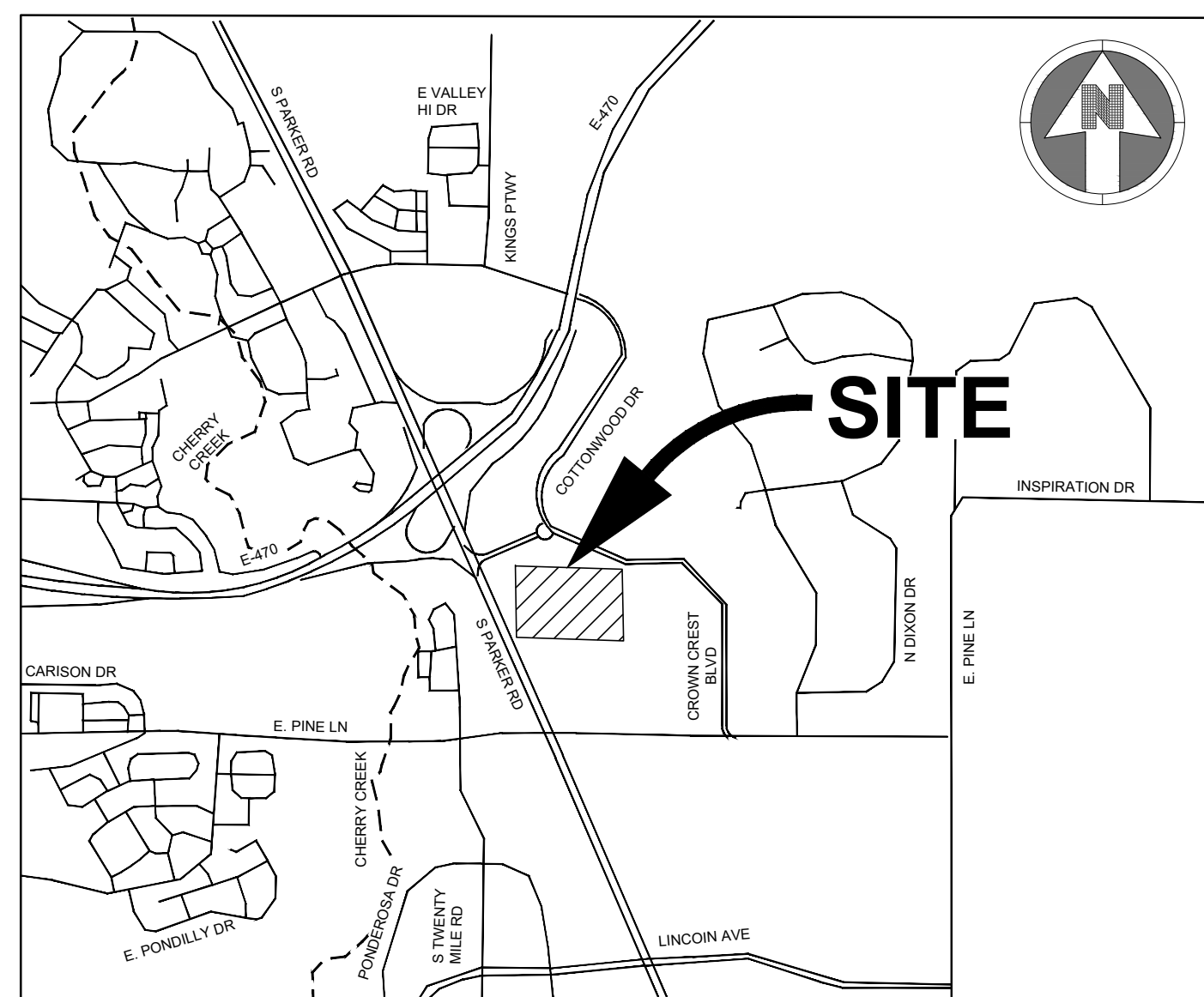


CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



VICINITY MAP

SCALE: 1"=2000'

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03 of 24	EXISTING CONDITIONS MAP
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16 of 24	ARCHITECTURAL SITE PLAN
17 of 24	EXTERIOR ELEVATIONS
18 of 24	EXTERIOR ELEVATIONS
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23 of 24	LUMINAIRE CUT SHEETS
24 of 24	PHOTOMETRIC SITE PLAN

AGENCY LIST

ELECTRIC-IREA
PO DRAWER A
5496 US HWY 85
SEDALIA, CO. 80135
303-888-3100
CONTACT: BROOKS KAUFMAN

FIRE-SOUTH METRO FIRE RESCUE
9195 E. MINERAL AVE
CENTENNIAL, CO 80112
720-989-2000
CONTACT: RANDY CAPRA

TOWN OF PARKER-PUBLIC WORKS
20120 E. MAINSTREET
PARKER, CO 80134
303-840-9546
CONTACT: MIKE WAUGH

CABLE-COMCAST
8850 S. TUSCON WAY
ENGLEWOOD, CO. 80112
303-603-5605
CONTACT: KEVIN YOUNG

TRI-COUNTY HEALTH DEPARTMENT
7000 E. BELLEVIEW AVENUE
GREENWOOD VILLAGE, CO. 80111
303-220-9200
CONTACT: CAROL MACLENNAN

CROWN POINT ARCHITECTURAL
CONTROL COMMITTEE
27905 MEADOW DRIVE, SUITE 11
EVERGREEN, CO 80439 303-674-7856
CONTACT: TIM LEONARD

GAS-XCEL ENERGY
2070 SOUTH VALENTIA STREET
DENVER, CO. 80231
1-800-628-2121
CONTACT: DESIGN MANAGER

TOWN OF PARKER
PLANNING AND BUILDING DEPT.
20120 E. MAIN STREET
PARKER, CO. 80134
303-841-2332
CONTACT: PAUL WORKMAN

COTTONWOOD WATER & SANITATION DISTRICT
2 INVERNESS DRIVE EAST
ENGLEWOOD, CO
303-792-9509
CONTACT: PATRICK MULHERN/ LAURI TATLOCK

TELEPHONE - CENTURY LINK
LOCAL NETWORK OPERATIONS
9750 E. COSTILLA AVENUE
ENGLEWOOD, CO. 80112
303-792-1840
CONTACT: KAREN CAIME

COTTONWOOD WATER AND SANITATION
DISTRICT ENGINEER-KENNEDY JENKS CONSULTING
143 UNION BOULEVARD
SUITE 600
LAKEWOOD, CO 80228
PHONE: 303-985-3636
CONTACTS: TOM NAPOLILLI

OWNER INFORMATION

ADVENTHEALTH PARKER
9395 CROWN CREST BLVD.
PARKER, CO. 80138
303-269-4014

DESIGN INFORMATION

ARCHITECT: BOULDER ASSOCIATES
PHONE: 303-499-7795

ARCHITECT: SMITHGROUP
PHONE: 303-832-3272

CIVIL ENGINEER: S. A. MIRO, INC
PHONE: 303-741-3737

LANDSCAPE ARCHITECT: OXBOW DESIGN COLLABORATION
PHONE: 720-465-6168

STRUCTURAL ENGINEER: MGA STRUCTURAL ENGINEERS, INC.
PHONE: 719-635-4473

MEPT ENGINEERS: CATOR RUMA & ASSOCIATES CO
PHONE: 303-232-6200

FIRE PROTECTION: TLH FIRE
PHONE: 303-517-1775

SITE STATISTICS

ZONING	PLANNED DEVELOPMENT		
	SF	ACRE	% OF TOTAL
LOT AREA			
GROSS	1,474,205	33.843	100.00%
NET	1,474,205	33.843	100.00%
SITE DATA	SF	ACRE	% OF TOTAL
BUILDING AREA	267,859	6.149	18.17%
HARDSCAPE AREA	784,457	18.01	53.21%
LANDSCAPE AREA (REQ'D:15%)	421,889	9.685	28.62%
	TOTAL	1,474,205	33.843

SETBACKS

CROWN CREST BLVD (E)	30'
CROWN CREST BLVD (N)	30'
PARKER ROAD (W)	50'
PARKER ROAD (S)	50'



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



SMITHGROUP

ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE

08/16/2024

PARKER PROJECT NUMBER

SP24-062

SHEET TITLE

COVER SHEET

DRAWING NUMBER

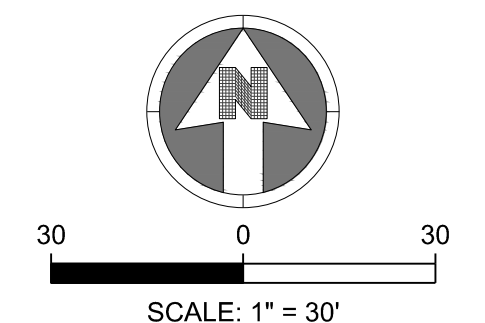
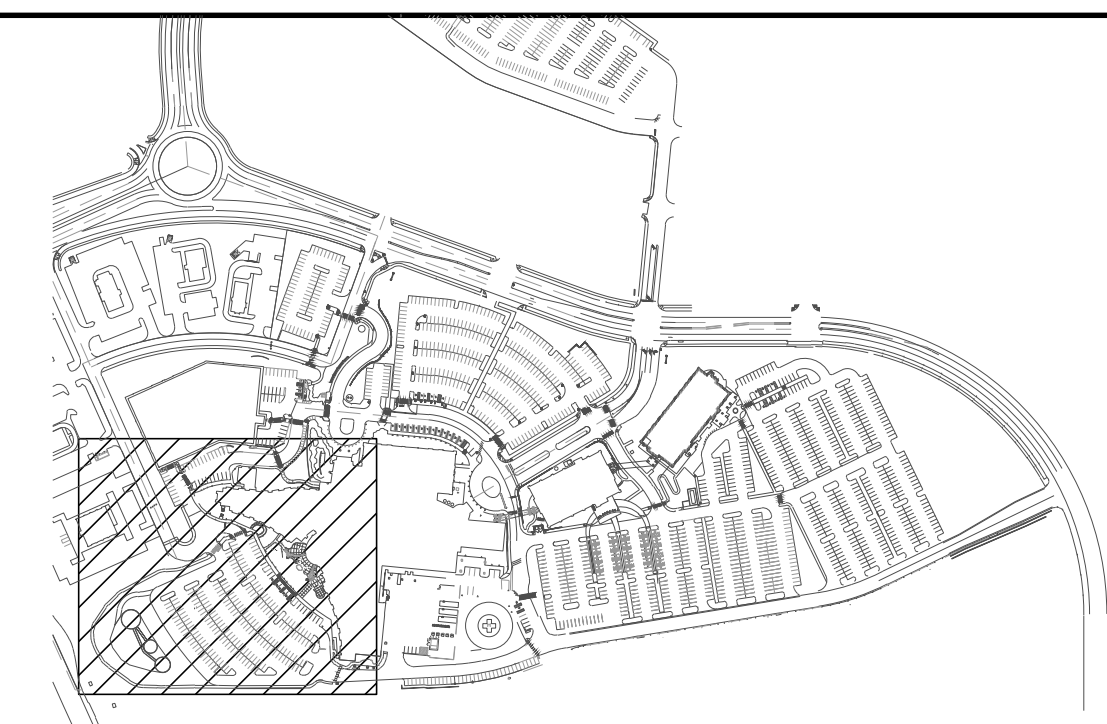
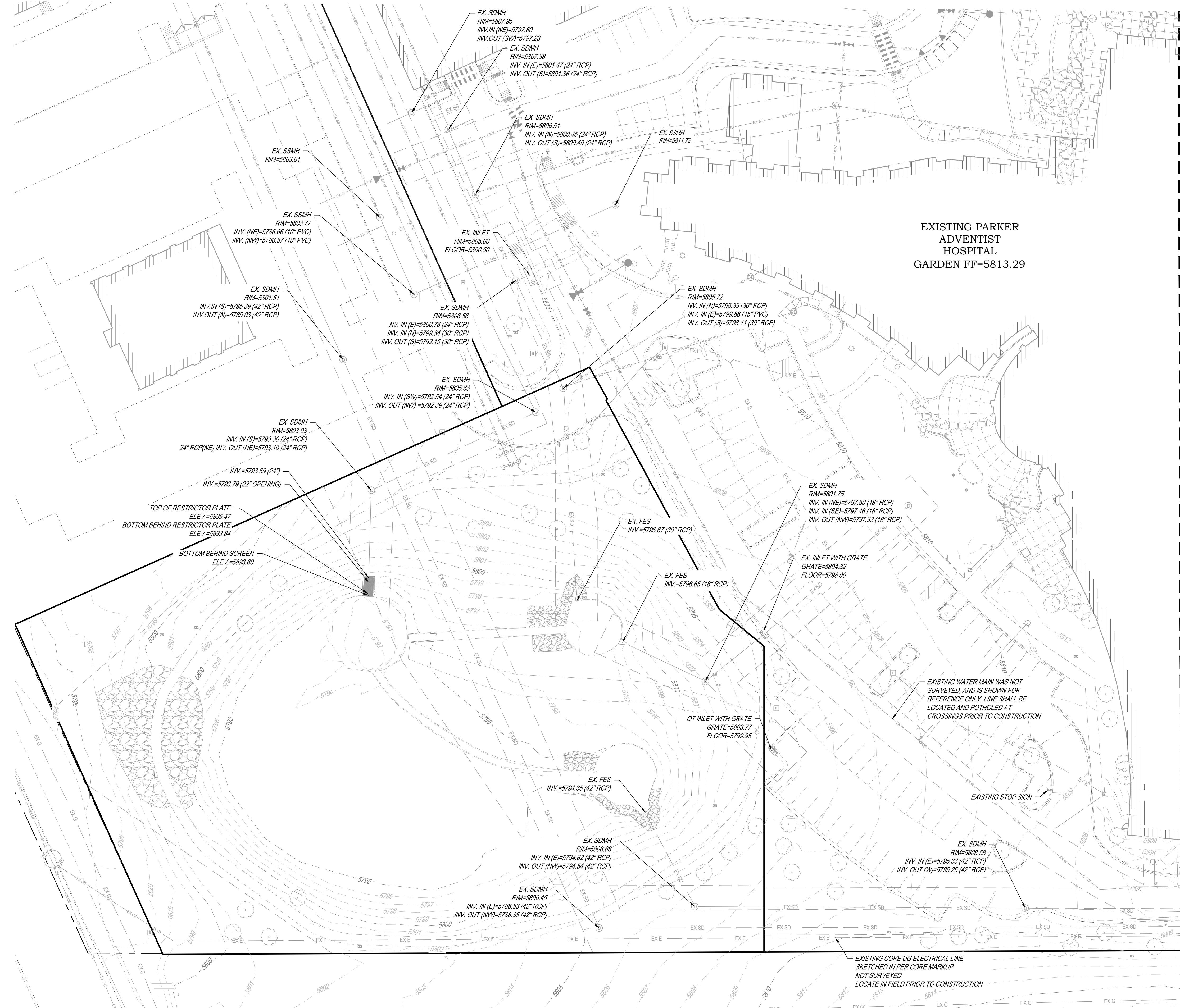
01 of 24

CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



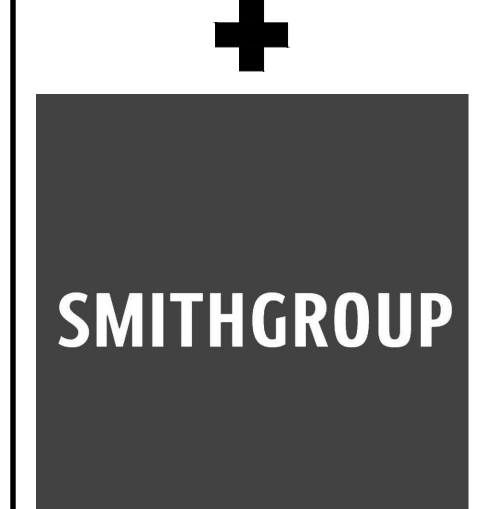
LEGEND:

	PROPERTY LINE
	RIGHT OF WAY
	EXISTING BUILDING
	EXISTING CURB AND GUTTER
	EXISTING SIDEWALK
	EXISTING WALL
	EXISTING FENCE
	EXISTING SIGN
	EXISTING LIGHT
	EXISTING TREE
	EXISTING MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING EASEMENT
	EXISTING ELECTRICAL LINE
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	EXISTING WATER LINE
	EXISTING STORM INLET
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING MANHOLES

SEE SHEET 03 OF 24



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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

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08/16/2024

PARKER PROJECT NUMBER
SP24-062

SHEET TITLE
EXISTING CONDITIONS MAP

DRAWING NUMBER
02 of 24

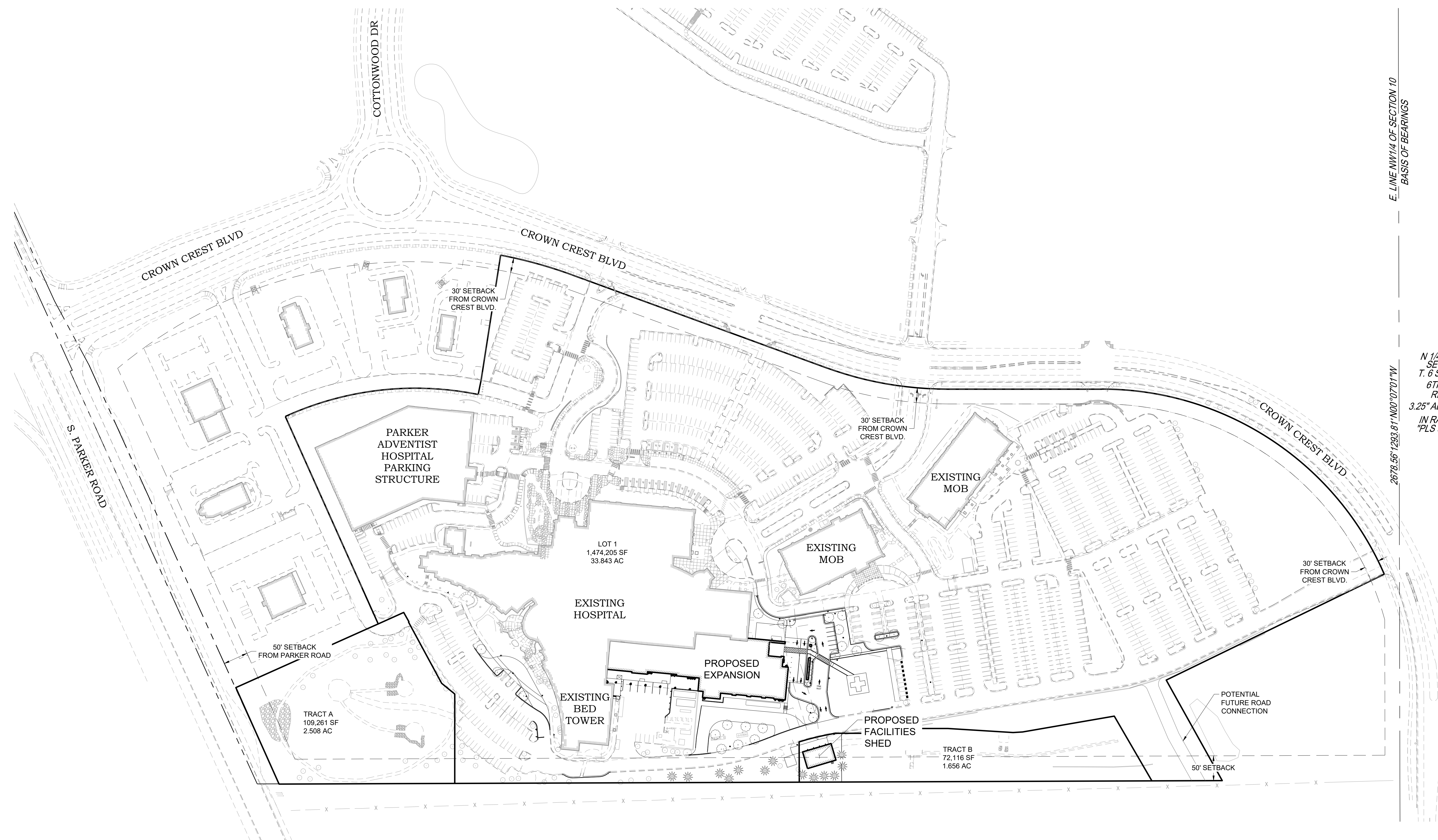
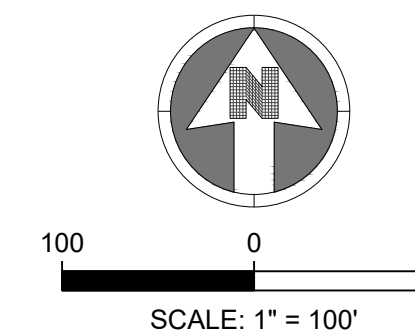
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CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



E. LINE NW1/4 OF SECTION 10
BASIS OF BEARINGS

N 1/4 CORNER
SECTION 10
T. 6 S., R. 66 W.,
6TH P.M. #6
REBAR W/
3.25" ALUMINUM CAP
IN RANGE BOX,
PLS 9329 2005"

2678.56' 1293.81' N00°07'01" W



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BOULDER, COLORADO 80302
303.499.7795



SMITHGROUP

**ADVENTHEALTH
PARKER FACILITY
EXPANSION**

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
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DATE
08/16/2024

