

LEGAL DESCRIPTION:

LOT 2, BLOCK 1, PARKER CENTRAL AREA FILING NO. 5,
ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF
DOUGLAS, STATE OF COLORADO.

LOT 2, BLOCK 1, REPLAT OF PARKER CENTRAL AREA, FILING NO.
5 PER DOUGLAS COUNTY ASSESSORS OFFICE

BENCHMARK:

BENCHMARK: DOUGLAS COUNTY CONTROL MONUMENT 1090035
3.25" ALUMINUM CAP STAMPED "DOUGLAS COUNTY GIS" LOCATED ON
THE WEST SIDE OF PARKER ROAD ACROSS FOR THE NORTHEAST
CORNER OF 10841-B S. PARKER ROAD.

ELEVATION: 5883.72 FEET (NAVD 1988 DATUM).

THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.

BASIS OF BEARINGS:

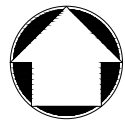
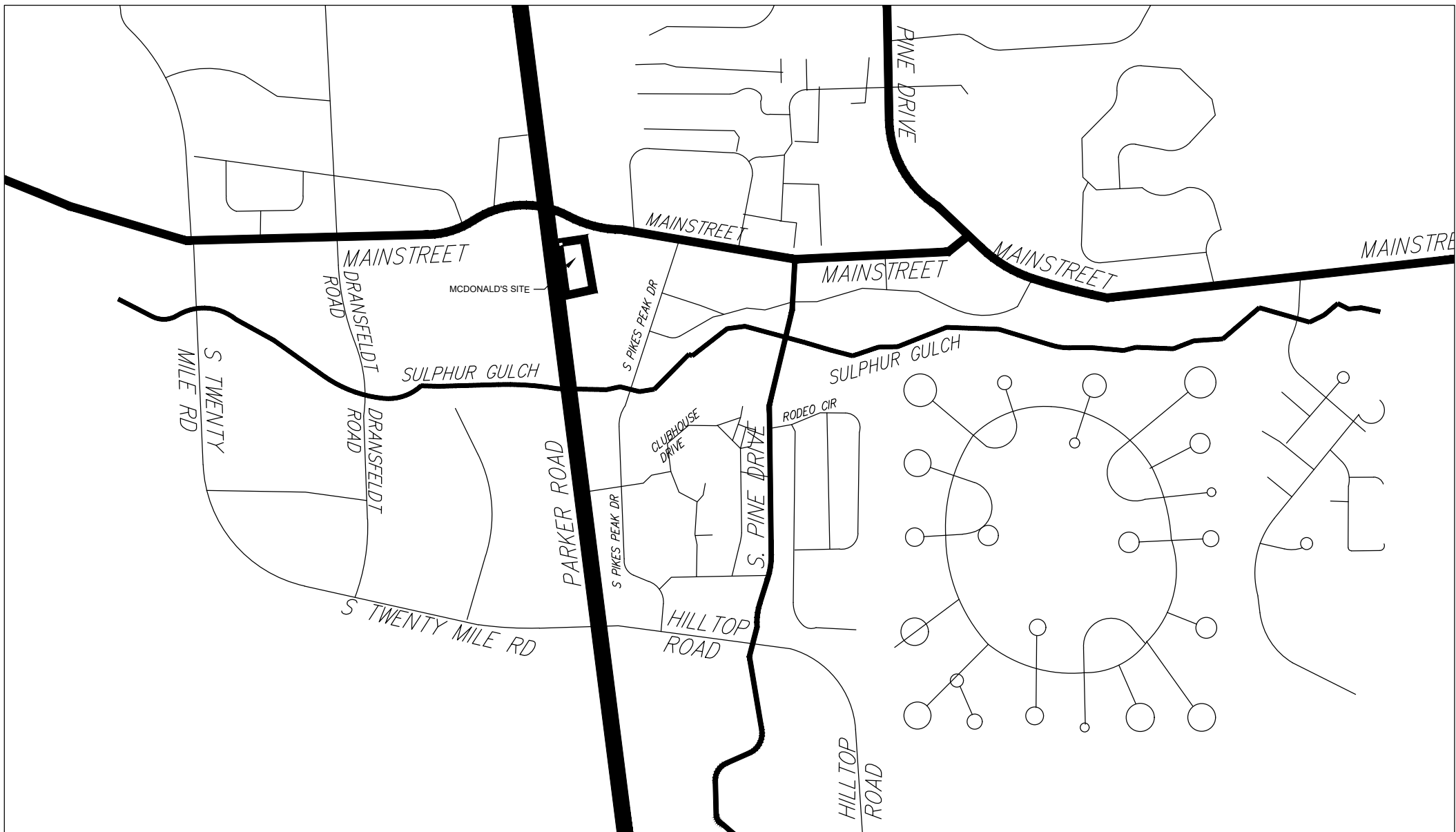
BEARINGS ARE BASED ON THE WEST LINE OF THE NE 1/4 OF SECTION
22, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL
MERIDIAN BEARING N00°13'03"W BOUND BY THE MONUMENTS SHOWN
HEREON.

FLOODPLAIN:

THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" ACCORDING
TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO.
08035C0069F WITH AN EFFECTIVE DATE OF SEPTEMBER 30, 2005. NO
OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO
DETERMINE THIS INFORMATION.

SITE DEVELOPMENT PLAN
MCDONALDS REMODEL AT PARKER CENTRAL AREA
FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD



VICINITY MAP

SCALE: 1"=1000'

SITE INFORMATION:

ADDRESS:	10950 S. PARKER ROAD
DEVELOPER/OWNER:	MCDONALD'S CORPORATION
ZONING:	DOWNTOWN EAST
LOT SIZE:	30,535 S.F. (0.70 ACRE)
EX. LAND USE:	FAST FOOD RESTAURANT
PROP. LAND USE:	FAST FOOD RESTAURANT
LANDSCAPING REQUIRED/PROPOSED:	10% REQUIRED (3,054 S.F.) / 21% PROPOSED (6,412 S.F.)
GROSS FLOOR AREA EXISTING:	GROSS FLOOR AREA:6,088 S.F.
GROSS FLOOR AREA PROPOSED:	GROSS FLOOR AREA: 6,072 S.F.
PROPOSED BUILDING HEIGHT:	23'-6" TO TOP OF PARAPET
REQUIRED PARKING (1 PER 300 S.F. NLA):	21-SPACES
PROVIDED PARKING:	28-SPACES
ACCESSIBLE SPACES REQUIRED/PROVIDED:	2-REQUIRED / 2-PROVIDED
VAN ACCESSIBLE SPACES REQUIRED/PROVIDED:	1-REQUIRED/2-PROVIDED
BICYCLE PARKING REQUIRED/PROVIDED:	4-REQUIRED/4-PROVIDED

LIST OF DRAWINGS

TO1.0	TITLE SHEET
EX1.0	EXISTING CONDITIONS
DM1.0	DEMOLITION PLAN
C1.0	SITE PLAN
C1.1	FIRE DEPARTMENT ACCESS
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
LI1.0	PHOTOMETRIC PLAN
LI1.1	PHOTOMETRIC PLAN
LS1.0	LANDSCAPE PLANS
LS1.1	TREE CONSERVATION PLAN
IRR1.0	IRRIGATION PLAN
IRR2.0	IRRIGATION DETAILS & NOTES
A2.01	BUILDING FLOOR PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
TE1.0	TRASH ENCLOSURE
TE1.1	TRASH ENCLOSURE
TE1.2	TRASH ENCLOSURE

PROJECT CONTACTS:

DEVELOPER
MCDONALD'S CORPORATION
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
PHONE: 206.234.4374
CONTACT: MR. ROBERT YAGUSESKY

APPLICANT
STRATEGIC LAND SOLUTIONS
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
PHONE: 720.384.7661
CONTACT: ROBERT PALMER, P.E.

CIVIL ENGINEER
STRATEGIC LAND SOLUTIONS
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
PHONE: 720.384.7661
CONTACT: ROBERT PALMER, P.E.

ARCHITECT
ARRIS ARCHITECTURE
3436 NEW CASTLE DR.
LOVELAND, CO 80538
PHONE: 970.988.8302

LANDSCAPE ARCHITECT
NATURAL DESIGN SOLUTIONS, INC.
5539 COLT DRIVE
LONGMONT, CO 805027
PHONE: 303.443.0388
CONTACT: MR. NEIL MCLEANE

REGULATORY CONTACTS
TOWN OF PARKER
COMMUNITY DEVELOPMENT DEPARTMENT
20120 E. MAIN STREET
PARKER, CO 80138
CONTACT: PATRICK MULREADY (SENIOR PLANNER)
PHONE: 303.841.2332

ENGINEERING DEPARTMENT
20120 E. MAIN STREET
PARKER, CO 80138
CONTACT: TOM WILLIAMS (MANAGER OF ENGINEERING AND
STORMWATER)
PHONE: 303.805.3220

WATER/SANITARY SEWER
PARKER WATER AND SANITATION DISTRICT
18100 E WOODMAN DRIVE
PARKER, CO 80134
PHONE: 303-841-4627

FIRE/LIFE SAFETY
SOUTH METRO FIRE DEPARTMENT/TOWN OF PARKER
20120 E. MAIN STREET
PARKER, CO 80138
CONTACT: RANDY CAPRA
PHONE: 303.805.3163

ELECTRIC
INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION (REA)
SUPERVISION OF:
5496 N. U.S. HIGHWAY 85
SEDALIA, CO 80135
CONTACT: REN OSTERWALD
PHONE: 302.733.5582

GAS
XCEL ENERGY
DENVER, CO 80202
PHONE: 800.895.2999

LEGEND	
NOT ALL SYMBOLS APPEAR ON SHEET	
	EXISTING CURB AND GUTTER TO REMAIN
	EXISTING CURB AND GUTTER TO BE REMOVED
	NEW CURB AND GUTTER. SEE SCHEDULE NOTE 3.
	NEW STRIPING (4" WHITE)
	EXISTING CONCRETE
	EXISTING PROPERTY LINE (APPROX.-NOT SURVEYED)
	EXISTING SANITARY SEWER
	EXISTING GAS
	EXISTING ELECTRICAL
	EXISTING WATER
	EXISTING TELEPHONE
	EXISTING STORM DRAIN
	EXISTING STRIPING TO BE REMOVED
	EXISTING BOLLARD
	FL FLOW LINE
	GB GRADE BREAK
	HP HIGH POINT
	ME MATCH EXISTING
	P PAVEMENT
	TC TOP OF CURB
	W SIDEWALK
	PROPOSED 4000 PSI CONCRETE
	PROPOSED LANDSCAPING
	DEMOLITION AREA



Know what's below.
Call before you dig.

NO.		DATE	REVISION	DESCRIPTION
CIVIL ENGINEERING CONSULTANT				
 2595 PONDEROSA ROAD FRANKTOWN, CO 80116 720.384.7661 Phone rpalmer@strategicsl.com Robert J. Palmer, PE President				
PREPARED UNDER THE DIRECT SUPERVISION OF: SEAL: BY Robert J. Palmer, PE Licensed Professional Engineer (CO PE #36320), AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.				
STREET ADDRESS		CITY	COUNTY	OFFICE ADDRESS
10950 S. PARKER ROAD		PARKER	Douglas	ROCKY MOUNTAIN REGION 4643 S. UJSTER STREET, SUITE 1300, DENVER, COLORADO 80237
STATE		COLORADO		
REGIONAL DWG. NO.		STATE DWG. NO.	NATIONAL DWG.	
		50162	7462	

SCALE: 1"=20'	M&D REF: BOWAN
DATE: 03/20/2026	M&D P/C/M: MANN
DESIGNED BY: RJP	FILE NAME: CURRENT.DWG
DRAWN BY: RJP	
CHECKED BY: RJP	
DRAWING TITLE:	
TITLE SHEET	
SHEET NO:	
TO1.0	

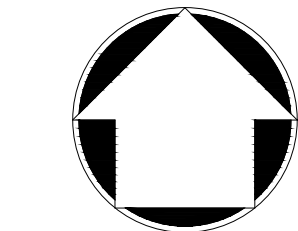
SITE DEVELOPMENT PLAN
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FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD



NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 OF TITLE COMMITMENT:

- 8 ANY EXISTING LEASES OR TENANCIES, AND ANY AND ALL PARTIES CLAIMING BY, THROUGH OR UNDER SAID LESSEES.
(NOT ADDRESSED.)
- 9 RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENT.
RECORDED DATE: AUGUST 04, 1900; RECORDING NO.: BOOK 12, PAGE 149.
(APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
- 10 THE EFFECT OF QUIT CLAIM DEED FROM PARKER CENTER ASSOCIATES, LTD., A COLORADO LIMITED PARTNERSHIP TO PARKER WATER AND SANITATION DISTRICT.
RECORDED DATE: MARCH 15, 1984; RECORDED NO.: BOOK 512, PAGE 235.
(APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
- 11 THE EFFECT OF QUIT CLAIM DEED FROM PARKER CENTER ASSOCIATES, LTD., A COLORADO LIMITED PARTNERSHIP TO PARKER WATER AND SANITATION DISTRICT.
RECORDED DATE: MARCH 29, 1984; RECORDED NO.: BOOK 513, PAGE 938.
(APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
- 12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: COLORADO TELEPHONE COMPANY; PURPOSE: UTILITY EASEMENT; RECORDED DATE: DECEMBER 19, 1905; RECORDING NO.: BOOK 34, PAGE 334 AND ASSIGNED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, RECORDING DATE: JULY 31, 1911; RECORDING NO.: BOOK 39, PAGE 547.
(APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
- 13 RIGHT OF WAY TO WYCO PIPE LINE COMPANY, A DELAWARE CORPORATION, AS CONTAINED IN INSTRUMENT RECORDED MAY 20, 1966 IN BOOK 170, PAGE 75, PROVIDING AS FOLLOWS:
TO CONSTRUCT, MAINTAIN, INSPECT, OPERATE, PROTECT, REPAIR, REPLACE, CHANGE THE SIZE OF, OR REMOVE A PIPE LINE OR PILE LINES, FOR THE TRANSPORTATION OF OIL, GAS AND THE PRODUCTS THEREOF. TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID LAND OR LINES OR ANY OF THEM, FOR THE PURPOSES AFORESAID. NOTE: SAID EASEMENT AFFECTS THE WESTERLY OR FRONT 15 FEET TO SUBJECT PROPERTY AS SHOWN ON THE RECORDED PLAT.
(APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 15 NOTES, EASEMENTS AND RESTRICTIONS AS SHOWN ON PLAN UNIT DEVELOPMENT FOR PARKER PLANNED COMMUNITY DEVELOPMENT PLAN,
RECORDING DATE: MAY 11, 1981; RECORDING NO.: RECEPTION NO. 268385.
(APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
- 16 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PUBLIC SERVICE COMPANY OF COLORADO; PURPOSE: UTILITY EASEMENT; RECORDING DATE: JANUARY 11, 1985; RECORDING NO.: BOOK 557, PAGE 834.
(APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 17 RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE.
RECORDING DATE: MARCH 21, 1985; RECORDING NO.: BOOK 566, PAGE 447. AGREEMENT AND ESTOPPEL CERTIFICATE AS RECORDED OCTOBER 18, 1994 AT RECEPTION NO. 9453456.
(APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 18 TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN SIGN EASEMENT AGREEMENT AS RECORDED NOVEMBER 18, 2009 AT RECEPTION NO. 2009087901.
(DOES NOT APPLY TO SUBJECT PROPERTY.)
- 19 UTILITY EASEMENT AS GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO IN INSTRUMENT RECORDED DECEMBER 18, 1985, IN BOOK 614 AT PAGE 691.
(APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 20 TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN USE RESTRICTION AS RECORDED JANUARY 14, 2004 AT RECEPTION NO. 2004005956.
(APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)
- 21 TERMS, CONDITIONS, PROVISIONS, BURDENS, RESTRICTIONS, EASEMENTS AND OBLIGATIONS AS CONTAINED IN EASEMENT AGREEMENT AS RECORDED MARCH 10, 1988 IN BOOK 780 AT PAGE 405.
(APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 22 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE PUBLIC SIDEWALK EASEMENT AGREEMENT AS SET FORTH BELOW:
RECORDING DATE: FEBRUARY 24, 2017; RECORDING NO.: RECEPTION NO. 2017013275.
(APPLIES TO SUBJECT PROPERTY, PLOTTABLE ITEMS ARE SHOWN HEREON.)
- TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AUTOMATED TELECOM TECHNOLOGY INC. PAYPHONE LOCATION LEASE AGREEMENT AS RECORDED NOVEMBER 8, 1996 AT RECEPTION NO. 9682769.
(APPLIES TO SUBJECT PROPERTY, HOWEVER CONTAINS NO PLOTTABLE ITEMS.)

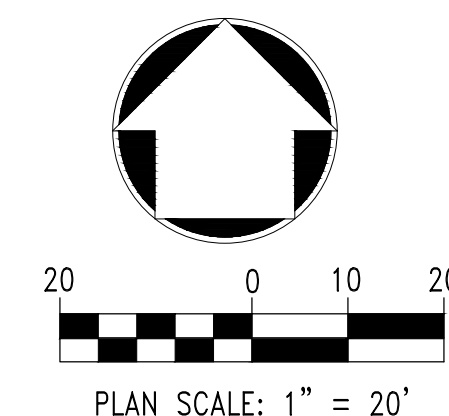


20 0 10 20
PLAN SCALE: 1" = 20'



NO.		DATE	REVISION	DESCRIPTION
DIV. ENGINEERING CONSULTANT:				
 2595 PONDEROSA ROAD FRANKTOWN, CO 80116 720.394.7661 Phone rpalmer@strategicsl.net Robert J. Palmer, PE President				
PREPARED UNDER THE DIRECT SUPERVISION OF:				
SEAL:				
BY Robert J. Palmer, PE Licensed Professional Engineer (CO PE #36320), AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.				
10950 S. PARKER ROAD		CITY	PARKER	STATE
COLORADO		COUNTY	DOUGLAS	REGION
50162		7462		
SCALE: 1"=20'		MCD RE: BOWAN		
DATE: 03/20/2026		MCD P/CM: MANN		
DESIGNED BY: RJP		FILE NAME: CURRENT.DWG		
DRAWN BY: RJP		SUS IN: 14-001-47		
CHECKED BY: RJP				
DRAWING TITLE: EXISTING CONDITIONS				
SHEET NO: EX1.0				

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD

[illegible]

8

A6.0

1 1/4" = 1'-0"

GUARD RAIL DETAIL

EXTERIOR FACE OF BUILDING

4"

SEE SITE PLAN

GRIND SMOOTH ALL WELDS

1 1/2" SQ. A53 GRADE B STEEL TUBE GUARDRAIL SET INTO CONC. PIER - VERTICAL SPACED AT 3'-4" O.C. MAX. - SEE SITE PLAN FOR GUARD RAIL LENGTH

