



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO:

FROM: Stacey Nerger, Senior Planner

DATE: July 12, 2024

SUBJECT: Crown Point Filing No. 1 Amendment 30 Lot 1– Site Plan
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger

EMAIL: snerger@parkeronline.org

PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

2. Please include a page that shows all improvements on Lot 1. This should also include the proposed addition.

Comment Addressed: Yes No

Response:

3. Pursuant to the Crown Point Planned Development Guide the following setbacks are required:

- a. Crown Crest Blvd (N): 30’
- b. Parker Road (S): 50’
- c. Crown Crest Blvd (E): 30’
- d. Parker Road (W): 50’

Please add these required and provided setbacks into the Site Data Table. Also please show all setbacks on the overall Site Plan sheet.

Comment Addressed: Yes No

Response:

4. Please move the existing conditions map(s) to be the second page of the Site Plan Set.

Comment Addressed: Yes No

Response:

5. Please include a sheet (similar to the grading plan in the CD's) that shows all new retaining walls on the site. This sheet should include the height (top and bottom of wall) of all walls along with the materials and colors to be used.

Comment Addressed: Yes No

Response:

6. Please include an image that shows the colors, materials and height of any new retaining wall screens proposed on site.

Comment Addressed: Yes No

Response:

7. Please include elevations with materials and heights for the Shed proposed on site. Please also ensure that the proposed shed along with all other sheds on the property are included in the parking table.

Comment Addressed: Yes No

Response:

Parking

1. Please see the attached redlines regarding parking.

Comment Addressed: Yes No

Response:

2. Please include/show if new parking spaces are proposed as part of this Site Plan Adjustment. If all parking spaces and drive aisles are existing, less information will be needed. Any new drive aisles and parking spaces should be identified, and sizes (width and length) shall be labeled.

Staff Comments 01
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 Site Plan
 July 12, 2024

Comment Addressed: Yes No

Response:

3. Pursuant to Section 13.06.060 Bicycle parking requirements state that 2 spaces are required for each 10,000 square feet of floor area, not to exceed 10. Based on this proposal a minimum of 10 bicycle parking spaces will be required. Please add the required and provided bicycle parking to Site Data Table on page 1. Please show the location of these bicycle parking spaces on the site plan and label whether these spaces are new or existing. Any new facilities will need to include a cut sheet showing the materials and colors of the new racks.

Comment Addressed: Yes No

Response:

Landscaping

1. Please provide landscape summary table similar to the following. This summary table should include the required and provided landscape calculations for the different required sections of the Town Code based on the proposed disturbed area (it does not need to include the entire site).

LANDSCAPE REQUIREMENTS

A. INTERNAL LANDSCAPING										
NET SITE AREA	LANDSCAPE AREA			% LIVE COVER						
	REQUIRED (15%)	PROVIDED	SURPLUS / DEFICIT	REQUIRED (75%)	PROVIDED	SURPLUS / DEFICIT				
39,507	5,926	11,120	5193.95	4,445	8,896	4451.46				
INTERNAL LANDSCAPE AREA (S.F.)	TREE REQUIREMENT 1/1500 S.F.			SHRUB REQUIREMENT 5/1500 S.F.			TREE EQUIVALENT CALCULATION			
	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided	
5,926	4	4	0	20	20	0	0	0	4	
B. STREETSCAPE LANDSCAPE										
LOCATION	LENGTH	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
HESS ROAD	132	4	4	0	NA			0	0	4
C. LANDSCAPE PERIMETER (STANDARD)										
LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
NORTH PROPERTY LINE	132	4	4	0	17	17	0	0	0	4
EAST PROPERTY LINE	242	7	6	-1	31	41	10	10	1	7
MIN. EVERGREEN REQUIREMENT	40%	5	3	-2			0			
D. LANDSCAPE PERIMETER (ENHANCED)										
LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1/25 LF			SHRUB REQUIREMENT 5/25 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
WEST PROPERTY LINE	242	10	10	0	49	50	1	1	0	10
MIN. EVERGREEN REQUIREMENT	40%	4	6	2			0			
EVERGREEN TREE REQUIREMENT - OVERALL SITE										
MINIMUM EVERGREEN REQ.		25%								
Number of Trees		REQUIRED	PROVIDED							
29		8	9							

Comment Addressed: Yes No

Response:

3. Pursuant to Section 13.06.070 of the Town of Parker LDO a maximum of 15% of the total site landscaping can be traditional turf grasses. Please ensure that this maximum is not exceeded. Although turf grass is permitted within Town code, many water districts are discouraging the use of turf, excluding playing fields. Please see redlines for alternative designs for the turf areas/.

Comment Addressed: Yes No

Response:

4. Please use the Town of Parker planting details located within the Town’s Parks, Trails, Open Space and Streetscape Design and Construction Manual ([Parks-Trails-Design-Construction-Manual \(parkerco.gov\)](https://www.parkerco.gov/parks-trails-design-construction-manual)) starting on page 145 of the document.

Comment Addressed: Yes No

Response:

5. Please provide an irrigation plan. This needs to be reviewed by the Cottonwood Water and Sanitation District.

Comment Addressed: Yes No

Response:

Lighting

1. Please see the attached redlines regarding the photometric plan.

Comment Addressed: Yes No

Response:

Building Elevations

1. Please see the attached redlines for additions and suggestions needed to meet the articulation requirements of the Town.

Comment Addressed: Yes No

Response:

2. **Per the Town of Parker Commercial Design Standards Commercial and Mixed-Use Building Composition; Buildings shall integrate varied roof lines, modulated building heights, stepbacks, or innovative architectural details. I believe the building features the required stepbacks, but a 3D rendering showing these stepbacks may be necessary to tell the story.**

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Cottonwood Water and Sanitation District – **Please reach out to the District to submit required plans**
- Fire Life Safety
- IREA
- Public Service Company
- Town of Parker Engineering and Stormwater

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Staff Comments 01
SP24-062; Crown Point Filing No. 1 Amendment No. 30 Lot 1
Site Plan
July 12, 2024

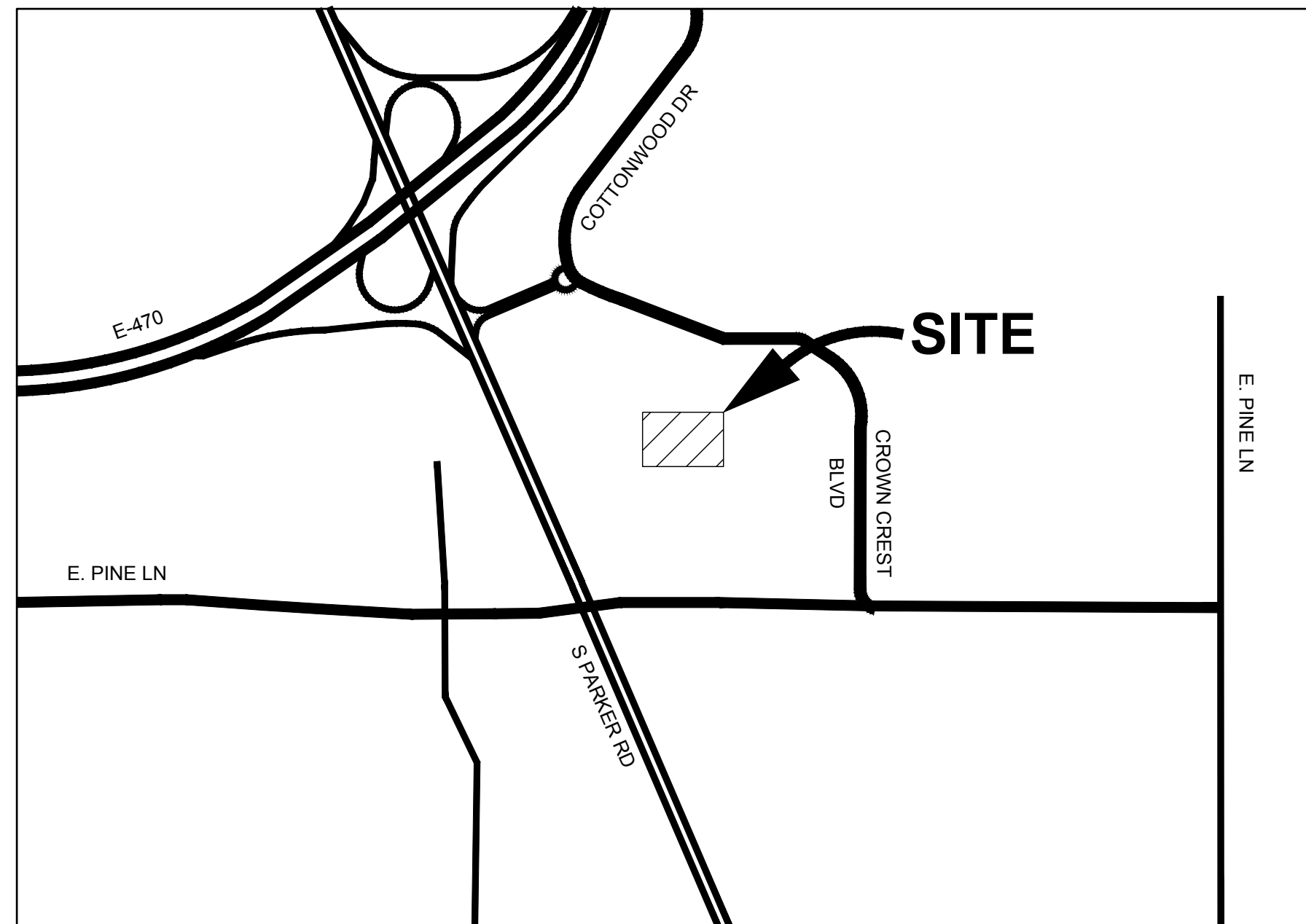
Project Representative

Date

CROWN POINT F#1 30TH AMENDMENT FILING NO. X -

LOT 1, TRACT A & B SITE PLAN

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



VICINITY MAP
SCALE: 1"=1000'

Sheet Number	Sheet Title
01 of 19	COVER SHEET
02 of 19	SITE PLAN
03 of 19	SITE PLAN
04 of 19	EXISTING CONDITIONS MAP
05 of 19	EXISTING CONDITIONS MAP
06 of 19	LANDSCAPE COVER SHEET
07 of 19	OVERALL LANDSCAPE PLAN
08 of 19	LANDSCAPE PLAN
09 of 19	LANDSCAPE PLAN
10 of 19	TREE CONSERVATION PLAN
11 of 19	SITE DETAILS
12 of 19	PLANTING DETAILS
13 of 19	ARCHITECTURAL SITE PLAN
14 of 19	EXTERIOR ELEVATIONS
15 of 19	EXTERIOR ELEVATIONS
16 of 19	EXTERIOR ELEVATIONS
17 of 19	LUMINAIRE SCHEDULE, DETAILS, AND LEGENDS
18 of 19	LUMINAIRE CUT SHEETS
19 of 19	PHOTOMETRIC SITE PLAN

Please include a Site Data Table that outlines the proposed development on the property. The Site Data Table should look similar to the below:

SITE STATISTICS			
ZONING	PD		
LOT AREA	SF	ACRES	% OF TOTAL
GROSS	283,165	6.50	100%
NET	283,165	6.50	100%
SITE DATA	SF	ACRES	% OF TOTAL
BUILDING AREA	14,842	0.34	5.24%
HARDSCAPE AREA	134,150	3.08	47.37%
LANDSCAPE AREA (REQ'D: 15%)	134,182	3.08	47.39%
TOTAL	283,174	6.50	100%

AGENCY LIST

ELECTRIC-IREA
PO DRAWER A
5496 US HWY 85
SEDALIA, CO. 80135
303-888-3100
CONTACT: BROOKS KAUFMAN

FIRE-SOUTH METRO FIRE RESCUE
9195 E. MINERAL AVE
CENTENNIAL, CO 80112
720-989-2000
CONTACT: RANDY CAPRA

TOWN OF PARKER-PUBLIC WORKS
9200 MOTSENBOCKER ROAD
PARKER, CO 80134
303-840-9546
CONTACT: MIKE WAUGH

CABLE-COMCAST
8850 S. TUSCON WAY
ENGLEWOOD, CO. 80112
303-603-5605
CONTACT: KEVIN YOUNG

TRI-COUNTY HEALTH DEPARTMENT
7000 E. BELLEVIEW AVENUE
GREENWOOD VILLAGE, CO. 80111
303-220-9200
CONTACT: CAROL MACLENNAN

CROWN POINT ARCHITECTURAL
CONTROL COMMITTEE
27905 MEADOW DRIVE, SUITE 11
EVERGREEN, CO 80439 303-674-7856
CONTACT: TIM LEONARD

GAS-XCEL ENERGY
2070 SOUTH VALENTIA STREET
DENVER, CO. 80231
1-800-628-2121
CONTACT: DESIGN MANAGER

TOWN OF PARKER
PLANNING AND BUILDING DEPT.
20120 E. MAIN STREET
PARKER, CO. 80134
303-841-2332
CONTACT: PAUL WORKMAN

COTTONWOOD WATER & SANITATION DISTRICT
2 INVERNESS DRIVE EAST
ENGLEWOOD, CO
303-792-9509
CONTACT: PATRICK MULHERN/ LAURI TATLOCK

TELEPHONE - CENTURY LINK
LOCAL NETWORK OPERATIONS
9750 E. COSTILLA AVENUE
ENGLEWOOD, CO. 80112
303-792-1840
CONTACT: KAREN CAIME

COTTONWOOD WATER AND SANITATION
DISTRICT ENGINEER-KENNEDY JENKS CONSULTING
143 UNION BOULEVARD
SUITE 600
LAKEWOOD, CO 80228
PHONE: 303-985-3636
CONTACTS: TOM NAPOLILLI

OWNER INFORMATION

ADVENTHEALTH PARKER
9395 CROWN CREST BLVD.
PARKER, CO. 80138
303-269-4014

DESIGN INFORMATION

ARCHITECT: BOULDER ASSOCIATES
PHONE: 303-499-7795

ARCHITECT: SMITHGROUP
PHONE: 303-832-3272

CIVIL ENGINEER: S. A. MIRO, INC
PHONE: 303-741-3737

LANDSCAPE ARCHITECT: OXBOW DESIGN COLLABORATION
PHONE: 720-465-6168

STRUCTURAL ENGINEER: MGA STRUCTURAL ENGINEERS, INC.
PHONE: 719-635-4473

MEPT ENGINEERS: CATOR RUMA & ASSOCIATES CO
PHONE: 303-232-6200

FIRE PROTECTION: TLH FIRE
PHONE: 303-517-1775



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

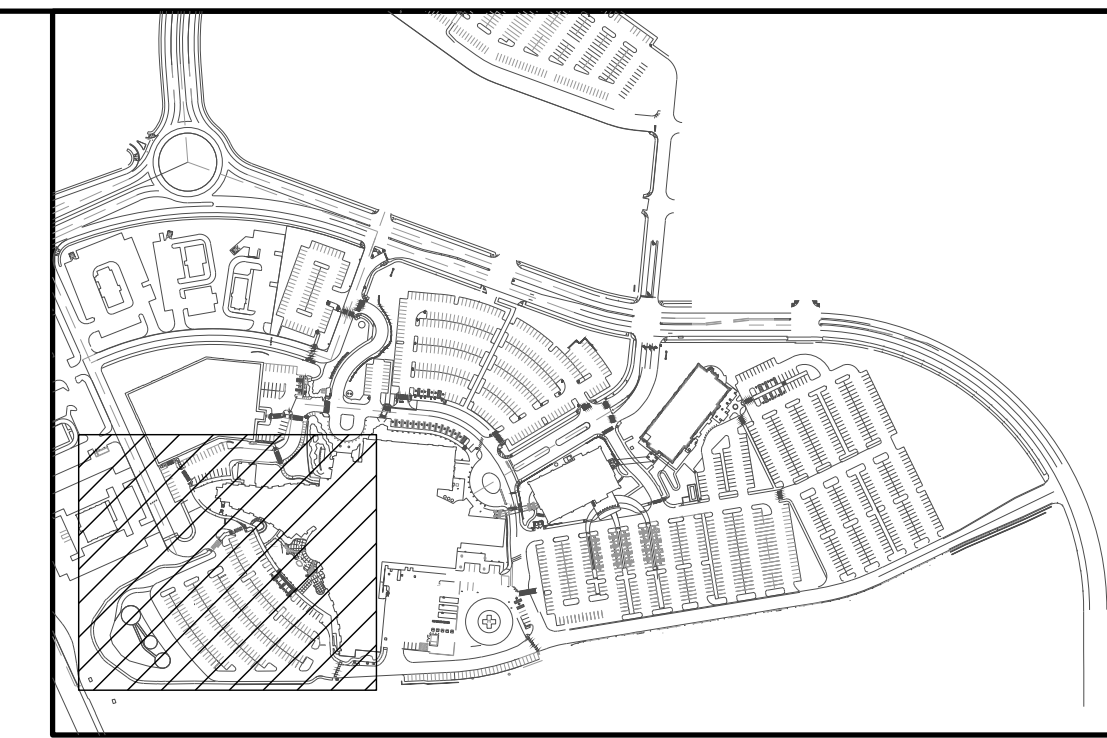
SHEET TITLE
COVER SHEET

DRAWING NUMBER
01 of 19

Please include a sheet showing the entire property with the proposed addition in bold.

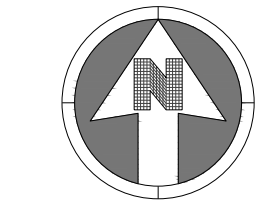
CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



KEY MAP

NOT TO SCALE

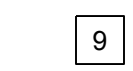


30 0 30
SCALE: 1" = 30'

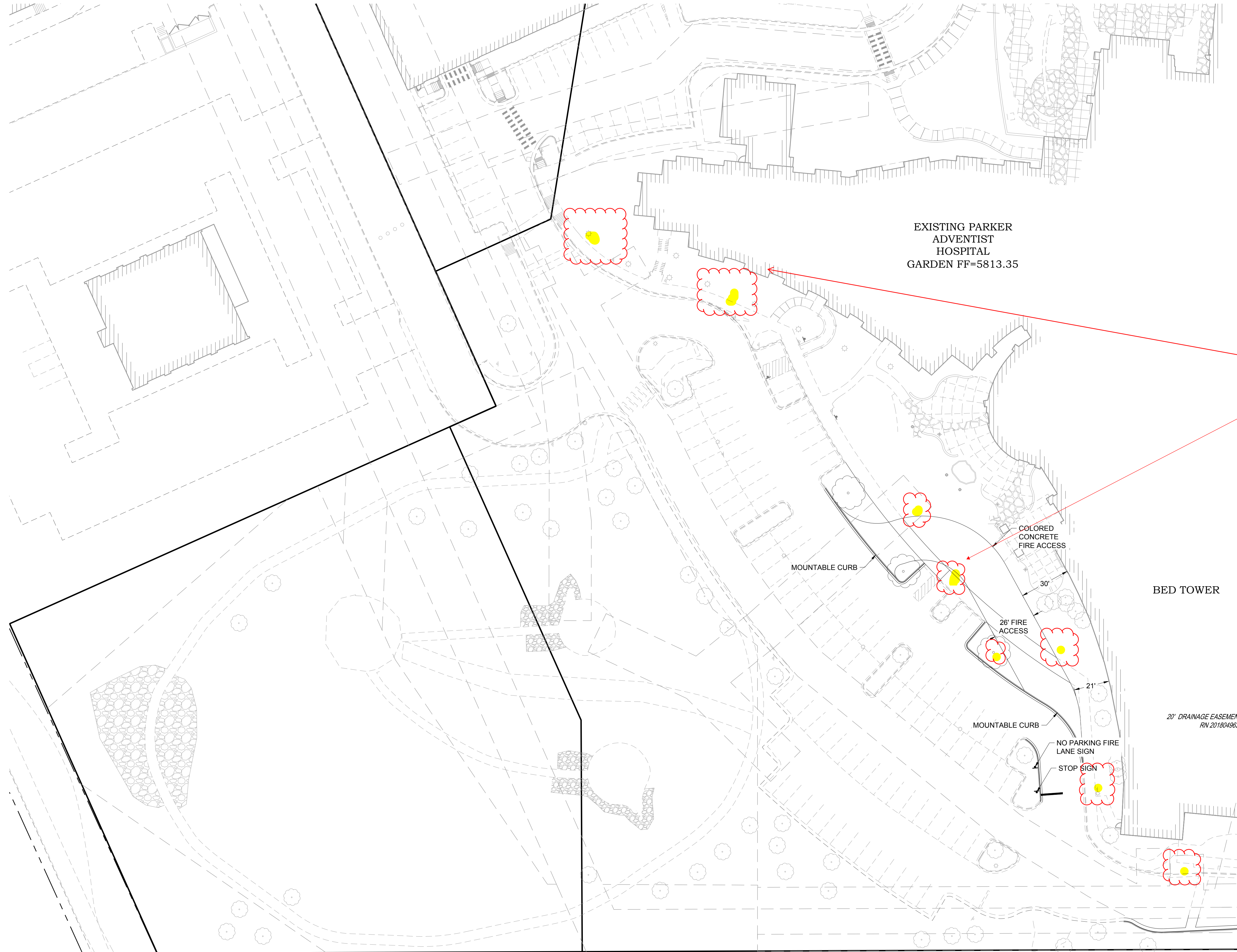
LEGEND:



TRAFFIC FLOW ARROW



PARKING STALL COUNT
9'X18' MINIMUM DIMENSIONS

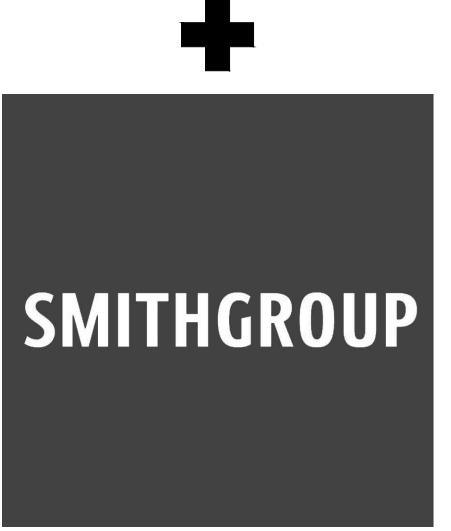


What are these identifying?

