.L requires commercial uses to landscape 15% with 75% of that living. Since this is a redevelopment LDO 13.08.090.(b).(2). applies. Revise accordingly. Need to know accurate square footage change referred to in #4 below.**

Comment Addressed: Yes No

Response:

- 4. Explain this change with relines on building footprint. Also, sheet EX.1 shows the gross floor area of 5,758 square feet. Please explain why this shows existing at 6,088 square feet.

Comment Addressed: Yes No

Response:

- 5. Revise location of trash enclosure and covered storage. Per DDS VIII.M.1.a., trash enclosure and storage cannot be located on Parker Rd, (a building front). Storage and trash enclosure need to be on side or rear of the building.

Comment Addressed: Yes No

Response:

Photometric Plan Comments:

- 1. Regarding west light pole, show # feet from property line. Per LDO 13.08.110.(e).(6), all freestanding light fixtures shall be setback from the property line a distance of at least equal to the height of the luminaire.

Comment Addressed: Yes No

Response:

- 2. Regarding east light poles, remove since these are not located on this property. The property owner, Bonebeck Parker LLC needs to apply for a Site Plan Adjustment to add these lights.

Comment Addressed: Yes No

Response:

3. The lumens at the east property line exceed the brightness allowed by the LDO 13.08.110.(e).(4)a.2. At property line one lumen or less is the standard. Recalculate without pole mounted luminaries on Bonebeck property.

Comment Addressed: Yes No

Response:

Landscape Plan Comments:

1. Regarding Tree Mitigation Chart, many applicants choose to replace. If relocate, need an arborist to value this tree. See requirements for tree location LDO 13.08.090(l).(6).e.

Comment Addressed: Yes No

Response:

2. Please provide landscape summary table similar to the following. This summary table should include the required and provided landscape calculations for the different required sections of the Town Code.

LANDSCAPE REQUIREMENTS

A. INTERNAL LANDSCAPING										
NET SITE AREA		LANDSCAPE AREA			% LIVE COVER					
		REQUIRED (15%)	PROVIDED	SURPLUS / DEFICIT	REQUIRED (75%)	PROVIDED	SURPLUS / DEFICIT			
39,507		5,926	11,120	5193.95	4,445	8,896	4451.46			

INTERNAL LANDSCAPE AREA (S.F.)		TREE REQUIREMENT 1/1500 S.F.			SHRUB REQUIREMENT 5/1500 S.F.			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
5,926		4	4	0	20	20	0	0	0	4

B. STREETSCAPE LANDSCAPE										
LOCATION	LENGTH	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
HESS ROAD	132	4	4	0	NA			0	0	4

C. LANDSCAPE PERIMETER (STANDARD)										
LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1 /40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
NORTH PROPERTY LINE	132	4	4	0	17	17	0	0	0	4
EAST PROPERTY LINE	242	7	6	-1	31	41	10	10	1	7
MIN. EVERGREEN REQUIREMENT	40%	5	3	-2						

D. LANDSCAPE PERIMETER (ENHANCED)										
LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1 /25 LF			SHRUB REQUIREMENT 5/25 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
WEST PROPERTY LINE	242	10	10	0	49	50	1	1	0	10
MIN. EVERGREEN REQUIREMENT	40%	4	6	2						

EVERGREEN TREE REQUIREMENT - OVERALL SITE										
MINIMUM EVERGREEN REQ.		25%								
Number of Trees		REQUIRED	PROVIDED							
29		8	9							

Elevation/Design Comments:

- 1. Revise – “storefront” is not a material. Change this to the material - i.e. type of glass.**

Comment Addressed: Yes No

Response:

- 2. Need vertical massing break(s). Per SSD X.A.3.b.iii.3), Per DDS X.A.3.b.iii.3., buildings over 100 feet in length shall require a vertical massing break at a distance of 25 to 50 feet similar to the SP21-067 Mc Donalds approved at Hess and Chambers Road..**

Comment Addressed: Yes No

Response:

- 3. Second request - Show wall-mounted electrical equipment, add note that it will be painted to match adjacent wall.**

Comment Addressed: Yes No

Response:

- 4. Second request - Add guardrails to site plan set.**

Comment Addressed: Yes No

Response:

- 5. Add elevations to site plan set.**

Comment Addressed: Yes No

Response:

6. Second Request. Pursuant to the LDO Administrative Manual page 26, provide a material board to the Planning Division Office.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have responded – revisions required or need to sign off :

- IREA/CORE
- Public Service Company of Colorado
- Traffic Impact Study
- ONEOK

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date



Project Reviews Town of Parker

Project Number: SP24-012

Description: Parker Central Area F5 L2 B1 - McDonalds

Applied: **2/29/2024**

Approved:

Site Address: **10950 S PARKER RD**

Closed:

Expired:

City, State Zip Code: **PARKER, CO 80138**

Status: **UNDER REVIEW 4+**

Applicant: **Strategic Land Solution**

Parent Project: **7981**

Owner: **MCDONALDS USA LLC**

Contractor: **Strategic Land Solution**

Details:

The applicant, Strategic Land Solution, is proposing site and building changes to an existing McDonalds including new materials, drive through reconfiguration and changes to vehicular circulation. The site is located on the east side of Parker Road south of Mainstreet.

LIST OF REVIEWS						
SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
3/4/2024	3/12/2024	3/11/2024	COMPLETENESS REVIEW	Ashley Chasez	REVISIONS REQUIRED	
Notes: Emailed applicant asking for more info. Good evening, I am conducting your completeness review for the Mainstreet McDonalds Remodel and found a few documents that are missing to complete your application. Please provide a project narrative, a vicinity map, and legal description of your project as well as pay any associated fees. Once these documents are uploaded and the fees paid, then I can deem your application complete. Please let me know if you have any questions.						
3/12/2024	3/18/2024	3/19/2024	COMPLETENESS REVIEW	Ashley Chasez	APPROVED	
Notes:						
10/20/2025		11/3/2025	ONEOK 20	Clara Lucero		
Notes:						
11/6/2025	12/5/2025	12/9/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	APPROVED	
Notes: Revisions completed.						
11/6/2025	12/8/2025	12/9/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	ADVISORY COMMENTS	See uploaded redline advisory comments.
Notes:						



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11/6/2025	12/9/2025	12/9/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	
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Notes:

CORE has identified the following requirements that must be addressed prior to approval:

- 1. Address All Comments:**
Please incorporate responses to all previous comments along with the new comments outlined below.
- 2. Landscape Plan Revision**
Revise the landscape plan to remove all plantings within 20 feet of the existing overhead power line.
- 3. Transformer Location Adjustment**
Relocate the proposed transformer to the west to:

Maintain a 10-foot clearance from the front door.
Ensure the transformer does not open into a drive aisle or parking space.
- 4. Town of Parker Approval**
Provide an approval letter from the Town of Parker for the transformer location adjacent to the Parker Road frontage. Maybe subject to a variance.

11/6/2025		12/9/2025	ONEOK 20	Clara Lucero		
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Notes:

11/6/2025	11/6/2025	11/6/2025	SITE PLAN 20	Cynthia Liston Thye	REVISIONS REQUIRED	
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Notes:

See Planning Comments 03

11/6/2025	11/19/2025	12/9/2025	SMFR PLANNING 20	South Metro Fire Rescue	APPROVED	
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Notes:

11/6/2025		12/9/2025	TRAFFIC IMPACT STUDY			
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Notes:

11/6/2025		11/21/2025	TREE CONSERVATION PLAN			
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Notes:

4/2/2026		4/16/2026	IREA 20	Brooks Kaufman		
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Notes:



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4/2/2026	4/3/2026	4/16/2026	SITE PLAN 20	Cynthia Liston Thye		
Notes: See 04 Planning Comments and Redlines.						
4/2/2026		4/16/2026	ONEOK 20	Clara Lucero		
Notes:						
4/2/2026		4/16/2026	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George		
Notes:						
4/2/2026		4/16/2026	TRAFFIC IMPACT STUDY			
Notes:						
Review Group: AUTO						
2/29/2024	3/7/2024	3/28/2024	DEVELOPMENT AGREEMENT	Michael Walton	NOT APPLICABLE	
Notes:						
2/29/2024			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
2/29/2024	3/7/2024	3/14/2024	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						



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Review Group: SP 1ST 20

3/18/2024	4/2/2024	4/15/2024	BUILDING 20	Randy Sale	COMPLETED	See general notes
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Notes:

Building Permit Required.

Building Division pre-application meetings are available before applying for the building permit to discuss access requirements during construction, construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc...if needed. Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions. Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then the full plan review process will begin.

General Comments to be aware of:
Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2020 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2024. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Randy S

3/18/2024		4/15/2024	CENTURYLINK COMMUNICATIONS 20	CenturyLink		01 Review 20
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Notes:

3/18/2024	4/1/2024	4/15/2024	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Val Endyk	ADVISORY COMMENTS	See Notes
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Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP24-012, Parker Central Area F5 L2 B1 - McDonalds have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72. If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

3/18/2024	4/17/2024	4/15/2024	COLORED BUILDING ELEVATIONS 20	Ashley Chasez	REVISIONS REQUIRED	01 Review 20
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Notes:

See Planning Memo

3/18/2024		4/15/2024	COMCAST 20	Butch Buster		01 Review 20
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Notes:



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3/18/2024	4/10/2024	4/15/2024	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	01 Review 20 See ENGINEERING MEMO and COMMENTS
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Notes:

SP24-012 – McDonalds Remodel, Parker Central - 1st Environmental Review, 4-10-24

GENERAL COMMENTS (Initial and Interim Plan Sheets)

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

1. Vehicle Tracking Control (VTC) may be required for the site if tracking becomes a problem. All dirt tracked off the site on to the adjacent private drives and parking areas must be swept up throughout the day and nightly, no exceptions. Please add a note to the plan sheets stating – “VTC PAD MAY BE REQUIRED IF TRACK OUT BECOMES A PROBLEM, ALL DIRT TRACKING MUST BE SWEEPED UP IMMEDIATELY, NO EXCEPTIONS”.
2. Please provide and identify a Concrete Washout (CWA) code/symbol on the plans. Add a note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
3. Please provide and identify a Masonry Work Protection (MWP) code/symbol on the plans for renovation of the building. Add a note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION WORK ON THE BUILDING”.
4. Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 portable toilets at the initial phase. Addition PTPs may be needed in the interim phase.
5. Please include within the plan set all 64 pages of the Town of Parker’s CBMP Details.
6. Please include Construction Fence (CF) perimeter controls for the entire site due to the high pedestrian traffic in the area. Is the McDonalds closing for this renovation, or are you trying to stay open?
7. Add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.
8. Show Inlet Protection for the two existing inlets (drive thru area and southwest corner of site) on plans using the proper legend code/symbol (IPAP, IPAN).

CAD Drawings Link:
 "\\townsan\group\engineering\Stormwater\Storm Drainage and Environmental Criteria Manual\2013 Final SDECM\Appendix C CBMP Standard Details"

Grading Permit Link:
 Grading Permits | Town of Parker - Official Website (parkeronline.org)

3/18/2024		4/15/2024	CONSTRUCTION PLANS - CIVIL	Alex Mestdagh		01 Review 20
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Notes:

3/18/2024	4/11/2024	4/15/2024	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward	NO COMMENT	01 Review 20
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Notes:

3/18/2024	4/4/2024	4/15/2024	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals	NO COMMENT	01 Review 20
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Notes:



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3/18/2024	4/4/2024	4/15/2024	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals	NO COMMENT	01 Review 20
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Notes:

3/18/2024		4/15/2024	DOUGLAS COUNTY SCHOOL DISTRICT RE1 20	Shavon Caldwell		01 Review 20
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Notes:

3/18/2024		4/15/2024	DRAINAGE REPORT - CIVIL	Alex Mestdagh		01 Review 20
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Notes:

3/18/2024	3/21/2024	4/15/2024	ECONOMIC DEVELOPMENT 20	Weldy Feazell	NO COMMENT	01 Review 20
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Notes:

3/18/2024	3/19/2024	4/15/2024	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:
Some additional information is required as well as some "tweaking" to the north side of the building (UFL, fire hydrant and location, FDC location, signage, auto turn, etc. See response letter, address all comments and respond to the actual letter when resubmitting. Response is provided in both a pdf and word document (a word document so that the applicant can respond in the body of the document).

3/18/2024	4/11/2024	4/15/2024	IREA 20	Brooks Kaufman	DENIED	01 Review 20
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Notes:
CORE will require the applicant to provide new transformer and EUSERC cabinet locations. The proposed tree plantings will not be allowed within 20 feet of CORE's existing overhead powerline.
The Town of Parker and CORE are working together to underground the existing overhead powerline in the future; CORE will require a 15-foot utility easement for the future project. The future project will require the proposed Trash Enclosure and Storage to be relocated.
Last item correctly labels all existing easements.

3/18/2024	3/21/2024	4/15/2024	PARKER AUTHORITY FOR REINVESTMENT 20	Weldy Feazell	NO COMMENT	01 Review 20
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Notes:

3/18/2024	4/17/2024	4/15/2024	PHOTOMETRIC PLAN 20	Ashley Chasez	REVISIONS REQUIRED	01 Review 20
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Notes:
See Planning Memo

3/18/2024		4/15/2024	PLAT - CIVIL	Alex Mestdagh		01 Review 20
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3/18/2024		4/15/2024	POLICE 20	Greg Epp		01 Review 20
Notes:						
3/18/2024	6/17/2024	4/15/2024	PSCO RESIDENTIAL SUBDIVISIONS 20	Xcel Energy		01 Review 20
Notes:						
3/18/2024	4/12/2024	4/15/2024	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	REVISIONS REQUIRED	please see attached
Notes: please see attached						
3/18/2024		4/15/2024	SITE PLAN - CIVIL	Alex Mestdagh		01 Review 20
Notes:						
3/18/2024	4/17/2024	4/15/2024	SITE PLAN 20	Ashley Chasez	REVISIONS REQUIRED	01 Review 20
Notes: See Planning Memo						
3/18/2024		4/15/2024	SOUTH METRO FIRE 20	South Metro Fire		01 Review 20
Notes:						
3/18/2024	3/18/2024	4/15/2024	SUBDIVISION AGREEMENT 20	Ashley Chasez	NOT APPLICABLE	01 Review 20
Notes:						
3/18/2024		4/15/2024	TRAFFIC IMPACT STUDY - CIVIL	Alex Mestdagh		01 Review 20
Notes:						
3/18/2024		4/15/2024	URBAN DRAINAGE AND FLOOD CONTROL 20	UDFCD		01 Review 20
Notes:						
Review Group: SP 1ST 20 ADD						
3/18/2024	4/15/2024	4/15/2024	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	APPROVED	01 Review 20
Notes:						



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Review Group: SP 2ND 15

3/17/2025	3/28/2025	4/7/2025	CONST PLANS - ENVIRONMENTAL 15	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP24-012 – McDonalds Remodel, Parker Central - 2nd Environmental Review, 3-28-25

GENERAL COMMENTS (Initial and Interim Plan Sheets)

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

1. Vehicle Tracking Control (VTC) may be required for the site if tracking becomes a problem. All dirt tracked off the site on to the adjacent private drives and parking areas must be swept up throughout the day and nightly, no exceptions. Please add a Callout to the Initial and Interim Erosion Control Plan Sheets stating – “VTC PAD (FODS or COMPARABLE) MAY BE REQUIRED IF TRACK OUT BECOMES A PROBLEM, ALL DIRT TRACKING MUST BE SWEEPED UP IMMEDIATELY, NO EXCEPTIONS”.
2. Please include within the plan set all 64 pages of the Town of Parker's COMPLETE List of Keys/Symbols (1st), General Notes (2nd), and Erosion Control Details in ALPHABETICAL Order (3rd), Immediately Following the Final Erosion Control Plan Sheet. Link to these plan sheets already drawn out below.