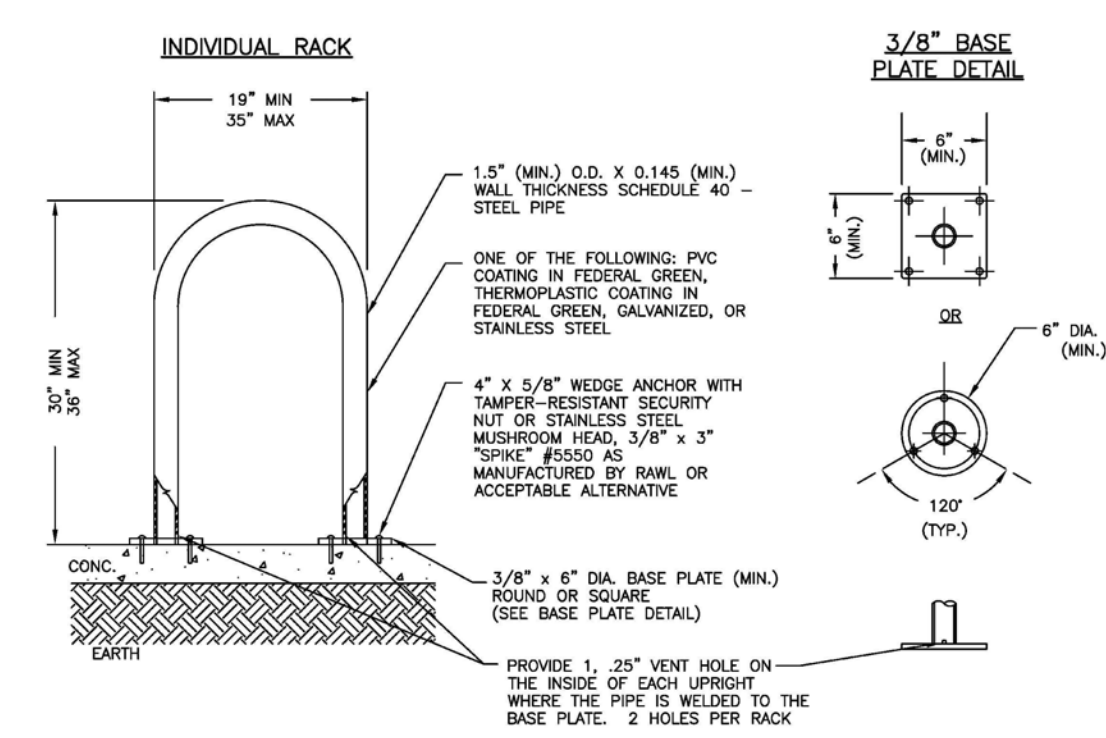
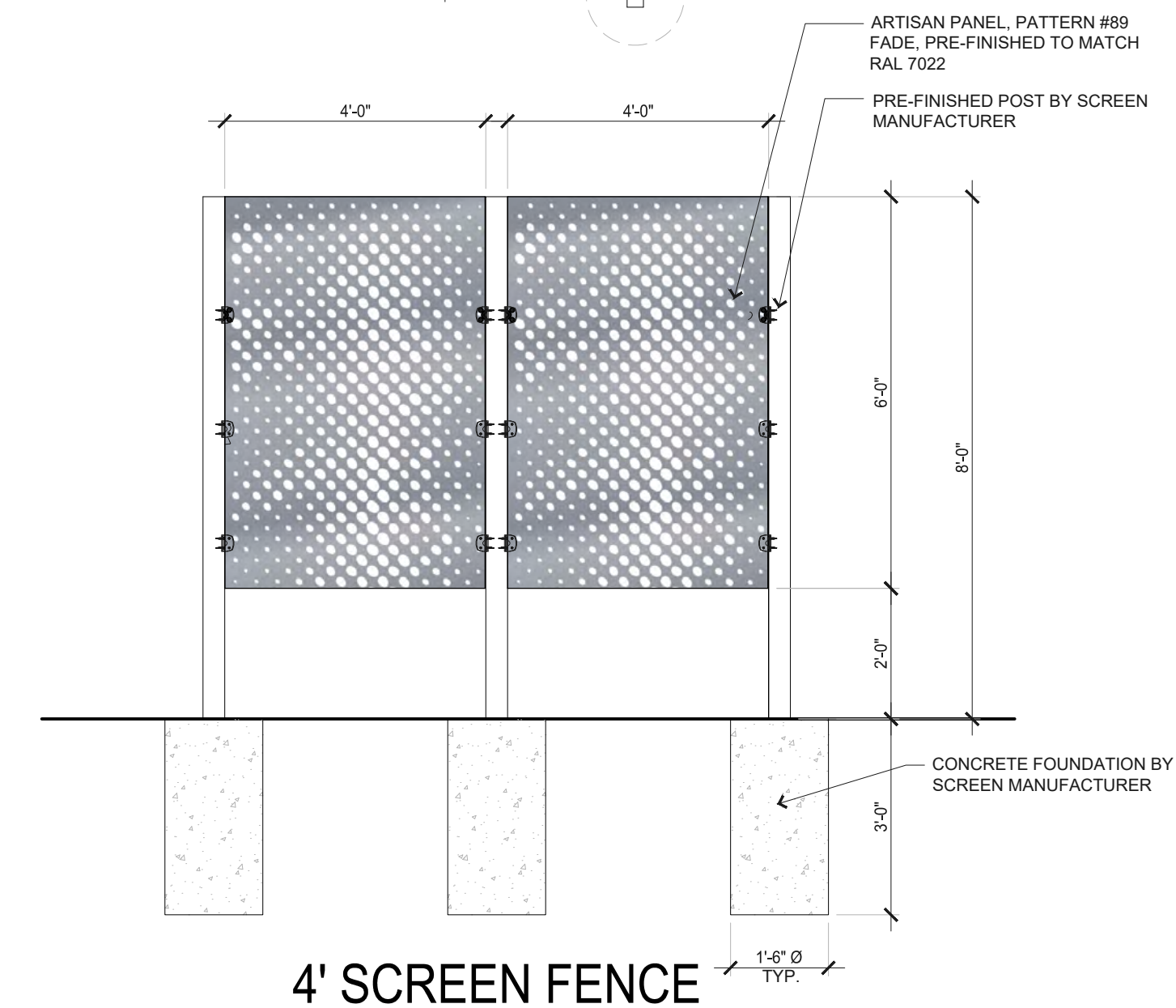
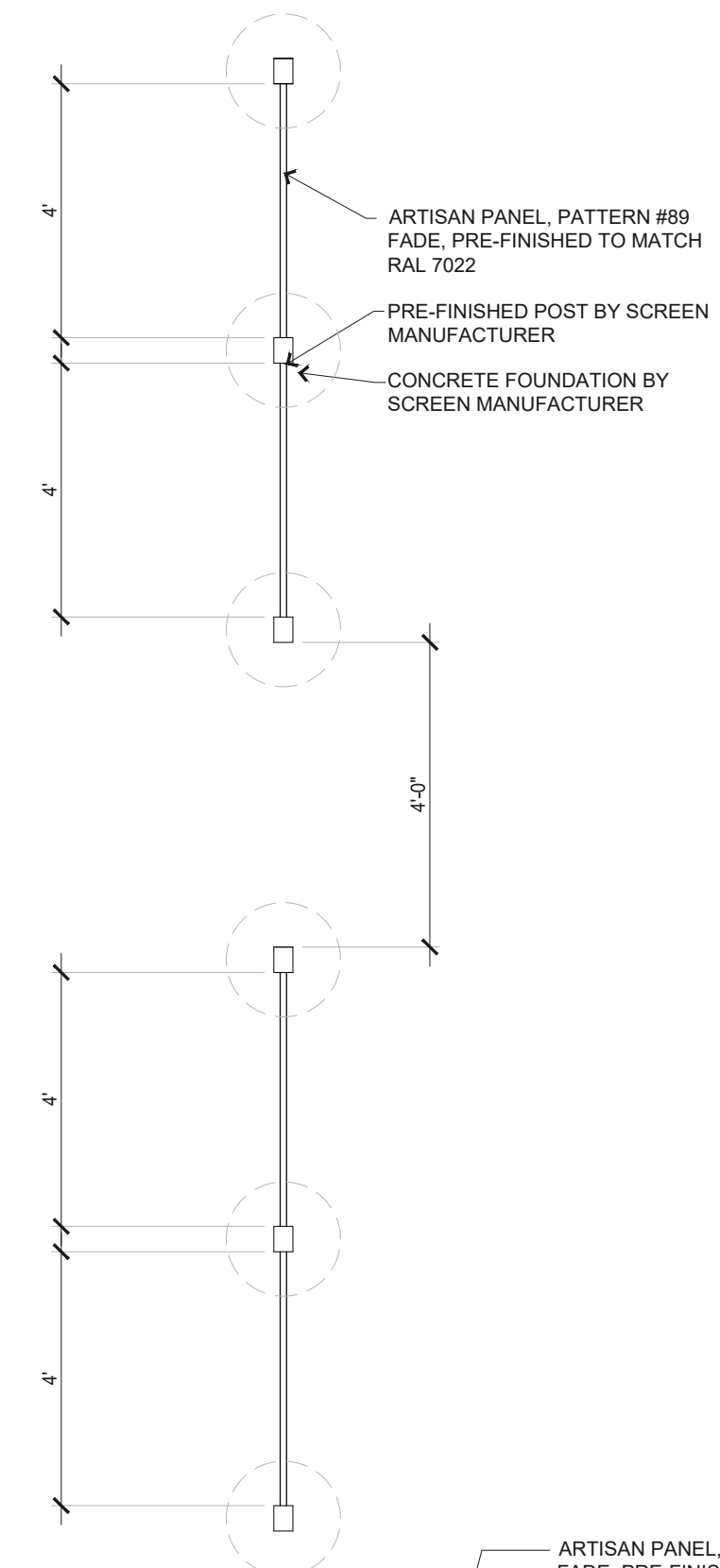
INTERMEDIATE RAILS - 1/2" SQ. STL. BARS @ 4" O.C. MAX.

8" DIA. X 18" DEEP CONC. PIER

3'-6"

1'-6"

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD



NOTES:

1. RACK SHALL NOT BE WELDED IN SECTIONS.
2. BASE PLATE SHALL BE WELDED TO STEEL PIPE.
3. RACK DIMENSIONS MAY VARY BY MANUFACTURER.

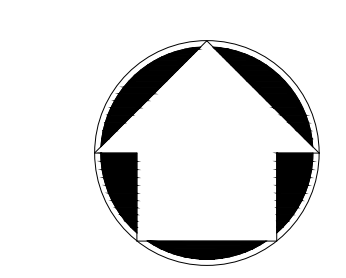
MOUNTING (CONCRETE):

1. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR:
4" x 5/8" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT, OR STAINLESS STEEL MUSHROOM 3/8" x 3" SPIKE #5550 AS MANUFACTURED BY RAWL OR APPROVED EQUAL
2. RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMB.
3. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.

3. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.

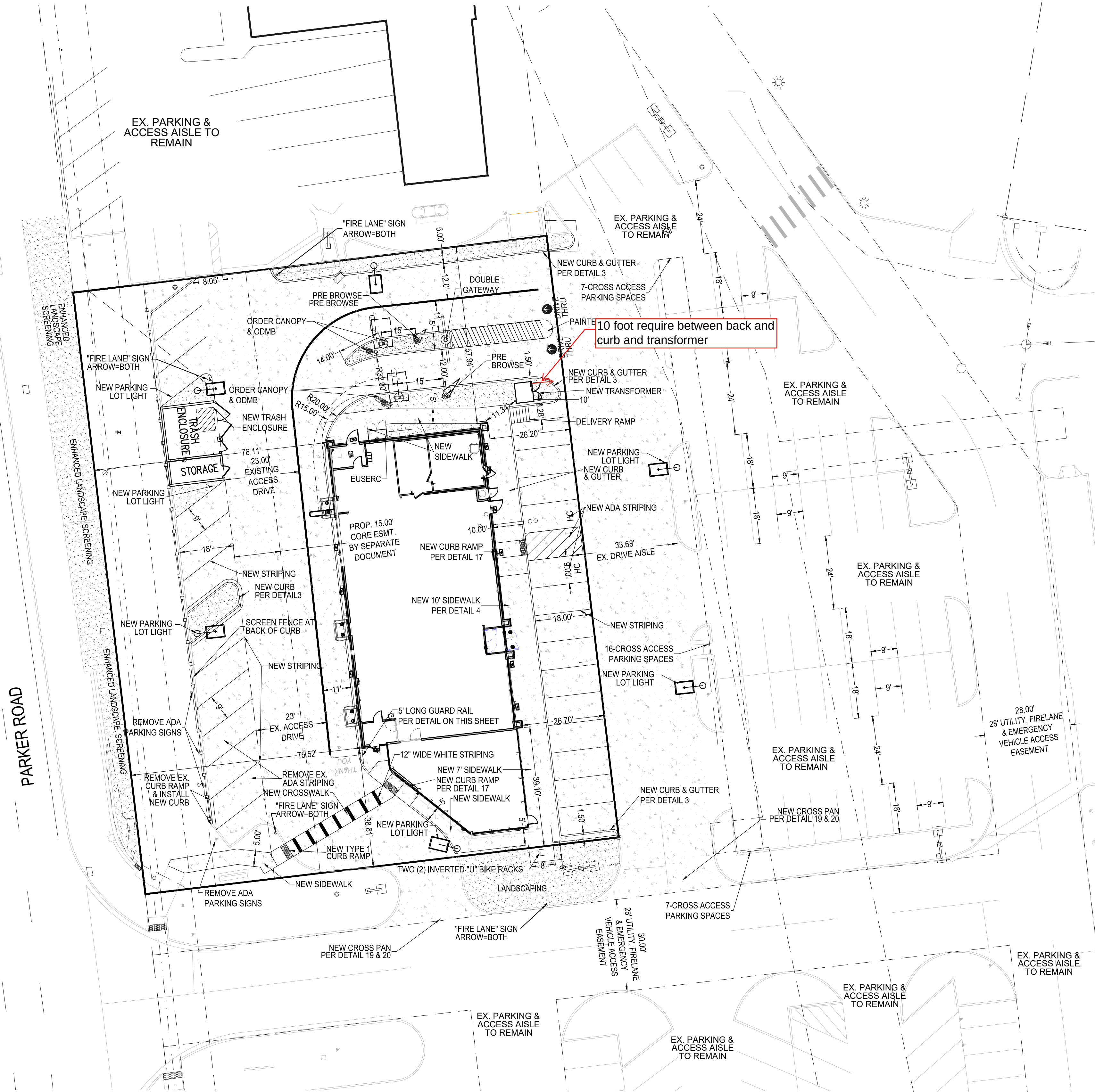
MOULTING (BRICK PAVERS):

1. REMOVE APPROXIMATE BRICK PAVERS AND PAVEMENT BEDDING MATERIAL AS NECESSARY FOR INSTALLATION.
2. CONSTRUCT CONCRETE BEDDING COURSE 4-INCH THICK OR GREATER. JOINTS (4-INCH DEEP, 12-INCH WIDE) BELOW THE BRICK PAVEMENT BEDDING MATERIAL. CONCRETE SHALL BE CLASS A OR B.
3. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHORS.
4. WEAR-RESISTANT SECURITY MAT.
5. STAINLESS STEEL MUSHROOM HEAD.
6. 1/2" X 3" SPIKE (WOOD AS MANUFACTURED BY RAWL OR APPROVED EQUAL).
7. RACK SHALL BE SET FIRM AND PLASDED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMBS.
8. BRICK SHIMS SHALL BE INSTALLED PRIOR TO BRICK PAVERS.
9. PAVERS SHALL BE CUT TO FIT RACK PROBS. REPLACE BEDDING MATERIAL IN CORE AND REINSTATE PAVERS.



Know what's **below**.
Call before you dig.

PLAN SCALE: 1" = 20'

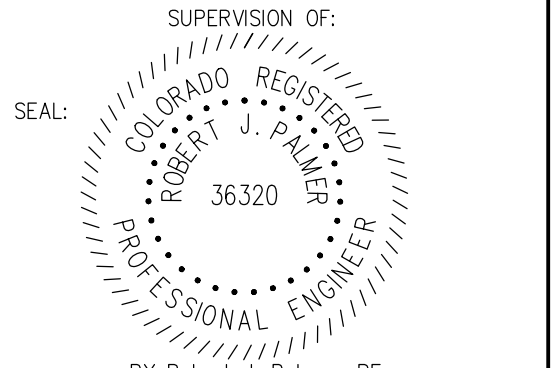


INVERTED "U" BIKE RACK (STAINLESS STEEL-NOT PAINTED)

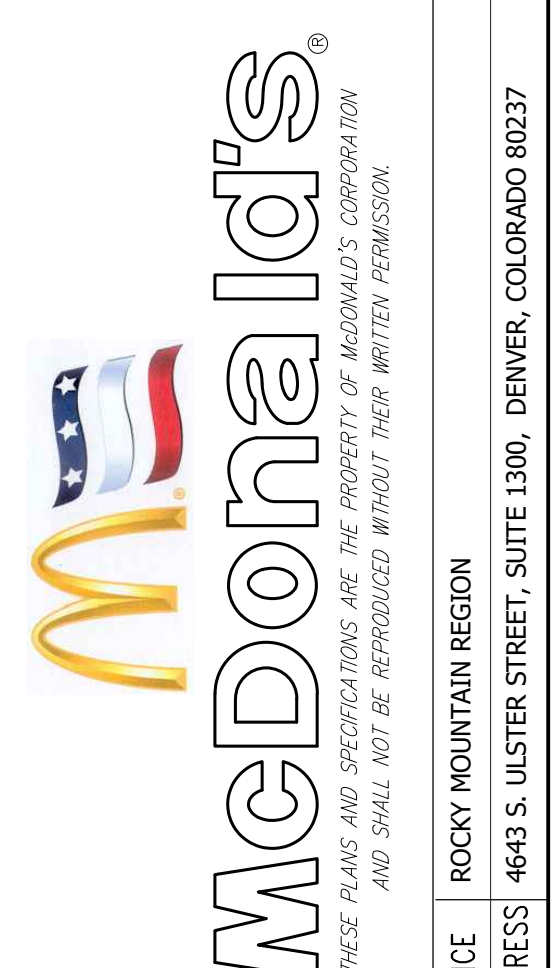
NO.	DATE	REVISION DESCRIPTION
CIVIL ENGINEERING CONSULTANT:		



PREPARED UNDER THE DIRECT



Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

OFFICE
ADDRESS

<i>STREET ADDRESS</i>	10950 S. PARKER ROAD	
<i>CITY</i>	PARKER	<i>STATE</i>
		COLORADO
<i>COUNTY</i>	DOUGLAS	
<i>REGISTRATION NO.</i>	7462	<i>STATE STREET OFF.</i>
		50182
		<i>NATIONAL OFF.</i>
		7462

SCALE: 1"=20' Mod RE: BOWAN

DATE:	03/20/2026	Mod P/CM:	MANN
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03/20/2026	MANN
DESIGNED BY:	

DESIGNED BY:	RJP
--------------	-----

DRAWN BY: RJP FILE NAME:

CHECKED BY:	RJP	CURRENT.DWG
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101	SLS JV: 14-001-47
DRAWING TITLE:	

SEE PLAN

SITE PLAN

10. *Journal of the American Medical Association*, 273:1225-1230, 1995

SHEET NO.:

STREET NO.

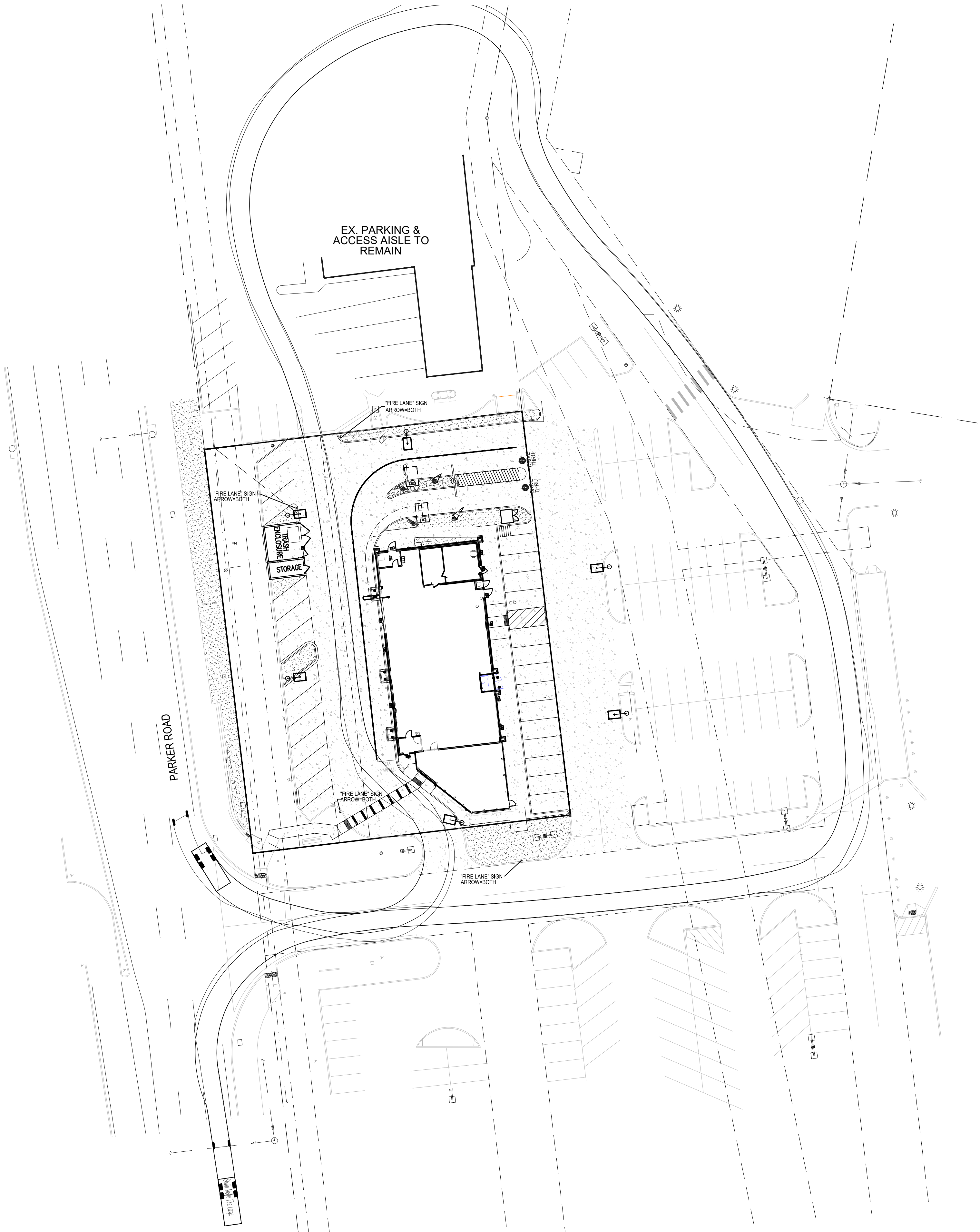
C10

C1.0

10. *Journal of the American Medical Association*, 2000; 284: 2561-2566.

