

**LEGAL DESCRIPTION:**

LOT 2, BLOCK 1, PARKER CENTRAL AREA FILING NO. 5, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

LOT 2, BLOCK 1, REPLAT OF PARKER CENTRAL AREA, FILING NO. 5 PER DOUGLAS COUNTY ASSESSORS OFFICE

**BENCHMARK:**

BENCHMARK: DOUGLAS COUNTY CONTROL MONUMENT 1090035 3.25" ALUMINUM CAP STAMPED "DOUGLAS COUNTY GIS" LOCATED ON THE WEST SIDE OF PARKER ROAD ACROSS FOR THE NORTHEAST CORNER OF 10841-B S. PARKER ROAD.

ELEVATION: 5883.72 FEET (NAVD 1988 DATUM).

THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.

**BASIS OF BEARINGS:**

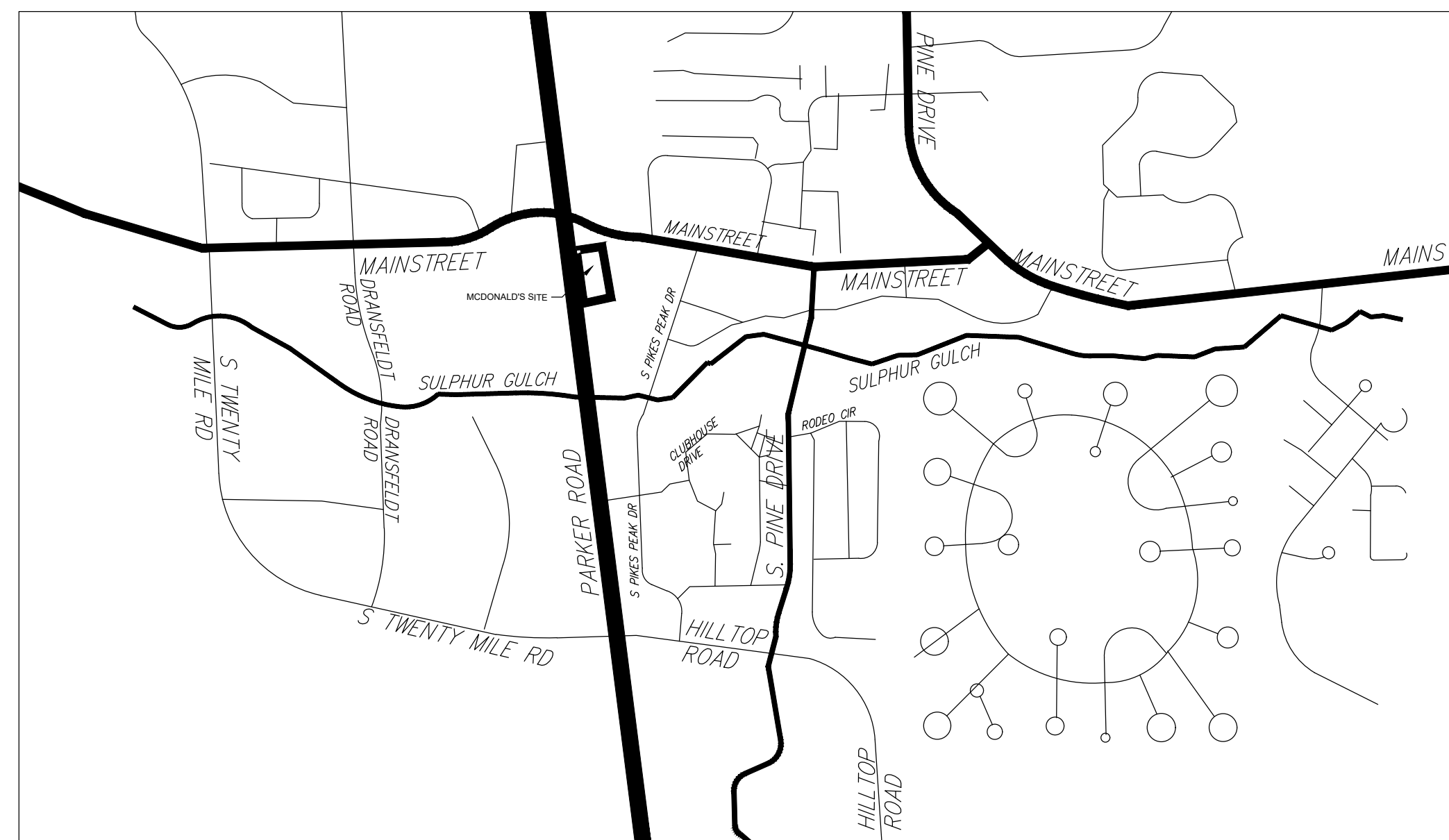
BEARINGS ARE BASED ON THE WEST LINE OF THE NE 1/4 OF SECTION 22, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N00°13'03"W BOUND BY THE MONUMENTS SHOWN HEREON.

**FLOODPLAIN:**

THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08035C0069F WITH AN EFFECTIVE DATE OF SEPTEMBER 30, 2005. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

# SITE DEVELOPMENT PLAN MCDONALDS REMODEL AT PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,  
COUNTY OF DOUGLAS, STATE OF COLORADO.  
ADDRESS: 10950 S. PARKER ROAD



**VICINITY MAP**  
SCALE: 1"=1000'

**PROJECT CONTACTS:**

**DEVELOPER**  
MCDONALD'S CORPORATION  
2595 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
PHONE: 206.234.4374  
CONTACT: MR. ROBERT YAGUSESKY

**APPLICANT**  
STRATEGIC LAND SOLUTIONS  
2595 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
PHONE: 720.384.7661  
CONTACT: ROBERT PALMER, P.E.

**CIVIL ENGINEER**  
STRATEGIC LAND SOLUTIONS  
2595 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
PHONE: 720.384.7661  
CONTACT: ROBERT PALMER, P.E.

**ARCHITECT**  
ARRIS ARCHITECTURE  
3436 NEW CASTLE DR.  
LOVELAND, CO 80538  
PHONE: 970.988.8302

**LANDSCAPE ARCHITECT**  
NATURAL DESIGN SOLUTIONS, INC.  
5539 COLT DRIVE  
LONGMONT, CO 80507  
PHONE: 303.443.0388  
CONTACT: MR. NEIL MCCLANE

**REGULATORY CONTACTS**  
TOWN OF PARKER  
COMMUNITY DEVELOPMENT DEPARTMENT  
20120 E. MAINSTREET  
PARKER, CO 80138  
CONTACT: PATRICK MULREADY (SENIOR PLANNER)  
PHONE: 303.841.2332

ENGINEERING DEPARTMENT  
20120 E. MAINSTREET  
PARKER, CO 80138  
CONTACT: TOM WILLIAMS (MANAGER OF ENGINEERING AND STORMWATER)  
PHONE: 303.805.3220

**WATER/SANITARY SEWER**  
PARKER WATER AND SANITATION DISTRICT  
18100 E WOODMAN DRIVE  
PARKER, CO 80134  
PHONE: 303-841-4627

**FIRE/LIFE SAFETY**  
SOUTH METRO FIRE DEPARTMENT/TOWN OF PARKER  
20120 E. MAINSTREET  
PARKER, CO 80138  
CONTACT: RANDY CAPRA  
PHONE: 303.805.3163

**ELECTRIC**  
INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION (REA)  
5496 N. U.S. HIGHWAY 85  
SEDALIA, CO 80135  
CONTACT: REN OSTERWALD  
PHONE: 303.733.5582

**GAS**  
XCEL ENERGY  
DENVER, CO 80202  
PHONE: 800.895.2999

**SITE INFORMATION:**

ADDRESS:	10950 S. PARKER ROAD
DEVELOPER/OWNER:	MCDONALD'S CORPORATION
ZONING:	DOWNTOWN EAST
LOT SIZE:	30,535 S.F. (0.70 ACRE)
EX. LAND USE:	FAST FOOD RESTAURANT
PROP. LAND USE:	FAST FOOD RESTAURANT
LANDSCAPING REQUIRED/PROPOSED:	10% REQUIRED (3,054 S.F.) / 21% PROPOSED (6,412 S.F.)
GROSS FLOOR AREA EXISTING:	GROSS FLOOR AREA: 6,088 S.F.
GROSS FLOOR AREA PROPOSED:	GROSS FLOOR AREA: 6,072 S.F.
PROPOSED BUILDING HEIGHT:	23'-6" TO TOP OF PARAPET
REQUIRED PARKING (1 PER 300 S.F. NLA):	21-SPACES
PROVIDED PARKING:	28-SPACES
ACCESSIBLE SPACES REQUIRED/PROVIDED:	2-REQUIRED / 2-PROVIDED
VAN ACCESSIBLE SPACES REQUIRED/PROVIDED:	1-REQUIRED/2-PROVIDED
BICYCLE PARKING REQUIRED/PROVIDED:	4-REQUIRED/4-PROVIDED

**LIST OF DRAWINGS**

TO1.0	TITLE SHEET
EX1.0	EXISTING CONDITIONS
DM1.0	DEMOLITION PLAN
C1.0	SITE PLAN
C1.1	FIRE DEPARTMENT ACCESS
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
LI1.0	PHOTOMETRIC PLAN
LS1.0	LANDSCAPE PLANS
LS1.1	TREE CONSERVATION PLAN
IRR1.0	IRRIGATION PLAN
IRR2.0	IRRIGATION DETAILS & NOTES
A2.01	BUILDING FLOOR PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
TE1.0	TRASH ENCLOSURE
TE1.1	TRASH ENCLOSURE
TE1.2	TRASH ENCLOSURE

**LEGEND**  
NOT ALL SYMBOLS APPEAR ON SHEET

	EXISTING CURB AND GUTTER TO REMAIN
	EXISTING CURB AND GUTTER TO BE REMOVED
	NEW CURB AND GUTTER. SEE SCHEDULE NOTE 3.
	NEW STRIPING (4" WHITE)
	EXISTING CONCRETE
	EXISTING PROPERTY LINE (APPROX.-NOT SURVEYED)
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING ELECTRICAL
	EXISTING WATER
	EXISTING TELEPHONE
	EXISTING STORM DRAIN
	EXISTING STRIPING TO BE REMOVED
	EXISTING BOLLARD

	FL FLOW LINE
	GB GRADE BREAK
	HP HIGH POINT
	ME MATCH EXISTING
	P PAVEMENT
	TC TOP OF CURB
	W SIDEWALK

	PROPOSED 4000 PSI CONCRETE
	PROPOSED LANDSCAPING
	DEMOLITION AREA

NO.	DATE	REVISION DESCRIPTION

NO. ENGINEERING CONSULTANT

**Strategic Land Solutions, Inc.**  
Civil Engineering & Land Planning Solutions  
2595 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
720.384.7661 Phone  
rpalmer@strategicls.net  
Robert J. Palmer, PE  
President

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL:

BY Robert J. Palmer, PE  
Licensed Professional Engineer (CO PE #36320),  
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

ROCKY MOUNTAIN REGION  
OFFICE ADDRESS: 4643 S. ULLSTER STREET, SUITE 1300, DENVER, COLORADO 80237

STREET ADDRESS	10950 S. PARKER ROAD
CITY	PARKER
STATE	COLORADO
COUNTY	DOUGLAS
STATE STORE ID#	50162
REGIONAL DING. NO.	
MARKING ID#	7462

SCALE:	1"=20'	MD RE:	BOWAN
DATE:	10/08/2025	MD P/CM:	MANN
DESIGNED BY:	RJP	FILE NAME:	CURRENT.DWG
DRAWN BY:	RJP		
CHECKED BY:	RJP		

DRAWING TITLE

**TITLE SHEET**

SHEET NO.

# TO1.0



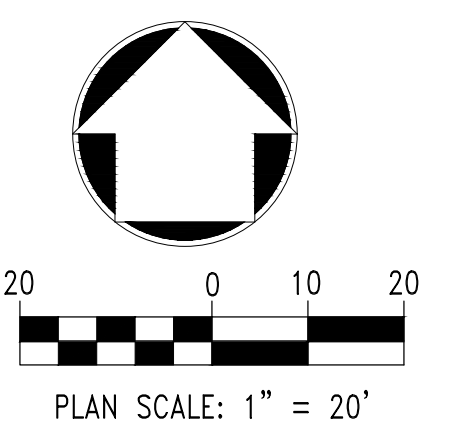
# SITE DEVELOPMENT PLAN MCDONALDS REMODEL AT PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,  
COUNTY OF DOUGLAS, STATE OF COLORADO.  
ADDRESS: 10950 S. PARKER ROAD



- NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 OF TITLE COMMITMENT:**
- 8** ANY EXISTING LEASES OR TENANCIES, AND ANY AND ALL PARTIES CLAIMING BY, THROUGH OR UNDER SAID LESSEES. (NOT ADDRESSED.)
  - 9** RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENT. RECORDED DATE: AUGUST 04, 1900; RECORDING NO.: BOOK 12, PAGE 149. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
  - 10** THE EFFECT OF QUIT CLAIM DEED FROM PARKER CENTER ASSOCIATES, LTD., A COLORADO LIMITED PARTNERSHIP TO PARKER WATER AND SANITATION DISTRICT. RECORDED DATE: MARCH 15, 1984; RECORDING NO.: BOOK 512, PAGE 235. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
  - 11** THE EFFECT OF QUIT CLAIM DEED FROM PARKER CENTER ASSOCIATES, LTD., A COLORADO LIMITED PARTNERSHIP TO PARKER WATER AND SANITATION DISTRICT. RECORDED DATE: MARCH 28, 1984; RECORDING NO.: BOOK 513, PAGE 938. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
  - 12** EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: COLORADO TELEPHONE COMPANY; PURPOSE: UTILITY EASEMENT; RECORDED DATE: DECEMBER 19, 1905; RECORDING NO.: BOOK 34, PAGE 334 AND ASSIGNED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, RECORDING DATE: JULY 31, 1911; RECORDING NO.: BOOK 39, PAGE 547. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
  - 13** RIGHT OF WAY TO WYCO PIPE LINE COMPANY, A DELAWARE CORPORATION, AS CONTAINED IN INSTRUMENT RECORDED MAY 20, 1966 IN BOOK 170, PAGE 75, PROVIDING AS FOLLOWS:  
TO CONSTRUCT, MAINTAIN, INSPECT, OPERATE, PROTECT, REPAIR, REPLACE, CHANGE THE SIZE OF, OR REMOVE A PIPE LINE OR PILE LINES, FOR THE TRANSPORTATION OF OIL, GAS AND THE PRODUCTS THEREOF. TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID LAND OR LINES OR ANY OF THEM, FOR THE PURPOSES AFORESAID. NOTE: SAID EASEMENT AFFECTS THE WESTERLY OR FRONT 15 FEET TO SUBJECT PROPERTY AS SHOWN ON THE RECORDED PLAN. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
  - 15** NOTES, EASEMENTS AND RESTRICTIONS AS SHOWN ON PLAN UNIT DEVELOPMENT FOR PARKER PLANNED COMMUNITY DEVELOPMENT PLAN, RECORDING DATE: MAY 11, 1981; RECORDING NO.: RECEPTION NO. 268385. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
  - 16** EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: PUBLIC SERVICE COMPANY OF COLORADO; PURPOSE: UTILITY EASEMENT; RECORDING DATE: JANUARY 11, 1985; RECORDING NO.: BOOK 557, PAGE 834. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
  - 17** RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE. RECORDING DATE: MARCH 21, 1985; RECORDING NO.: BOOK 566, PAGE 447. AGREEMENT AND ESTOPPEL CERTIFICATE AS RECORDED OCTOBER 18, 1994 AT RECEPTION NO. 9453456. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
  - 18** TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN SIGN EASEMENT AGREEMENT AS RECORDED NOVEMBER 18, 2009 AT RECEPTION NO. 2009087901. (DOES NOT APPLY TO SUBJECT PROPERTY.)
  - 19** UTILITY EASEMENT AS GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO IN INSTRUMENT RECORDED DECEMBER 18, 1985, IN BOOK 614 AT PAGE 691. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
  - 20** TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN USE RESTRICTION AS RECORDED JANUARY 14, 2004 AT RECEPTION NO. 2004005956. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
  - 21** TERMS, CONDITIONS, PROVISIONS, BURDENS, RESTRICTIONS, EASEMENTS AND OBLIGATIONS AS CONTAINED IN EASEMENT AGREEMENT AS RECORDED MARCH 10, 1988 IN BOOK 780 AT PAGE 405. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
  - 22** TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE PUBLIC SIDEWALK EASEMENT AGREEMENT AS SET FORTH BELOW:  
RECORDING DATE: FEBRUARY 24, 2017; RECORDING NO.: RECEPTION NO. 2017013275. (APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
- TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AUTOMATED TELECOM TECHNOLOGY INC. PAYPHONE LOCATION LEASE AGREEMENT AS RECORDED NOVEMBER 8, 1996 AT RECEPTION NO. 9662769. (APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)