72-page layout of CBMP Legend, General Notes and Details
https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive_link

3/17/2025	4/1/2025	4/7/2025	CONSTRUCTION PLANS - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

3/17/2025	3/25/2025	4/7/2025	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:

Partial modifications have been provided along with conflicting information and information that the applicant has not provided (as required). See response letter and address ALL information when responding for the third submittal. Including the required riser room floor plan.

3/17/2025	4/7/2025	4/7/2025	IREA 15	Brooks Kaufman	REVISIONS REQUIRED	
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Notes:

The proposed transformer location does not meet CORE's requirements and the towns requirements. The transformer may not open into a drive or parking spot. The proposed landscaping does not meet CORE's clearance requirements for the transformer and EUSERC cabinet. Please refer to CORE's handbook and additional information provided via attachments.
 Last CORE will require an easement by separate document prior to Site Plan approval.

3/17/2025	4/1/2025	4/7/2025	SITE PLAN - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
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3/17/2025	4/8/2025	4/7/2025	SITE PLAN 15	Amber Wood Hicken	REVISIONS REQUIRED	
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Notes:

See planning comments 02



PARKER
C O L O R A D O



Project Reviews Town of Parker

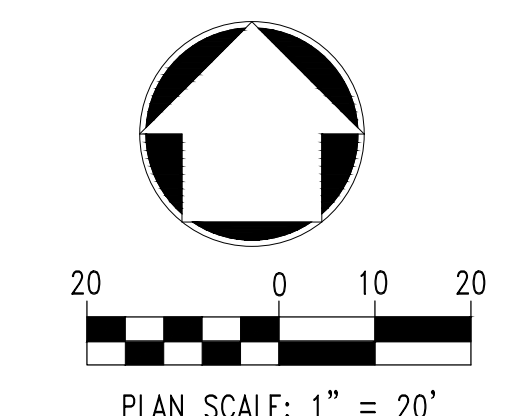
3/17/2025	4/1/2025	4/7/2025	TRAFFIC IMPACT STUDY - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						

SITE DEVELOPMENT PLAN MCDONALD'S REMODEL AT PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD



- NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 OF TITLE COMMITMENT:**
- 8** ANY EXISTING LEASES OR TENANCIES, AND ANY AND ALL PARTIES CLAIMING BY, THROUGH OR UNDER SAID LESSEES. (NOT ADDRESSED.)
 - 9** RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENT. RECORDED DATE: AUGUST 04, 1900; RECORDING NO.: BOOK 12, PAGE 149. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
 - 10** THE EFFECT OF QUIT CLAIM DEED FROM PARKER CENTER ASSOCIATES, LTD., A COLORADO LIMITED PARTNERSHIP TO PARKER WATER AND SANITATION DISTRICT. RECORDED DATE: MARCH 15, 1984; RECORDING NO.: BOOK 512, PAGE 235. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
 - 11** THE EFFECT OF QUIT CLAIM DEED FROM PARKER CENTER ASSOCIATES, LTD., A COLORADO LIMITED PARTNERSHIP TO PARKER WATER AND SANITATION DISTRICT. RECORDED DATE: MARCH 28, 1984; RECORDING NO.: BOOK 513, PAGE 938. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 - 12** GRANTED TO: COLORADO TELEPHONE COMPANY; PURPOSE: UTILITY EASEMENT; RECORDED DATE: DECEMBER 19, 1905; RECORDING NO.: BOOK 34, PAGE 334 AND ASSIGNED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, RECORDING DATE: JULY 31, 1911, RECORDING NO.: BOOK 39, PAGE 547. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
 - 13** RIGHT OF WAY TO WYCO PIPE LINE COMPANY, A DELAWARE CORPORATION, AS CONTAINED IN INSTRUMENT RECORDED MAY 20, 1966 IN BOOK 170, PAGE 75, PROVIDING AS FOLLOWS: TO CONSTRUCT, MAINTAIN, INSPECT, OPERATE, PROTECT, REPAIR, REPLACE, CHANGE THE SIZE OF, OR REMOVE A PIPE LINE OR PILE LINES, FOR THE TRANSPORTATION OF OIL, GAS AND THE PRODUCTS THEREOF. TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID LAND OR LINES OR ANY OF THEM, FOR THE PURPOSES AFORESAID. NOTE: SAID EASEMENT AFFECTS THE WESTERLY OR FRONT 15 FEET TO SUBJECT PROPERTY AS SHOWN ON THE RECORDED PLAT. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
 - NOTES, EASEMENTS AND RESTRICTIONS AS SHOWN ON PLAN UNIT DEVELOPMENT FOR PARKER PLANNED COMMUNITY DEVELOPMENT PLAN, RECORDING DATE: MAY 11, 1981; RECORDING NO.: RECEPTION NO. 268385. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 - 16** GRANTED TO: PUBLIC SERVICE COMPANY OF COLORADO; PURPOSE: UTILITY EASEMENT; RECORDING DATE: JANUARY 11, 1985; RECORDING NO.: BOOK 557, PAGE 834. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
 - RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE. RECORDING DATE: MARCH 21, 1985; RECORDING NO.: BOOK 566, PAGE 447. AGREEMENT AND ESTOPPEL CERTIFICATE AS RECORDED OCTOBER 18, 1994 AT RECEPTION NO. 9453456. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
 - TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN SIGN EASEMENT AGREEMENT AS RECORDED NOVEMBER 18, 2009 AT RECEPTION NO. 2009087901. (DOES NOT APPLY TO SUBJECT PROPERTY.)
 - UTILITY EASEMENT AS GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO IN INSTRUMENT RECORDED DECEMBER 18, 1985, IN BOOK 614 AT PAGE 691. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
 - TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN USE RESTRICTION AS RECORDED JANUARY 14, 2004 AT RECEPTION NO. 2004005956. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
 - TERMS, CONDITIONS, PROVISIONS, BURDENS, RESTRICTIONS, EASEMENTS AND OBLIGATIONS AS CONTAINED IN EASEMENT AGREEMENT AS RECORDED MARCH 10, 1988 IN BOOK 780 AT PAGE 405. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
 - TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE PUBLIC SIDEWALK EASEMENT AGREEMENT AS SET FORTH BELOW: RECORDING DATE: FEBRUARY 24, 2017; RECORDING NO.: RECEPTION NO. 2017013275. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
 - TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AUTOMATED TELECOM TECHNOLOGY INC. PAYPHONE LOCATION LEASE AGREEMENT AS RECORDED NOVEMBER 8, 1996 AT RECEPTION NO. 9662769. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)



811
Know what's below.
Call before you dig.

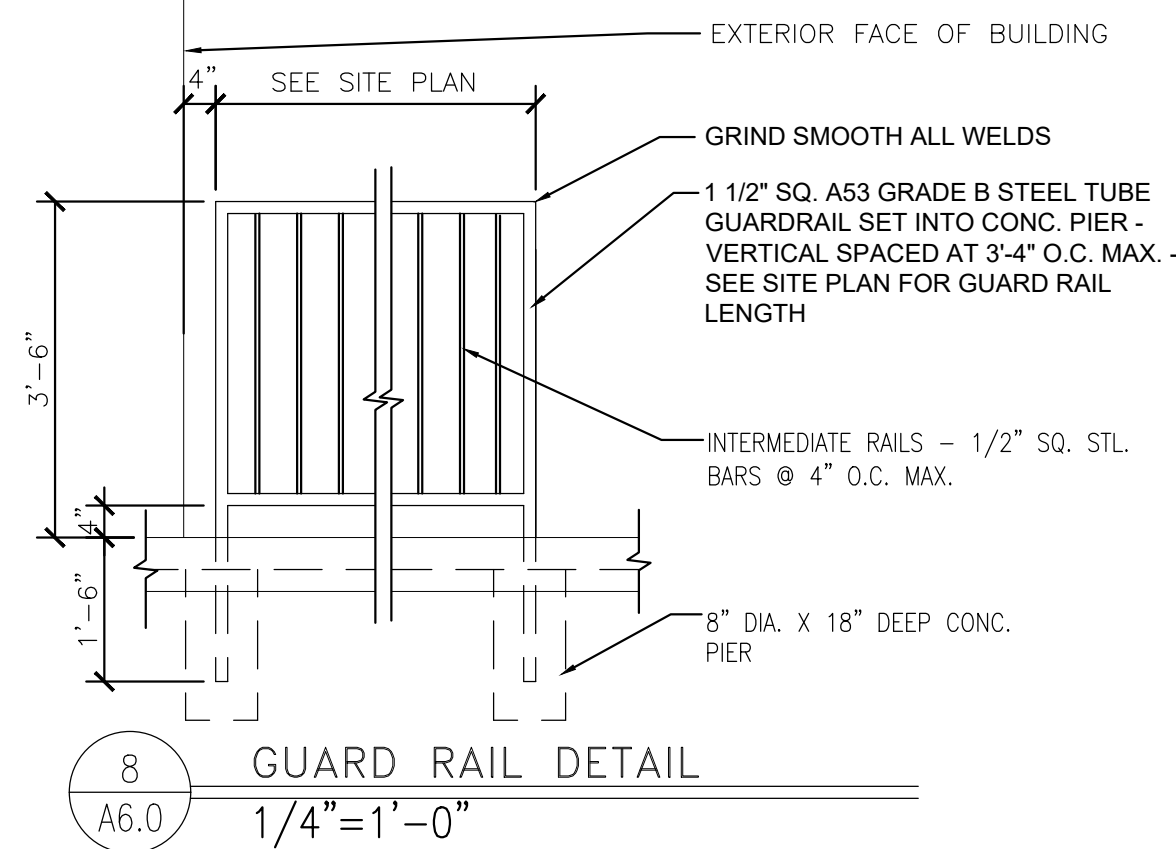
 2595 PONDEROSA ROAD FRANKTOWN, CO 80116 720.384.7661 Phone rpalm@strategicls.net Robert J. Palmer, PE President	
PREPARED UNDER THE DIRECT SUPERVISION OF: SEAL: ROBERT J. PALMER, PE 36320 BY Robert J. Palmer, PE Licensed Professional Engineer (CO PE #36320), AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.	
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	
STREET ADDRESS: 10950 S. PARKER ROAD	OFFICE: ROCKY MOUNTAIN REGION ADDRESS: 4643 S. UJSTER STREET, SUITE 1300, DENVER, COLORADO 80237
CITY: PARKER	OFFICE: 7462
STATE: COLORADO	REGIONAL DING. NO. 50162
COUNTY: DOUGLAS	MARKET DING. 7462
SCALE: 1"=20'	M&D REF: BOWAN
DATE: 03/20/2026	M&D P/C/M: MANN
DESIGNED BY: RJP	FILE NAME: CURRENT.DWG
DRAWN BY: RJP	SLS INJ. 14-001-47
CHECKED BY: RJP	DRAWING TITLE: EXISTING CONDITIONS
SHEET NO.: <h1 style="font-size: 2em;">EX1.0</h1>	

FIRE LANE SIGN NOTE:
REFERENCE THE CIVIL ENGINEERING DRAWING FOR
FIRE LANE SIGN SPECIFICATIONS AND DETAILS.