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SP24-062

SHEET TITLE
**OVERALL SITE
PLAN**

DRAWING NUMBER
04 of 24

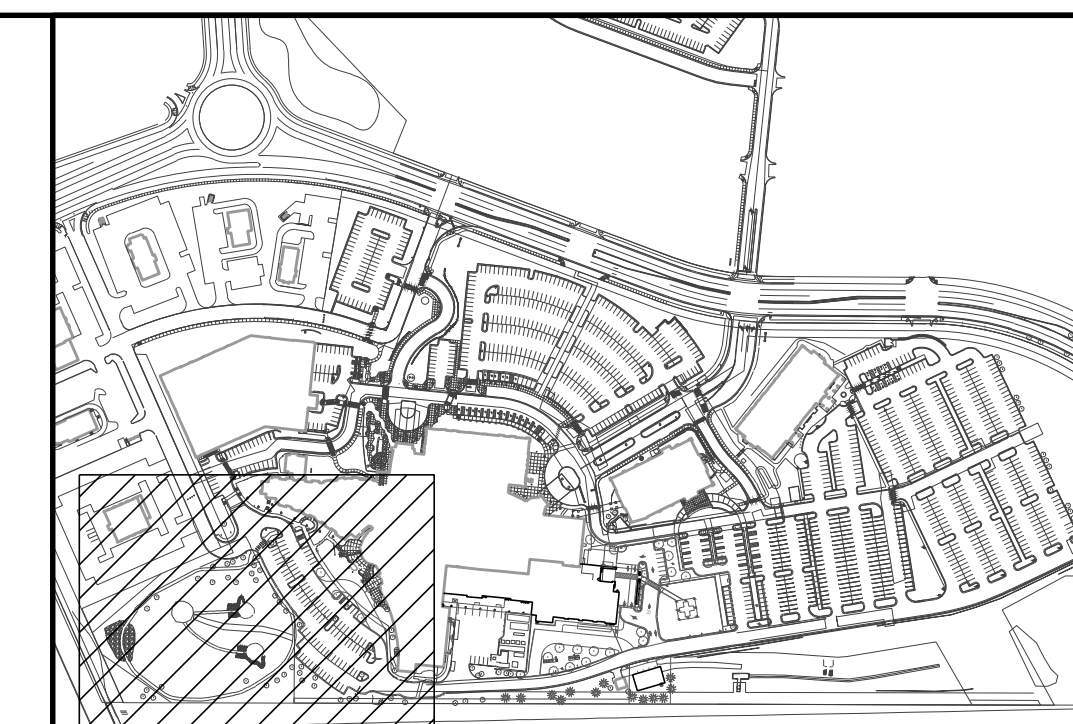
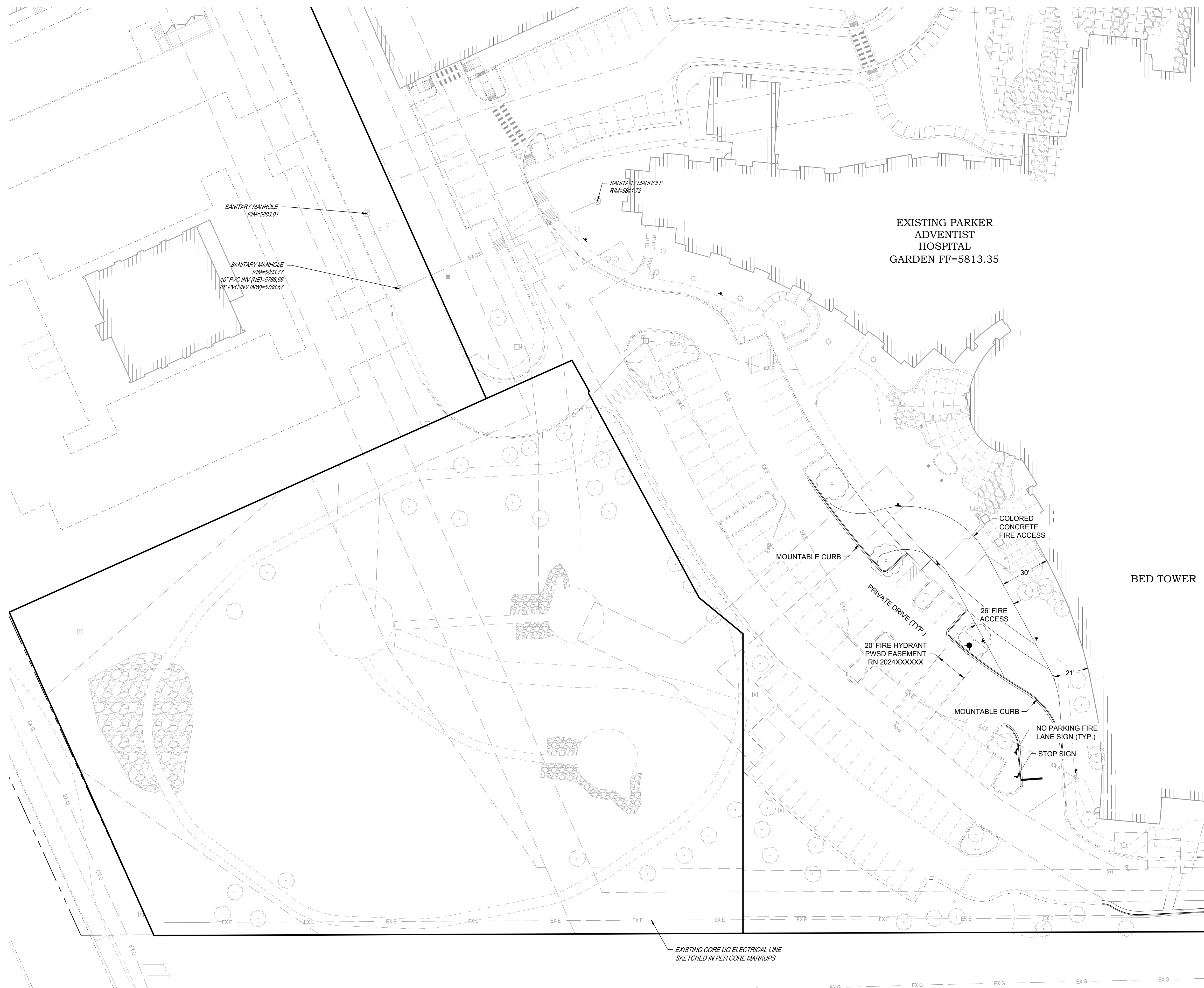
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CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

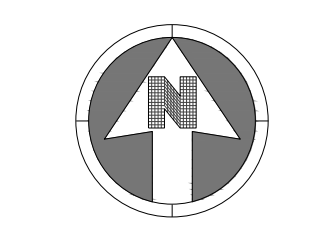
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TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN




KEY MAP

NOT TO SCALE



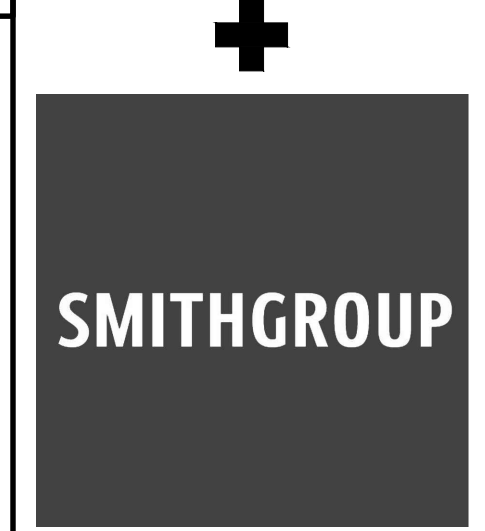
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SCALE: 1" = 30'

LEGEND:

-  TRAFFIC FLOW ARROW
-  PARKING STALL COUNT
9'X18' MINIMUM DIMENSIONS



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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

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DATE
08/16/2024

PARKER PROJECT NUMBER
SP24-062

SHEET TITLE
SITE PLAN

DRAWING NUMBER
05 of 24

SEE SHEET 06 OF 24

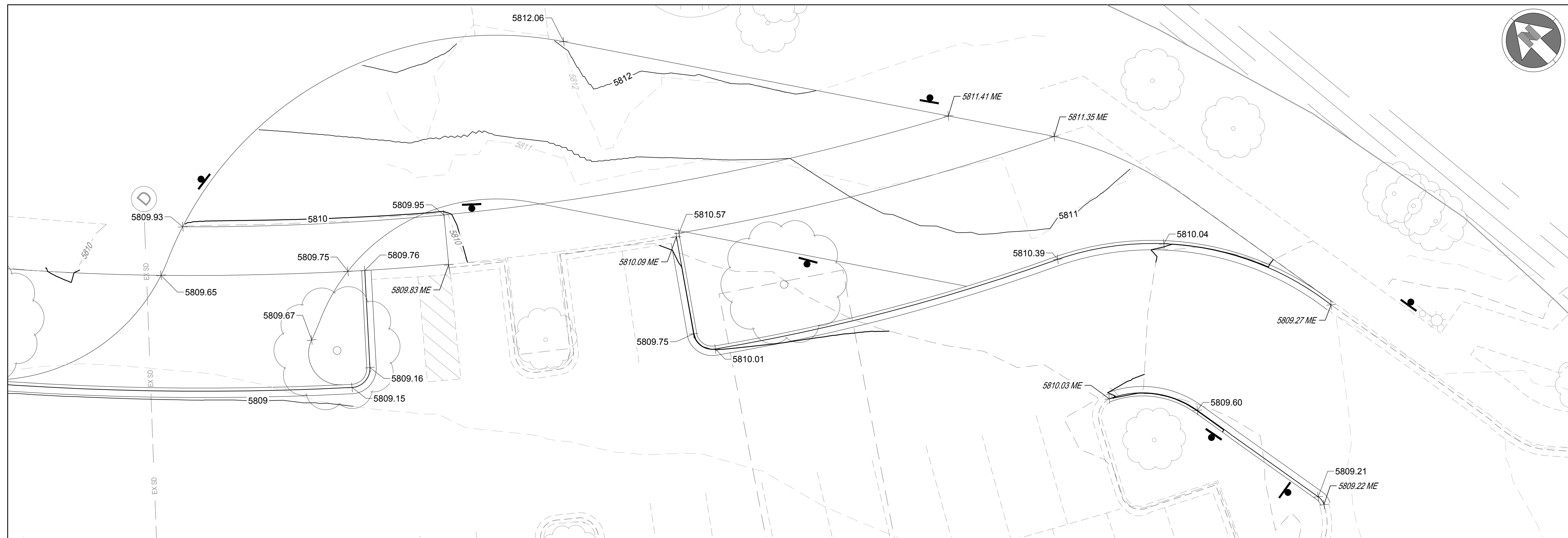
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CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

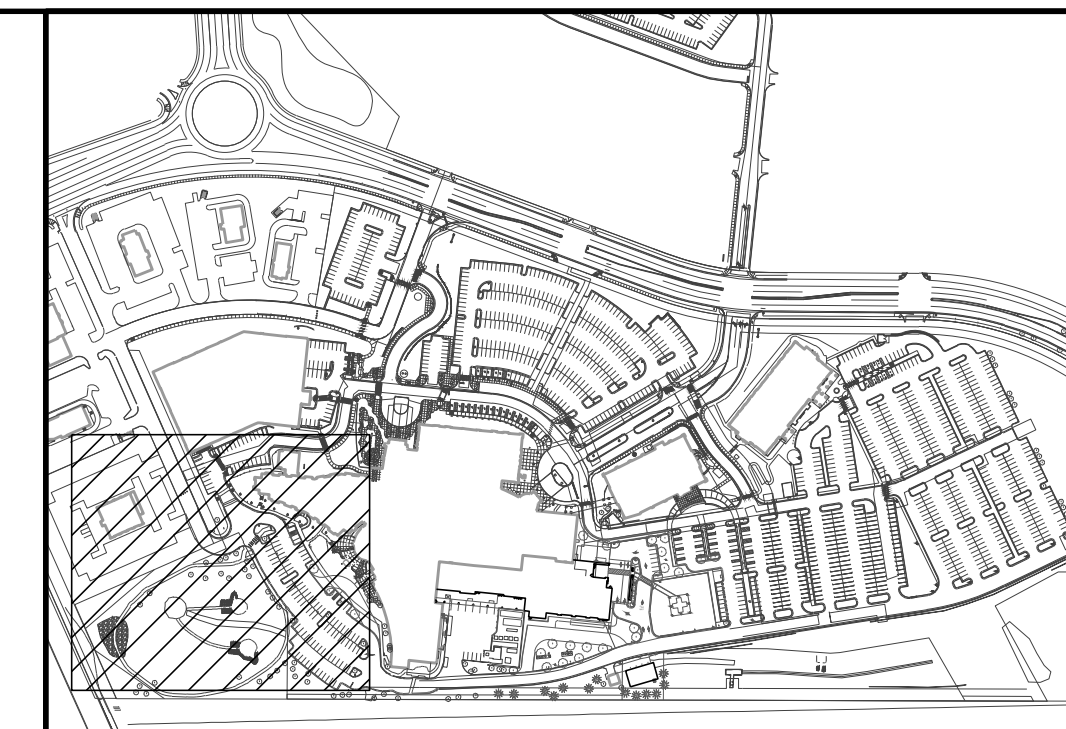
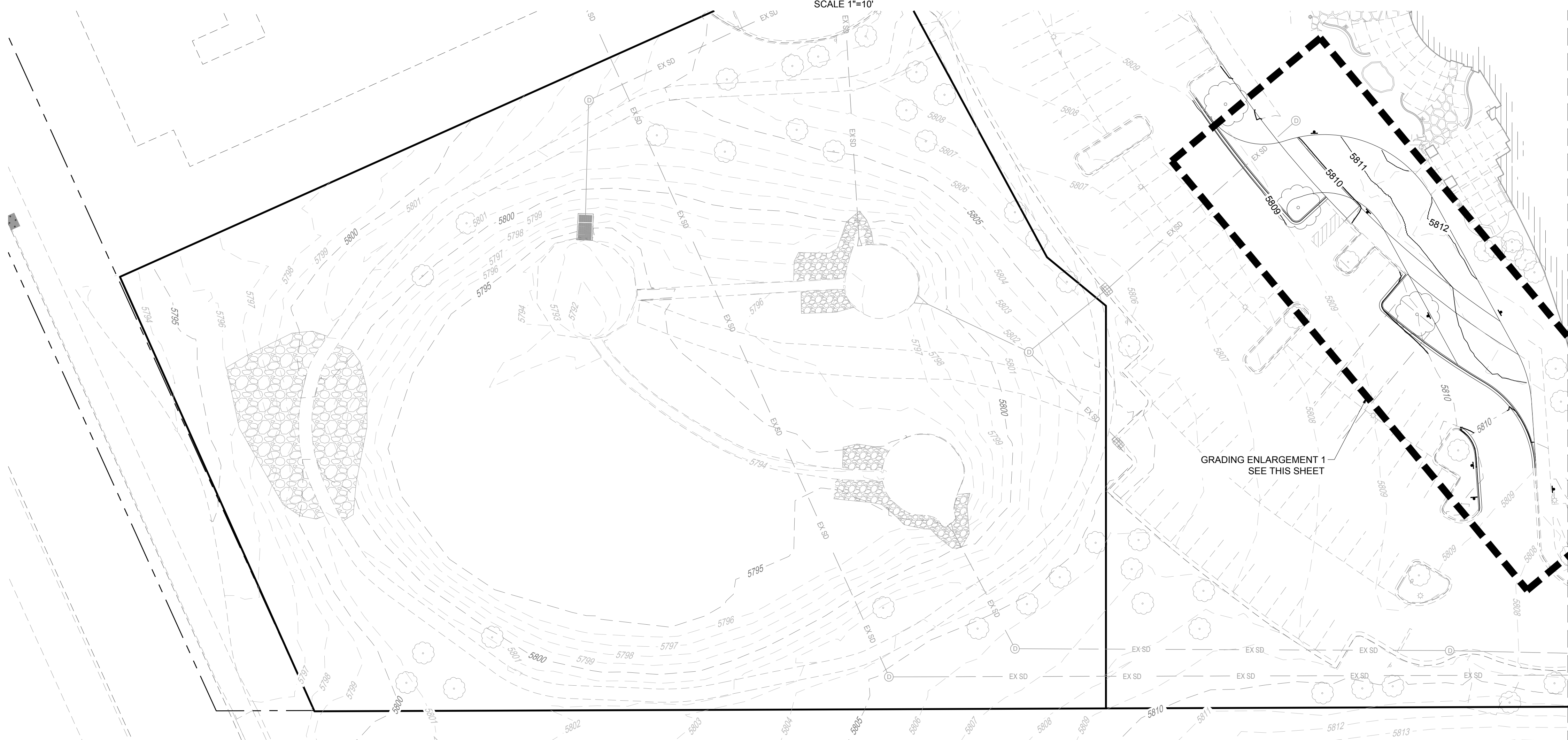
LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



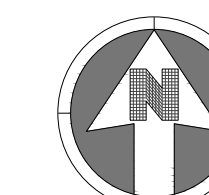
GRADING ENLARGEMENT 1 - WEST FIRE LANE

SCALE 1"=10'



KEY MAP

NOT TO SCALE



30 0 30

SCALE: 1" = 30'

NOTES:

1. SEE SHEET C001 FOR CIVIL NOTES AND LEGEND.



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



**ADVENTHEALTH
PARKER FACILITY
EXPANSION**

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
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PARKER PROJECT NUMBER
SP24-062

SHEET TITLE
GRADING PLAN

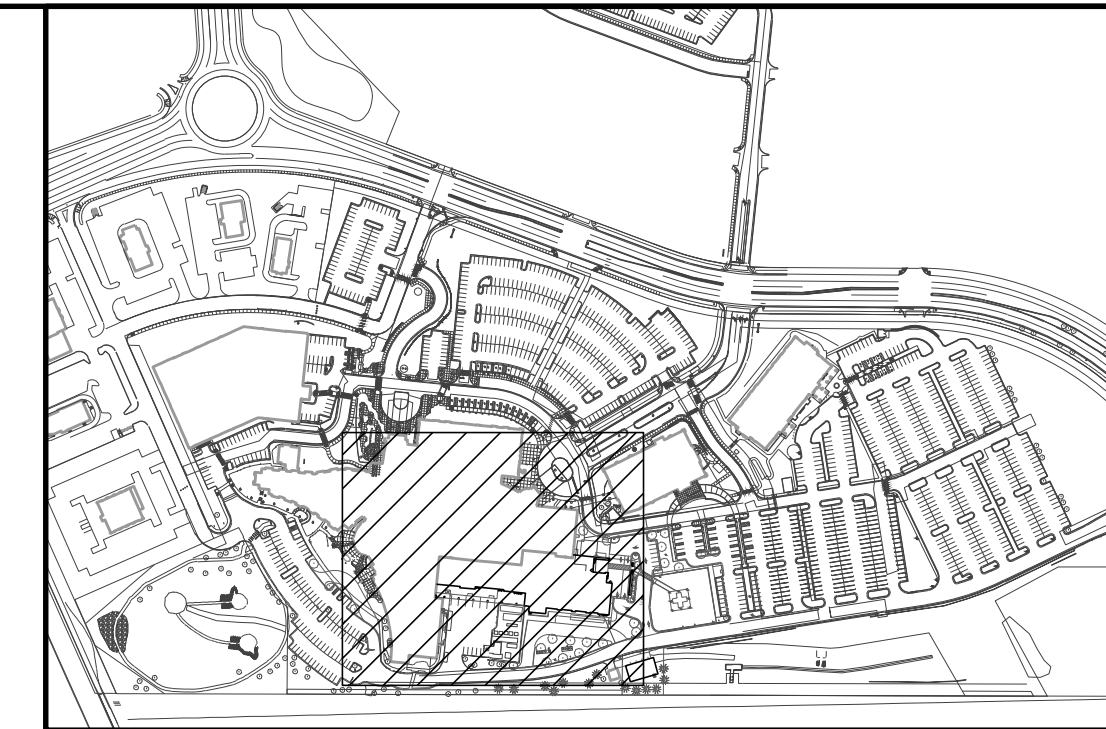
DRAWING NUMBER
07 of 24

CROWN POINT FILING 1 AMENDMENT 30

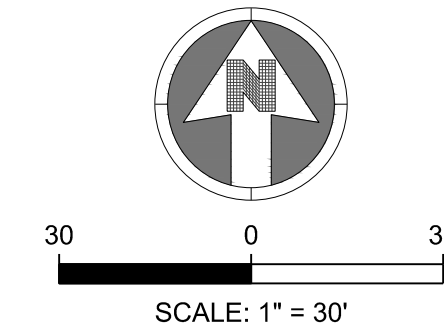
LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
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SITE PLAN



KEY MAP
NOT TO SCALE



NOTES:

- SEE SHEET C001 FOR CIVIL NOTES AND LEGEND.



