

GENERAL NOTES:

- ALL CHANGES TO THE EXTERIOR OF THE BUILDING OR THE SITE PLAN SHALL BE SUBMITTED TO THE TOWN OF PARKER PLANNING DEPARTMENT PRIOR TO ANY FIELD CHANGE.
- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND REGULATIONS OF THE CITY OF PARKER, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, AND COLORADO DEPARTMENT OF TRANSPORTATION AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, AND TAP FEES, ETC.
- ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.
- NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

EXCAVATION NOTIFICATION

- ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS).
- CONTRACTORS TO CALL 811 (OR VISIT CALL811.COM) TO REQUEST UTILITY LOCATES, ONCE COMPLETION OF MARKINGS HAS BEEN CONFIRMED BY THE CONTRACTOR, NO AUTOMATED OR MECHANICAL EQUIPMENT SHOULD BE USED IN THE TOLERANCE GENERALLY TWO FEET ON EITHER SIDE OF THE MARKINGS), AND EXISTING FACILITIES MUST BE EXPOSED BY HAND.
- EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SITE ACCESSIBILITY

- ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, CURB RAMPS, ACCESSIBLE PARKING, AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE AMERICAN DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), PUBLISHED IN THE FEDERAL REGISTER, JULY 2011.
- WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THESE GUIDELINES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THESE GUIDELINES WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THESE GUIDELINES, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- GENERAL SLOPE GUIDANCE:
 - CROSS SLOPES SHALL NOT EXCEED 1:50 (2.0%). PREFERRED SLOPE IS 1.5%.
 - RUNNING SLOPES SHALL NOT EXCEED 5%. PREFERRED MAXIMUM SLOPE IS 4.5%. GRADES EXCEEDING 5% ARE CLASSIFIED AS A RAMP.
 - RAMP RUNNING SLOPES SHALL NOT EXCEED 1:12 (8.3%). PREFERRED MAXIMUM SLOPE IS 7.8%.
 - LANDING AND ACCESSIBLE PARKING STALLS SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION. PREFERRED MAXIMUM SLOPE IS 1.5%.
 - EXCEPTIONS WITHIN THE PUBLIC RIGHT-OF-WAY: WHERE THE ESTABLISHED ADJACENT STREET GRADE EXCEED 5%, RUNNING SLOPES PARALLEL TO THE STREET SLOPES SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET. CURB RAMP RUNNING SLOPE CAN EXCEED 8.3% TO LIMIT THE RESULTING THE RAMP LENGTH TO 15 FEET.

GEOTECHNICAL

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY _____ DATED _____.

SURVEY

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE SHOWN PER THE FIELD SURVEY PERFORMED BY GILLIANS LAND CONSULTANTS, DATED 02/27/2024.

AS-BUILTS:

- THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL CHANGES MADE TO THE APPROVED PLANS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS, CHANGES MADE BY THE ENGINEER OF RECORD, OR CHANGES REQUESTED BY REPRESENTATIVES OF THE JURISDICTIONS HAVING AUTHORITY. ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE ENGINEER OF RECORD PER A RFI SUBMITTAL PROCESS. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DOCUMENTS.

CO 811:

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) AND CALL "CO 811" AT 800-922-1987.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

**CAUTION
NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

SITE DEVELOPMENT PLAN FOR TACO BELL - PARKER & STROH

13177 S PARKER RD, PARKER, CO 80134

LOT 3B, REATA WEST FILING NO.1, 1ST AMENDMENT,
SITUATED IN THE NORTHEAST ¼ OF SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
TOWN OF PARKER, COUNTY OF DOUGLAS STATE OF COLORADO



VICINITY MAP

1"=500'

LEGEND

ABBREVIATIONS	LINETYPES	SYMBOLS
(M) MEASURED DATA	— SF —	⊘ UTILITY POLE
(R) RECORD DATA	— SF —	⊘ ^{LP} LIGHT POLE
BC BACK OF CURB	— SF —	⊘ GUY ANCHOR
BL BUILDING LINE	— 5555 —	⊠ ELECTRIC BOX
CL CENTERLINE	— 5555 —	⊠ ELECTRIC METER
EG EXISTING GRADE	— 5555 —	⊠ ELECTRIC TRANSFORMER
FF FINISHED FLOOR	— 5555 —	⊠ A/C UNIT
FL FINISHED GRADE	— 5555 —	⊠ ELECTRIC MANHOLE
GL GUTTER LINE	— X — X —	⊠ GAS METER
HP HIGH POINT	— X — X —	⊠ GAS VALVE
INV INVERT	— X — X —	⊠ OIL/GAS WELLHEAD
LF LINEAR FEET	— FO —	⊠ VENT PIPE
LP LOW POINT	— OC —	⊠ PIPELINE MARKER
ME MATCH EXISTING	— UC —	⊠ COMMUNICATION PEDESTAL
RW RIGHT-OF-WAY	— OE —	⊠ COMMUNICATION MANHOLE
SF SQUARE FEET	— UE —	⊠ SEWER CLEAN-OUT
SY SQUARE YARDS	— G —	⊠ SANITARY SEWER MANHOLE
TBK TOP OF BANK	— FM —	⊠ DOWNSPOUT
TC TOP OF CURB	— SS —	⊠ ROOF DRAIN
TG TOP OF GRATE	— SS —	⊠ STORM DRAIN MANHOLE
TOE TOP OF BANK	— SS —	⊠ FIRE HYDRANT
TP TOP OF PAVEMENT	— SS —	⊠ IRRIGATION CONTROL VALVE
TR TOP OF RIM	— SD —	⊠ SHUT-OFF VALVE
TS TOP OF SIDEWALK	— F —	⊠ SPRINKLER HEAD
TW TOP OF WALL	— W — W —	⊠ WATER METER
		⊠ WATER VALVE
		⊠ YARD HYDRANT
		⊠ PIPE BOLLARD
		⊠ BENCHMARK
		⊠ ACCESSIBLE PARKING
		⊠ MAILBOX
		⊠ MONITORING WELL
		⊠ POT HOLE
		⊠ SIGN

PROJECT BENCHMARK

SW CORNER OF SUBJECT PROPERTY, SET "X" ON STORM MANHOLE RIM. ELEVATION = 5953.77 FEET. VERTICAL DATUM: NAVD 88 (DOUGLAS COUNTY)

PUBLIC WORKS:
CITY OF PARKER
TOM WILLIAMS
20120 E. MAINSTREET
PARKER, COLORADO 80138
303-840-9546

COMMUNITY DEVELOPMENT
CITY OF PARKER
JOHN FUSSA
20120 E. MAINSTREET
PARKER, COLORADO 80138
303-841-2332

WATER AND SEWER:
PARKER WATER & SANITATION DISTRICT
18100 EAST WOODMAN DRIVE
PARKER, COLORADO 80134
303-841-4627

FIRE:
CITY OF PARKER
JASON BLANSKI
20120 E. MAINSTREET
PARKER, COLORADO 80138
303-805-3197

POLICE:
CITY OF PARKER
JIM TSURAPAS
18600 LINCOLN MEADOWS PKWAY
PARKER, COLORADO 80134
303-841-9800

GAS:
XCEL ENERGY
800-895-4999

INTERNET:
CENTURY LINK
720-504-9088

ELECTRIC:
CORE ELECTRIC COOPERATIVE
1-800-332-9540

SITE TABLE
SITE AREA 1.01 AC
DISTURBED AREA 0.74 AC

ENGINEER'S STATEMENT

THESE DETAILED PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE ESTABLISHED CRITERIA FOR DETAILED DRAINAGE PLANS, AND SAID DETAILED PLANS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED DRAINAGE PLANS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.