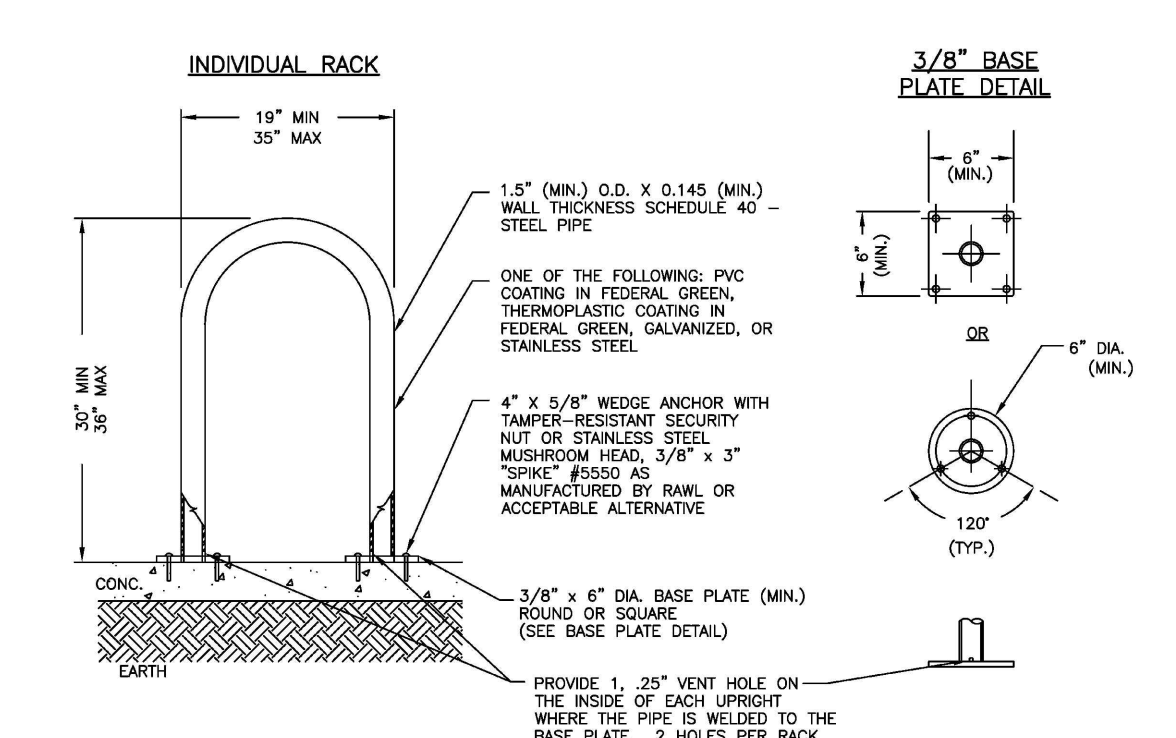
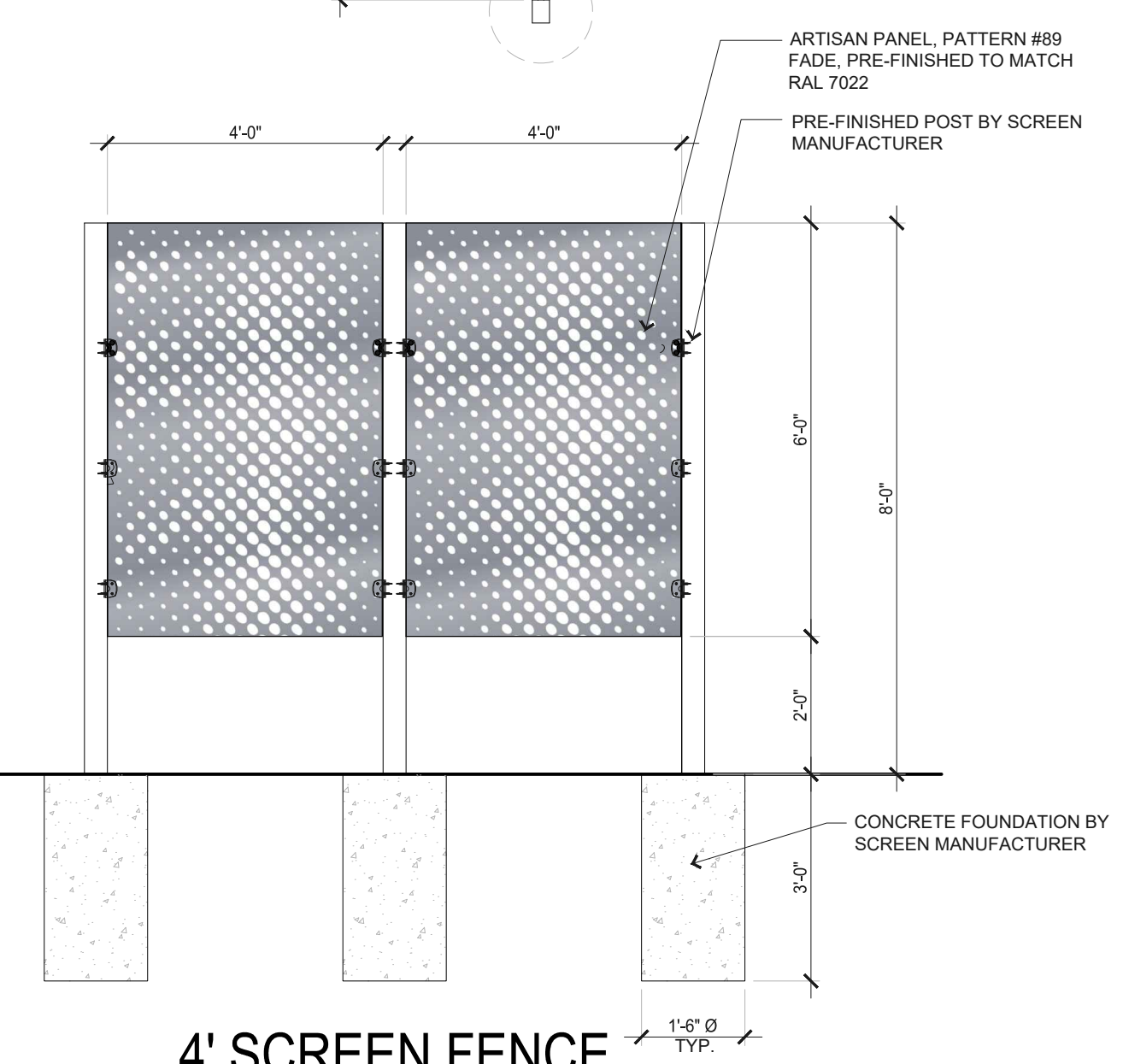
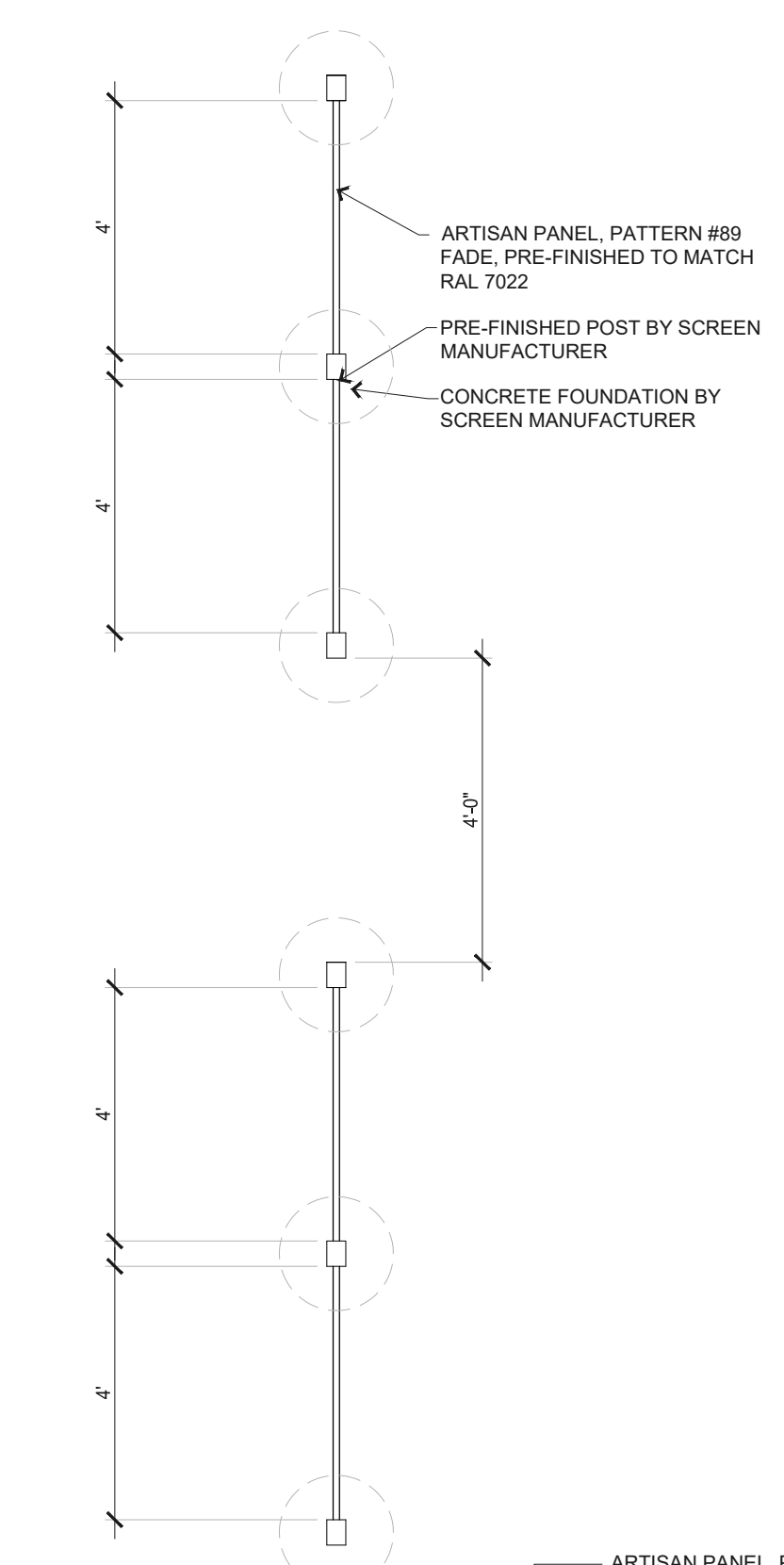
Per DDS VIII.M.1.a., trash enclosure and storage cannot be located on Parker Rd, which is a front. Storage and trash enclosure need to be on side or rear of the building.

SITE DEVELOPMENT PLAN MCDONALD'S REMODEL AT PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD



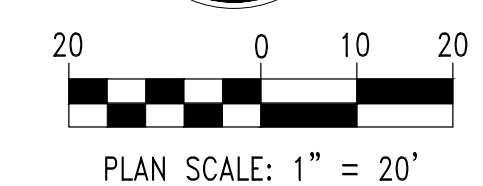
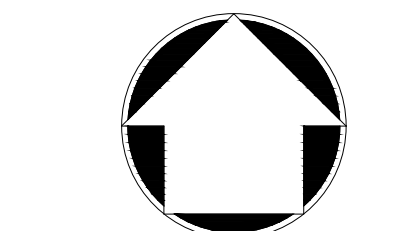
8 GUARD RAIL DETAIL
A6.0 1/4" = 1'-0"



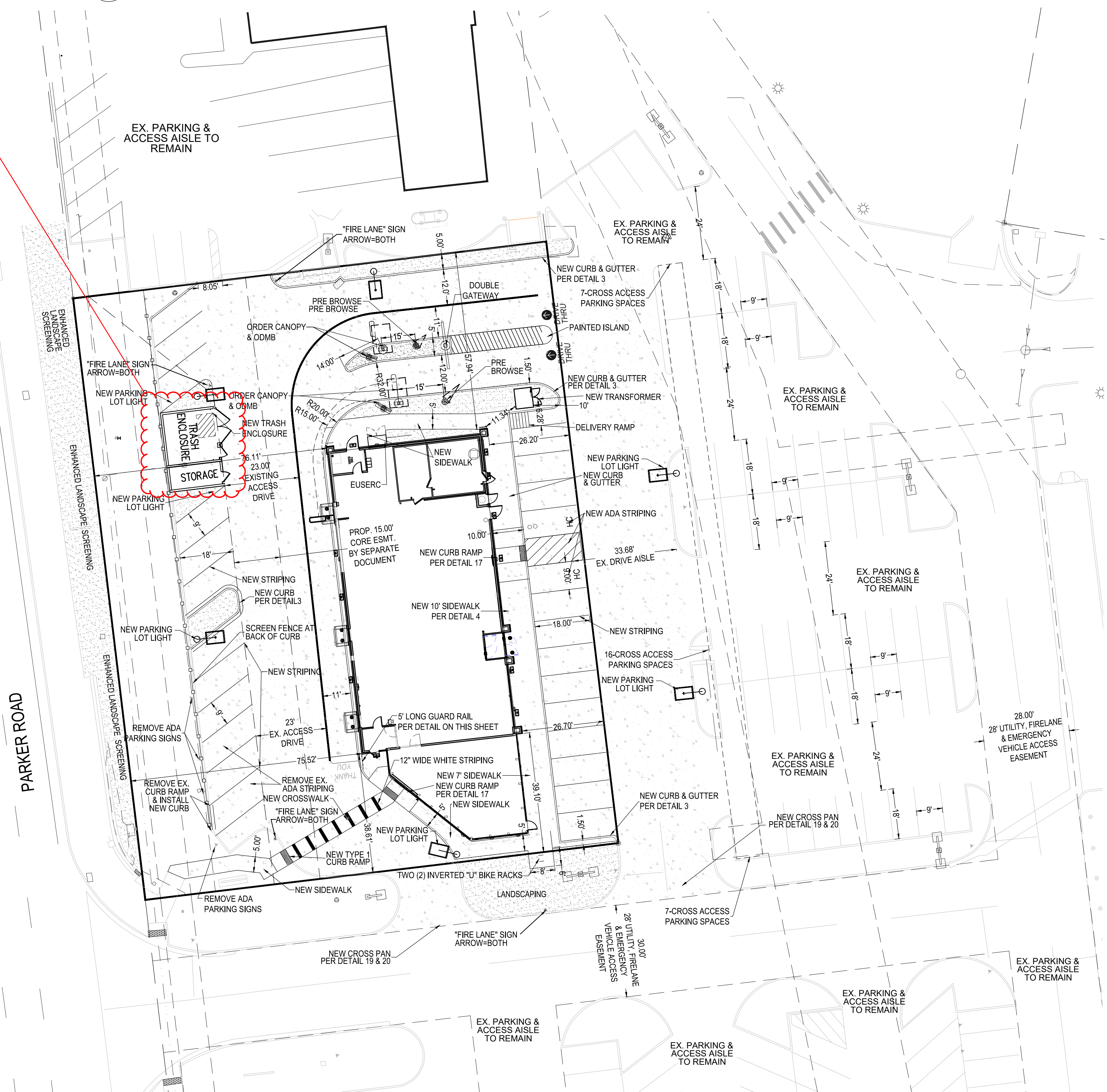
NOTES:
1. RACK SHALL NOT BE WELDED IN SECTIONS.
2. BASE PLATE SHALL BE WELDED TO STEEL PIPE.
3. RACK DIMENSIONS MAY VARY BY MANUFACTURER.

MOUNTING (CONCRETE):
1. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR.
2. RACK SHALL BE SET FROM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4\"/>

MOUNTING (BRICK PAVERS):
1. REMOVE APPROPRIATE BRICK PAVERS AND PAVEMENT BEDDING MATERIAL AS NECESSARY FOR INSTALLATION.
2. CONSTRUCT CONCRETE SLAB (MINIMUM 4-INCH THICK) OR CONCRETE FOOTING (24-INCH DEEP, 12-INCH WIDE) BELOW THE BRICK PAVEMENT MATERIAL. CONCRETE SHALL BE CLASS A OR B.
3. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR.
4. TAPER-RESISTANT SECURITY NUT OR STAINLESS STEEL MUSHROOM HEAD.
5. RACK SHALL BE SET FROM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4\"/>



INVERTED "U" BIKE RACK (STAINLESS STEEL-NOT PAINTED)



NO.	DATE	REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

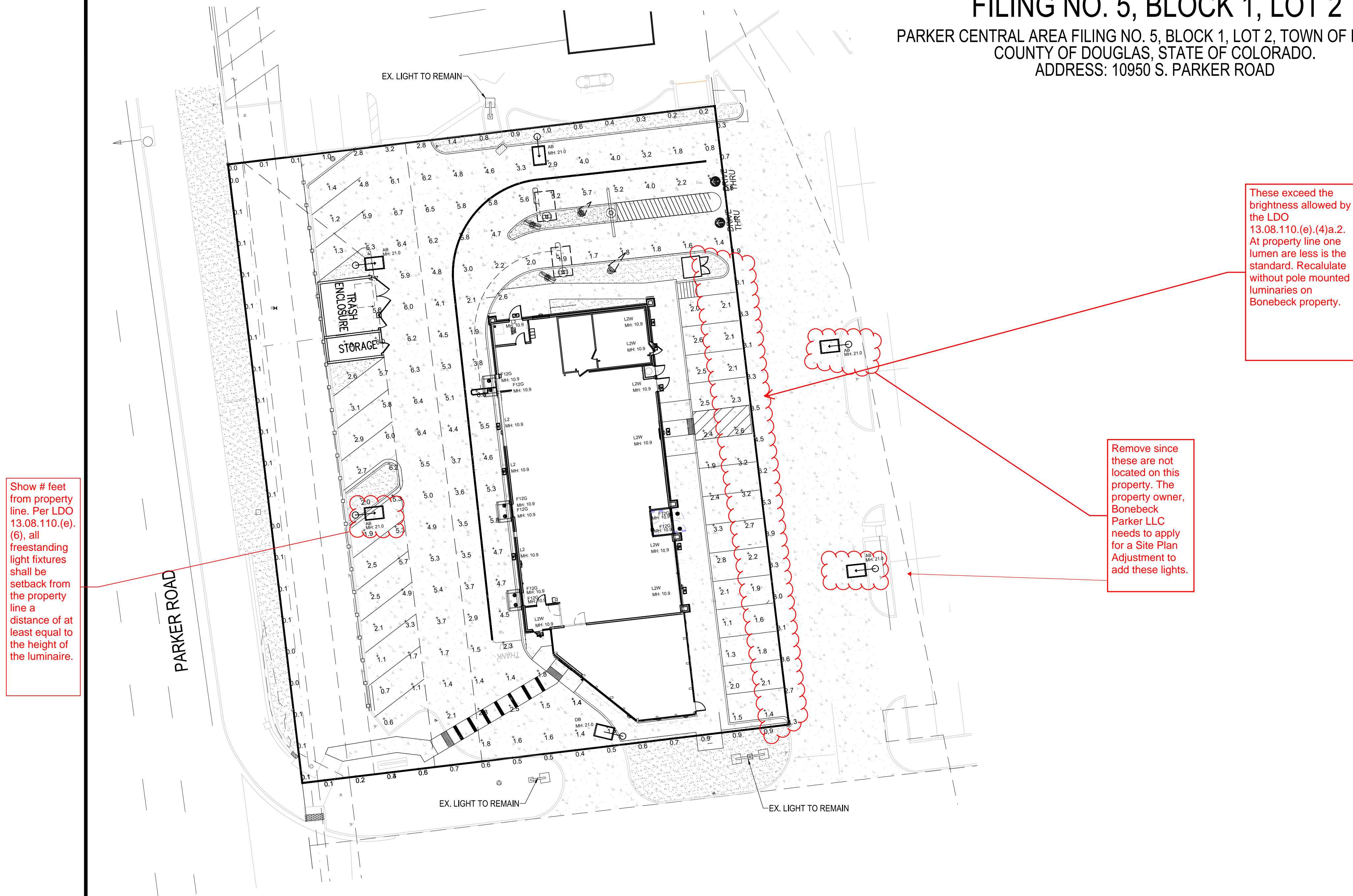
ROCKY MOUNTAIN REGION
ADDRESS: 4643 S. ULLSTER STREET, SUITE 1300, DENVER, COLORADO 80237

10950 S. PARKER ROAD	CITY	PARKER	STATE	COLORADO
	COUNTY	DOUGLAS		
	ZIP CODE	50162		
	OFFICE	7462		

SCALE:	1" = 20'	MD RE:	BOWAN
DATE:	03/20/2026	MD P/CM:	MANN
DESIGNED BY:	RJP	FILE NAME:	CURRENT.DWG
DRAWN BY:	RJP	SLS NO. 14-001-47	
CHECKED BY:	RJP		
DRAWING TITLE:	SITE PLAN		
SHEET NO.:	C1.0		

SITE DEVELOPMENT PLAN MCDONALDS REMODEL AT PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
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Show # feet from property line. Per LDO 13.08.110.(e). (6), all freestanding light fixtures shall be setback from the property line a distance of at least equal to the height of the luminaire.