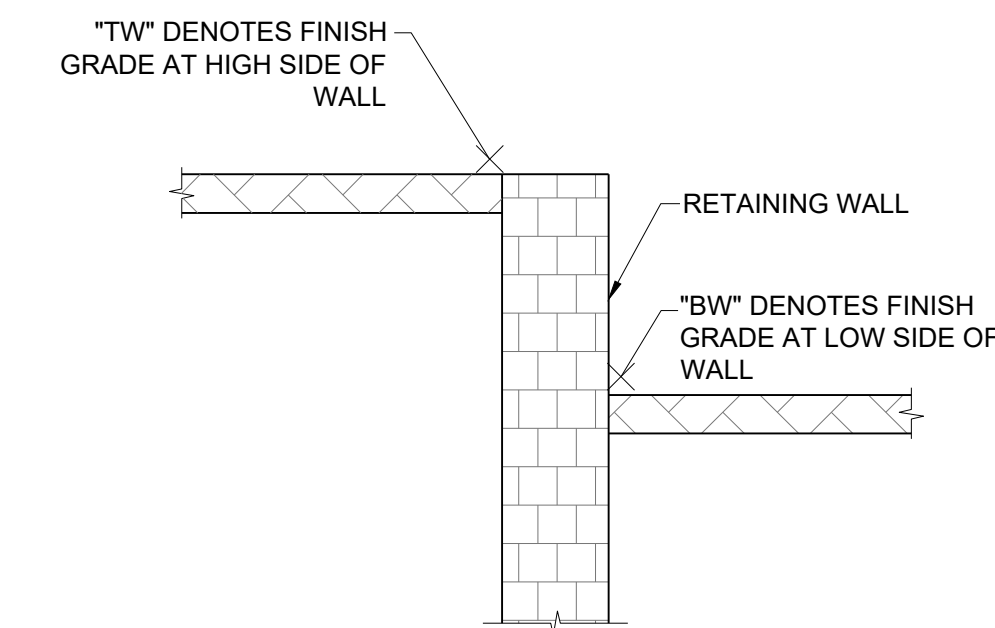
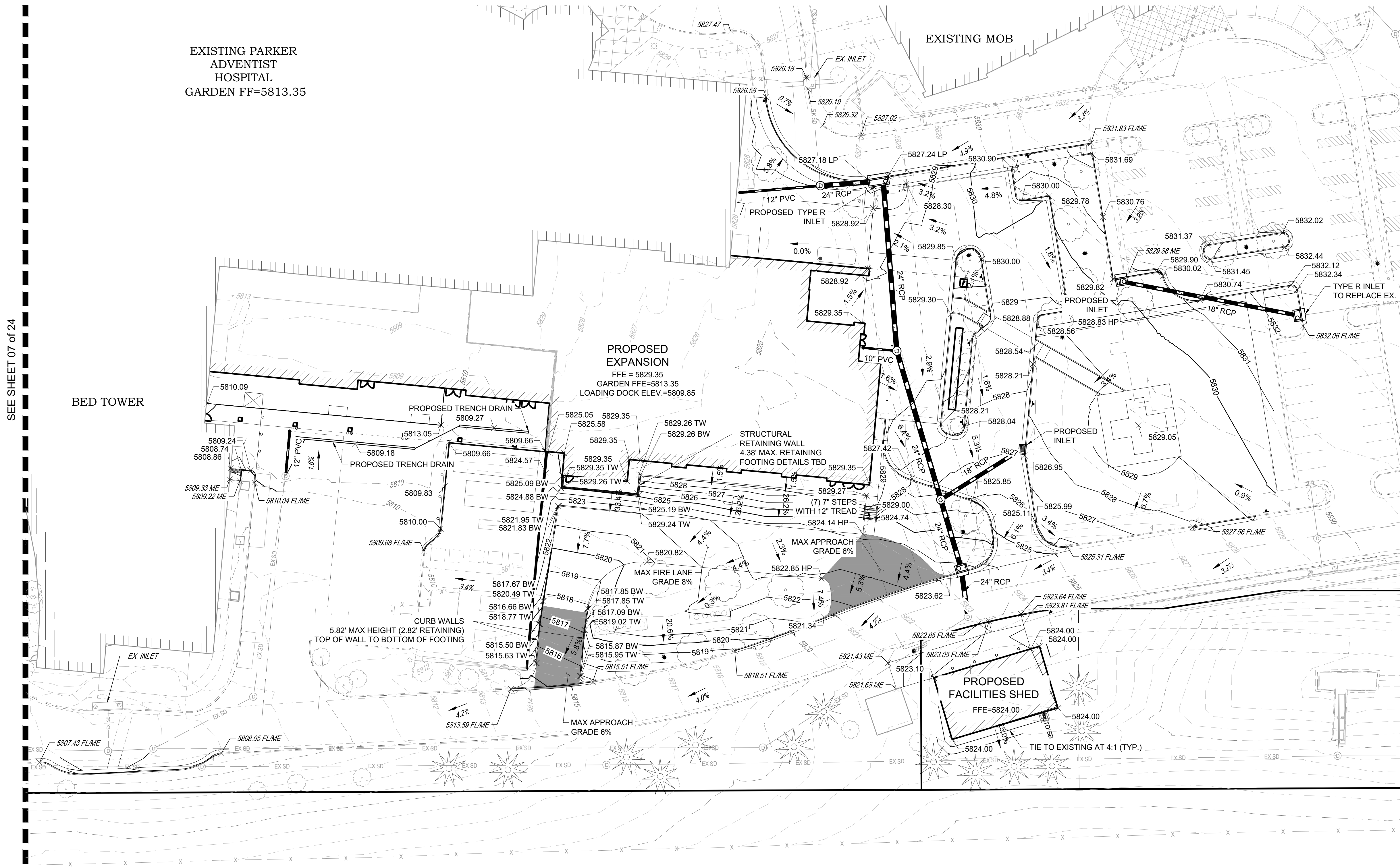
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BOULDER, COLORADO 80302
303.499.7795



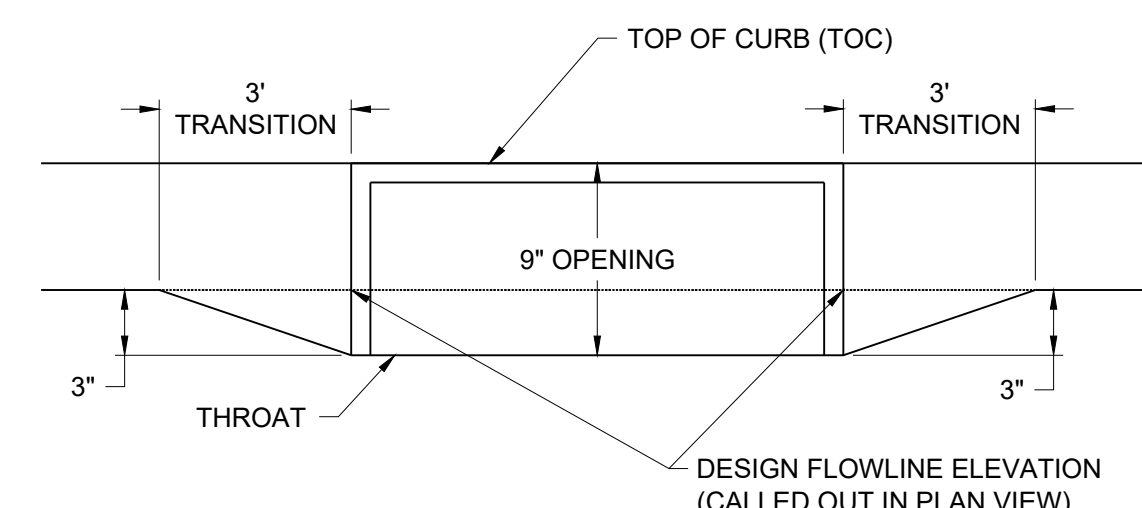
ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

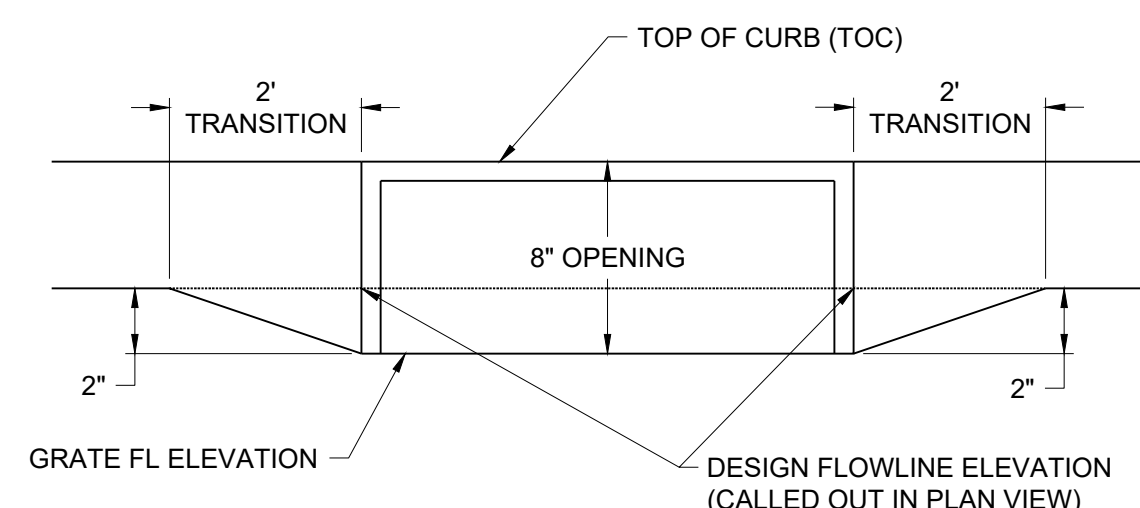
DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
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RETAINING WALL GRADING LABEL DETAIL
NOT TO SCALE



TYPE R INLET ANNOTATION DETAIL



SINGLE TYPE 16 COMBO INLET ANNOTATION DETAIL

SEE SHEET 07 of 24

DATE	08/16/2024
PARKER PROJECT NUMBER	SP24-062
SHEET TITLE	GRADING PLAN
DRAWING NUMBER	08 of 24

CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN

PLANTING SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	HEIGHT	WIDTH	WATER
DECIDUOUS TREES								
BRO	<i>Quercus macrocarpa</i>	Bur Oak	4	2.5" cal.	as shown	50-80'	50-80'	L
WHB	<i>Celtis reticulata</i>	Western Hackberry	3	2.5" cal.	as shown	60'	40'	L
SHL	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	5	2.5" cal.	as shown	50'	35'	L
WCA	<i>Catalpa speciosa</i>	Western Catalpa	5	2.5" cal.	as shown	40-60'	30-50'	L
ENO	<i>Quercus robur</i>	English Oak	4	2.5" cal.	as shown	40 - 60'	30-40'	M
EVERGREEN TREES								
PIN	<i>Pinus edulis</i>	Pinon Pine	3	6'	as shown	20-30'	10-20'	L
APN	<i>Pinus nigra</i>	Austrian Pine	8	8'	as shown	50'	20-25'	L
ORNAMENTAL TREES								
RBC	<i>Malus 'Red Barron'</i>	Red Barron Crabapple	5	1.5" cal.	as shown	10'	10'	M
EVERGREEN SHRUBS								
MZT	<i>Arctostaphylos x coloradensis</i> 'Panchito'	Panchito Manzanita	150	#5	4' o.c.	2'	4'	L
DMP	<i>Pinus mugo 'Pumilo'</i>	Dwarf Mugo Pine	13	#5	4' o.c.	3-4'	3-4'	L
BFJ	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	22	#5	4' o.c.	12"	6'	L
SKY	<i>Juniperus virginiana 'Skyrocket'</i>	Skyrocket Juniper	13	#5	4' o.c.	4-6'	20'	L
DECIDUOUS SHRUBS								
DGM	<i>Acer ginnala 'Compacta'</i>	Dwarf Ginnala Maple	33	#5	6' o.c.	8'	8'	M
BMS	<i>Caryopteris clandonensis</i>	Blue Mist Spirea	15	#5	3.5' o.c.	3-5'	3-5'	M
LPS	<i>Spirea japonica 'Little Princess'</i>	Little Princess Spirea	61	#5	2' o.c.	2-3'	2-4'	M
RSG	<i>Perovskia artilipicifolia</i>	Russian Sage	4	#5	4' o.c.	4'	4'	L
GLS	<i>Rhus aromatica 'Grow Low'</i>	Gro-Low Sumac	19	#5	8' o.c.	3'	8'	L
DKL	<i>Syringa meyeri</i>	Dwarf Korean Lilac	30	#5	4' o.c.	4-6'	4-6'	L
RWP	<i>Rosa 'Winnipeg Parks'</i>	Winnipeg Parks Rose	42	#5	4' o.c.	3'	4'	L
MKL	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Dwarf Lilac	32	#5	4' o.c.	3-5'	3-5'	L
MHV	<i>Viburnum lantana 'Mohican'</i>	Mohican Viburnum	53	#5	6' o.c.	6-8'	6-8'	L
APC	<i>Ribes alpinum</i>	Alpine Currant	29	#5	3' o.c.	3-6'	3-6'	L
ADG	<i>Cornus sericea Arctic Fire</i>	Arctic Fire Dogwood	34	#5	3' o.c.	3-4'	3-4'	M
ORNAMENTAL GRASSES								
FRG	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Feather Reed Grass	92	#1	2-3' o.c.	3-4'	2-3'	M
BAG	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	25	#1	24" o.c.	2-3'	2'	M

LOW GROW NATIVE PRAIRIE MIX:

BOTANICAL NAME	COMMON NAME	%	PLS / ACRE
<i>Agropyron cristatum</i>	Ephraim Crested Wheatgrass	25	6.25
<i>Festuca ovina</i>	Sheep Fescue	23	5.75
<i>Lolium perenne</i>	Perennial Ryegrass	18	4.5
<i>Poa compressa</i>	Canada Bluegrass	13	3.25
<i>Hordeum vulgare</i>	Barley	12	3
<i>Festuca glauca</i>	Blue Fescue	9	2.25
Total lbs per acre.:		100	25

NATURE'S PRAIRIE SOD MIX:

BOTANICAL NAME	COMMON NAME
<i>Festuca rubra</i>	Creeping Red Fescue
<i>Koeleria macrantha</i>	Prairie Junegrass
<i>Deschampsia cespitosa</i>	Tufted Hairgrass
<i>Bouteloua curtipendula</i>	Sideoats Grama Grass
<i>Festuca ovina</i>	Sheep Fescue

PLANTING NOTES:

- ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
- SEE PLANTING DETAILS FOR PLANT PIT DIMENSIONS, BACKFILL REQUIREMENTS, AND INSTALLATION NOTES. ALL TREES TO BE STAKED OR GUYED PER DETAILS ON SHEET L4.2.
- ALL PLANTS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY TO THE SITE. ALL TREE LOCATIONS AND EDGES OF NEW PLANTING BEDS ARE TO BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE AS CALLED OUT ON PLANS. UNIT COSTS TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC. AS DETAILED AND SPECIFIED FOR EACH SIZE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
- COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH FOOTINGS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- IMPORTED SOIL SHALL BE USED TO SUPPLEMENT EXISTING SOIL AS NECESSARY TO MEET THE FINISHED GRADING REQUIREMENTS OF PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL PERFORM A STANDARD AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL PROPOSED FOR PLANTING AT HIS EXPENSE AND INCORPORATE RECOMMENDATIONS PER PARKER WATER AMENDMENT REQUIREMENTS PRIOR TO PLANTING.
- INSTALL A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PER 1000 SQUARE FEET OF PERMEABLE AREA TO BE PLANTED WITH SOD, SHRUBS, GRASSES, OR PERENNIALS. AMENDMENT SUPPLIER SHALL BE A1 ORGANICS OF EATON, COLORADO.
- ALL TREES, SHRUBS, PERENNIALS, SOD AND SEEDED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
- TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- STREET TREES SHALL BE PLACED 5'-0" MIN. FROM BURIED UTILITIES.
- TREE WRAPPING MATERIAL SHALL BE FOUR INCHES WIDE, BITUMINOUS IMPREGNATED TAPE, CORRUGATED OR CREPE PAPER, BROWN IN COLOR, SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREES SHALL BE WRAPPED BETWEEN OCTOBER 15 AND NOVEMBER 1 OF THE YEAR THEY ARE PLANTED. NO TREE WRAPPING SHALL BE PERMITTED UNTIL A LICENSED LANDSCAPE CONTRACTOR OR CERTIFIED ARBORIST HAS INSPECTED THE TREE. IT IS THE DUTY OF THE CONTRACTOR TO WRAP DECIDUOUS TREES DURING THE ONE-YEAR WARRANTY PERIOD.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.

GENERAL NOTES:

- THE BASE INFORMATION PROVIDED BY ENGINEER. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL MATERIAL LOCATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT ARE FOUND.
- THE CONTRACTOR SHALL HAVE ONE (1) APPROVED COPY OF PLANS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES. THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL NOT BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR IS ADVISED THAT ALL EXISTING TREES AND SHRUBS ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED IN THE PLANS. CARE SHALL BE TAKEN TO PROTECT ALL TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGES CAUSED BY THE CONTRACTOR S SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONSTRUCTION BARRICADES, SIGNS, AND WARNING DEVICES NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS TO PERFORM ALL PROPOSED WORK AND SHALL COMPLY WITH ALL NOTIFICATION AND INSPECTION REQUIREMENTS.
- CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, (ETC). LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MODIFICATIONS OR DAMAGES TO THE UTILITY LINES, STRUCTURES OR INJURIES THEREFROM. FOR EXISTING UTILITY INFORMATION CONTACT "THE UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987. A MINIMUM OF THREE (3) BUSINESS DAY NOTICE IN ADVANCE OF LOCATIONS NEEDED ARE REQUIRED.
- CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPE & HARDSCAPE MATERIALS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, SANDSTONE BOULDERS (ETC).
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONSTRUCTION HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTOR'S ASSOCIATION.



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT LOT 1, TRACT A & B PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE
08/16/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
LANDSCAPE COVER SHEET

DRAWING NUMBER

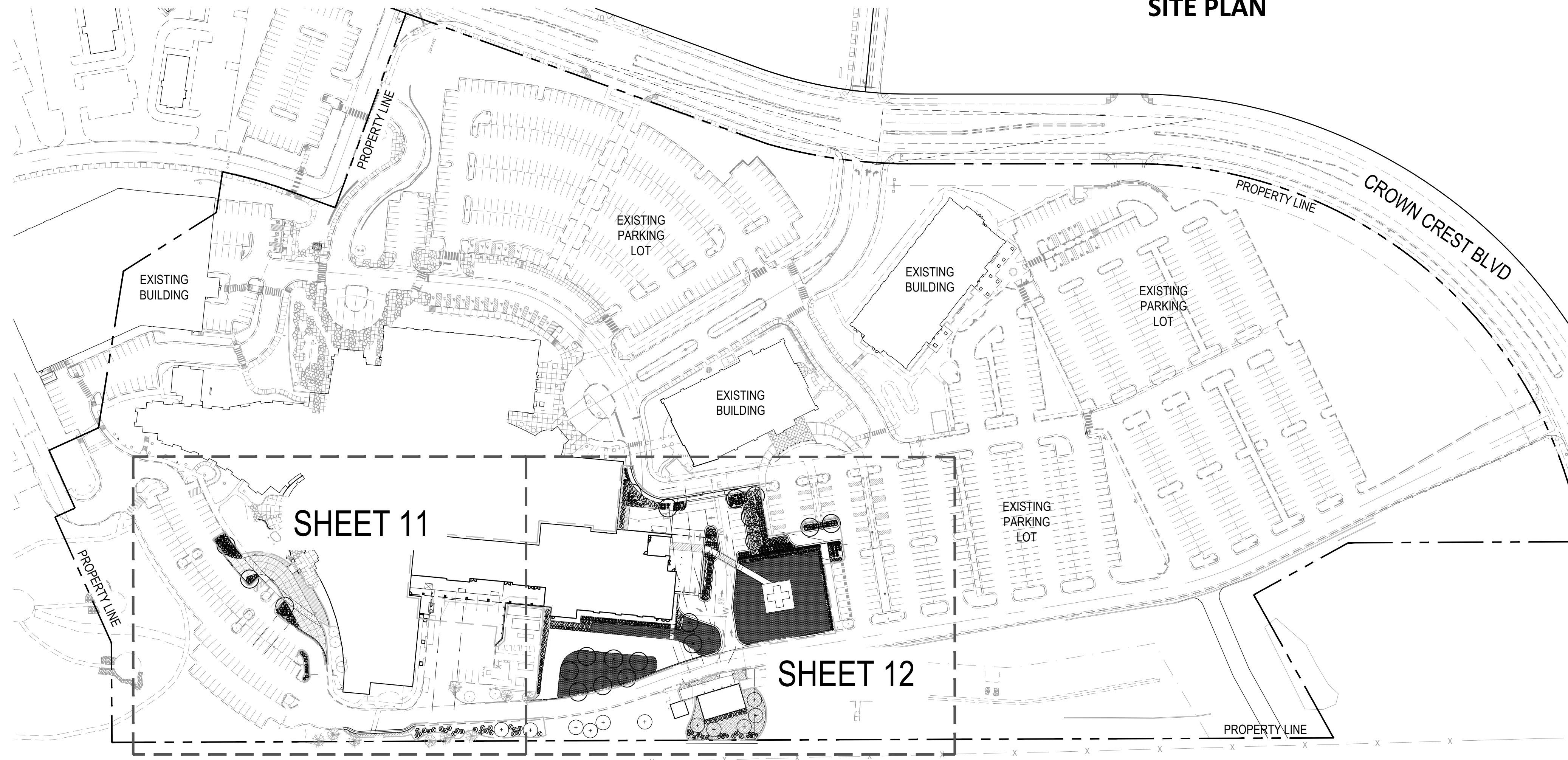
9 of 24

CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



PARKING LOT INTERIOR LANDSCAPE CHART:

ISLAND TYPE	AREA OF THE ISLAND	# OF TREES REQUIRED (1/ 162 FT)	# OF TREES PROVIDED	# OF SHRUBS REQUIRED (5/162 FT)	# OF SHRUBS PROVIDED
ISLAND 1	772 SQ. FT	1	1	42	45
ISLAND 2	433 SQ. FT.	1	1	23	23
ISLAND 3	385 SQ. FT	1	1	20	23
ISLAND 4	316 SQ. FT	1	2	15	16
ISLAND 5	563 SQ. FT	1	1	32	41
ISLAND 6	337 SQ. FT	1	1	17	17
TOTALS:	2,696 SQ. FT	7	6	140	155

*(1) EXTRA TREE IS BEING PROVIDED = 10 SHRUBS.

LANDSCAPE AREA TYPE	# OF TREES REQUIRED	# OF TREES PROVIDED	# OF SHRUBS REQUIRED	# OF SHRUBS PROVIDED
PARKING LOT INTERIOR	7 SHRUBS	6 TREES	140 SHRUBS	155 SHRUBS

NOTE: TABLE ACCOUNTS FOR THE LANDSCAPED AREA OF THE PARKING LOT INTERIOR, NOT THE AREA OF THE ENTIRE PARKING LOT INTERIOR.