<p>NO. DATE REVISION DESCRIPTION</p> <p>CIVIL ENGINEERING CONSULTANT:</p> <p>2595 PONDEROSA ROAD FRANKTOWN, CO 80116 720.384.7661 Phone rpalmer@strategicls.net Robert J. Palmer, PE President</p> <p>PREPARED UNDER THE DIRECT SUPERVISION OF:</p> <p>BY Robert J. Palmer, PE Licensed Professional Engineer (CO PE #36320), AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.</p> <p>ROCKY MOUNTAIN REGION ADDRESS: 4643 S. UJSTER STREET, SUITE 1300, DENVER, COLORADO 80237</p>	<p>10950 S. PARKER ROAD CITY: PARKER STATE: COLORADO COUNTY: DOUGLAS RECORDING NO.: 50162 MAY/NOV: 7462</p> <p>SCALE: 1"=20' DATE: 10/08/2025 DESIGNED BY: RJP DRAWN BY: RJP CHECKED BY: RJP</p> <p>MED RES: BOWAN MED P/CM: MANN FILE NAME: CURRENT.DWG SLS IN: 14-001-47</p> <p style="text-align: center;"><b>EXISTING CONDITIONS</b></p> <p style="font-size: 2em; text-align: center;">EX1.0</p>
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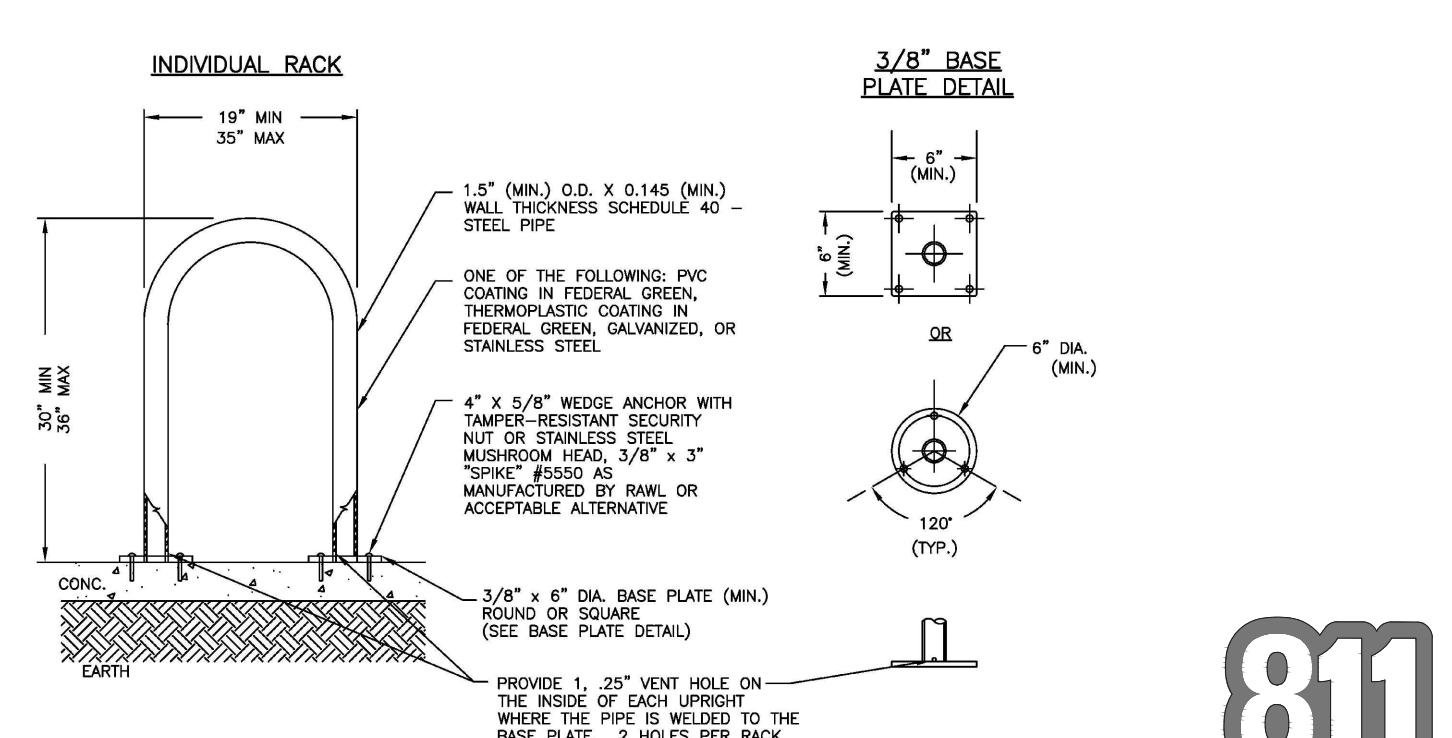
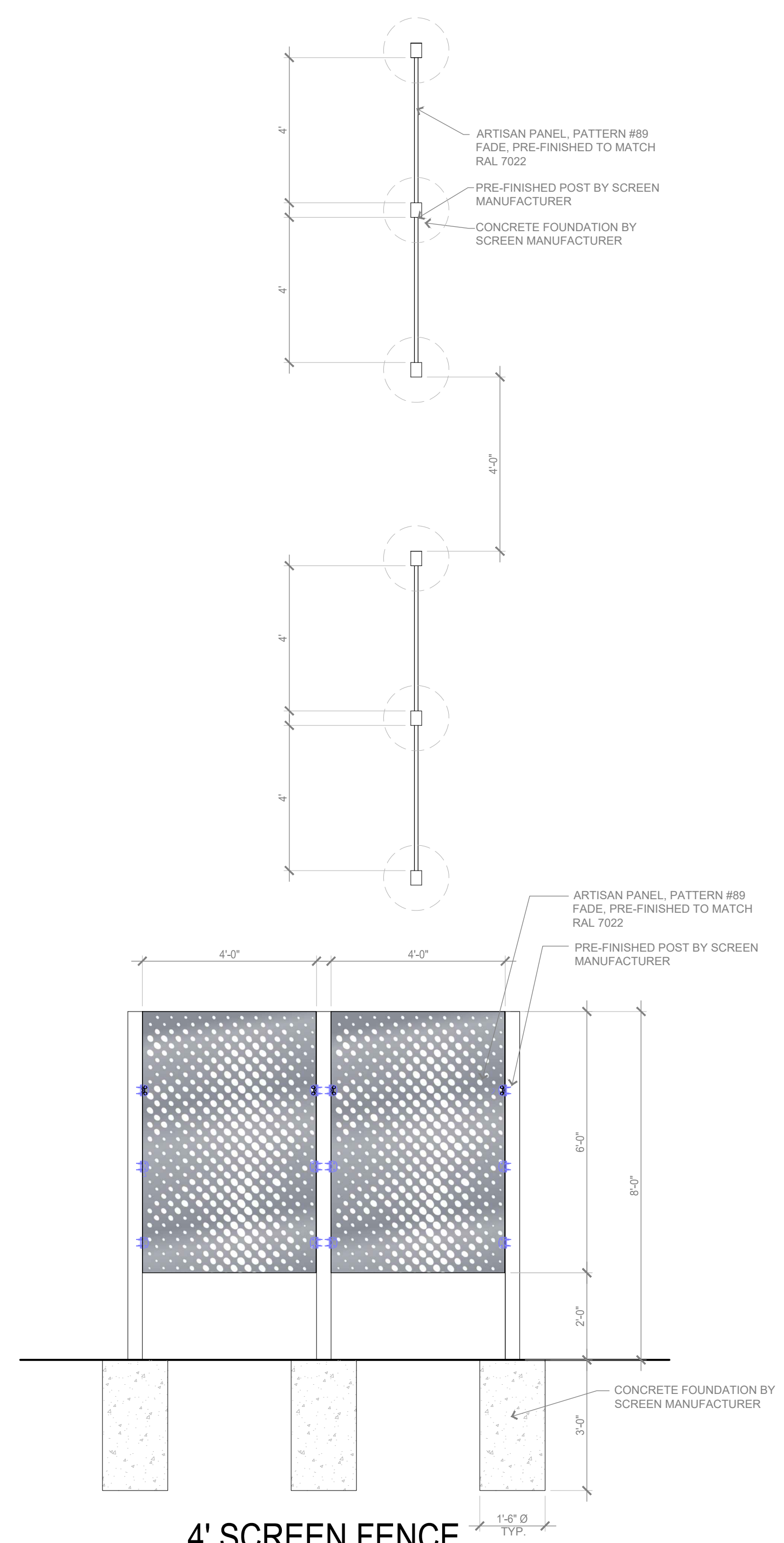
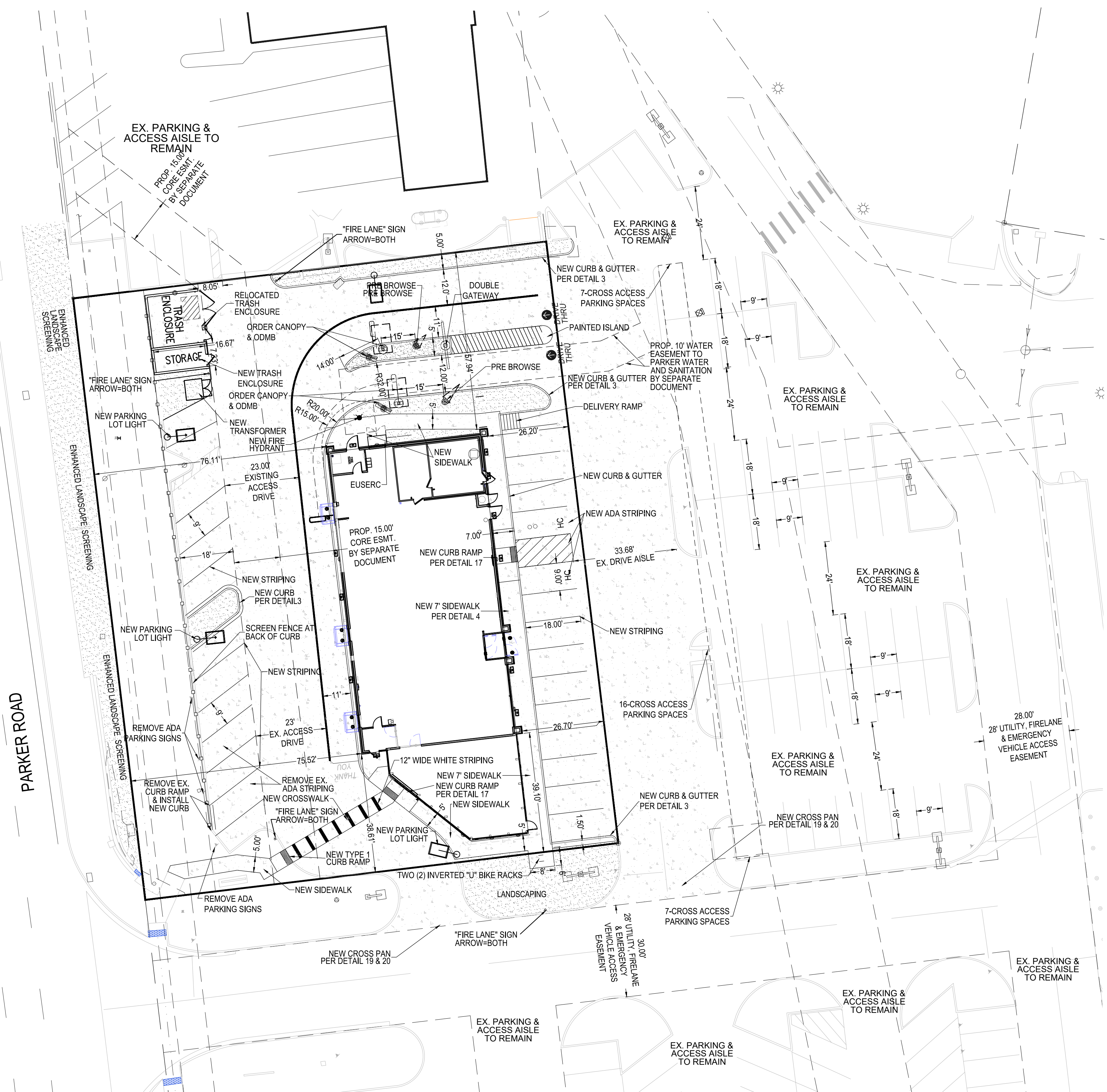
**811**  
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FIRE LANE SIGN NOTE:  
 REFERENCE THE CIVIL ENGINEERING DRAWING FOR  
 FIRE LANE SIGN SPECIFICATIONS AND DETAILS.

# SITE DEVELOPMENT PLAN MCDONALD'S REMODEL AT PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,  
 COUNTY OF DOUGLAS, STATE OF COLORADO.  
 ADDRESS: 10950 S. PARKER ROAD



**NOTES:**

1. RACK SHALL NOT BE WELDED IN SECTIONS.
2. BASE PLATE SHALL BE WELDED TO STEEL PIPE.
3. RACK DIMENSIONS MAY VARY BY MANUFACTURER.

**MOUNTING (CONCRETE):**

1. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR.
2. 4" x 5/8" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT OR STAINLESS STEEL MUSHROOM HEAD.
3. 3/8" x 3" SPIKE #550 AS MANUFACTURED BY RAWL OR APPROVED EQUAL.
4. RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMB.
5. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.

**MOUNTING (BRICK PAVERS):**

1. REMOVE APPROPRIATE BRICK PAVERS AND PAVEMENT BEDDING MATERIAL AS NECESSARY FOR INSTALLATION.
2. CONSTRUCT CONCRETE SLAB (MINIMUM 4-INCH THICK) OR CONCRETE FOOTINGS 6-INCH DEEP, 12-INCH WIDE) BELOW THE BRICK PAVEMENT BEDDING MATERIAL. CONCRETE SHALL BE CLASS A OR B.
3. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR.
4. 4" x 5/8" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT OR STAINLESS STEEL MUSHROOM HEAD.
5. 3/8" x 3" SPIKE #550 AS MANUFACTURED BY RAWL OR APPROVED EQUAL.
6. RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMB.
7. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.
8. PAVERS SHALL BE CUT TO FIT RACK POSTS. REPLACE BEDDING MATERIAL IN KIND AND REINSTALL PAVERS.

**811**  
 Know what's below.  
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PLAN SCALE: 1" = 20'

NO. DATE REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT

**Strategic Land Solutions, Inc.**  
 2595 PONDEROSA ROAD  
 FRANKTOWN, CO 80116  
 720.364.7661 Phone  
 rpalmer@strategicls.net  
 Robert J. Palmer, PE  
 President

PREPARED UNDER THE DIRECT SUPERVISION OF

SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER  
 ROBERT J. PALMER  
 36320

BY Robert J. Palmer, PE  
 Licensed Professional Engineer (CO PE #36320),  
 AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

ROCKY MOUNTAIN REGION  
 ADDRESS: 4643 S. UJSTER STREET, SUITE 1300, DENVER, COLORADO 80237

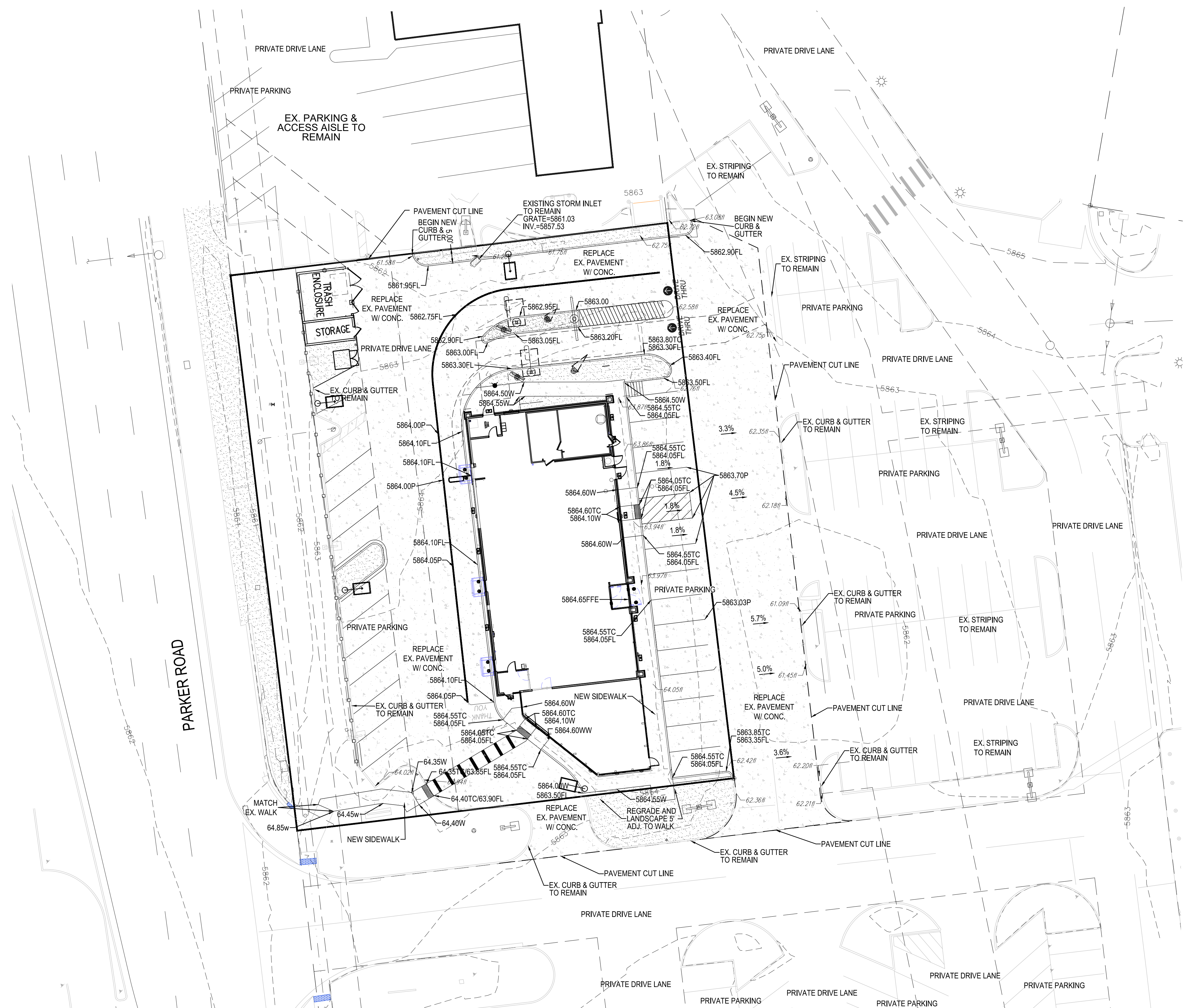
10950 S. PARKER ROAD	CITY	PARKER	STATE	COLORADO	COUNTY	DOUGLAS	OFFICE ADDRESS	4643 S. UJSTER STREET, SUITE 1300, DENVER, COLORADO 80237
							50162	7462

SCALE:	1" = 20'	MD RE:	BOWAN
DATE:	10/08/2025	MD P/CM:	MANN
DESIGNED BY:	RJP	FILE NAME:	CURRENT.DWG
DRAWN BY:	RJP	S/S No.	14-001-17
CHECKED BY:	RJP		
DRAWING TITLE			
SITE PLAN			
SHEET NO.			
C1.0			



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Robert J. Palmer, PE  
President

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL: ROBERT J. PALMER  
36320  
PROFESSIONAL ENGINEER

BY Robert J. Palmer, PE  
Licensed Professional Engineer (CO PE #36320),  
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

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OFFICE: ROCKY MOUNTAIN REGION  
ADDRESS: 4643 S. ILLUSTER STREET, SUITE 1300, DENVER, COLORADO 80237

10950 S. PARKER ROAD	STATE	COLORADO
PARKER	COUNTY	DOUGLAS
	STATE STAKE I.D.#	50162
	NATIONAL I.D.#	7462

SCALE: 1" = 20'	M&D RE: BOWAN
DATE: 10/08/2025	M&D P/C/M: MANN
DESIGNED BY: RJP	FILE NAME: CURRENT.DWG
DRAWN BY: RJP	SLS No. 14-001-47
CHECKED BY: RJP	