SEE SHEET 03 of 19



BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE
06/03/2024

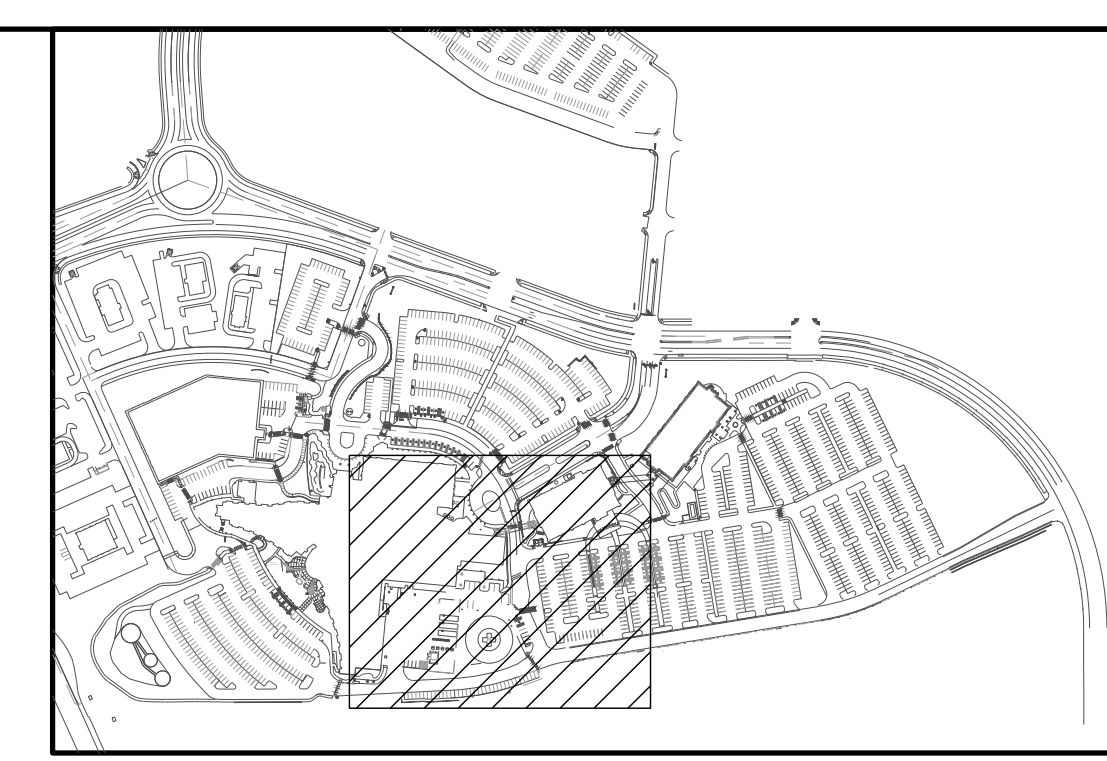
PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
SITE PLAN

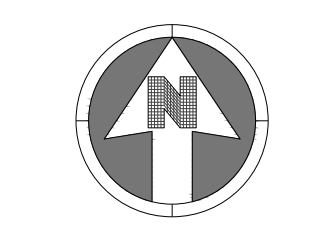
DRAWING NUMBER
02 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



KEY MAP
NOT TO SCALE

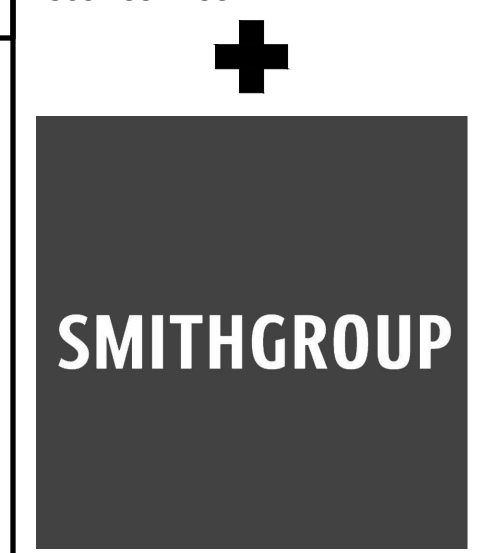


30 0 30
SCALE: 1" = 30'

- LEGEND:
- TRAFFIC FLOW ARROW
 - PARKING STALL COUNT 9'X18' MINIMUM DIMENSIONS

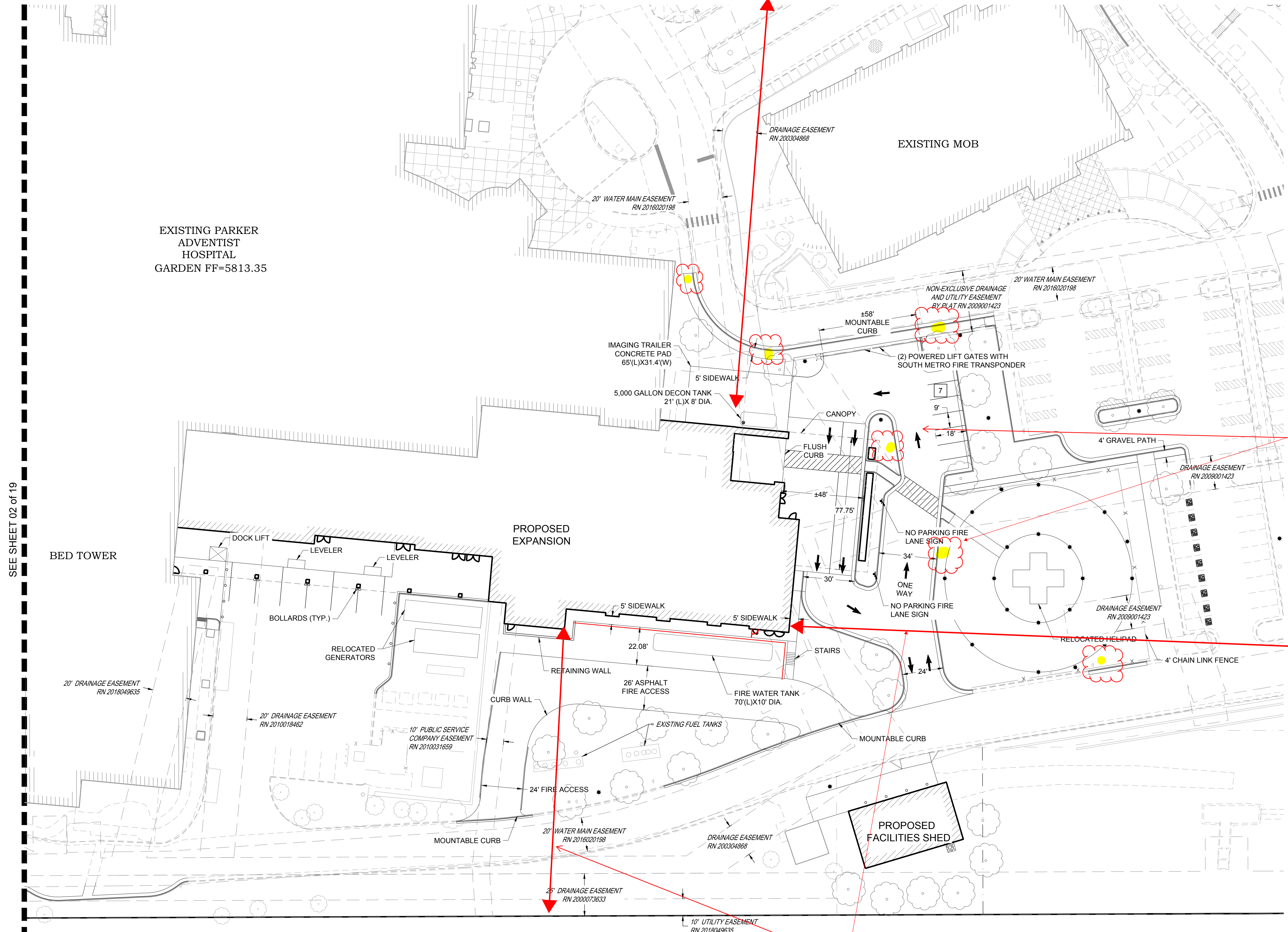


1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT LOT 1, TRACT A & B PARKER, CO 80138
SUBMITTALS
DESCRIPTION DATE
1ST SUBMITTAL 06/03/2024



EXISTING PARKER ADVENTIST HOSPITAL GARDEN FF=5813.35

What are these identifying?

Please label setbacks to all property lines.

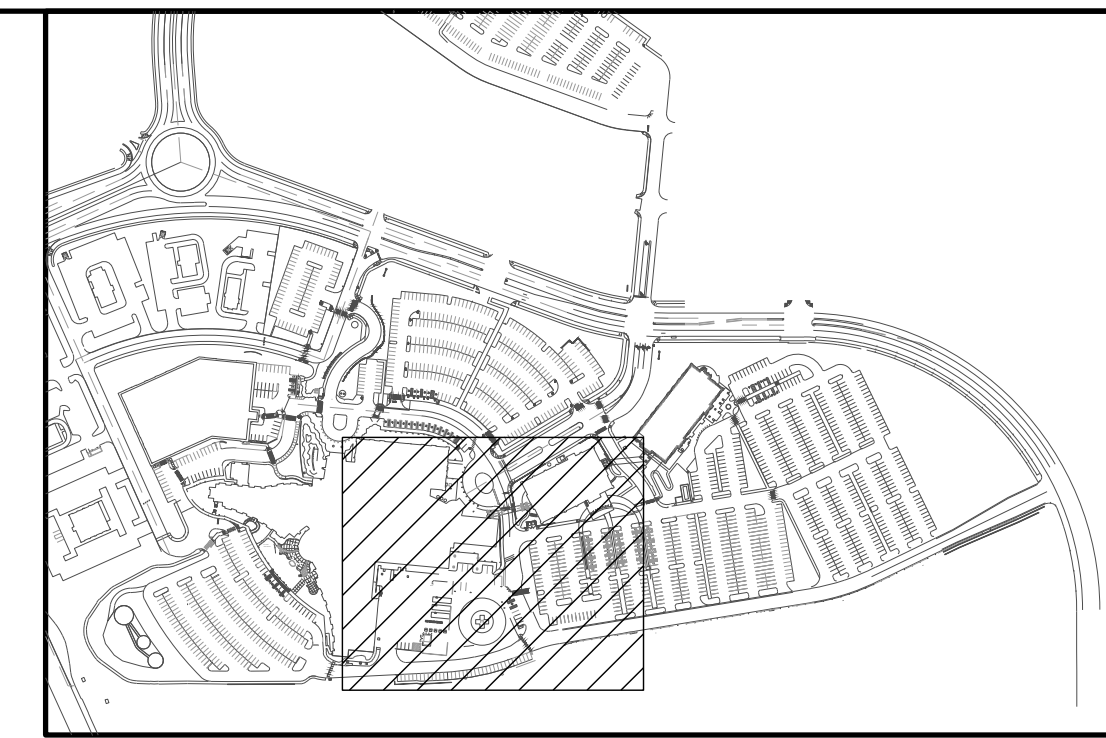
SEE SHEET 02 of 19

DATE	06/03/2024
PARKER PROJECT NUMBER	SP24-XXX
SHEET TITLE	SITE PLAN
DRAWING NUMBER	03 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

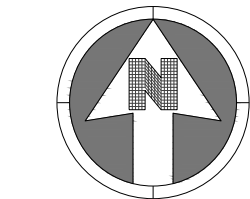
BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF
PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.

Please move the existing conditions map to be located
after the cover sheet at the beginning of the plan set.



KEY MAP

NOT TO SCALE



30 0 30
SCALE: 1" = 30'

LEGEND:

	PROPERTY LINE
	RIGHT OF WAY
	EXISTING BUILDING
	EXISTING CURB AND GUTTER
	EXISTING SIDEWALK
	EXISTING WALL
	EXISTING FENCE
	EXISTING SIGN
	EXISTING LIGHT
	EXISTING TREE
	EXISTING MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING EASEMENT
	EXISTING ELECTRICAL LINE
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	EXISTING WATER LINE
	EXISTING STORM INLET
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING MANHOLES

EXISTING PARKER
ADVENTIST
HOSPITAL
GARDEN FF=5813.29

SEE SHEET 04 of 19



**ADVENTHEALTH
PARKER FACILITY
EXPANSION**

CROWN POINT, 30TH AMMDT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE: 06/03/2024

PARKER PROJECT NUMBER: SP24-XXX

SHEET TITLE: **EXISTING CONDITIONS MAP**

DRAWING NUMBER: **05 of 19**

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

Please include a column for the quantities of each species proposed onsite.

PLANTING SCHEDULE:

PLANTING SCHEDULE							
KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	WIDTH	WATER
DECIDUOUS TREES							
BRO	<i>Quercus macrocarpa</i>	Bur Oak	2.5" cal.	as shown	50-80'	50-80'	L
WHB	<i>Celtis reticulata</i>	Western Hackberry	2.5" cal.	as shown	60'	40'	L
EOK	<i>Quercus robur</i>	English Oak	2.5" cal.	as shown	40 - 60'	30-40'	M
SHL	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	2.5" cal.	as shown	50'	35'	L
SWO	<i>Quercus bicolor</i>	Swamp White Oak	2.5" cal.	as shown	40-60'	40-60'	L - M
WCA	<i>Catalpa speciosa</i>	Western Catalpa	2.5" cal.	as shown	40-60'	30-50'	L
EVERGREEN TREES							
PIN	<i>Pinus edulis</i>	Pinon Pine	6'	as shown	20-30'	10-20'	L
APN	<i>Pinus nigra</i>	Austrian Pine	8'	as shown	50'	20-25'	L
ORNAMENTAL TREES							
RBC	<i>Malus 'Red Barron'</i>	Red Barron Crabapple	1.5" cal.	as shown	10'	10'	M
SSC	<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	1.5" cal.	as shown	20'	15'	M
EVERGREEN SHRUBS							
MZT	<i>Arctostaphylos x coloradensis</i> 'Panchito'	Panchito Manzanita	#5	4' o.c.	2'	4'	L
DMP	<i>Pinus mugo 'Pumilo'</i>	Dwarf Mugo Pine	#5	4' o.c.	3-4'	3-4'	L
BFJ	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	#5	4' o.c.	12"	6'	L
WCJ	<i>Juniperus horizontalis 'Wiltoni'</i>	Wilton Carpet Juniper	#5	6' o.c.	6"	6'	L
SKY	<i>Juniperus virginiana 'Skyrocket'</i>	Skyrocket Juniper	#5	4' o.c.	4-6'	20'	L
DECIDUOUS SHRUBS							
DGM	<i>Acer ginnala 'Compacta'</i>	Dwarf Ginnala Maple	#5	6' o.c.	8'	8'	M
BMS	<i>Caryopteris clandonensis</i>	Blue Mist Spirea	#5	3.5' o.c.	3-5'	3-5'	M
APD	<i>Potentilla fruticosa 'Abbotswood'</i>	Abbotswood Potentilla	#5	3' o.c.	3'	3'	M
LPS	<i>Spiraea japonica 'Little Princess'</i>	Little Princess Spirea	#5	2' o.c.	2-3'	2-4'	M
RSG	<i>Perovskia artiplicifolia</i>	Russian Sage	#5	4' o.c.	4'	4'	L
GLS	<i>Rhus aromatica 'Grow Low'</i>	Gro-Low Sumac	#5	8' o.c.	3'	8'	L
DKL	<i>Syringa meyeri</i>	Dwarf Korean Lilac	#5	4' o.c.	4-6'	4-6'	L
RWP	<i>Rosa 'Winnipeg Parks'</i>	Winnipeg Parks Rose	#5	4' o.c.	3'	4'	L
SSU	<i>Rhus typhina</i>	Staghorn Sumac	#5	6' o.c.	10-25'	10-25'	L
DBR	<i>Ericameria nauseosa var. nauseosa</i>	Dwarf Blue Rabbitbrush	#5	3' o.c.	3'	3'	L
MKL	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Dwarf Lilac	#5	4' o.c.	3-5'	3-5'	L
MHV	<i>Viburnum lantana 'Mohican'</i>	Mohican Viburnum	#5	6' o.c.	6-8'	6-8'	L
ORNAMENTAL GRASSES							
FRG	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#1	2-3' o.c.	3-4'	2-3'	M
BAG	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	#1	24" o.c.	2-3'	2'	M
DFG	<i>Pennisetum alopecuroides 'Hamel'</i>	Hardy Fountain Grass (Dwarf)	#1	2' o.c.	2-3'	2'	L

LOW GROW NATIVE PRAIRIE MIX:

BOTANICAL NAME	COMMON NAME	%	PLS / ACRE
<i>Agropyron cristatum</i>	Ephraim Crested Wheatgrass	25	6.25
<i>Festuca ovina</i>	Sheep Fescue	23	5.75
<i>Lolium perenne</i>	Perennial Ryegrass	18	4.5
<i>Poa compressa</i>	Canada Bluegrass	13	3.25
<i>Hordeum vulgare</i>	Barley	12	3
<i>Festuca glauca</i>	Blue Fescue	9	2.25
Total lbs per acre.:		100	25

PLANTING NOTES:

- ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
- SEE PLANTING DETAILS FOR PLANT PIT DIMENSIONS, BACKFILL REQUIREMENTS, AND INSTALLATION NOTES. ALL TREES TO BE STAKED OR GUYED PER DETAILS ON SHEET L4.2.
- ALL PLANTS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY TO THE SITE. ALL TREE LOCATIONS AND EDGES OF NEW PLANTING BEDS ARE TO BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE AS CALLED OUT ON PLANS. UNIT COSTS TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC. AS DETAILED AND SPECIFIED FOR EACH SIZE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
- COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH FOOTINGS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- IMPORTED SOIL SHALL BE USED TO SUPPLEMENT EXISTING SOIL AS NECESSARY TO MEET THE FINISHED GRADING REQUIREMENTS OF PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL PERFORM A STANDARD AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL PROPOSED FOR PLANTING AT HIS EXPENSE AND INCORPORATE RECOMMENDATIONS PER DENVER WATER AMENDMENT REQUIREMENTS PRIOR TO PLANTING.
- INSTALL A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PER 1000 SQUARE FEET OF PERMEABLE AREA TO BE PLANTED WITH SOD, SHRUBS, GRASSES, OR PERENNIALS. AMENDMENT SUPPLIER SHALL BE AT ORGANICS OF EATON, COLORADO.
- ALL TREES, SHRUBS, PERENNIALS, SOD AND SEEDED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
- TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- STREET TREES SHALL BE PLACED 5'-0" MIN. FROM BURIED UTILITIES.
- TREE WRAPPING MATERIAL SHALL BE FOUR INCHES WIDE, BITUMINOUS IMPREGNATED TAPE, CORRUGATED OR CREPE PAPER, BROWN IN COLOR, SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREES SHALL BE WRAPPED BETWEEN OCTOBER 15 AND NOVEMBER 1 OF THE YEAR THEY ARE PLANTED. NO TREE WRAPPING SHALL BE PERMITTED UNTIL A LICENSED LANDSCAPE CONTRACTOR OR CERTIFIED ARBORIST HAS INSPECTED THE TREE. IT IS THE DUTY OF THE CONTRACTOR TO WRAP DECIDUOUS TREES DURING THE ONE-YEAR WARRANTY PERIOD.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.