PRINTED NAME: _____ DATE: _____

PHONE NUMBER: _____

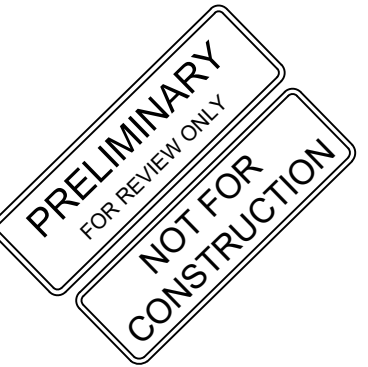
DEVELOPER:
ALVARADO RESTAURANT NATION
5654 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
TRACY KNAPP
TKNAPP@TEAMARN.COM
678.458.9013

ARCHITECT:
ARCVISION, INC.
ATTN: BRIAN SEIFFERT
1950 CRAIG RD, SUITE 300
ST. LOUIS, MO 63146
BSEIFFERT@ARCV.COM
314.415.2400

CIVIL ENGINEER:
WALLACE DESIGN COLLECTIVE
9800 PYRAMID CT, SUITE 350
ENGLEWOOD, CO 80112
AARON BARNHART, PE
AARON.BARNHART@WALLACE.DESIGN
720.704.5288

SHEET LIST

C100	COVER SHEET
C4.0	SITE PLAN
L100	LANDSCAPE PLAN
L200	LANDSCAPE SPECIFICATIONS
L300	LANDSCAPE DETAILS
E1.1	SITE PHOTOMETRICS PLAN
C200	EXISTING CONDITIONS MAP BUILDING ELEVATIONS



TACO BELL - PARKER & STROH
LOT 3B, REATA WEST FILING NO.1, 1ST AMENDMENT

DATE	DESCRIPTION	REV

DATE 05/16/2024
PROJECT NO. 2375049
SHEET NAME

COVER SHEET
SHEET NO.

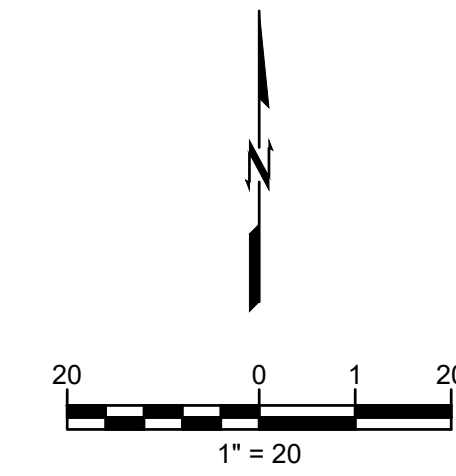
C100



CIVIL CONSTRUCTION DOCUMENTS FOR TACO BELL - PARKER & STROH

13177 S PARKER RD, PARKER, CO 80134

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SITUATED IN THE NORTHEAST ¼ OF SECTION 3,
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TOWN OF PARKER, COUNTY OF DOUGLAS STATE OF COLORADO



wallace design collective
wallace design collective, pc
structural-civil-landscape survey
1980 pyramid court, suite 350
englewood, co 80112
303.350.1690 800.364.5858

SITE INFORMATION

JURISDICTION: CITY OF PARKER, COLORADO

ZONING: PLANNED DEVELOPMENT - REATA WEST

REQUIRED BUILDING SETBACKS:

FRONT (W): 10'
SIDE (N): 10'
SIDE (S): 10'
REAR (E): 40'

REQUIRED LANDSCAPE STRIP/ SETBACKS:

FRONT (W): -
SIDE (N): -
SIDE (S): -
REAR (E): 10'

REQUIRED PARKING:

1 SPACE PER 3 PERSONS OF RATED CAPACITY
45 PERSON RATED CAPACITY / 3 =
TOTAL 15 SPACES

PROPOSED PARKING:	REQUIRED	PROVIDED
9 FT STD	15	13
HANDICAP	2	2
TOTAL	17	15

BICYCLE 4 4

* ALL PARKING STALLS ARE 9' X 18'.

DRIVE AISLE WIDTH: (WIDTH MAY VARY) 24', UNLESS SPECIFIED OTHERWISE.

SITE AREA CALCULATIONS:

SITE AREA:	1.01 AC
PERVIOUS AREA:	0.25 AC
IMPERVIOUS AREA:	0.75 AC
DISTURBED AREA:	0.74 AC

FLOOD HAZARD: ZONE X, AREA OF MINIMAL FLOOD

HAZARD FEMA MAP 08035C0182G, DATED 03/16/2016

EXISTING INFORMATION:
EXISTING TOPOGRAPHY IS BASED ON ACTUAL FIELD SURVEY PERFORMED BY GILLIANS LAND CONSULTANTS, DATED FEBRUARY 27, 2024

SITE LIGHTING:
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN.

PROJECT BENCHMARK

SW CORNER OF SUBJECT PROPERTY, SET "X" ON STORM MANHOLE RIM, ELEVATION = 5953.77 FEET. VERTICAL DATUM: NAVD 88 (DOUGLAS COUNTY)

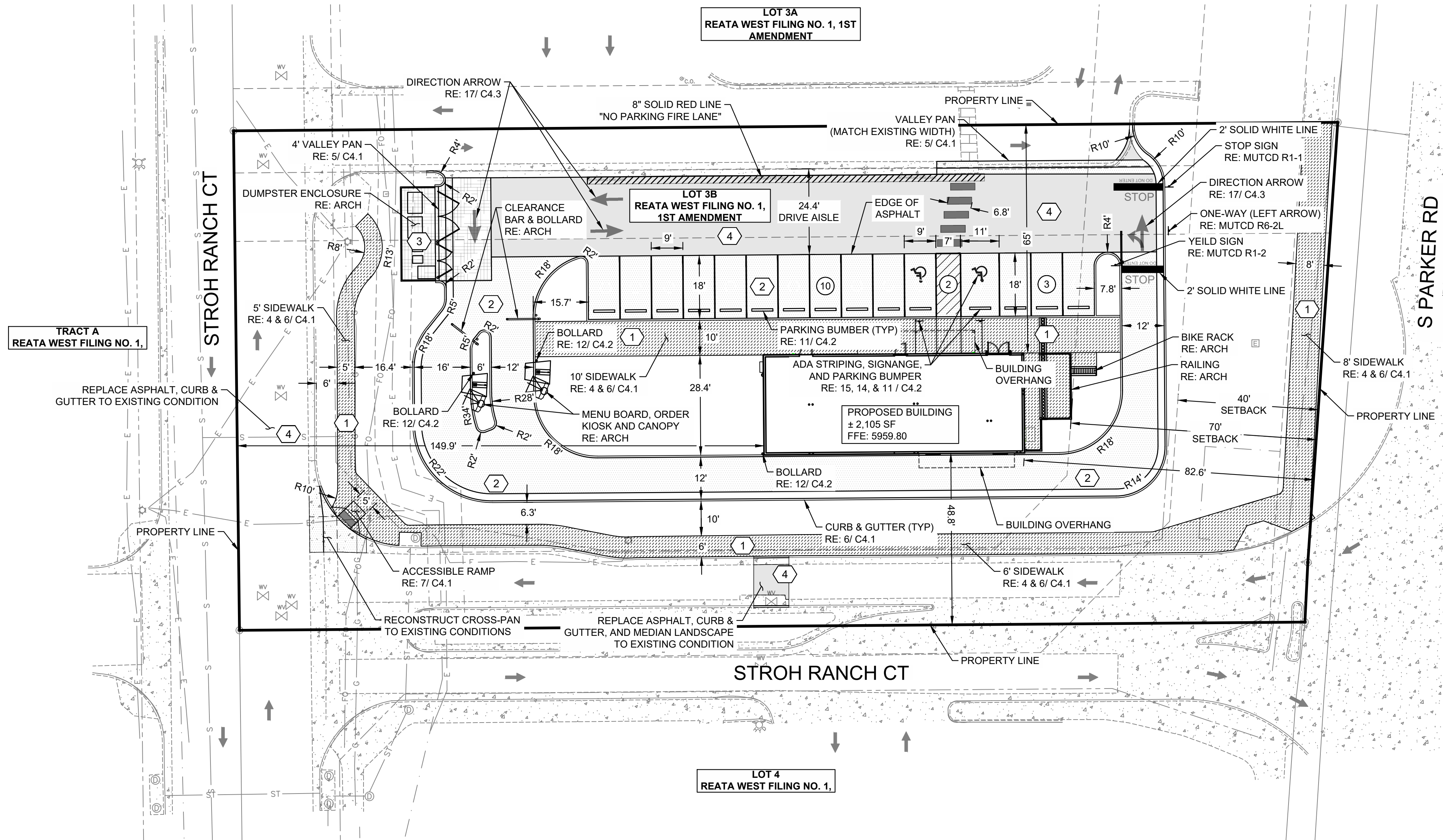
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LEGEND