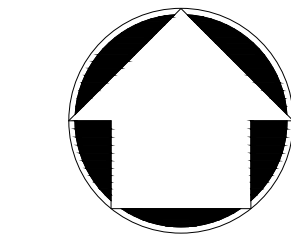
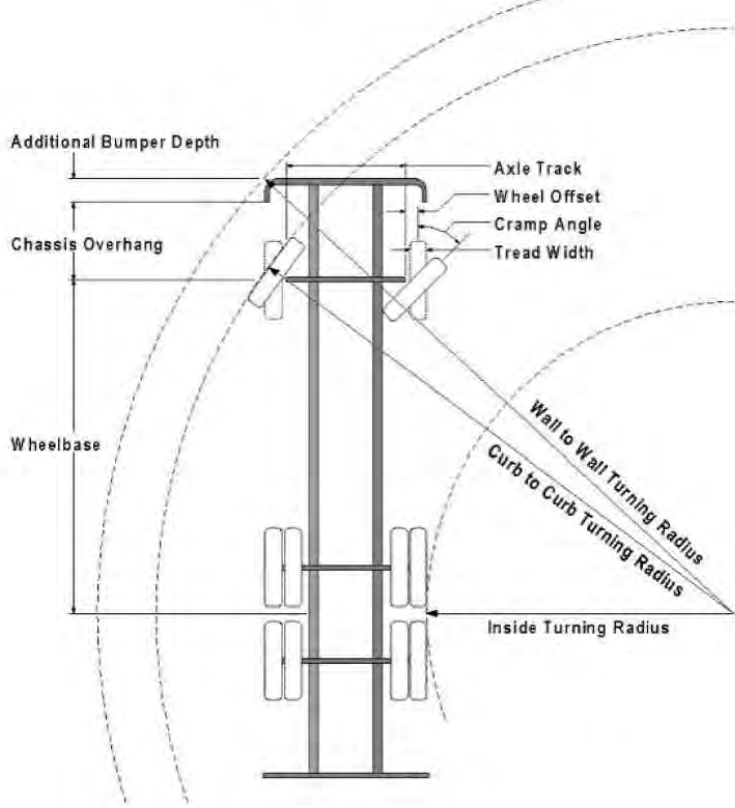
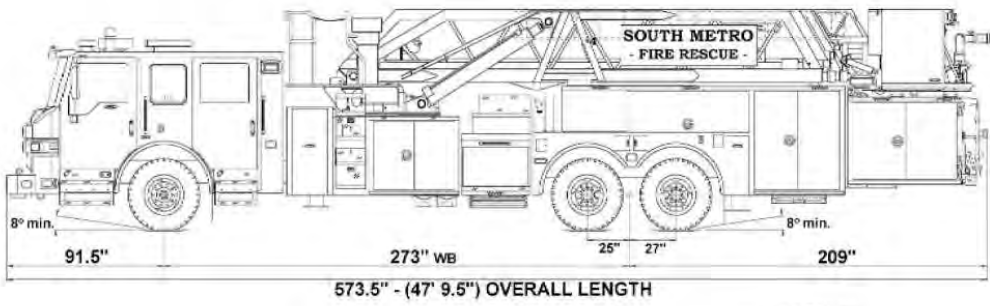
SITE DEVELOPMENT PLAN
MCDONALDS REMODEL AT PARKER CENTRAL AREA
FILING NO. 5, BLOCK 1, LOT 2

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ADDRESS: 10950 S. PARKER ROAD



FIRE ACCESS ROAD DESIGN CRITERIA

VEHICLE SPECIFICATIONS are provided for the largest apparatus in use by South Metro Fire Rescue. Fire Apparatus Access Roads shall be capable of accommodating this apparatus.



NO.	DATE	REVISION DESCRIPTION
-----	------	----------------------

CIVIL ENGINEERING CONSULTANT:

Strategic Land Solutions, Inc.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.394.7661 Phone
rpalmer@strategicsl.com
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL:

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

McDonald's®
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: ROCKY MOUNTAIN REGION
ADDRESS: 4643 S. ULLSTER STREET, SUITE 1300, DENVER, COLORADO 80237

10950 S. PARKER ROAD	STATE	COLORADO
PARKER	CITY	DOUGLAS
	COUNTY	
	STATE	50162
	NATIONAL	7462

SCALE: 1"=20'	M&D REF: BOWAN
DATE: 03/20/2026	M&D P/C/M: MANN
DESIGNED BY: RJP	FILE NAME: CURRENT.DWG
DRAWN BY: RJP	
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DRAWING TITLE:

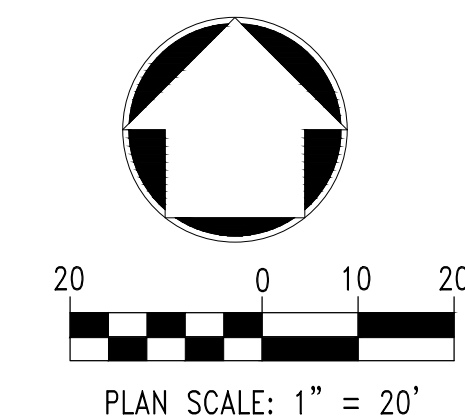
FIRE ACCESS PLAN

SHEET NO:

C1.1

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COUNTY OF DOUGLAS, STATE OF COLORADO.
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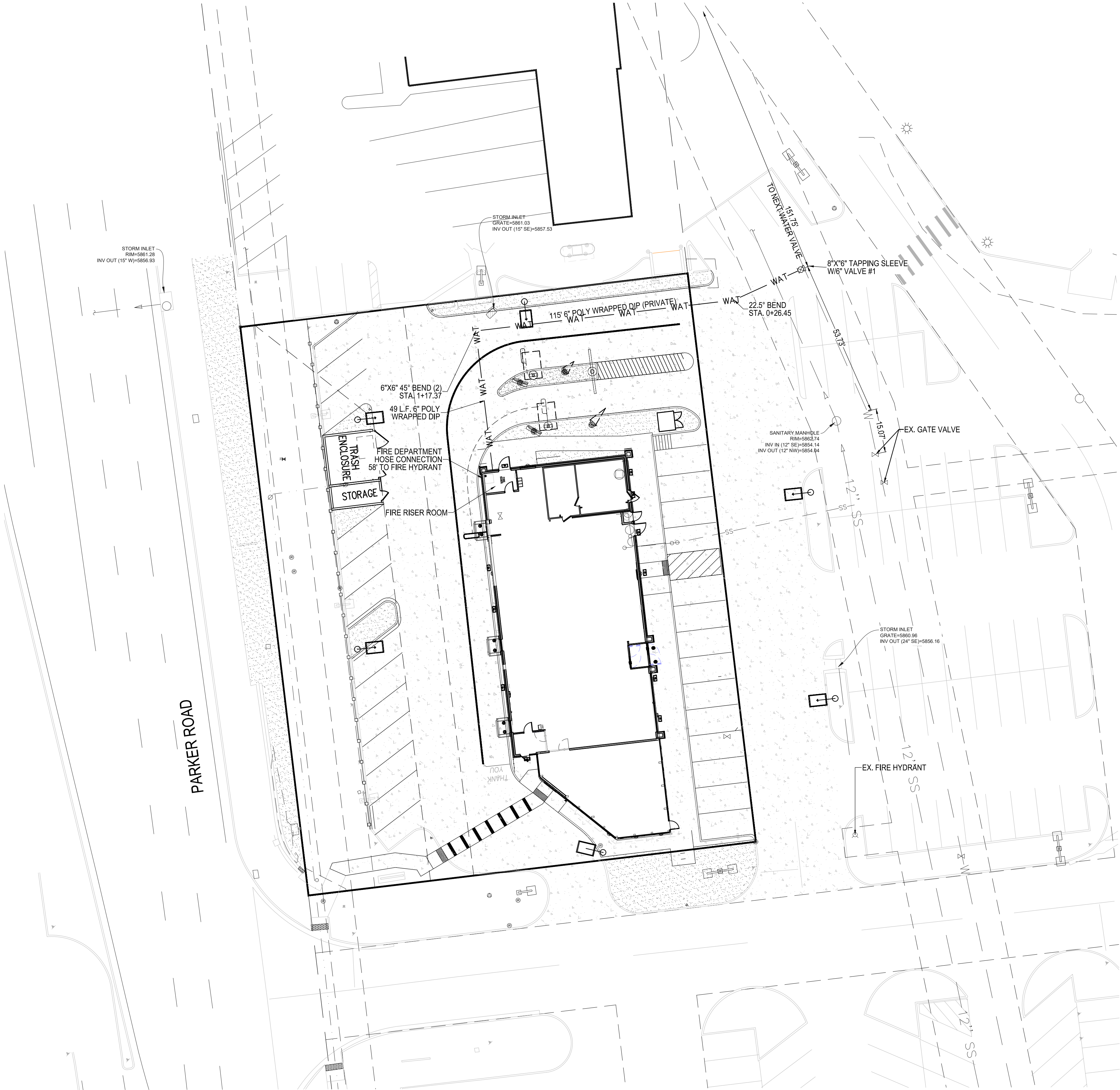
Know what's **below**.
Call before you dig.

C2.0

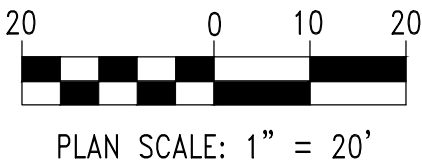
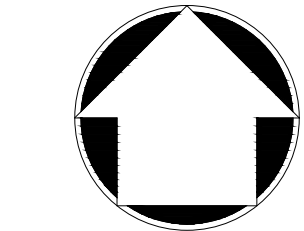
NO.		DATE		REVISION DESCRIPTION	
CIVIL ENGINEERING CONSULTANT					
 Strategic Land Solutions, Inc. 2595 PONDEROSA ROAD FRANKTOWN, CO 80116 720.384.7661 Phone palmer@strategicsolutions.net Robert J. Palmer, PE President					
PREPARED UNDER THE DIRECT SUPERVISION OF:					
SEAL:	COLORADO REGISTERED ROBERT J. PALMER 36320 PROFESSIONAL ENGINEER				
BY Robert J. Palmer, PE Licensed Professional Engineer (CO PE #36320), AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.					
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				ADDRESS	4643 S. ULLSTER STREET, SUITE 1300, DENVER, COLORADO 80237
STREET ADDRESS 10950 S. PARKER ROAD		CITY PARKER	STATE COLORADO	COUNTY DOUGLAS	STATE STORE ID#:
					50162
					NATIONAL ID#:
					7462
REGIONAL DMC. NO.		.			
SCALE: 1"=20'		MCD REC:		BOWMAN	
DATE: 03/20/2026		MCD P/C/M:		MANN	
DESIGNED BY: RJP					
DRAWN BY: RJP		FILE NAME:			
CHECKED BY: RJP		CURRENT.DWG			
SLS JUN. 14--001--47					
DRAWING TITLE:					
GRADING PLAN					

SITE DEVELOPMENT PLAN
MCDONALDS REMODEL AT PARKER CENTRAL AREA
FILING NO. 5, BLOCK 1, LOT 2

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD



WATER AND SEWER FOR
INFORMATION ONLY. ALL WATER
AND SEWER IMPROVEMENTS
SHALL BE PER THE PARKER WATER
AND SANITATION DISTRICT
APPROVED PLANS.



Know what's below.
Call before you dig.

NO.	DATE	REVISION DESCRIPTION
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CIVIL ENGINEERING CONSULTANT:

Strategic Land Solutions, Inc.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.384.7661 Phone
rpalmer@strategicsl.net
Robert J. Palmer, PE
President

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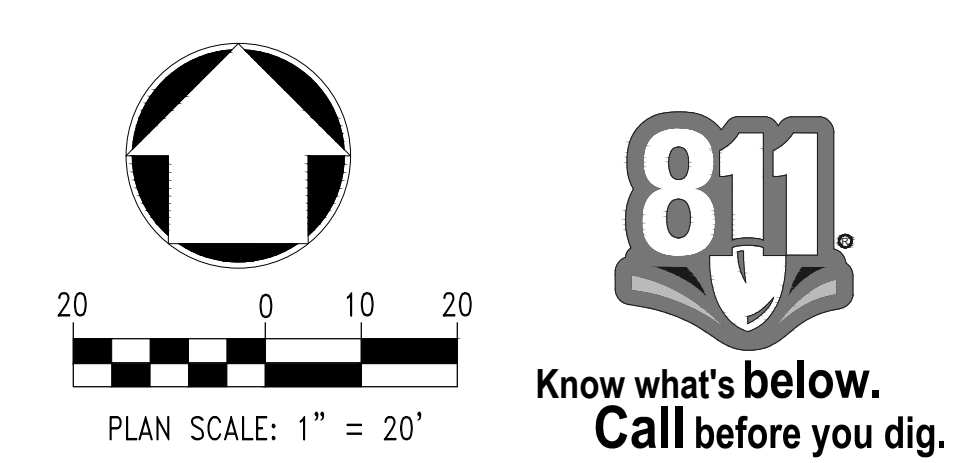
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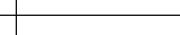
10950 S. PARKER ROAD	CITY	PARKER	STATE	COLORADO
	COUNTY	DOUGLAS		
	REGIONAL DWG. NO.		STATE DWG. I.D.#:	50162
			NATIONAL I.D.#:	7462

SCALE: 1"=20'	M&D RE: BOWAN
DATE: 03/20/2026	M&D P/C/M: MANN
DESIGNED BY: RJP	
DRAWN BY: RJP	FILE NAME: CURRENT.DWG
CHECKED BY: RJP	SLIS IN: 14-001-47

DRAWING TITLE:
UTILITY PLAN
SHEET NO:
C3.0

PARKER CENTRAL AREA FILING NO. 5, BLOCK 1, LOT 2, TOWN OF PARKER,
COUNTY OF DOUGLAS, STATE OF COLORADO.
ADDRESS: 10950 S. PARKER ROAD



Luminaire Schedule													
Symbol	Qty	Label	Arrangement	CCT	Color	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type	Luminaire Lumens	Manufacturer
	1	DB	Single	5,000 K	Dark Bronze	0.850	RAR-1-160L-100-5K7-2-BC-DB	90	0.607	21	SES-18-40-1-TA-GL-DB (4")	6944	Security Light Ratio 1
	5	AB	Single	5,000 K	Dark Bronze	0.850	RAR-2-480L-240-5K7-4W-BC-DB	226.9	0.607	21	SES-18-40-1-TA-GL-DB (4")	17668	Security Light Ratio 2
	8	F12G	Single	5,000 K	White	0.850	8542-5CCT-5000K	12.45		10.9		1029	Security Light Canopy
	4	L2	SINGLE	5,000 K	White	0.850	RWSC-36L-5K-DO-U-PS	14.4		10.9		1565	Security Light Radial Wall Sconce
	7	L2W	SINGLE	5,000 K	White	0.850	RWSC-36L-5K-DO-U-WH	14.4		10.9		1565	Security Light Radial Wall Sconce

[illegible]



EXTEND IRRIGATION FROM EXISTING SYSTEM TO NEW PLANTINGS.
VERIFY FUNCTIONALITY OF SYSTEM AND REPAIR/REPLACE ANY
DAMAGED OR MALFUNCTIONING COMPONENTS. TREES TO RECEIVE TWO 2.0 GPM
EMITTERS; SHRUBS TO RECEIVE TWO 1.0 GPH EMITTERS, PERENNIALS AND GRASSES TO
RECEIVE ONE 1.0 GPH EMITTER.