DRAWING TITLE: **GRADING PLAN**

SHEET NO: **C2.0**

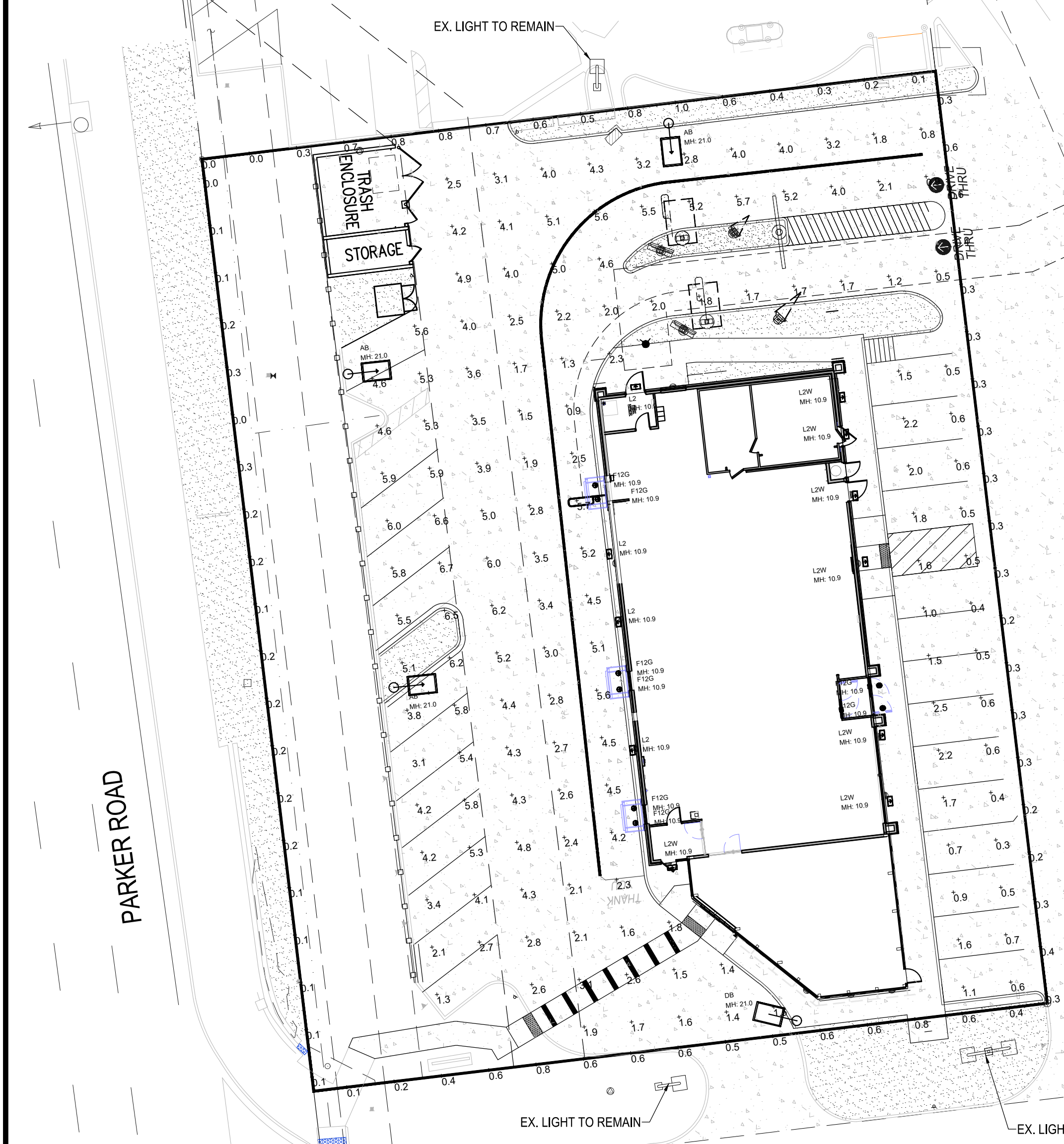
PLAN SCALE: 1" = 20'

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COUNTY OF DOUGLAS, STATE OF COLORADO.  
ADDRESS: 10950 S. PARKER ROAD



### SECURITY LIGHTING™

## RWSC

RADIUS LED WALL SCONCE

**Dimensions**

7.5" 18.1" 9.1"

**Features**

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaires finished in weatherproof powder coat paint
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations
- D.L.C. Downlight only, full cut-off
- Dark Sky compliant, Downlight only

**Operating Temperature**  
• -30°F to 40°C

**Electrical**  
• Dimming is an option (consult factory)

**Mounting**  
RWSC features intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small vertical bracket is very user friendly and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.

**Certifications/Listings**

**Ordering Information** Ordering Example: RWSC-XXL-XX-XX-XX-XX

### BEACON

## RATIO Series

AREASITE LIGHTER

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**FEATURES**

- Low profile LED arealite luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EFA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7 pin with networked controls
- Best in class surge protection available

**CONTROL TECHNOLOGY**

**INSTALLATION**

**KEY DATA**

Lumen Range	3,000-48,000
Wattage Range	25-340
Efficiency Range (LPW)	118-155
Fixture Projected Life (Hours)	L70-120,000
Weight (lbs. full)	13.5-24 (61-10.8)

### SQUARE STRAIGHT STEEL POLES

**Specifications**

**SSP SERIES**

- Square straight steel shaft
- One-piece construction
- 2 3/4" OD sensors, or factory-drilled side mount
- Ground lug standard (3/4" 16 thread)
- Steel base plate

- Two-piece base cover
- Four L-shaped fully galvanized anchor bolts
- With nuts and washers, metal template
- Finished in weatherproof powder-coat paint
- Gasketed hand hole standard

**ORDERING INFORMATION**

Series	Height	Strength	Weight	Top Type	Flange	Base	Anchor	Support	Base	Flange	Weight
SSP-4110-XXX-XX	18	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
SSP-4125-XXX-XX	25	5	1.5	-	10.25"	3/4"	10.5"	8"	4"	238	
SSP-4125-XXX-XX	25	10.5	6	-	10.5"	1"	10.5"	10-13.5"	4"	231	
SSP-4175-XXX-XX	25	10	4.5	1.6	11"	3/4"	10.5"	8.5-12"	4"	268	
SSP-4175-XXX-XX	22	20	11	6	11"	1"	10.5"	10-13.5"	4"	263	
SSP-4175-XXX-XX	28	11.5A	7A	3	9"	1"	10.5"	10-13.5"	4"	340	
SSP-4175-XXX-XX	30	12	4.5	4	9"	1"	10.5"	10-13.5"	4"	338	

**CATALOG LOGIC**

SSP X XX X X X XX

Series Shaft Size Height Top Type Mounting Arrangement Flange Type Finish

**INSTALLATION**

**WARRANTY**

See ordering information above

### BEACON

## RATIO Series

AREASITE LIGHTER

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**ORDERING GUIDE**

Example: RAR-80L-25-3K7-2LUN-AS2-8L-NDWE-8C

**ORDERING INFORMATION**

Series	Height	Strength	Weight	Top Type	Flange	Base	Anchor	Support	Base	Flange	Weight
RAR-80L-25-3K7-2LUN-AS2-8L-NDWE-8C	25	10.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	

**INSTALLATION**

**WARRANTY**

See ordering information above

### SECURITY LIGHTING™

## SLED

HIGH EFFICIENCY LINEAR LED FACED FIXTURE

DATE: LOCATION:  
TYPE: SLED4HE PROJECT:  
CATALOG #:

**FEATURES**

- The SLED Linear LED Lighting System offers a discrete and minimalist design to maximize the lighting effect for maximizing your lighting as your brand while keeping energy usage and maintenance to a minimum
- Thanks to its intuitive "plug and play" mounting design with integral color system, installation is quick and simple and only requires that power be brought to one fixture in each continuous row
- The unique fixture design and the long life LED source ensures maintenance to only an occasional cleaning of outer lens surfaces
- This successful system truly is a "set it and forget it" solution that is only offered from Security Lighting

**CONSTRUCTION**

- Powder coated mounting brackets that conceal power cables
- Fixture to fixture connections are made defined to the fixture

**OPTICS**

- Tempered glass lens
- Clean, easy to clean off

**WARRANTY**

- 5 year warranty
- See UL Standard Warranty for additional information

**ORDERING GUIDE**

Example: SLED-XX-DO-XXXX

**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.12	6.7	0.3	10.40	22.33
Propertyline	Illuminance	Fc	0.35	1.0	0.0	N.A.	N.A.

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
1	1	DB	Single	0.850	RAR-1160L-100-5K7-2-BC	90	0.607	21	SES-18-40-1-TA-GL-xx (4")
3	8	AB	Single	0.850	RAR-2-480L-240-5K7-4W-BC	226.9	0.607	21	SES-18-40-1-TA-GL-xx (4")
4	3	F12G	Single	0.850	8542-5CCT-5000K	12.45			
5	4	L2	SINGLE	0.850	RWSC-36L-5K-DO-U-PS	14.4			
6	7	L2W	SINGLE	0.850	RWSC-36L-5K-DO-U-WH	14.4			

### SECURITY LIGHTING™

## SECURITY LIGHTING™

PERFORMANCE DESIGNED LIGHTING PRODUCTS

1935 Johnson Drive • Buffalo Grove, IL 60089 • Toll-Free: 800-544-4848 • Phone: 847-279-0527 • Fax: 847-279-0542

**KEY DATA**

Lumens	834 / 121
Wattage	30
Efficiency (LPW)	83.6 / 82.9
Reported Life (Hours)	L70-120,000
Input Current Range (amps)	0.08 - 0.12

### SECURITY LIGHTING™

## TENON TOP MOUNTING BRACKET

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**ACCESSORY: TENON TOP MOUNTING BRACKET**

Series	Height	Strength	Weight	Top Type	Flange	Base	Anchor	Support	Base	Flange	Weight
TTF-15	15	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-20	20	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-25	25	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-30	30	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-35	35	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-40	40	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	

**INSTALLATION**

**WARRANTY**

See ordering information above

### SECURITY LIGHTING™

## TENON TOP MOUNTING BRACKET

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**ACCESSORY: TENON TOP MOUNTING BRACKET**

Series	Height	Strength	Weight	Top Type	Flange	Base	Anchor	Support	Base	Flange	Weight
TTF-15	15	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-20	20	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-25	25	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-30	30	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-35	35	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	
TTF-40	40	11.5	6	3	10.25"	3/4"	10.5"	8"	4"	147	

**INSTALLATION**

**WARRANTY**

See ordering information above

NO. DATE REVISION DESCRIPTION

DIV. ENGINEERING CONSULTANT

**Strategic Land Solutions, Inc.**  
Civil Engineering & Land Planning Solutions  
2595 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
720.364.7661 Phone  
palmer@strategicls.net  
Robert J. Palmer, PE  
President

PREPARED UNDER THE DIRECT SUPERVISION OF

SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER  
ROBERT J. PALMER  
36320

BY Robert J. Palmer, PE  
Licensed Professional Engineer (CO PE #36320),  
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

10950 S. PARKER ROAD  
CITY PARKER  
STATE COLORADO  
COUNTY DOUGLAS  
OFFICE 50162  
ADDRESS 7462  
ROCKY MOUNTAIN REGION  
ADDRESS -4643 S. ULLSTER STREET, SUITE 1300, DENVER, COLORADO 80237

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SCALE: 1" = 20'

DATE: 10/08/2025

DESIGNED BY: RJP

DRAWN BY: RJP

CHECKED BY: RJP

DRAWING TITLE: PHOTOMETRIC PLAN

SHEET NO. LI1.0

MCD RE: BOWMAN

MCD P/C# MANN

FILE NAME: CURRENT.DWG

SLS No. 14-001-47

811  
Know what's below.  
Call before you dig.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
<b>TREES</b>				
	AG	1	ACER GRANDIDENTATUM / BIGTOOTH MAPLE	2" B&B
	MS	1	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	1.5" B&B MULTISTEM
	EXR	1	RELOCATE AS INDICATED / EXISTING TREE TO BE RELOCATED	EX
	EX-REM	1	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EXISTING
	EX-RET	9	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EXISTING
<b>SHRUBS</b>				
	AC	19	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL
	CMF	6	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL
	JC	5	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA' / COMPACTA PFITZER JUNIPER	5 GAL
	JHH	5	JUNIPERUS HORIZONTALIS 'HUGHES' / CREEPING JUNIPER	5 GAL
	JMG	4	JUNIPERUS SCOPULORUM 'MOONGLOW' / UPRIGHT JUNIPER	10 GAL
	POL	14	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL
	POF	9	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / POTENTILLA	5 GAL
	ESTR	28	TO REMAIN / EXISTING SHRUB	EX
<b>GRASSES</b>				
	BB	10	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL
	CAC	45	CALAMAGROSTIS X ACUTIFLORA / FEATHER REED GRASS	1 GAL
	SW	12	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL
<b>PERENNIALS</b>				
	AQ	6	AQUILEGIA CHRYSANTHA / GOLDEN COLUMBINE	1 GAL
<b>GROUND COVERS</b>				
	EX-RS	3,739 SF	EX LANDSCAPE - SHRUB BED / TO REMAIN	EXISTING
	EX-RES	5,509 SF	EX TURF TO REMAIN / EXISTING IRRIGATED TURF	EXISTING
<b>MULCHES</b>				
	RM	4,248 SF	ROCK MULCH / RIVER ROCK 1"-2"	MULCH

ANY EXISTING TREES TO REMAIN THAT EXPERIENCE MORTALITY DUE TO CONSTRUCTION SHALL BE REPLACED WITH SIMILAR SIZE AND SPECIES

NOTE:  
ANY PLANTS THAT ARE NOT MAINTAINED SHALL BE REPLACED

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	QTY
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).	
2	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
32-01	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	365 LF

SITE CATEGORY REQUIREMENTS

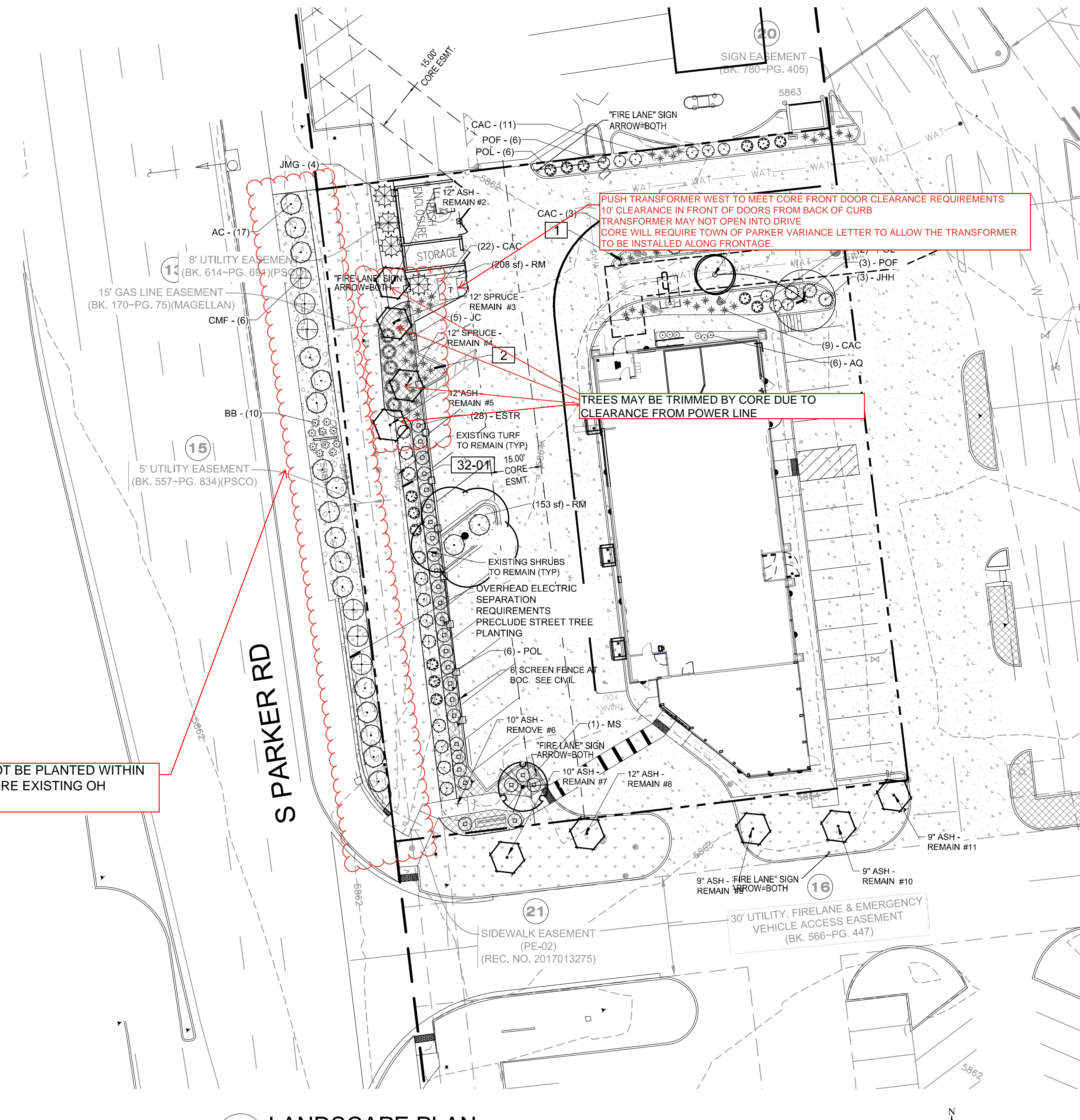
OVERALL LANDSCAPE		Site Area = 30,535 SF		4,580 SF Required	
Total Landscape Area Required (15%)	4,580 sf	Total Landscape Area Provided - On-Site (11,500 sf req) (3,500 sf prov)	8996 (29%)	Trees Req / Provided (18 / 18)	91
				Shrubs Req / Provided (62 + 28 existing)	33 eg / 31 total = .45
				Evergreen Lsp (Min 25, max 50%)	37%
				Plant Coverage Req / Prov	75% / 79%
<b>PARKING LOT PERIMETER</b>					
Parking Spaces Provided / Area	28	Parking Island Tree Provided	1 / 1	Parking Island Shrub Provided / Area Req / Prov	340 / 361
<b>PARKING LOT INTERIOR</b>					
Parking Spaces Provided / Area	26	Parking Lot Perimeter Width Provided	10'	Parking Lot Perimeter Screening Provided	Mixed Shrub Bed
<b>RIGHT OF WAY LANDSCAPING</b>					
Frontage	210	Length (LF)	7 / 0'	Trees Req / Prov	1800 sf
				Enhanced Landscaping	Trees = 0 (OHE Conflict)
				Overhead Electric Separation Requirements Preclude Street Tree Planting	23 Shrubs + 10 Grasses
<b>SITE PERIMETER LANDSCAPE</b>					
Frontage	210	Length (LF)	28 / 28	Shrubs Req / Prov	6 / 6 (4 existing)
				Trees Req / Prov	2 - existing (33%)
				Evergreen Trees (Min 25%)	

ALL TREES SHALL BE PLACED A MINIMUM 10 FEET AWAY FROM WATER, SANITARY AND STORM SEWERS AND ALL SHRUBS SHALL BE PLACED A MINIMUM OF 5 FEET AWAY FROM WATER, SANITARY, AND STORM SEWERS. NO MATERIAL WITHIN 3' OF A FIRE HYDRANT

TREES MAY NOT BE PLANTED WITHIN 20 FEET OF CORE EXISTING OH POWER LINE

PUSH TRANSFORMER WEST TO MEET CORE FRONT DOOR CLEARANCE REQUIREMENTS 10' CLEARANCE IN FRONT OF DOORS FROM BACK OF CURB TRANSFORMER MAY NOT OPEN INTO DRIVE CORE WILL REQUIRE TOWN OF PARKER VARIANCE LETTER TO ALLOW THE TRANSFORMER TO BE INSTALLED ALONG FRONTAGE.