GENERAL NOTES:

- THE BASE INFORMATION PROVIDED BY ENGINEER. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL MATERIAL LOCATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT ARE FOUND.
- THE CONTRACTOR SHALL HAVE ONE (1) APPROVED COPY OF PLANS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES. THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL NOT BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR IS ADVISED THAT ALL EXISTING TREES AND SHRUBS ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED IN THE PLANS. CARE SHALL BE TAKEN TO PROTECT ALL TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGES CAUSED BY THE CONTRACTOR S SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONSTRUCTION BARRICADES, SIGNS, AND WARNING DEVICES NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS TO PERFORM ALL PROPOSED WORK AND SHALL COMPLY WITH ALL NOTIFICATION AND INSPECTION REQUIREMENTS.
- CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, (ETC). LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MODIFICATIONS OR DAMAGES TO THE UTILITY LINES, STRUCTURES OR INJURIES THEREFROM. FOR EXISTING UTILITY INFORMATION CONTACT "THE UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987. A MINIMUM OF THREE (3) BUSINESS DAY NOTICE IN ADVANCE OF LOCATIONS NEEDED ARE REQUIRED.
- CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPE & HARDSCAPE MATERIALS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, SANDSTONE BOULDERS (ETC).
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONSTRUCTION HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTOR'S ASSOCIATION.



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

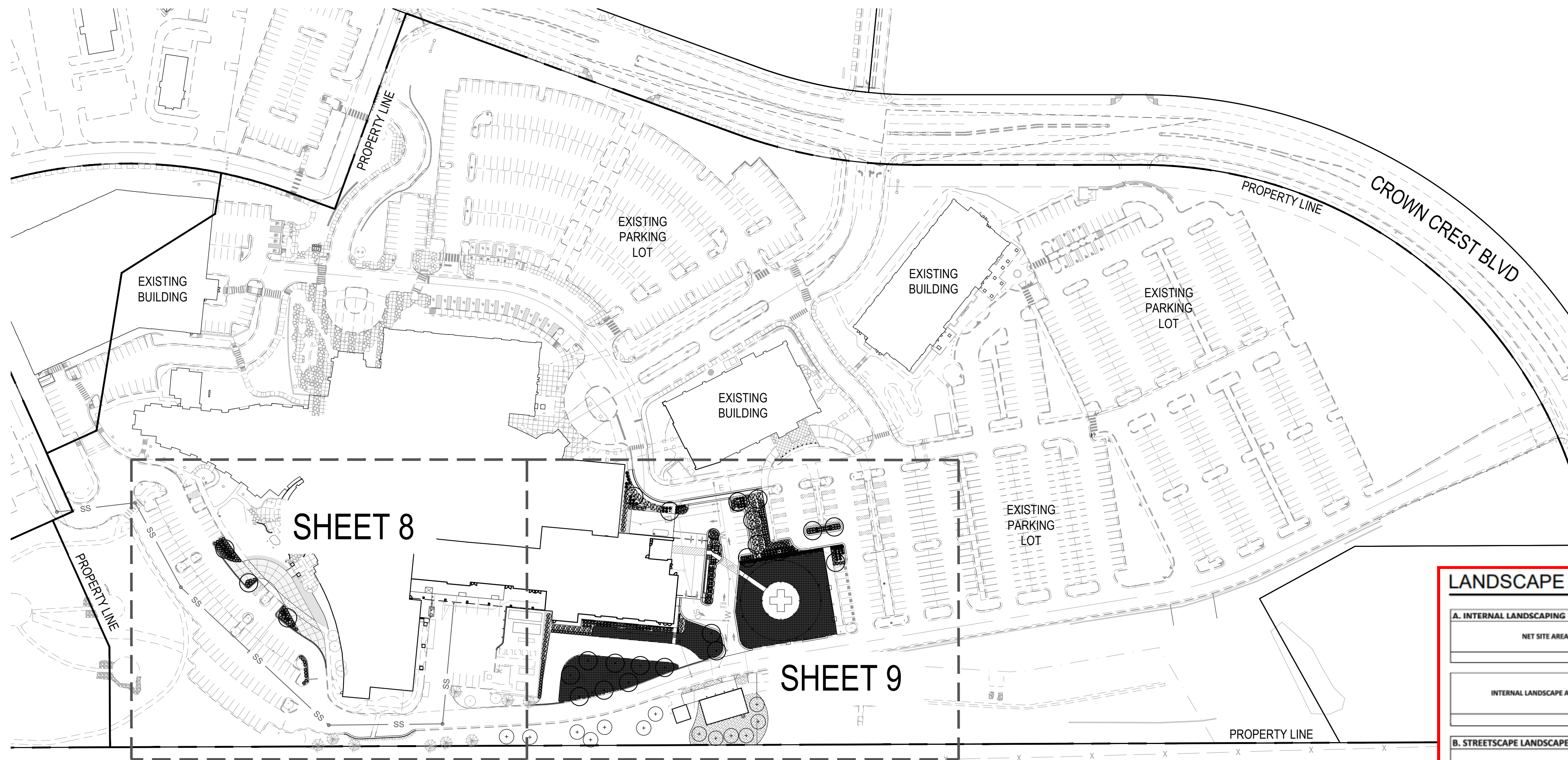
SHEET TITLE
**LANDSCAPE
COVER SHEET**

DRAWING NUMBER

6 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



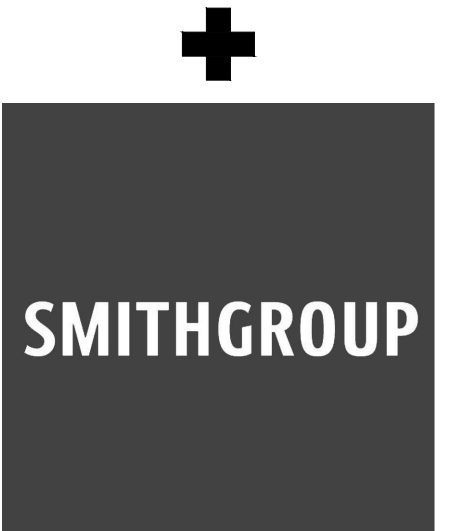
OVERALL LANDSCAPE CHART:

LANDSCAPE AREA (1 TREE AND 5 SHRUBS PER 1,500 SF)	TREES REQ.	TREES PROVIDED	SHRUBS REQ.	SHRUBS PROVIDED
34,190 SF	23	44 (13 EVERGREEN TREES / 44 TOTAL TREES = 30%)	114	418

To be consistent with previous Site Plan Amendment applications, please include a table that outlines the proposed and required landscaping based on the proposed disturbed area. For this disturbed area, please include a landscape table that breaks down the required landscaping similar to the following (please note that some of the sections included below will not be required (i.e. parking lot perimeter)).



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ADVENTHEALTH
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EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138
SUBMITTALS
DESCRIPTION DATE
1ST SUBMITTAL 06/03/2024

1 LANDSCAPE PLAN
7 SCALE: 1" = 100"

See notes on next page.

Please also outline the square feet of landscaping proposed to be removed as part of this Amendment.

PARKING LOT ISLAND LANDSCAPE CHART:

ISLAND TYPE	AREA OF THE ISLAND	# OF TREES REQUIRED (1/162 FT)	# OF TREES PROVIDED	# OF SHRUBS REQUIRED (5/162 FT)	# OF SHRUBS PROVIDED
ISLAND 1	652 SQ. FT	1	1	38	38
ISLAND 2	120 SQ. FT	1	1	4	7
ISLAND 3	433 SQ. FT	1	1	23	23
ISLAND 4	385 SQ. FT	1	1	20	23
ISLAND 5	316 SQ. FT	1	2	15	16
ISLAND 6	563 SQ. FT	1	1	32	41
ISLAND 7	337 SQ. FT	1	1	17	17
TOTALS:	2,696 SQ. FT	7	6	140	155

*(1) EXTRA TREE IS BEING PROVIDED = 10 SHRUBS.

LANDSCAPE REQUIREMENTS										
A. INTERNAL LANDSCAPING										
NET SITE AREA	LANDSCAPE AREA			% LIVE COVER						
	REQUIRED (15%)	PROVIDED	SURPLUS / DEFICIT	REQUIRED (75%)	PROVIDED	SURPLUS / DEFICIT				
39,507	5,926	11,120	5193.95	4,445	8,896	4451.46				
INTERNAL LANDSCAPE AREA (S.F.)	TREE REQUIREMENT 1/1500 S.F.			SHRUB REQUIREMENT 5/1500 S.F.			TREE EQUIVALENT CALCULATION			
	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided	
5,926	4	4	0	20	20	0	0	0	4	
B. STREETScape LANDSCAPE										
LOCATION	LENGTH	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
HESS ROAD	132	4	4	0	NA	NA	0	0	4	
C. LANDSCAPE PERIMETER (STANDARD)										
LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
NORTH PROPERTY LINE	132	4	4	0	17	17	0	0	4	
EAST PROPERTY LINE	242	7	6	-1	31	41	10	10	7	
MIN. EVERGREEN REQUIREMENT	40%	5	3	-2			0			
D. LANDSCAPE PERIMETER (ENHANCED)										
LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1/25 LF			SHRUB REQUIREMENT 5/25 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
WEST PROPERTY LINE	242	10	10	0	49	50	1	1	10	
MIN. EVERGREEN REQUIREMENT	40%	4	6	2			0			
EVERGREEN TREE REQUIREMENT - OVERALL SITE										
MINIMUM EVERGREEN REQ.		25%		Number of Trees		REQUIRED		PROVIDED		
				23		8		9		

Add a section for Parking Lot interior Landscaping that just lists the requirements and the totals. The chart to the left can remain as is.

DATE
06/03/2024
PARKER PROJECT NUMBER
SP24-XXX
SHEET TITLE
OVERALL LANDSCAPE PLAN
DRAWING NUMBER

5/28/2024 2:48:57 PM Autodesk Docs/228365_MM AdvenHealth Parker Hospital (24/236365.00 AH Parker CS-A.ctb

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



BOULDER ASSOCIATES

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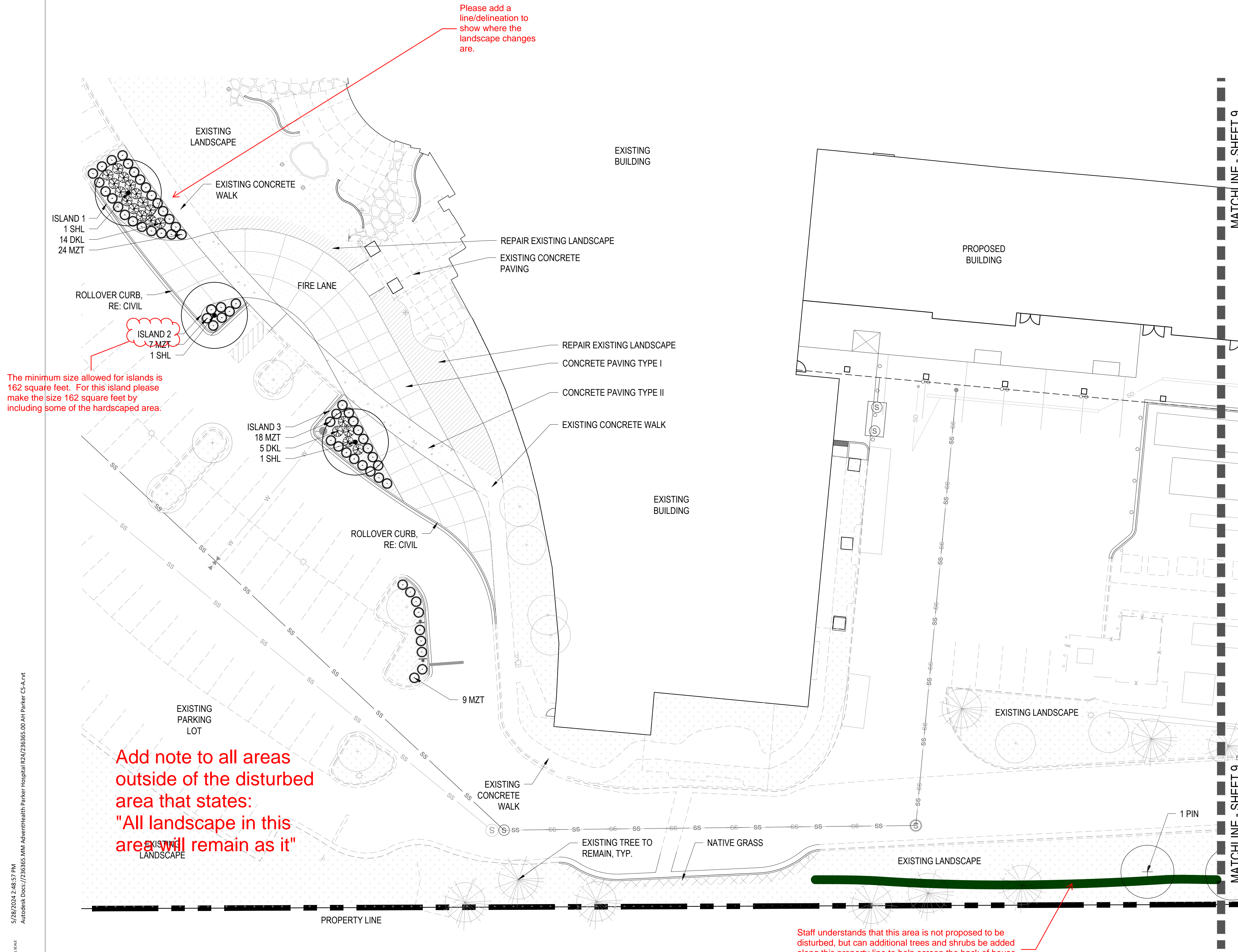


SMITHGROUP

ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS
DESCRIPTION DATE
1ST SUBMITTAL 06/03/2024



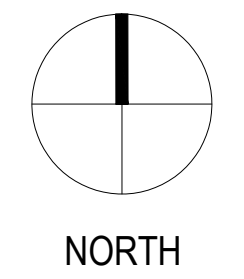
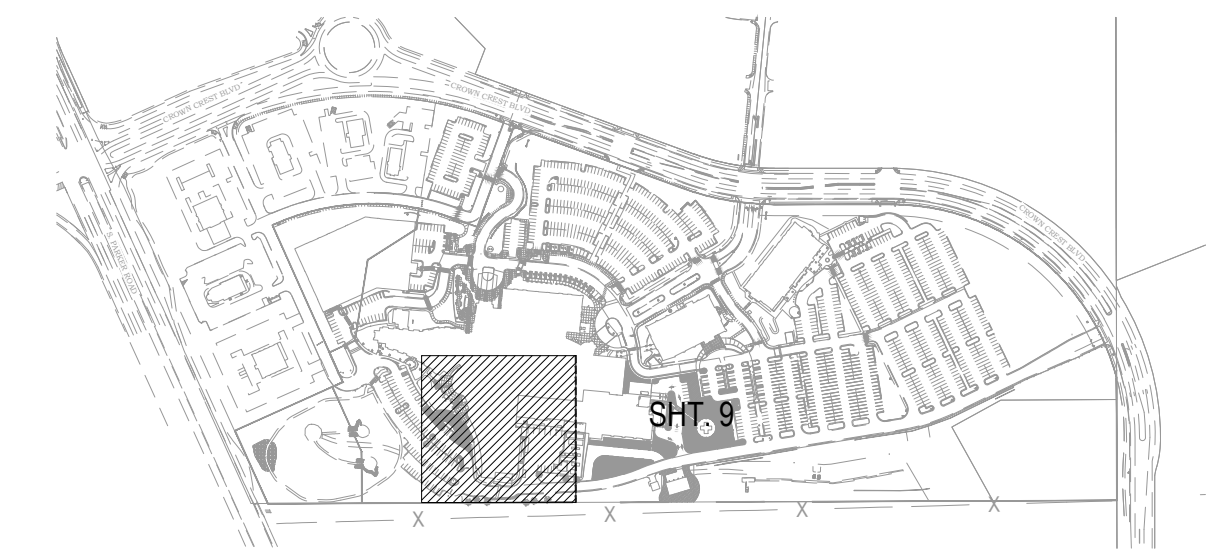
MATERIAL LEGEND:

- PROPERTY LINE
- MATCHLINE
- STEEL EDGER
- 3' CHAIN LINK FENCE
- CONCRETE PAVING TYPE I - VEHICULAR (6" TH) W/ TOOLED JOINTS
COLOR: INTEGRAL COLOR. COLOR: TBD
FINISH: LIGHT ACID ETCH
- CONCRETE PAVING TYPE II - VEHICULAR (6" TH) W/ TOOLED JOINTS
COLOR: STANDARD GRAY
FINISH: LIGHT BROOM
- 1-1/2" RIVER ROCK MULCH

PLANTING LEGEND:

- DECIDUOUS SHADE TREE
- EXISTING TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- PERENNIALS
- LOW GROW NATIVE SEED MIX
- NATURE'S PRAIRIE SOD
PRODUCER: TURF MASTERS LLC
- EXISTING LANDSCAPE

KEY MAP:



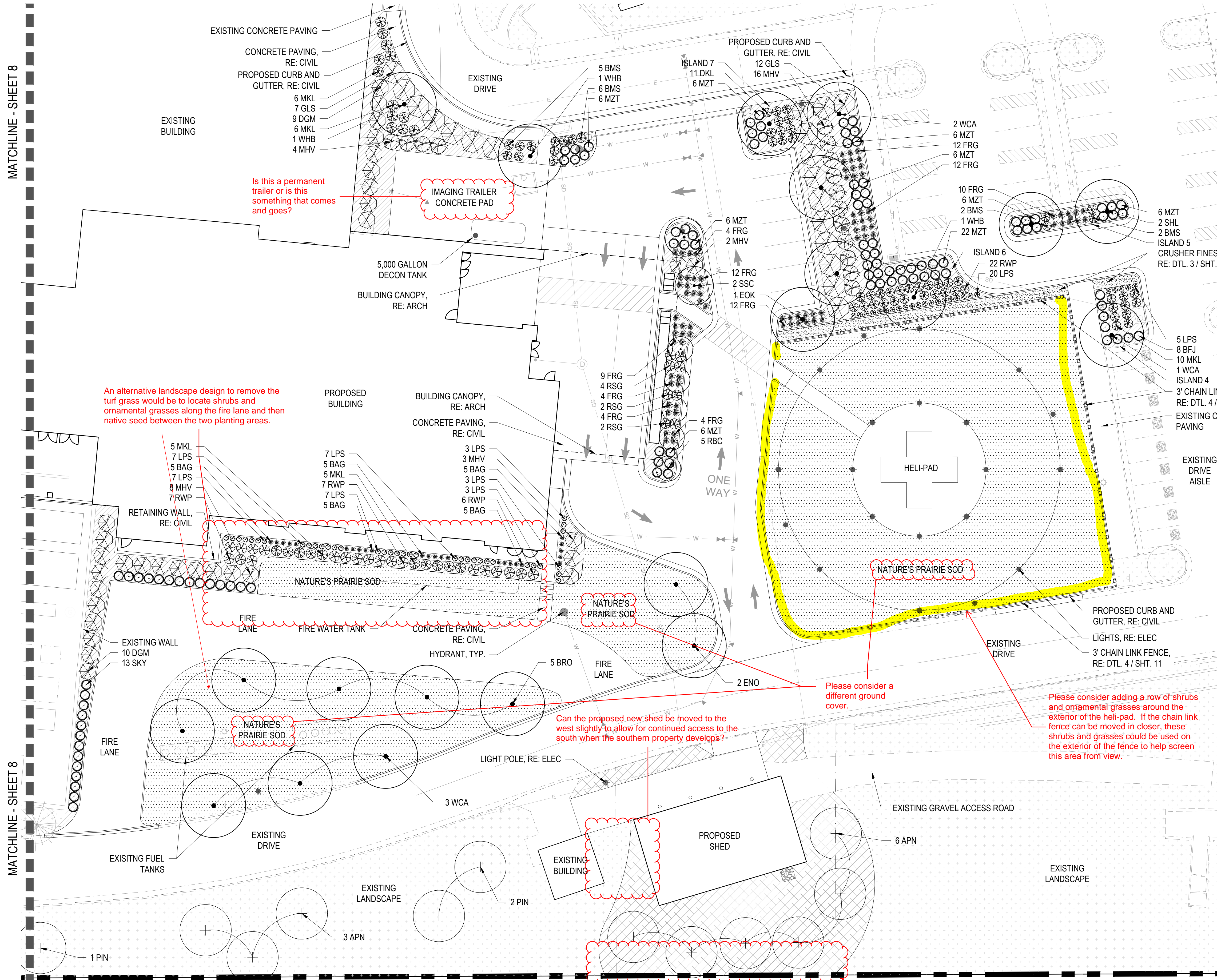
1 LANDSCAPE PLAN
8 SCALE: 1" = 20'

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THIS DRAWING IS UNLESS OTHERWISE NOTED TO FULL SCALE

DATE
06/03/2024
PARKER PROJECT NUMBER
SP24-XXX
SHEET TITLE
LANDSCAPE PLAN
DRAWING NUMBER
8 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