PLANT SCHEDULE				
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES				
	AG	1	ACER GRANDIDENTATUM / BIGTOOTH MAPLE	2" B&B
	MS	1	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	1.5" B&B MULTISTEM
	EXR	1	RELOCATE AS INDICATED / EXISTING TREE TO BE RELOCATED	EX
	EX-REM	1	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EXISTING
	EX-RET	9	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EXISTING
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
SHRUBS				
	AC	16	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL
	AMI	11	ARONIA MELANOCARPA 'IROQUIS BEAUTY' / DWARF CHOKEBERRY	5 GAL
	CMF	10	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL
	JC	5	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA' / COMPACTA PFITZER JUNIPER	5 GAL
	JHH	2	JUNIPERUS HORIZONTALIS 'HUGHES' / CREEPING JUNIPER	5 GAL
	JMG	4	JUNIPERUS SCOPULORUM 'MOONGLOW' / UPRIGHT JUNIPER	10 GAL
	POL	14	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL
	POF	9	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / POTENTILLA	5 GAL
	ESTR	28	TO REMAIN / EXISTING SHRUB	EX
GRASSES				
	BB	10	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL
	CAC	50	CALAMAGROSTIS X ACUTIFLORA / FEATHER REED GRASS	1 GAL
	SW	12	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL
PERENNIALS				
	AQ	6	AQUILEGIA CHRYSANTHA / GOLDEN COLUMBINE	1 GAL
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
GROUND COVERS				
	EX-RS	3,692 SF	EX LANDSCAPE - SHRUB BED / TO REMAIN	EXISTING
	EX-RES	5,509 SF	EX TURF TO REMAIN / EXISTING IRRIGATED TURF	EXISTING
MULCHES				
	RM	4,204 SF	ROCK MULCH / RIVER ROCK 1"-2"	MULCH

ANY EXISTING TREES TO REMAIN THAT EXPERIENCE MORTALITY DUE TO CONSTRUCTION SHALL
BE REPLACED WITH SIMILAR SIZE AND SPECIES

REFERENCE NOTES SCHEDULE		
CODE	DESCRIPTION	QTY
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).	
2	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
32 LANDSCAPE IMPROVEMENTS		
32-01	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	365 LF

NOTE:
ANY PLANTS THAT ARE NOT MAINTAINED SHALL BE
REPLACED

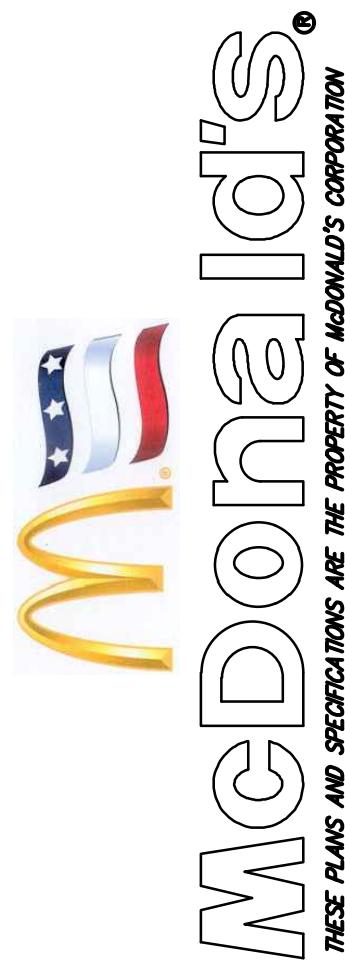
SITE CATEGORY REQUIREMENTS				
OVERALL LANDSCAPE Site Area = 30,535 SF 4,580 SF Required				
Total Landscape Area Required (15%) 4,580 sf	Total Landscape Area Provided - On-Site 8996 (29%)	Trees Req / Provided (Min 25 (11500 sf req) 18 / 18	Shrubs Req / Provided (35500 sf req) 91 8 + 10 existing	Evergreen Lsp (Min 25, max 50%) 37% 33 eg / 31 total = .45
Plant Coverage Req / Prov 75% / 79% 6747 / 7125				
PARKING LOT PERIMETER				
Parking Spaces Provided / Area 28	Parking Island Tree Required / Provided 1 / 1	Parking Island Shrub Required / Provided 20 / 20	Parking Island Area Req / Prov 340 / 361	
PARKING LOT INTERIOR				
Parking Spaces Provided / Area 26	Parking Lot Perimeter Width Provided 10'	Parking Lot Perimeter Screening Provided Mixed Shrub Bed	Parking Lot Perimeter Shrubs + Grasses Mixed Shrub Bed	
RIGHT OF WAY LANDSCAPING Enhanced landscape area: 1,800 sf; 35 large shrubs; 10 large grasses. no trees (utility conflict); 210 lf + 35 shrubs required / provided				
Frontage S Parker Rd 210	Length (LF) 7 / 0*	Trees Req / Prov 1800 sf	Enhanced Landscaping Trees + Shrubs Trees = 0 (OHE Conflict) 35 Shrubs + 10 Grasses	
*OVERHEAD ELECTRIC SEPARATION REQUIREMENTS PRECLUDE STREET TREE PLANTING				
SITE PERIMETER LANDSCAPE				
Frontage S Parker Rd	Length (LF) 210	Shrubs Req / Prov 28 / 28	Trees Req / Prov 6 / 6 (4 existing)	Evergreen Trees (Min 25%) 2 - existing (33%)

ALL TREES SHALL BE PLACED A MINIMUM 10 FEET AWAY FROM WATER,
SANITARY AND STORM SEWERS AND ALL SHRUBS SHALL BE PLACED A
MINIMUM OF 5 FEET AWAY FROM WATER, SANITARY, AND STORM
SEWERS. NO MATERIAL WITHIN 3' OF A FIRE HYDRANT



NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning · Irrigation Design
5539 Colt Drive, Longmont, CO 80503
(303) 443-0388 · neil@ndscolorado.com

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SCALE:	1"=20'	DESIGNED BY:	JRO	DRAWN BY:	JRO	CHECKED BY:	NAM	FILE NAME:	CURRENT.DWG	DRIVING TITLE:			
LANDSCAPE PLAN										SHEET NO:			LS1.0



PLANT LEGEND

SYMBOL	QTY	BOTANICAL / COMMON NAME
TREES		
	1	RELOCATE AS INDICATED / EXISTING TREE TO BE RELOCATED
	1	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED
	9	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN

TREE MITIGATION CHART					
TREE #	SPECIES	DIAMETER INCHES	MITIGATION VALUE	COMMENTS	MITIGATION INCHES
1	Prunus	4	n/a	Relocate	-
2	Fraxinus	12	n/a	Preserve	-
3	Picea	12	n/a	Preserve	-
4	Picea	12	n/a	Preserve	-
5	Fraxinus	12	n/a	Preserve	-
6	Fraxinus	10	n/a	Remove	-
7	Fraxinus	10	n/a	Preserve	-
8	Fraxinus	12	n/a	Preserve	-
9	Fraxinus	9	n/a	Preserve	-
10	Fraxinus	9	n/a	Preserve	-
11	Fraxinus	9	n/a	Preserve	-
Total		111	\$ -		0

MITIGATION CHART ONLY SHOWS ON-SITE TREES IMPACTED BY DEVELOPMENT PROPOSAL



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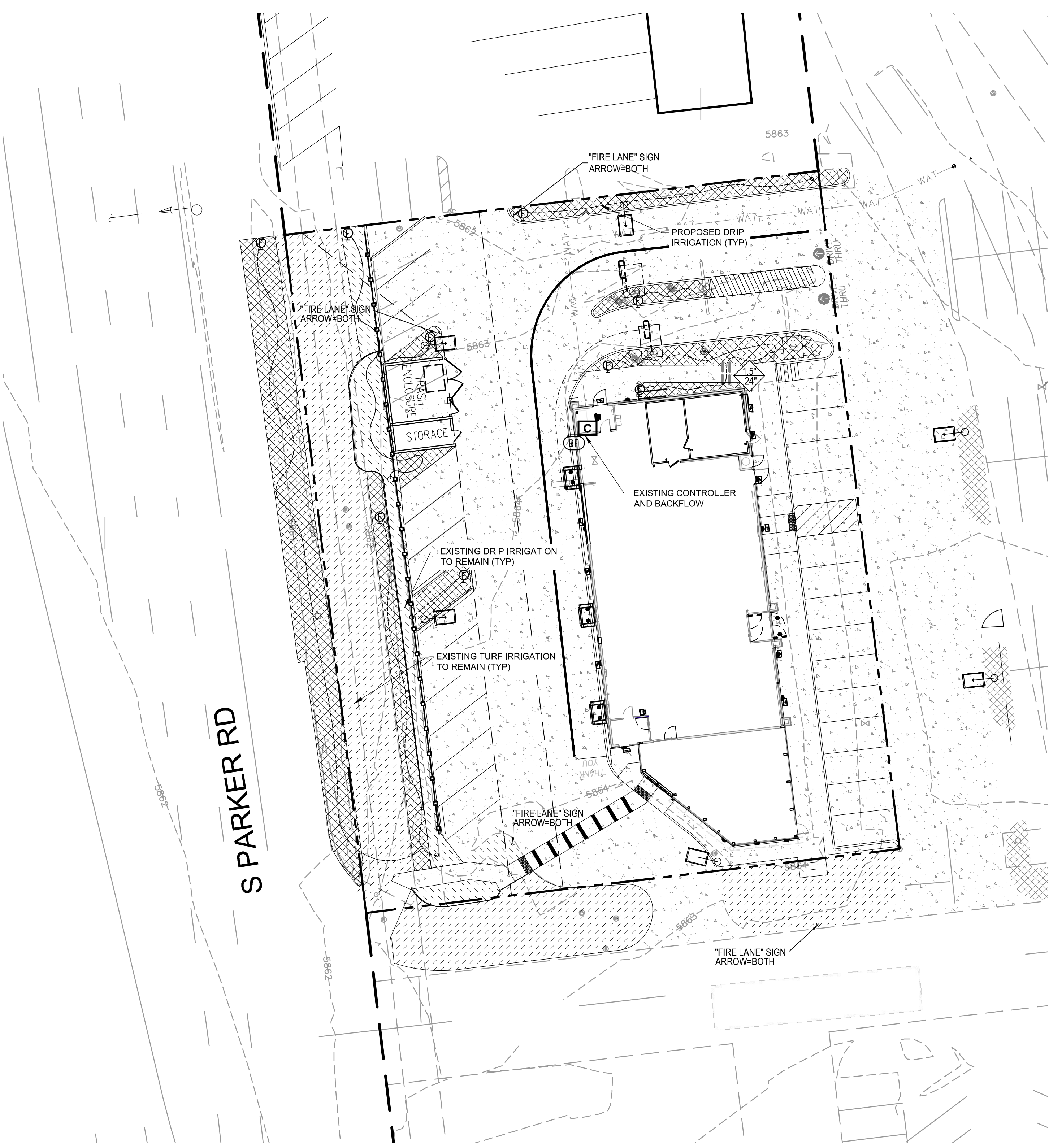
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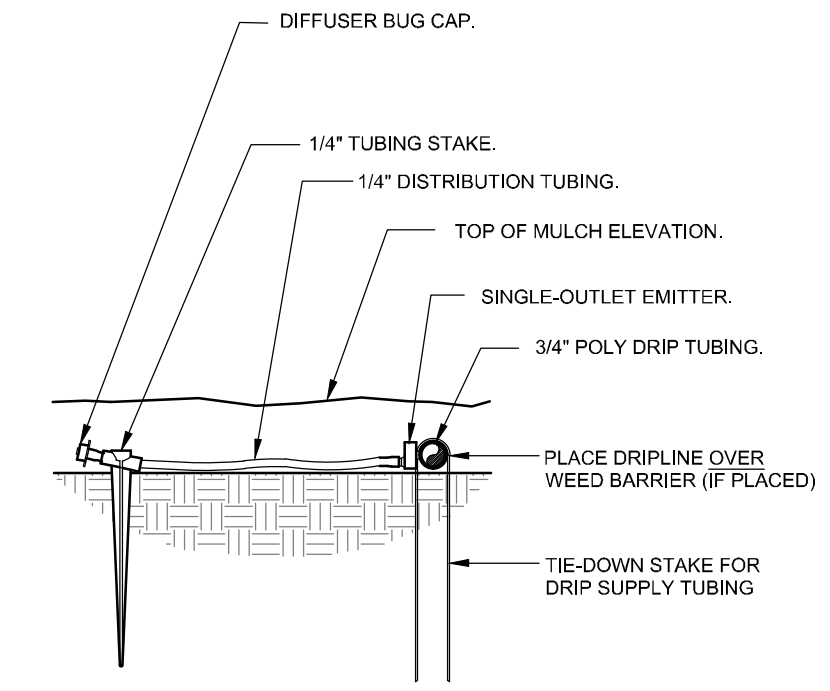
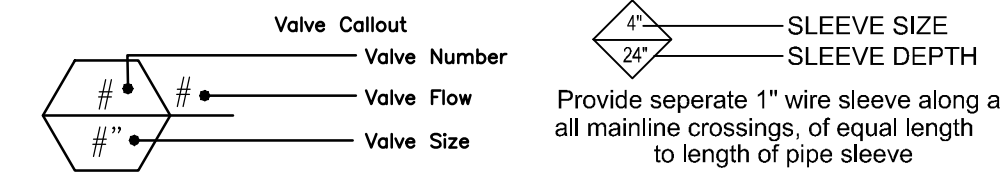
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REGIONAL DMC NO.		SITE STORE DMC		NATIONAL DMC	
.		50162		7462	
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DATE: 03/20/2026		MCD P/C: MANN			
DESIGNED BY: JRO		FILE NAME: CURRENT.DWG			
DRAWN BY: JRO		SLS JN: 14-001-67			
CHECKED BY: NAM		DRAWING TITLE: TREE CONSERVATION PLAN			
SHEET NO:		LS1.1			



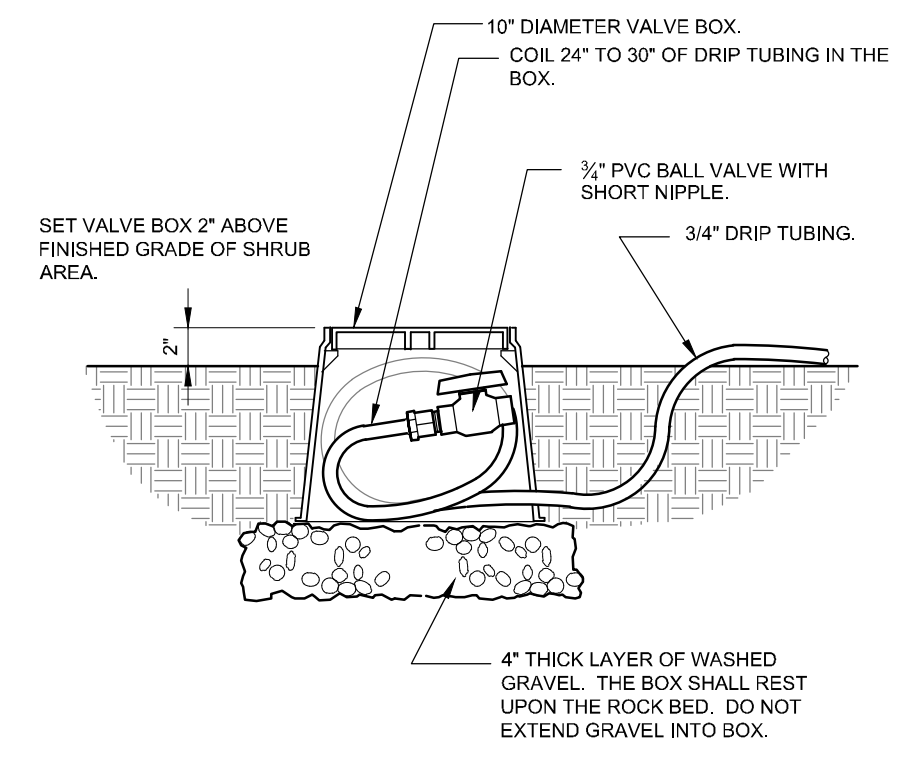
IRRIGATION PLAN
SCALE: 1" = 20'

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY
	EXISTING DRIP AREAS EXISTING DRIP IRRIGATION TO REMAIN.	
	EXISTING TURF SPRAY TO REMAIN - PROTECT IN PLACE. REPAIR OR REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS AND VERIFY PROPER COVERAGE.	
	PROPOSED DRIP AREAS EXTEND IRRIGATION FROM EXISTING DRIP ZONES. MODIFY LAYOUT AS NECESSITATED. VERIFY PROPER FUNCTIONALITY AND REPLACE ANY DAMAGED OR MALFUNCTIONING COMPONENTS.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	8
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	FEBCO 825YA 3/4" REDUCED PRESSURE BACKFLOW PREVENTER	1
	RAIN BIRD ESP4-SMTEI WITH (1) ESP-SM3 7 STATION INDOOR SMART MODULAR CONTROL SYSTEM FOR RESIDENTIAL AND LIGHT COMMERCIAL USE. WALL MOUNT. TIPPING BUCKET RAIN SENSOR THAT MEASURES RAINFALL.	1
	PIPE SLEEVE: PVC SCHEDULE 40 PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM 2X PIPE DIAMETER UNLESS OTHERWISE NOTED. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	6.0 LF



1 DRIP EMITTER DETAIL
3" = 1'-0" 32 8413.13-03



2 DRIP FLUSH VALVE
1 1/2" = 1'-0" 32 8413.49-03

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CHECKED BY: NAM					
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IRRIGATION PLAN					
SHEET NO:					
IRR1.0					

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- ALL AREAS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH, UNLESS NOTED OTHERWISE.

TREES IN COBBLE/ROCK MULCH, SOD AND SEEDED AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH RING, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH SOD AND SEEDED AREAS TO RECEIVE A WOOD MULCH RING AT 2X DIAMETER OF ROOT BALL, 3" DEPTH. NO FABRIC UNDERLAYMENT IN WOOD MULCH RINGS.

Diagram illustrating the components and specifications for a tree in a root ball:

- USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CAL.
- ROOT COLLAR VISIBLE TOP MOST ROOTS WITHIN 1"-2" OF EXISTING/ FINAL GRADE
- 2"-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM TRUNK
- EXISTING GRADE
- BACKFILL WITH UNAMENDED TOPSOIL FROM HOLE
- BURLAP, ROPE, AND WIRE REMOVED FROM TOP 2/3 OF ROOT BALL AT MINIMUM
- ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
- NOTE: BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED
- PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING
- USE GROMMETED TREE STRAPS AT END OF WIRE
- 12 GAUGE GALVANIZED WIRE
- 24" x 3/4" P.V.C. HARBERS (TYPICAL) OVER WIRES.
- TREATED WOOD POST USE 2 GUY ASSEMBLIES FOR TREES UNDER 3".
- SLOPE SIDE HOLE IS 3 TIMES AS WIDE AS THE ROOT BALL DIA.

- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots to the root ball to the bottom of the root ball or below for setting. Do not disturb soil below of planting holes, but do score the sides of the planting hole. The planting area will be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of peating on site topsoil – no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar visible above shade grade AND two or more structural roots located within the top 10" to 20" of the root ball (finished grade measured 3" to 6" from trunk). This includes trees that are on steep slopes (see slope planting diagram). If a tree is planted on a slope, the root collar shall be visible above shade grade.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing the tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At minimum, the top 25% of the burlap and basket shall be removed from the root ball on all trees. Remove all nail ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (swoyer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside suucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is not to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Re-setting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

10. SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLIANT TYPE APPLICATOR AND APPLY "SOIL GUARD" BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER). ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 3:1 AND FLAT. FOR AREAS WITH 1:1 SLOPES OR GREATER, CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH). CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
11. REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
12. CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
13. ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2" MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP. 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!)
14. STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
15. CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
16. ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
17. ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AND THE COLORADO NURSERY ACT.
18. CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE INSPECTIONS. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

LOOSEN OR SCORE SIDES OF ROOTBALL

NOTES:
- BACKFILL AND WATER-IN THOROUGHLY
- BROKEN ROOTBALLS WILL BE REJECTED

19. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.
20. MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT INCLUDING ANNUAL BEDS. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

EXISTING TREES
EXISTING TREES DESIGNATED ON PLANS AS "TO REMAIN", OR MARKED FOR PROTECTION AND PRESERVATION IN THE FIELD, SHALL NOT BE REMOVED OR DAMAGED.

NO GRADING TO OCCUR WITHIN THE CRITICAL ROOT ZONE / DRIP LINE OF EXISTING TREES. ALL GRADING AROUND EXISTING TREES TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERECTED AT A HEIGHT OF 3' OR GREATER, FENCING TO BE SUPPORTED BY STURDY STOCK, CAPABLE OF SUPPORTING FENCING UNTIL ALL CONSTRUCTION OPERATIONS ARE COMPLETED. PLACE NO CLOSER THAN 6' FROM TRUNK, OR ONE HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. WITHIN THE PROTECTED ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, WASTE, DEBRIS, OR FILL, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID SUCH. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE ROOTS HAVE A CHANCE TO DRY OUT, AND THOROUGHLY WATER THE TREE IMMEDIATELY.

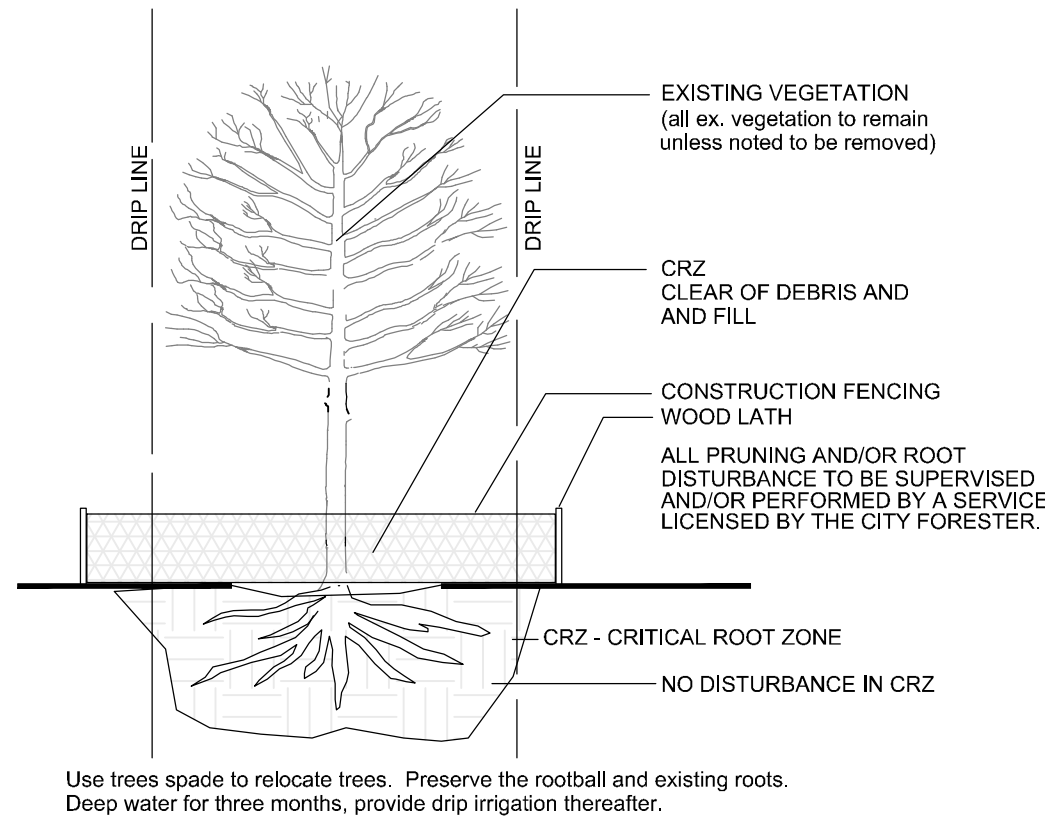
PROTECTIVE FENCING:

FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES. FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS.