1
10 LANDSCAPE PLAN
SCALE: 1" = 100"

OVERALL INTERNAL LANDSCAPING CHARTS:

	TREE REQUIREMENT (1 / 1,500 SF)			SHRUB REQUIREMENT (5 / 1,500 SF)			TREE EQUIVALENT CALCULATION (10 SHRUBS = 1 TREE)		
	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	SHRUBS AVAILABLE FOR TREE EQUIVALENTS	TOTAL EQUIVALENT TREES	TOTAL TREE & TREE EQUIVALENTS PROVIDED
DISTURBED LANDSCAPE AREA: 35,181 SF	24	31	+7	118	395	+277	277	28	31

MINIMUM EVERGREEN REQUIREMENT	25%	
NUMBER OF TREES	REQUIRED	PROVIDED
31	8	11

PROPOSED LANDSCAPING TO BE REMOVED	AREA
	30,978 SF

LANDSCAPING PERIMETER CHART:

LOCATION	LENGTH / %	TREE REQUIREMENTS (1 / 25 LF)			SHRUB REQUIREMENT (5 / 25 LF)			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	SHRUBS AVAILABLE FOR TREE EQUIVALENTS	TOTAL EQUIVALENT TREES	TOTAL TREE & TREE EQUIVALENTS PROVIDED
SOUTH PROPERTY LINE	263 LF	10	10	0	53	53	0	0	0	10
MIN. EVERGREEN TREE REQUIREMENT	40%	4	6	+3						



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CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS	DESCRIPTION	DATE
1ST SUBMITTAL		06/03/2024
2ND SUBMITTAL		08/16/2024

DATE
08/16/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
OVERALL LANDSCAPE PLAN

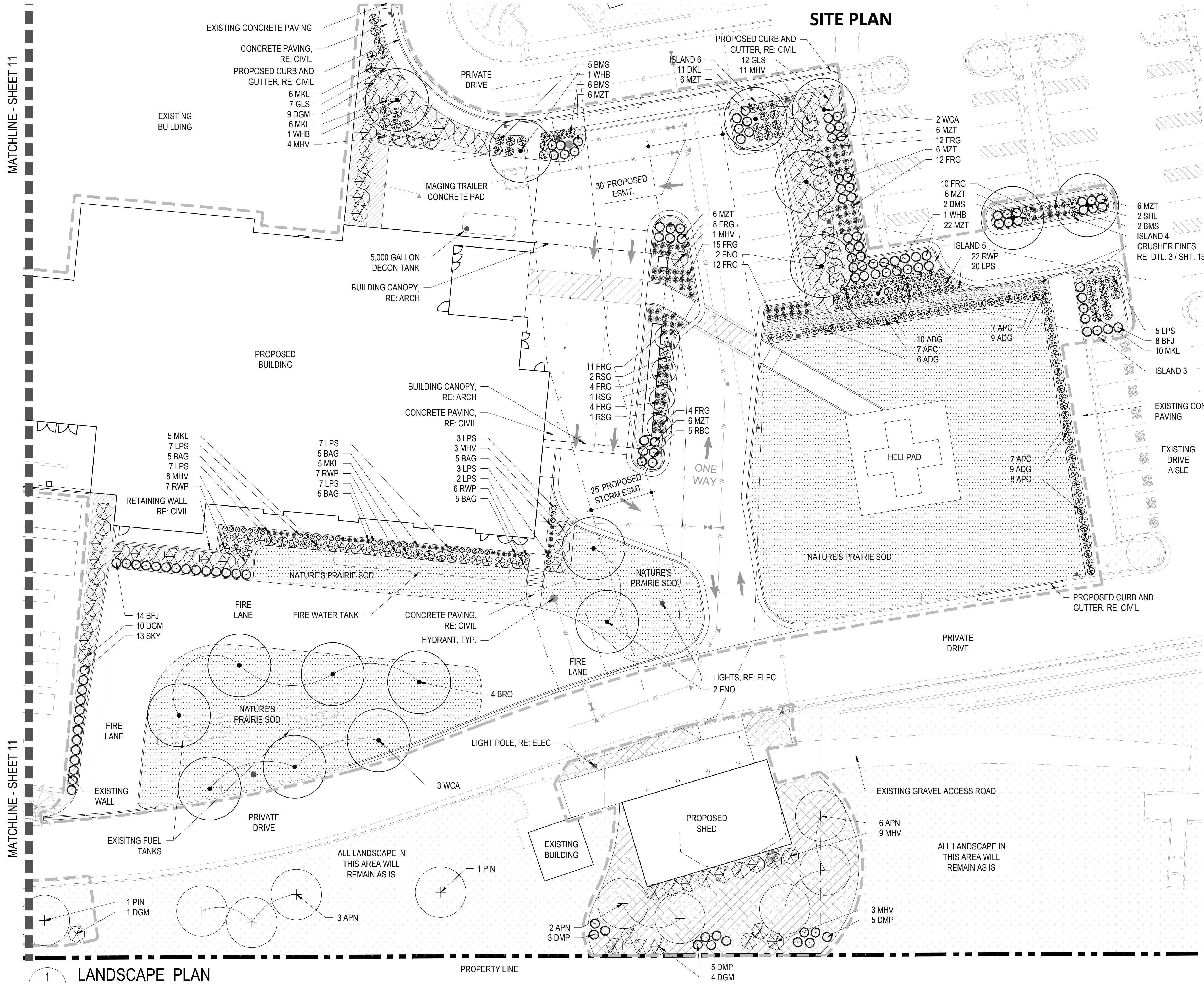
DRAWING NUMBER
10 of 24

CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



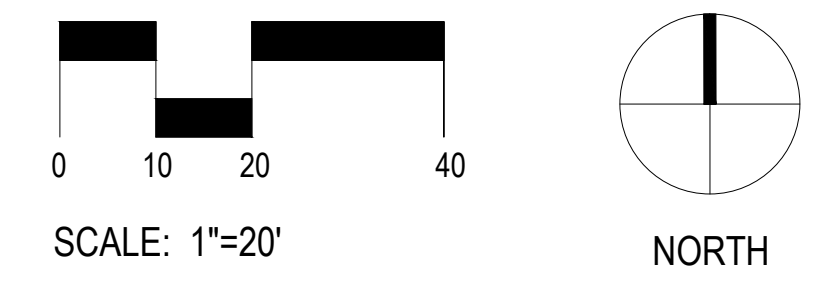
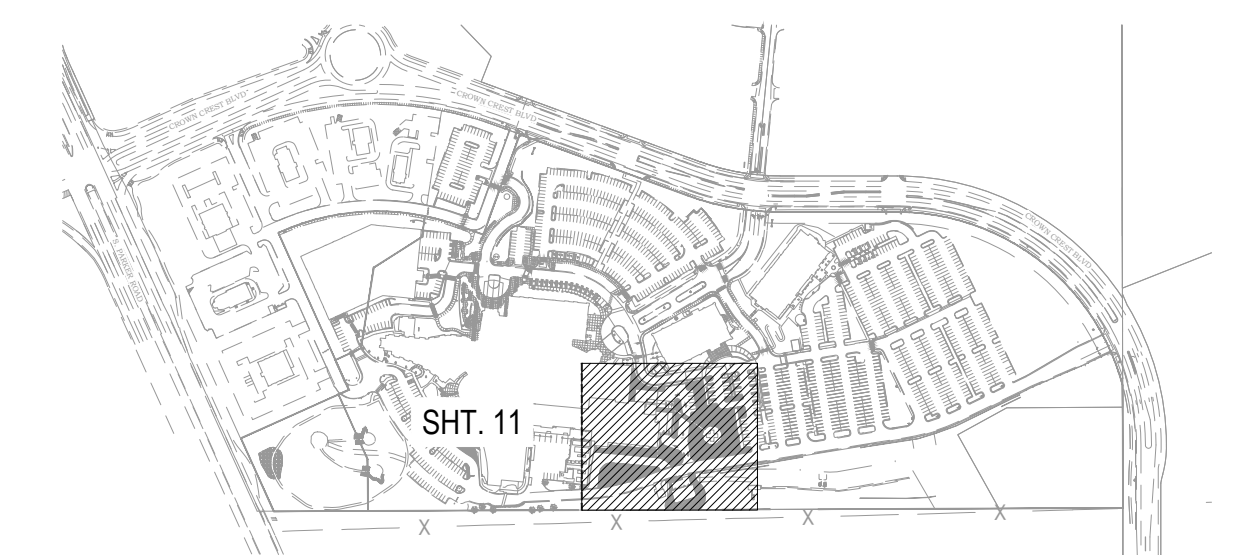
MATERIAL LEGEND:

- PROPERTY LINE
- MATCHLINE
- LIMIT OF WORK
- STEEL EDGER
- CONCRETE PAVING TYPE I - VEHICULAR (6" TH) W/ TOOLED JOINTS
COLOR: INTEGRAL COLOR. COLOR: TBD
FINISH: LIGHT ACID ETCH
- CONCRETE PAVING TYPE II - VEHICULAR (6" TH) W/ TOOLED JOINTS
COLOR: STANDARD GRAY
FINISH: LIGHT BROOM
- 1-1/2" RIVER ROCK MULCH

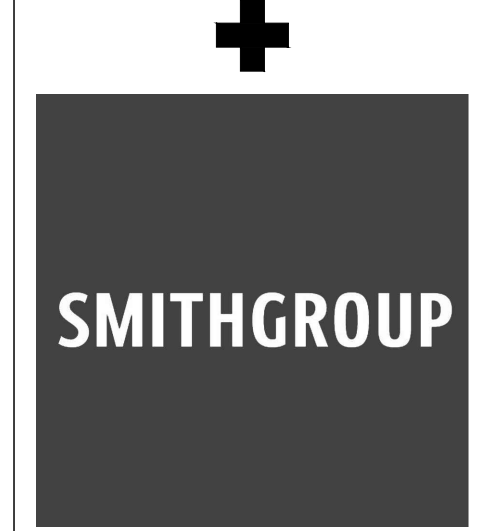
PLANTING LEGEND:

- DECIDUOUS SHADE TREE
- EXISTING TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- LOW GROW NATIVE SEED MIX
- NATURE'S PRAIRIE SOD
PRODUCER: TURF MASTERS LLC
- EXISTING LANDSCAPE

KEY MAP:



BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE: 08/16/2024

PARKER PROJECT NUMBER: SP24-XXX

SHEET TITLE: **LANDSCAPE PLAN**

DRAWING NUMBER: **12 of 24**

5/28/2024 2:48:57 PM Autodesk Docs://236365_MM AdventHealth Parker Hospital (24/236365.00 AM Parker CS-Arct

MATCHLINE - SHEET 11

MATCHLINE - SHEET 11

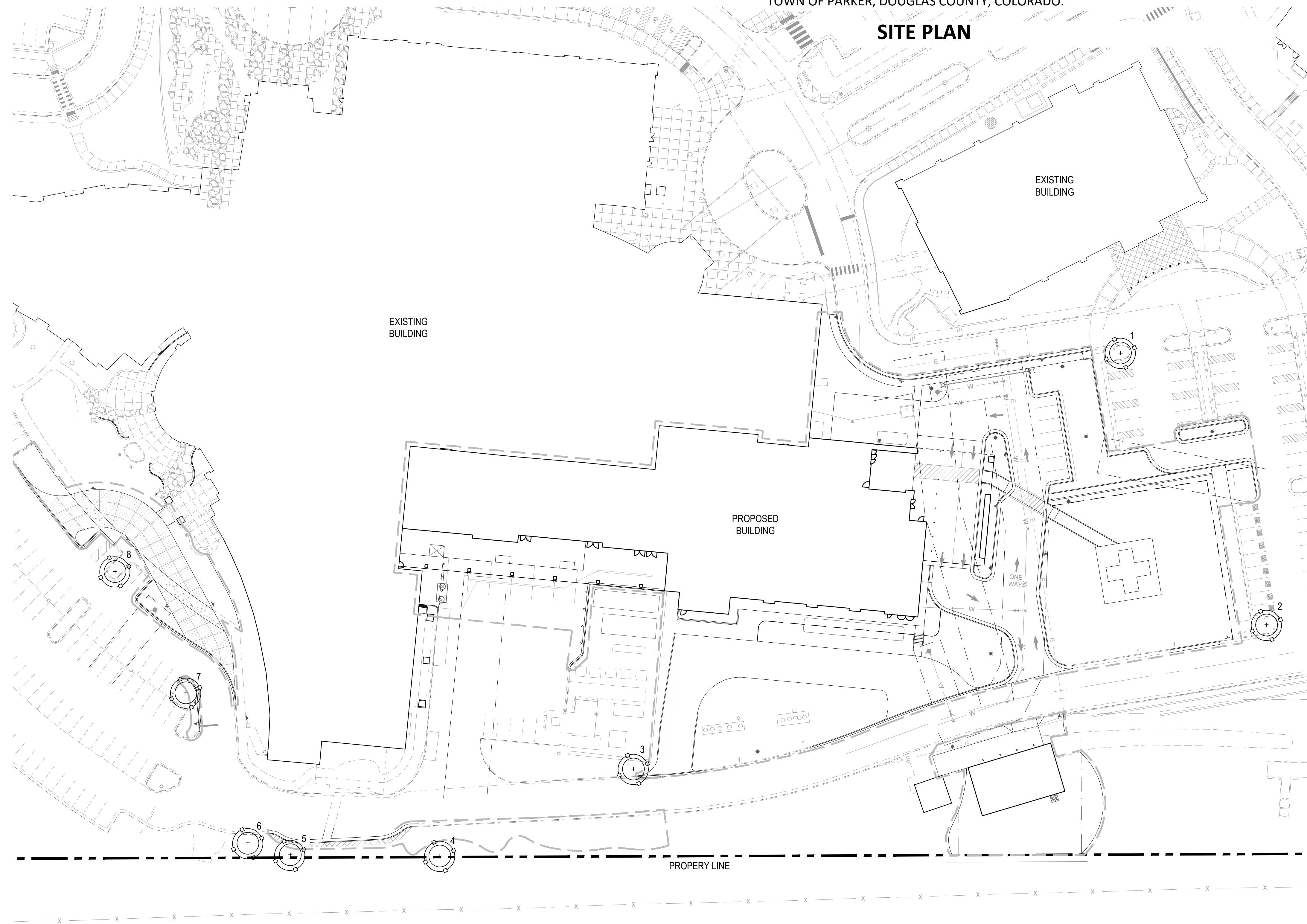
1 LANDSCAPE PLAN
12 SCALE: 1" = 20'

CROWN POINT FILING 1 AMENDMENT 30

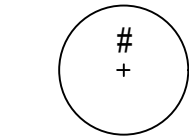
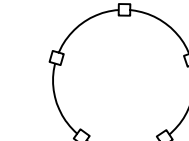

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



TREE CONSERVATION LEGEND:

-  EXISTING TREES TO BE PRESERVED
-  TREE PROTECTION FENCING, RE: DTL. 2 / SHT. 14
-  PROPERTY LINE

NOTE: NO EXISTING TREES ARE PROPOSED TO BE REMOVED.



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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS	
DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

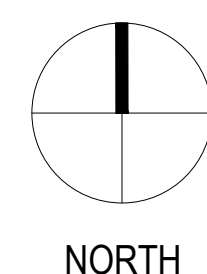
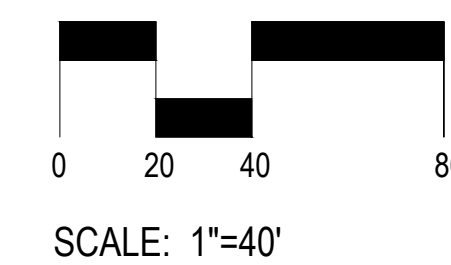
DATE
08/16/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
TREE CONSERVATION PLAN

DRAWING NUMBER

13 of 24



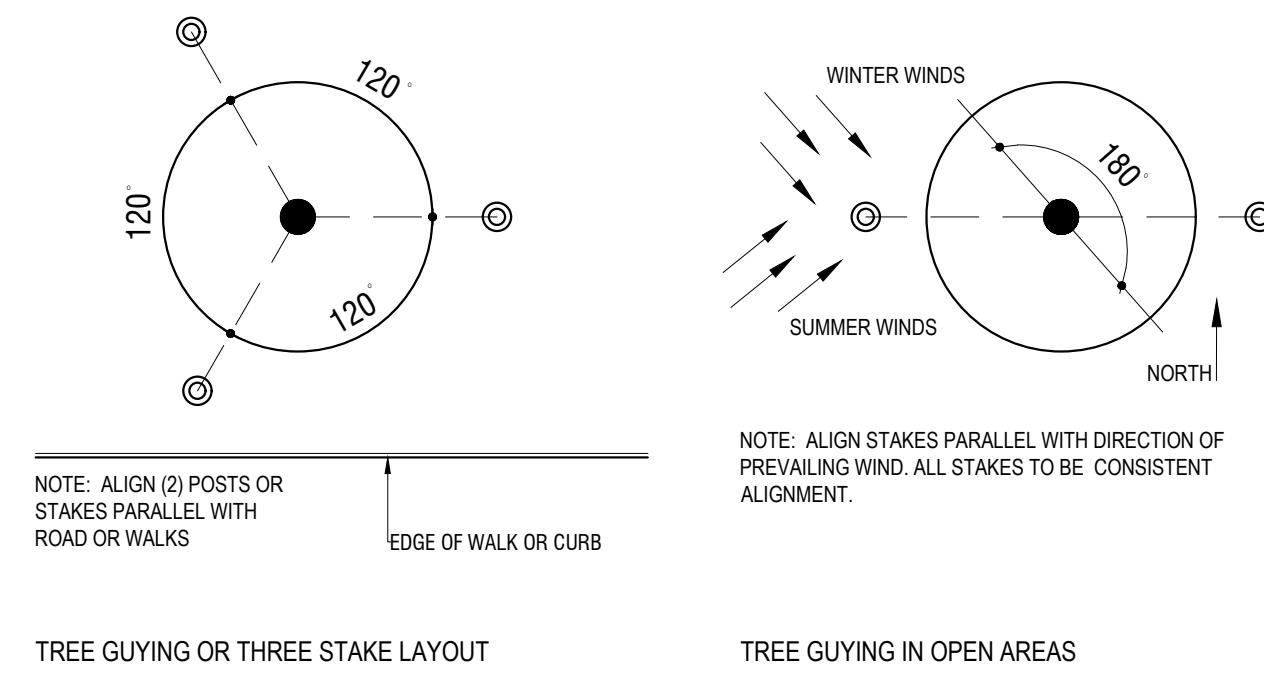
1 TREE CONSERVATION PLAN
13 SCALE: 1" = 40'

CROWN POINT FILING 1 AMENDMENT 30

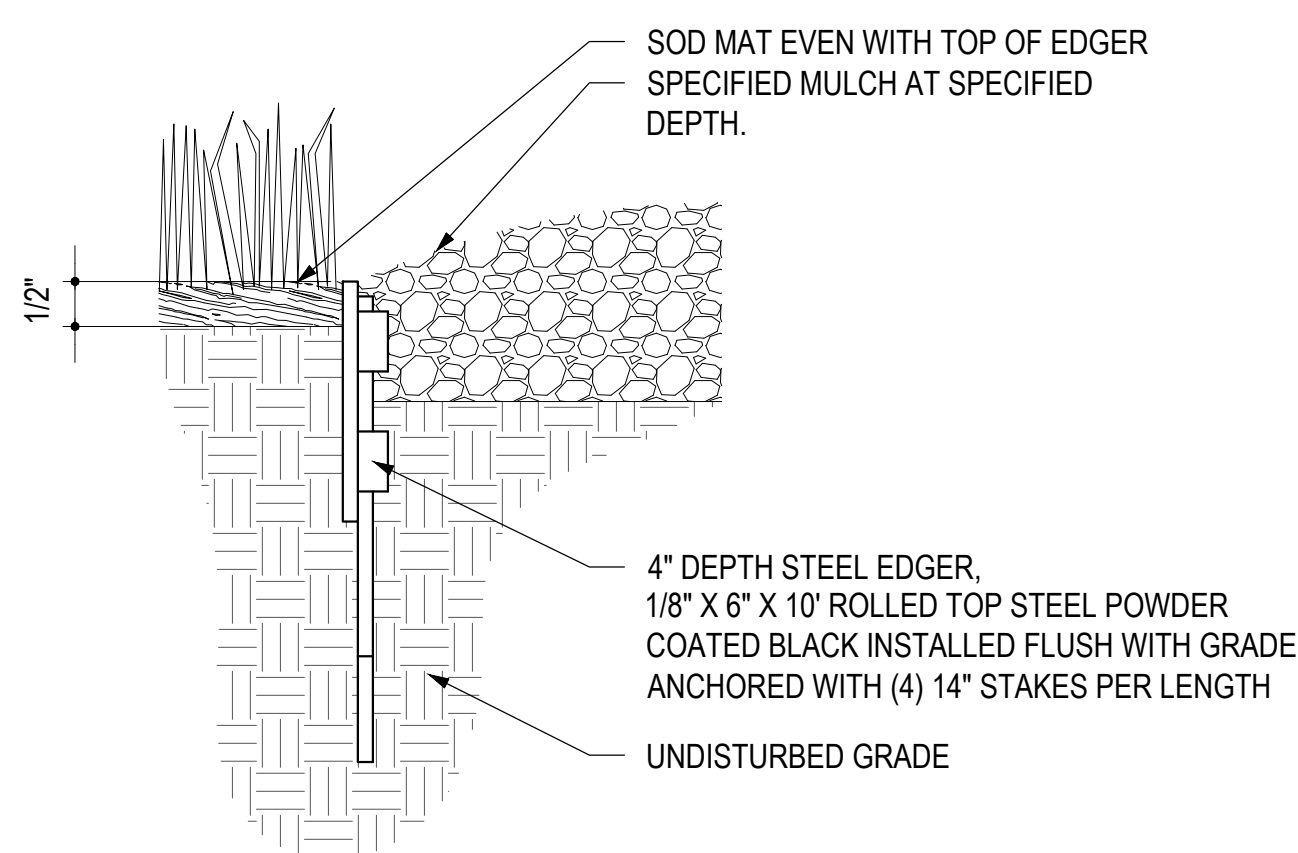
LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