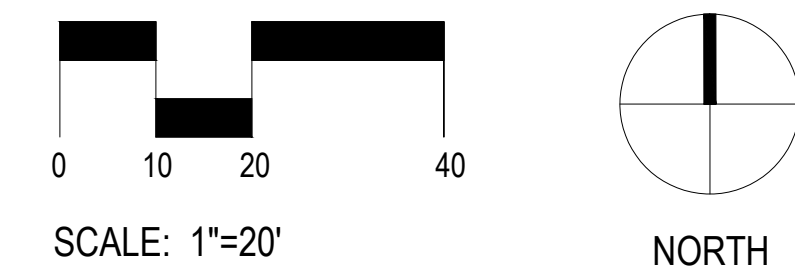
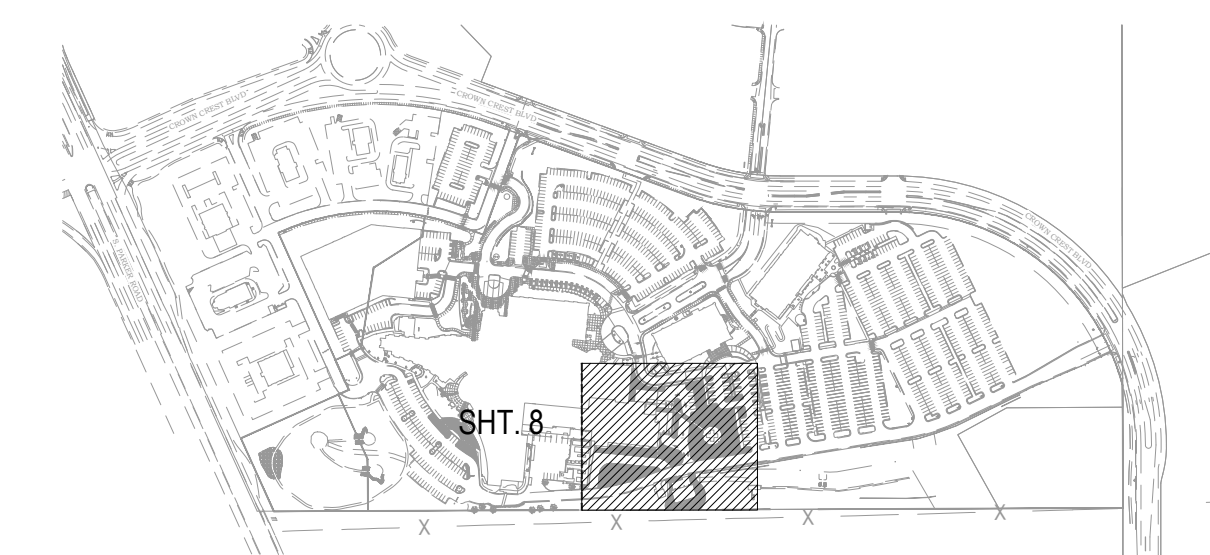
MATERIAL LEGEND:

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- CONCRETE PAVING TYPE I - VEHICULAR (6" TH) W/ TOOLED JOINTS
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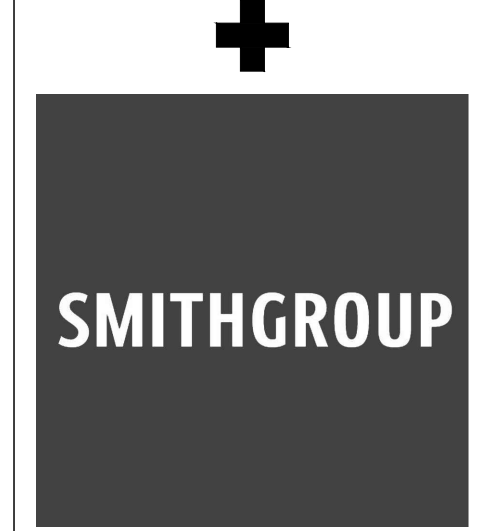
PLANTING LEGEND:

- DECIDUOUS SHADE TREE
- EXISTING TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- PERENNIALS
- LOW GROW NATIVE SEED MIX
- NATURE'S PRAIRIE SOD
PRODUCER: TURF MASTERS LLC
- EXISTING LANDSCAPE

KEY MAP:



BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
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DATE 06/03/2024
PARKER PROJECT NUMBER SP24-XXX
SHEET TITLE LANDSCAPE PLAN
DRAWING NUMBER 9 of 19

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MATCHLINE - SHEET 8

MATCHLINE - SHEET 8

1 LANDSCAPE PLAN
9 SCALE: 1" = 20'

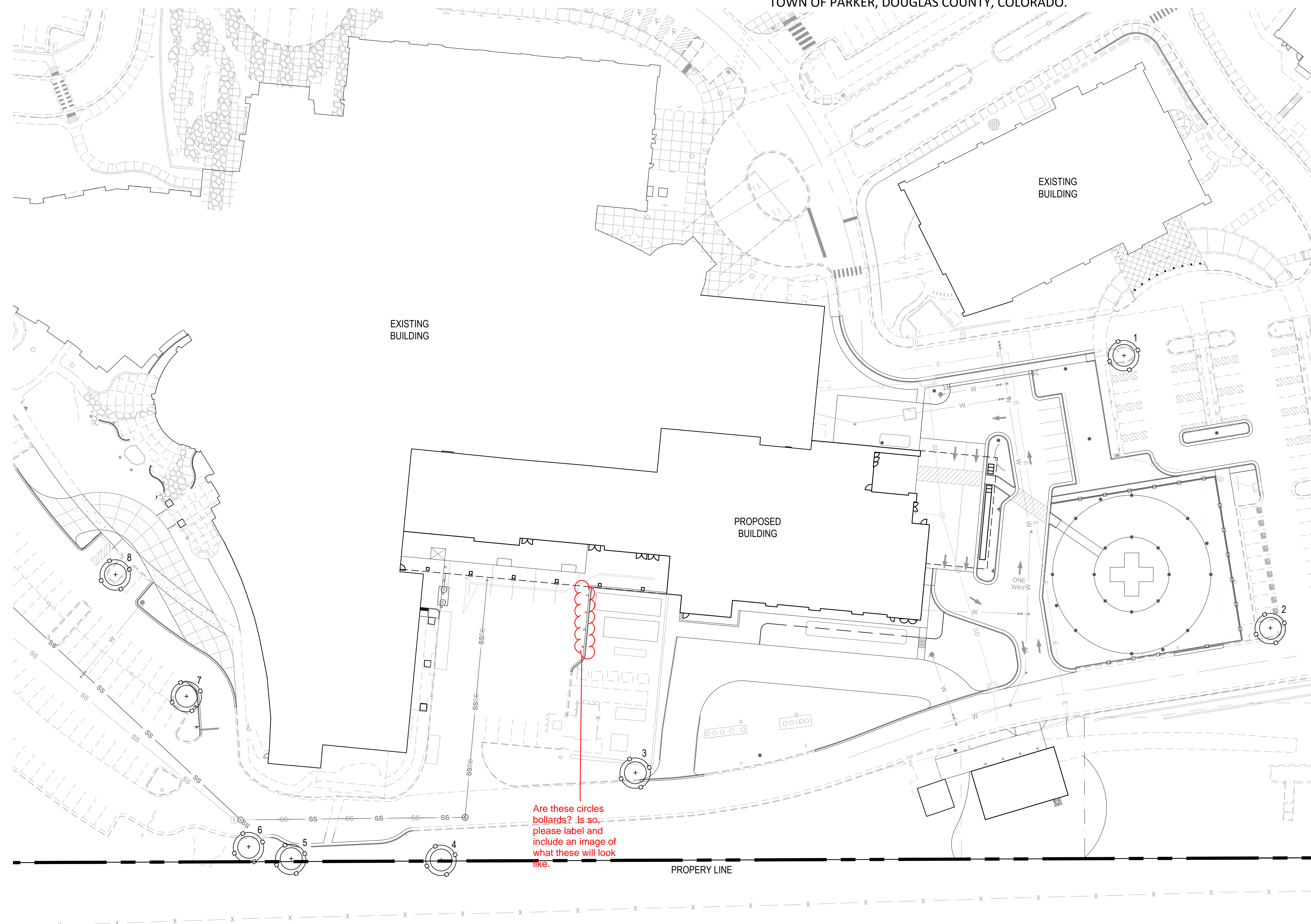
PROPERTY LINE

For areas that will be disturbed with construction, please ensure that property perimeter landscaping requirements are satisfied. This edge could use additional shrubs and/or ornamental grasses to meet the intent of the code.

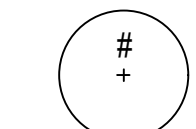
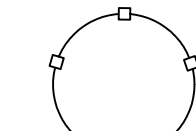

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

Please add a note to this plan that no existing trees are proposed to be removed.

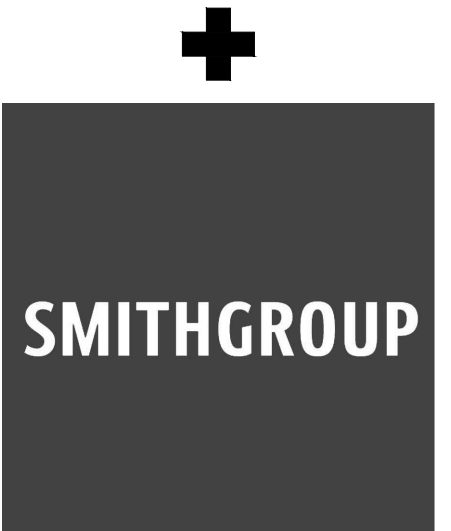


TREE CONSERVATION LEGEND:

-  EXISTING TREES TO BE PRESERVED
-  TREE PROTECTION FENCING, RE: DTL 2 / SHT. 12
-  PROPERTY LINE



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ADVENTHEALTH PARKER FACILITY EXPANSION

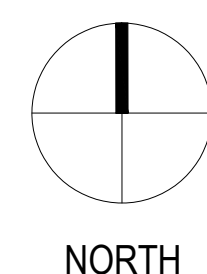
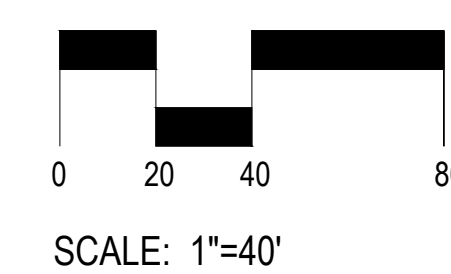
CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
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THIS DRAWING IS UNLESS OTHERWISE NOTED TO FULL SCALE

1 TREE CONSERVATION PLAN
10 SCALE: 1" = 40'



DATE
06/03/2024

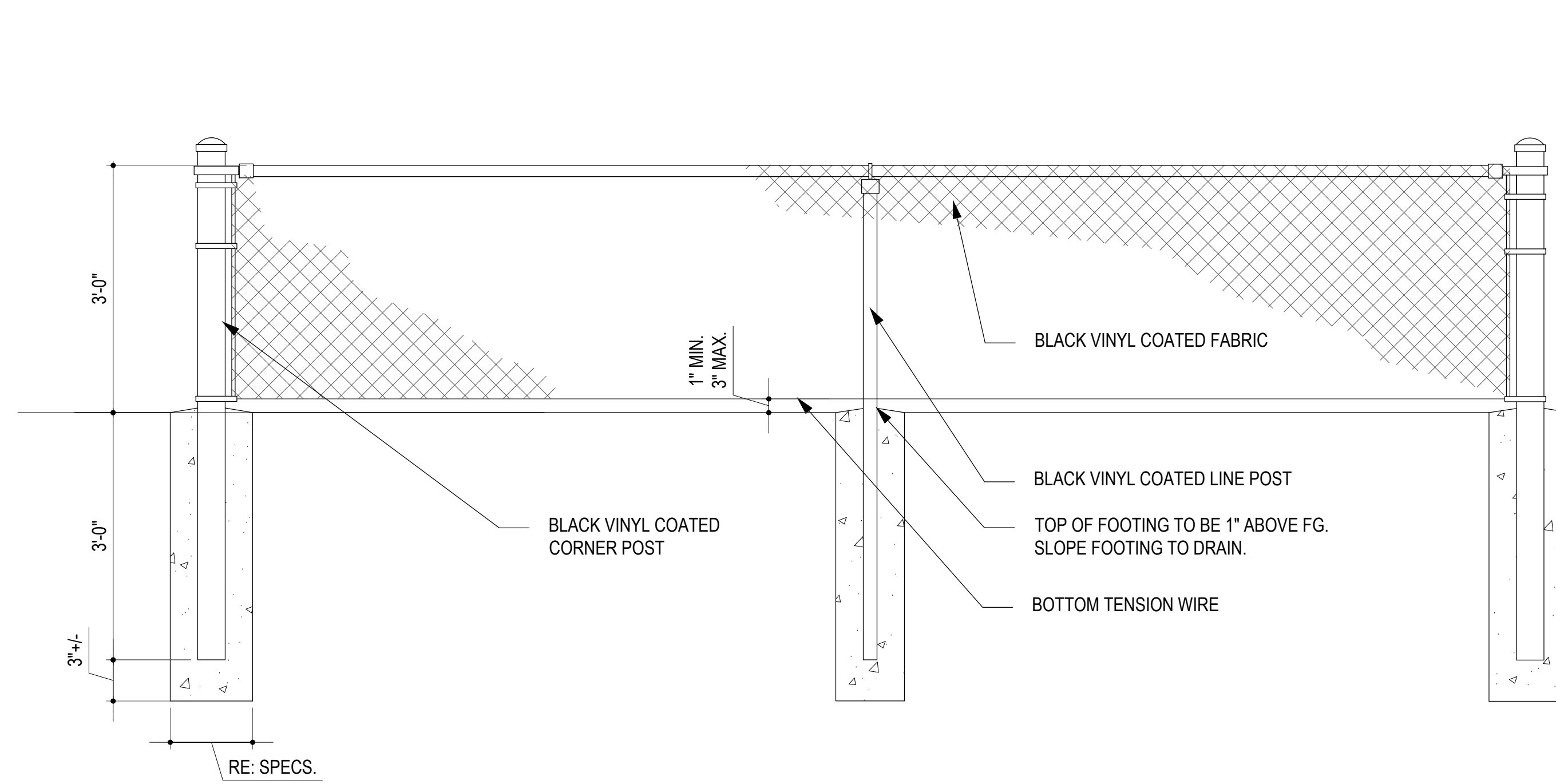
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SP24-XXX

SHEET TITLE
TREE CONSERVATION PLAN

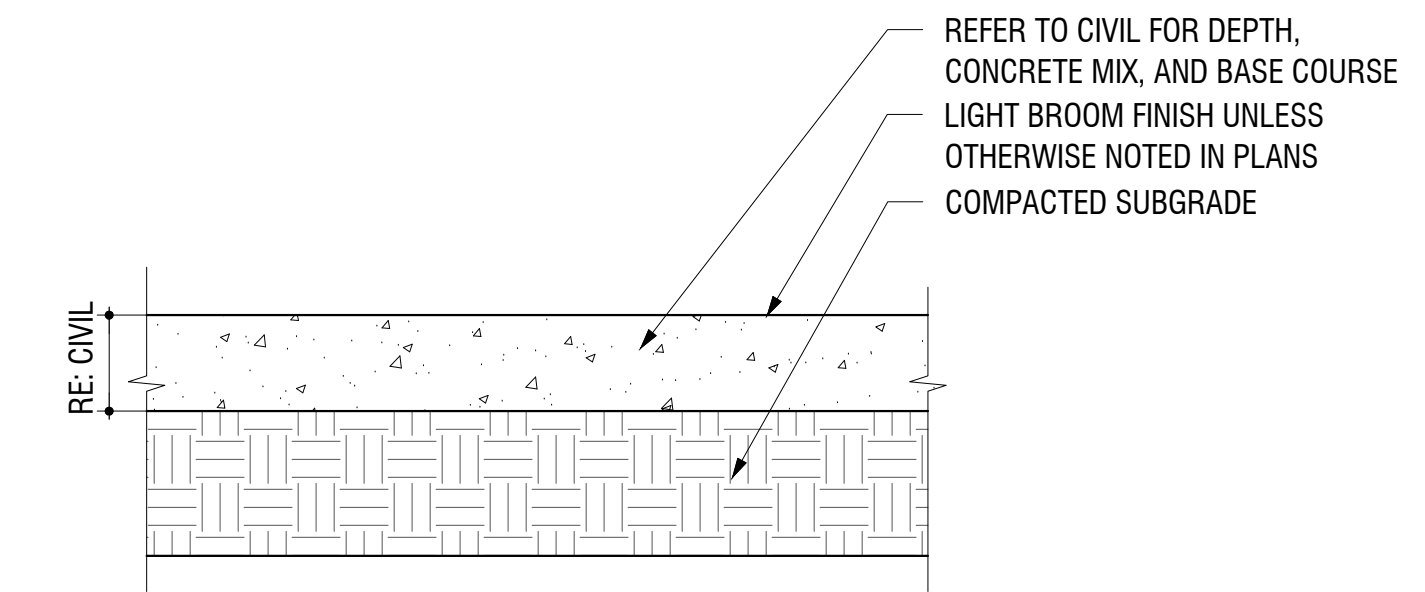
DRAWING NUMBER
10 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

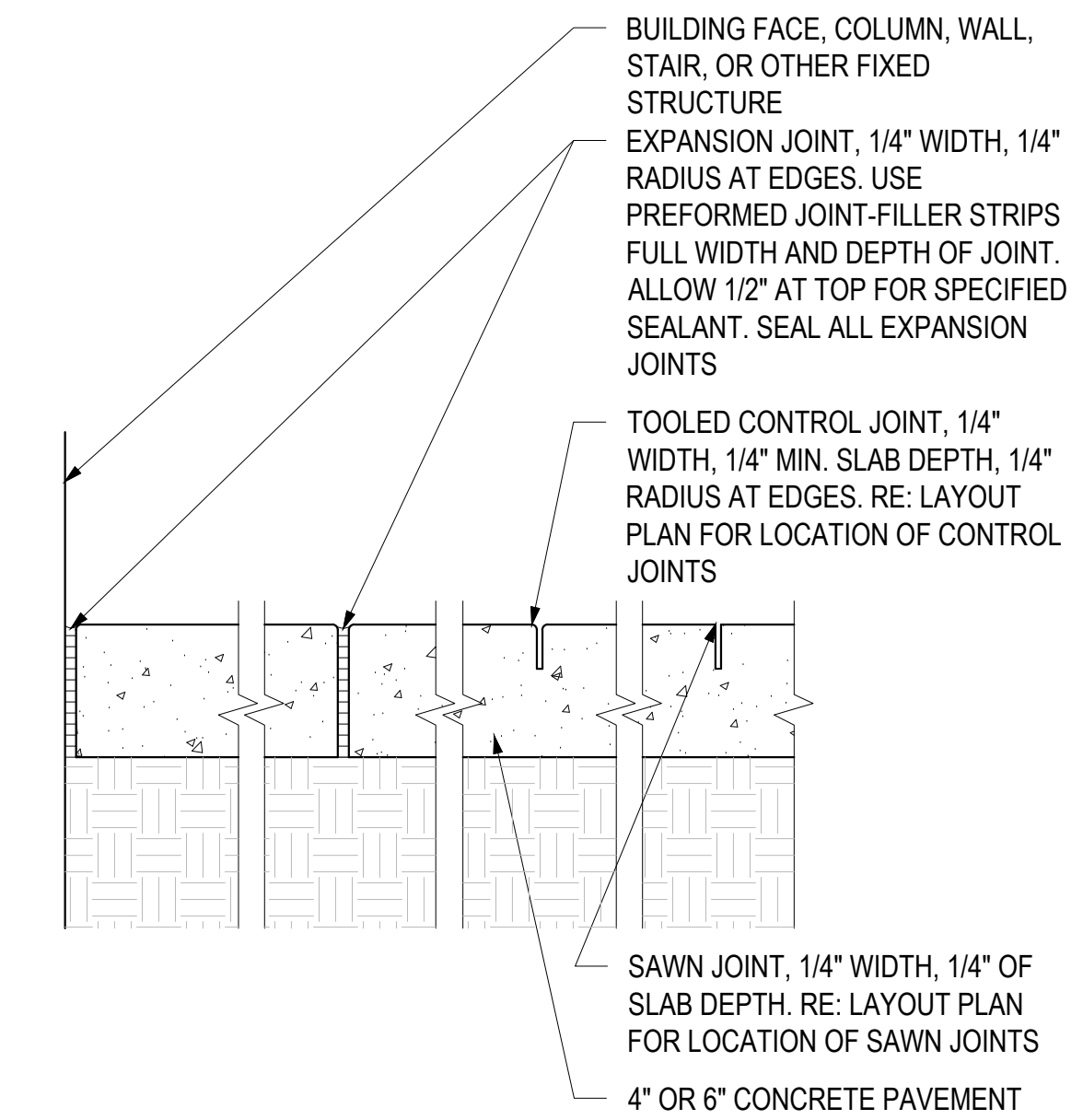
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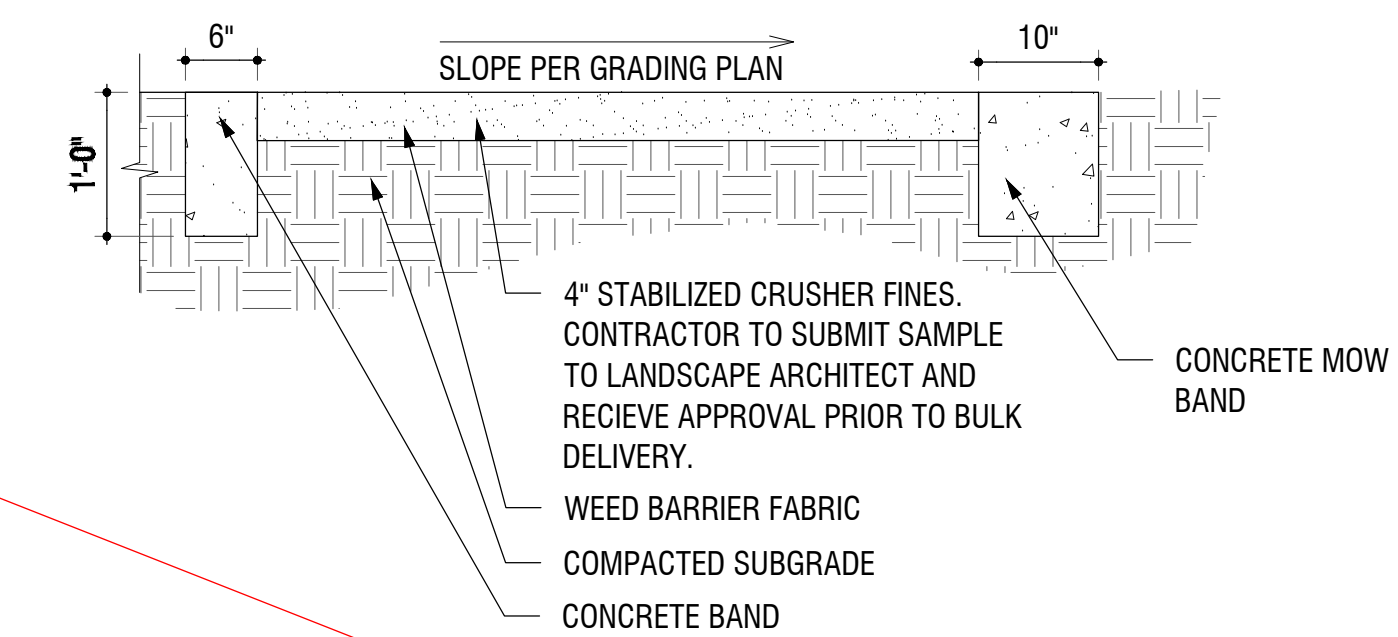
4
11 3' CHAIN LINK DETAIL
SCALE: 1/2" = 1'-0"