These exceed the brightness allowed by the LDO 13.08.110.(e). (4)a.2. At property line one lumen are less is the standard. Recalculate without pole mounted luminaries on Bonebeck property.

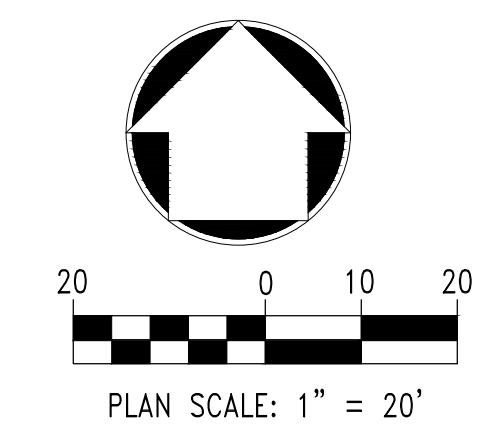
Remove since these are not located on this property. The property owner, Bonebeck Parker LLC needs to apply for a Site Plan Adjustment to add these lights.

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.40	6.7	0.6	5.67	11.17
Propertyline	Illuminance	Fc	1.18	6.2	0.0	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	CCT	Color	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type	Luminaire Lumens	Manufacturer
	1	DB	Single	5,000 K	Dark Bronze	0.850	RAR-1-160L-100-5K7-2-BC-DB	90	0.607	21	SES-18-40-1-TA-GL-DB (4")	6944	Security Light Ratio 1
	5	AB	Single	5,000 K	Dark Bronze	0.850	RAR-2-480L-240-5K7-4W-BC-DB	226.9	0.607	21	SES-18-40-1-TA-GL-DB (4")	17668	Security Light Ratio 2
	8	F12G	Single	5,000 K	White	0.850	8542-5CCT-5000K	12.45		10.9		1029	Security Light Canopy
	4	L2	SINGLE	5,000 K	White	0.850	RWSC-36L-5K-DO-U-PS	14.4		10.9		1565	Security Light Radial Wall Sconce
	7	L2W	SINGLE	5,000 K	White	0.850	RWSC-36L-5K-DO-U-WH	14.4		10.9		1565	Security Light Radial Wall Sconce



NO. DATE REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT

Strategic Land Solutions, Inc.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.364.7661 Phone
rpalmer@strategics.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF

SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER
ROBERT J. PALMER
36320

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

ROCKY MOUNTAIN REGION
ADDRESS: 4643 S. ULLSTER STREET, SUITE 1300, DENVER, COLORADO 80237

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

10950 S. PARKER ROAD
PARKER
COLORADO
DOUGLAS
50162
7462

SCALE: 1"=20'
DATE: 03/20/2026
DESIGNED BY: RJP
DRAWN BY: RJP
CHECKED BY: RJP

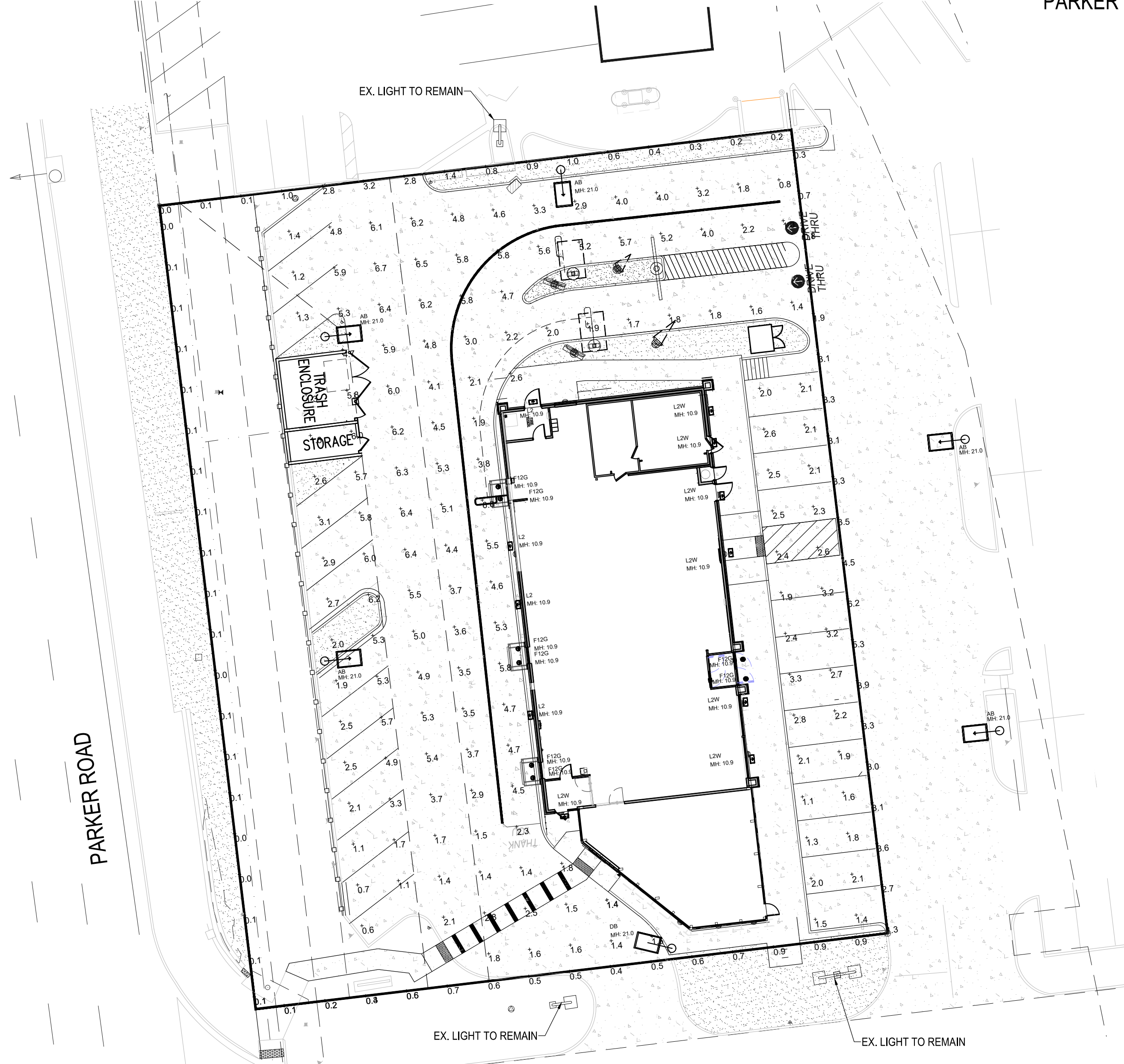
MCD RE: BOWAN
MCD P/CM: MANN
FILE NAME: CURRENT.DWG
SLS IN: 14-001-47

PHOTOMETRIC PLAN

SHEET NO:
LI1.0

SITE DEVELOPMENT PLAN MCDONALDS REMODEL AT PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
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ADDRESS: 10950 S. PARKER ROAD



SECURITY LIGHTING™

RWSC

RADIUS LED WALL SCONCE

The RWSC LED radius wall sconce series offers a combination of light distributions that wash the building facade while the radius soft form housing accentuates building architectural design elements in all commercial and residential applications.

The RWSC LED provides excellent illumination with a high efficiency LED light source of 72 or 36 watt power LEDs that deliver up to 2,825 lumens and up to 100 lumens per watt.

The RWSC LED fixture has become a building standard and is stocked as a quick ship item in many colors and distributions.

Features

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaires finished in weatherproof powder coat paint
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations
- D.L.C. Downlight only, full cut-off
- Dark Sky compliant, Downlight only

Operating Temperature
• -30°F to 40°C

Electrical
• Dimming is an option (consult factory)

Mounting
RWSC features intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very user friendly and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.

Certifications/Listings

Ordering Information Ordering Example: RWSC-XXL-XX-XX-XX-XX

RWSC

Series	Finish	LEDs	Output	Dimensions	Voltage	Mount	Options
Basic	Black	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None
Basic	White	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None
Basic	Black	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None
Basic	White	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None
Basic	Black	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None
Basic	White	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None

Dimensions
7.5" x 18.7" x 9.0"

KEY DATA

Lumen Range	3,000-48,000
Wattage Range	25-340
Efficiency (LPW)	118-155
Reported Life (Hours)	L70>24,000
Input Current Range (amps)	0.26-10.18

BEACON

RATIO Series

AREASITE LIGHTER

FEATURES

- Low profile LED arealite luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have surge power over-voltage, over-current protection and short circuit protection with auto recovery
- Visual comfort standard
- Compact and lightweight design with low EMI
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7 pin with networked controls
- Best in class surge protection available

CONTROL TECHNOLOGY

INSTALLATION

KEY DATA

Lumen Range	3,000-48,000
Wattage Range	25-340
Efficiency (LPW)	118-155
Reported Life (Hours)	L70>24,000
Input Current Range (amps)	0.26-10.18

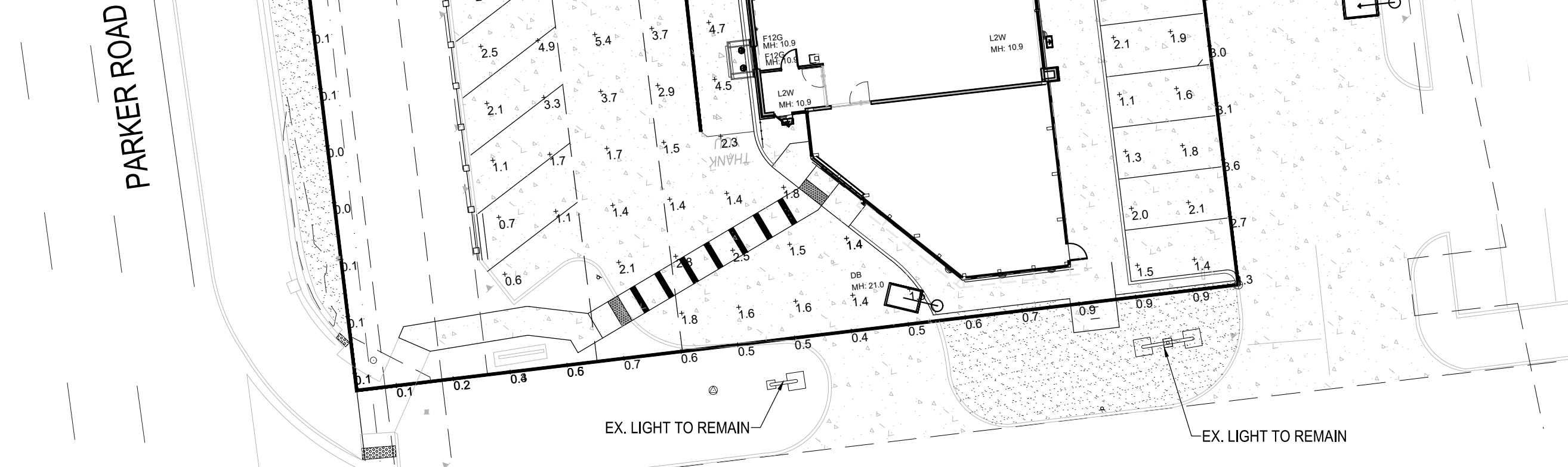
DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #:

NO. DATE REVISION DESCRIPTION

Strategic Land Solutions, Inc.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.364.7661 Phone
palmer@strategics.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF:
ROBERT J. PALMER
REGISTERED PROFESSIONAL ENGINEER
36320

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.



SQUARE STRAIGHT STEEL POLES

Specifications

SSP SERIES

- Square straight steel shaft
- One-piece construction
- 2 3/4" O.D. sensors, or factory-drilled side mount
- Ground lug standard (3/4" 16 thread)
- Steel base plate
- Two-piece base cover
- Four L-shaped fully galvanized anchor bolts
- With nuts and washers, metal template
- Finished in weatherproof powder-coat paint
- Gasketed hand hole standard

ORDERING INFORMATION

Series	Height	Strength	Length	Finish	Base	Anchor	Options	Base	Hand Hole	Finish	
SSP-4110-XXX-XX	18	11.5	6	3	3"	10.25"	3/4"	10.5"	6"	4"	147
SSP-4125-XXX-XX	25	5	1.5	-	4"	10.25"	3/4"	10.5"	6"	4"	238
SSP-4125-XXX-XX	25	10.5	6	-	4"	10.5"	1"	10.5"	10-13.5"	4"	231
SSP-4175-XXX-XX	25	10	4.5	1.6	6"	11"	3/4"	10.5"	8.5-12"	4"	268
SSP-4175-XXX-XX	22	20	11	6	6"	12"	1"	10.5"	10-13.5"	4"	263
SSP-4175-XXX-XX	28	11.5A	7A	3	6"	12"	1"	10.5"	10-13.5"	4"	340
SSP-4175-XXX-XX	30	12	4.5	1.6	6"	12"	1"	10.5"	10-13.5"	4"	338

CATALOG LOGIC

SSP X XX X X X XX

FINISH

DR Black
WH White
BK Black
GR Gray
SI Silver
PL Platinum

ACCESSORY: TENON TOP MOUNTING BRACKET

Series	Height	Strength	Length	Finish	Base	Anchor	Options	Base	Hand Hole	Finish
TTF-15	15'	15W	15'	3"	10.25"	3/4"	10.5"	6"	4"	147
TTF-20	20'	20W	20'	3"	10.25"	3/4"	10.5"	6"	4"	238
TTF-25	25'	25W	25'	3"	10.5"	1"	10.5"	10-13.5"	4"	231
TTF-30	30'	30W	30'	3"	10.5"	1"	10.5"	10-13.5"	4"	268
TTF-35	35'	35W	35'	3"	10.5"	1"	10.5"	10-13.5"	4"	340
TTF-40	40'	40W	40'	3"	10.5"	1"	10.5"	10-13.5"	4"	338

SECURITY LIGHTING™

SLED

HIGH EFFICIENCY LINEAR LED FACED FIXTURE

The SLED Linear LED Lighting System offers a discrete and minimalist design to maximize the lighting effect for maximizing your lighting as your brand while keeping energy usage and maintenance to a minimum.