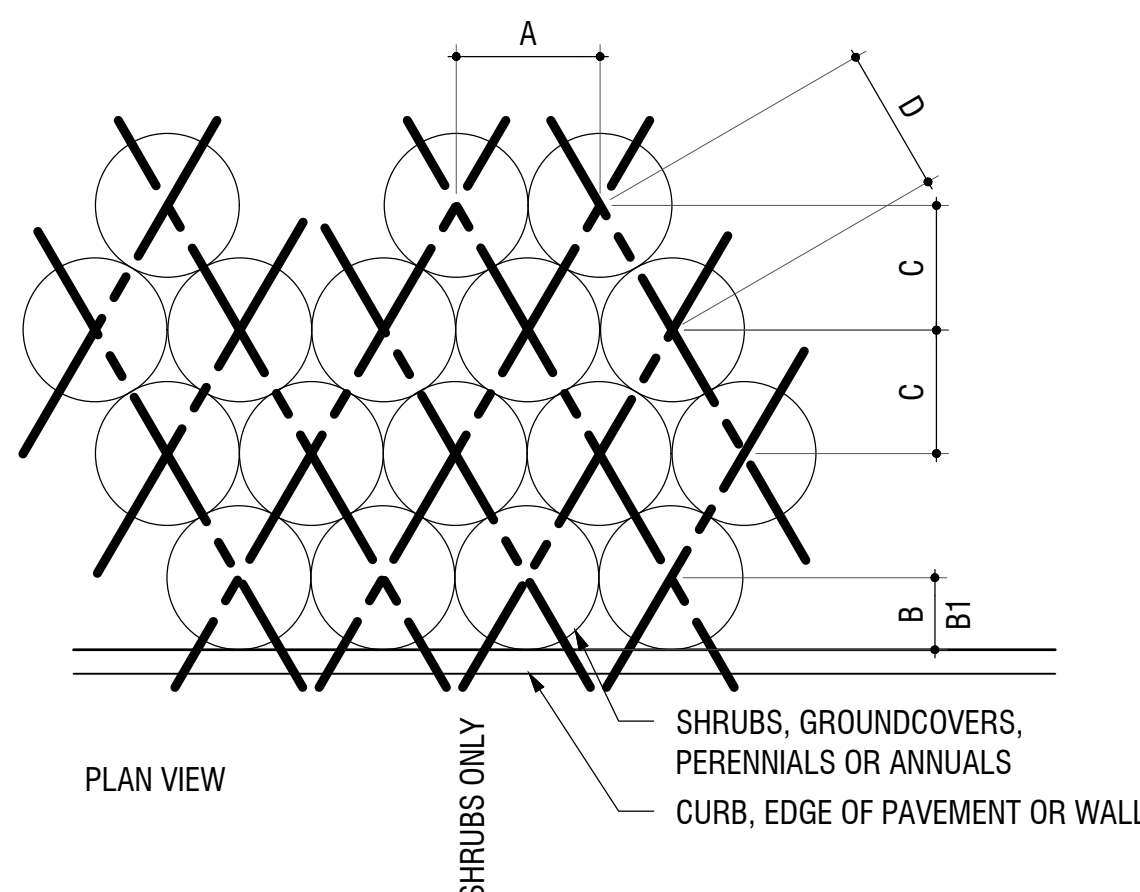
SITE PLAN



5 TREE GUYING DETAIL
14 SCALE: 3/4" = 1'-0"

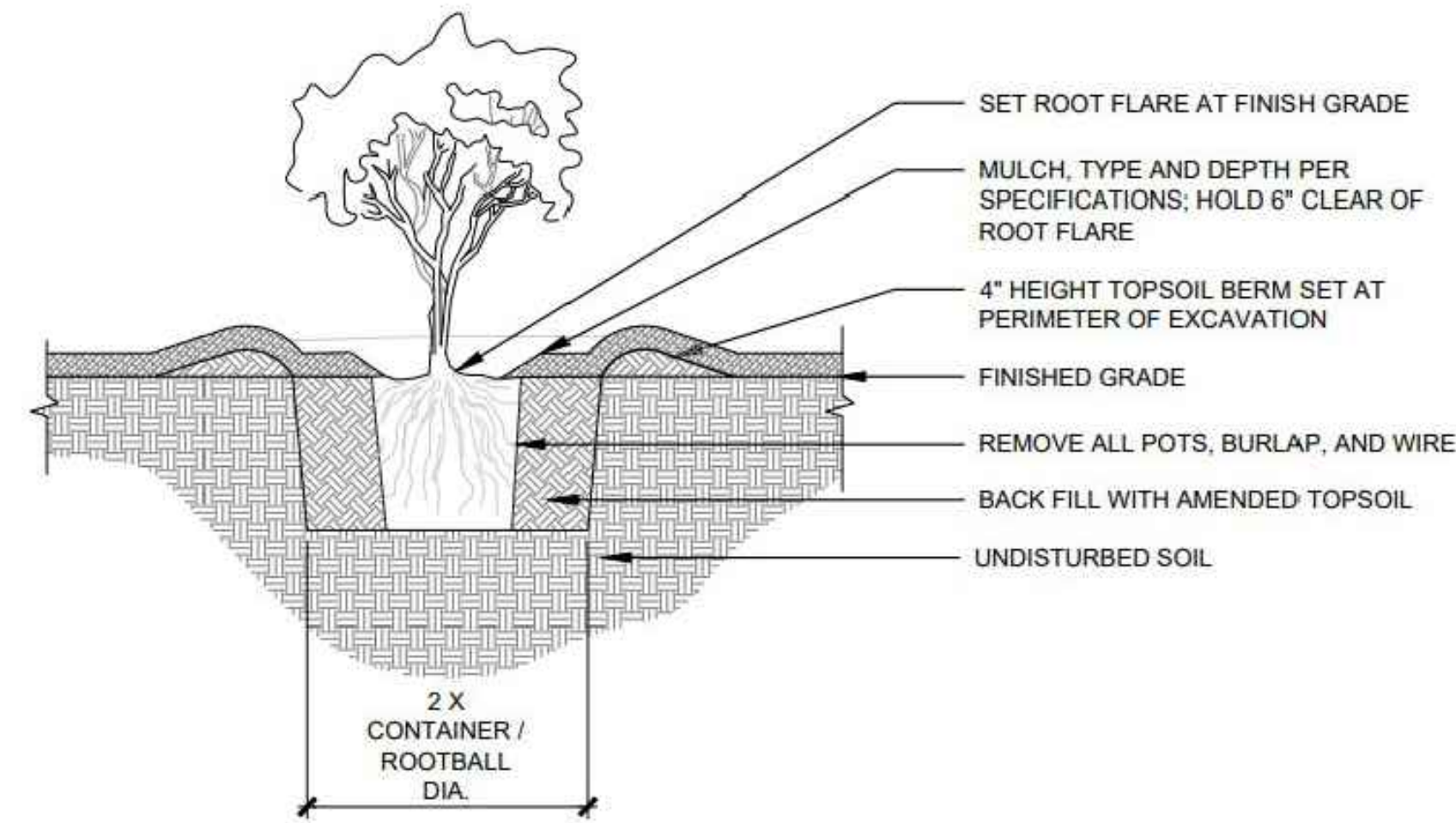


6 STEEL EDGER DETAIL
14 SCALE: 3/4" = 1'-0"

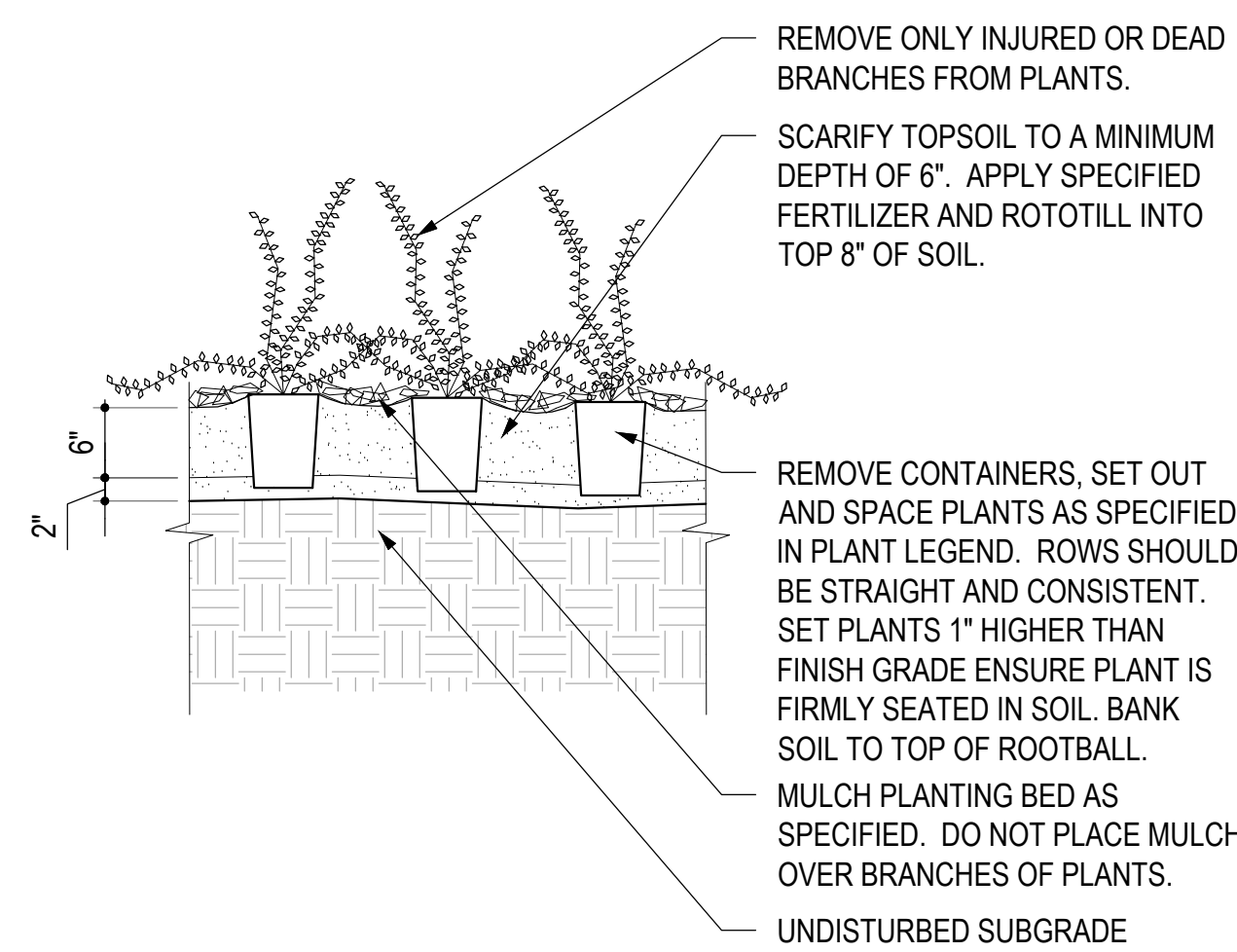


PLANT SPACING	A	B	B1	C	D
6"	6"	6"	6"	5"	6"
8"	8"	6"	6"	7"	8"
12"	12"	6"	12"	10"	12"
18"	18"	8"	18"	15"	18"
24"	24"	18"	24"	20"	24"
30"	30"	18"	30"	26"	30"
36"	36"	24"	36"	31"	36"
48"	48"	24"	48"	41"	48"

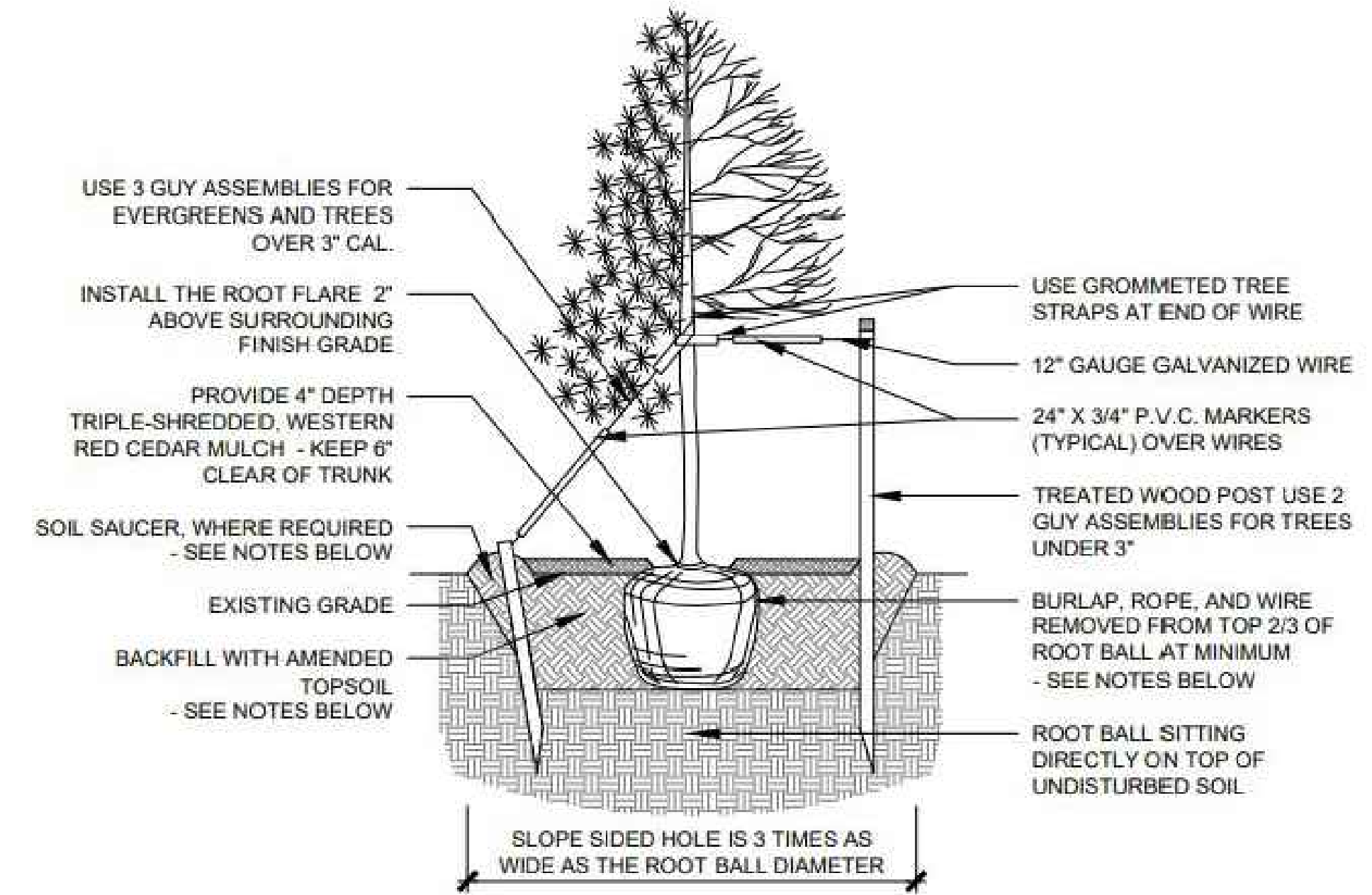
7 PLANT SPACING DETAIL
14 SCALE: 3/4" = 1'-0"



3 SHRUB PLANTING DETAIL
14 SCALE: NTS



4 GROUNDCOVER DETAIL
14 SCALE: 3/4" = 1'-0"

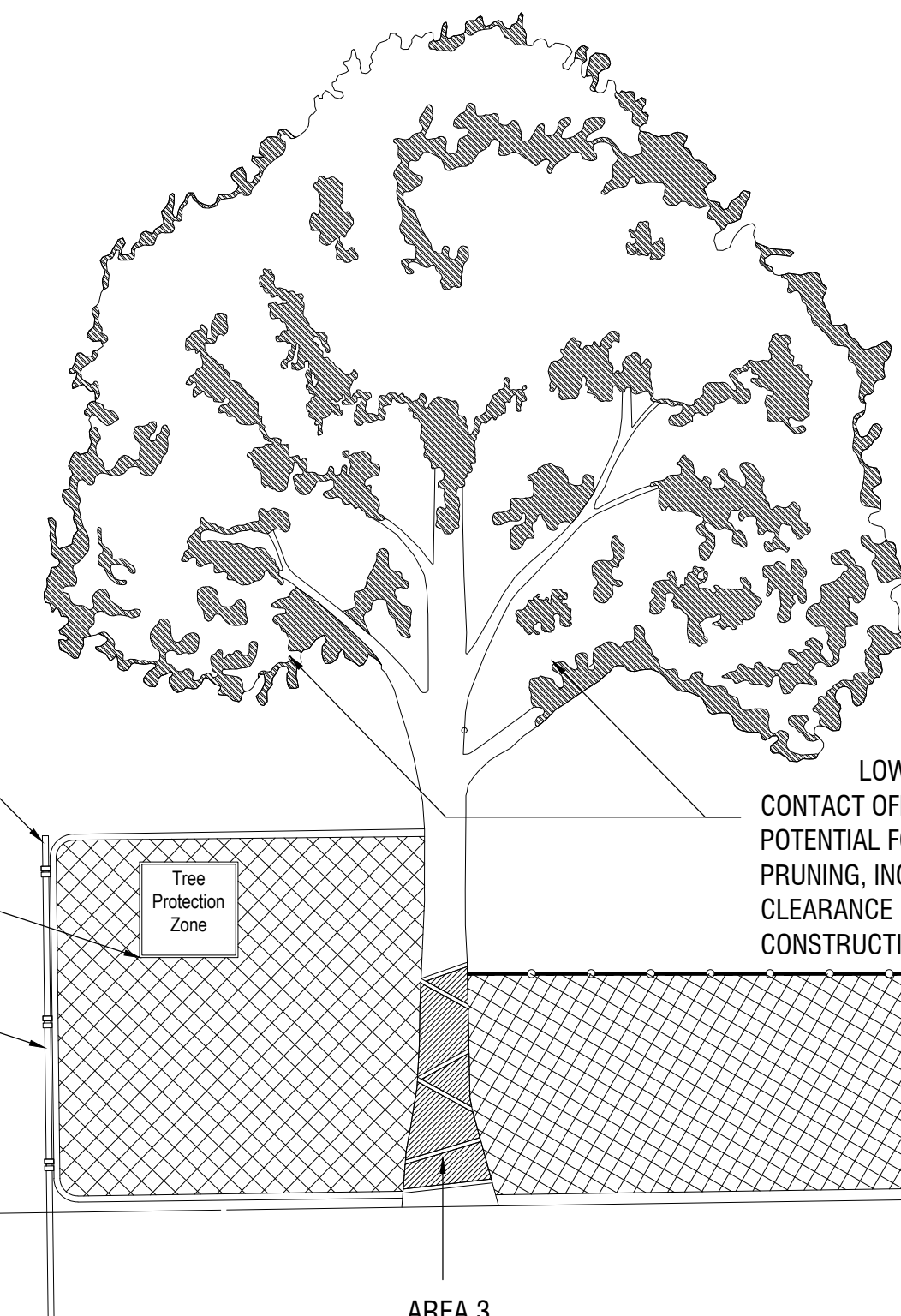


1 TREE PLANTING DETAIL
14 SCALE: NTS

AREA 1
DENOTES PERIMETER OF TREE PROTECTION ZONE (TPZ)
TREE PROTECTION ZONE MUST BE IN PLACE PRIOR TO COMMENCEMENT OF WORK. TPZ MAY NOT BE RESIZED OR REMOVED AT ANY TIME WITHOUT PRIOR APPROVAL FROM OTF. WORK WITHIN THE CRZ MUST TAKE PLACE IN ACCORDANCE WITH THE CONDITIONS ESTABLISHED BY THE OTF. DIGGING, GRUBBING, EXCAVATING, TRENCHING, CHANGING OF GRADE, OR OTHER ACTIONS THAT MAY POTENTIALLY IMPACT THE ROOTING ENVIRONMENT IS STRICTLY PROHIBITED.

TREE PROTECTION ZONE SIGNS SHALL BE POSTED AND SHALL REMAIN IN PLACE SO LONG AS TREE PROTECTION FENCING IS IN PLACE

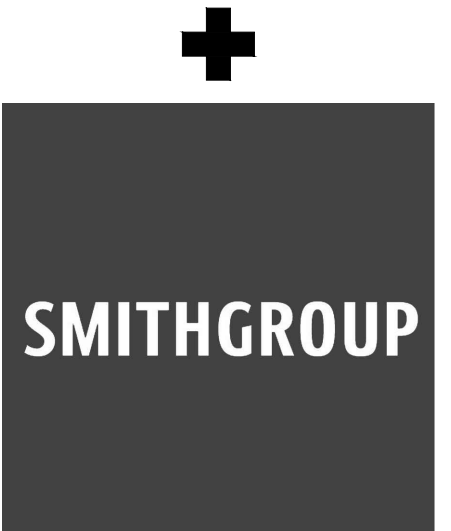
T-POSTS WITH ORANGE CONSTRUCTION FENCING



2 TREE PRESERVATION DETAIL
14 SCALE: 3/4" = 1'-0"



BOULDER ASSOCIATES
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BOULDER, COLORADO 80302
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ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE
08/16/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
PLANTING
DETAILS