- CONCRETE SIDEWALK
RE: 4/C04.2
- STANDARD DUTY CONCRETE PAVEMENT
RE: GEOTECH
- HEAVY DUTY CONCRETE PAVEMENT
RE: GEOTECH
- STANDARD DUTY ASPHALT PAVEMENT
RE: GEOTECH
- PARKING STALL COUNT
- "FIRE LANE NO PARKING" WHITE LETTERING ON RED ENAMEL BACKGROUND - TYPE C CURB MARKING ACCORDING TO CITY SPECIFICATIONS

GENERAL SITE NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- NO VERTICAL CONSTRUCTION ON THIS SITE WILL BE ALLOWED UNTIL SUCH TIME THAT CURB AND CUTTER AND THE FIRST LIFT OF ASPHALT ARE INSTALLED.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
- ALL DIMENSIONS AND COORDINATES ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
- NO VERTICAL CONSTRUCTION SHALL TAKE PLACE PRIOR TO PLACEMENT OF CURB AND BASE ASPHALT.
- ALL SIGNAGE WILL BE APPROVED IN SEPARATE SIGN PERMIT.
- ALL CHANGES TO THE EXTERIOR OF THE BUILDING OR THE SITE PLAN SHALL BE SUBMITTED TO THE TOWN OF PARKER PLANNING DEPARTMENT PRIOR TO ANY FIELD CHANGE.

ENGINEERING REVIEW BLOCK

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEER

DATE

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE

DATE

(NOTE: UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

TACO BELL - PARKER & STROH

LOT 3B, REATA WEST FILING NO.1, 1ST AMENDMENT

DATE

REV	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE 05/16/2024

PROJECT NO. 2375049

SHEET NAME

SITE PLAN

SHEET NO.

C4.0

LANDSCAPE GRADING & TOPSOIL

1. TOPSOIL: REUSE FROM STOCKPILE AND PROVIDE NEW TOPSOIL AS NEEDED.
2. IMPORTED TOPSOIL: FRIABLE LOAM, TYPICAL OF CULTIVATED TOPSOILS LOCALLY; FREE OF SUBSOIL, ROOTS, GRASS, EXCESSIVE AMOUNT OF WEEDS, STONE, AND FOREIGN MATTER, ACIDITY RANGE (PH) OF 5.0 TO 7.0; CONTAINING A MINIMUM OF 2 PERCENT AND A MAXIMUM OF 5 PERCENT ORGANIC MATTER. TOPSOIL SHALL NOT BE DELIVERED OR USED FOR PLANTING WHILE IN A FROZEN OR MUDDY CONDITION. TOPSOIL SHALL CONFORM TO THE FOLLOWING GRAIN SIZE DISTRIBUTION FOR MATERIAL PASSING THE #10 SIEVE:

U.S.SIEVE SIZE NUMBER	PERCENT PASSING	
	MINIMUM	MAXIMUM
10	100	--
18	85	100
35	70	95
60	50	85
140	36	63
270	32	52
0.002MM	3	8

3. SUBMIT SOURCE AND ANALYSIS OF TOPSOIL FOR BACKFILL. TEST TO BE PERFORMED BY ACCREDITED SOILS LABORATORY. SUBMITS SOILS TEST AND RECOMMENDATIONS FOR AMENDMENTS INCLUDING ADJUSTING SOIL PH TO A VALUE BETWEEN 6.0 AND 7.0.
4. ELIMINATE UNEVEN AREAS AND LOW SPOTS. REMOVE DEBRIS, ROOTS, BRANCHES, STONES, IN EXCESS OF 1 INCH IN SIZE. REMOVE SUB-GRADE CONTAMINATED WITH PETROLEUM PRODUCTS.
5. SCARIFY SUB-GRADE TO DEPTH OF 6 INCHES WHERE TOPSOIL IS SCHEDULED. REMOVE DEBRIS THAT IS BROUGHT TO THE SURFACE IN EXCESS OF 1 INCH IN SIZE.
6. REVIEW SUB-GRADE SCARIFICATION WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCING PLACEMENT OF TOPSOIL.
7. USE TOPSOIL IN RELATIVELY DRY STATE. PLACE DURING DRY WEATHER.
8. FINE GRADE TOPSOIL OR PLANTING MIX ELIMINATING ROUGH OR LOW AREAS. MAINTAIN LEVELS, PROFILES, AND CONTOURS OF SUB-GRADE.
9. REMOVE STONE, ROOTS, GRASS, WEEDS, DEBRIS, AND FOREIGN MATERIAL WHILE SPREADING.
10. MANUALLY SPREAD TOPSOIL OR PLANTING MIX AROUND TREES, PLANTS, AND STRUCTURES, TO PREVENT DAMAGE.
11. LIGHTLY COMPACT PLACED TOPSOIL.
12. REMOVE SURPLUS SUBSOIL AND TOPSOIL FROM SITE.
13. LEAVE STOCKPILE AREA AND SITE CLEAN AND RAKED, READY TO RECEIVE LANDSCAPING.
14. TOP OF TOPSOIL OR PLANTING MIX TOLERANCES: PLUS OR MINUS 1/2 INCH.
15. REQUIRED TOPSOIL DEPTH FOR LANDSCAPE AREAS:
 - A. LAWN AREAS: 6 INCHES MINIMUM TOPSOIL.
 - B. PLANTING BEDS (SHRUBS, GROUNDCOVER, ETC.): 12 INCHES MINIMUM TOPSOIL.