TREES MAY BE TRIMMED BY CORE DUE TO CLEARANCE FROM POWER LINE



LANDSCAPE PLAN

SCALE: 1" = 20'



EXTEND IRRIGATION FROM EXISTING SYSTEM TO NEW PLANTINGS. VERIFY FUNCTIONALITY OF SYSTEM AND REPAIR/REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS. TREES TO RECEIVE TWO 2.0 GPM EMITTERS; SHRUBS TO RECEIVE TWO 1.0 GPH EMITTERS, PERENNIALS AND GRASSES TO RECEIVE ONE 1.0 GPH EMITTER.



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President

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10950 S. PARKER ROAD  
PARKER, COLORADO  
COUNTY: DOUGLAS  
CITY: PARKER  
STATE: COLORADO  
SITE STORE #/ADDRESS: 50162  
ADDRESS: 7462




SCALE: 1"=20'  
DATE: 03/13/2025  
DESIGNED BY: JRO  
DRAWN BY: JRO  
CHECKED BY: NAM  
MCD RE: BOWAN  
MCD P/CHK: MANN  
FILE NAME: CURRENT.DWG  
SLS IN: 14-001-02

LANDSCAPE PLAN  
SHEET NO: LS1.0



**TREE CONSERVATION PLAN**  
SCALE: 1" = 20'

**PLANT LEGEND**

- SYMBOL QTY BOTANICAL / COMMON NAME
- TREES**
-  1 RELOCATE AS INDICATED / EXISTING TREE TO BE RELOCATED
  -  1 REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED
  -  9 TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN

**TREE MITIGATION CHART**

TREE #	SPECIES	DIAMETER INCHES	MITIGATION VALUE	COMMENTS	MITIGATION INCHES
1	Prunus	4	n/a	Relocate	-
2	Fraxinus	12	n/a	Preserve	-
3	Picea	12	n/a	Preserve	-
4	Picea	12	n/a	Preserve	-
5	Fraxinus	12	n/a	Preserve	-
6	Fraxinus	10	n/a	Remove	-
7	Fraxinus	10	n/a	Preserve	-
8	Fraxinus	12	n/a	Preserve	-
9	Fraxinus	9	n/a	Preserve	-
10	Fraxinus	9	n/a	Preserve	-
11	Fraxinus	9	n/a	Preserve	-
<b>Total</b>		<b>111</b>	<b>\$ -</b>		<b>0</b>

MITIGATION CHART ONLY SHOWS ON-SITE TREES IMPACTED BY DEVELOPMENT PROPOSAL

NO. DATE REVISION DESCRIPTION

CML ENGINEERING CONSULTING

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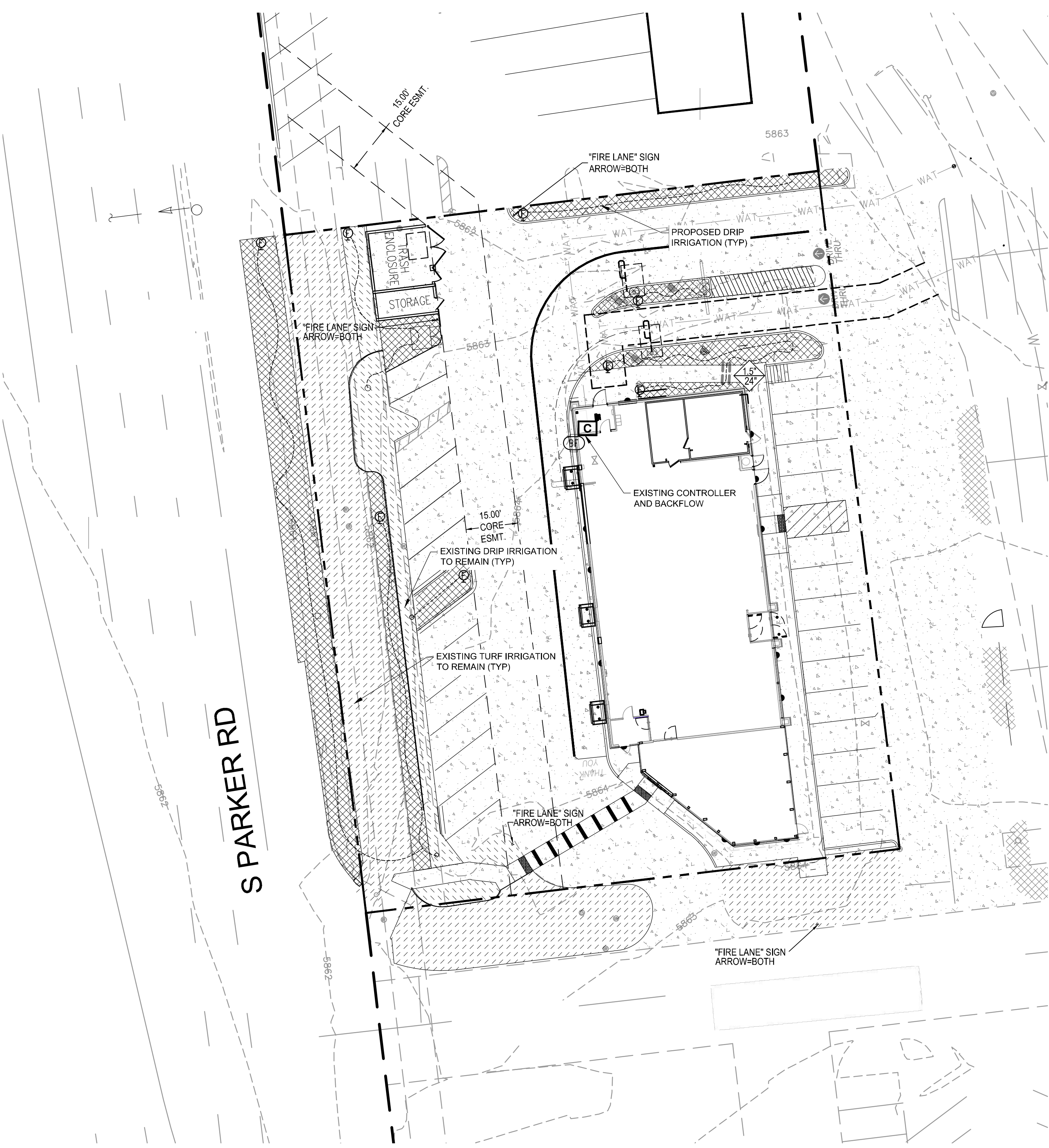
ROCKY MOUNTAIN REGION  
ADDRESS: 4643 S. JUSTER STREET, SUITE 1300, DENVER, COLORADO 80237

STREET ADDRESS: 10950 S. PARKER ROAD  
CITY: PARKER  
STATE: COLORADO  
COUNTY: DOUGLAS  
CITY: PARKER  
STATE STORE #/4: 50162  
REGIONAL ZONE NO: .  
NATIONAL #/4: 7462

SCALE: 1"=20' M&D RE: BOWAN  
DATE: 03/13/2025 M&D P/C&R: MANN  
DESIGNED BY: JRO  
DRAWN BY: JRO FILE NAME: CURRENT.DWG  
CHECKED BY: NAM SLS #/4: 14-001-62

DRAWING TITLE: **TREE CONSERVATION PLAN**  
SHEET NO: **LS1.1**

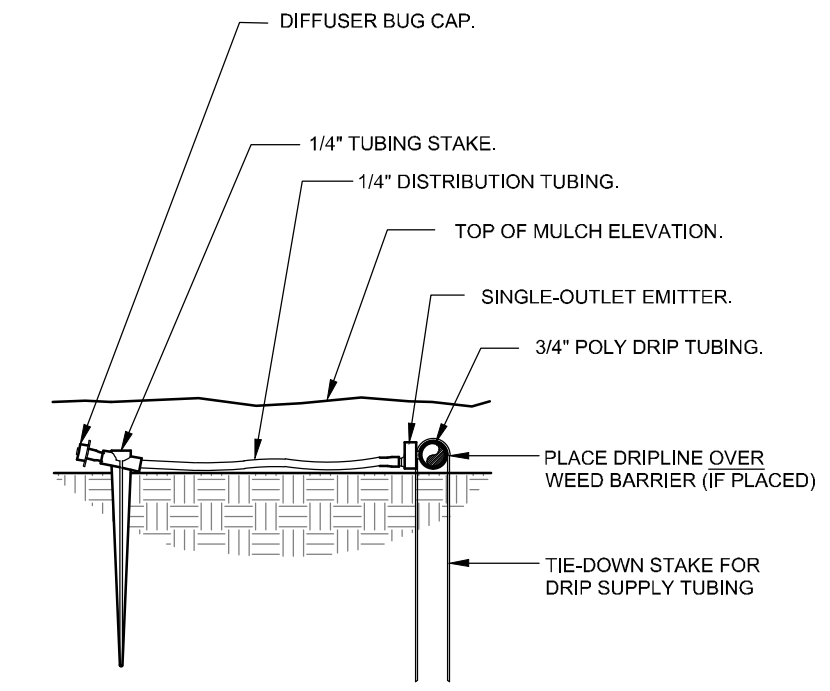
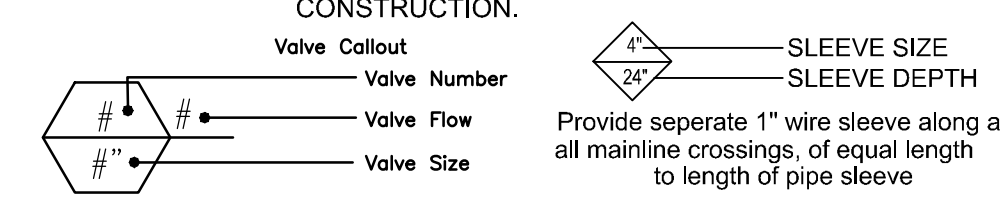
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NATURAL DESIGN SOLUTIONS  
Landscape Architecture  
Land Planning · Irrigation Design  
5539 Colt Drive, Longmont, CO 80503  
(303) 443-0388 · neil@ndscolorado.com



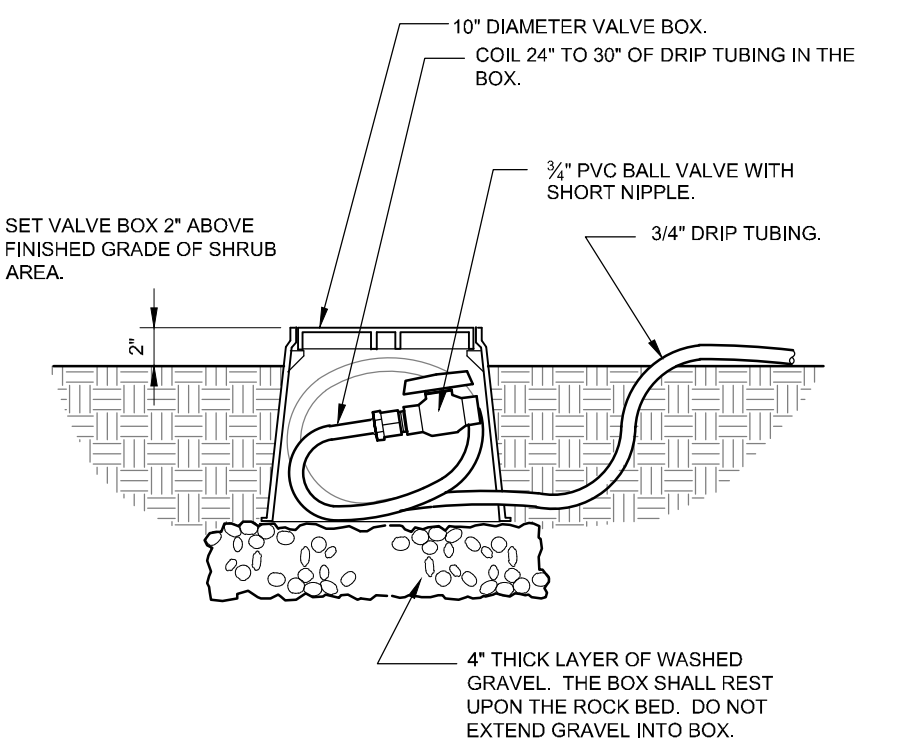
**IRRIGATION PLAN**  
SCALE: 1" = 20'

**IRRIGATION SCHEDULE**

SYMBOL	DESCRIPTION	QTY
	EXISTING DRIP AREAS EXISTING DRIP IRRIGATION TO REMAIN.	
	EXISTING TURF SPRAY TO REMAIN - PROTECT IN PLACE. REPAIR OR REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS AND VERIFY PROPER COVERAGE.	
	PROPOSED DRIP AREAS EXTEND IRRIGATION FROM EXISTING DRIP ZONES. MODIFY LAYOUT AS NECESSITATED. VERIFY PROPER FUNCTIONALITY AND REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS.	
	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	8
	FEBCO 825YA 3/4" REDUCED PRESSURE BACKFLOW PREVENTER	1
	RAIN BIRD ESP4-SMTEI WITH (1) ESP-SM3 7 STATION INDOOR SMART MODULAR CONTROL SYSTEM FOR RESIDENTIAL AND LIGHT COMMERCIAL USE. WALL MOUNT. TIPPING BUCKET RAIN SENSOR THAT MEASURES RAINFALL.	1
	PIPE SLEEVE: PVC SCHEDULE 40 PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM 2X PIPE DIAMETER UNLESS OTHERWISE NOTED. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	6.0 LF



**1 DRIP EMITTER DETAIL**  
3" = 1'-0" 32 8413.13-03



**2 DRIP FLUSH VALVE**  
1 1/2" = 1'-0" 32 8413.49-03

**Strategic Land Solutions, Inc.**  
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President

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OFFICE: ROCKY MOUNTAIN REGION  
ADDRESS: 4643 S. JUSTER STREET, SUITE 1300, DENVER, COLORADO 80237

10950 S. PARKER ROAD	STATE	COLORADO	50162	7462
PARKER	COUNTY	DOUGLAS	STATE STORE #/A	NATIONAL #/A
	RECORDING ZONE NO.			

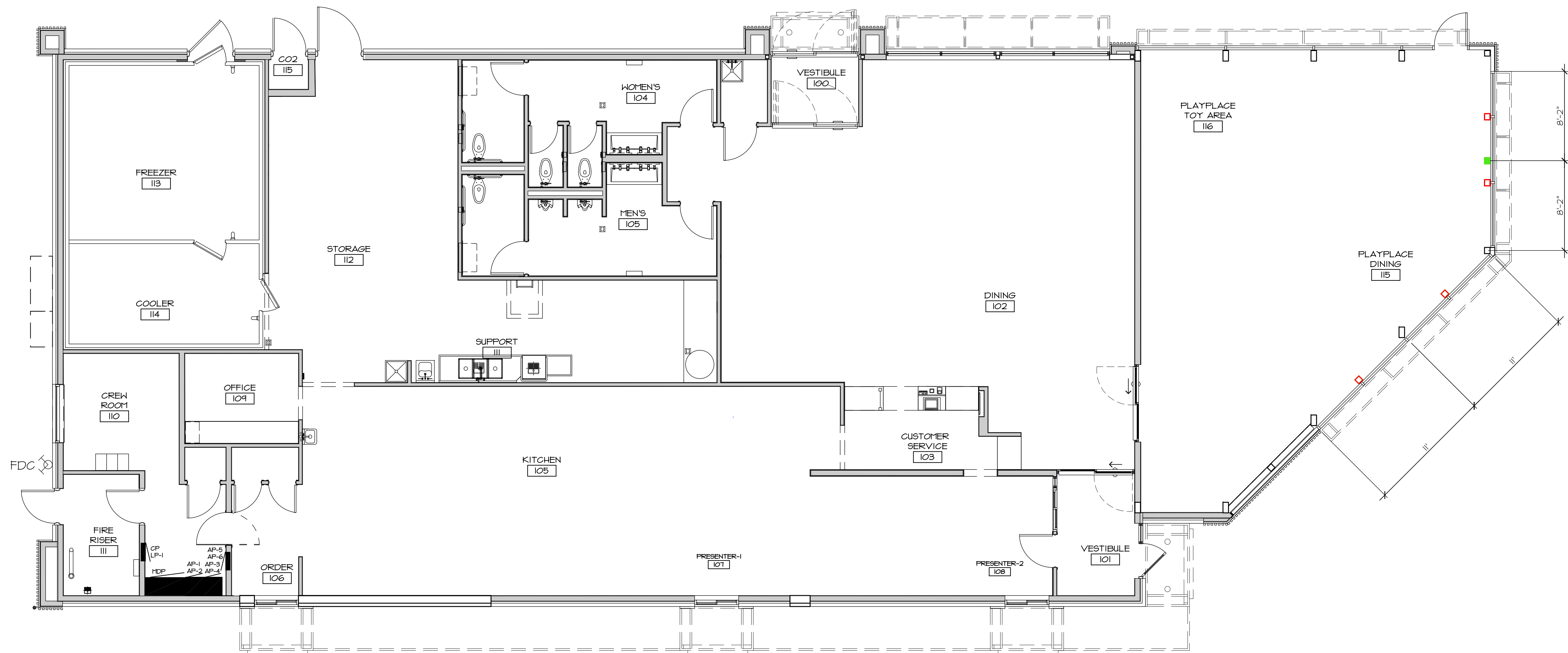
SCALE: 1"=20'	MD RE: BOWAN
DATE: 03/13/2025	MD P/CHK: MANN
DESIGNED BY: JRO	FILE NAME: CURRENT.DWG
DRAWN BY: JRO	SLS No. 14-001-62
CHECKED BY: NAM	

**IRRIGATION PLAN**

SHEET NO: **IRR1.0**

**NDS**  
NATURAL DESIGN SOLUTIONS  
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5539 Colt Drive, Longmont, CO 80503  
(303) 443-0388 · neil@ndscolorado.com





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PREPARED FOR:  
**McDonald's**  
STORE #005-0162  
10950 S. PARKER ROAD  
PARKER, COLORADO