1
11 CONCRETE PAVING DETAIL - PEDESTRIAN
SCALE: 1 1/2" = 1'-0"

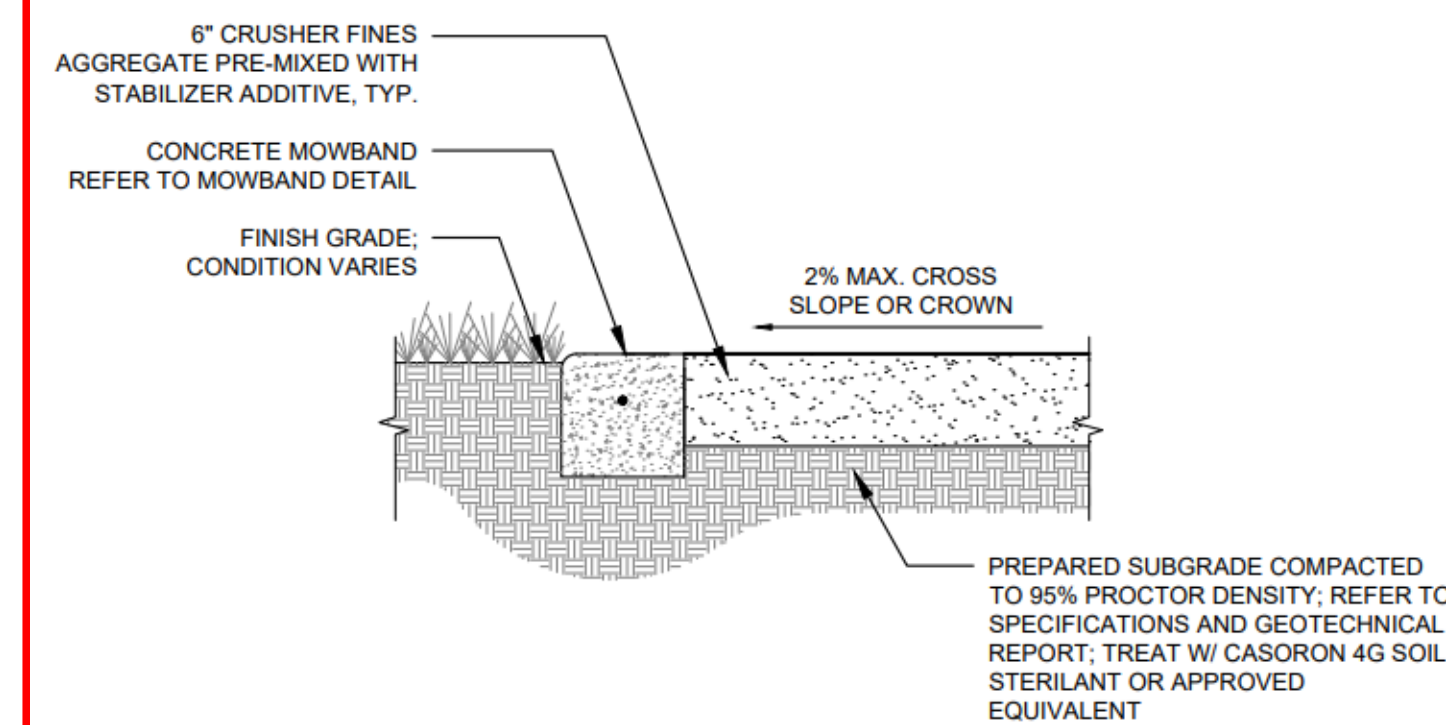


2
11 CONCRETE JOINTING
SCALE: 1-1/2" = 1'-0"



3
11 CRUSHER FINES DETAIL
SCALE: 3/4" = 1'-0"

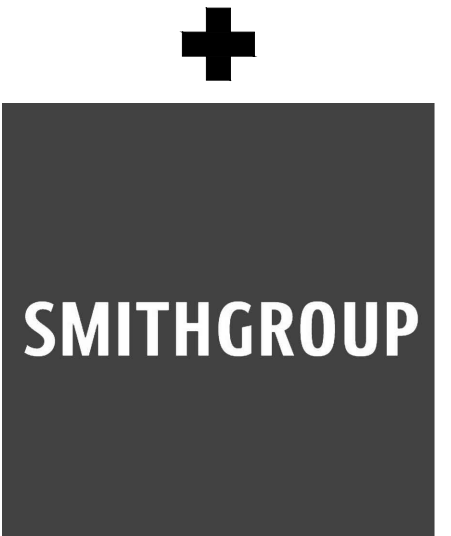
TOWN OF PARKER STANDARD DETAILS



CRUSHER FINES PAVING - ON SUBGRADE
1" = 1'-0"



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ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE

SITE DETAILS

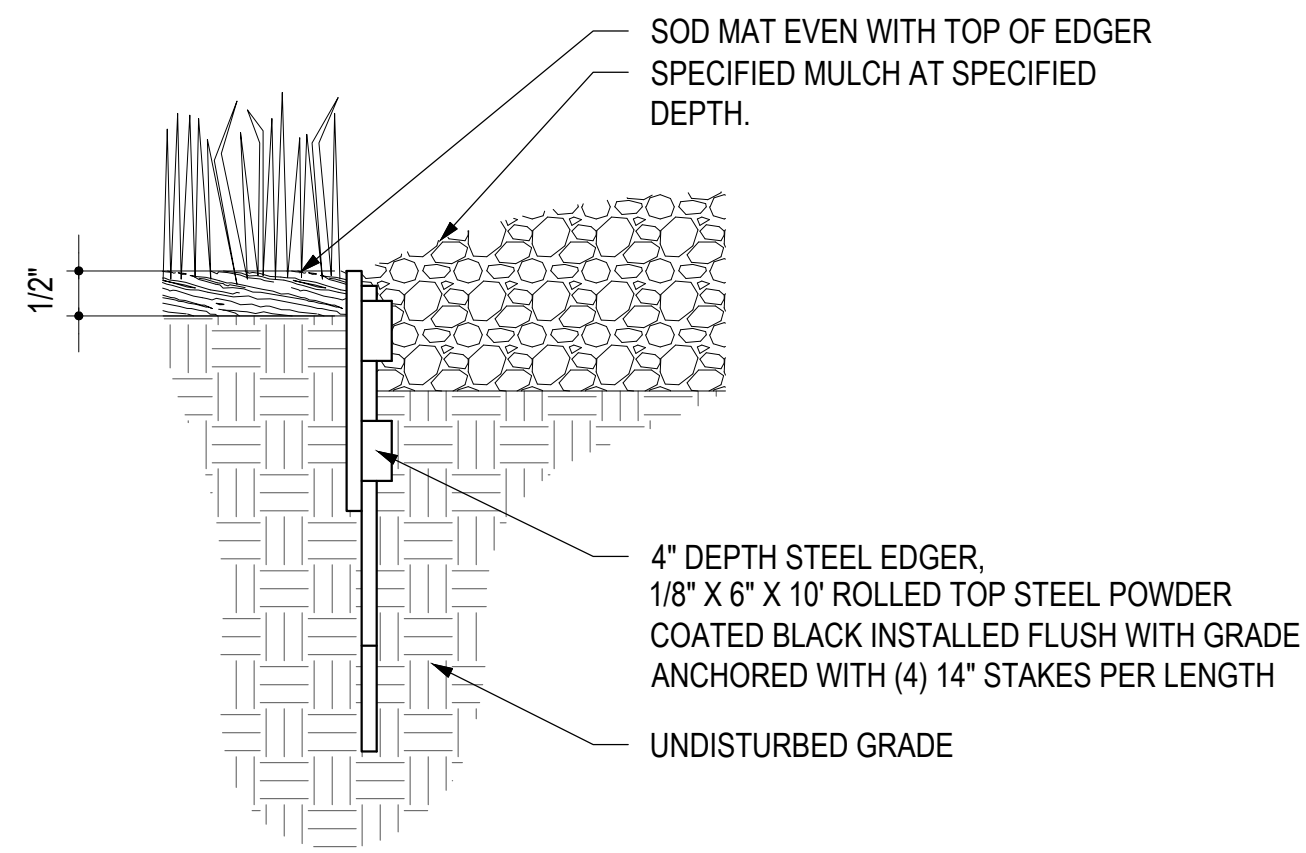
DRAWING NUMBER

11 of 19

Please move this page to be located before the fence image page.

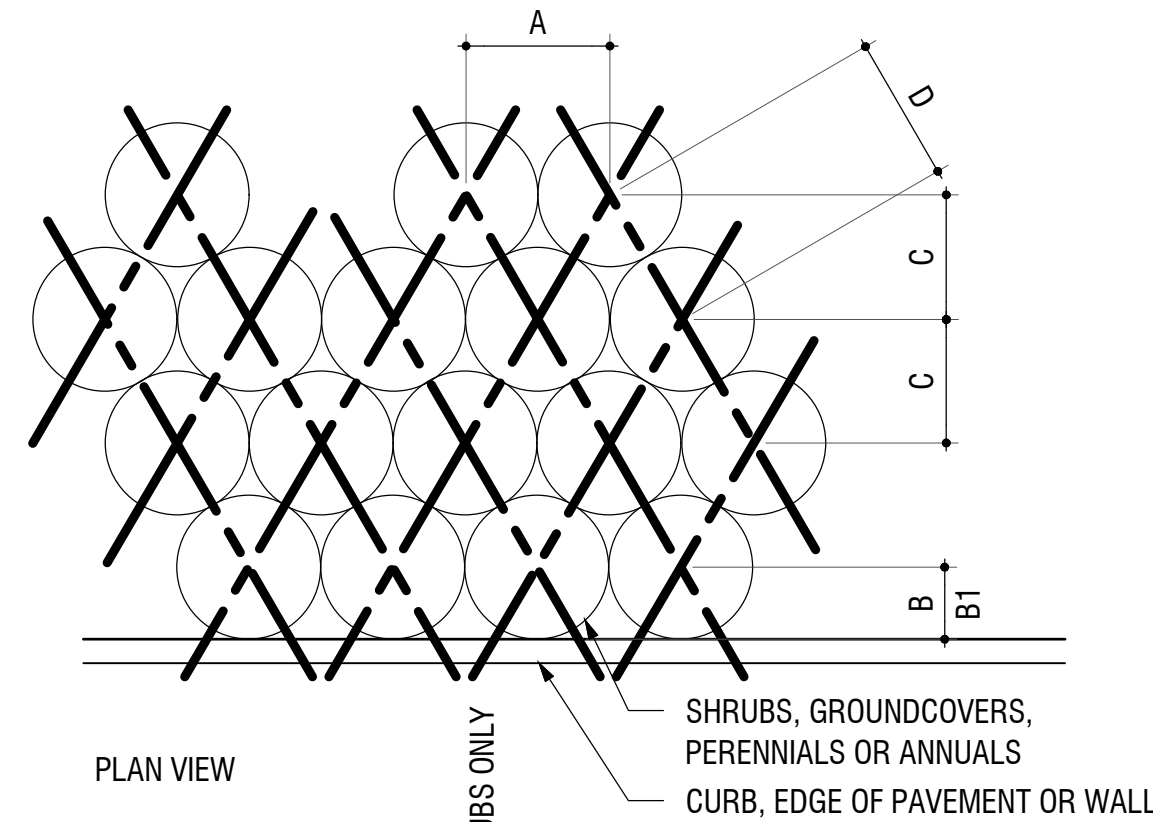
CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



6 STEEL EDGER DETAIL

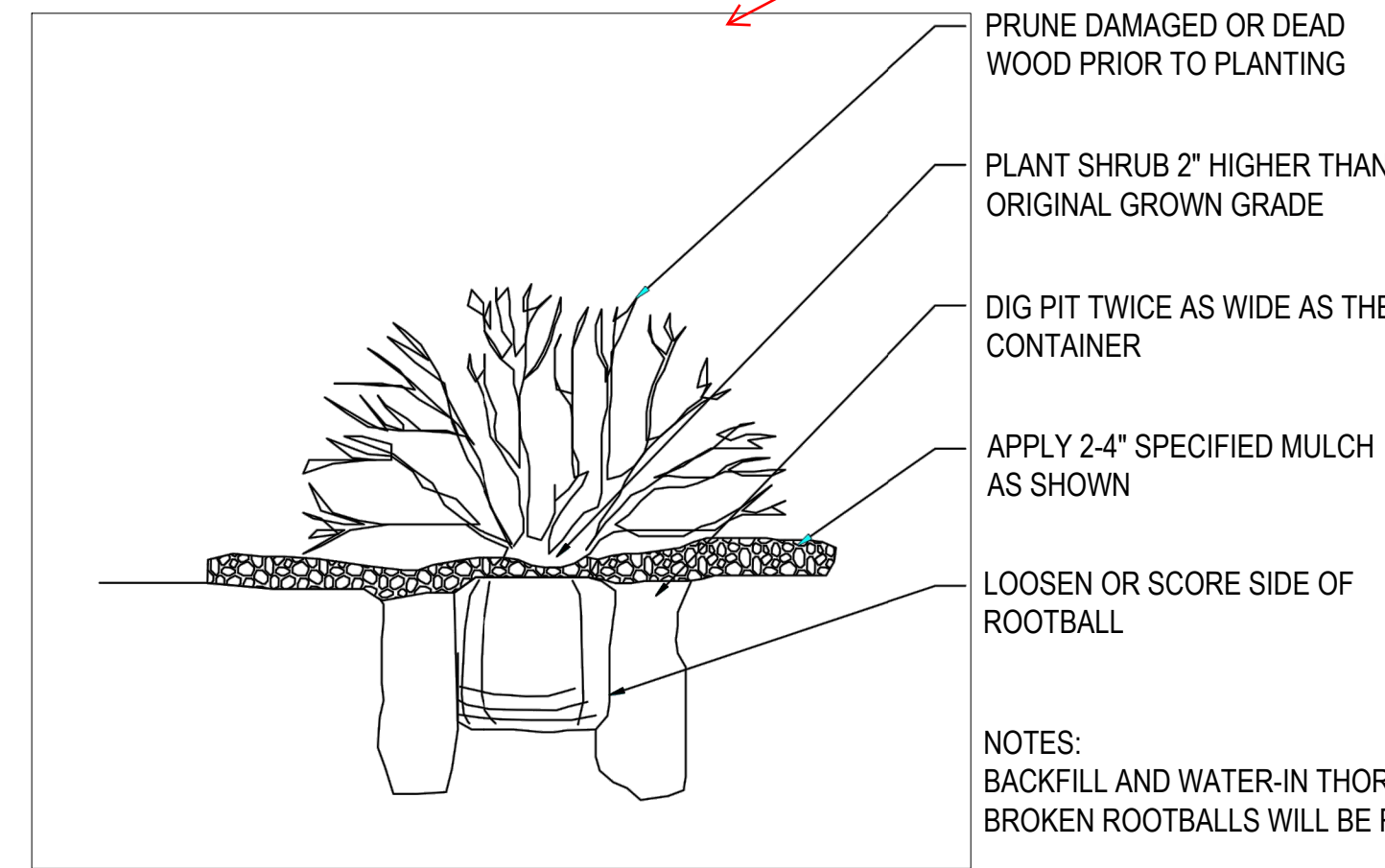
12 SCALE: 3/4" = 1'-0"



PLANT SPACING	A	B	B1	C	D
6"	6"	6"	6"	5"	6"
8"	8"	6"	8"	7"	8"
12"	12"	6"	12"	10"	12"
18"	18"	8"	18"	15"	18"
24"	24"	18"	24"	20"	24"
30"	30"	18"	30"	26"	30"
36"	36"	24"	36"	31"	36"
48"	48"	24"	48"	41"	48"