FEATURES

- Thanks to its innovative "plug and play" mounting design with integral control system, installation is quick and simple and only requires that power be brought to one fixture in each continuous row
- The unique fixture design and the long life LED source ensures maintenance to only an occasional cleaning of outer lens surfaces
- This successful system truly is a "set it and forget it" solution that is only offered from Security Lighting

INSTALLATION

- Each color chip with a formed drilling template for accurate and quick installation
- All subsequent fixtures quickly plug together in series
- Fixtures are not opened during the installation process
- Complete installation kit includes installation instructions on web site at www.securitylighting.com

ELECTRICAL

- Fully integrated driver for completely self-contained lighting system
- Power feed required only at beginning of each continuous row or stand alone fixture
- 5 year warranty
- See UL Standard Warranty for additional information

WARRANTY

- 5 year warranty
- See UL Standard Warranty for additional information

ORDERING GUIDE

Example: SLED-XXL-XX-XX-XX-XX

Series	Finish	LEDs	Output	Dimensions	Voltage	Mount	Options
Basic	Black	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None
Basic	White	36	2,825 Lumens	7.5" x 18.7" x 9.0"	120V/277V	DR	None

KEY DATA

Lumens	824 / 121
Wattage	30
Efficiency (LPW)	83.6 / 82.9
Reported Life (Hours)	L70>24,000
Input Current Range (amps)	0.26-10.12

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- One cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a large luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 90, 320 or 480 mcd power LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero spill light at 0 degrees of tilt
- Field adjustable apps

INSTALLATION

- Standard square arm mount, compatible with 83 and 84 patterns
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Kneucle arm fixture option available for 2 3/8" O.D. sensor. Max tilt of 60 degrees with a degree adjustment mechanism. (Restrictions apply for 7 pin options)

KEY DATA

Lumen Range	3,000-48,000
Wattage Range	25-340
Efficiency (LPW)	118-155
Reported Life (Hours)	L70>24,000
Input Current Range (amps)	0.26-10.18

BEACON

RATIO SERIES

AREASITE LIGHTER

ORDERING GUIDE

Example: RAR-80L-25-3K7-2LUN-AS2-8L-NXW-8C

ORDERING INFORMATION

Series	Height	Strength	Length	Finish	Base	Anchor	Options	Base	Hand Hole	Finish
RAR-80L-25-3K7-2LUN-AS2-8L-NXW-8C	25'	25W	25'	3"	10.25"	3/4"	10.5"	6"	4"	147

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR-80L-4K3	12,000	100W	95L	4000K/90CRI	120/277V	Type 3	Square Arm	Black
RAR-80L-4K4W	12,000	100W	95L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black
RAR-80L-4K5	18,000	150W	150L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black
RAR-80L-4K6	18,000	150W	150L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black
RAR-80L-4K7	21,000	180W	180L	4000K/90CRI	120/277V	Type 3	Square Arm	Black
RAR-80L-4K8	21,000	180W	180L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #:

NO. DATE REVISION DESCRIPTION

Strategic Land Solutions, Inc.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.364.7661 Phone
palmer@strategics.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF:
ROBERT J. PALMER
REGISTERED PROFESSIONAL ENGINEER
36320

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

currentlighting.com/beacon

BEACON

RATIO SERIES

AREASITE LIGHTER

ORDERING GUIDE

Example: RAR-80L-25-3K7-2LUN-AS2-8L-NXW-8C

ORDERING INFORMATION

Series	Height	Strength	Length	Finish	Base	Anchor	Options	Base	Hand Hole	Finish
RAR-80L-25-3K7-2LUN-AS2-8L-NXW-8C	25'	25W	25'	3"	10.25"	3/4"	10.5"	6"	4"	147

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR-80L-4K3	12,000	100W	95L	4000K/90CRI	120/277V	Type 3	Square Arm	Black
RAR-80L-4K4W	12,000	100W	95L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black
RAR-80L-4K5	18,000	150W	150L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black
RAR-80L-4K6	18,000	150W	150L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black
RAR-80L-4K7	21,000	180W	180L	4000K/90CRI	120/277V	Type 3	Square Arm	Black
RAR-80L-4K8	21,000	180W	180L	4000K/90CRI	120/277V	Type 4W	Square Arm	Black

10950 S. PARKER ROAD
PARKER
COLORADO
DOUGLAS
50162
7462

SCALE: 1"=20'

DATE: 03/20/2026

DESIGNED BY: RJP

DRAWN BY: RJP

CHECKED BY: RJP

MD REF: BOWAN

MD P/C: MANN

FILE NAME: CURRENT.DWG

S/S No. 14-001-17

PHOTOMETRIC DETAILS

SHEET NO.

L11.1

Know what's below.
Call before you dig.

811

PLAN SCALE: 1" = 20'



LANDSCAPE PLAN
SCALE: 1" = 20'

EXTEND IRRIGATION FROM EXISTING SYSTEM TO NEW PLANTINGS. VERIFY FUNCTIONALITY OF SYSTEM AND REPAIR/REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS. TREES TO RECEIVE TWO 2.0 GPM EMITTERS; SHRUBS TO RECEIVE TWO 1.0 GPH EMITTERS, PERENNIALS AND GRASSES TO RECEIVE ONE 1.0 GPH EMITTER.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES				
	AG	1	ACER GRANDIDENTATUM / BIGTOOTH MAPLE	2" B&B
	MS	1	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	1.5" B&B MULTISTEM
	EXR	1	RELOCATE AS INDICATED / EXISTING TREE TO BE RELOCATED	EX
	EX-REM	1	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EXISTING
	EX-RET	9	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EXISTING
SHRUBS				
	AC	16	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL
	AMI	11	ARONIA MELANOCARPA 'IROQUIS BEAUTY' / DWARF CHOKEBERRY	5 GAL
	CMF	10	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL
	JC	5	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA' / COMPACTA PFITZER JUNIPER	5 GAL
	JHH	2	JUNIPERUS HORIZONTALIS 'HUGHES' / CREEPING JUNIPER	5 GAL
	JMG	4	JUNIPERUS SCOPULORUM 'MOONGLOW' / UPRIGHT JUNIPER	10 GAL
	POL	14	PHYSCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL
	POF	9	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / POTENTILLA	5 GAL
	ESTR	28	TO REMAIN / EXISTING SHRUB	EX
GRASSES				
	BB	10	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL
	CAC	50	CALAMAGROSTIS X ACUTIFLORA / FEATHER REED GRASS	1 GAL
	SW	12	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL
PERENNIALS				
	AQ	6	AQUILEGIA CHRYSANTHA / GOLDEN COLUMBINE	1 GAL
GROUND COVERS				
	EX-RS	3,692 SF	EX LANDSCAPE - SHRUB BED / TO REMAIN	EXISTING
	EX-RES	5,509 SF	EX TURF TO REMAIN / EXISTING IRRIGATED TURF	EXISTING
MULCHES				
	RM	4,204 SF	ROCK MULCH / RIVER ROCK 1"-2"	MULCH

ANY EXISTING TREES TO REMAIN THAT EXPERIENCE MORTALITY DUE TO CONSTRUCTION SHALL BE REPLACED WITH SIMILAR SIZE AND SPECIES

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	QTY
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).	
2	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	

NOTE: ANY PLANTS THAT ARE NOT MAINTAINED SHALL BE REPLACED

32 LANDSCAPE IMPROVEMENTS

32-01	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	365 LF
-------	--	--------

Revise per 04 Planning Memo, Landscaping #2 comment.

SITE CATEGORY REQUIREMENTS

OVERALL LANDSCAPE		Site Area = 30,535 SF	
4,580 SF Required			
Total Landscape Area Required (15%)	4,580 sf	Total Landscape Area Provided - On-Site (11,500 sf req) (3,500 sf prov)	8996 (29%)
Trees Req / Provided	18 / 18	Shrubs Req / Provided	91 / 91
Evergreen Lsp (Min 25, max 50%)	37%	Plant Coverage Req / Prov	75% / 79%
8 + 10 existing		62 + 28 existing	
33 eq / 31 total = .45		6747 / 7125	
PARKING LOT PERIMETER			
Parking Spaces Provided / Area	28	Parking Island Tree Provided / Provided	1 / 1
Parking Island Shrub Provided / Provided	20 / 20	Parking Island Area Req / Prov	340 / 361
PARKING LOT INTERIOR			
Parking Spaces Provided / Area	26	Parking Lot Perimeter Width Provided	10'
Parking Lot Perimeter Screening Provided	Mixed Shrub Bed	Parking Lot Perimeter Shrub + Grasses	Mixed Shrub Bed
RIGHT OF WAY LANDSCAPING			
Enhanced landscape area: 1,800 sf; 35 large shrubs; 10 large grasses. no trees (utility conflict); 210' x 35 shrubs required / provided.			
Frontage	Length (LF)	Trees Req / Prov	Enhanced Landscaping
S Parker Rd	210	7 / 0*	1800 sf
*OVERHEAD ELECTRIC SEPARATION REQUIREMENTS PRECLUDE STREET TREE PLANTING		Enhanced Landscaping Trees + Shrubs	
		Trees = 0 (CHE Conflict)	
		35 Shrubs + 10 Grasses	
SITE PERIMETER LANDSCAPE			
Frontage	Length (LF)	Shrubs Req / Prov	Trees Req / Prov
S Parker Rd	210	28 / 28	6 / 6 (4 existing)
		Evergreen Trees (Min 25%)	
		2 - existing (33%)	

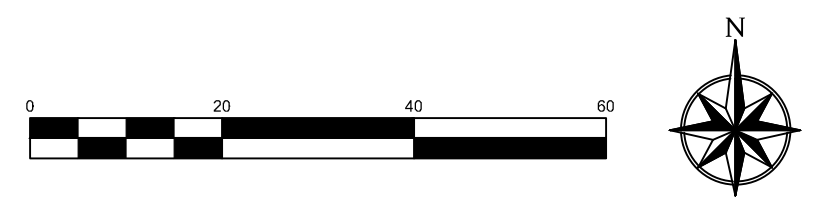
ALL TREES SHALL BE PLACED A MINIMUM 10 FEET AWAY FROM WATER, SANITARY AND STORM SEWERS AND ALL SHRUBS SHALL BE PLACED A MINIMUM OF 5 FEET AWAY FROM WATER, SANITARY, AND STORM SEWERS. NO MATERIAL WITHIN 3' OF A FIRE HYDRANT



NO.		DATE	REVISION DESCRIPTION
CML ENGINEERING CONSULTING			
<p>2595 PONDEROSA ROAD FRANKTOWN, CO 80116 720.354.7661 Phone rpalmer@strategic.net Robert J. Palmer, PE President</p>			
10950 S. PARKER ROAD		CITY	PARKER
STATE		COLORADO	
COUNTY		DOUGLAS	
SITE STORE #/F		50162	
ADDRESS		7462	
SCALE:		1"=20'	MAP RE: BOWAN
DATE:		03/20/2026	MAP P/C/K: MANN
DESIGNED BY:		JRO	FILE NAME:
DRAWN BY:		JRO	CURRENT.DWG
CHECKED BY:		NAM	SLS IN: 14-001-02
DRAWING TITLE:			
LANDSCAPE PLAN			
SHEET NO:			
LS1.0			



TREE CONSERVATION PLAN
SCALE: 1" = 20'



PLANT LEGEND

- SYMBOL QTY BOTANICAL / COMMON NAME
- TREES**
- 1 RELOCATE AS INDICATED / EXISTING TREE TO BE RELOCATED
 - 1 REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED
 - 9 TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN

See requirements for tree location LDO 13.08.090(l).(6).e. Many applicants choose to replace. If relocate, need arborist to value this tree.

TREE MITIGATION CHART

TREE #	SPECIES	DIAMETER INCHES	MITIGATION VALUE	COMMENTS	MITIGATION INCHES
1	Prunus	4	n/a	Relocate	-
2	Fraxinus	12	n/a	Preserve	-
3	Picea	12	n/a	Preserve	-
4	Picea	12	n/a	Preserve	-
5	Fraxinus	12	n/a	Preserve	-
6	Fraxinus	10	n/a	Remove	-
7	Fraxinus	10	n/a	Preserve	-
8	Fraxinus	12	n/a	Preserve	-
9	Fraxinus	9	n/a	Preserve	-
10	Fraxinus	9	n/a	Preserve	-
11	Fraxinus	9	n/a	Preserve	-
Total		111	\$ -		0

MITIGATION CHART ONLY SHOWS ON-SITE TREES IMPACTED BY DEVELOPMENT PROPOSAL

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Robert J. Palmer, PE
President

McDonald's
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ROCKY MOUNTAIN REGION
OFFICE ADDRESS: 4643 S. JUSTER STREET, SUITE 1300, DENVER, COLORADO 80237