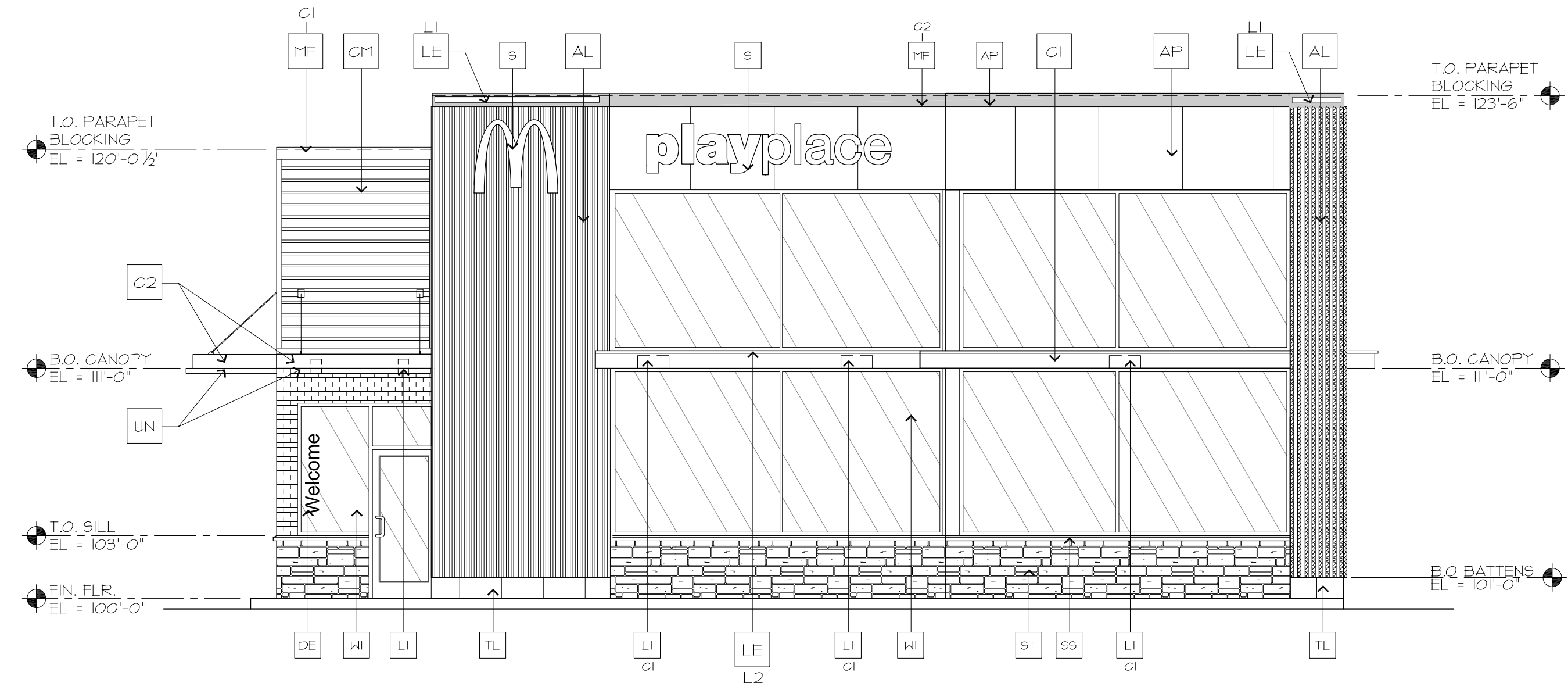
McDonald's Corporation  
4643 S. Ulster Street  
Suite 1300  
Denver, CO 80111

ISSUE	DATE

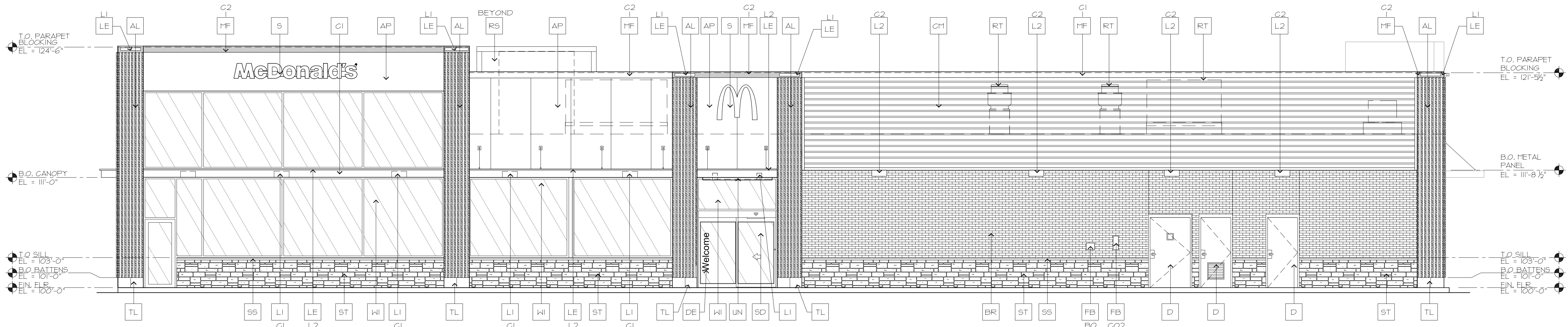
PROJECT #: 0826  
DRAWN BY: CS  
CHECK BY:  
SHEET TITLE:  
**FLOOR PLAN**

DRAWING NO:  
**A2.01**

**FLOOR PLAN**  
SCALE : 3/16" = 1'-0"  
NORTH



**1 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

**KEY NOTES:**

- AL** ALUMINUM BATTEN SYSTEM  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH  
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.  
SUBSTRATE COLOR: "IRON ORE" 1069 BY SHERWIN WILLIAMS
- AP** ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BM** BRAKE METAL PANEL  
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
- BR** MODULAR FACE BRICK
- BI** COLOR:  
BI = "ONTX" GRAIN, BY SUMMIT BRICK
- C1** ALUMINUM CANOPY SYSTEM W/FASCIA  
COLOR: WHITE
- C2** ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
- C3** ALUMINUM CANOPY TIEBACK  
COLOR: RAL 7022  
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS

- CJ** CONTROL JOINT  
I - TYPE: I = ALPOLIC
- CH** T1 REVEAL METAL WALL PANEL SYSTEM BY METAL ERA  
COLOR:  
C1 = WEATHERED ZINC
- D** HOLLOW METAL DOOR  
PAINT: "GAUNTLET GRAY" SW-1017 BY SHERWIN WILLIAMS
- DE** DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ** EXPANSION JOINT
- FB** FILL BOX  
CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- GR** GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "IRON ORE" 1069 BY SHERWIN WILLIAMS
- LI** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: GOLD

- L2** RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL  
C1-COLOR:  
C1 = WHITE  
C2 = MATCH RAL 7022
- LE** ACCENT LIGHTING - SEE ELECTRICAL  
L1-LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = INTEGRAL CANOPY FIXTURE  
L3 = UP ONLY FLOOD FIXTURE
- MF** METAL FASCIA  
I - TYPE:  
C1- 1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = BOTTOM TRIM AT METAL REVEAL PANEL  
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES  
COLOR:  
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)  
C2 = RAL 7022 (FLAT FACTORY FINISHED)
- NB** 4400 SERIES KNOX BOX, MOUNTED 5'-6" AFF, LOCATED ADJACENT TO FIRE RISER ROOM. VERIFY WITH FIRE MARSHAL

- PT** (R/M/C) COIN COLLECTOR  
MODEL: #MPT STD CALL 1-888-143-1435 TO ORDER
- RO** ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- RS** ROOF-TOP EQUIPMENT SCREEN (BEYOND). COLOR TO MATCH ALPOLIC METAL PANEL COLOR RAL 7022
- RT** ROOF-TOP EQUIPMENT
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.  
C1-COLOR:  
C1 = WEATHERED ZINC RACEWAY  
C2 = RAL 7022 RACEWAY
- SD** NEW SLIDING DOOR - STANLEY DURA-GLIDE SERIES 3000
- SS** STONE SILL, TELLURIDE STONE OKLAHOMA BLUE SILL, 2.5-3"x2.5-3"x24"
- ST** STONE VENEER, TELLURIDE STONE SAHN THIN VENEER, HERITAGE BILTMORE DIMENSIONAL

- TL** TILE OVER 1/2" CEMENT BOARD  
C1-C1-EUROBEST ABSOLUTE BLACK 6"x24", GROUT: MAPEI 41 GARGOAL
- W1** EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE
- W2** DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM,  
MANUAL OPEN; ELECTRONIC RELEASE  
COLOR: DEEP BRONZE  
XX- SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT
- UN** METAL UNDERSCORE  
COLOR: GOLD

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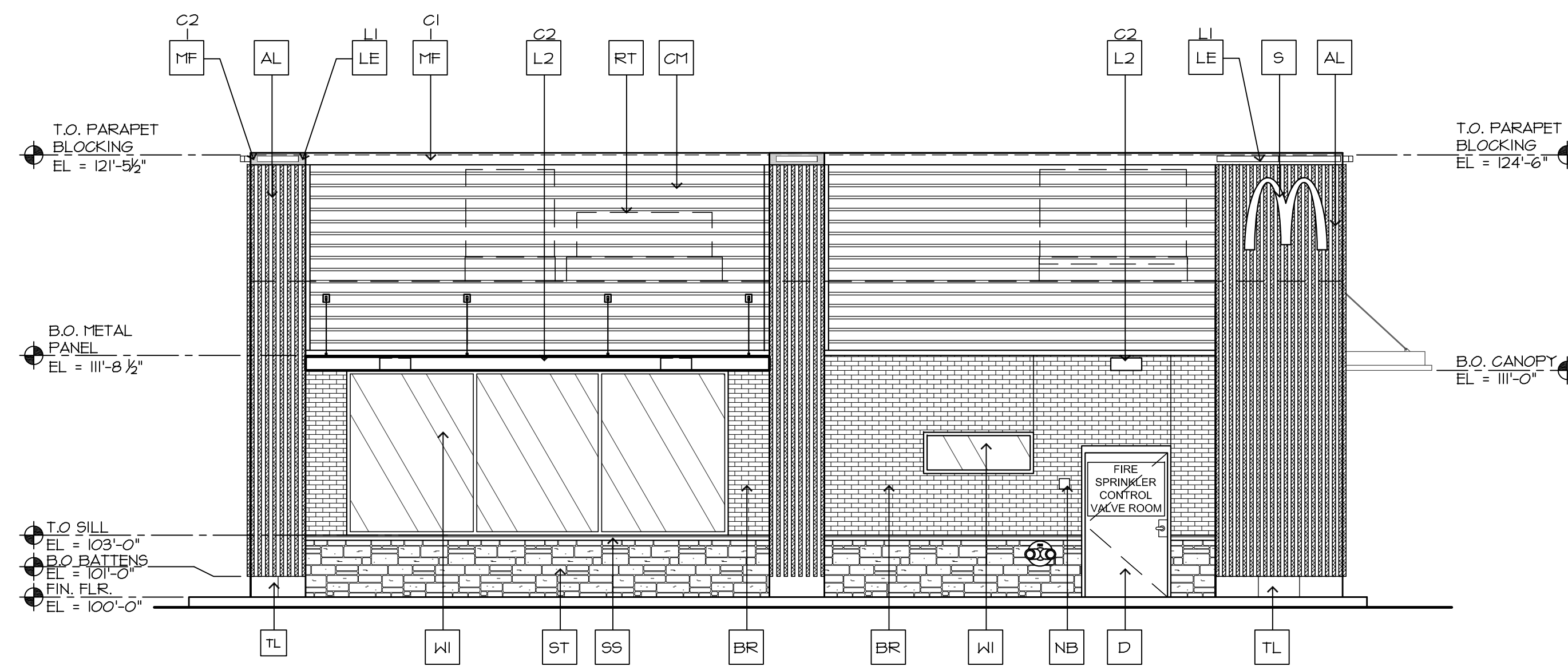
**McDonald's**  
STORE #005-0162  
10950 S. PARKER ROAD  
PARKER, COLORADO

McDonald's Corporation  
110 N. Carpenter St.  
Chicago, IL 60607

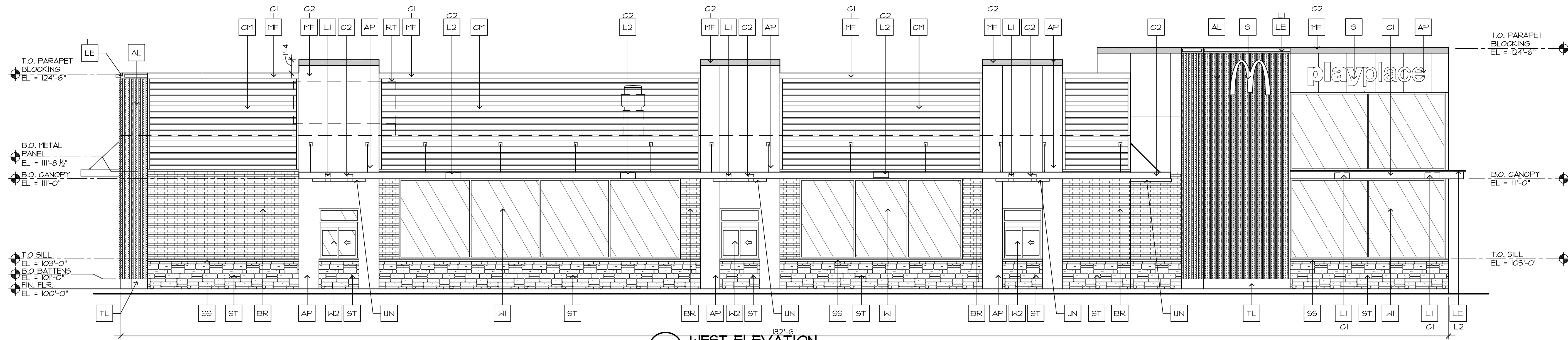
ISSUE DATE

PROJECT #: 0826  
DRAWN BY: CS  
CHECK BY:  
SHEET TITLE:  
**EXTERIOR ELEVATIONS**

DRAWING NO:  
**A3.01**



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**KEY NOTES:**

- AL** ALUMINUM BATTEN SYSTEM  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRILL UNFINISHED, ENDCAP PAINTED TO MATCH  
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.  
SUBSTRATE COLOR: "IRON ORE" 1069 BY SHERWIN WILLIAMS
- AP** ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BM** BRAKE METAL PANEL  
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
- BR** MODULAR FACE BRICK  
BI - COLOR:  
BI = "ONTX" GRAIN, BY SUMMIT BRICK
- C1** ALUMINUM CANOPY SYSTEM W/FASCIA  
COLOR: WHITE
- C2** ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
- C3** ALUMINUM CANOPY TIEBACK  
COLOR: RAL 7022  
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS

- CJ** CONTROL JOINT  
I - TYPE: I = ALPOLIC
- CH** 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA  
COLOR:  
C1 = WEATHERED ZINC
- D** HOLLOW METAL DOOR  
PAINT: "GAUNTLET GRAY" SW-1017 BY SHERWIN WILLIAMS
- DE** DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfx.com
- EJ** EXPANSION JOINT
- FB** FILL BOX  
C02 - C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 100.18)
- GR** GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "IRON ORE" 1069 BY SHERWIN WILLIAMS
- LI** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: GOLD

- L2** RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
C1 - COLOR:  
C1 = WHITE  
C2 = MATCH RAL 7022
- LE** ACCENT LIGHTING - SEE ELECTRICAL  
LI - LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = INTEGRAL CANOPY FIXTURE  
L3 = UP ONLY FLOOD FIXTURE
- MF** METAL FASCIA  
I - TYPE:  
C1 - 1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = BOTTOM TRIM AT METAL REVEAL PANEL  
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES  
COLOR:  
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)  
C2 = RAL 7022 (FLAT FACTORY FINISHED)
- NB** 4400 SERIES KNOX BOX, MOUNTED 5'-6" AFF, LOCATED ADJACENT TO FIRE RISER ROOM. VERIFY WITH FIRE MARSHAL