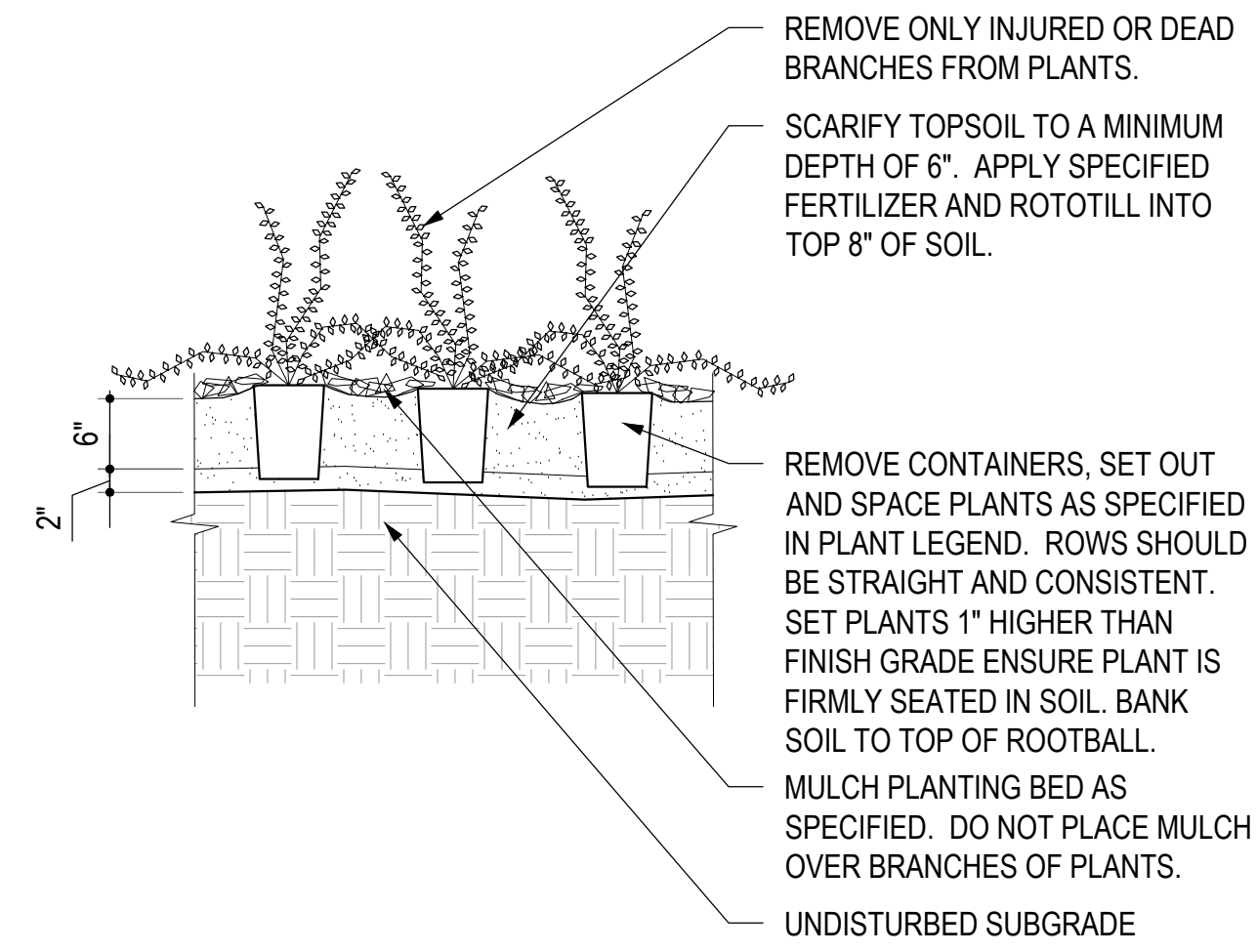
7 PLANT SPACING DETAIL

12 SCALE: 3/4" = 1'-0"



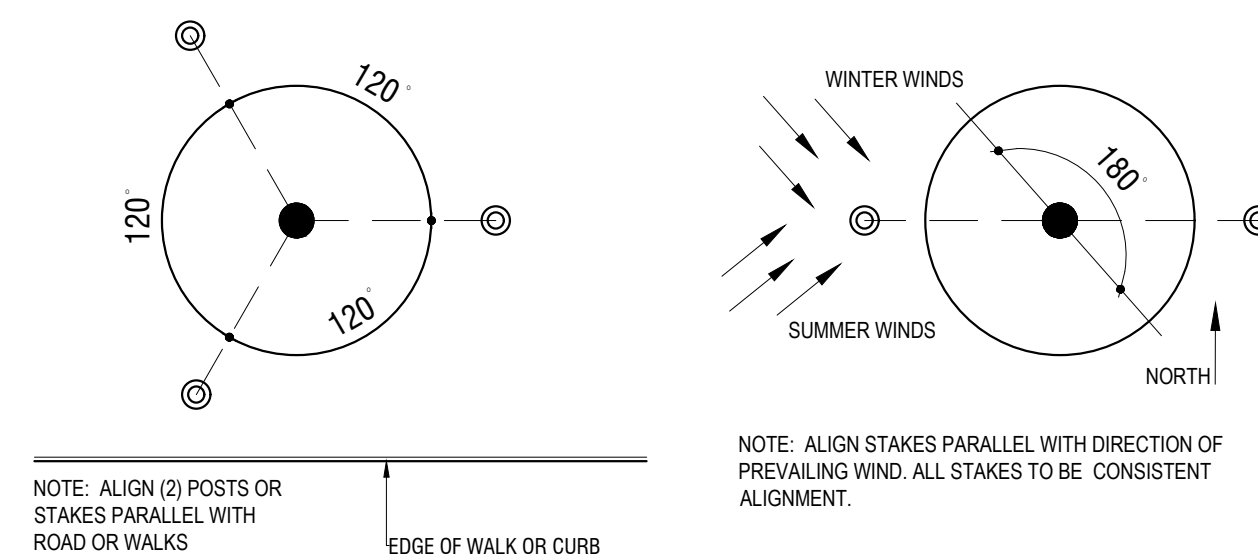
3 SHRUB PLANTING DETAIL

12 SCALE: 1/2" = 1'-0"



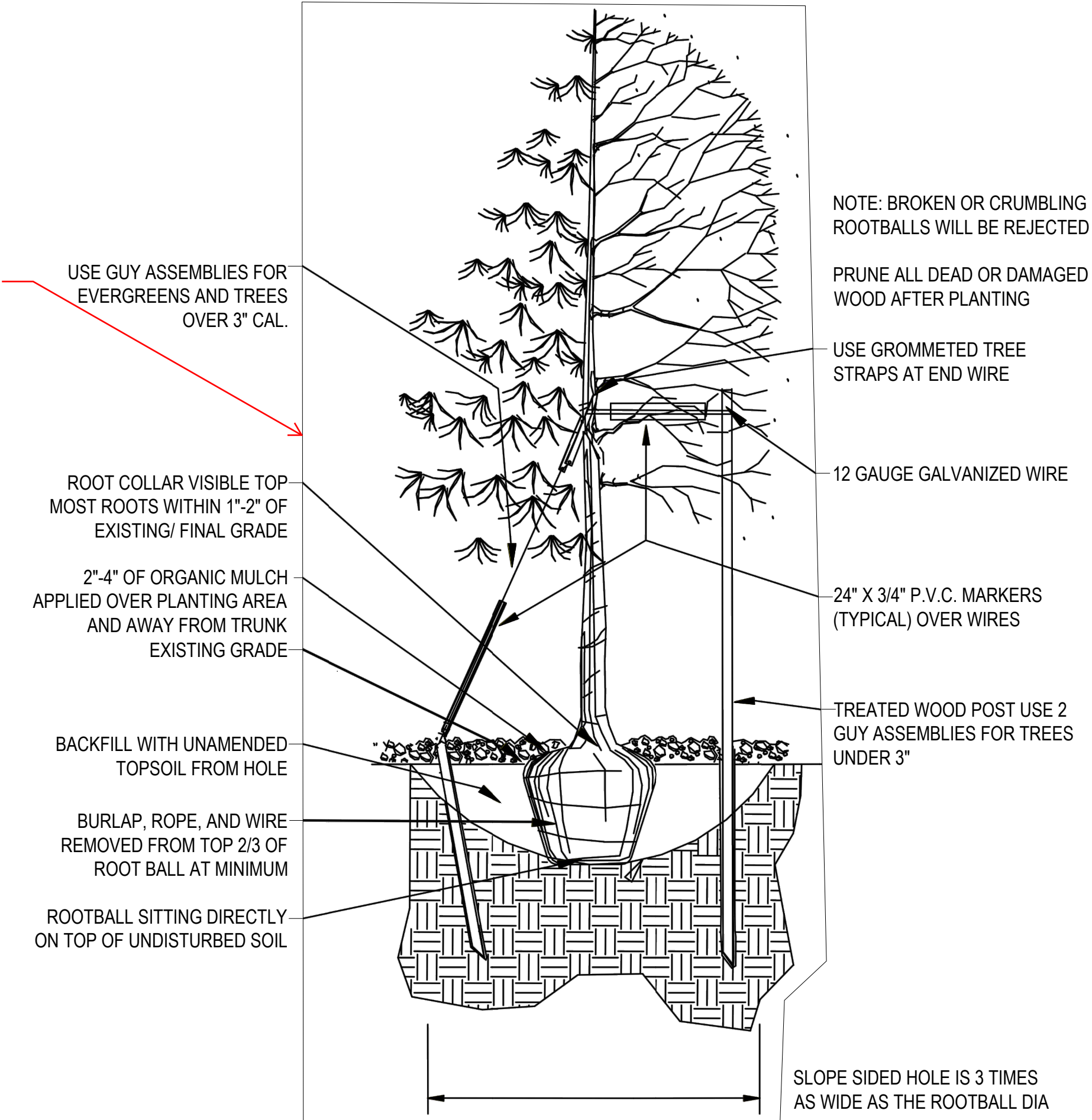
4 GROUNDCOVER DETAIL

12 SCALE: 3/4" = 1'-0"



5 TREE GUYING DETAIL

12 SCALE: 3/4" = 1'-0"

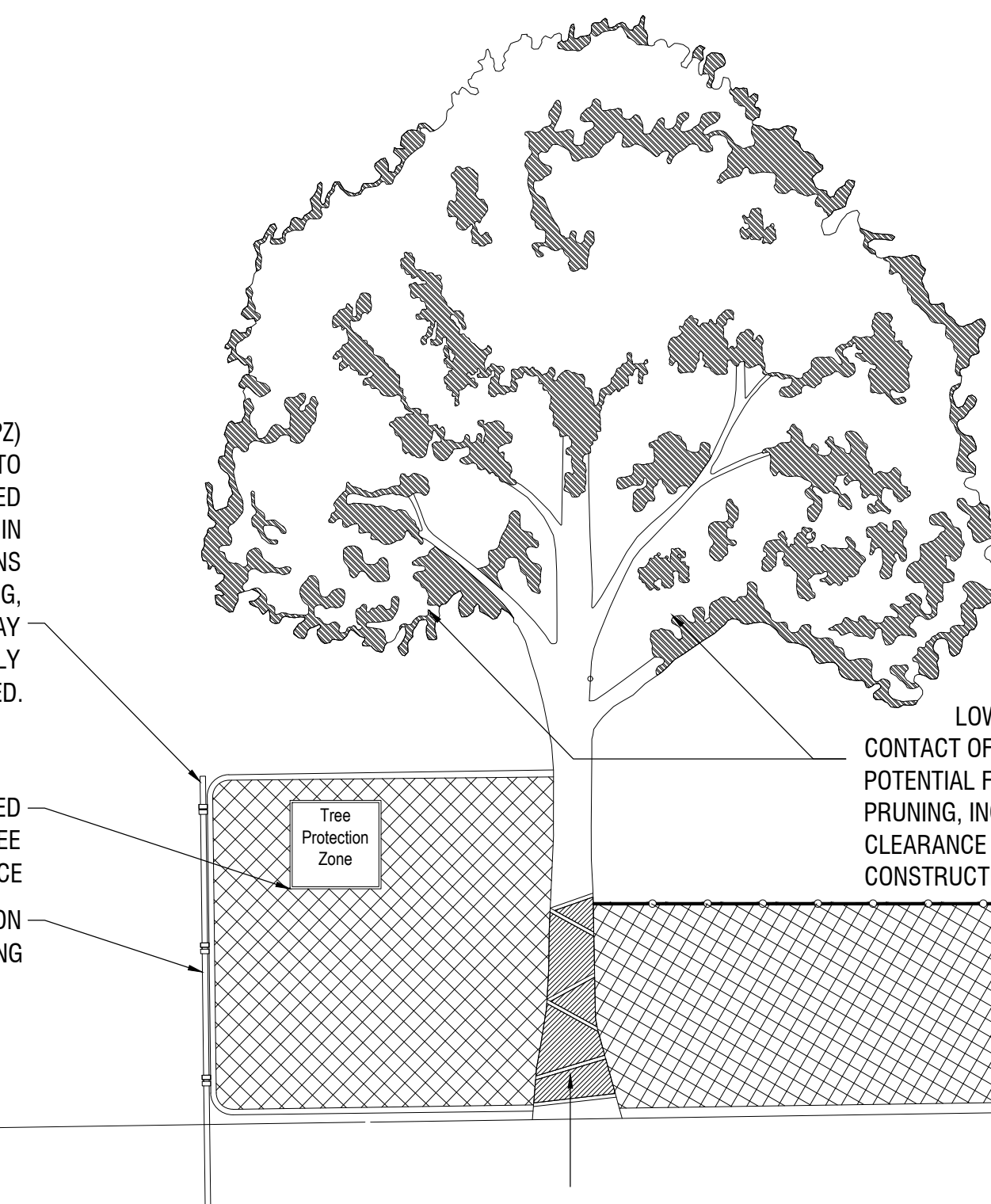


1 TREE PLANTING DETAIL

12 SCALE: 1/2" = 1'-0"

AREA 1
DENOTES PERIMETER OF TREE PROTECTION ZONE (TPZ)
TREE PROTECTION ZONE MUST BE IN PLACE PRIOR TO COMMENCEMENT OF WORK. TPZ MAY NOT BE RESIZED OR REMOVED AT ANY TIME WITHOUT PRIOR APPROVAL FROM OTF. WORK WITHIN THE CRZ MUST TAKE PLACE IN ACCORDANCE WITH THE CONDITIONS ESTABLISHED BY THE OTF. DIGGING, GRUBBING, EXCAVATING, TRENCHING, CHANGING OF GRADE, OR OTHER ACTIONS THAT MAY POTENTIALLY IMPACT THE ROOTING ENVIRONMENT IS STRICTLY PROHIBITED.

TREE PROTECTION ZONE SIGNS SHALL BE POSTED AND SHALL REMAIN IN PLACE SO LONG AS TREE PROTECTION FENCING IS IN PLACE
T-POSTS WITH ORANGE CONSTRUCTION FENCING



AREA 2
LOWER CANOPY PROTECTION
CONTACT OFFICE OF THE TOWN FORESTER IF POTENTIAL FOR DAMAGE EXISTS AND/OR IF PRUNING, INCLUDING BUT NOT LIMITED TO CLEARANCE FOR BUILDING(S) AND/OR CONSTRUCTION SCAFFOLDING, IS NEEDED.

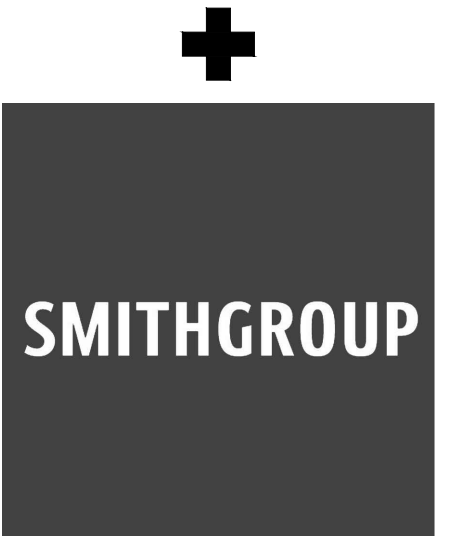
AREA 3
TRUNK PROTECTION IS REQUIRED IF CONSTRUCTION OCCURS WITHIN TEN FEET OR LESS OF TRUNK. CONSTRUCTION INSIDE CRZ IS ONLY PERMITTED WHEN EQUIPMENT IS OPERATED EXCLUSIVELY ON EXISTING HARDSCAPE, AND NO SOIL COMPACTION TAKES PLACE. ANY WORK IN CRZ MUST BE APPROVED BY OFFICE OF THE TOWN FORESTER PRIOR TO COMMENCEMENT OF ACTIVITY.

2 TREE PRESERVATION DETAIL

12 SCALE: 3/4" = 1'-0"



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ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS
DESCRIPTION DATE
1ST SUBMITTAL 06/03/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
PLANTING
DETAILS

DRAWING NUMBER

12 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

PARKING ANALYSIS

EXISTING					
PARKING	BEDS	GFA (SF)	PARKING FORMULA	REQUIRED	PROVIDED
MEDICAL OFFICE BUILDINGS	-	256,815	1 PER 300 SF	856.05	1,601
HOSPITAL	179	-	1.5 PER PATIENT BED	268.50	22.00
ACCESSIBLE SPACES	-	-	20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000	22.00	88
				1,146.55	1,689

PROPOSED					
PARKING	BEDS	GFA (SF)	PARKING FORMULA	REQUIRED	PROVIDED
MEDICAL OFFICE BUILDINGS	-	256,815	1 PER 300 SF	856.05	1,482
HOSPITAL	269	-	1.5 PER PATIENT BED	403.50	23.00
ACCESSIBLE SPACES	-	-	20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000	23.00	64
ELECTRIC VEHICLE	-	-	-	9	9
				1,282.55	1,546

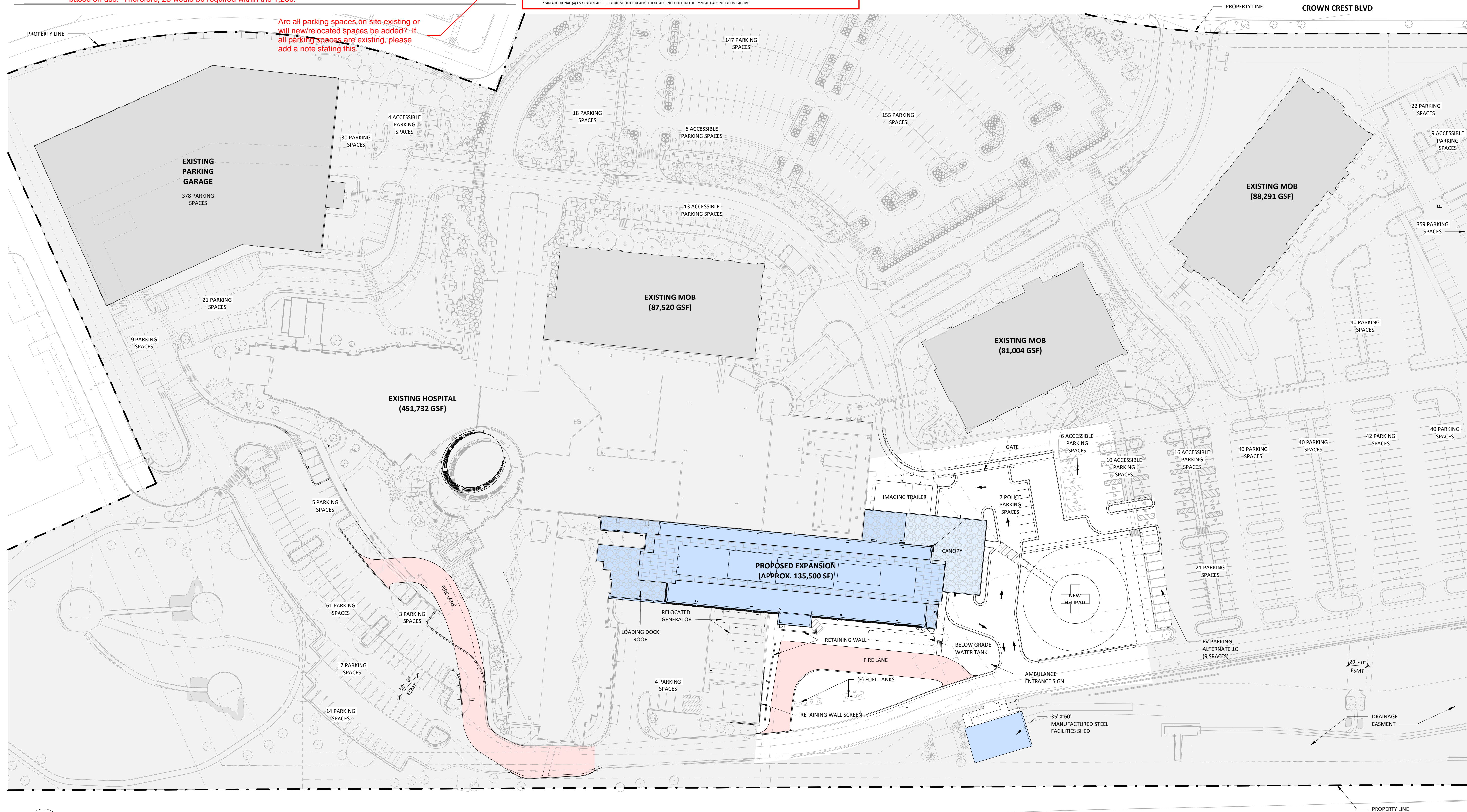
Accessible spaces are not calculated as an additional required, but part of the required based on use. Therefore, 23 would be required within the 1,260.

Please also include a breakdown of the parking space sizes. For example:

PARKING COUNT			
PARKING SPACE TYPE	COUNT	WIDTH	LENGTH
ACCESSIBLE SPACES	6	9'-0"	18'-0" MIN
ACCESSIBLE EV SPACES	1	11'-0"	18'-0" MIN
EV SPACES	3**	9'-0"	18'-0" MIN
TYPICAL PARKING SPACES	113	9'-0"	18'-0" MIN
TOTAL SPACES	123		

*PARKING SPACES ADJACENT TO LANDSCAPE ISLANDS: IF CONCRETE STRIP TO BE INCLUDED BEFORE CURB
**AN ADDITIONAL 16 EV SPACES ARE ELECTRIC VEHICLE READY. THESE ARE INCLUDED IN THE TYPICAL PARKING COUNT ABOVE.

Are all parking spaces on site existing or will new/relocated spaces be added? If all parking spaces are existing, please add a note stating this.



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SMITHGROUP

ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS
DESCRIPTION DATE
1ST SUBMITTAL 06/03/2024

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
**ARCHITECTURAL
SITE PLAN**

DRAWING NUMBER

13 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



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**ADVENTHEALTH
PARKER FACILITY
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CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
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DESCRIPTION	DATE
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Assuming based on this image that this entire area shown will be visible to the west? If so, additional articulation is needed.

Stone, different color metal, or different materials are needed to break up facade.

Blank facades need to be broken up with additional materials and/or colors.