DRAWING NUMBER

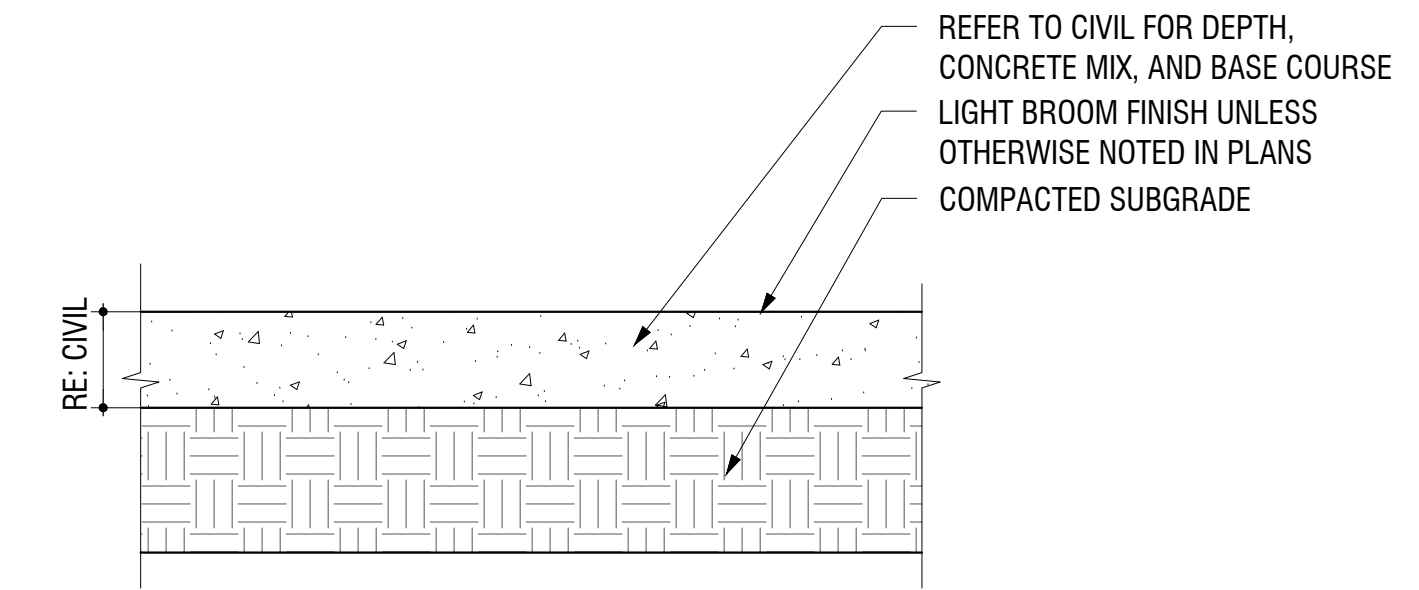
14 of 24

CROWN POINT FILING 1 AMENDMENT 30

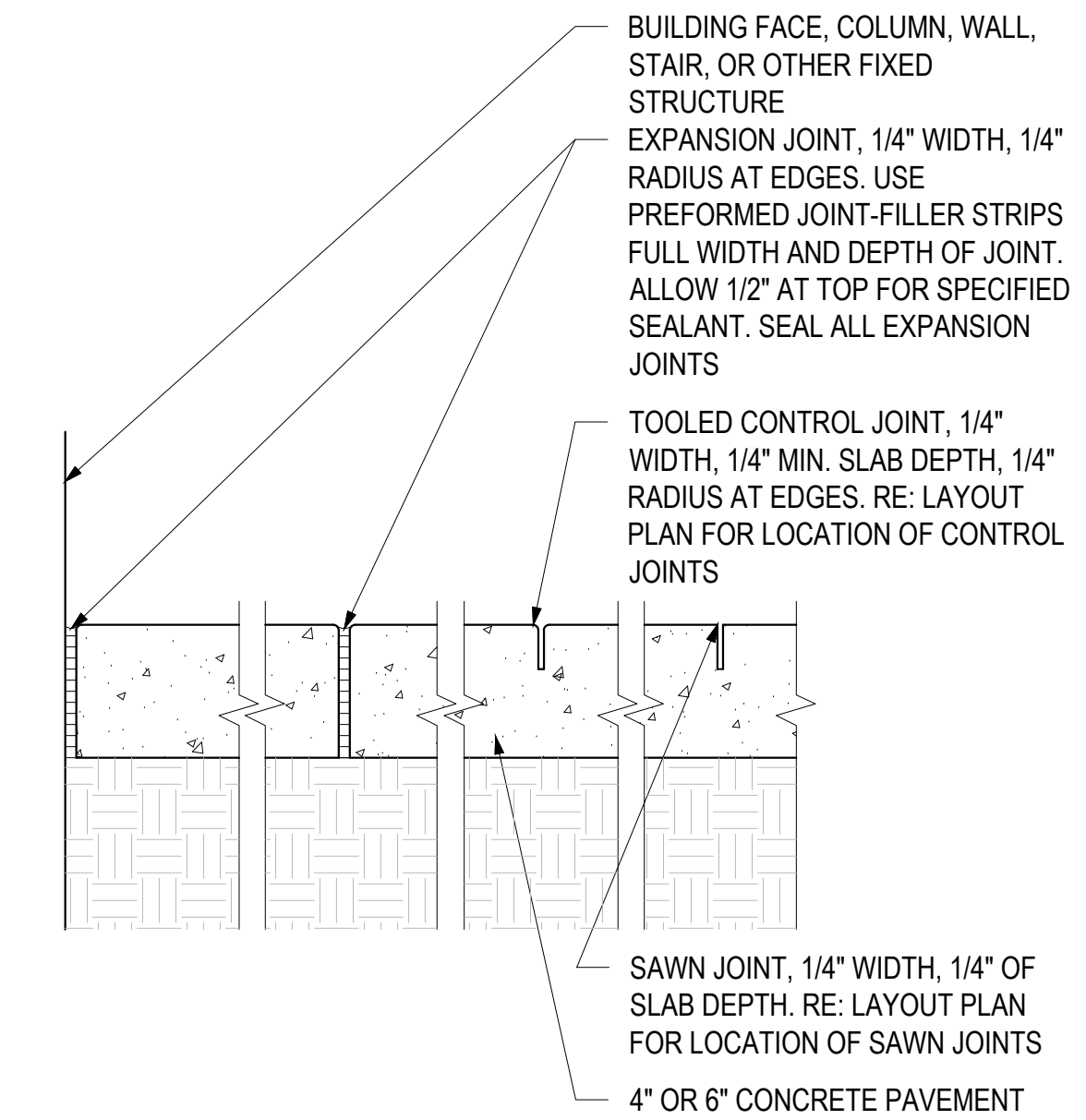
LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

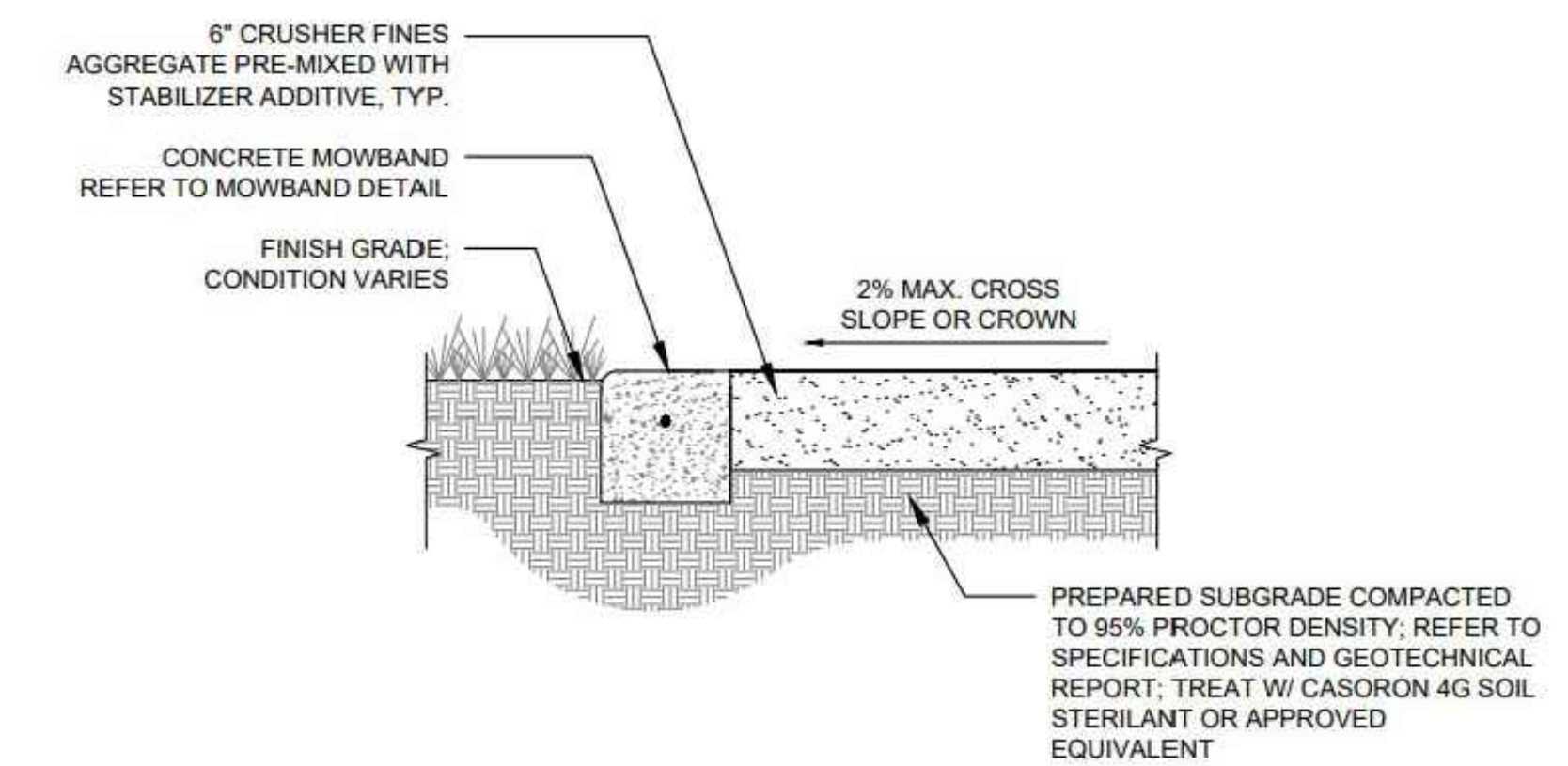
SITE PLAN



1
15 CONCRETE PAVING DETAIL - PEDESTRIAN
SCALE: 1 1/2" = 1'-0"



2
15 CONCRETE JOINTING
SCALE: 1-1/2" = 1'-0"



3
15 CRUSHER FINES DETAIL
SCALE: 3/4" = 1'-0"



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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS	
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DATE
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PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE

SITE DETAILS

DRAWING NUMBER

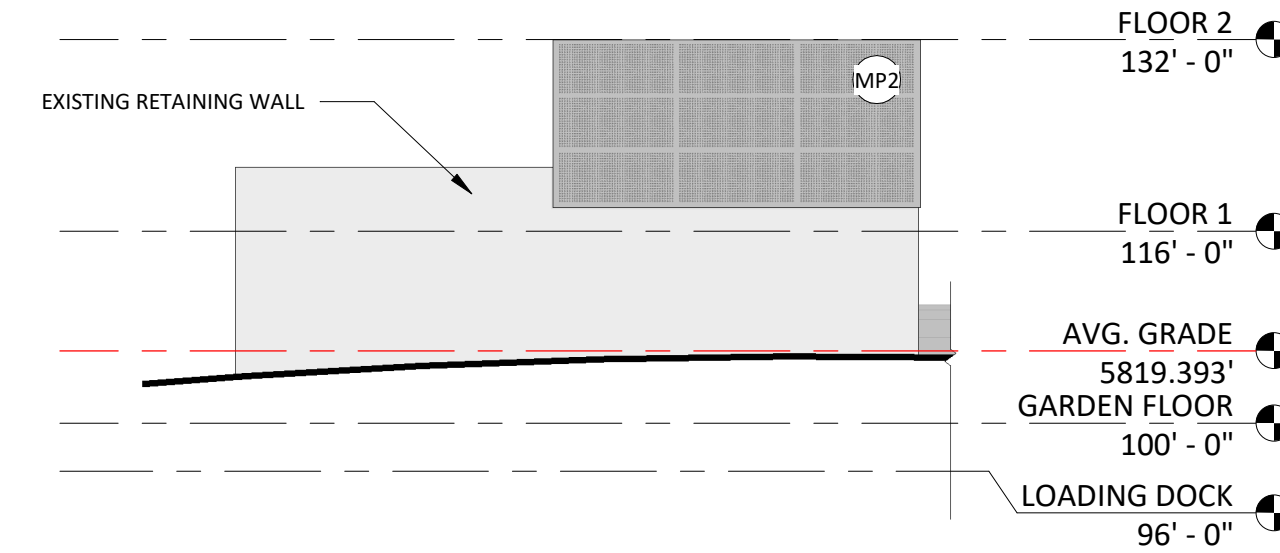
15 of 24

CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

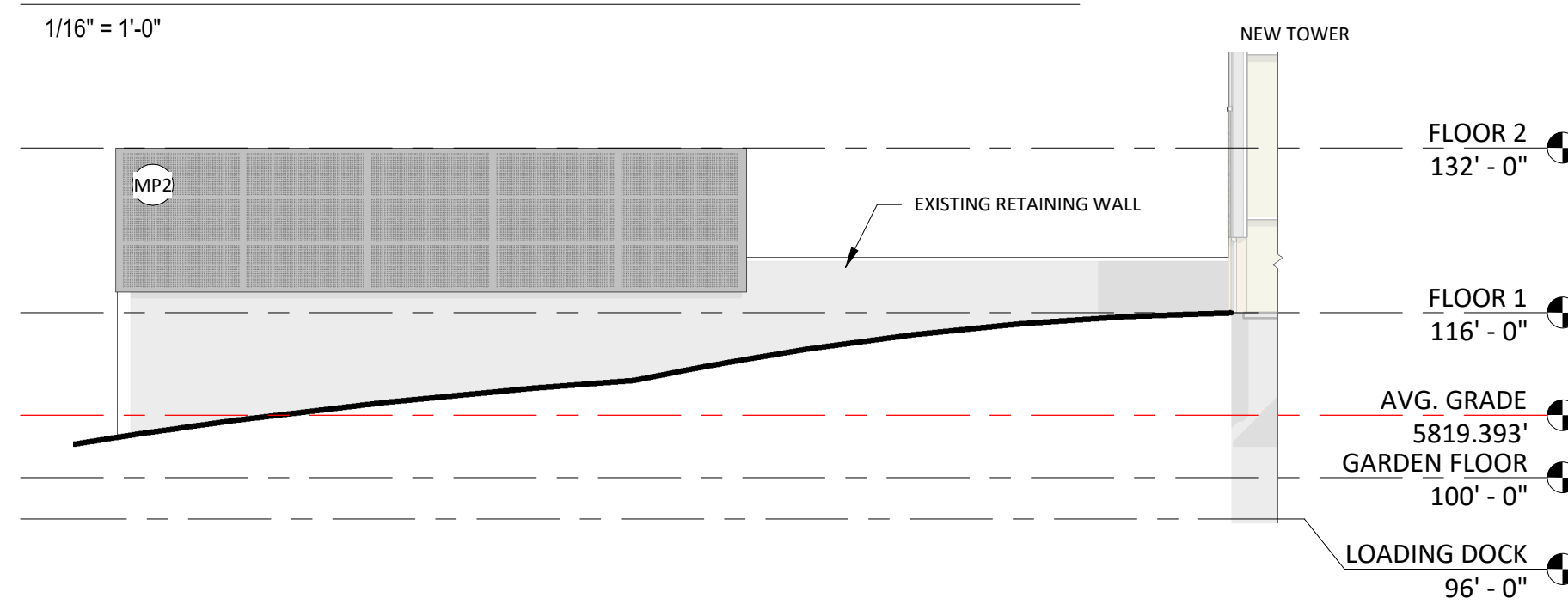
LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



SOUTH ELEVATION

1/16" = 1'-0"



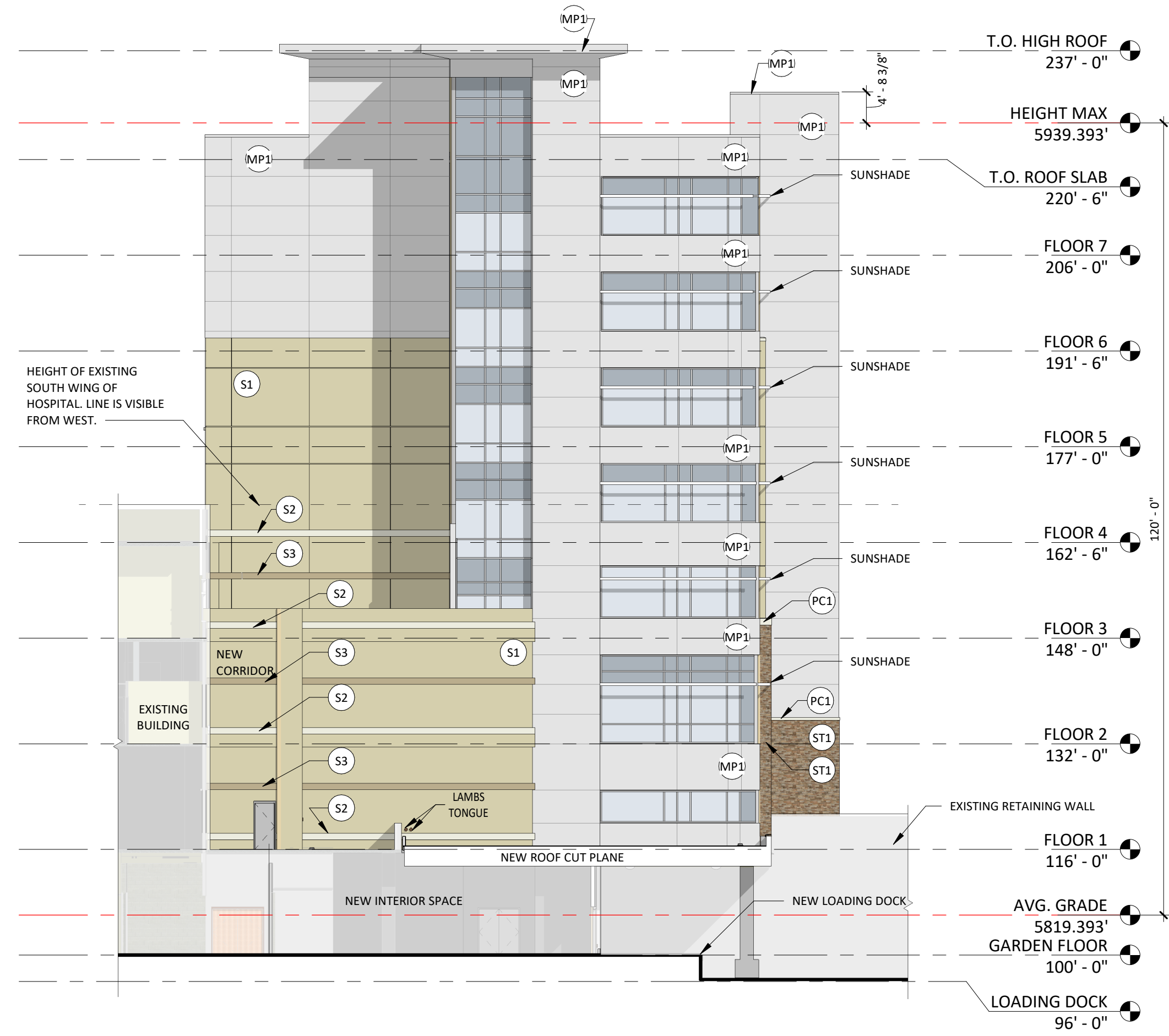
EAST ELEVATION - RETAINING WALL SCREEN

1/16" = 1'-0"

EXTERIOR ELEVATION MATERIAL LEGEND

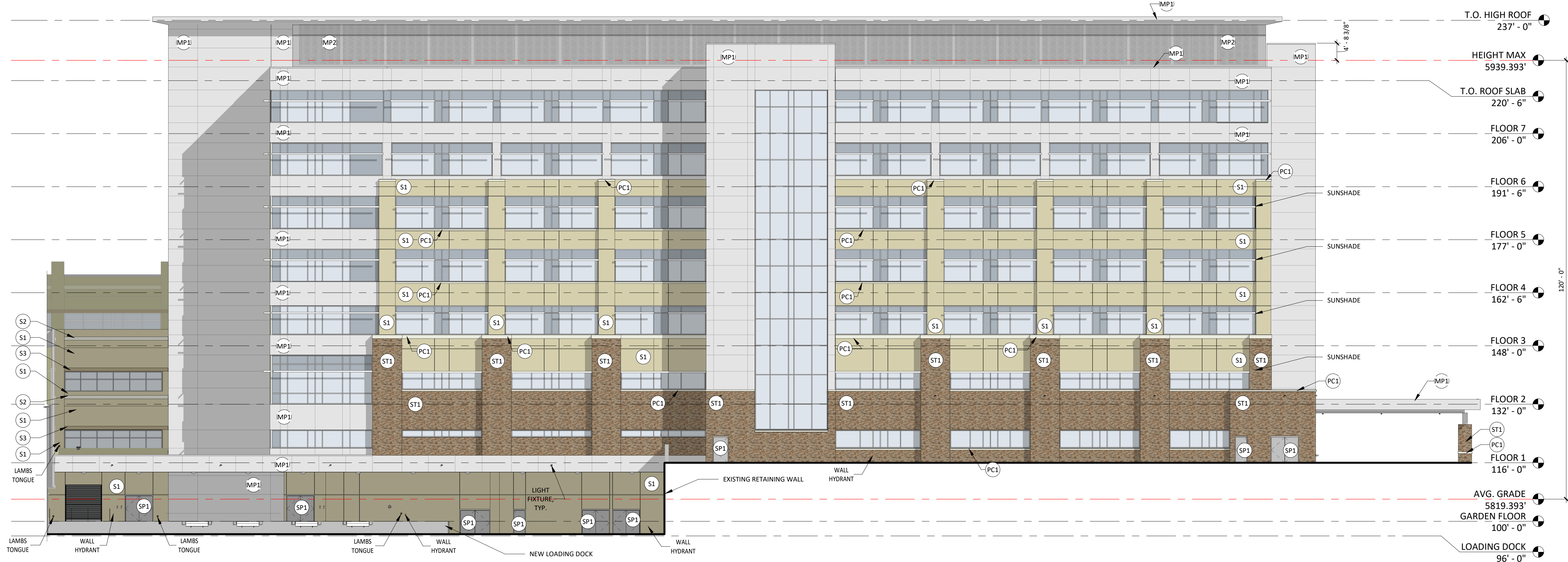
- S1 3/4" NOMINAL STUCCO (S1), COLOR TO MATCH EXISTING
- S2 3/4" NOMINAL STUCCO (S2) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
- S3 3/4" NOMINAL STUCCO (S3) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
- ST1 MANUFACTURED STONE VENEER, CHERRY CREEK LEDGE (MATCH EXISTING)
- PC1 PRECAST CONCRETE CAP, MIDWEST CAST STONE, COLOR: 1A
- MP1 COMPOSITE METAL PANEL, ALUCOBOND PLUS, COLOR: CHAMPAGNE METALLIC
- MP2 METAL PANEL ROOF SCREEN, PERFORATED
- MP3 DECORATIVE ART SCREEN WALL, PERFORATED
- SP STEEL PAINTED, COLOR TO MATCH EXISTING (LIGHT GRAY)
- BR BRASS METAL, COLOR TO MATCH EXISTING (LIGHT GRAY)
- VISION GLAZING, COLOR TO MATCH EXISTING
- SPANDREL GLAZING, COLOR TO MATCH EXISTING
- MULLION COLOR TO MATCH EXISTING (ANODIZED ALUMINUM)

NOTE: PER CROWN POINTE DEVELOPMENT GUIDE AND TOWN OF PARKER DEVELOPMENT DESIGN STANDARDS THE HEIGHT MAXIMUM OF 120'-0" SHALL BE MEASURED FROM THE AVERAGE GRADE PLANE OF THE OVERALL SITE AND NOT APPLY TO STAIR/ELEVATOR CORES OR MECHANICAL SCREENING.