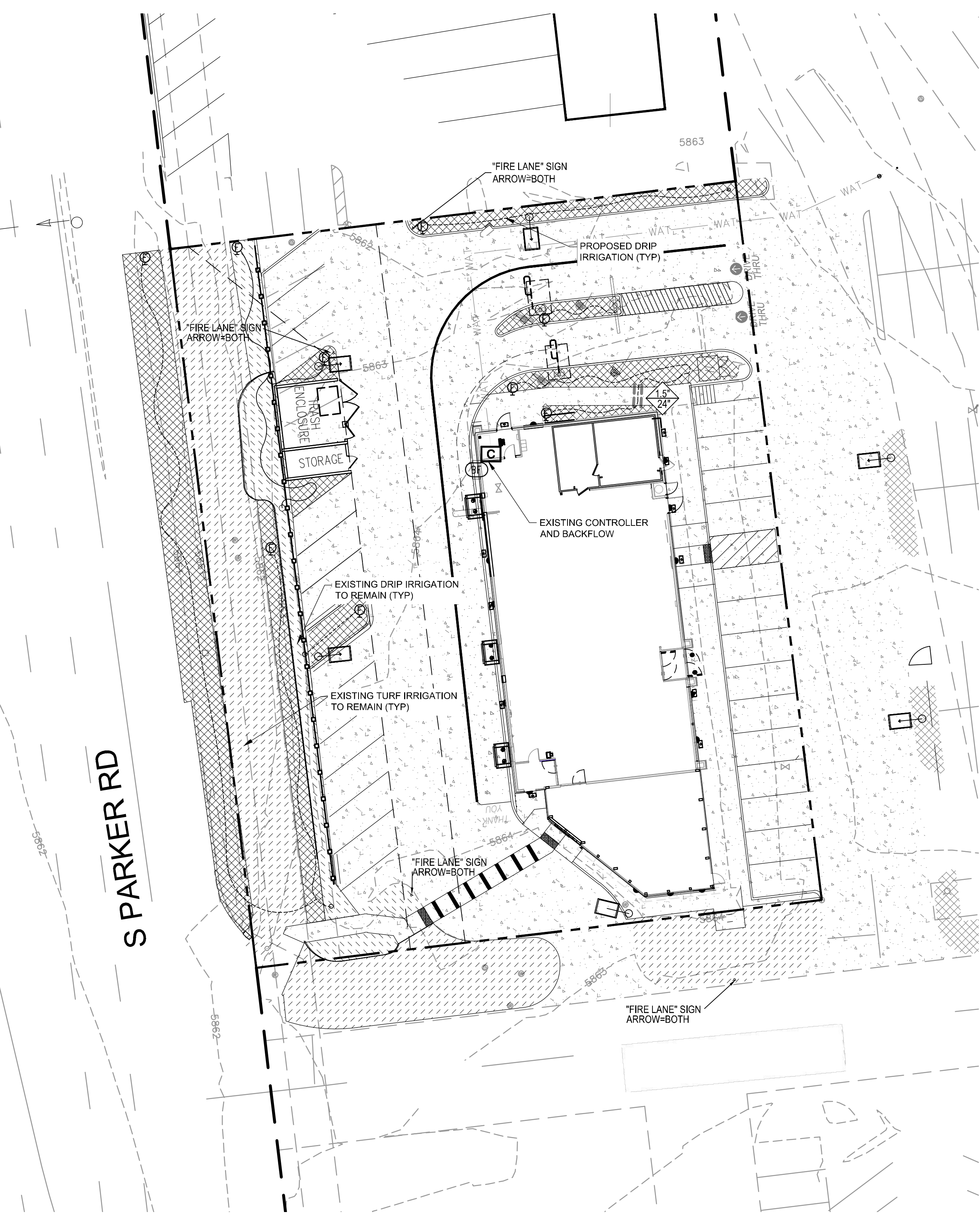
10950 S. PARKER ROAD
PARKER, COLORADO
COUNTY: DOUGLAS
CITY: PARKER
STATE: COLORADO
RECORDING NO.: 50162
NATURAL D.E.F.: 7462

SCALE: 1"=20' M&P RE: BOWAN
DATE: 03/20/2026 M&P P/C&R: MANN
DESIGNED BY: JRO
DRAWN BY: JRO FILE NAME: CURRENT.DWG
CHECKED BY: NAM SLS IN: 14-001-62

TREE CONSERVATION PLAN

SHEET NO: **LS1.1**

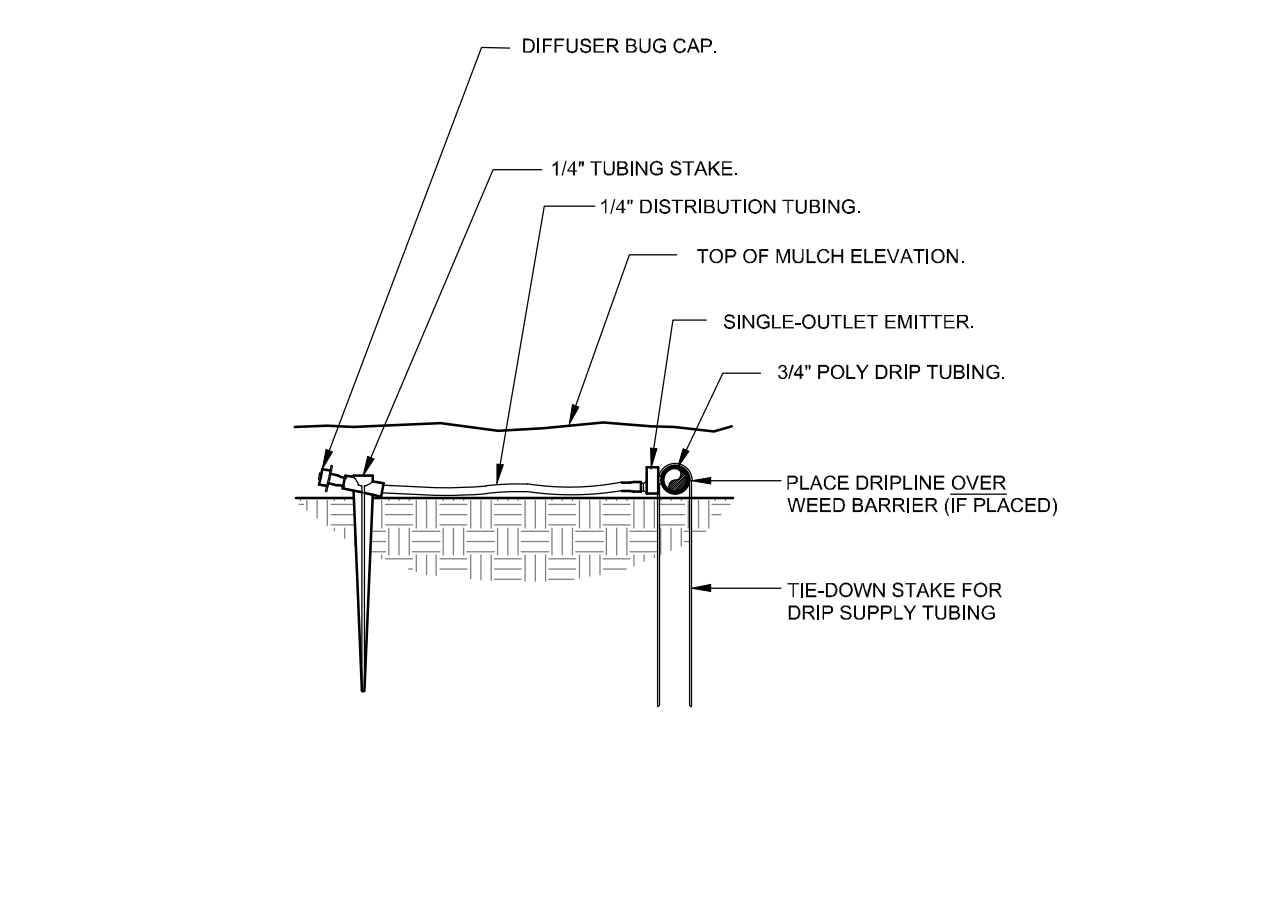
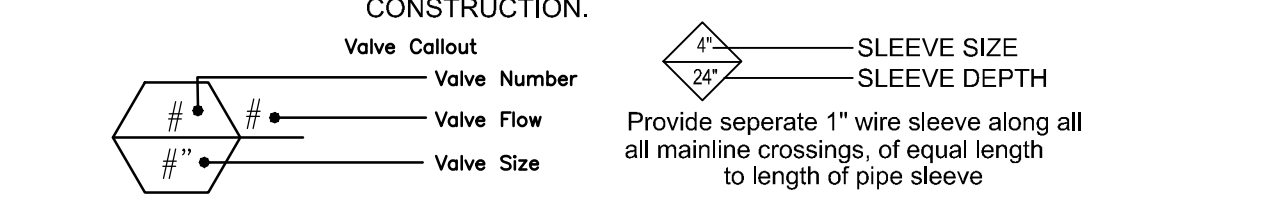
NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning · Irrigation Design
5539 Colt Drive, Longmont, CO 80503
(303) 443-0388 · neil@ndscolorado.com



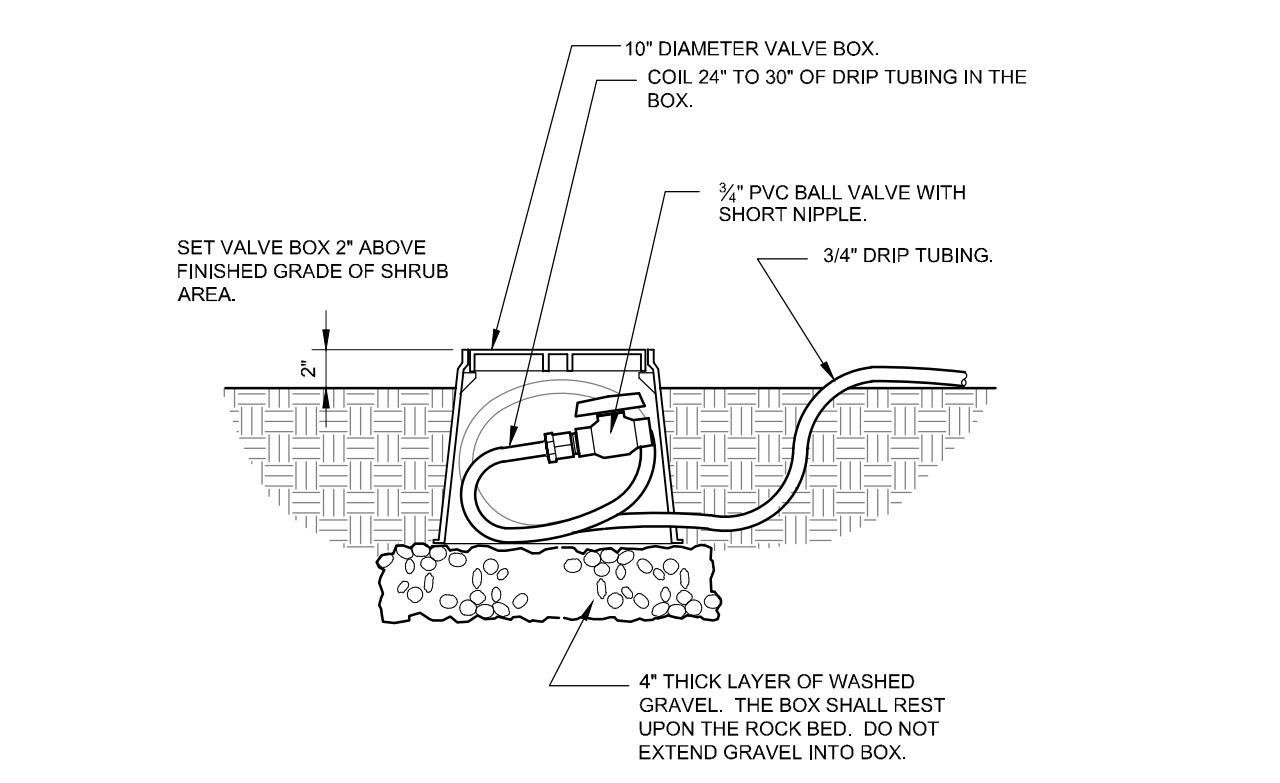
IRRIGATION PLAN
SCALE: 1" = 20'

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY
	EXISTING DRIP AREAS EXISTING DRIP IRRIGATION TO REMAIN.	
	EXISTING TURF SPRAY TO REMAIN - PROTECT IN PLACE. REPAIR OR REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS AND VERIFY PROPER COVERAGE.	
	PROPOSED DRIP AREAS EXTEND IRRIGATION FROM EXISTING DRIP ZONES. MODIFY LAYOUT AS NECESSITATED. VERIFY PROPER FUNCTIONALITY AND REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS.	
	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	8
	FEBCO 825YA 3/4" REDUCED PRESSURE BACKFLOW PREVENTER	1
	RAIN BIRD ESP4-SMTEI WITH (1) ESP-SM3 7 STATION INDOOR SMART MODULAR CONTROL SYSTEM FOR RESIDENTIAL AND LIGHT COMMERCIAL USE. WALL MOUNT. TIPPING BUCKET RAIN SENSOR THAT MEASURES RAINFALL.	1
	PIPE SLEEVE: PVC SCHEDULE 40 PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM 2X PIPE DIAMETER UNLESS OTHERWISE NOTED. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	6.0 LF



1 DRIP EMITTER DETAIL
3" = 1'-0" 32 8413.13-03



2 DRIP FLUSH VALVE
1 1/2" = 1'-0" 32 8413.49-03

NO. DATE REVISION DESCRIPTION
CML ENGINEERING CONSULTING

Strategic Land Solutions, Inc.
2595 PONDEROSA ROAD
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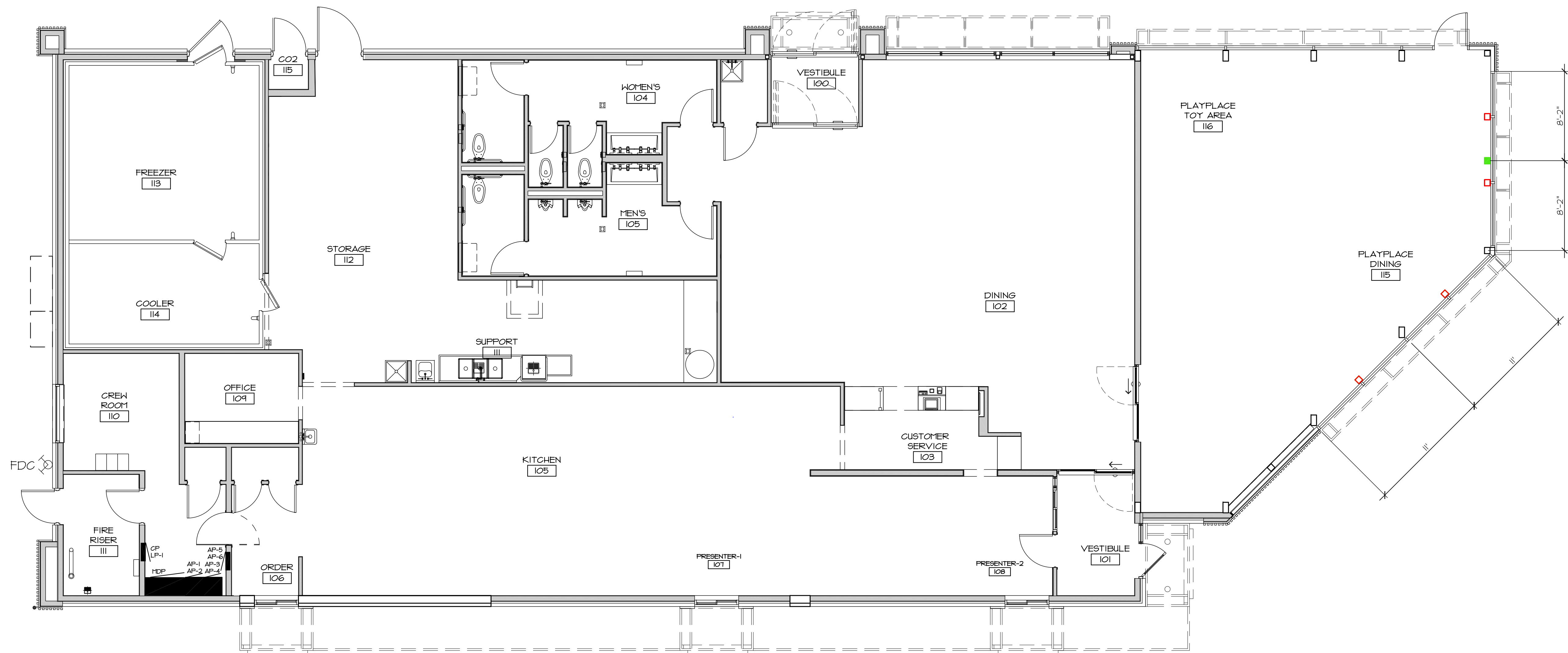
ROCKY MOUNTAIN REGION
OFFICE ADDRESS: 4643 S. JUSTER STREET, SUITE 1300, DENVER, COLORADO 80237