WATERING, MULCHING, AND FERTILIZATION:

PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGEN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.F. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE).



EXISTING TREE PROTECTION DETAIL

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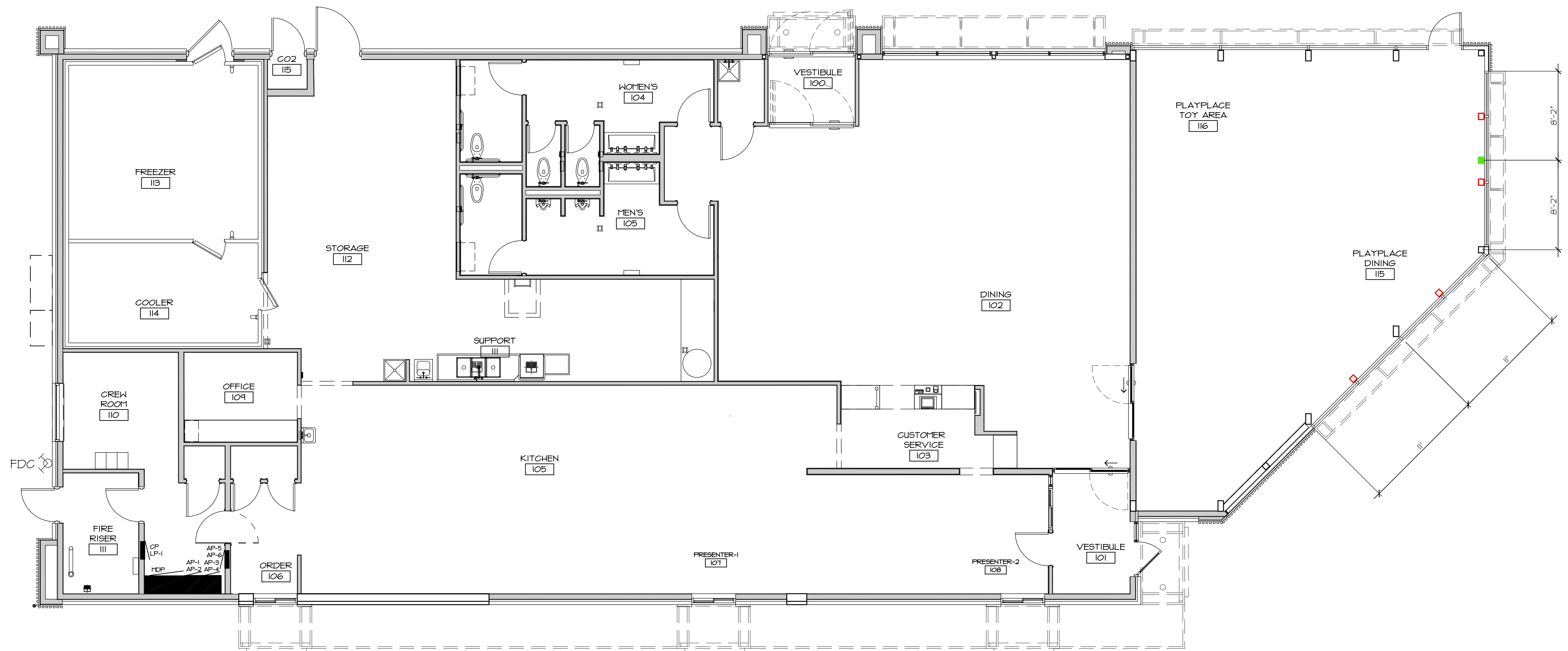
Diagram illustrating the components and specifications for a tree planting pit:

- USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CAL.
- ROTOR COLLAR VISIBLE TOP MOST ROOTS WITHIN 1" - 2" OF EXISTING / FINAL GRADE
- 2"-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM TRUNK
- EXISTING GRADE
- BACKFILL WITH UNAMENDED TOPSOIL FROM HOLE
- BURLAP, ROPE, AND WIRE REMOVED FROM TOP 2/3 OF ROOT BALL AT MINIMUM
- ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
- NOTE: BROKEN OR CRUMBLING ROOT BALLS WILL BE REJECTED
- PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING
- USE GROMMETED NYLON TREE STRAPS AT END OF WIRE
- 12 GAUGE GALVANIZED WIRE
- 24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- TREATED WOOD POST USE 3 GUY ASSEMBLIES FOR TREES UNDER 3"
- UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE
- EXISTING GRADE
- SLOPE SIDED HOLE IS 3 TIMES AS WIDE AS THE ROOT BALL

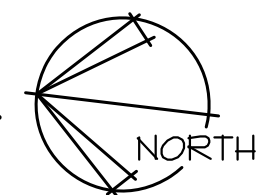


NDS
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Land Planning · Irrigation Design
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(303) 443-0388 · neil@ndscolorado.com

[illegible]



FLOOR PLAN
SCALE : 3/16" = 1'-0"



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PREPARED FOR:
McDonalds
STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

McDonalds Corporation
4643 S. Ulster Street
Suite 1300
Denver, CO 80111

ISSUE DATE

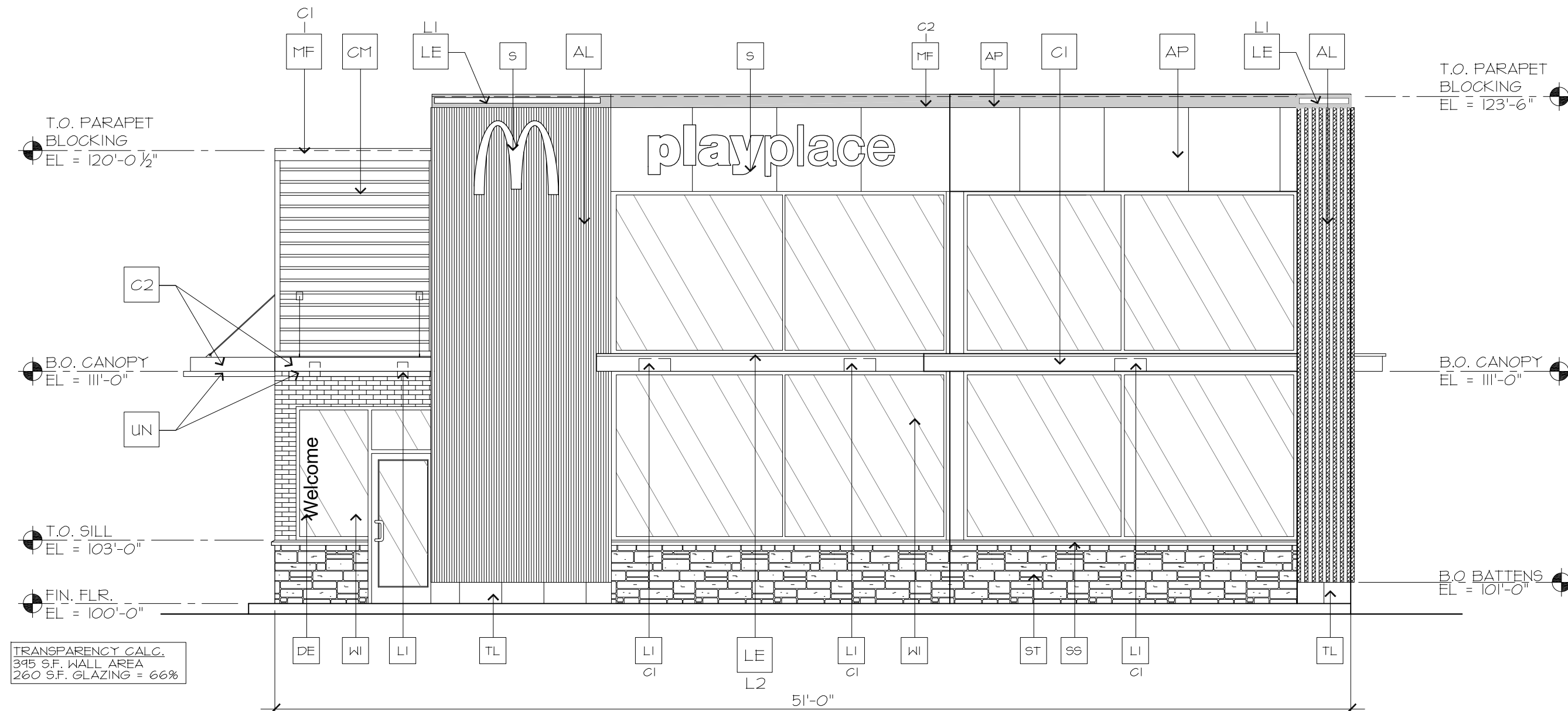
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FLOOR PLAN

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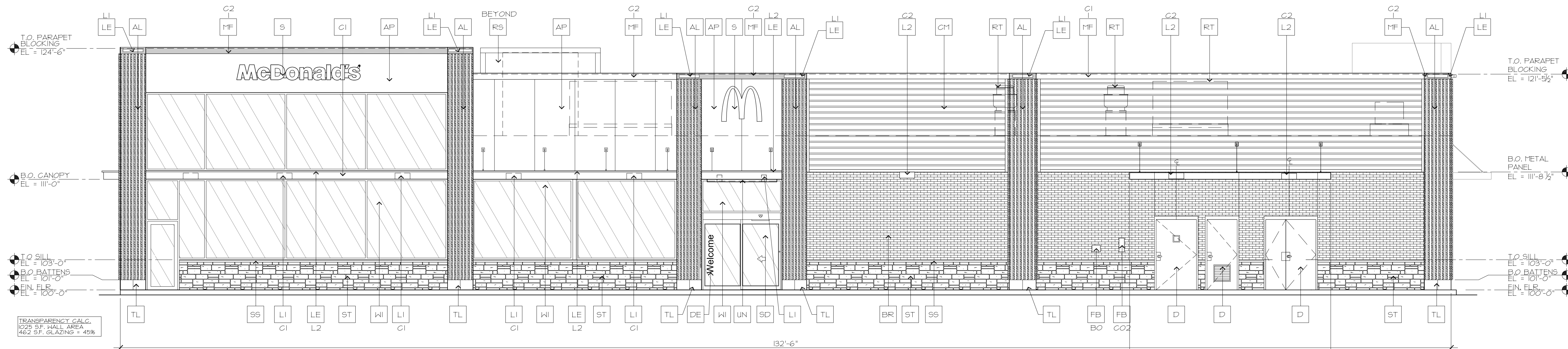
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NOTE:
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PERMIT REVIEW / APPROVAL

FINISH MATERIAL CALCULATIONS	
SOUTH ELEVATION TOTAL WALL AREA = 1200 S.F.	
STONE	= 115 S.F. (9.5%)
BRICK	= 20 S.F. (1.5%)
STOREFRONT	= 561 S.F. (46.7%)
WOOD BATTENS	= 305 S.F. (25.4%)
METAL ACCENTS	= 199 S.F. (16.9%)
EAST ELEVATION TOTAL WALL AREA = 2840 S.F.	
STONE	= 282 S.F. (9.9%)
BRICK	= 465 S.F. (15.8%)
STOREFRONT	= 697 S.F. (23.7%)
WOOD BATTENS	= 320 S.F. (10.8%)
METAL ACCENTS	= 1176 S.F. (40.2%)

1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES:

- AL** ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRILL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 1069 BY SHERWIN WILLIAMS
ALPOLIC METAL PANEL (COLOR: RAL 1022)
- AP** ALPOLIC METAL PANEL (COLOR: RAL 1022)
- BR** BRAKE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
- BT** MODULAR FACE BRICK
BI = COLOR:
BI = "ONYX" GRAIN, BY SUMMIT BRICK
- C1** ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2** ALUMINUM CANOPY SYSTEM
COLOR: RAL 1022
- C3** ALUMINUM CANOPY TIEBACK
COLOR: RAL 1022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS

- CJ** CONTROL JOINT
I - TYPE: I = ALPOLIC
- CM** 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1 = COLOR:
C1 = WEATHERED ZINC
- D** HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-1011 BY SHERWIN WILLIAMS
- DE** DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-1331, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ** EXPANSION JOINT
- FB** FILL BOX
C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 100.18)
- GR** GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 1069 BY SHERWIN WILLIAMS
- LI** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD

- L2** RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1 = COLOR:
C1 = WHITE
C2 = MATCH RAL 1022
- LE** ACCENT LIGHTING - SEE ELECTRICAL
L1 = LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF** METAL FASCIA
C1 = TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)
C2 = RAL 1022 (FLAT FACTORY FINISHED)

- NB** 4400 SERIES KNOX BOX, MOUNTED 5'-6" AFF, LOCATED ADJACENT TO FIRE RISER ROOM. VERIFY WITH FIRE MARSHAL

- PT** (R/MC) GIN COLLECTOR
MODEL: #MPT STD CALL 1-888-143-1435 TO ORDER
- RO** ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- RS** ROOF-TOP EQUIPMENT SCREEN (BEYOND). COLOR TO MATCH ALPOLIC METAL PANEL COLOR RAL 1022
- RT** ROOF-TOP EQUIPMENT
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1 = COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 1022 RACEWAY
- SD** NEW SLIDING DOOR - STANLEY DURA-GLIDE SERIES 3000

- SS** STONE SILL, TELLURIDE STONE OKLAHOMA BLUE SILL, 2.5-3"x2.5-3"x24"
- ST** STONE VENEER, TELLURIDE STONE SAWN THIN VENEER, HERITAGE BILTMORE DIMENSIONAL

- TL** TILE OVER 1/2" CEMENT BOARD
C1 = C1 = EUROHEST ABSOLUTE BLACK 6"x24", GROUT: MAPEI 41 CHARCOAL
- W1** EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
FRAME COLOR: DARK BRONZE
- W2** DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3** EXTERIOR WINDOW ASSEMBLY - TEMPERED CLEAR GLASS & METAL PANEL MOUNTED AT INTERIOR
SHEATHING
FRAME COLOR: DARK BRONZE
- UN** METAL UNDERSCORE
COLOR: GOLD

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PREPARED FOR:
McDonald's
STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

McDonald's Corporation
110 N. Carpenter St.
Chicago, IL 60607

ISSUE DATE

PROJECT # 0826

DRAWN BY: CS

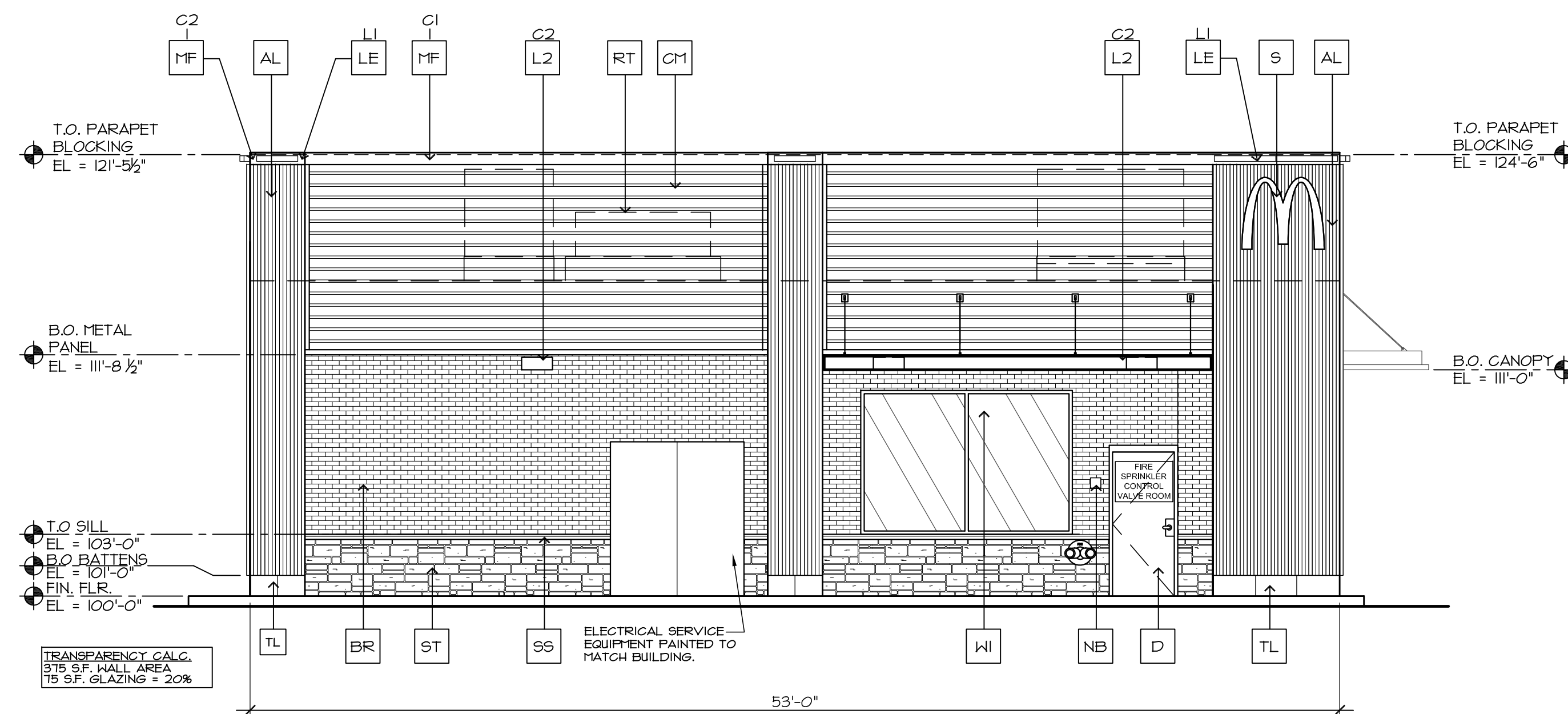
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EXTERIOR
ELEVATIONS

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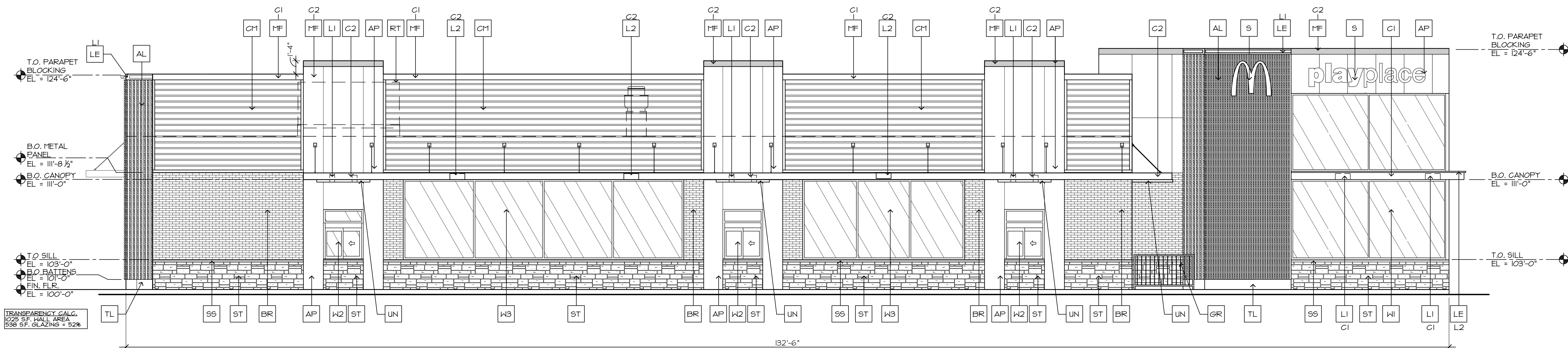
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NOTE:
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FINISH MATERIAL CALCULATIONS	
NORTH ELEVATION TOTAL WALL AREA = 1140 S.F.	
STONE	= 130 S.F. (11.4%)
BRICK	= 360 S.F. (31.6%)
STOREFRONT	= 75 S.F. (6.6%)
WOOD BATTENS	= 230 S.F. (20.1%)
METAL ACCENTS	= 345 S.F. (30.3%)
WEST ELEVATION TOTAL WALL AREA = 2980 S.F.	
STONE	= 326 S.F. (11%)
BRICK VENEER	= 293 S.F. (10%)
STOREFRONT	= 250 S.F. (8.4%)
WOOD BATTENS	= 320 S.F. (10.7%)
METAL ACCENTS	= 1791 S.F. (60%)