- PT** (R/M/C) COIN COLLECTOR  
MODEL: #MPT STD CALL 1-888-143-1435 TO ORDER
- RO** ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- RS** ROOF-TOP EQUIPMENT SCREEN (BEYOND). COLOR TO MATCH ALPOLIC METAL PANEL COLOR RAL 7022
- RT** ROOF-TOP EQUIPMENT
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.  
C1 - COLOR:  
C1 = WEATHERED ZINC RACEWAY  
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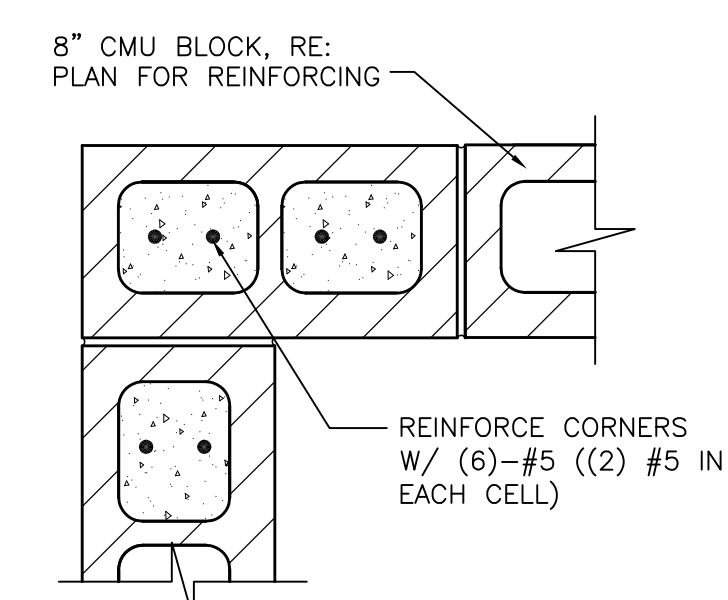
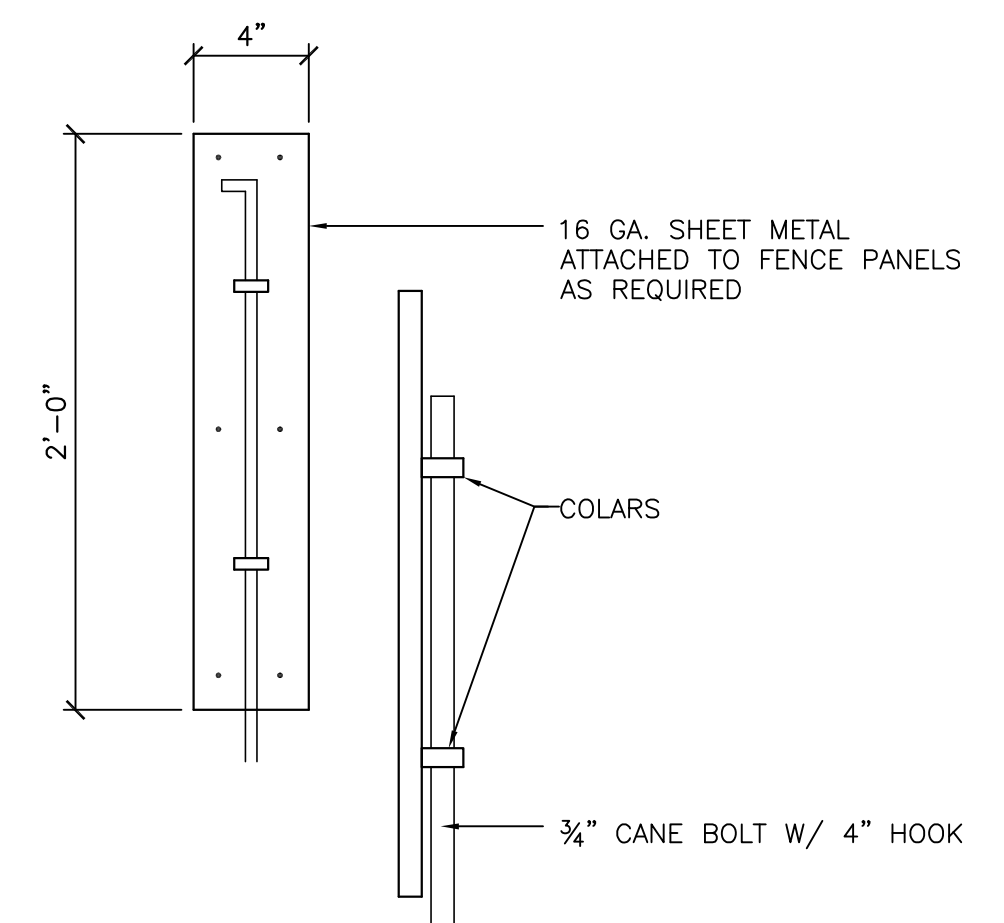
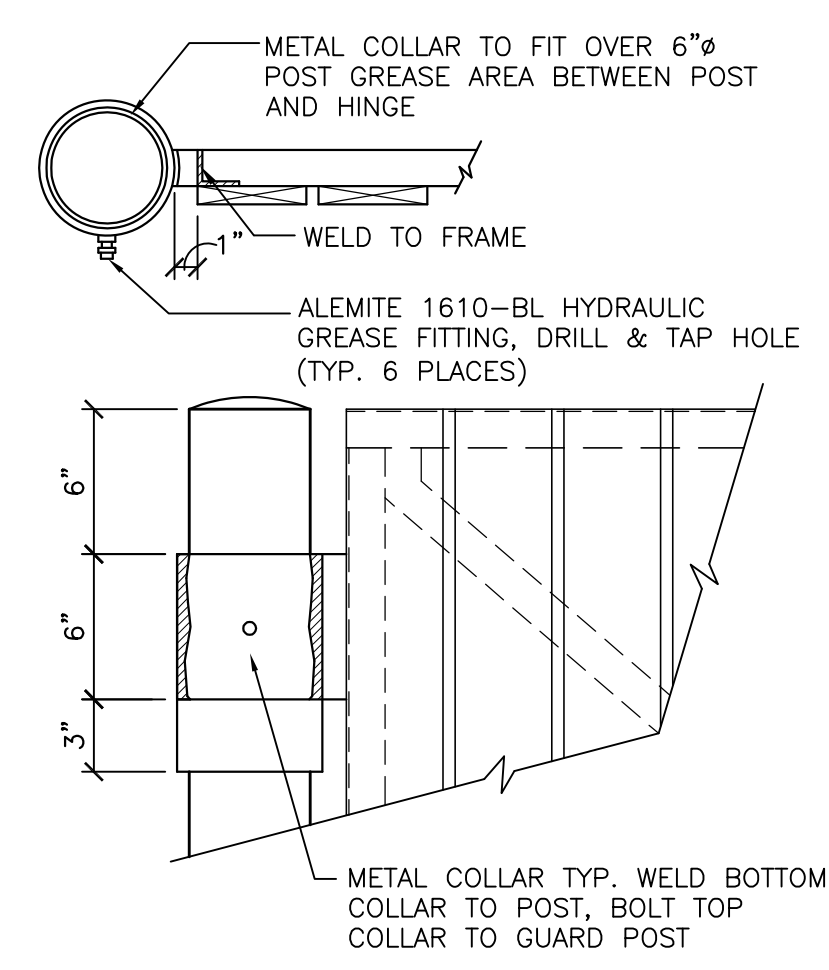
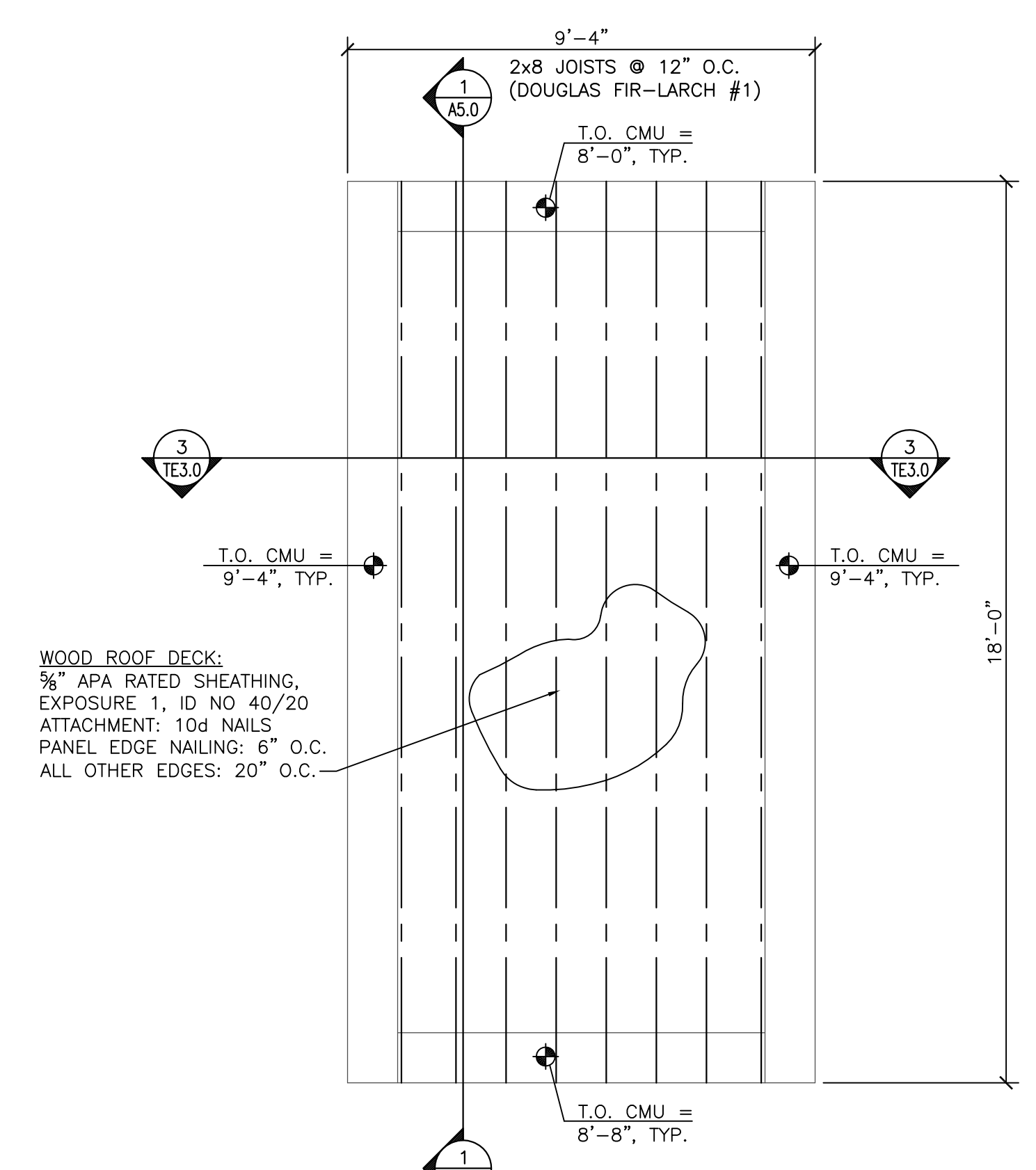
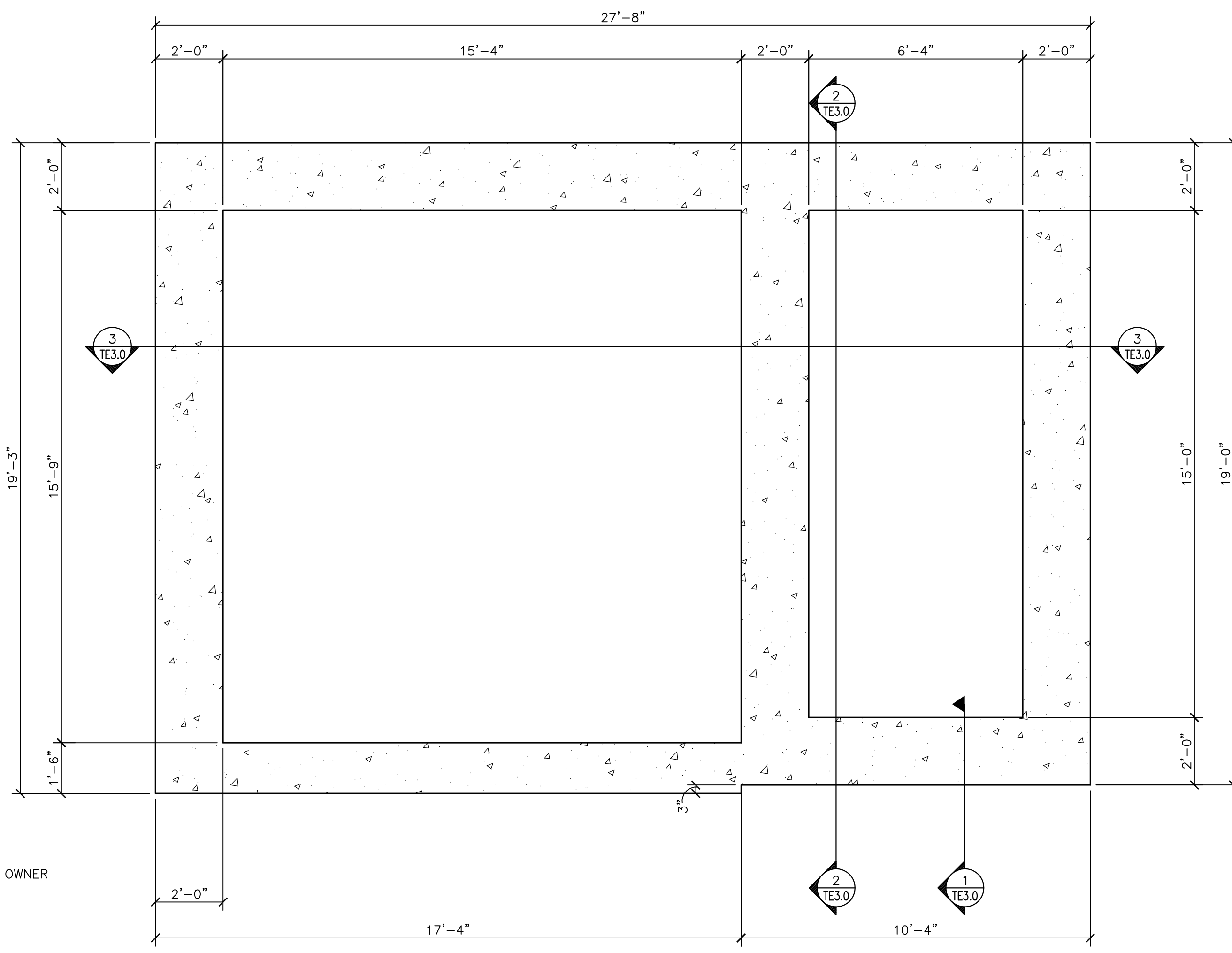
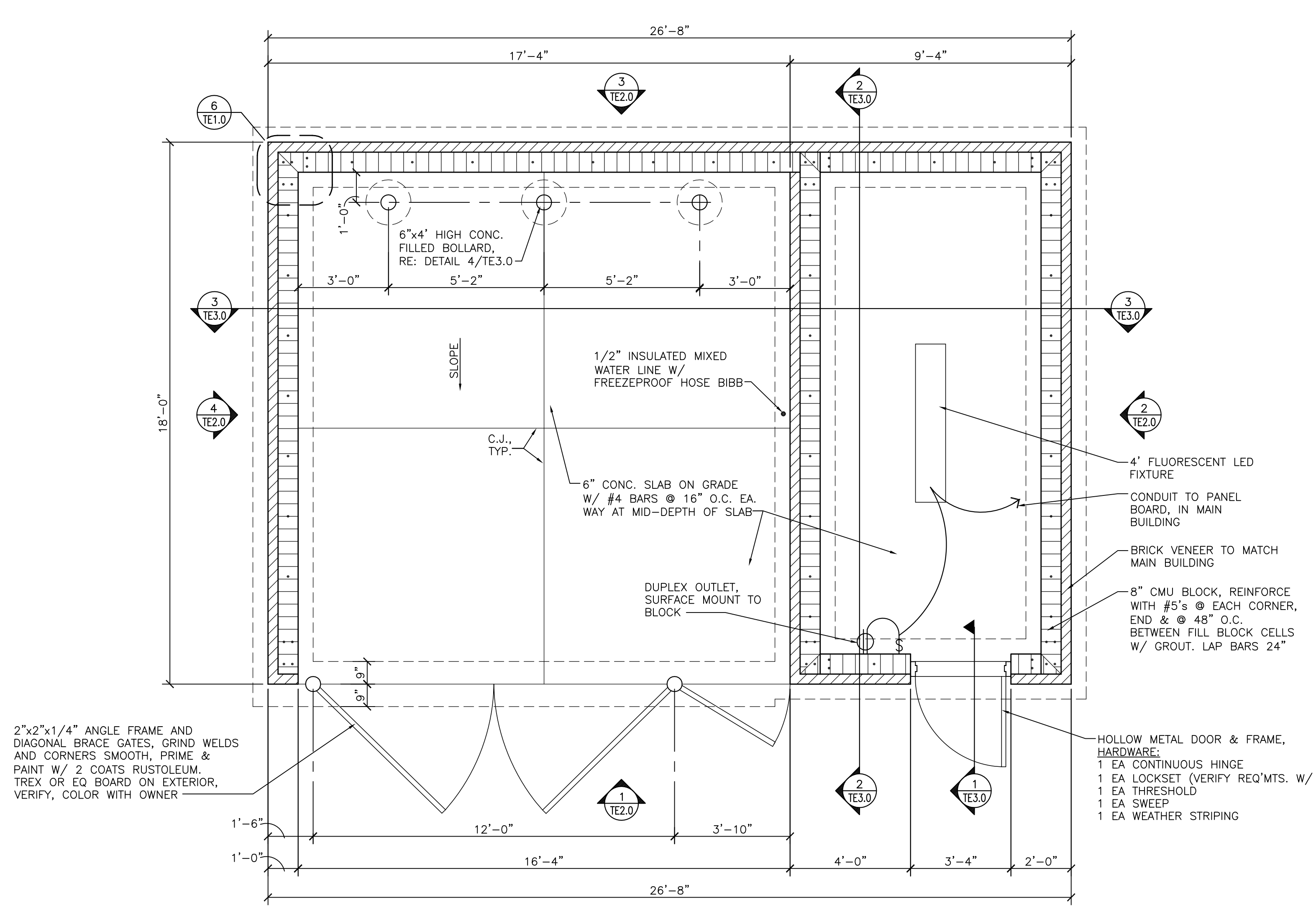
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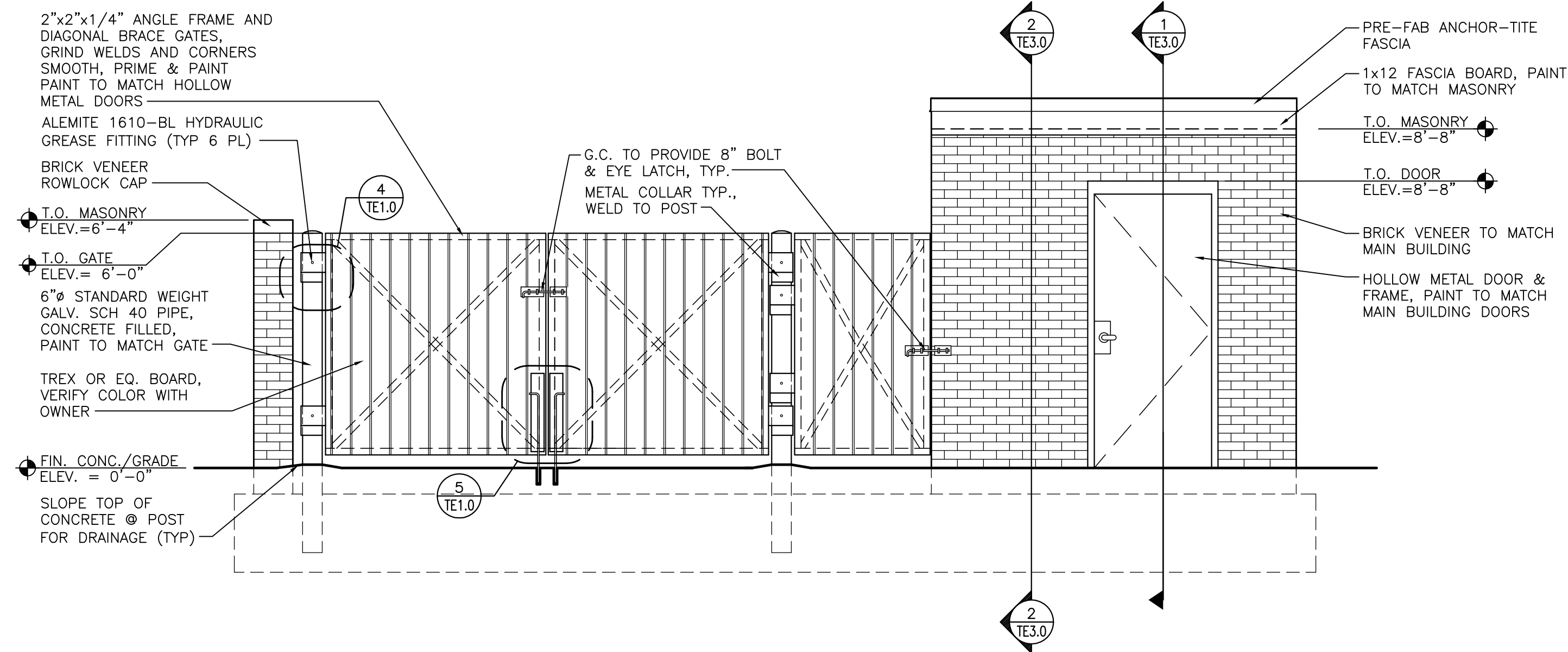
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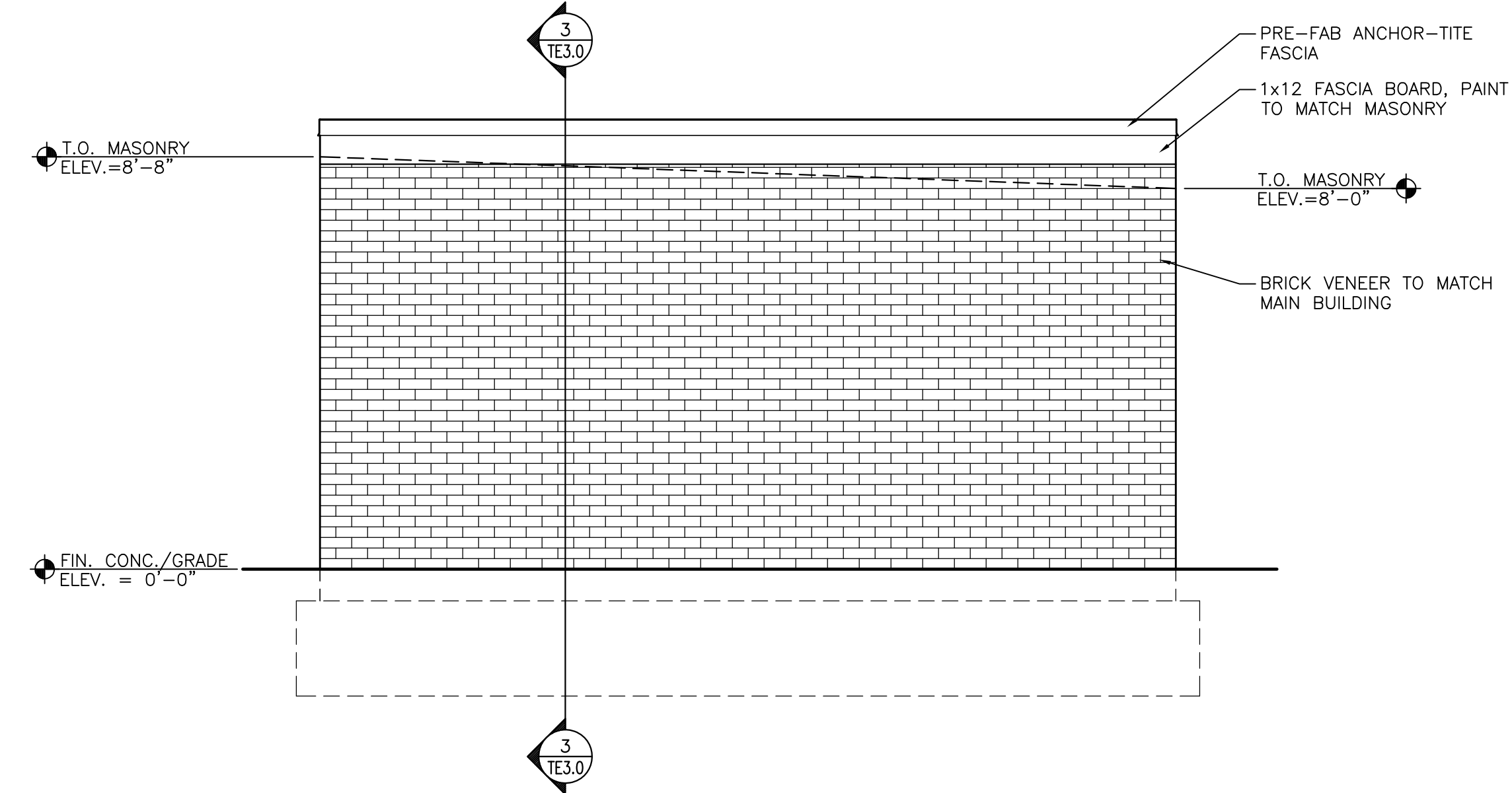
ISSUE	DATE
PROJECT #:	0826
DRAWN BY:	CS
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SHEET TITLE:	EXTERIOR ELEVATIONS