10950 S. PARKER ROAD
PARKER COLORADO
DOUGLAS
50162
7462

SCALE: 1" = 20' M&D RE: BOWAN
DATE: 03/20/2026 M&D P/C&R MANN
DESIGNED BY: JRO FILE NAME:
DRAWN BY: JRO CURRENT.DWG
CHECKED BY: NAM SLS IN: 14-001-62

DRIVING TITLE:
IRRIGATION PLAN
SHEET NO:
IRR1.0





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PREPARED FOR:
McDonald's
STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

McDonald's Corporation
4643 S. Ulster Street
Suite 1300
Denver, CO 80111

ISSUE	DATE

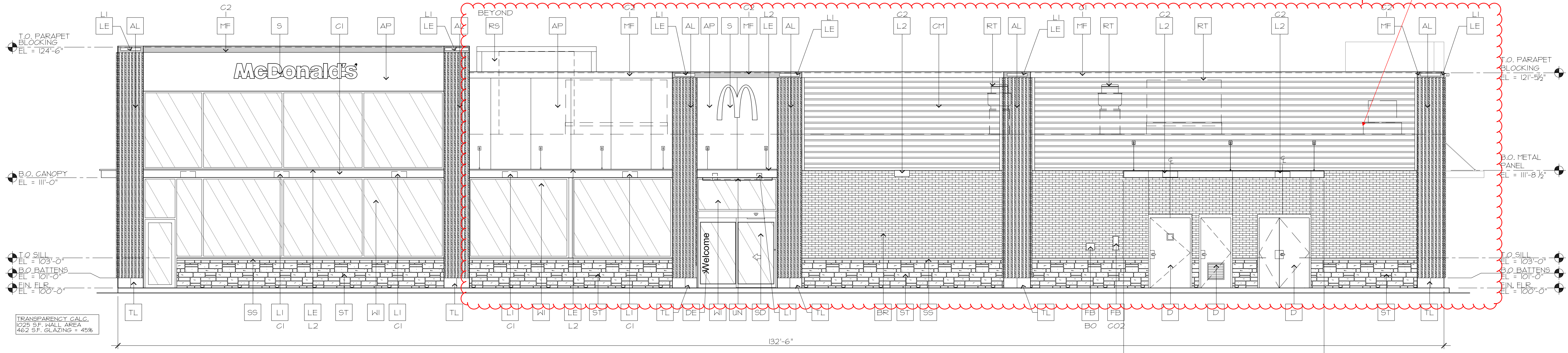
PROJECT #: 0826
DRAWN BY: CS
CHECK BY:
SHEET TITLE:
FLOOR PLAN

DRAWING NO:
A2.01

FLOOR PLAN
SCALE : 3/16" = 1'-0"
NORTH



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES:

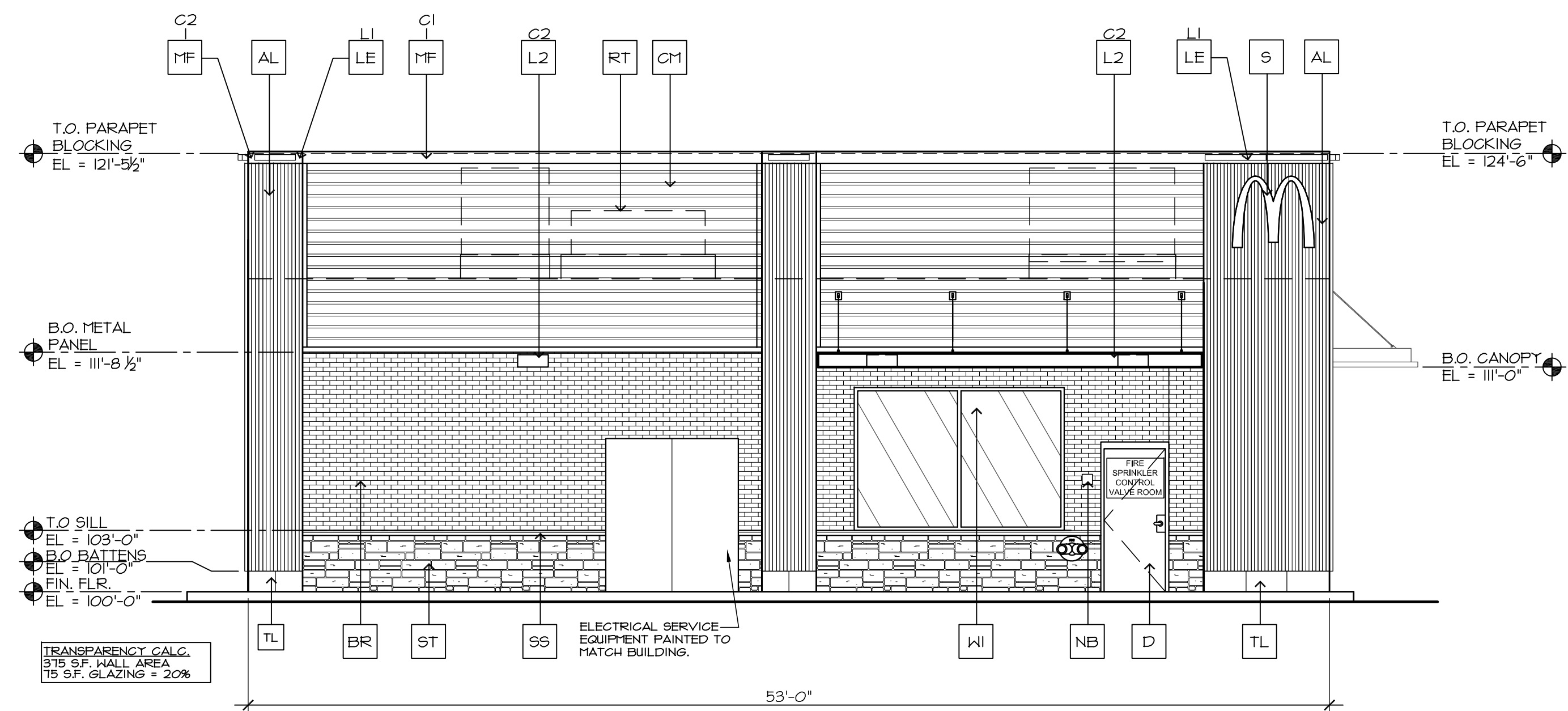
- | | | | | |
|---|--|--|--|--|
| <p>AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 1069 BY SHERWIN WILLIAMS</p> <p>AP ALPOLIC METAL PANEL (COLOR: RAL 7022)</p> <p>BM BRAKE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR</p> <p>BR MODULAR FACE BRICK</p> <p>BI COLOR:
BI = "ONTX" GRAIN, BY SUMMIT BRICK</p> <p>CI ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE</p> <p>C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022</p> <p>C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS</p> | <p>CJ CONTROL JOINT
1 - TYPE: 1 - ALPOLIC</p> <p>CM1 1" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
CI - COLOR:
C1 = WEATHERED ZINC</p> <p>D HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-1017 BY SHERWIN WILLIAMS</p> <p>DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfx.com</p> <p>EJ EXPANSION JOINT</p> <p>FB FILL BOX
CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.0B)</p> <p>GR GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 1069 BY SHERWIN WILLIAMS</p> <p>LI RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD</p> | <p>L2 RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL
CI - COLOR:
C1 = WHITE
C2 = MATCH RAL 7022</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL
LI - LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE</p> <p>MF METAL FASCIA
1 - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)
C2 = RAL 7022 (FLAT FACTORY FINISHED)</p> <p>NB 4400 SERIES KNOX BOX, MOUNTED 5'-6" AFF, LOCATED ADJACENT TO FIRE RISER ROOM. VERIFY WITH FIRE MARSHAL</p> | <p>PT (R/M/C) COIN COLLECTOR
MODEL: #MPT STD CALL 1-888-143-1435 TO ORDER</p> <p>RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>RS ROOF-TOP EQUIPMENT SCREEN (BEYOND). COLOR TO MATCH ALPOLIC METAL PANEL COLOR RAL 7022</p> <p>RT ROOF-TOP EQUIPMENT</p> <p>S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
CI - COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY</p> <p>SD NEW SLIDING DOOR - STANLEY DURA-GLIDE SERIES 3000</p> <p>SS STONE SILL, TELLURIDE STONE OKLAHOMA BLUE SILL, 2.5-3"x2.5-3"x24"</p> <p>ST STONE VENEER, TELLURIDE STONE SAHN THIN VENEER, HERITAGE BILTMORE DIMENSIONAL</p> | <p>TL TILE OVER 1/2" CEMENT BOARD
CI - CI-EUROBEST ABSOLUTE BLACK 6"x24", GROUT: MAPEI 41 CHARCOAL</p> <p>WI EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
FRAME COLOR: DARK BRONZE</p> <p>W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM,
MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT</p> <p>W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED CLEAR GLASS & METAL PANEL MOUNTED AT INTERIOR SHEATHING
FRAME COLOR: DARK BRONZE</p> <p>UN METAL UNDERSCORE
COLOR: GOLD</p> |
|---|--|--|--|--|

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McDonald's
STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

McDonald's Corporation
110 N. Carpenter St.
Chicago, IL 60607

ISSUE	DATE
PROJECT #:	0826
DRAWN BY:	CS
CHECK BY:	
SHEET TITLE:	EXTERIOR ELEVATIONS
DRAWING NO:	A3.01



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
SIGNAGE SHOWN IS FOR ILLUSTRATION
PURPOSES ONLY AND REQUIRES SEPARATE SIGN
PERMIT REVIEW / APPROVAL

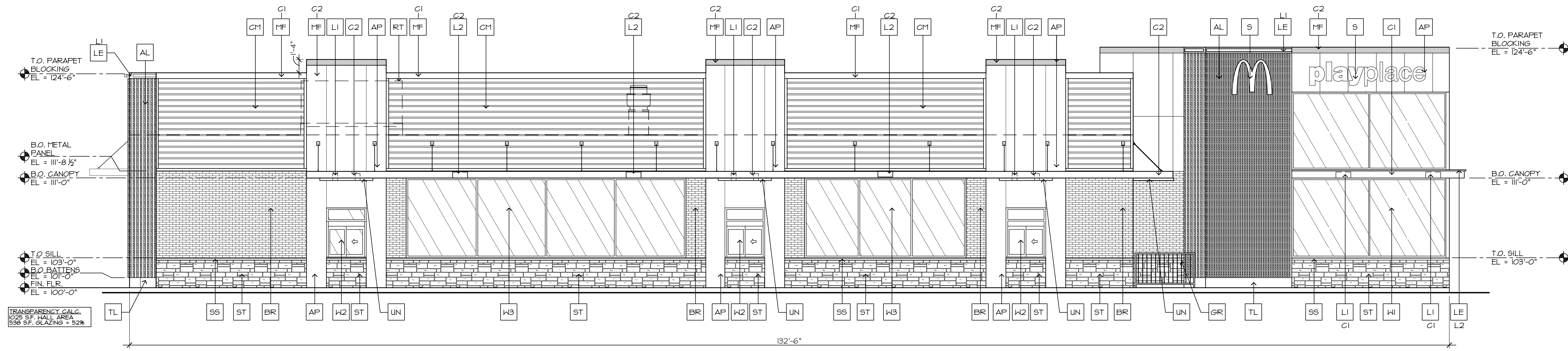
FINISH MATERIAL CALCULATIONS

NORTH ELEVATION TOTAL WALL AREA = 1140 S.F.	
STONE	130 S.F. (11.4%)
BRICK	360 S.F. (31.6%)
STOREFRONT	76 S.F. (6.6%)
WOOD BATTENS	230 S.F. (20.1%)
METAL ACCENTS	345 S.F. (30.3%)
WEST ELEVATION TOTAL WALL AREA = 2880 S.F.	
STONE	326 S.F. (11.3%)
BRICK VENEER	293 S.F. (10.2%)
STOREFRONT	250 S.F. (8.7%)
WOOD BATTENS	320 S.F. (11.1%)
METAL ACCENTS	1781 S.F. (61.7%)

Second request - Show guardrails on elevations.

Second request - Show wall-mounted electrical equipment, add note that it will be painted to match adjacent wall.

Revise - storefront is not a material. Change this to the material - i.e. type of glass.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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McDonald's
STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

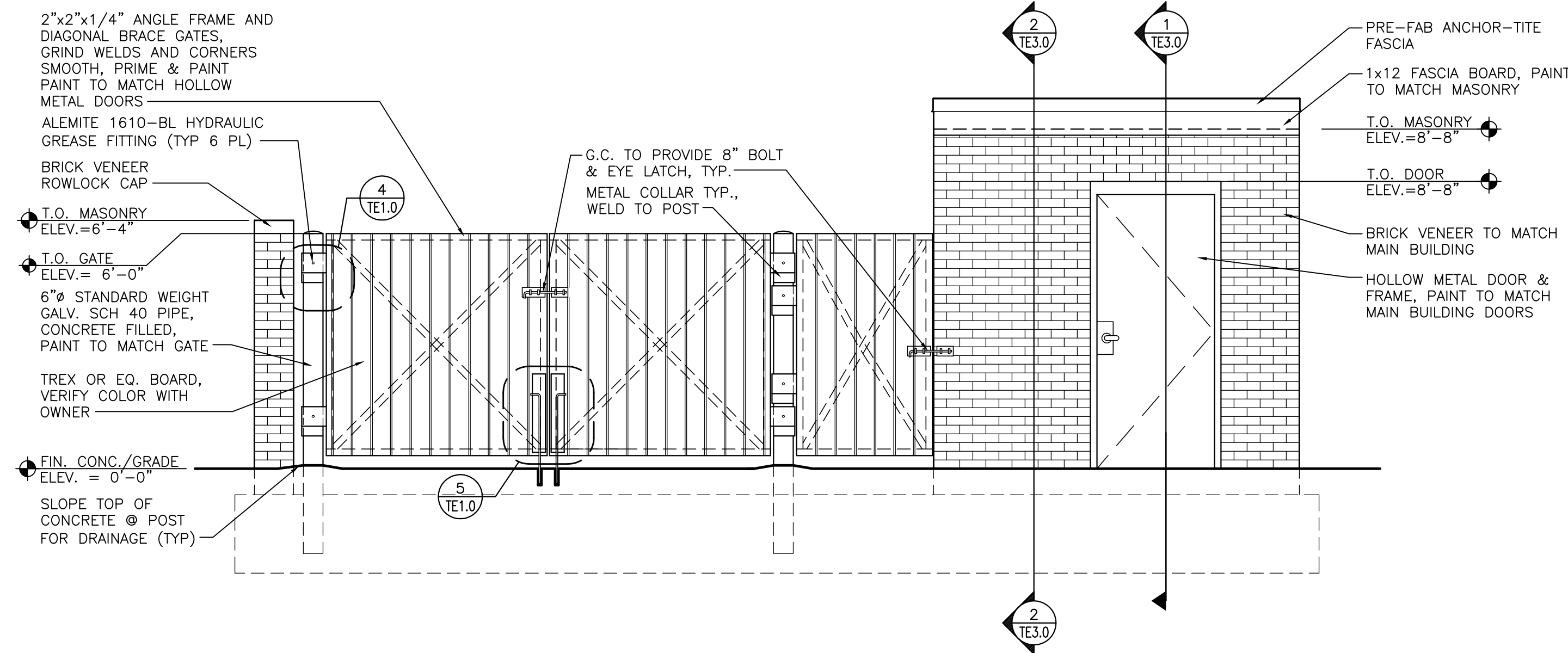
McDonald's Corporation
110 N. Carpenter St.
Chicago, IL 60607