1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES:

- AL** ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRILL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.
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BI = "ONTX" GRAIN, BY SUMMIT BRICK
- C1** ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
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COLOR: RAL 1022
- C3** ALUMINUM CANOPY TIEBACK
COLOR: RAL 1022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS

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CI - COLOR:
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- D** HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-1011 BY SHERWIN WILLIAMS
- DE** DECAL BY GRAPHICS SUPPLIER
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C02 - C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 100.18)
- GR** GUARD RAIL - SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 1069 BY SHERWIN WILLIAMS
- LI** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD

- L2** RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
CI - COLOR:
C1 = WHITE
C2 = MATCH RAL 1022
- LE** ACCENT LIGHTING - SEE ELECTRICAL
LI - LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF** METAL FASCIA
CI - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
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- TL** TILE OVER 1/2" CEMENT BOARD
CI - CI = EUROHEST ABSOLUTE BLACK 6"x24", GROUT: MAPEI 41 CHARCOAL
- WI** EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
FRAME COLOR: DARK BRONZE
- W2** DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE
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SLIDE DIRECTION: RL = RIGHT TO LEFT
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COLOR: GOLD

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PREPARED FOR:
McDonald's
STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

McDonald's Corporation
110 N. Carpenter St.
Chicago, IL 60607

ISSUE DATE

PROJECT #: 0826

DRAWN BY: CS

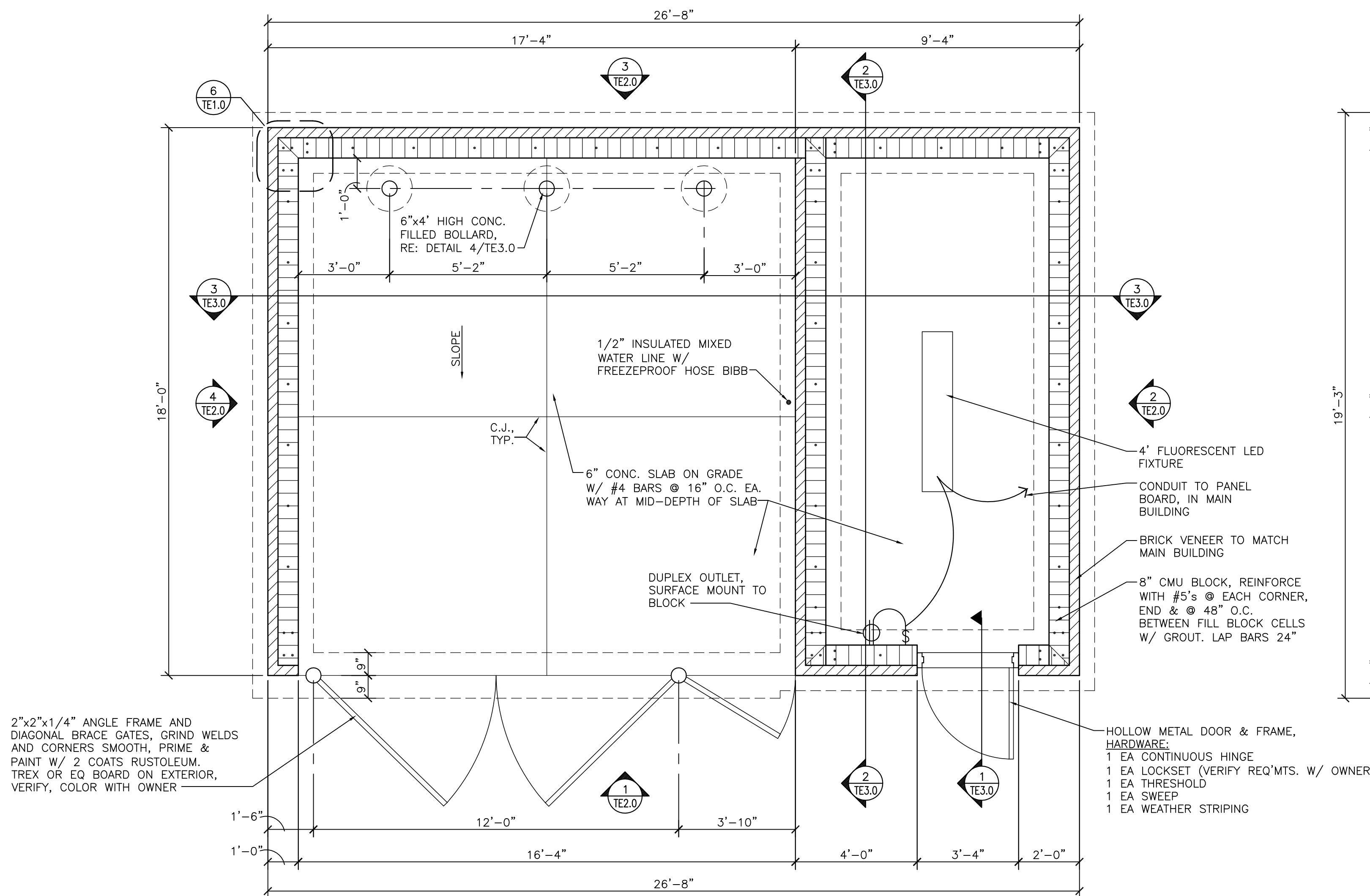
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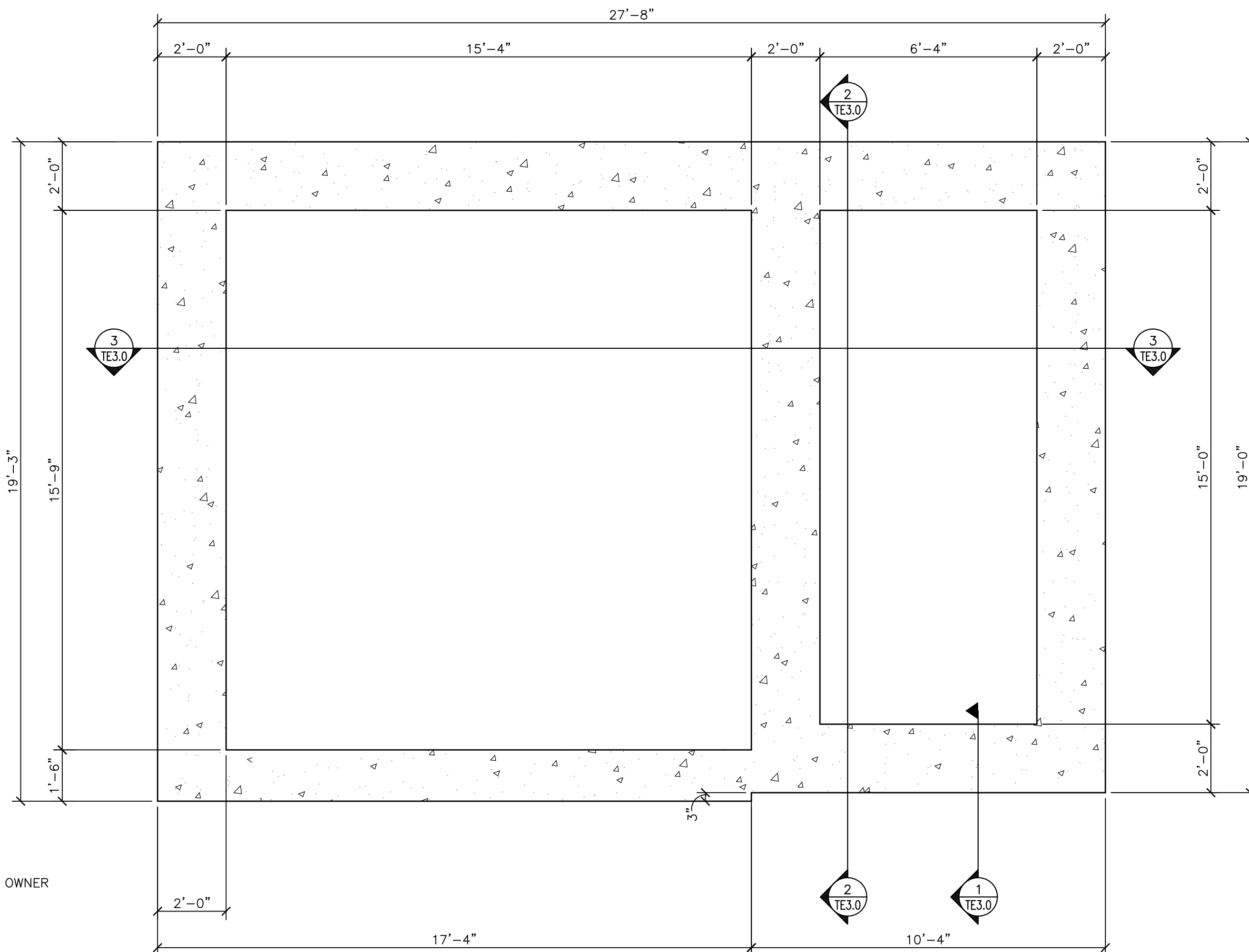
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ELEVATIONS

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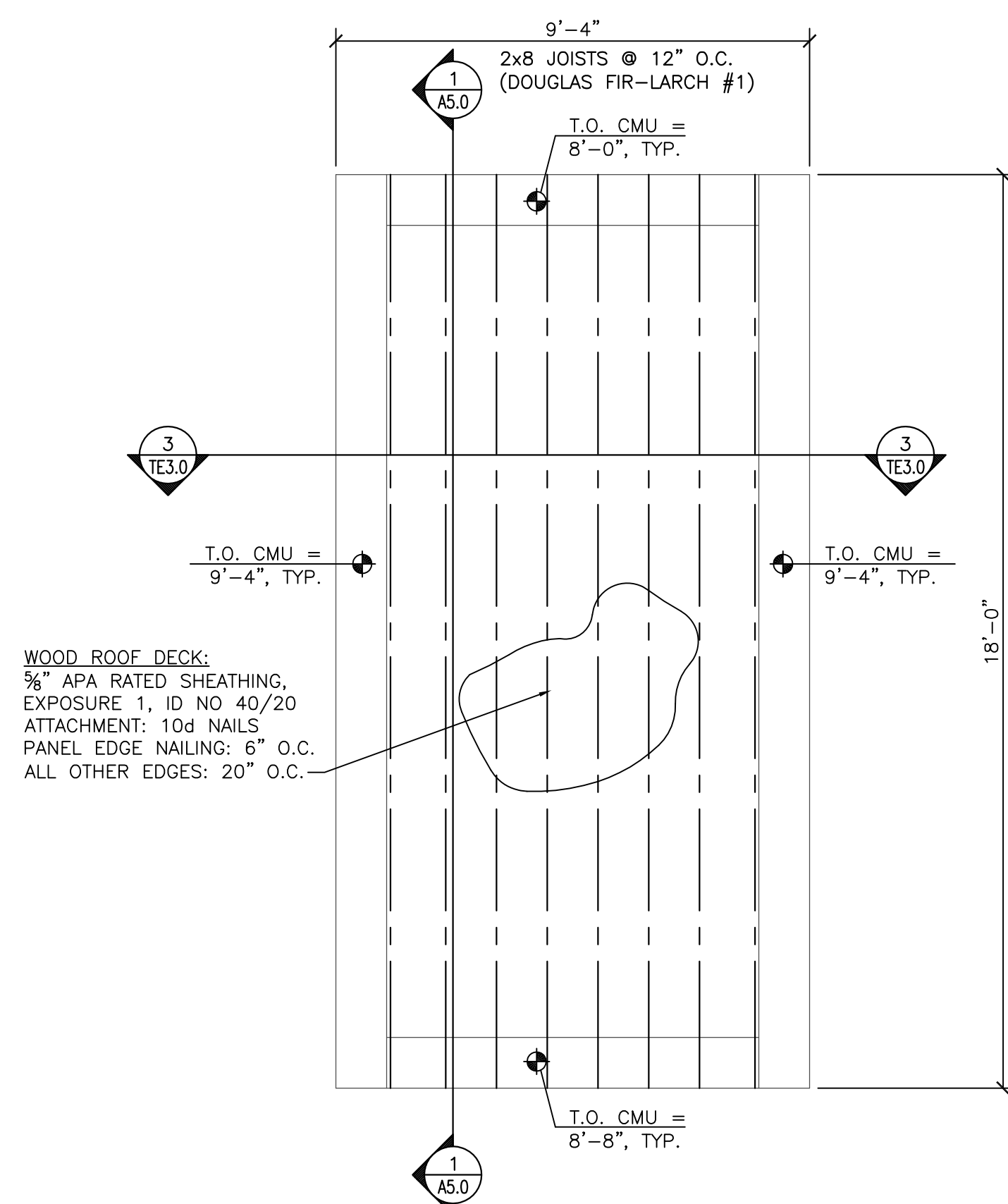
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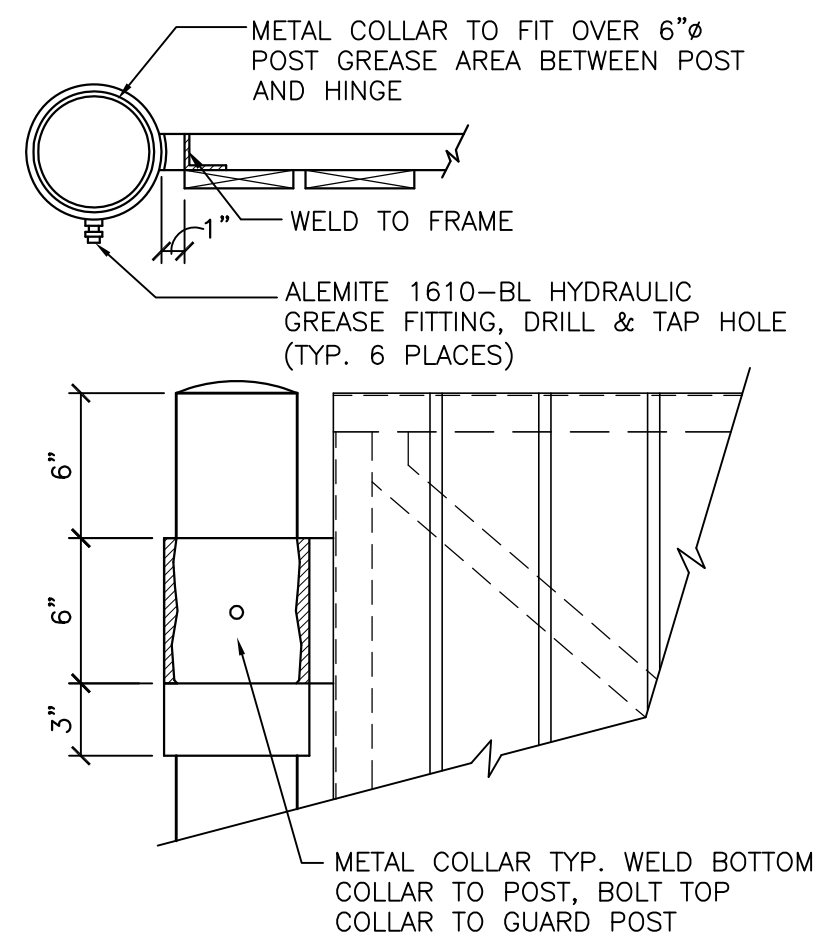
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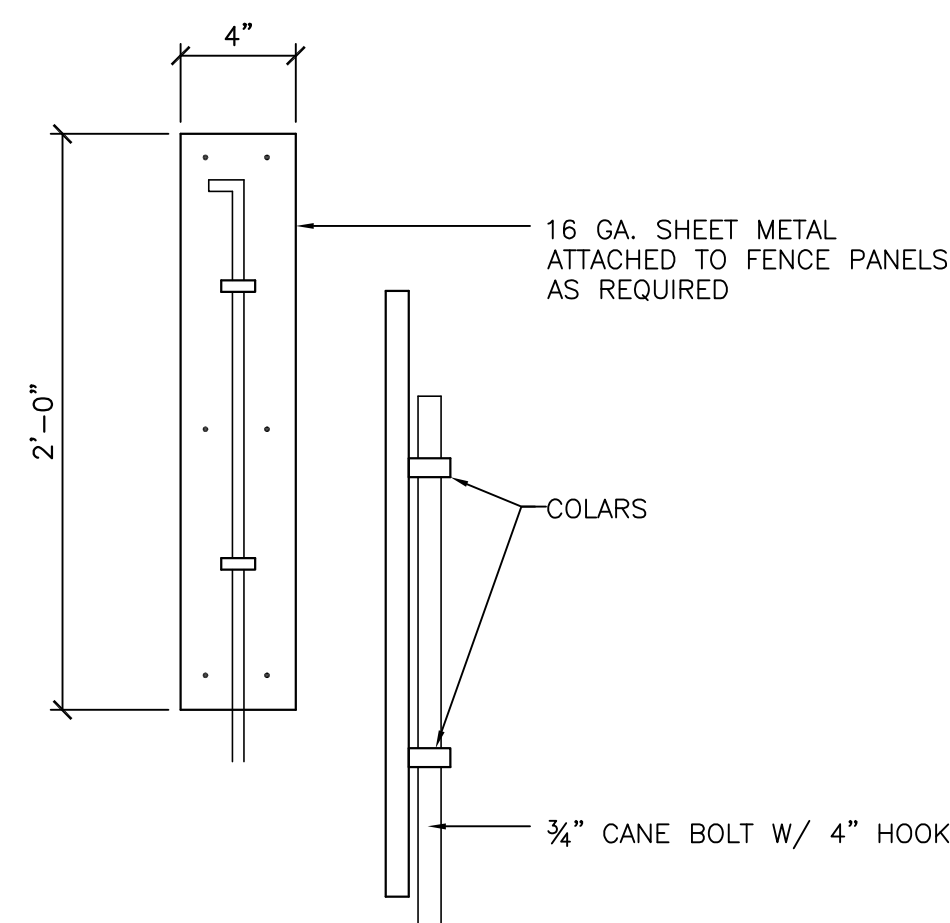
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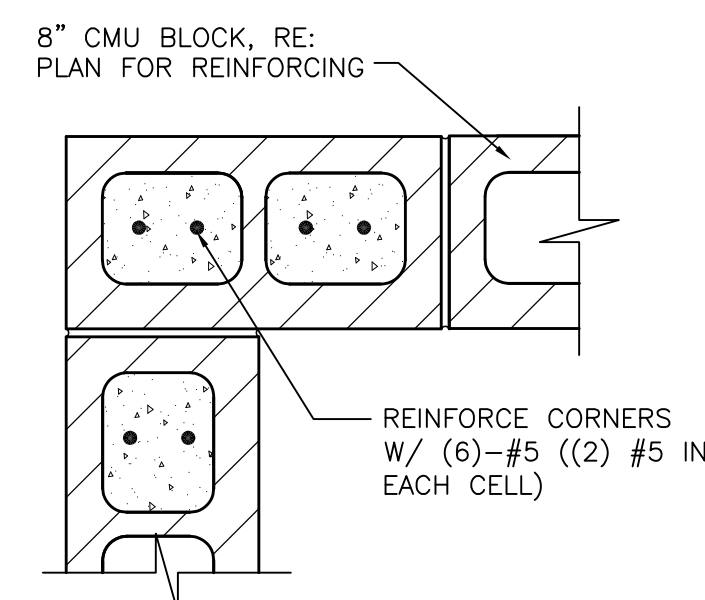
3 STORAGE AREA ROOF FRAMING PLAN
 SCALE: 3/8"=1'-0"