DRAWING NO:  
**A3.02**

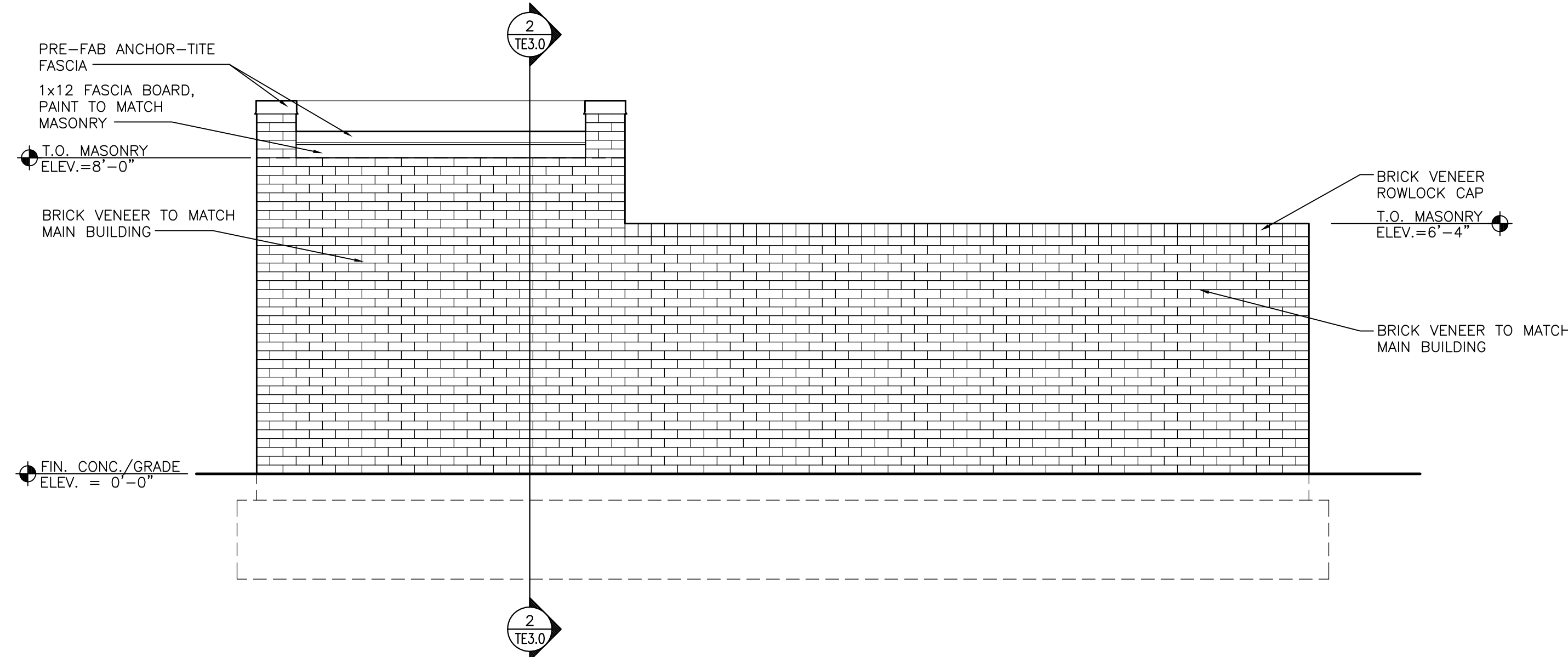




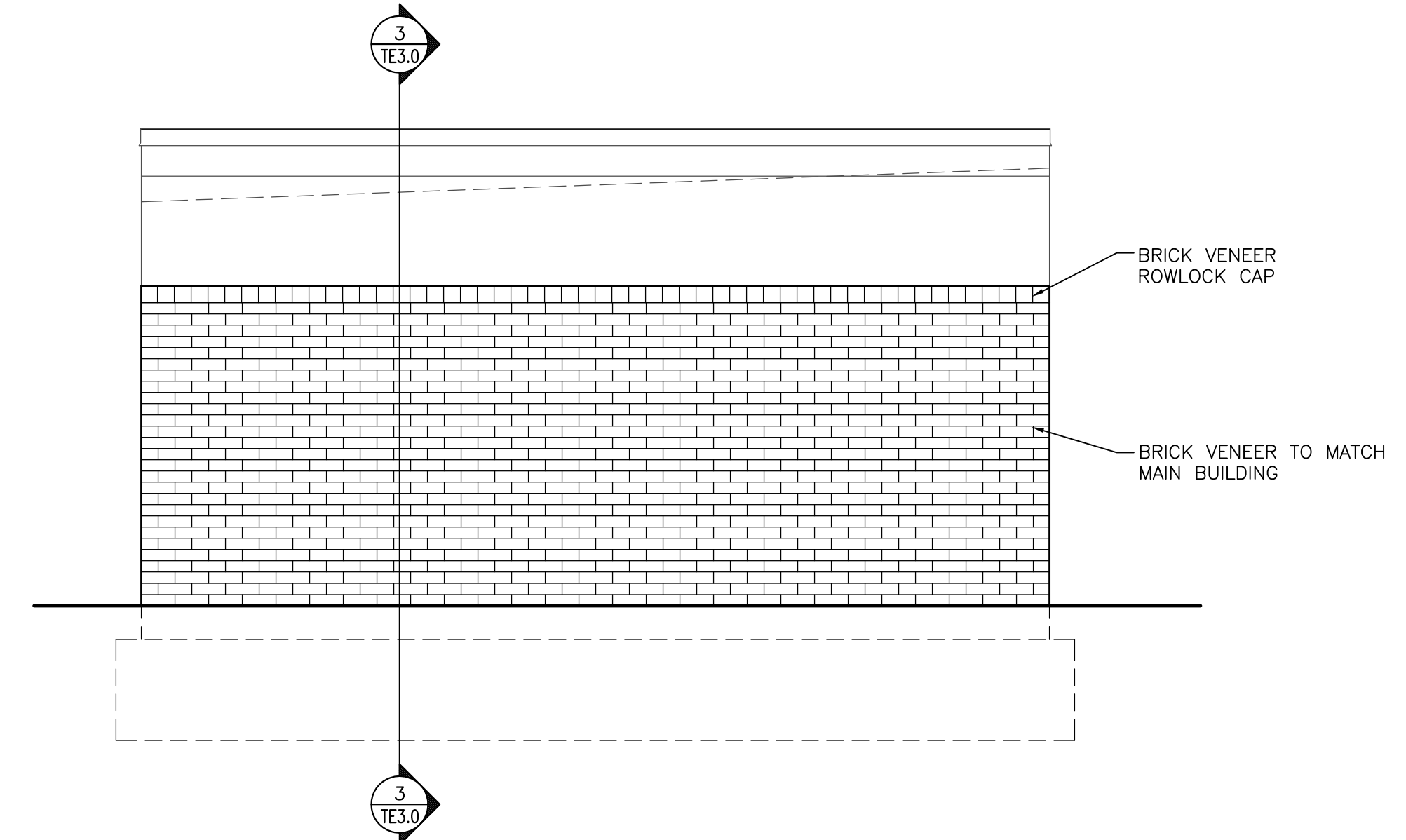
**1 TRASH ENCLOSURE ELEVATION**  
SCALE: 3/8"=1'-0"