KEY NOTES:

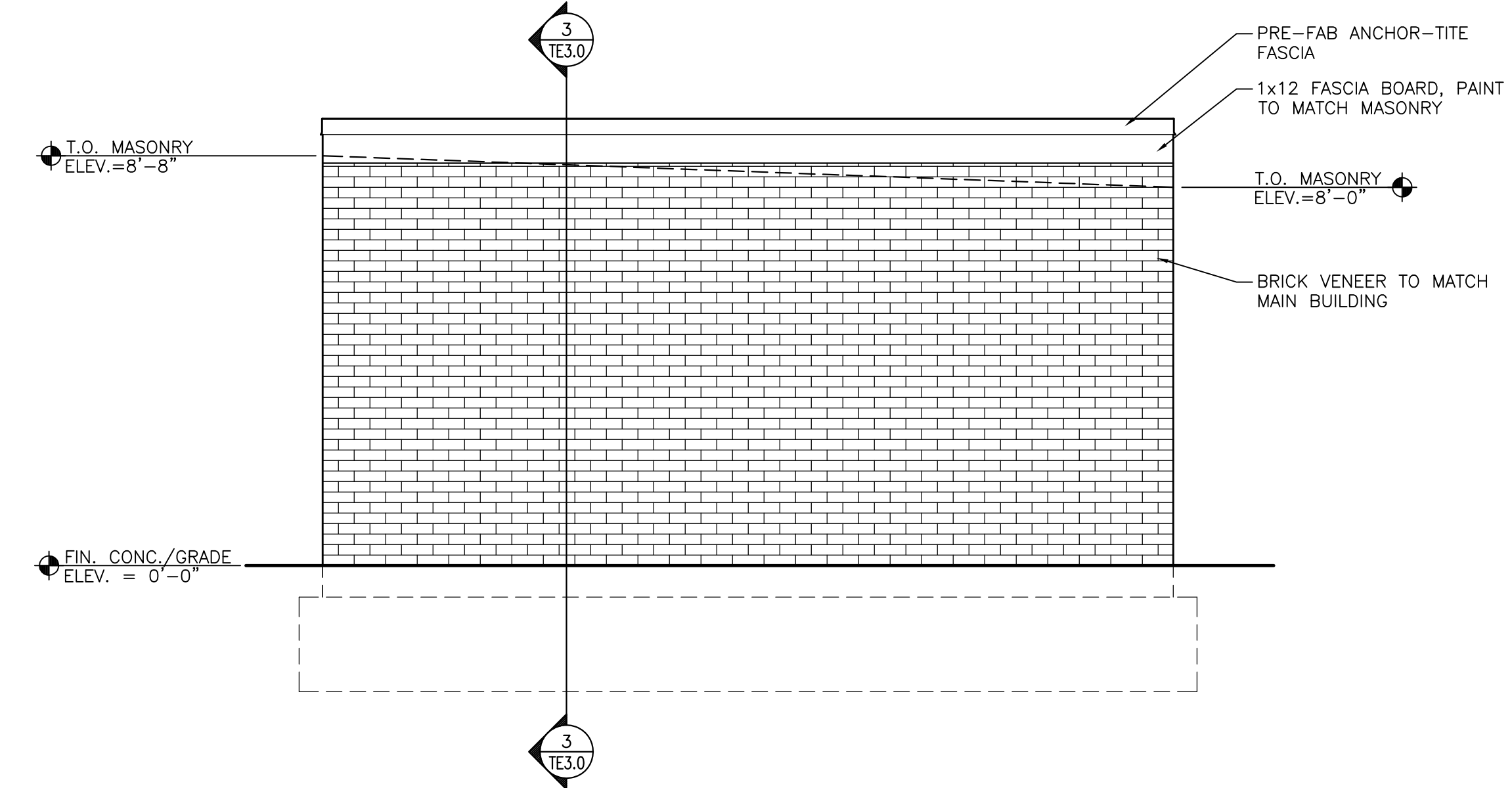
- | | | | | |
|---|--|---|--|--|
| <p>AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADE-MARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 1069 BY SHERWIN WILLIAMS</p> <p>AP ALPOLIC METAL PANEL (COLOR: RAL 7022)</p> <p>BM BRAKE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR</p> <p>BR MODULAR FACE BRICK</p> <p>BI COLOR:
BI = "ONTX" GRAIN, BY SUMMIT BRICK</p> <p>C1 ALUMINUM CANOPY SYSTEM WFASCIA
COLOR: WHITE</p> <p>C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022</p> <p>C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS</p> | <p>CJ CONTROL JOINT
1 - TYPE: 1 = ALPOLIC</p> <p>CH 1" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
COLOR:
C1 = WEATHERED ZINC</p> <p>D HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-TOIT BY SHERWIN WILLIAMS</p> <p>DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfx.com</p> <p>EJ EXPANSION JOINT</p> <p>FB FILL BOX
C02 - C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 100.18)</p> <p>GR GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 1069 BY SHERWIN WILLIAMS</p> <p>LI RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD</p> | <p>L2 RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= MATCH RAL 7022</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE</p> <p>MF METAL FASCIA
1 - TYPE:
C1 - 1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC (FLAT FACTORY FINISHED)
C2= RAL 7022 (FLAT FACTORY FINISHED)</p> <p>NB 4400 SERIES KNOX BOX, MOUNTED 5'-6" AFF. LOCATED ADJACENT TO FIRE RISER ROOM. VERIFY WITH FIRE MARSHAL</p> | <p>PT (R/M/C) COIN COLLECTOR
MODEL: #MPT STD CALL 1-888-143-1435 TO ORDER</p> <p>RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>RS ROOF-TOP EQUIPMENT SCREEN (BEYOND). COLOR TO MATCH ALPOLIC METAL PANEL COLOR RAL 7022</p> <p>RT ROOF-TOP EQUIPMENT</p> <p>S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY</p> <p>SD NEW SLIDING DOOR - STANLEY DURA-GLIDE SERIES 3000</p> <p>SS STONE SILL, TELLURIDE STONE OKLAHOMA BLUE SILL, 2.5-3"x2.5-3"x24"</p> <p>ST STONE VENEER, TELLURIDE STONE SAHN THIN VENEER, HERITAGE BILTMORE DIMENSIONAL</p> | <p>TL TILE OVER 1/2" CEMENT BOARD
C1-C1=EUROBEST ABSOLUTE BLACK 6"x24", GROUT: MAPEI 4T CHARCOAL</p> <p>WI EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
FRAME COLOR: DARK BRONZE</p> <p>W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM,
MANUAL OPEN; ELECTRONIC RELEASE
XX
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT</p> <p>W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED CLEAR GLASS & METAL PANEL MOUNTED AT INTERIOR
SHEATHING
FRAME COLOR: DARK BRONZE</p> <p>UNI METAL UNDERSCORE
COLOR: GOLD</p> |
|---|--|---|--|--|

ISSUE	DATE
PROJECT #:	0826
DRAWN BY:	CS
CHECK BY:	
SHEET TITLE:	EXTERIOR ELEVATIONS

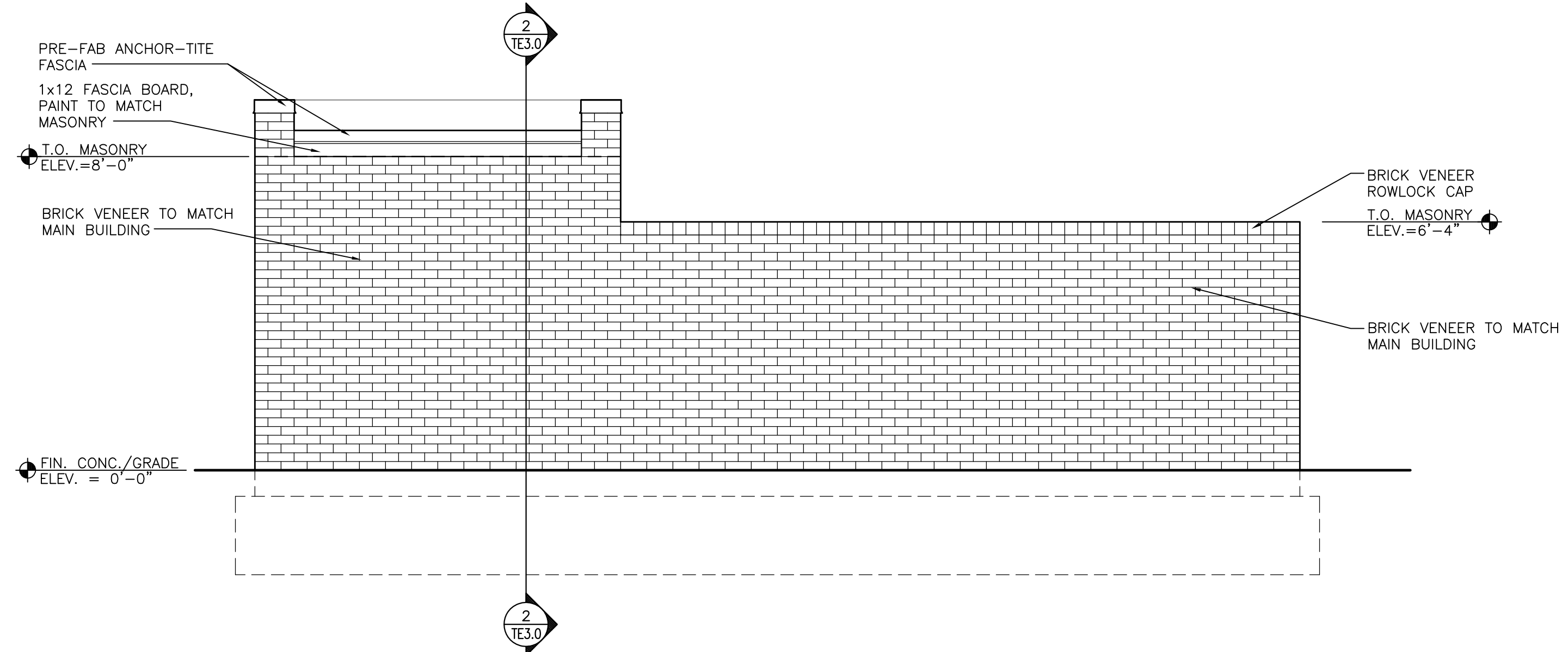
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A3.02



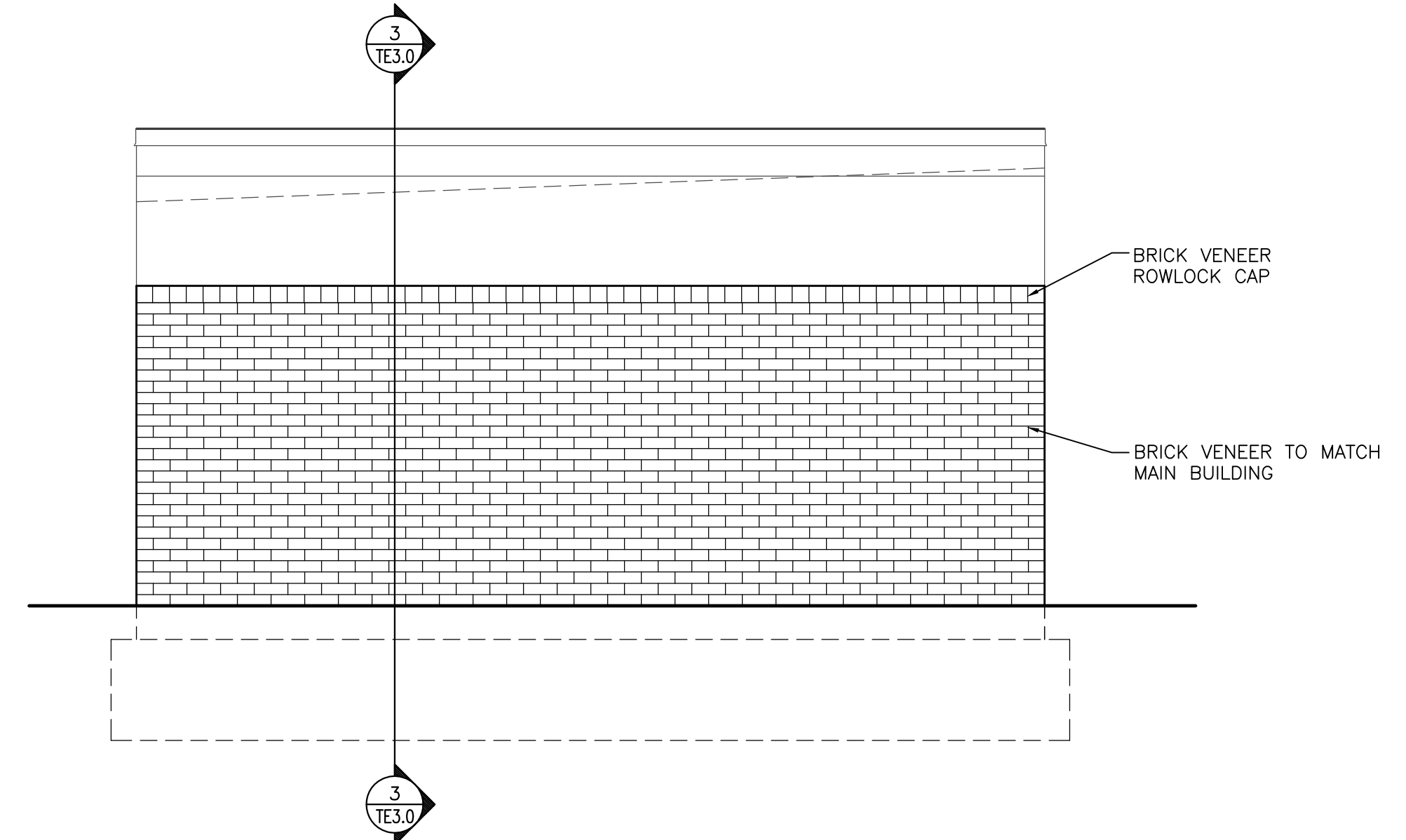
1 TRASH ENCLOSURE ELEVATION
SCALE: 3/8"=1'-0"



2 TRASH ENCLOSURE ELEVATION
SCALE: 3/8"=1'-0"



3 TRASH ENCLOSURE ELEVATION
SCALE: 3/8"=1'-0"



4 TRASH ENCLOSURE ELEVATION
SCALE: 3/8"=1'-0"

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PREPARED FOR:
McDonald's
STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

McDonald's Corporation
110 N. Carpenter St.
Chicago, IL 60607

ISSUE	DATE

PROJECT #: 0826
DRAWN BY: CS
CHECK BY:

SHEET TITLE:
TRASH ENCLOSURE ELEVATIONS

DRAWING NO:
SHEET NO. **TE1.1**