SODDING

1. SOD: CULTIVATED GRASS SOD, WITH STRONG FIBROUS ROOT SYSTEM, FREE OF STONES, BURNED OR BARE SPOTS, AND WEEDS.
2. VERIFY THAT PREPARED SOIL BASE IS READY TO RECEIVE THE WORK OF THIS SECTION.
3. SUBMIT GRASS SPECIES AND LOCATION OF SOD SOURCE FOR APPROVAL.
4. DELIVER SOD ON PALLETS. PROTECT EXPOSED ROOTS FROM DEHYDRATION.
5. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
6. COORDINATE THE WORK OF THIS SECTION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM AND PLANT MATERIAL AS APPLICABLE.
7. MAINTAIN SODDED AREAS IMMEDIATELY AFTER PLACEMENT UNTIL GRASS IS WELL ESTABLISHED, HAS ACHIEVED COMPLETE COVERAGE, AND EXHIBITS A VIGOROUS GROWING CONDITION OR UNTIL DATE OF SUBSTANTIAL COMPLETION WHICHEVER IS LONGER. MAINTENANCE PERIOD SHALL INCLUDE MINIMUM OF TWO MOWINGS.
8. FINISH GRADE AREAS TO BE SODDED SO THAT THE SURFACE IS SMOOTH AND IS APPROXIMATELY 1 INCH BELOW ADJOINING SIDEWALKS AND OTHER PAVED SURFACES.
9. REMOVE ALL WEEDS AND GRASSES FROM AREAS TO BE SODDED.
10. PLANTING SURFACE SHALL BE MADE FRIABLE BY APPROVED METHOD OF SCARIFICATION. PREPARED SURFACE SHALL BE FLOATED SMOOTH AND FREE OF BUMPS AND DEPRESSIONS. REMOVE STONES AND FOREIGN MATTER OVER 2 INCHES IN DIAMETER FROM TOP 2 INCHES OF SOD BED. PLANT IMMEDIATELY THEREAFTER, PROVIDED THE BED HAS REMAINED IN A FRIABLE CONDITION AND HAS NOT BECOME MUDDY OR HARD. IF IT HAS BECOME HARD, TILL TO A FRIABLE CONDITION AGAIN.
11. APPLY FERTILIZER NO MORE THAN 48 HOURS BEFORE LAYING SOD.
12. LIGHTLY WATER TO AID THE DISSIPATION OF FERTILIZER.
13. PRIOR TO LAYING SOD, INCORPORATE SOIL AMENDMENTS SUCH AS LIME AND SULPHUR AT RATES RECOMMENDED BY SOILS TESTS TO A 4 INCH DEPTH.
14. MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD.
15. LAY SOD IMMEDIATELY ON DELIVERY TO SITE WITHIN 24 HOURS AFTER HARVESTING TO PREVENT DETERIORATION.
16. LAY SOD TIGHT WITH NO OPEN JOINTS VISIBLE AND NO OVERLAPPING; STAGGER END JOINTS 12 INCHES MINIMUM. DO NOT STRETCH OR OVERLAP SOD PIECES.
17. FINISHED SODDING TO BE SMOOTH AND FREE OF BUMPS AND DEPRESSION. SURFACE TO BE FLUSH WITH ADJOINING GRASS AREAS IF ANY. PLACE TOP ELEVATION OF SOD APPROXIMATELY 1/2 INCH BELOW ADJOINING EDGING, PAVING AND CURBS. GRADE PLANTING SURFACE AS NECESSARY TO ACCOMPLISH ABOVE.
18. ON SLOPES 4 INCHES PER FOOT AND STEEPER, LAY SOD PERPENDICULAR TO SLOPE AND SECURE EVERY ROW WITH WOODEN PEGS AT MAXIMUM 2 FEET ON CENTER. DRIVE PEGS FLUSH WITH SOIL PORTION OF SOD.
19. WATER SODDED AREAS DEEPLY IMMEDIATELY AFTER INSTALLATION.
20. AFTER SOD AND SOIL HAVE DRIED SUFFICIENTLY, ROLL SODDED AREAS TO INSURE GOOD BOND BETWEEN SOD AND SOIL AND TO REMOVE MINOR DEPRESSIONS AND IRREGULARITIES.
21. SODDED AREAS TO BE VIGOROUSLY GROWING AT TIME OF FINAL ACCEPTANCE OR IF INSTALLATION OCCURS DURING DORMANCY WARRANTY TO EXTEND THROUGH FIRST MONTH OF FOLLOWING GROWING SEASON. AT CONCLUSION OF INITIAL WARRANTY PERIOD REPLACE DEAD OR UNHEALTHY SOD.
22. MOW GRASS AT REGULAR INTERVALS TO MAINTAIN AT A MAXIMUM HEIGHT OF 2-1/2"; DO NOT CUT MORE THAN 1/3 OF GRASS BLADE AT ANY ONE MOWING.
23. NEATLY TRIM EDGES AND HAND CLIP WHERE NECESSARY.
24. IMMEDIATELY REMOVE CLIPPINGS AFTER MOWING AND TRIMMING.
25. WATER SUFFICIENTLY TO INSURE ESTABLISHMENT AND MAINTAIN VIGOROUS APPEARANCE.
26. ROLL AND/OR TOPDRESS SURFACE AS NEEDED TO REMOVE MINOR DEPRESSIONS OR IRREGULARITIES.
27. CONTROL GROWTH OF WEEDS. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM IMPROPER USE OF HERBICIDES.
28. IMMEDIATELY REPLACE SOD IN AREAS WHICH SHOW DETERIORATION OR BARE SPOTS. ANY AREAS THAT HAVE HAD TOPSOIL WASHED AWAY SHALL BE FILLED TO MATCH SPECIFIED GRADE WITH TOPSOIL BEFORE RESODDING.
29. PROTECT SODDED AREAS WITH WARNING SIGNS DURING MAINTENANCE PERIOD.
30. APPLY APPROVED FERTILIZER AT RATE TO PROVIDE 1-1/2 POUNDS OF ACTUAL NITROGEN PER 1000 SQUARE FEET EVERY 25 DAYS DURING GROWING SEASON.
31. FOR THE PURPOSE OF ESTABLISHING AN ACCEPTABLE STANDARD, NO BARE AREAS WILL BE PERMITTED.

SITE DEVELOPMENT PLAN FOR TACO BELL - PARKER & STROH

13177 S PARKER RD, PARKER, CO 80134

LOT 3B, REATA WEST FILING NO.1, 1ST AMENDMENT,
SITUATED IN THE NORTHEAST ¼ OF SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
TOWN OF PARKER, COUNTY OF DOUGLAS STATE OF COLORADO