4 GATE HINGE DETAIL
 SCALE: 1 1/2" = 1'-0"



5 CAN BOLT DETAIL
 SCALE: 1 1/2" = 1'-0"



6 CMU CORNER DETAIL
 SCALE: 1 1/2" = 1'-0"



Arris Architecture, LLC
285 Commander Dr.
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STORE #005-0162
10950 S. PARKER ROAD
PARKER, COLORADO

McDonald's Corporation
110 N. Carpenter St.
Chicago, IL 60607

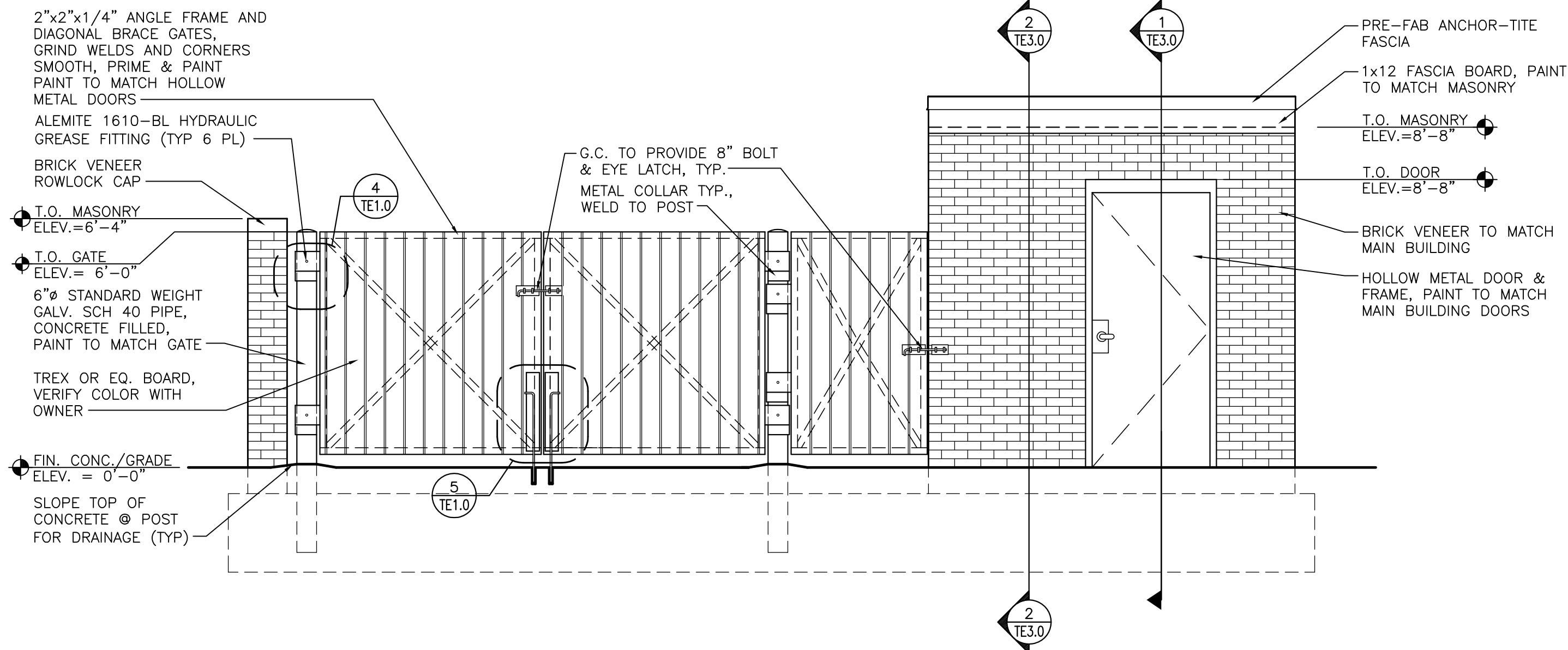
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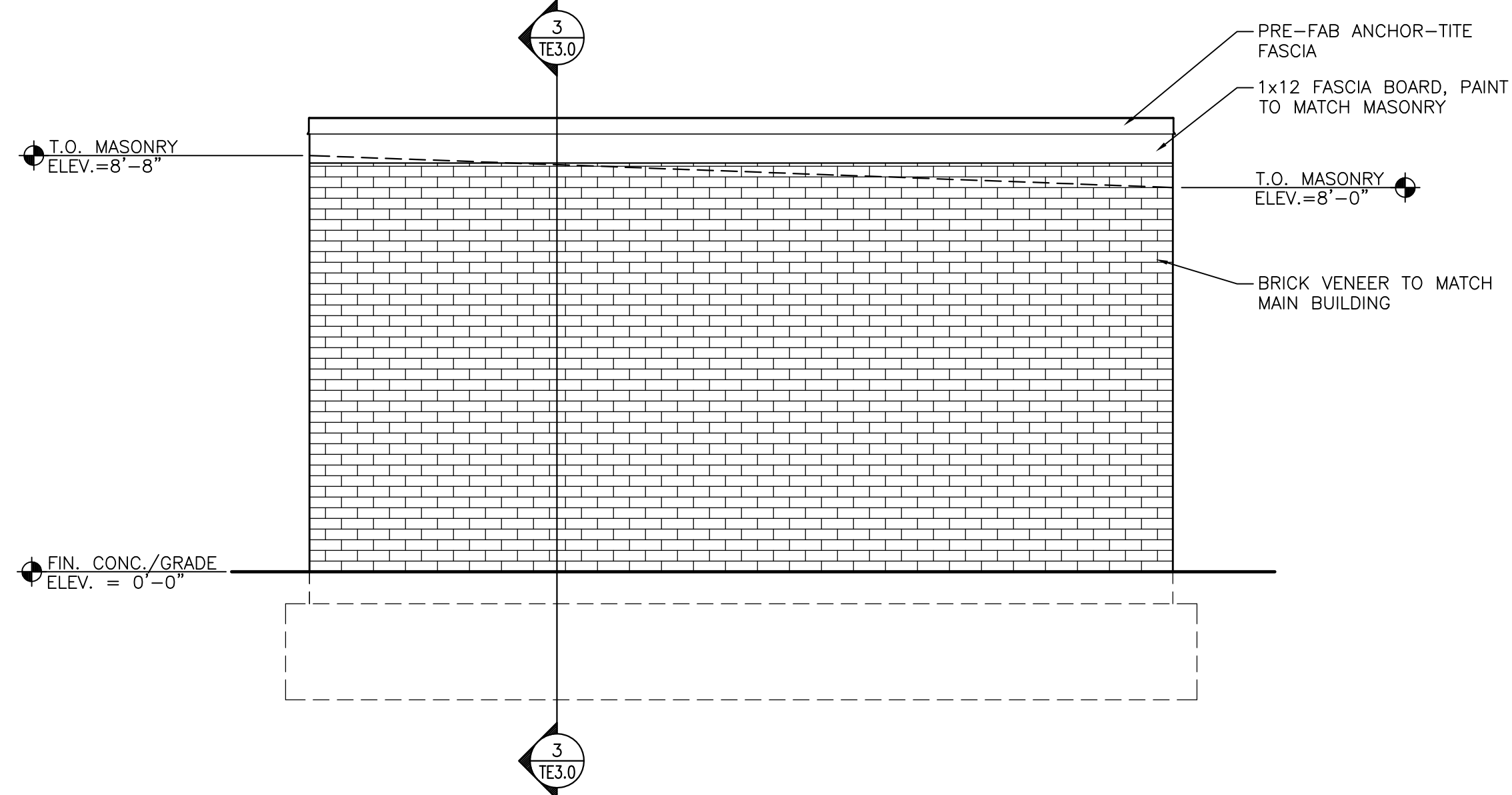
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ELEVATIONS**

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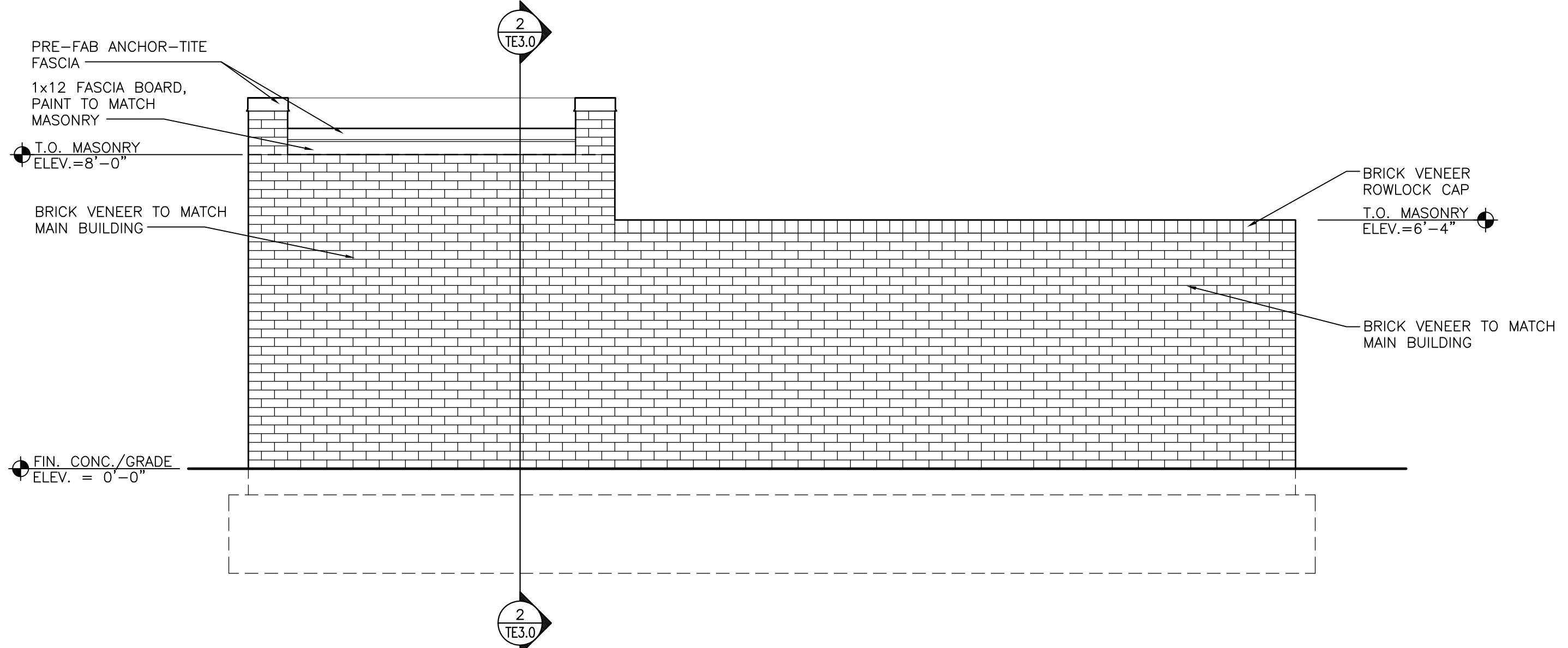
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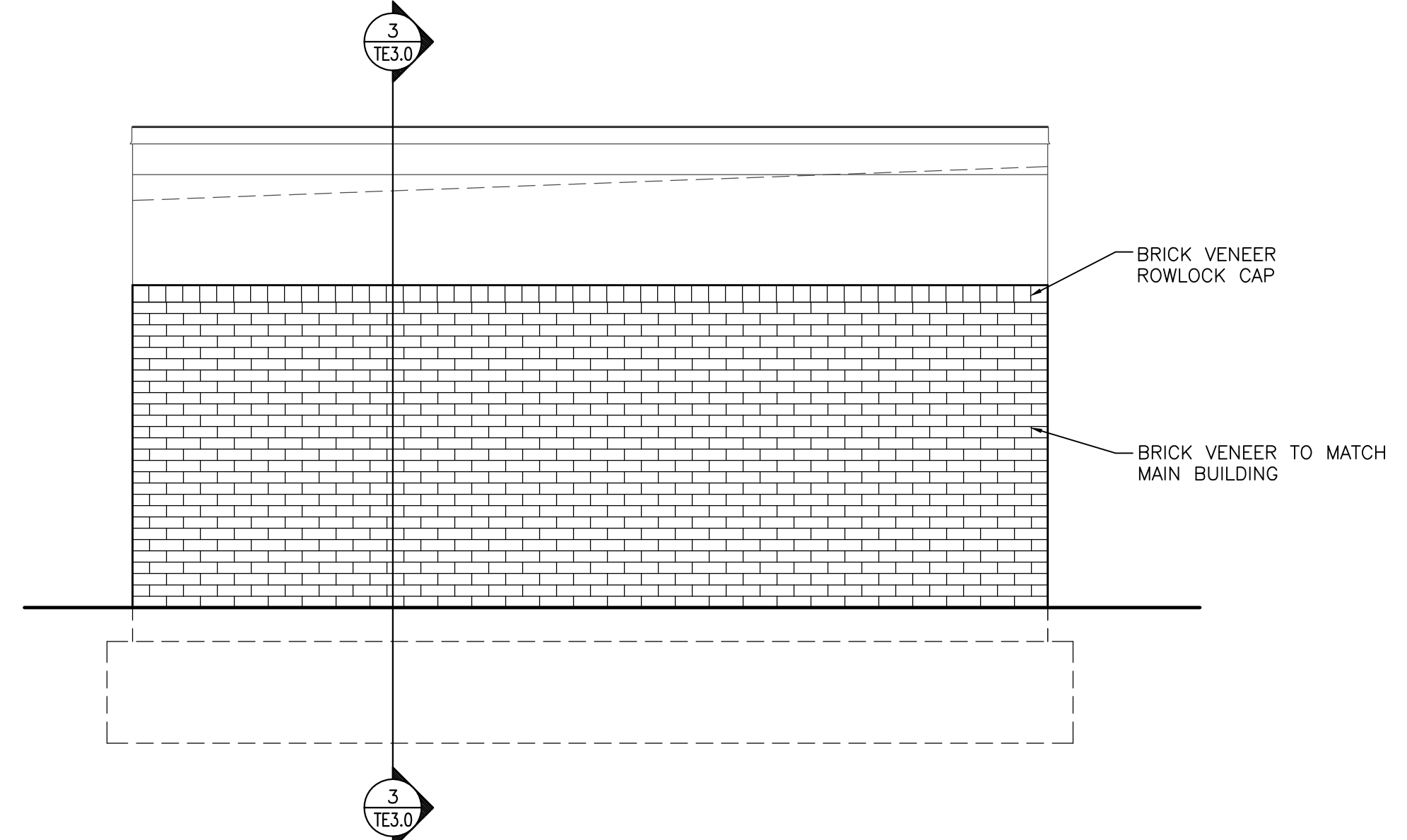
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SCALE: 3/8"=1'-0"



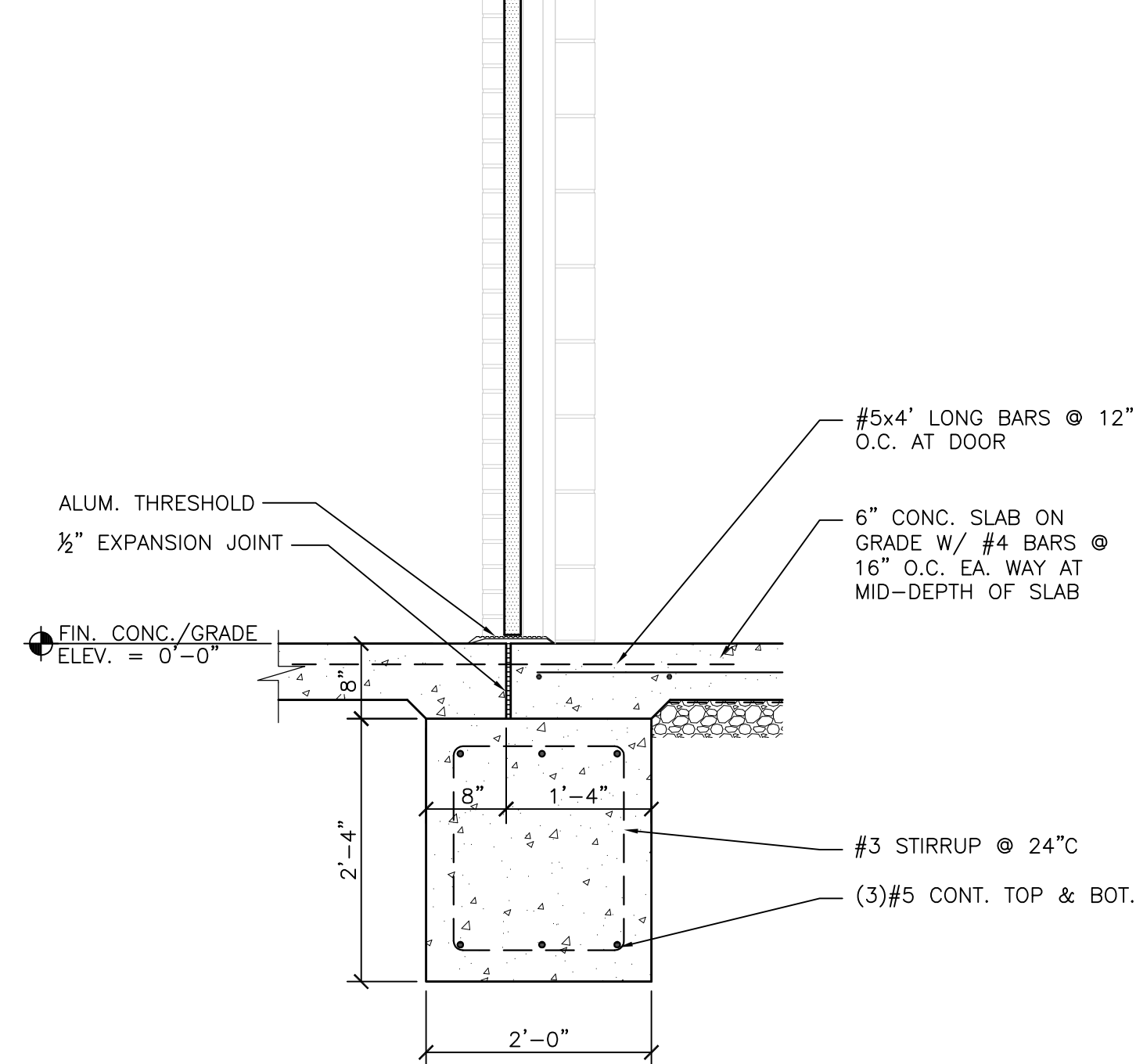
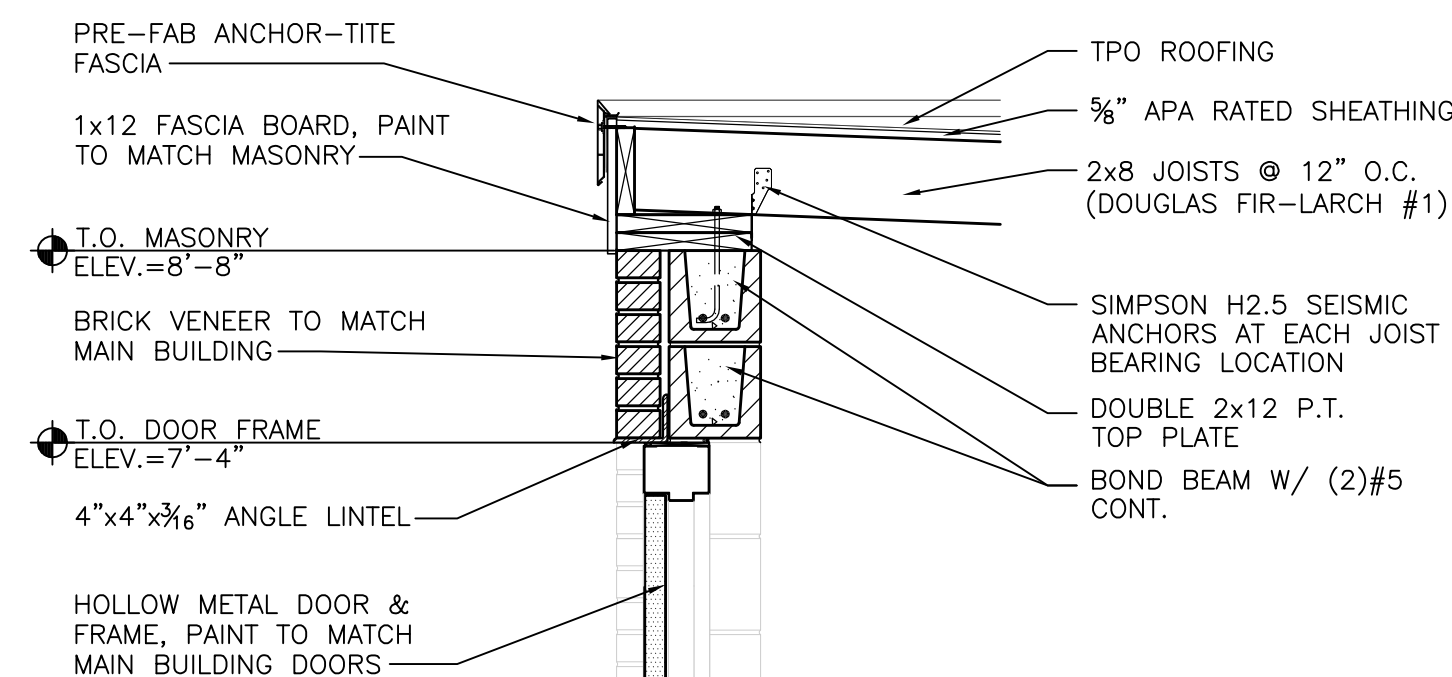
2 TRASH ENCLOSURE ELEVATION
SCALE: 3/8"=1'-0"