WEST ELEVATION

1/16" = 1'-0"



SOUTH ELEVATION

1/16" = 1'-0"



BOULDER ASSOCIATES

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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE 06/03/2024

PARKER PROJECT NUMBER SP24-062

SHEET TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER

17 of 24

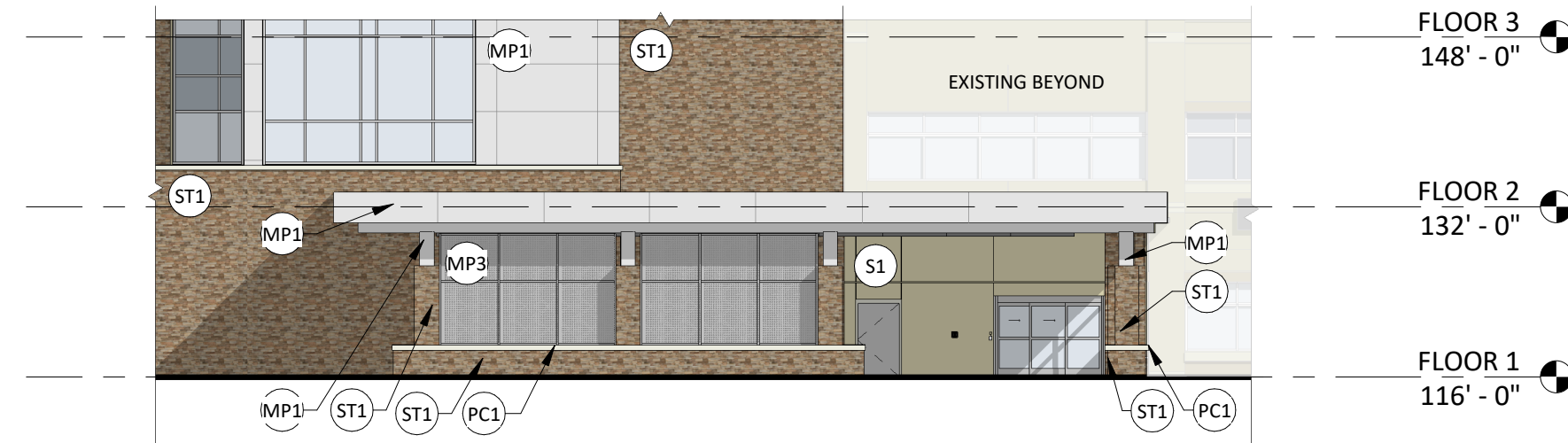
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CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

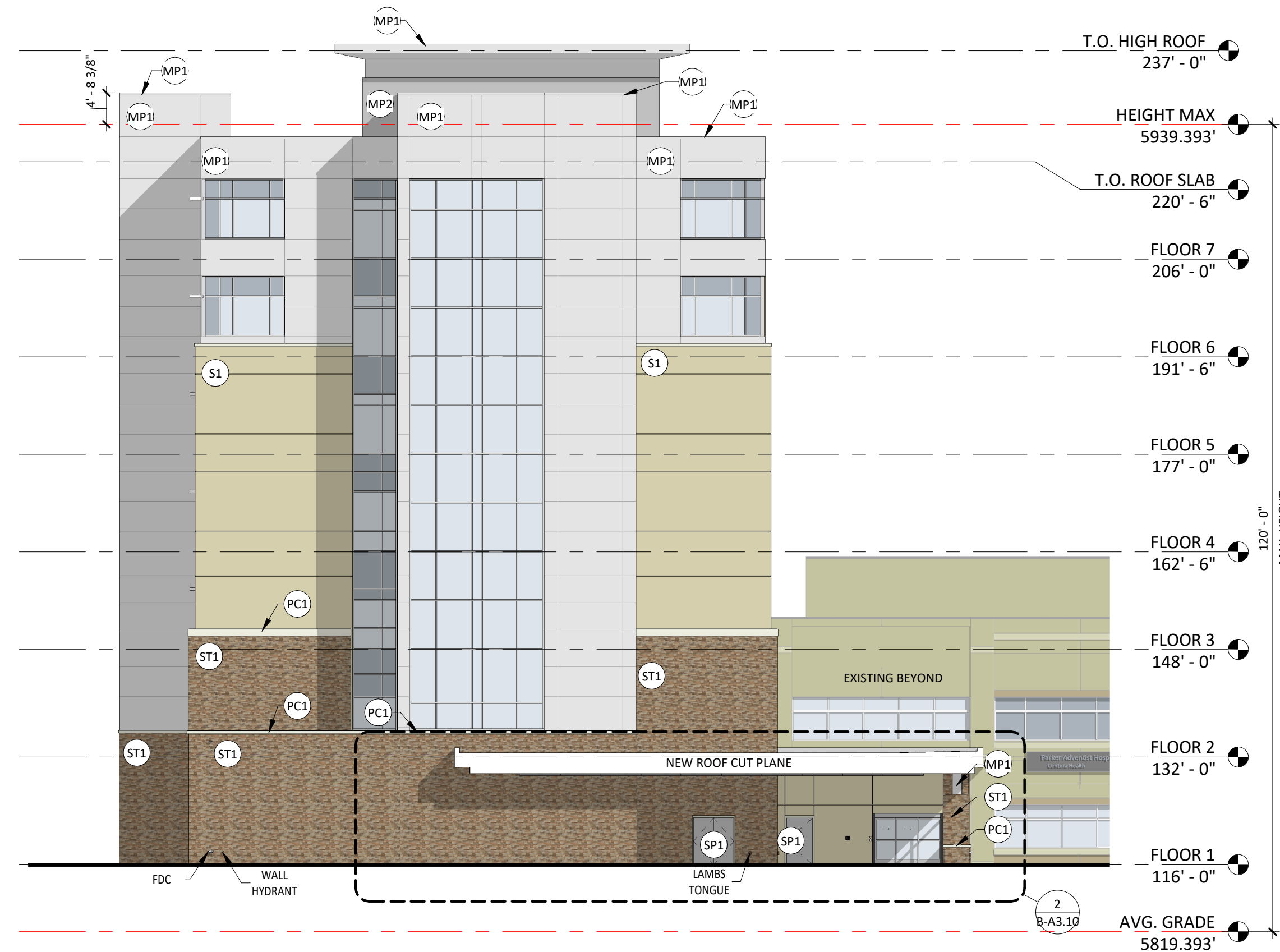
SITE PLAN



EXTERIOR ELEVATION MATERIAL LEGEND

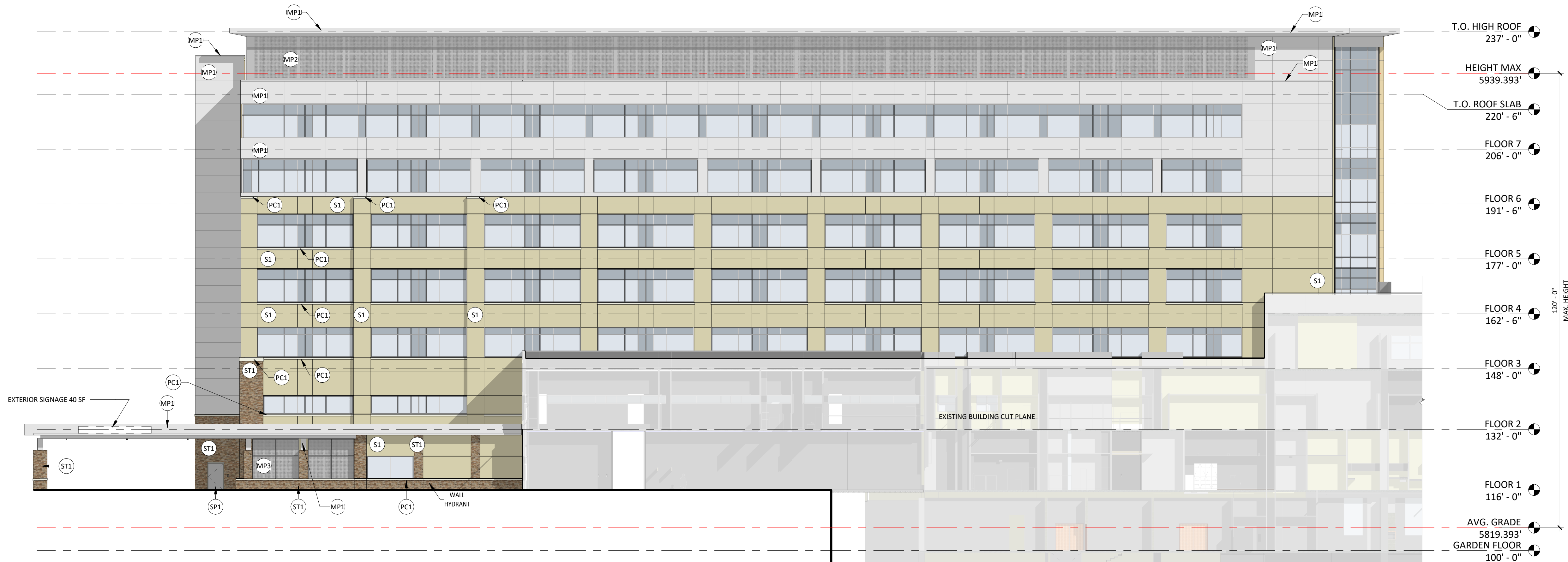
- S1 3/4" NOMINAL STUCCO (S1), COLOR TO MATCH EXISTING
- S2 3/4" NOMINAL STUCCO (S2) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
- S3 3/4" NOMINAL STUCCO (S3) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
- ST1 MANUFACTURED STONE VENEER, CHERRY CREEK LEDGE (MATCH EXISTING)
- PC1 PRECAST CONCRETE CAP, MIDWEST CAST STONE, COLOR: 1A
- MP1 COMPOSITE METAL PANEL, ALUCOBOND PLUS, COLOR: CHAMPAGNE METALLIC
- MP2 METAL PANEL ROOF SCREEN, PERFORATED
- MP3 DECORATIVE ART SCREEN WALL, PERFORATED
- SP STEEL PAINTED, COLOR TO MATCH EXISTING (LIGHT GRAY)
- BR BRASS METAL, COLOR TO MATCH EXISTING (LIGHT GRAY)
- VISION GLAZING, COLOR TO MATCH EXISTING
- SPANDREL GLAZING, COLOR TO MATCH EXISTING
- MULLION COLOR TO MATCH EXISTING (ANODIZED ALUMINUM)

NOTE: PER CROWN POINTE DEVELOPMENT GUIDE AND TOWN OF PARKER DEVELOPMENT DESIGN STANDARDS THE HEIGHT MAXIMUM OF 120'-0" SHALL BE MEASURED FROM THE AVERAGE GRADE PLANE OF THE OVERALL SITE AND NOT APPLY TO STAIR/ELEVATOR CORES OR MECHANICAL SCREENING.



EAST ELEVATION
1/16" = 1'-0"

EAST ELEVATION CANOPY
1/16" = 1'-0"



NORTH ELEVATION
1/16" = 1'-0"



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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-062

SHEET TITLE
**EXTERIOR
ELEVATIONS**

DRAWING NUMBER

18 of 24

8/21/2024 9:23:53 AM Autodesk Docs/228365.MM AdventHealth Parker Hospital R24/253635.00 AH Parker CS-Act

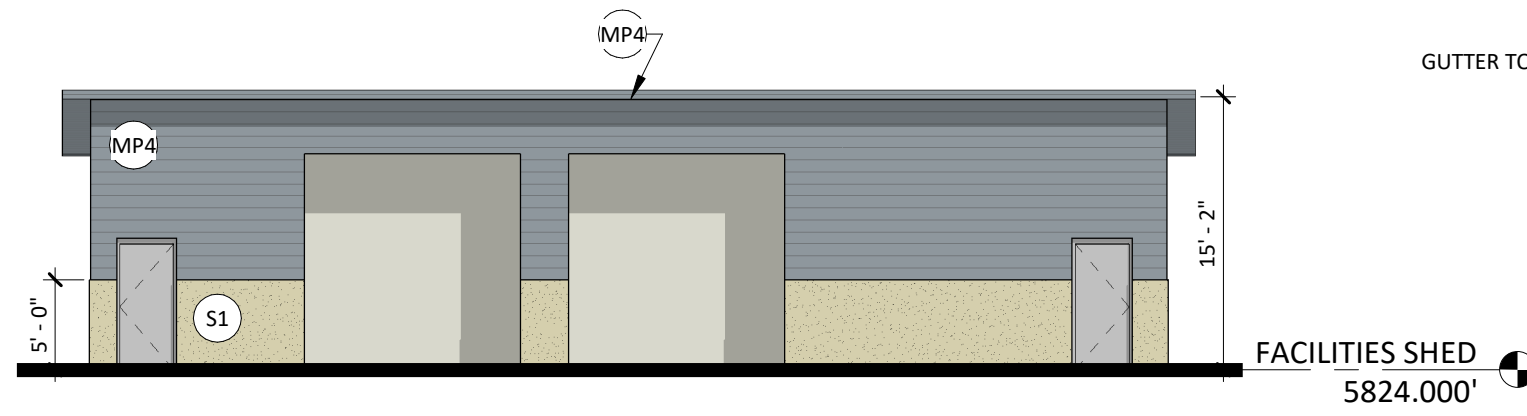
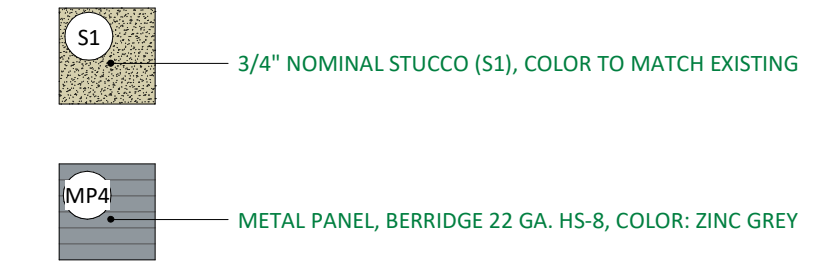
CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

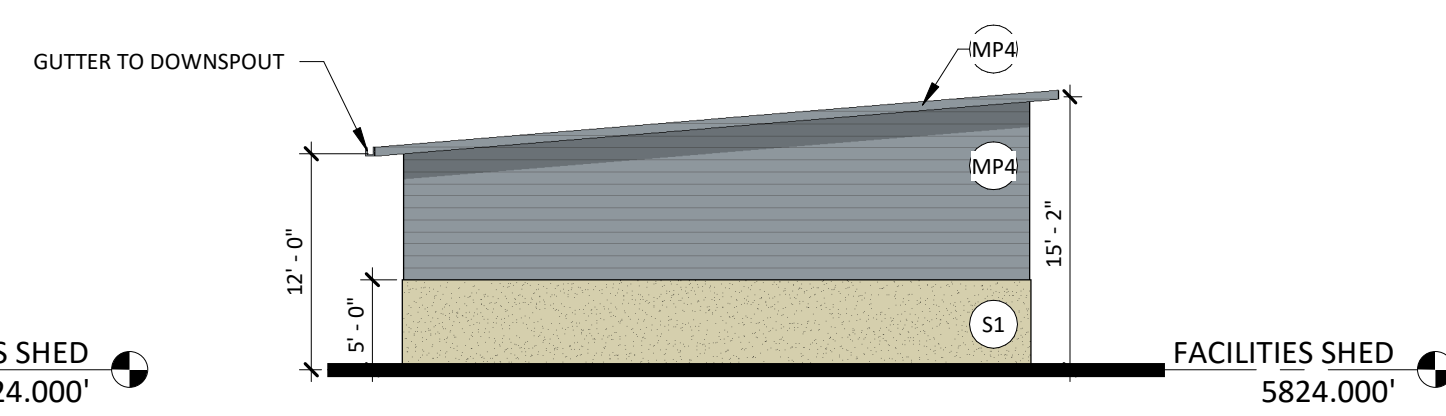
SITE PLAN

EXTERIOR ELEVATION MATERIAL LEGEND - FACILITY SHED



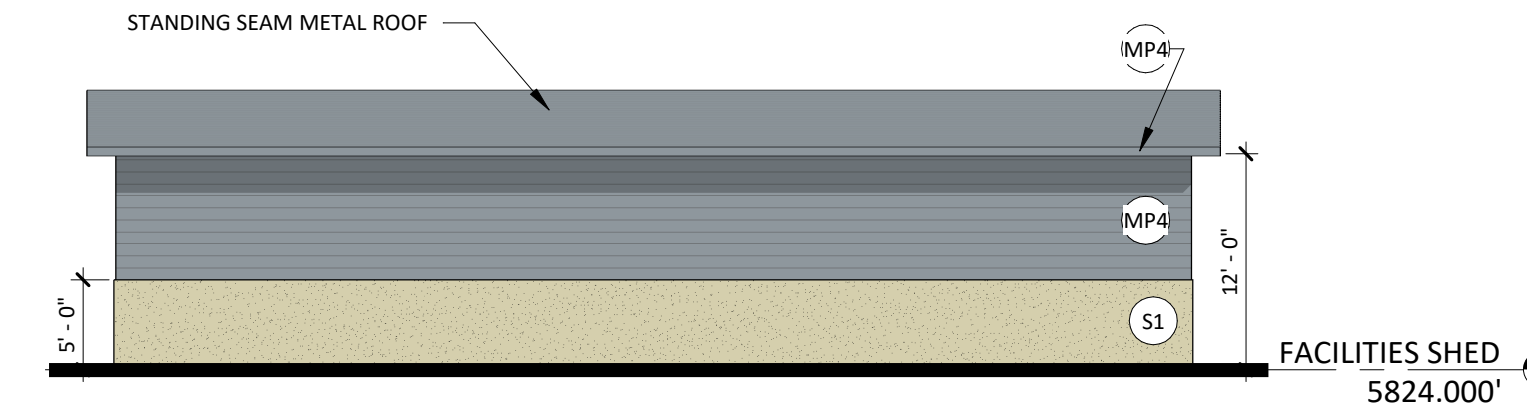
FACILITIES SHED - NORTH ELEVATION

3/32" = 1'-0"



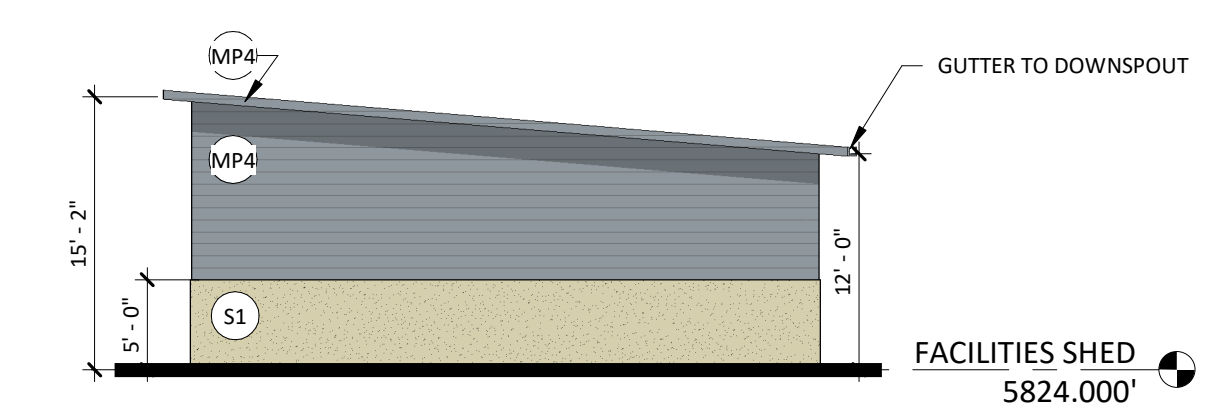
FACILITIES SHED - EAST ELEVATION

3/32" = 1'-0"



FACILITIES SHED - SOUTH ELEVATION

3/32" = 1'-0"



FACILITIES SHED - WEST ELEVATION

3/32" = 1'-0"



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ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-062

SHEET TITLE
**EXTERIOR
ELEVATIONS**

DRAWING NUMBER

19 of 24

CROWN POINT FILING 1 AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



VIEW FROM EAST



VIEW FROM SOUTHEAST



VIEW FROM SOUTH



VIEW FROM NORTHWEST



VIEW FROM NORTH



VIEW FROM NORTHEAST



VIEW FROM WEST



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PARKER FACILITY
EXPANSION**

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
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PARKER PROJECT NUMBER
SP24-062

SHEET TITLE
**EXTERIOR
PERSPECTIVES**

DRAWING NUMBER
20 of 24

CROWN POINT FILING 1 AMENDMENT 30

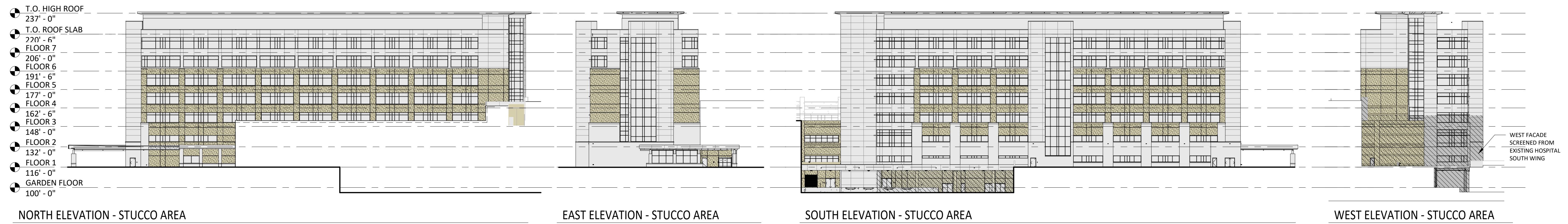
LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN

STUCCO CALCULATIONS

FAÇADE	STUCCO (SF)	TOTAL AREA (SF)	MAXIMUM STUCCO %	PROVIDED %
NORTH	8,538	30,033	30%	28%
EAST	2,659	13,073	30%	20%
SOUTH	8,347	42,888	30%	19%
WEST	3,140	11,586	30%	27%



NORTH ELEVATION - STUCCO AREA

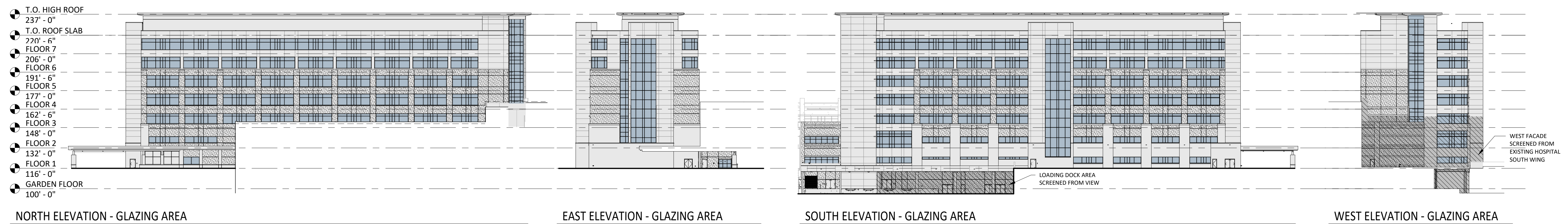
EAST ELEVATION - STUCCO AREA

SOUTH ELEVATION - STUCCO AREA

WEST ELEVATION - STUCCO AREA

GLAZING CALCULATIONS

FAÇADE	DESIGNATION	GLAZING AREA (SF)	BUILDING BASE AREA (SF)	REQUIRED GLAZING %	PROVIDED %
NORTH	FRONT (PRIMARY)	11,505	30,033	30%	38%
EAST	FRONT (SECONDARY)	2,702	13,073	30%	21%
SOUTH	FRONT (TERTIARY)	13,492	42,888	30%	31%
WEST	REAR	2,501	11,586	30%	22%