PLANTING

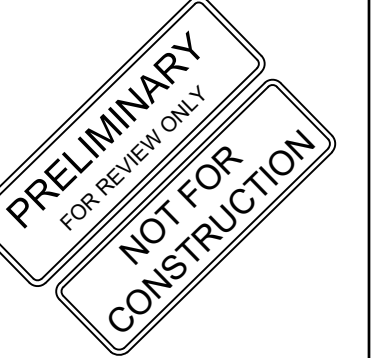
1. WORK REQUIRED IN THIS SECTION TO BE PERFORMED BY EXPERIENCED PERSONNEL UNDER DIRECTION OF A SKILLED FOREMAN.
2. CONTRACTOR SHALL LOCATE ALL MATERIALS AND BE RESPONSIBLE FOR CONFORMANCE WITH REQUIREMENTS OF THIS SECTION. ALL PLANTS NOT MEETING REQUIREMENTS SHALL BE REJECTED.
3. ALL TREES TO BE REVIEWED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING
 - A. TREES WILL BE REVIEWED AT LOCAL GROWING OR NURSERY BY OWNER'S REPRESENTATIVE AND APPROVED BEFORE DELIVERING TO THE SITE. CONTRACTOR SHALL SCHEDULE REVIEW OF PLANT MATERIAL IN SUCH A MANNER THAT NO SINGLE REVIEW PERIOD WILL EXCEED ONE WORKING DAY WITH A MAXIMUM OF TWO REVIEW PERIODS. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL PARTIES PRIOR TO SCHEDULING.
4. ALL PLANT MATERIAL SHALL BE TRUE TO NAME, IN GOOD HEALTH, FREE OF DISEASE AND INSECTS, EXCELLENT IN FORM AND IN CONFORMANCE WITH ANSI Z60. SPECIES AND SIZE IDENTIFIED ON PLANT LIST. ALL PLANTER MATERIALS TO BE NURSERY GROWN.
5. B&B PLANTS TO BE MOVED WITH SOLID BALLS WRAPPED IN BURLAP. PLANTS TO BE LIFTED ONLY BY BALL OR CONTAINER
6. DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS NOT IMMEDIATELY INSTALLED MOIST AND PROTECT FROM FREEZING BY COVERING BALL OR CONTAINER WITH MULCH. ANY PLANTS NOT PLANTED WITHIN 2 DAYS OF DELIVERY ARE TO BE HEELED-IN IN A VERTICAL POSITION, ROOT BALLS FULLY ENCOMPASSED BY MULCH AND A TEMPORARY WATERING SYSTEM INSTALLED.
7. WARRANT ALL PLANTS TO BE LIVING, HEALTHY SPECIMENS FOR A PERIOD OF ONE YEAR COMMENCING UPON DATE OF SUBSTANTIAL COMPLETION. WARRANTY PERIOD SHALL TERMINATE ONLY IF PLANTS HAVE BEEN IN FULL LEAF FOR 30 DAYS AT END OF WARRANTY PERIOD. TERMINATION OF WARRANTY PERIOD SHALL BE EXTENDED AS NECESSARY TO COMPLY. ALL MATERIALS TO BE IN VIGOROUS CONDITION AT END OF WARRANTY PERIOD.
8. IMMEDIATELY REMOVE DEAD PLANTS AND PLANTS NOT IN A VIGOROUS CONDITION AND REPLACE AS SOON AS WEATHER CONDITIONS PERMIT. EACH REPLACEMENT SHALL BE COVERED WITH ONE YEAR WARRANTY COMMENCING AT TIME OF PLANTING. REPLACEMENTS TO MATCH ADJACENT PLANTS OF THE SAME SPECIES IN SIZE AND FORM.
9. CONTRACTOR TO BEGIN MAINTENANCE OF PLANT MATERIAL IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL DATE OF SUBSTANTIAL COMPLETION.
10. MAINTENANCE SHALL INCLUDE MEASURES NECESSARY TO ESTABLISH AND MAINTAIN PLANTS IN A VIGOROUS AND HEALTHY GROWING CONDITION. INCLUDE THE FOLLOWING:
 - A. CULTIVATION AND WEEDING OF PLANT BEDS AND TREE PITS. WHEN HERBICIDES ARE USED FOR WEED CONTROL, APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM USE OF HERBICIDES.
 - B. WATERING SUFFICIENT TO MAINTAIN OPTIMUM MOISTURE LEVEL.
 - C. PRUNING, INCLUDING REMOVAL OF DEAD OR BROKEN BRANCHES, AND TREATMENT OF PRUNE WOUNDS.
 - D. DISEASE AND INSECT CONTROL.
 - E. MAINTAINING PLANTS IN AN UPRIGHT, PLUMB POSITION, AND REPAIR OF SETTLING.
 - F. MAINTENANCE OF WRAPPINGS, GUY'S, TURNBUCKLES AND STAKES. ADJUST TURNBUCKLES OR OTHERWISE KEEP GUY WIRES TIGHT. REPAIR OR REPLACE ACCESSORIES WHEN REQUIRED.
11. MULCH: DOUBLE GROUND HARDWOOD BARK MULCH EQUAL TO THAT PRODUCED BY FOSTER BROTHERS, WOOD PRODUCTS INC. www.fosterbrots.com. SUBMIT TYPE AND SOURCE FOR APPROVAL BY OWNER'S REPRESENTATIVE.
12. FERTILIZER: OSMOCOTE SLOW RELEASE 18-6-12
13. SOIL ACIDIFIER: EQUAL TO TIGER 90 CR ORGANIC SULPHUR 0-0-0-90
14. COMPOST: BACK TO EARTH COMPOSTED COTTON BURRS AS SUPPLIED BY SOIL MENDER PRODUCTS, LP www.soilmender.com
15. METAL EDGING: 3/16 INCH x 4 INCH STEEL LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY COL-MET, 3333 MILLER PARK SOUTH, GARLAND, TEXAS 75042, PHONE 972/494-3900, WWW.COLMET.COM. EDGING TO BE SET VERTICAL WITH TOP EDGE 1 INCH ABOVE FINISHED GRADE.
16. WRAPPING MATERIALS: HEAVY PAPER MANUFACTURED FOR TREE WRAPPING PURPOSE.
17. GREEN METAL FENCE POSTS (3 PER TREE) - 8 FOOT HEIGHT.
18. HARDWARE (CABLES, WIRE, EYE BOLTS, AND TURNBUCKLES): NONCORROSIVE; OF SUFFICIENT STRENGTH TO WITHSTAND WIND PRESSURE.
19. THE STRAPS: SOFT POLYPROPYLENE MATERIAL EQUAL TO ARBORTIE, BY DEEP ROOT PARTNERS, L.P., 31 LANGSTON ST., SUITE 4, SAN FRANCISCO, CA, 94103, 1-800-277-7668.
20. REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. BERMUDA GRASS, IF PRESENT, TO BE EXTERMINATED BY APPROVED MEANS OR ALL SOIL REMOVED TO 6 INCH DEPTH AND REPLACED WITH TOPSOIL FREE OF BERMUDA GRASS.
21. STAKE TREE LOCATIONS AND PLACE SHRUBS, VINES, AND GROUND COVERS FOR REVIEW AND FINAL ORIENTATION BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
22. OUTLINE BED EDGES FOR APPROVAL BY OWNER'S REPRESENTATIVE.
23. EXCAVATE FOR PLANT MATERIALS. TREE PITS SHALL BE 8' IN DIAMETER. CIRCLE TO BE CENTERED ON TREE AND TRUE IN FORM. SLOPE CUT EDGE TO 6" DEPTH AND BOTTOM OF PIT TO DEPTH REQUIRED TO ACCOMMODATE TREE ROOTBALL. SHRUB PITS SHALL BE 12 INCHES GREATER IN DIAMETER THAN ROOT BALL. TOPSOIL FROM EXCAVATION MAY BE RETAINED FOR BACKFILL IF IT IS FRIABLE AND FREE OF ROCK AND CLODS GREATER THAN 2" IN DIA. REMOVE ALL SUBSOIL, ROCK, AND DEBRIS FROM SITE.
24. SET TREES WITH TOP OF ROOT BALL 3 INCHES ABOVE SURROUNDING GRADE, AND OTHER PLANT MATERIALS 1 INCHES ABOVE SURROUNDING GRADE, AFTER SETTLEMENT.
25. REMOVE CONTAINERS FROM CONTAINER-GROWN STOCK. SET PLANTS IN CENTER OF PITS AND BACKFILL WITH TOPSOIL IN 6 INCH LAYERS. PULL AWAY ROPES, WIRES, ETC. FROM THE TOP OF THE BALL.
26. REMOVE ANY SOIL FROM THE TOP OF THE ROOTBALL, TO THE LEVEL OF THE ROOT FLARE.
27. THOROUGHLY WATER SOIL WHEN THE HOLE IS HALF FULL, AND AGAIN WHEN FULL.
28. APPLY 1/2 POUND FERTILIZER EVENLY OVER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
29. AFTER PLANTING TREES, FORM A 3' DIAMETER RIDGE OF TOPSOIL AROUND EDGE OF EXCAVATION TO RETAIN WATER.