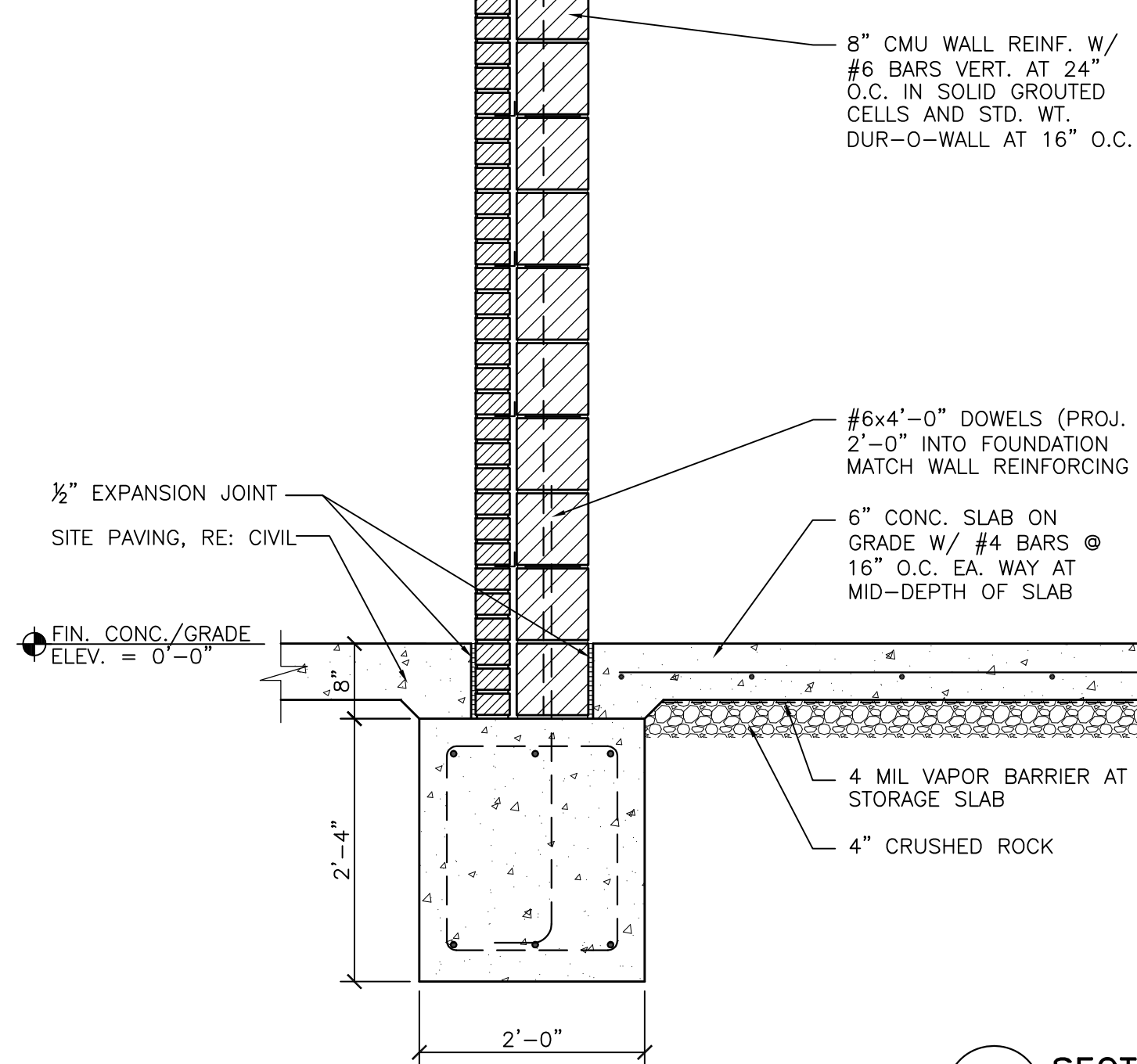
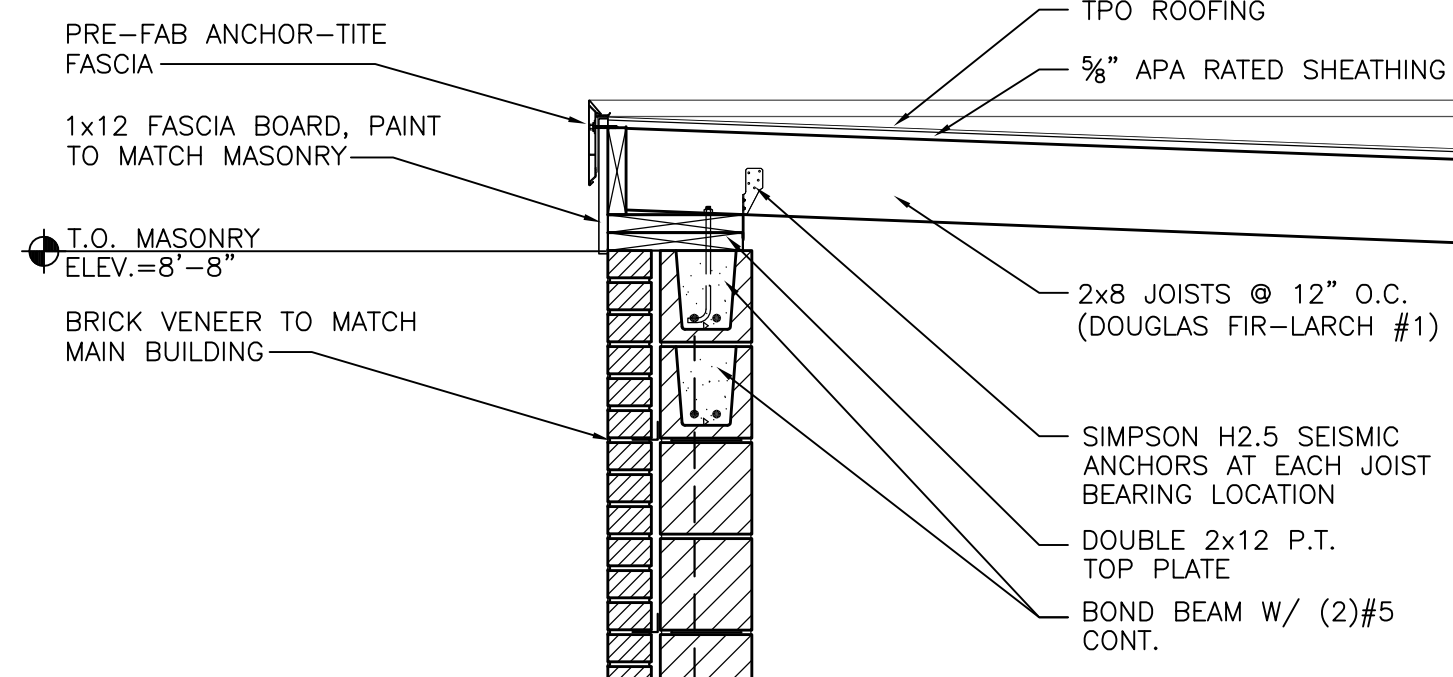
3 TRASH ENCLOSURE ELEVATION
SCALE: 3/8"=1'-0"



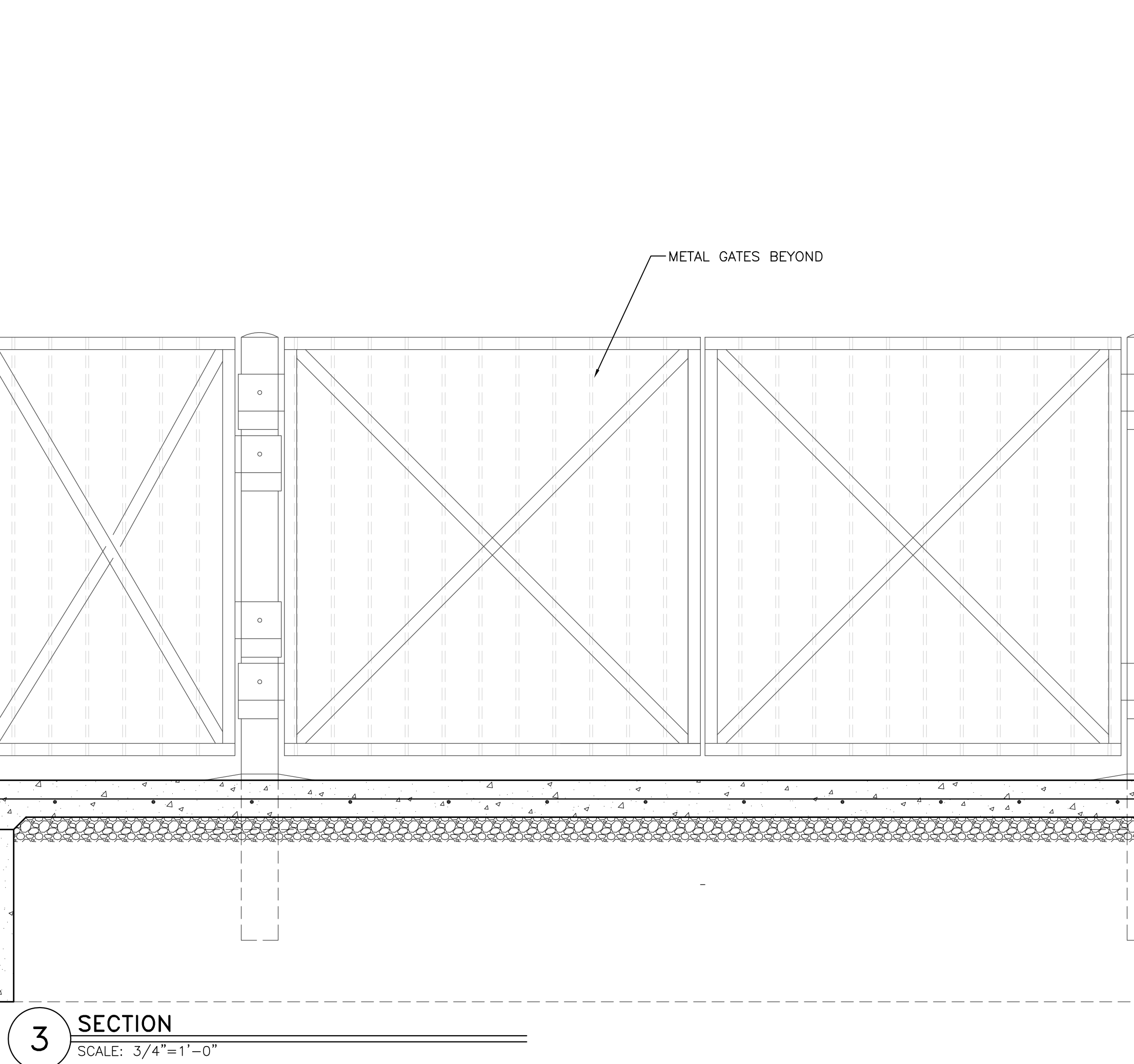
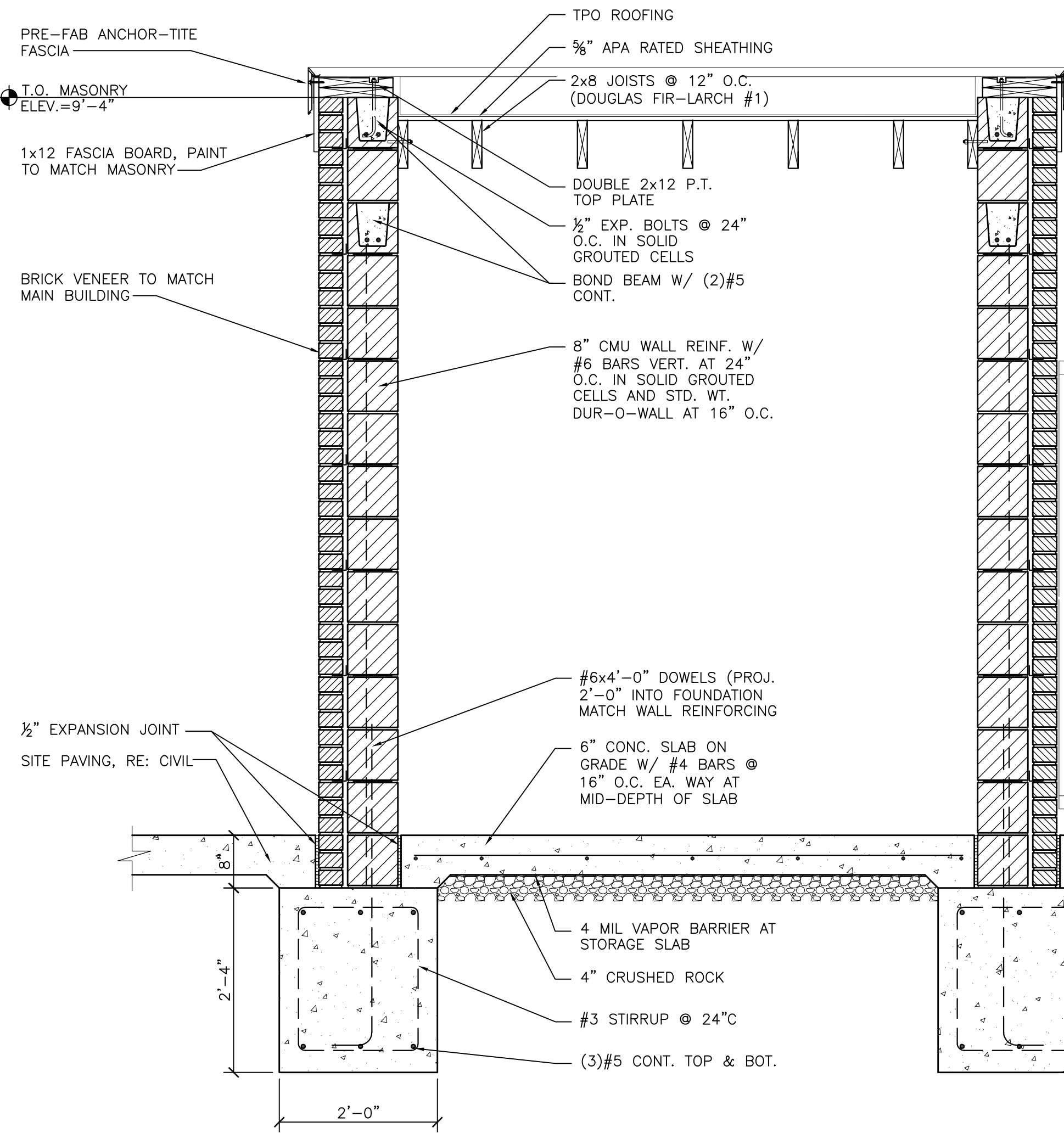
4 TRASH ENCLOSURE ELEVATION
SCALE: 3/8"=1'-0"



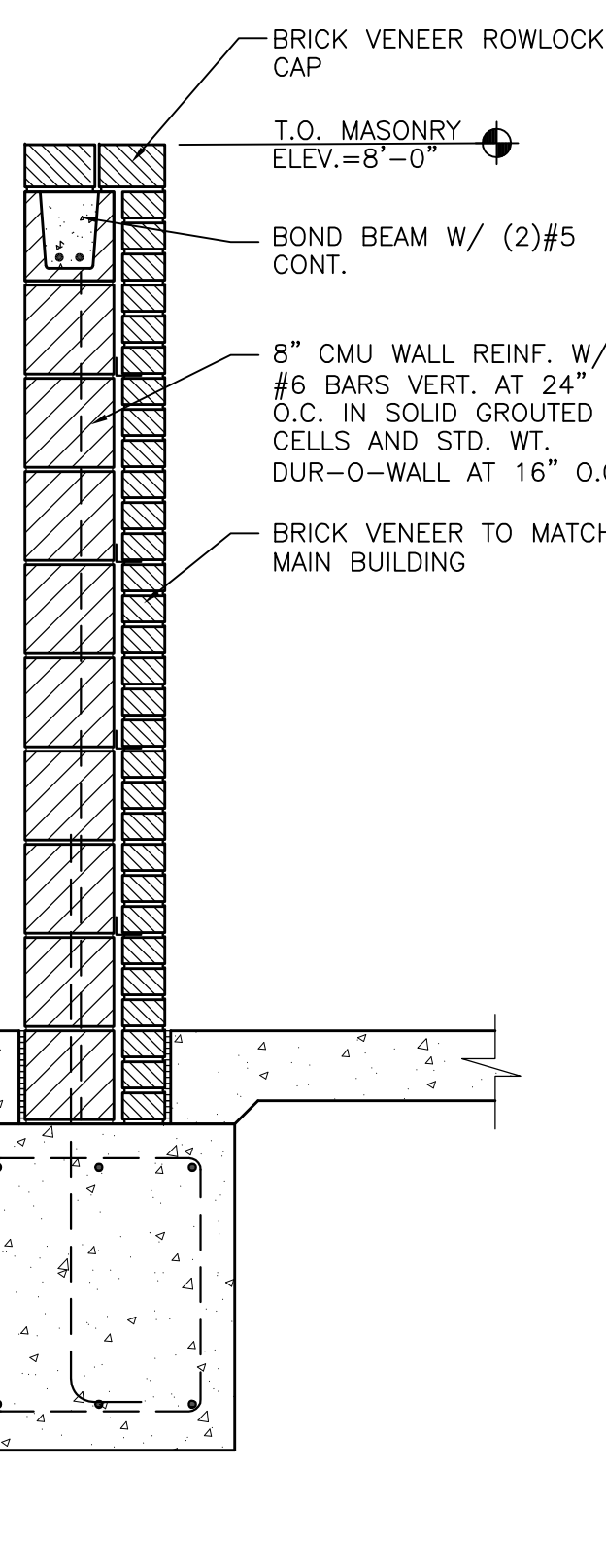
1 SECTION
SCALE: 3/4"=1'-0"



2 SECTION
SCALE: 3/4"=1'-0"



3 SECTION
SCALE: 3/4"=1'-0"



4 BOLLARD DETAIL
SCALE: 3/4"=1'-0"

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ISSUE DATE

PROJECT #: 0826
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TRASH
ENCLOSURE
DETAILS

DRAWING NO:
SHEET NO. **TE1.2**