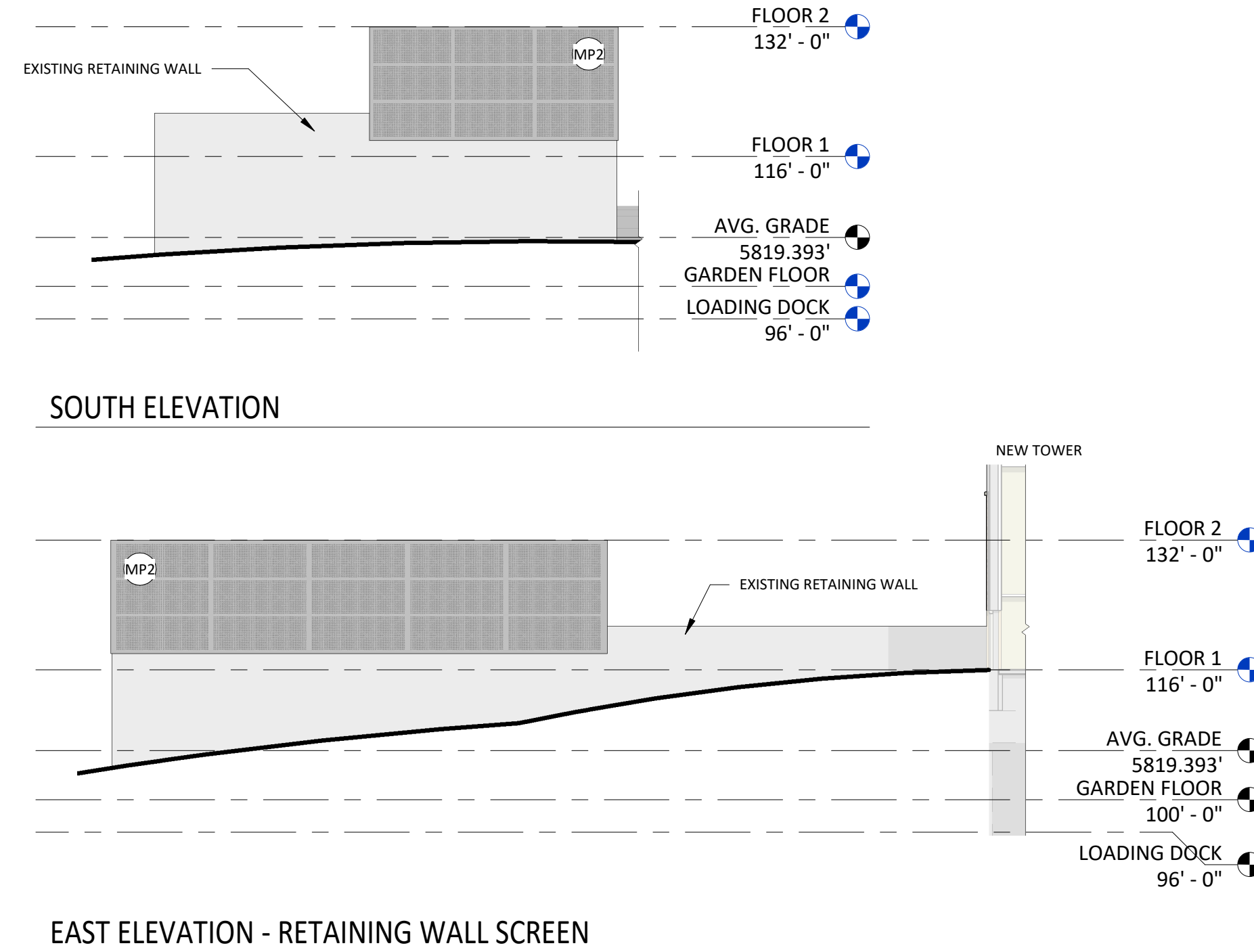
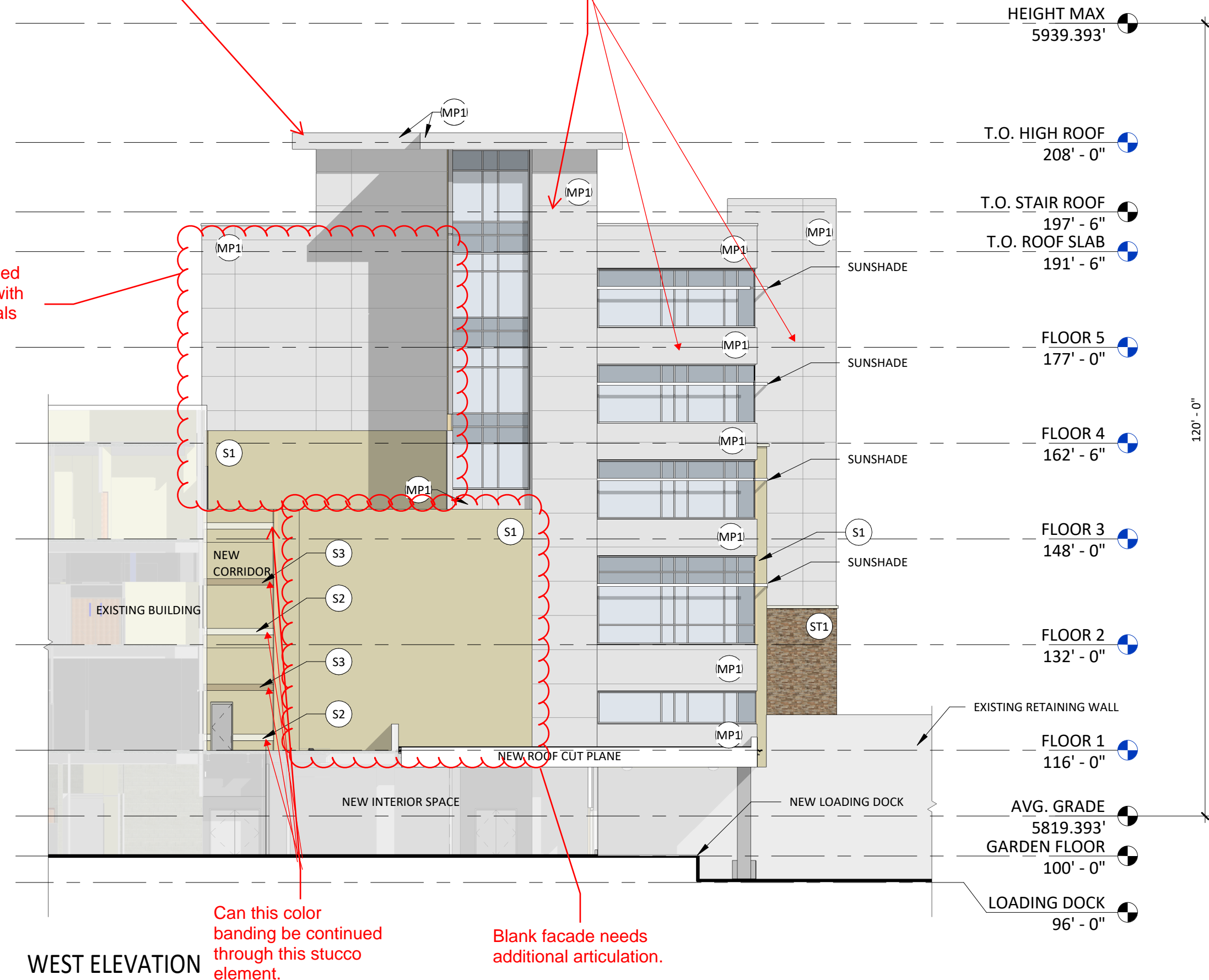
Can this color banding be continued through this stucco element.

Blank facade needs additional articulation.

Can a different color metal or material be added to break up this facade in these areas.

Please bring the stone up on this plane. This would be consistent with the MOB's located to the east!

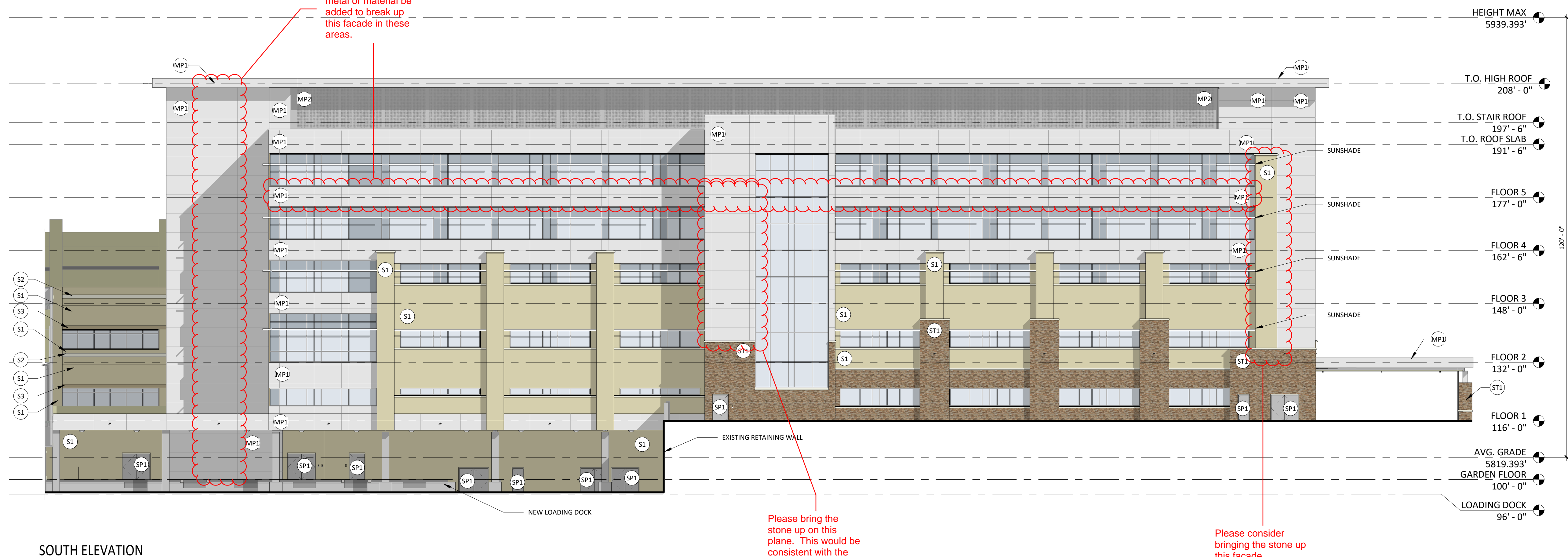
Please consider bringing the stone up this facade.



EXTERIOR ELEVATION MATERIAL LEGEND

S1	3/4" NOMINAL STUCCO (S1), COLOR TO MATCH EXISTING
S2	3/4" NOMINAL STUCCO (S2) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
S3	3/4" NOMINAL STUCCO (S3) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
ST1	MANUFACTURED STONE VENEER, CHERRY CREEK LEDGE (MATCH EXISTING)
PC1	PRECAST CONCRETE CAP, MIDWEST CAST STONE, COLOR: 1A
MP1	COMPOSITE METAL PANEL, ALUCOBOND, COLOR: CHAMPAGNE METALLIC
MP2	METAL PANEL ROOF SCREEN, PERFORATED
MP3	DECORATIVE ART SCREEN WALL, PERFORATED
SP	STEEL PAINTED, COLOR TO MATCH EXISTING (LIGHT GRAY)
BR	BRAKE METAL, COLOR TO MATCH EXISTING (LIGHT GRAY)
	VISION GLAZING, COLOR TO MATCH EXISTING
	SPANDEL GLAZING, COLOR TO MATCH EXISTING
	MULLION COLOR TO MATCH EXISTING (ANODIZED ALUMINUM)

Please label all colors



DATE 06/03/2024

PARKER PROJECT NUMBER SP24-XXX

SHEET TITLE
**EXTERIOR
ELEVATIONS**

DRAWING NUMBER

14 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



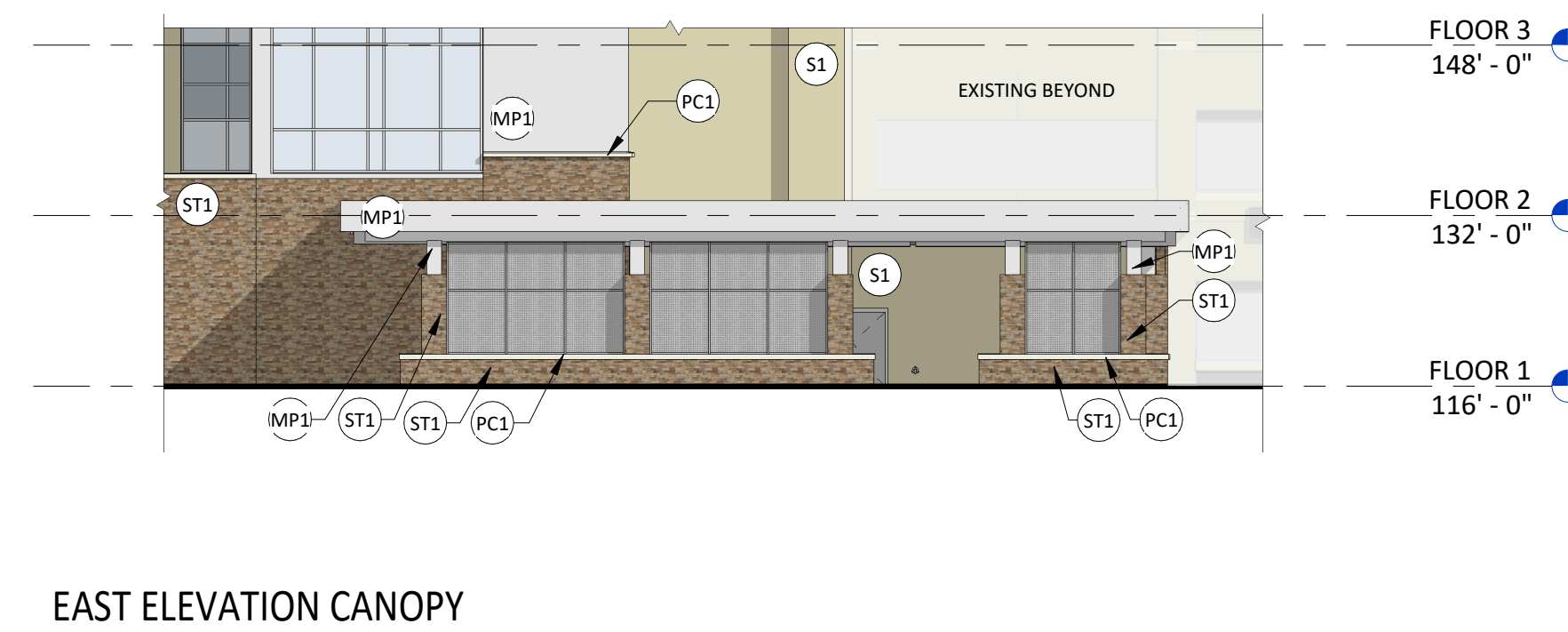
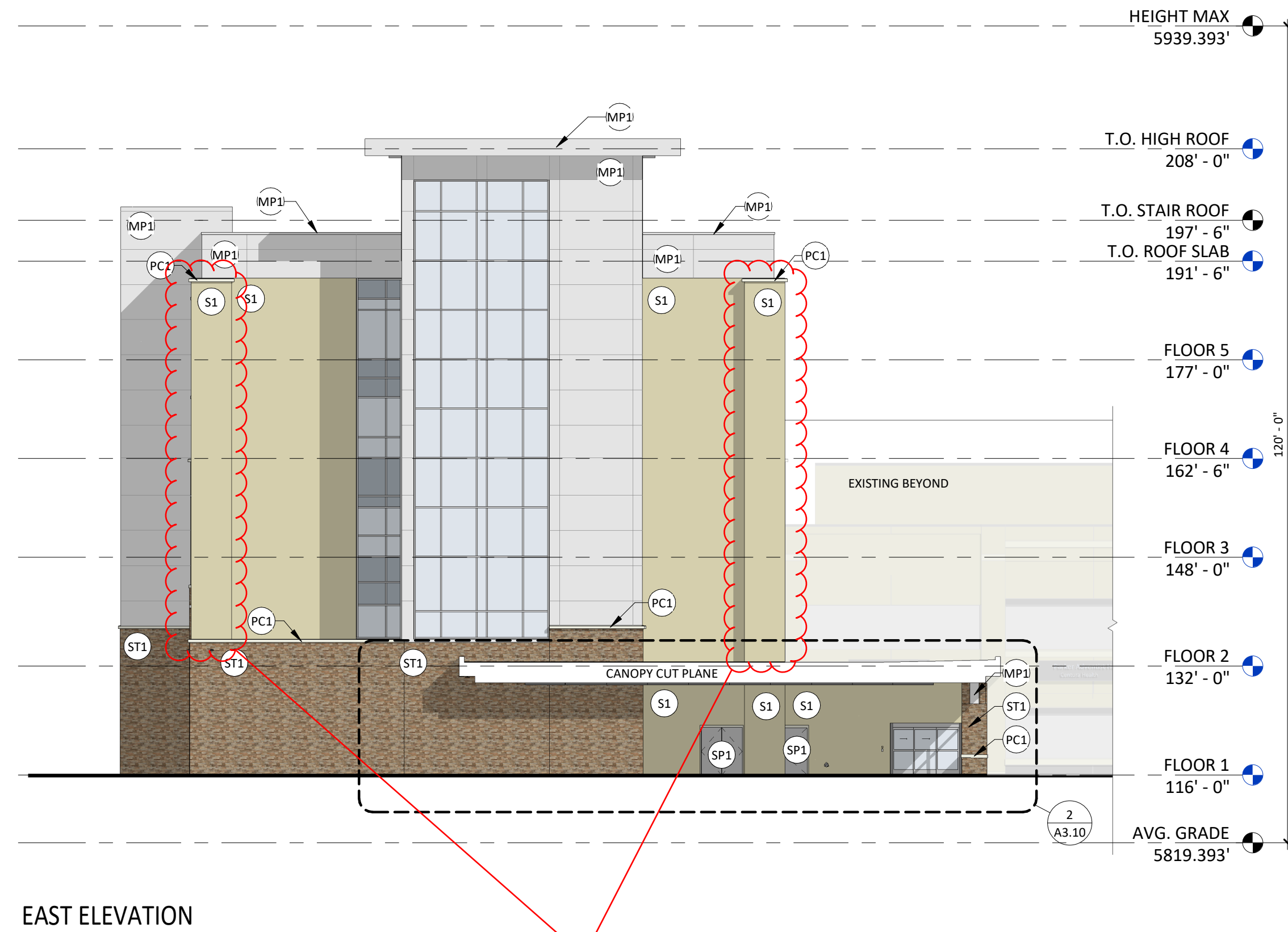
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**ADVENTHEALTH
PARKER FACILITY
EXPANSION**

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

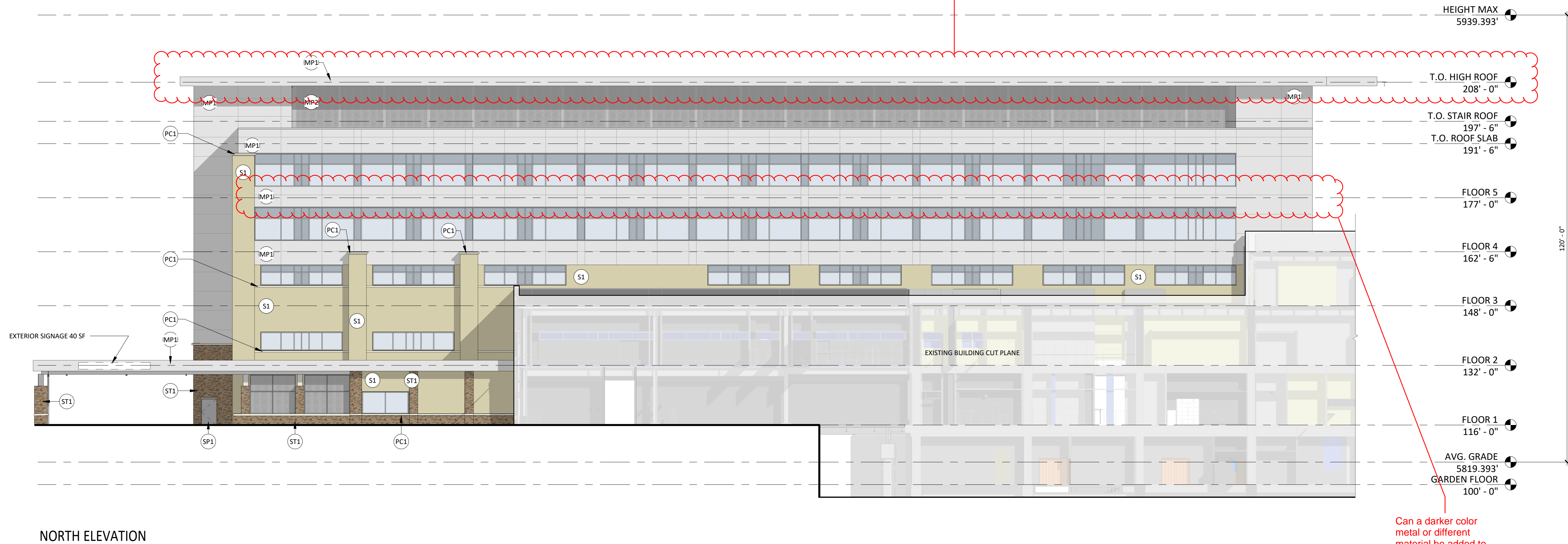
DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024



- EXTERIOR ELEVATION MATERIAL LEGEND**
- S1 3/4" NOMINAL STUCCO (S1), COLOR TO MATCH EXISTING
 - S2 3/4" NOMINAL STUCCO (S2) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
 - S3 3/4" NOMINAL STUCCO (S3) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
 - ST1 MANUFACTURED STONE VENEER, CHERRY CREEK LEDGE (MATCH EXISTING)
 - PC1 PRECAST CONCRETE CAP, MIDWEST CAST STONE, COLOR: 1A
 - IMP1 COMPOSITE METAL PANEL, ALUCOBOND, COLOR: CHAMPAGNE METALLIC
 - IMP2 METAL PANEL ROOF SCREEN, PERFORATED
 - IMP3 DECORATIVE ART SCREEN WALL, PERFORATED
 - SP STEEL PAINTED, COLOR TO MATCH EXISTING (LIGHT GRAY)
 - BR BRASS METAL, COLOR TO MATCH EXISTING (LIGHT GRAY)
 - VISION GLAZING, COLOR TO MATCH EXISTING
 - SPANDREL GLAZING, COLOR TO MATCH EXISTING
 - MULLION COLOR TO MATCH EXISTING (ANODIZED ALUMINUM)

Staff understands that this elevation faces another structure, but adding stone up these columns will help this facade meet the articulation requirements while also creating that grand entrance feature.