IRRIGATION

1. IRRIGATION SYSTEM TO BE ELECTRIC SOLENOID CONTROLLED UNDERGROUND SPRINKLER SYSTEM CONSISTING OF PVC PLASTIC PIPE AND FITTINGS, WITH FIXED SPRAY AND VARIABLE ARC ROTARY POP-UP HEADS IN A MULTI-STATION ELECTRIC CONTROL SYSTEM, PROGRAMMED AS APPROVED BY OWNER'S REPRESENTATIVE.
2. SUBMIT THE IRRIGATION DESIGN FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE NO LESS THAN TWO WEEKS PRIOR TO COMMENCING INSTALLATION OPERATIONS. THE DESIGN SHALL INCLUDE THE PIPING LAYOUT, LOCATION AND COVERAGE OF SPRINKLER HEADS, NOZZLE SIZES AND TYPES, PLANT AND LANDSCAPING FEATURES, SITE STRUCTURES, LIST OF FITTINGS TO BE USED, AND CONTROL SYSTEM AND WIRING DIAGRAMS AND DATA; AND SHALL NOTE WATER PRESSURE AT THE PROJECT SITE.
3. UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (REPRODUCIBLES) OF COMPLETED FACILITIES AS INSTALLED. DRAWINGS SHALL BE PROVIDED TO ARCHITECT IN A) ELECTRONIC FORM (AUTOCAD 2010 FORMAT) BY THREE (3) COPIES OF THE AS-BUILT DRAWING IN BLUELINE OR PHOTOCOPIY FORM. AS-BUILT DRAWING SHALL SHOW THE MEASURED DISTANCE FROM EASILY IDENTIFIED, FIXED LOCATIONS TO ISOLATION VALVES, ELECTRIC CONTROL VALVES, MANUAL DRAIN VALVES AND WIRE SPLICES. TWO DIMENSIONS FROM FIXED POINTS PER LOCATION ARE REQUIRED.
4. UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE THREE (3) BINDERS CONTAINING MANUFACTURER'S INSTALLATION, OPERATION AND MAINTENANCE INSTRUCTIONS AS WELL AS A PARTS BREAKDOWN AND CATALOG FOR EACH PIECE OF EQUIPMENT INSTALLED ON THE PROJECT. AS A MINIMUM THE BINDERS SHALL INCLUDE INFORMATION FOR THE IRRIGATION CONTROLLER, BOOSTER PUMP, BACKFLOW PREVENTER, PRESSURE REGULATORS, ISOLATION VALVES, ELECTRIC CONTROL VALVES, DRAIN VALVES, AIR RELIEF VALVES, ALL SPRAY AND ROTARY SPRINKLER HEADS, RAIN AND FREEZE AND MOISTURE SENSORS.
5. IRRIGATION CONTRACTOR TO PROVIDE A RECOMMENDED SCHEDULE FOR RUN TIMES AND FREQUENCY OF WATERING FOR THE FIRST TWO WEEKS, THE FIRST TWO MONTHS, AND THE FIRST TWELVE MONTHS (INCLUDING ALL SEASONAL CHANGE REQUIREMENTS) AFTER COMPLETION OF ENTIRE SYSTEM.
6. CONTRACTOR TO INSTRUCT OWNER'S PERSONNEL IN OPERATION AND MAINTENANCE OF ENTIRE SYSTEM INCLUDING ADJUSTING OF SPRINKLER HEADS.
7. CONTRACTOR TO INSPECT IRRIGATION SYSTEM AT TWO AND FOUR WEEKS AFTER DATE OF SUBSTANTIAL COMPLETION AND MAKE NECESSARY ADJUSTMENTS.
8. ENTIRE IRRIGATION SYSTEM TO BE UNCONDITIONALLY GUARANTEED AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP, INCLUDING REPAIR OF SETTLING OF BACKFILLED AREAS BELOW GRADE AND ADJUSTING HEADS TO PROPER LEVEL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
9. ALL MINOR ADJUSTMENTS, ANY DEFECTIVE ELECTRICAL CONTROL VALVES, SPRINKLER HEADS OR OTHER WORKING PARTS SHALL BE REPAIRED OR REPLACED WITHOUT COST TO THE OWNER FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
10. ALL DAMAGE BY OTHERS DURING THE ONE-YEAR GUARANTEE PERIOD WILL BE OWNER'S RESPONSIBILITY.
11. ALL MATERIALS TO BE INCORPORATED IN THIS SECTION BE NEW AND OF THE BEST QUALITY MEETING.
12. ACCEPTABLE PRODUCT MANUFACTURERS:
 - A. RAINBIRD
 - B. WEATHER-MATIC
 - C. HUNTER
 - D. TORO
13. MAINLINE PIPING TYPE & SIZE: AS INDICATED ON PLANS
14. MAINLINE PIPING DEPTH: 18" MINIMUM DEPTH UNLESS OTHERWISE NOTED ON PLANS/DETAILS.
15. LATERAL PIPING TYPE & SIZE: ALL LATERAL PIPES, DOWNSTREAM OF THE CONTROL VALVES, SHALL BE HAVE SOLVENT WELD JOINTS AND SHALL MEET THE LATEST REQUIREMENTS OF ASTM D 2241 STANDARD SPECIFICATION FOR POLY (VINYL CHLORIDE) / (PVC) PLASTIC PIPE WITH STANDARD DIMENSION RATIO (SDR) OF 21 AND A PRESSURE RATING (PR) OF 200 PSI.
16. LATERAL PIPING DEPTH: 12" MINIMUM DEPTH UNLESS OTHERWISE NOTED ON PLANS/DETAILS.
17. LOW FLOW DRIP PIPING TYPE & FITTINGS: RAINBIRD OR EQUAL.
18. LOW FLOW DRIP PIPING DEPTH: BELOW MULCH LAYER OR AS SPECIFIED BY MANUFACTURER.
19. ALL PIPING TO HAVE MAXIMUM VELOCITIES OF FIVE FEET PER SECOND.
20. ALL 1/2" INLET SPRAY HEADS SHALL BE CONNECTED TO THE IRRIGATION PIPING UTILIZING 1/2" THICK WALLED POLYETHYLENE TUBING (RAIN BIRD MODEL SPX-100) AND APPROPRIATE INSERT FITTINGS (RAIN BIRD MODELS SBE-050, SBE-075, SBA-050, SBA-075) SUFFICIENT LENGTHS OF FLEXIBLE PIPE SHALL BE USED TO FORM A SWEEPING ARC TO ENSURE THAT SPRAY HEADS ARE SUPPORTED PROPERLY AND ALLOW FOR VERTICAL ADJUSTMENT AND MOVEMENT DURING SERVICE.
21. SWING JOINTS: EQUAL TO PREFABRICATED SCH. 80 PVCBY SPEARS. FOR USE ON GEAR-DRIVEN ROTARY HEADS, QUICK-COUPLING VALVES, AND GROUND LEVEL POP-UP IMPACT DRIVEN HEADS.
22. ZONE VALVES: RAINBIRD PEB OR EQUAL
23. WHERE POSSIBLE, LOCATION OF ZONE & OTHER VALVES TO BE IN GROUNDCOVER OR LOW PLANTING BEDS. VALVES INSTALLED IN TURF AREAS TO BE OUTSIDE NATURAL WALKWAYS AND PATHS.
24. VALVE BOXES FOR ZONE VALVES: EQUAL TO CARSON INDUSTRIES MODEL 1419 WITH 1419-6X EXTENSIONS.
25. VALVE BOXES TO BE SET WITH COVER FLUSH WITH FINISH GRADE WITH EARTH FILL CAREFULLY TAMPED AROUND EACH VALVE BOX.
26. VALVE BOXES SHALL BE SUPPORTED BY BLOCKING BELOW IN SUCH THAT ANY SURFACE LOADS ON THE VALVE BOX ARE NOT TRANSMITTED TO PIPING OR VALVES.
27. VALVE BOXES SHALL HAVE 12" BY 12" BY 8" MINIMUM DEPTH WASHED GRAVEL SUMP TO ALLOW WATER TO DRAIN AWAY FROM VALVES.
28. VALVE BOXES SHALL BE CENTERED ON THE VALVES.
29. ZONE VALVE BOXES TO BE PLACED PARALLEL TO NEARBY CURBS, WALKS, WALL, BUILDINGS, ETC.
30. ABOVE GRADE BACKFLOW PREVENTERS TO BE IN FIBERGLASS ENCLOSURE EQUAL TO "HOT BOX" MANUFACTURED BY NORTHEAST FLORIDA ENTERPRISES, INC. 1/800-736-0238. PLACE ON CONCRETE SLAB AND ANCHOR WITH 4 BOLTS. SIZE TO FIT BACKFLOW PREVENTER. PROVIDE ELECTRICAL CONNECTION FOR HEATER CABLE AS RECOMMENDED BY ENCLOSURE MANUFACTURER.
31. WIRE FOR COMMUNICATION BETWEEN THE CONTROLLER AND DECODERS SHALL BE 14-2 GAUGE MAXI-CABLE AS REQUIRED FOR THE DECODER SYSTEM.
32. ENVIRONMENTAL SENSORS TO BE EQUAL TO RAINBIRD WR2 RAINFREEZE SENSOR. MOUNT SENSOR AT INCONSPICUOUS LOCATION APPROVED BY OWNER'S REPRESENTATIVE USING MANUFACTURER'S RECOMMENDATIONS.
33. CONTRACTOR SHALL PROVIDE A BOOSTER PUMP TO INCREASE THE WATER PRESSURE WHERE NECESSARY TO PROVIDE DESIGNED PRESSURE. THE FINAL BOOSTER PUMP STATION DESIGN CRITERIA WILL DEPEND ON THE DESIGN REQUIREMENTS FOR PROJECT AS WELL AS THE STATIC WATER PRESSURE AT THE TIME OF PROJECT CONSTRUCTION. CONTRACTOR SHALL CONSULT WITH OWNER OR HIS REPRESENTATIVE BEFORE ORDERING THE BOOSTER PUMP.
34. INSTALL AUTOMATIC DRAIN VALVES AT ALL LOW SECTIONS OF LATERAL PIPING (LINES DOWNSTREAM FROM VALVES) TO ENSURE COMPLETE DRAINAGE OF SYSTEM WHEN NOT IN USE. WRAP EACH VALVE WITH APPROVED FILTER FABRIC. MINIMUM OF TWO DRAINS PER ZONE.
35. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION INCLUDING ALL PRESSURE TESTS, CONTRACTOR SHALL CONDUCT A PERFORMANCE TEST OF THE COMPLETE SYSTEM TO INSURE THAT ALL COMPONENTS ARE FUNCTIONING PROPERLY. PERFORMANCE TEST SHALL CONSIST OF OPERATING THE SYSTEM THROUGH A COMPLETE IRRIGATION CYCLE PER DAY FOR TWO (2) CONSECUTIVE DAYS. CONTRACTOR SHALL BE AT THE SITE TO MONITOR THE PERFORMANCE TESTS AND MAKE ANY ADJUSTMENTS AND CORRECTIONS AS NEEDED DURING THE TESTING PERIOD.