**2 TRASH ENCLOSURE ELEVATION**  
SCALE: 3/8"=1'-0"



**3 TRASH ENCLOSURE ELEVATION**  
SCALE: 3/8"=1'-0"



**4 TRASH ENCLOSURE ELEVATION**  
SCALE: 3/8"=1'-0"

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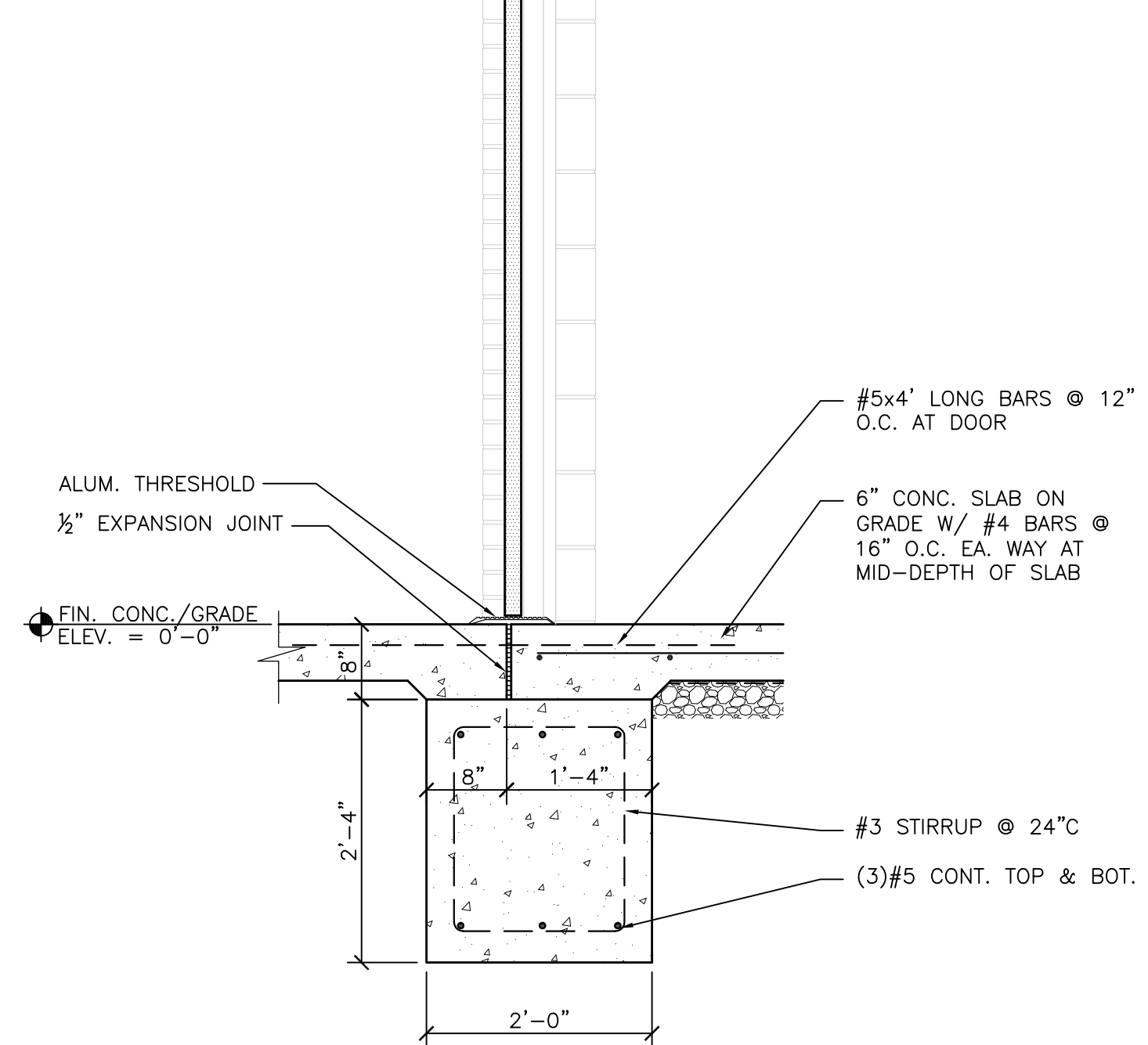
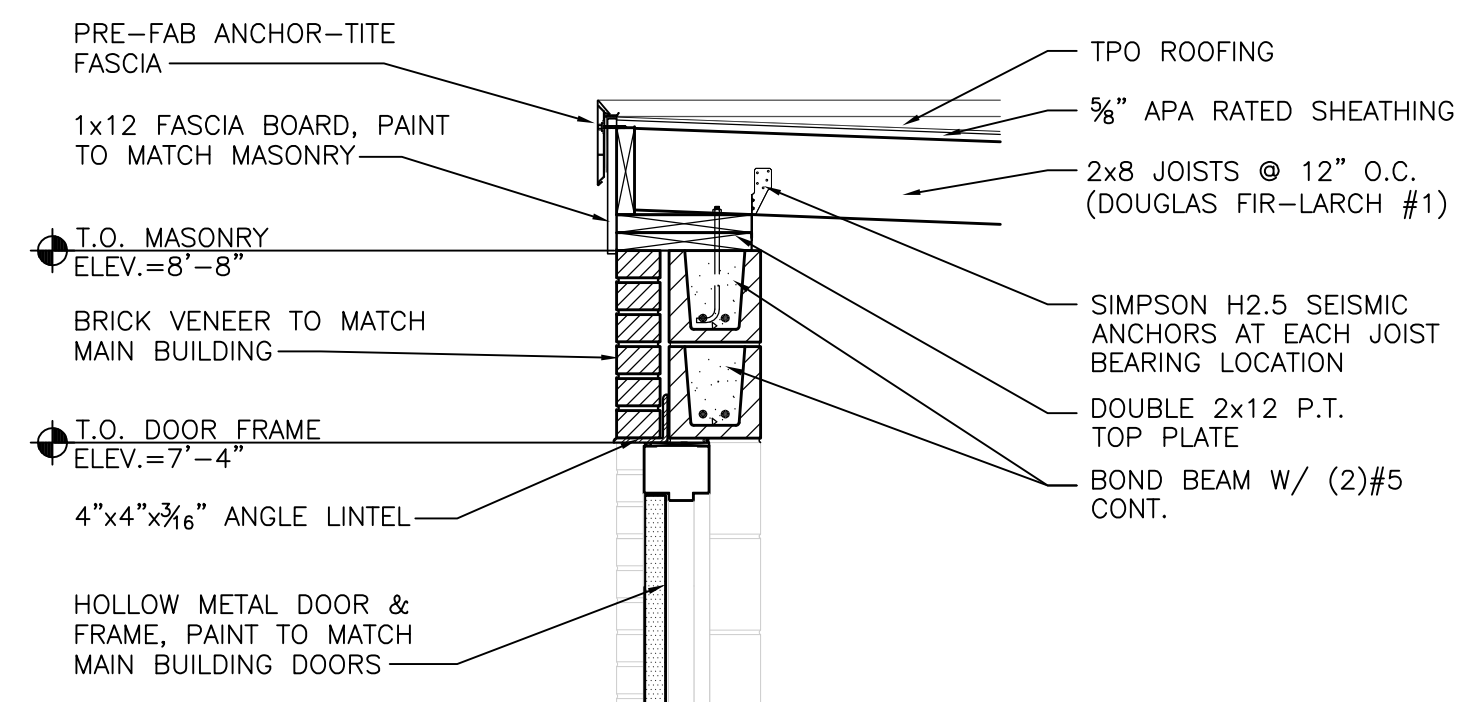
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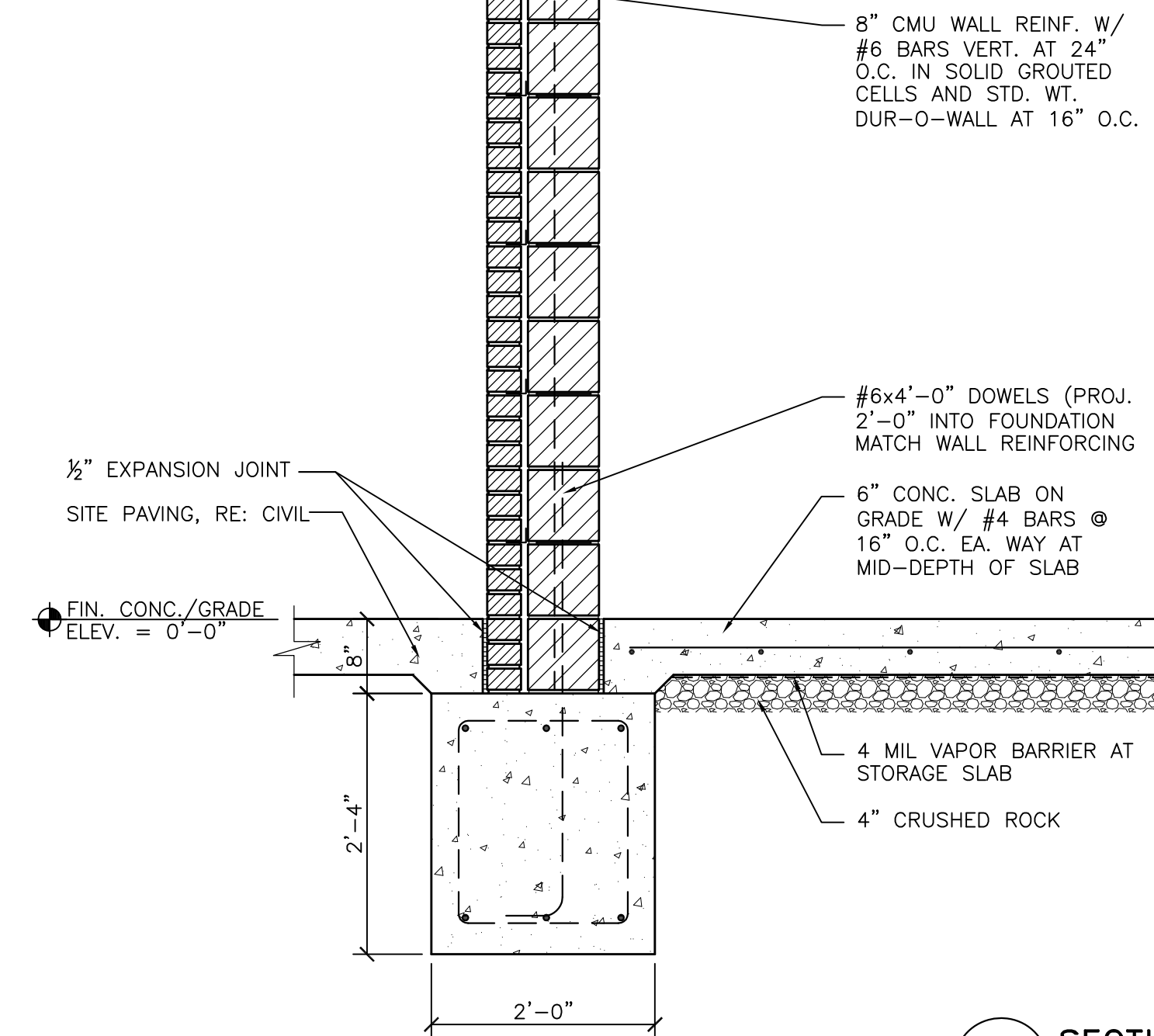
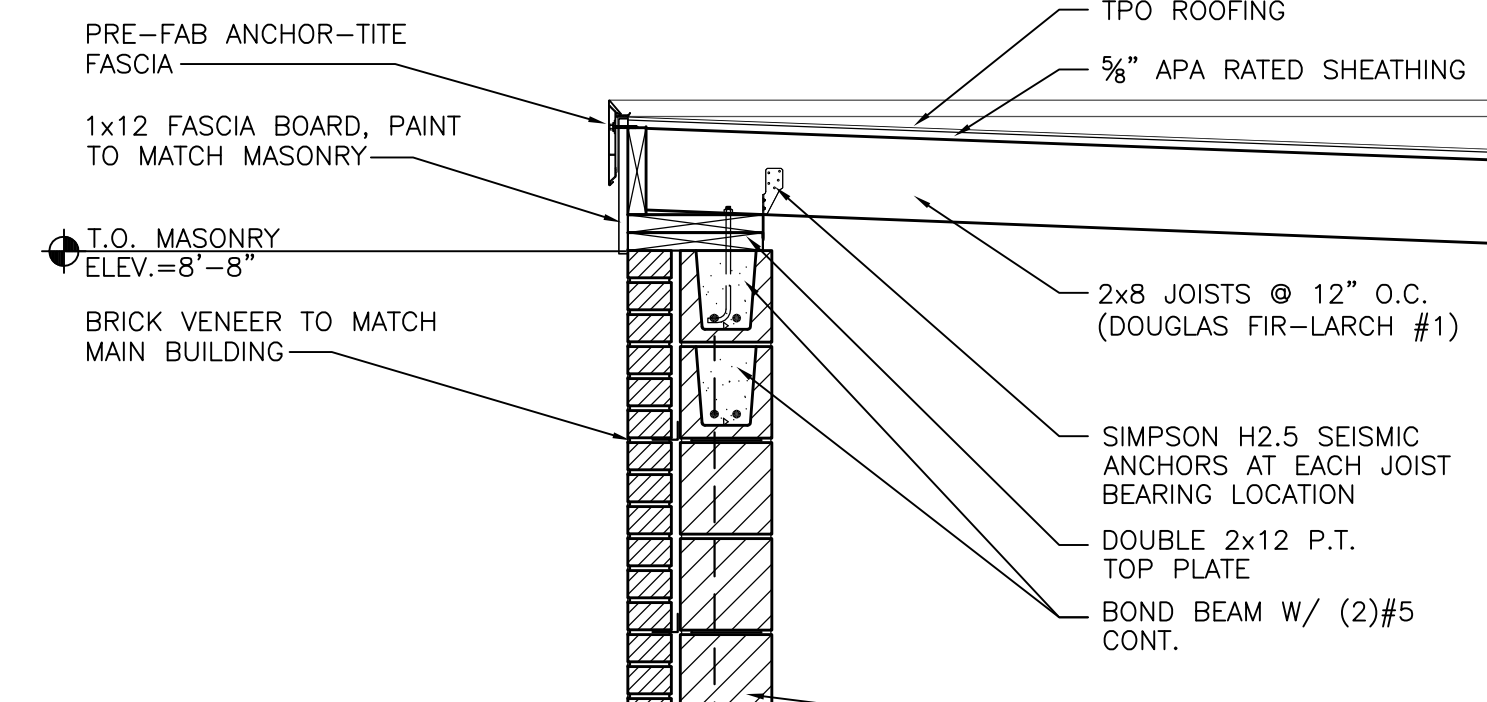
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**TRASH ENCLOSURE ELEVATIONS**

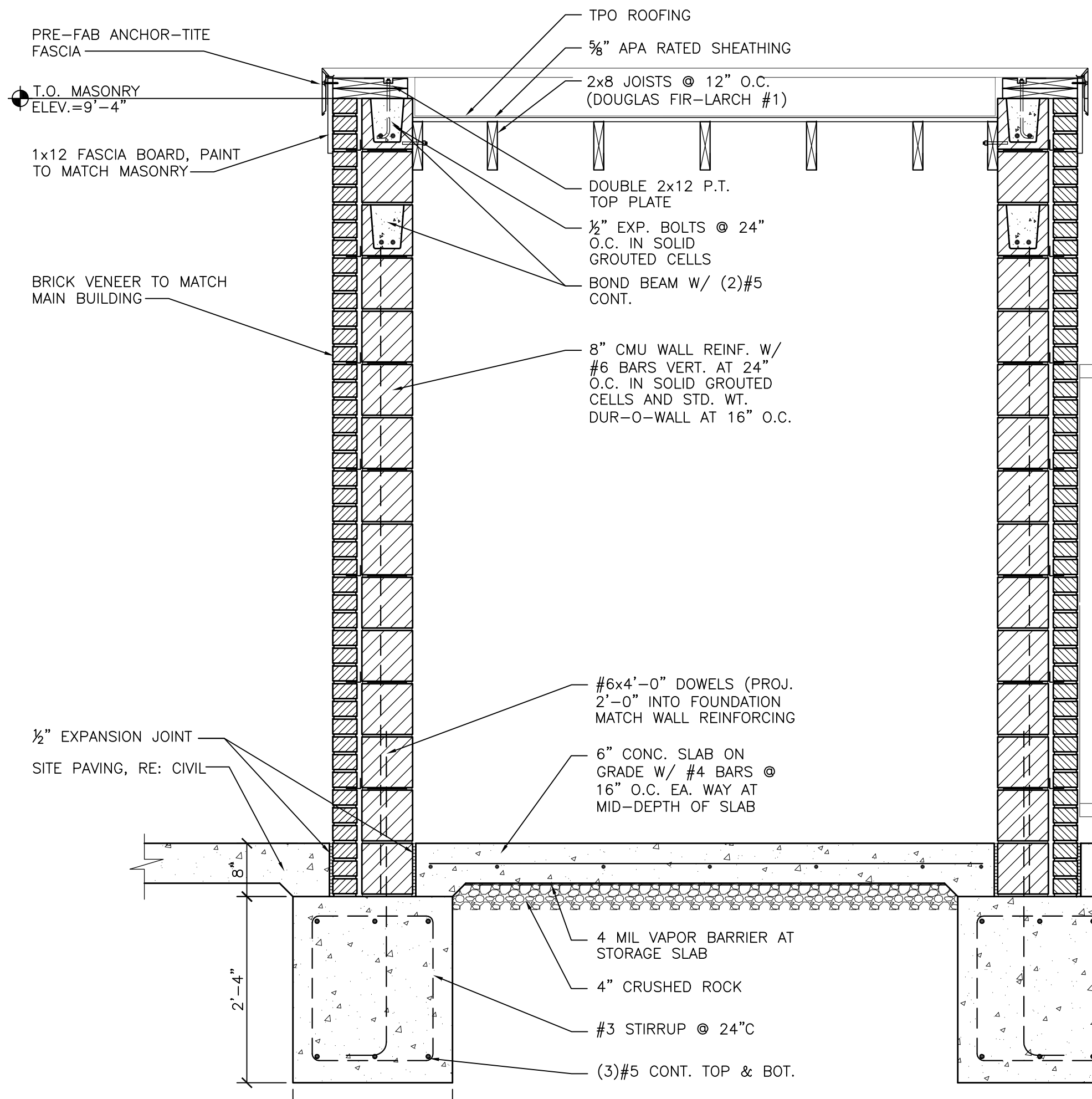
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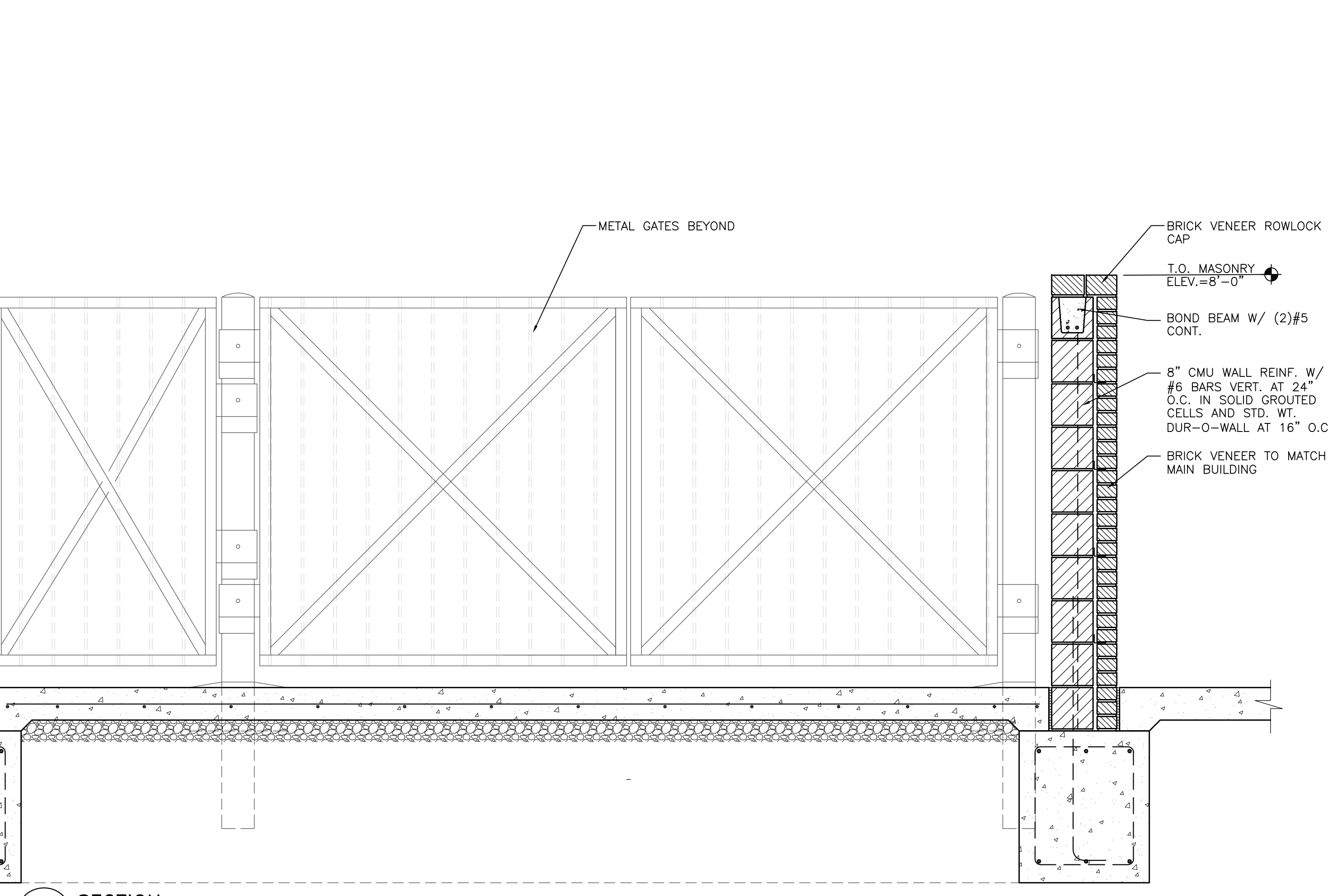
**1 SECTION**  
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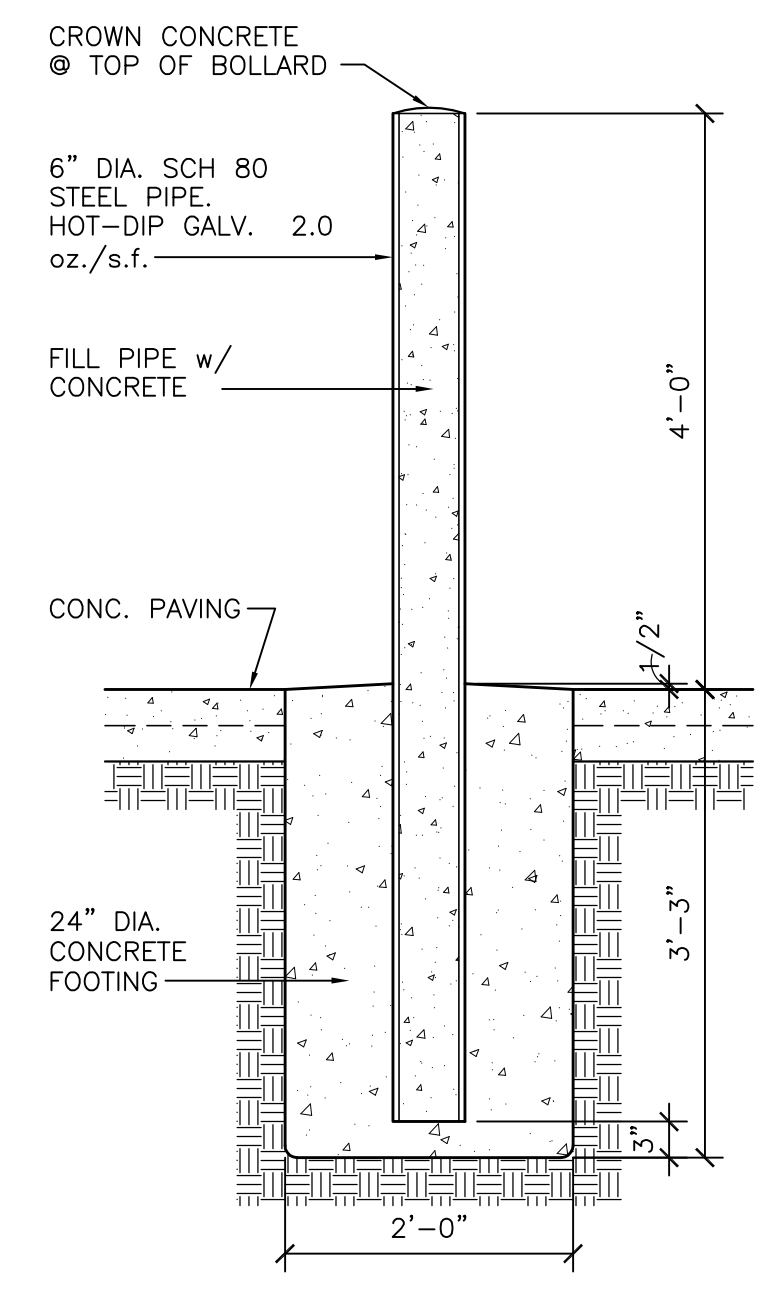
**2 SECTION**  
SCALE: 3/4"=1'-0"



**3 SECTION**  
SCALE: 3/4"=1'-0"



**4 BOLLARD DETAIL**  
SCALE: 3/4"=1'-0"



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SHEET TITLE:	TRASH ENCLOSURE DETAILS
DRAWING NO.:	
SHEET NO.:	TE1.2