NORTH ELEVATION - GLAZING AREA

EAST ELEVATION - GLAZING AREA

SOUTH ELEVATION - GLAZING AREA

WEST ELEVATION - GLAZING AREA



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PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS	
DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/16/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-062

SHEET TITLE
**EXT. ELEVATION
DIAGRAMS**

DRAWING NUMBER

21 of 24

CROWN POINT FILING 1 30TH AMENDMENT 30 LOT 1, TRACT A & B

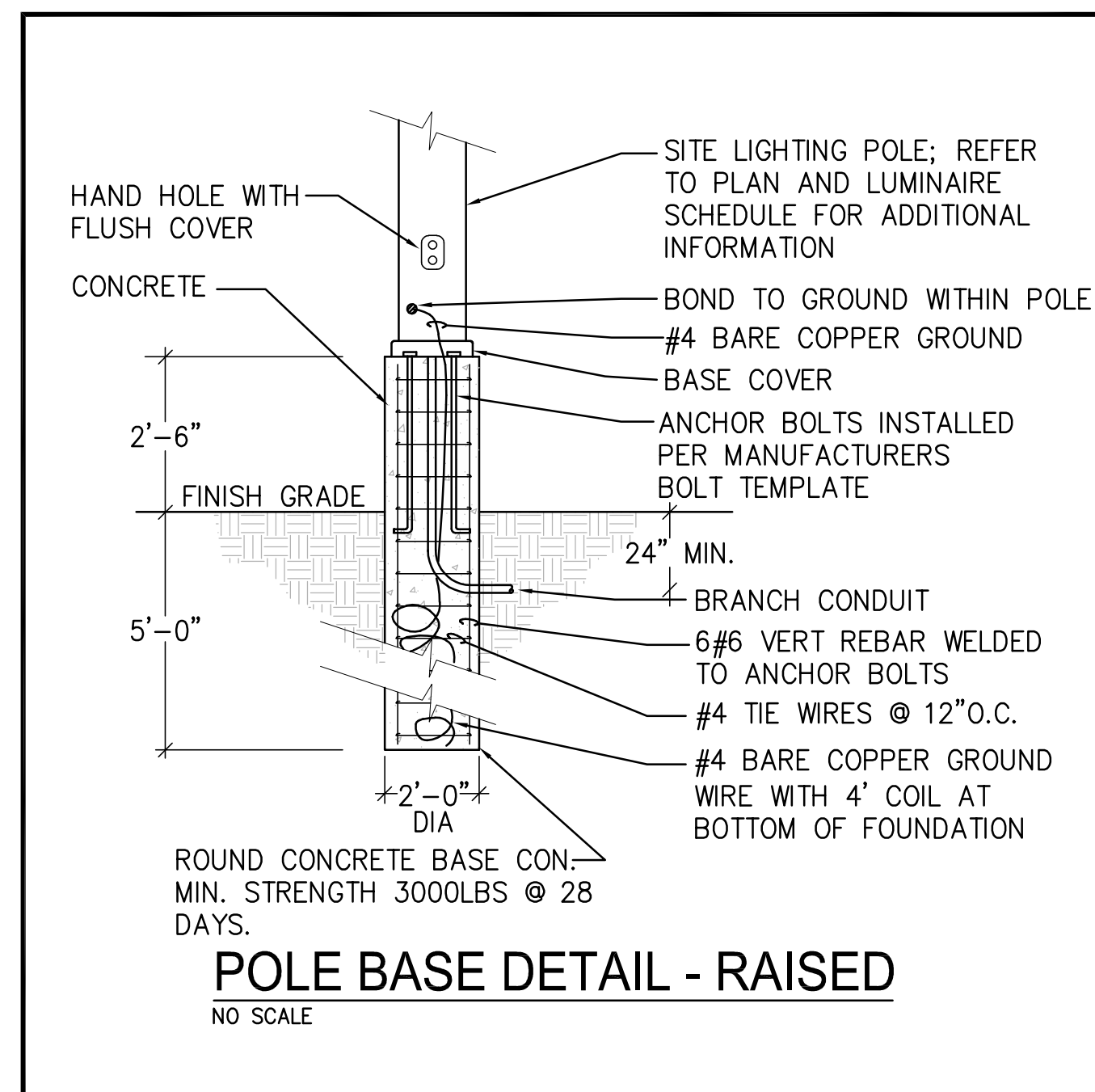
LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN

REFERENCE SYMBOLS LEGEND (Not all symbols listed below are used on these drawings)			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	KEY NOTE REFERENCE		KITCHEN/OWNER/MEDICAL EQUIPMENT REFERENCE
	TYPICAL CIRCUIT NUMBER		EXISTING TO REMAIN
	TYPICAL LUMINAIRE TYPE		EXISTING TO BE REMOVED
	TYPICAL ROOM REFERENCE (TOP=RM#, BOTTOM=FLR)		EXISTING TO BE RELOCATED
	MECHANICAL EQUIPMENT REFERENCE		EXISTING TO REMAIN - REPLACE DEVICE
	LIGHTING CONTROL/ EQUIPMENT REFERENCE		EXISTING TO BE REMOVED AND REPLACED

LIGHTING LEGEND (Not all symbols listed below are used on these drawings)			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SHADING INDICATES EM SYSTEM, LOWER CASE SUBSCRIPT INDICATES SWITCHING, UPPER CASE SUBSCRIPT INDICATES LUMINAIRE TYPE (TYP)		PENDANT LUMINAIRE - SINGLE SUSPENSION
	TROFFER - RECESSED		PENDANT LUMINAIRE - MULTIPLE SUSPENSION
	SURFACE LUMINAIRE		WALL MOUNTED LUMINAIRE
	LINEAR LUMINAIRE - RECESSED		IN-WALL LUMINAIRE
	FIELD MEASURED LUMINAIRE LENGTH AND SHAPE DENOTED BY LINEWORK, SUBSCRIPT IN RECTANGLE INDICATES LUMINAIRE TYPE		POLE LUMINAIRE - ARM MOUNTED
	DOWNLIGHT - RECESSED		POLE LUMINAIRE - POST TOP

EXTERIOR LUMINAIRE SCHEDULE											
GENERAL NOTES: A. CATALOG NUMBER REFERS TO FIRST NAME LISTED UNDER MANUFACTURER PER LUMINAIRE TYPE. REMAINING MANUFACTURERS LISTED ARE CONSIDERED EQUIVALENT PRODUCTS FOR THIS PROJECT AND SHALL MEET ALL CRITERIA LISTED INCLUDING THAT CALLED FOR BY THE SPECIFIC LUMINAIRE CATALOG NUMBER. CATALOG NUMBERS DO NOT NECESSARILY REPRESENT COMPLETE CATALOG NUMBERS. ALL ITEMS LISTED IN THE DESCRIPTION SHALL BE PROVIDED. B. REFER TO LIGHTING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. C. PROVIDE UNIT PRICING FOR ALL LUMINAIRES BY TYPE AND SUBMIT WITH BID FORM. D. PROVIDE AN EMERGENCY BALLAST TEST SWITCH FOR RECESSED DOWNLIGHTS ON CEILING ADJACENT TO LUMINAIRE.											
SPECIFIC NOTES: 1. VERIFY EXACT MOUNTING HEIGHT WITH ARCHITECT. 2. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS. 3. HELPPAD LIGHTING TO BE COORDINATED WITH HELPPAD CONSULTANT. 4. NEW LUMINAIRE HEAD ON RELOCATED EXISTING POLE. 5. EXISTING POLE LIGHT.											
TYPE	DESCRIPTION	LAMPS	VOLT-AMPS	VOLTAGE	MANUFACTURER	CATALOG SERIES	FINISH	MOUNTING	QUANTITY	RECESS	NOTES
EW1	18" WIDE X 11" DEEP EXTERIOR WALL PACK, TYPE IV FORWARD DISTRIBUTION	LED 5000K, 70 CRI 6000 LUMENS	55	277	KIM LIGHTING	WDM-D-48L-55-9K7-4F	DARK BRONZE MATTE	WALL	13	-	1
EL12	12" RECESSED LINEAR LED SLOT LIGHT EXTRUDED WHITE PAINTED METAL HOUSING WITH WHITE PAINTED FLAT METAL END CAPS, FROSTED DROP PLASTIC LENS, LENSES FROSTED BOTH SIDES, 0-10V DIMMING, DAMP LOCATION LISTED	LED 5000K, 70 CRI 4000 LUMENS	43	277	FINELIGHT	HP4 WL-R-D-12-S-840-F-96-277-SC-FC-10%-VF-C1-PE-SW	WHITE	RECESSED	13	4"	2
EP5	10' TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 36L-105 LIGHT ENGINE, TYPE IV DISTRIBUTION	LED 5000K, 70 CRI 12,200 LUMENS	85	277	KIM LIGHTING	VP-ST-1-36L-105-9K7-5W	DARK BRONZE MATTE	10' POLE	3	-	
EP8	23' TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 36L-105 LIGHT ENGINE, TYPE 3 DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	85	277	KIM LIGHTING	VP-ST-1-36L-105-9K7-5W	DARK BRONZE MATTE	23' POLE	4	-	
EP9	23' TALL LED POLE LIGHT ON 2" CONCRETE BASE, DOUBLE HEAD, 36L-105 LIGHT ENGINE, TYPE 4W DISTRIBUTION	LED 5000K, 70 CRI 12,200 LUMENS	170	277	KIM LIGHTING	VP-ST-1-36L-105-9K7-5W	DARK BRONZE MATTE	10' POLE	1	-	
EP10	10' TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 36L-55 LIGHT ENGINE, TYPE IV DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	85	277	KIM LIGHTING	VP-ST-1-36L-55-9K7-5W	DARK BRONZE MATTE	10' POLE	2	-	
EP11	10' TALL LED POLE LIGHT ON 2" CONCRETE BASE, DOUBLE HEAD, 36L-55 LIGHT ENGINE, TYPE IV DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	170	277	KIM LIGHTING	VP-ST-1-36L-55-9K7-5W	DARK BRONZE MATTE	10' POLE	1	-	



BOULDER ASSOCIATES

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BOULDER, COLORADO 80302
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ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION DATE

1ST SUBMITTAL 06/03/2024

2ND SUBMITTAL 08/15/2024



CATOR RUMA
& ASSOCIATES, C.O.
896 Taylor Street, Lakewood, CO 80401
(303) 232-6290 • www.catorrumba.com

DATE

06/03/2024

PARKER PROJECT NUMBER

SP24-XXX

SHEET TITLE

LUM. SCHEDULE,
DETAILS & LEGENDS

DRAWING NUMBER

22 of 24

CROWN POINT FILING 1 30TH AMENDMENT 30 LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN

BEACON
VIPER Area/Site
VPT-11 LUMINAIRE

FEATURES

- Low profile LED luminaire available with a variety of F53 ballast kits for lighting up to 1000W with an adjustable, fixed, or dimmable ballast.
- Features two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction.
- Rated for high ambient applications including bridges and overpasses. All sizes are rated for 155.
- Control options including photo control, occupancy sensing, NCLighting Controls™, LightScribe™ and 7-pin with recessed controls.
- New 4 customizable lumen output features allow for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may be required.
- Photo-thermostatic mounting provides additional flexibility after the fixture has shipped.

CONTROL TECHNOLOGY
NCLighting Controls™ LIGHTGRID™ STÖCK QS10

SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimized for heat dissipation and keeping a clean smooth outer surface.
- Corrosion resistant, cast-lead aluminum housing with 100% zinc-chrome plated finish.
- External hardware is corrosion resistant.

OPTICS

- Strike Optics (60, 82, 480) or (23, 42, 480) optical patterns are available in micro-strike and strike beam with two power LED, which evenly beam light in the desired direction to illuminate the area.
- Strike Optics (60, 82, 120, or 180) LED optical patterns beam light in a 180° beam with a narrow, high beam, high light output.

- Both strike and micro-strike optics are designed for uniform lighting and are available in a variety of finishes and colors. All finishes and colors are available in a variety of finishes and colors. All finishes and colors are available in a variety of finishes and colors.

INSTALLATION

- Mounting hardware for each size can be found on page 11.
- Optimal beam angle is 10° for 100° beam angle.
- All mounting hardware included.
- Recess arm fitting option available for 2-3/8" OD holes.
- For details, visit EPA.com for 1 required to be installed in a 2-3/8" OD hole.

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

EP5, 8-11

MICROSTRIKE STRIKE

WARRANTY
5 year warranty

currentlighting.com/beacon Page 1 of 9
Rev 03/2024
ELUMINAIRE_2024

Submitted by: _____ DATE: _____
Type: _____ PROJECT: _____
Catalog #: _____

EL12 FINELITE™
Better Lighting

High Performance 4" Wet Location (HP-4 WL)

Signal White is standard finish. **Note:** see page 6 for all aesthetic options.

CROSS SECTIONS

GET MORE WITH TAILORED LIGHTING

- Tailored Length
- Tailored Color
- Tailored Output
- Tailored Control

INTEGRATED GORE™ PROTECTIVE VENT

Protective vents are integrated at endcaps and joints to equalize pressure, reduce condensation and protect internal fixture components against water, salts, corrosive liquids and particulates.

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

WDM EW1
WALL MOUNTED

Wall Director

RELATED PRODUCTS

Wall Director Small

CONTROL TECHNOLOGY
NCLighting Controls™

SPECIFICATIONS

CONSTRUCTION

- (Class II housing) is a one-piece, die-cast low copper (C510) aluminum alloy with integral heat sink. The housing mates against mounting arm housing to provide 2" to 10" of adjustment with degree markers label. All 0° adjustment lens is totally concealed from view above horizontal with fixture mounted in the downward position.
- Mounting arm housing is one-piece, die-cast, low copper (C510) aluminum alloy with provisions for all mechanism. Mounting arm fastens to the mounting plate with knurled slots freeing both hands for securing and wiring. One stainless steel socket head screw on the 1st mechanism fixes the optical housing to rotate for aiming. Tightening the screws locks the housing and lens frame together with sealing provided by a silicone gasket. For visual aiming, adjustment may be accomplished with the fixture on.
- Lens frame is a one-piece, die-cast low copper (C510) aluminum alloy with integral cooling fins to dissipate driver thermal.
- Finish: face and abrasion resistant, electrocoat applied, thermally cured, triglycid isocyanurate (TIG) polyester powdercoat.
- Backery and hardware shall be stainless steel.

OPTICS

- LEDs mount to a metal printed circuit board assembly (MCPCB).
- Optical lenses are clear injection molded PMMA acrylic.
- Secondary lens is impact resistant 1/8" tempered glass with anti-reflective coating.

INSTALLATION

- Junction box (by Others) Standard with steel, quick-mount junction box plate that mounts directly to 4" x 8" box.
- Mounting plate is stainless steel and features a one-piece EPDM gasket on back side of plate to firmly seat fixture to wall surface, forbidding entry of moisture and particulates.
- Fixture must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

WIRING

- Housing should hang freely in an open service position for inspection of primary wire connections. Once in service position, the housing can be removed for service by sliding the assembly to the left (for down mounting) or to the right (for up mounting) and disconnecting the wiring plugs.
- Driver assembly shall be mounted to a pre-wired internal tray with quick disconnect for removal.

ELECTRICAL

- Universal voltage, 00 through 277V with a ±3% tolerance. Driver is Underwriters Laboratories listed.
- High voltage configurations, 347/480. Driver has a 0-10V dimming interface for multi-level illumination options. Driver is Underwriters Laboratories listed.
- "Thermal Shield", secondary side, thermistor provides protection for the sustainable life of LED module and electronic components.
- Drivers have a greater than a 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments.
- Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C.
- Modular wiring harness in the service area provides user access to the dimming circuitry.

(Specifications continued on page 3)

KEY DATA	
Lumen Range	5,950-10,000
Wattage Range	54-131
Efficacy Range (lm/W)	97-145
Reported Life (Hours)	L70/50,000
Weight	35 lbs/15.87 kg

currentlighting.com/wdm Page 1 of 9
Rev 03/2024
ELUMINAIRE_2024



BOULDER ASSOCIATES
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BOULDER, COLORADO 80302
303.499.7795



**ADVENTHEALTH
PARKER FACILITY
EXPANSION**

CROWN POINT, 30TH AMMDT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024
2ND SUBMITTAL	08/15/2024



896 Tabor Square, Lakewood, CO 80401
(303) 232-0230 • www.catorrumba.com

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
**LUMINAIRE
CUT SHEETS**

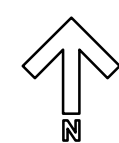
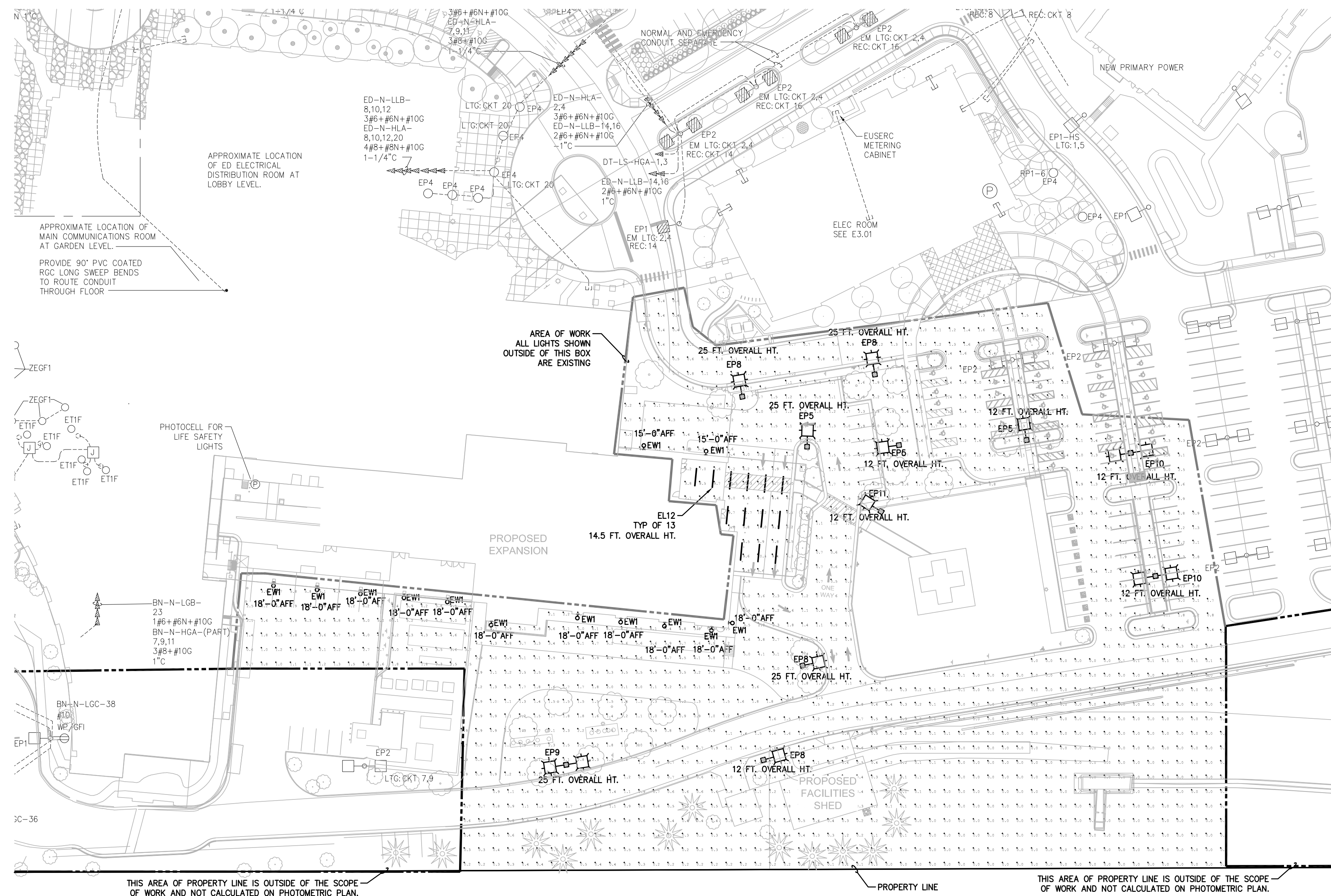
DRAWING NUMBER
23 of 24

CROWN POINT FILING 1 30TH AMENDMENT 30

LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

SITE PLAN



PHOTOMETRIC SITE PLAN

SCALE: 1" = 30'-0"

KEY NOTES:

1. DUE TO THE RESTRICTIONS ON POLE LIGHTING NEAR THE HELIPAD THE MAX/MIN AND AVG/MIN DON NOT MEET DO NOT MEET THE REQUIRED UNIFORMITY RATIOS.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ambulance Drive	Illuminance	Fc	1.71	5.0	0.5	3.42	10.00
Canopy	Illuminance	Fc	6.61	10.7	1.5	4.41	7.13
Dock area	Illuminance	Fc	3.56	6.4	0.7	5.09	9.14
Fire Lane	Illuminance	Fc	2.44	6.5	0.8	3.05	8.13
Parking lot East <>	Illuminance	Fc	2.36	7.3	0.2	11.80	36.50
ROADWAY PROPERTY LINE	Illuminance	Fc	0.28	2.4	0.0	N/A	N/A
ROADWAY NORTH	Illuminance	Fc	1.08	2.2	0.3	3.60	7.33
TEMP IMAGING PARKING	Illuminance	Fc	3.98	6.0	1.9	2.09	3.16



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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
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DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
**PHOTOMETRIC
SITE PLAN**

DRAWING NUMBER
24 of 24