wallace design collective, pc
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1980 pyramid court, suite 350
englewood, co 80112
303.350.1690 800.364.5858



TACO BELL - PARKER & STROH
LOT 3B, REATA WEST FILING NO.1, 1ST AMENDMENT

REV	DATE	DESCRIPTION

DATE XX/XX/2024
PROJECT NO. 2375049
SHEET NAME

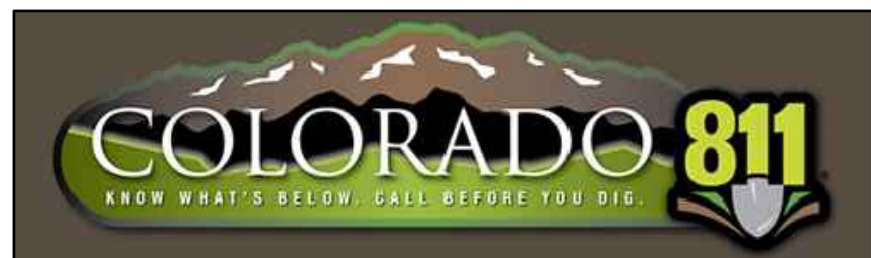
LANDSCAPE SPECIFICATIONS
SHEET NO. L200

CO 811:
ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS)AND CALL "CO 811" AT 800-922-1987.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

CAUTION NOTICE TO CONTRACTOR

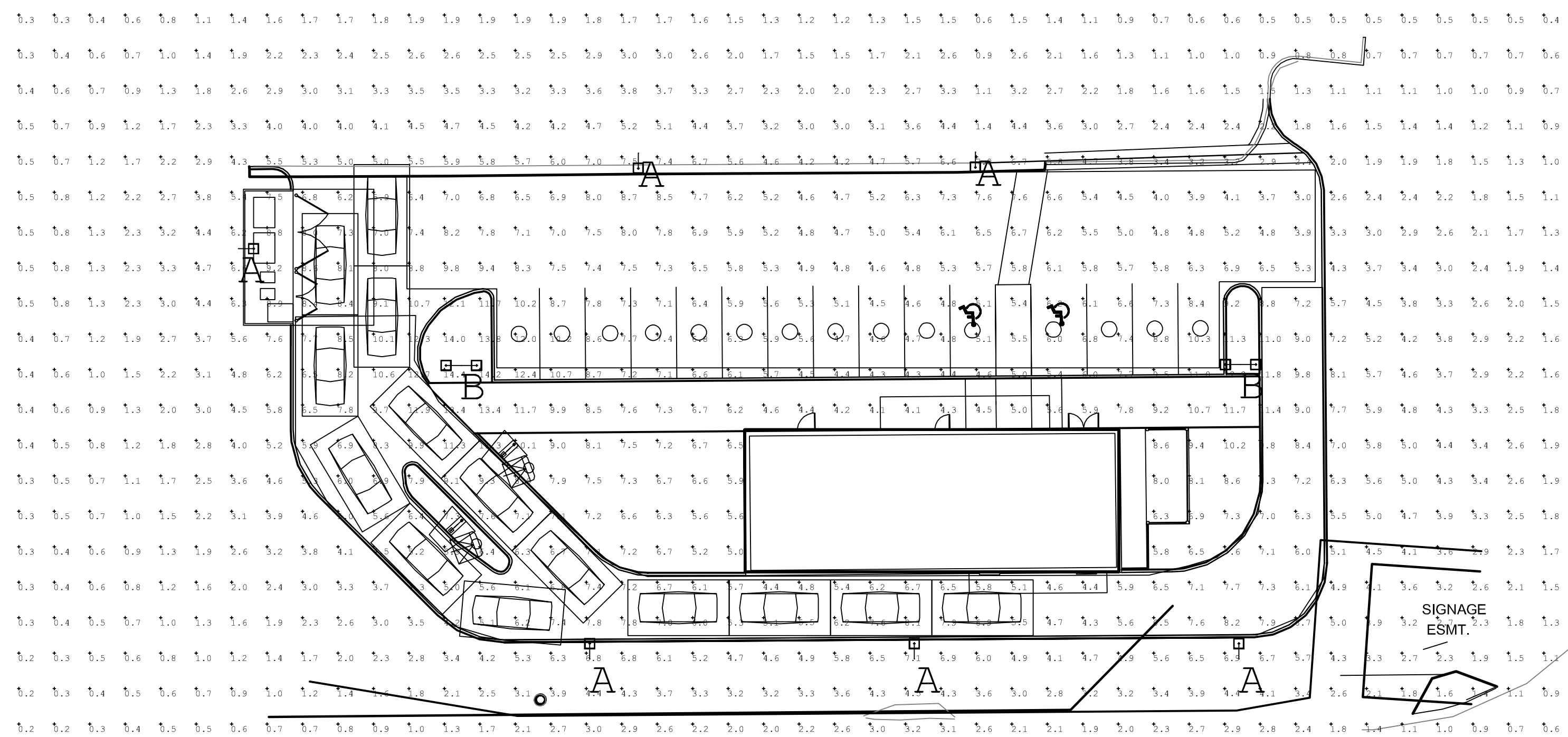
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



ORIG SIZE: 24"X36"

LOT: 5/15/2024 10:51:08 AM

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Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⊕	6	A	SINGLE	MRM-LED-24L-SIL-FT-40-70CRI MOUNTED AT 25'
⊖	2	B	BACK-BACK	MRM-LED-24L-SIL-FT-40-70CRI MOUNTED AT 25'

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
-	Fc	N.A.	N.A.	N.A.	N.A.	N.A.
DRIVE THRU SURFACE	Fc	7.04	12.7	4.3	1.64	2.95
PARKING LOT SURFACE	Fc	6.36	12.0	3.0	2.12	4.00

ROBERT L. QUEATHEN
 ENGINEER
 1950 CRAIG ROAD, SUITE 300 ST. LOUIS, MO 63146
 PH. (314) 415-2400 FAX (314) 415-2300 www.rlqc.com

PLAN SET ISSUE / REVISION HISTORY

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CONTRACT DATE:
 BLDG TYPE: KITCHEN-X MED20
 WM UPLOAD DATE:
 BRAND DESIGNER: ARCVISION
 SITE NUMBER: XXXXX
 STORE NUMBER: XXXXX
 PA/PM: FRANK WANCHO
 DRAWN BY.: ARCVISION
 JOB NO.: 230722

KITCHEN-X MED20
 PARKER RD AND STROH RD
 PARKER, CO 80134



**SITE
 PHOTOMETRICS
 PLAN**

E1.1



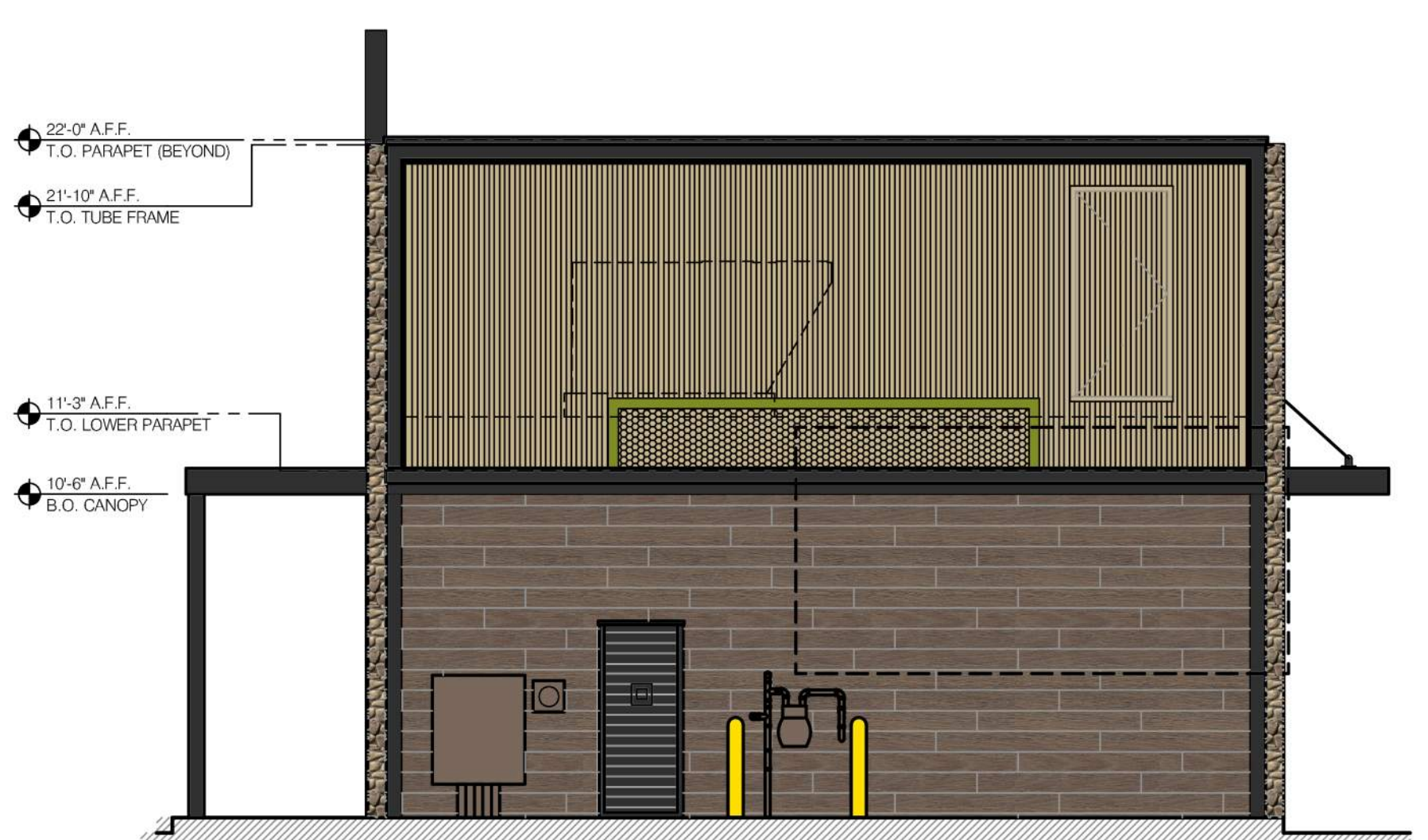
ENTRY SIDE ELEVATION



DRIVE-THRU SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION

NEW SIGNAGE