A variation in the roof line is needed along these long facades. Consider adding additional articulation to vary the roof line/



Can a darker color metal or different material be added to help breakup the elevation plane.

6/3/2024 1:47:23 PM Autodesk Docs/228365.XM AdventHealth Parker Hospital R24/236365.00 AH Parker CS-Act

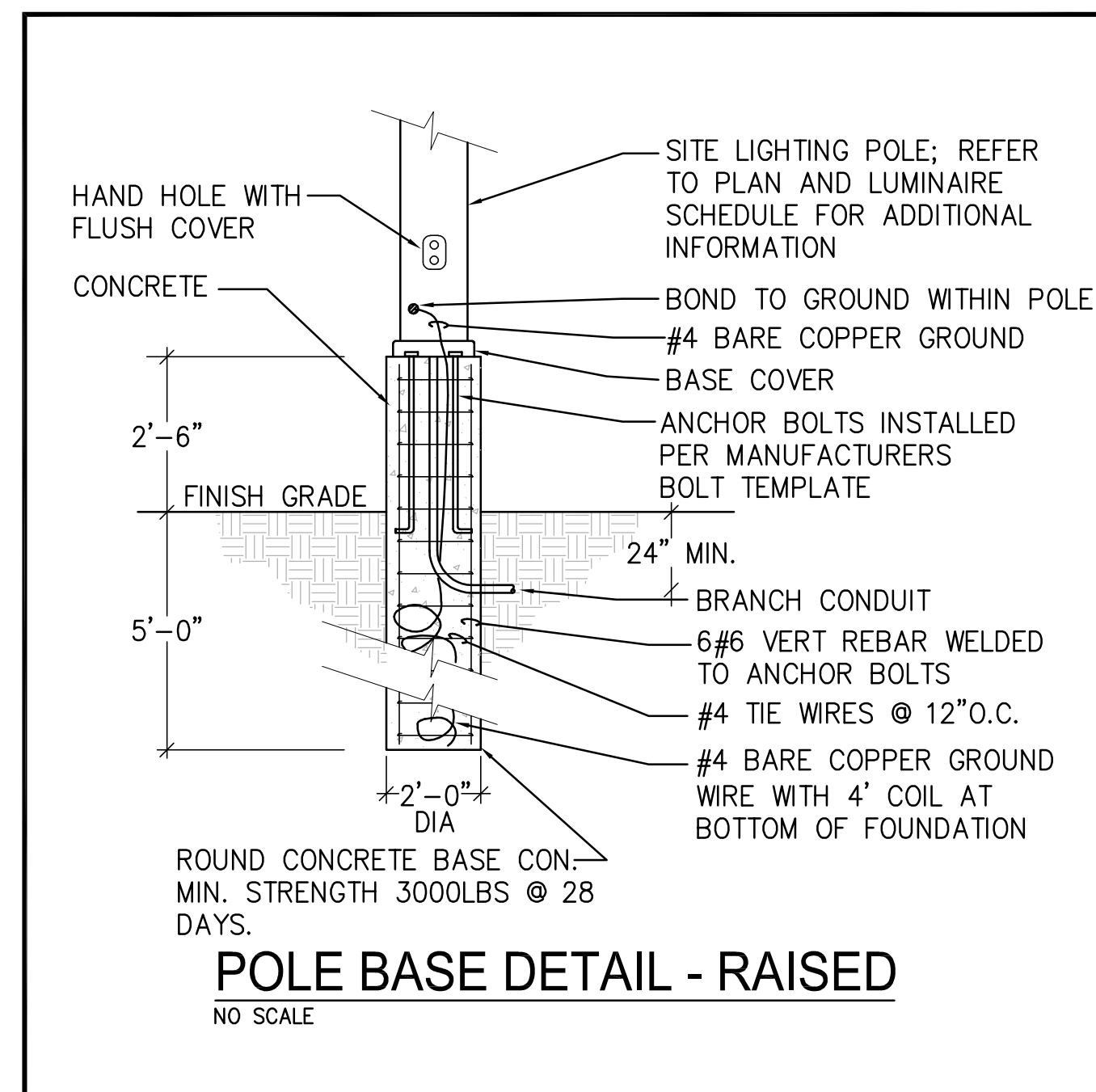
DATE	06/03/2024
PARKER PROJECT NUMBER	SP24-XXX
SHEET TITLE	EXTERIOR ELEVATIONS
DRAWING NUMBER	15 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

REFERENCE SYMBOLS LEGEND (Not all symbols listed below are used on these drawings)			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	KEY NOTE REFERENCE		KITCHEN/OWNER/MEDICAL EQUIPMENT REFERENCE
	TYPICAL CIRCUIT NUMBER		EXISTING TO REMAIN
	TYPICAL LUMINAIRE TYPE		EXISTING TO BE REMOVED
	TYPICAL ROOM REFERENCE (TOP=RM#, BOTTOM=FLR)		EXISTING TO BE RELOCATED
	MECHANICAL EQUIPMENT REFERENCE		EXISTING TO REMAIN - REPLACE DEVICE
	LIGHTING CONTROL/ EQUIPMENT REFERENCE		EXISTING TO BE REMOVED AND REPLACED

LIGHTING LEGEND (Not all symbols listed below are used on these drawings)			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SHADING INDICATES EM SYSTEM, LOWER CASE SUBSCRIPT INDICATES SWITCHING, UPPER CASE SUBSCRIPT INDICATES LUMINAIRE TYPE (TYP)		PENDANT LUMINAIRE - SINGLE SUSPENSION
	TROFFER - RECESSED		PENDANT LUMINAIRE - MULTIPLE SUSPENSION
	SURFACE LUMINAIRE		WALL MOUNTED LUMINAIRE
	LINEAR LUMINAIRE - RECESSED		IN-WALL LUMINAIRE
	FIELD MEASURED LUMINAIRE LENGTH AND SHAPE DENOTED BY LINEWORK, SUBSCRIPT IN RECTANGLE INDICATES LUMINAIRE TYPE		POLE LUMINAIRE - ARM MOUNTED
	DOWNLIGHT - RECESSED		POLE LUMINAIRE - POST TOP



LUMINAIRE SCHEDULE										
TYPE	DESCRIPTION	LAMPS	VOLT-AMPS	VOLTAGE	MANUFACTURER	CATALOG SERIES	FINISH	MOUNTING	RECESS	NOTES
AP1	8.62" DIAMETER SEMI-FLUSH MOUNTED HELIPAD PERMETER LIGHT WITH 6" DEEP BASE CAN	LED GREEN	27	277	FLIGHTLIGHT	HL-480L P/N BA-525-6	STAINLESS STEEL	GROUND	6"	3
AP2	HELIPAD FLOOD LIGHTING, WEATHERTIGHT, 14" MOUNTING HEIGHT, 5" MOUNTING PLATE, HORIZONTAL CUTOFF	LED 5100K, 70 CRI 1524 LUMENS	22	277	FLIGHTLIGHT	HL-FLED-AC-14-S-1	STANDARD	GROUND	-	3
EW1	18" WIDE X 11" DEEP EXTERIOR WALL PACK, TYPE IV FORWARD DISTRIBUTION	LED 5000K, 70 CRI 6000 LUMENS	55	277	KIM LIGHTING	WDM-D-48L-55-6K7-4F	DARK BRONZE MATTE	WALL	-	1
EW2	18" WIDE X 11" DEEP EXTERIOR WALL PACK, TYPE IV FORWARD DISTRIBUTION	LED 5000K, 70 CRI 6000 LUMENS	55	277	KIM LIGHTING	WDM-D-48L-65-4K7-4W	DARK BRONZE MATTE	WALL	-	1
EL12	12" RECESSED LINEAR LED SLOT LIGHT EXTRUDED WHITE PAINTED METAL HOUSING WITH WHITE PAINTED FLAT METAL END CAPS, FROSTED DROP PLASTIC LENS, LENSES FROSTED BOTH SIDES, 0-10V DIMMING, DAMP LOCATION LISTED	LED 5000K, 70 CRI 4000 LUMENS	43	277	FINELIGHT	HP4 WLR-R-12-S-840-F-96-277-SC-FC-10%-VF-C'-FE-SW	WHITE	RECESSED	4"	2
EP5	10" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE IV DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	50	277	KIM LIGHTING	VP-ST-1-36L-105-4K7-5W	DARK BRONZE MATTE	10' POLE	-	
EP6	23" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE 4W DISTRIBUTION	LED 5000K, 70 CRI 15,000 LUMENS	50	277	KIM LIGHTING	VP-1-160L-50-5K7-3-UNV	DARK BRONZE MATTE	23' POLE	-	
EP7	10" TALL LED POLE LIGHT ON 2" CONCRETE BASE, DOUBLE HEAD, 160L-50 LIGHT ENGINE, TYPE 4W DISTRIBUTION	LED 5000K, 70 CRI 15,000 LUMENS	100	277	KIM LIGHTING	VP-ST-1-36L-105-4K7-5W	DARK BRONZE MATTE	10' POLE	-	
EP8	23" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE 3 DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	50	277	KIM LIGHTING	VP-1-160L-50-5K7-3-UNV	DARK BRONZE MATTE	23' POLE	-	
EP9	10" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE 3 DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	50	277	KIM LIGHTING	VP-1-160L-50-5K7-3-UNV	DARK BRONZE MATTE	10' POLE	-	
EP2A	EXTERIOR POLE LIGHT - TWIN MOUNT TYPE III BEAM SPREAD, 10 FT SQUARE STRAIGHT STEEL POLE, DARK BRONZE.	LED 5000K, 70 CRI 4,000 LUMENS		277	KIM LIGHTING		DARK BRONZE	10' POLE	-	5
EP3	EXTERIOR POLE LIGHT - SINGLE MOUNT TYPE III BEAM SPREAD, 10 FT SQUARE STRAIGHT STEEL POLE, DARK BRONZE.	LED 5000K, 70 CRI 2,000 LUMENS		277	KIM LIGHTING		DARK BRONZE	10' POLE	-	5

Are all of these fixtures proposed as part of the addition?

Please add a column for the total number of light fixtures proposed.



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ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS
DESCRIPTION DATE
1ST SUBMITTAL 06/03/2024



DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
LUM. SCHEDULE,
DETAILS & LEGENDS

DRAWING NUMBER
17 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

PERIMETER LIGHTS

HL-690L LED Stainless Steel Helideck/Helipad Semi-Flush Perimeter Inset Light

- Compliances**
- FAA AC 150/5390-2D Helipad Design Guide
 - Exceeds FAA AC 150/5390-2D Appendix G Specifications
 - ICAO Annex 14, Volume II for TLOF and FATO
 - Transport Canada TP14371, AGA 7.16
 - IP68 Ingress Protection
 - IK10 Impact Protection
 - CE and RoHS Certified
- Applications**
- Semi-flush perimeter light helps mark helipad touchdown and lift-off area (TLOF) and/or final approach and takeoff area (FATO) for metal helidecks and pavement helipops.

- Features**
- Robust stainless steel construction provides corrosion protection from salt, chemicals, and weather exposure
 - IP68 water and dust resistant
 - Sealed LED/electronics maximizes LED life
 - Snowplow-safe design prevents lens damage
 - Lens made from durable, UV-stabilized LEXAN polycarbonate
 - Recessed, semi-flush mounted, allows for obstruction-free movement of equipment and personnel
 - Rises only 0.6" (15 mm) above surface
 - High static load rating (44,000 lb) reduces likelihood of damage from helicopters
 - 360° high intensity, omnidirectional lighting coverage
 - With our Dimming Controller option, the lights can be dimmed at night to reduce glare - 3 brightness levels
 - Available for FAA (Green) or ICAO (White)
 - Cost-saving, energy-efficient LEDs; 50,000 hour LED lifetime
 - 8500m infrared LEDs optional
 - AC or DC power supply options

- Specifications**
- Voltage Range: 10-32 VDC or 85-305 VAC
 - Power Consumption: DC Input = 14W; IR DC Input = 15W; AC Input = 27W; IR AC Input = 29W

Ordering Codes

Fixture	LED Color	Power	Cable Layout	Options
HL-690L	G: Green B: Blue R: Red W: White Y: Yellow IR: Infrared*	AC: 100-240VAC AC3: 277VAC DC: 10-30VDC DC3: 10-30VDC Dimming	G1C: 1 Gland with Cable G2C: 2 Glands with Cable G2NC: 2 Glands with No Cable†	NB: No Base‡

* Green is currently the recommended color for helipad perimeter lights.
† Infrared must be used in conjunction with visible LEDs. Infrared does not dim with the "DC3" dimming option.
‡ G1C input will not support dimming option. Specify cable size on cable order secondary connector.
§ G2NC Layout: Customer must supply water resistant cable. Cable connectors are made inside the fixture.
¶ The fixture will not be mounted to a base cap. Please note the FAA recommends base caps for helipad installations.

+1.800.806.3548 USA
+1.916.394.2800 Worldwide
www.flightlight.com
sales@flightlight.com
Flight Light Inc., 2708 47th Ave.
Sacramento, CA, 95822, USA



- Requires water resistant UL Cable, OD = 0.24" - 0.47" (6-12mm). Recommended AWG (varies by application): 16-3/4 SOOVW 600V 90C.
- Temperature Range: -13°F to 185°F (-25°C to 85°C)
- LED Quantity: 6 LEDs (Green, Blue, Red, White, Yellow); optional 3 LEDs (Infrared)
- Infrared Wavelength: 850nm, Night Vision Goggle (NVG) Compatible
- Top Material: Hard duplex stainless steel alloy with high corrosion resistance and hardness
- Bottom Material: Gray painted aluminum AISI312
- Light Output: Polycarbonate window
- Rising Above Surface: 0.6" (15 mm)
- Static Load: Holds 1,000 PSI
- High Static Load Rating: 44,000 lb. min
- Weight: 11.2 lb. (5.1 kg)
- Diameter: 8.6" (219 mm)
- Bolt Circle: 7.25" (184 mm)
- Protection Index: IP68, IK10

Flight Light Inc.
2708 47th Ave.
Sacramento, California, U.S.A.
95822-3806
+1.800.806.3548
www.flightlight.com
sales@flightlight.com

Helipoint LED Floodlight

- Helipoint LED Floodlight**
Our LED floodlight is specially designed for helipads, providing uniform surface lighting for landing and loading activities. The floodlight housing mounts on a 1" EMT extension into a 1.5" NF aluminum breakable coupling. An optional 2" NPS breakable coupling is available. This fixture may be mounted on a base plate, junction box or stake, sold separately.
- Features**
- Multi-ship 18 watt, high-output, long-life LEDs.
 - Floodlight hood eliminates glare to pilots.
 - UL Listed: Suitable for wet locations - mounting within 4' (1.2M) of the ground (AC model only).
 - Bronze chip and fade resistant polyester powder coat finish.
 - Precision die-cast aluminum housing, lens frame and mounting arm.
 - Heavy-duty mounting arm with O-ring seal and stainless steel screw.
 - Heat-sink: Die-cast aluminum LED housing designed for maximum heat dissipation.
 - Semi-specular anodized aluminum reflector.
 - Metal guard to protect the lens.
 - High-temperature silicone gaskets.
 - Green Technology: Mercury, UV free, no VOCs used for finishing materials.

DC Model

- Low voltage DC for added safety.
 - Ideal for solar, off-grid, remote-area lighting applications.
 - Up to 85% more energy efficient than line voltage AC solutions.
 - No energy loss from DC-AC inverter.
- Specifications**
- Light Source: 18W LED
 - Input Power: AC = 22W, 100-277 VAC; DC = 24W, 10-30 VDC
 - Life: 100,000 hours
 - Lumens (Initial): 1624
 - Lumens Per Watt: 73
 - Color Temp.: 5100K
 - Finish Color: Bronze
 - Housing: Die-Cast Aluminum
 - Lamp Weight: 4.8 lb.
 - CA Title 24 Compliant
 - Warranty: 5 Years

Visit our web site: www.flightlight.com

Flight Light Inc.
2708 47th Ave.
Sacramento, California, U.S.A.
95822-3806
+1.800.806.3548
www.flightlight.com
sales@flightlight.com

Helipoint LED Floodlight

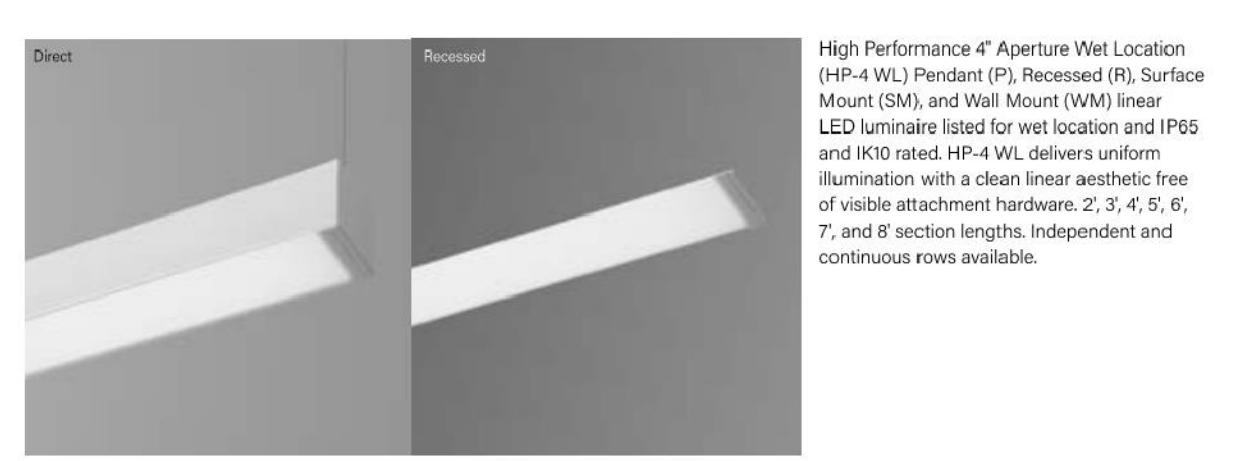
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DC Model

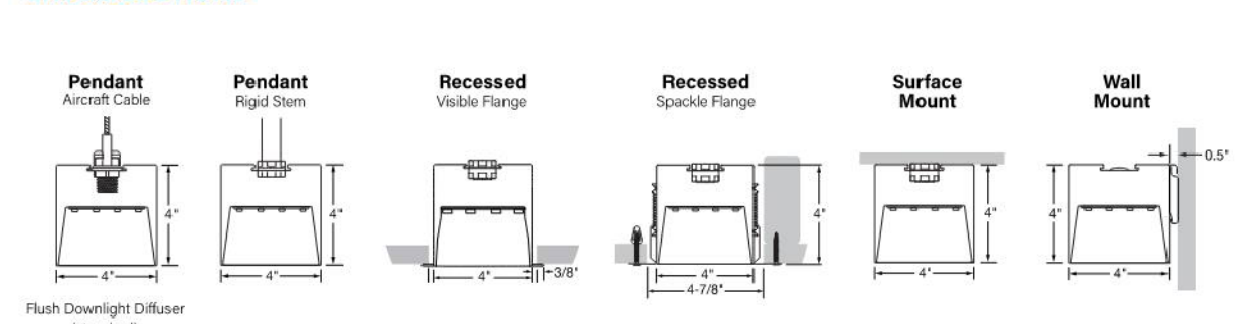
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 - Warranty: 5 Years

Visit our web site: www.flightlight.com

High Performance 4" Wet Location (HP-4 WL)



High Performance 4" Aperture Wet Location (HP-4 WL) Pendant (P), Recessed (R), Surface Mount (SM), and Wall Mount (WM) linear LED luminaire listed for wet location and IP68 and IK10 rated. HP-4 WL delivers uniform illumination with a clean linear aesthetic free of visible attachment hardware. 2, 3, 4, 5, 6, 7, and 8' section lengths. Independent and continuous rows available.



GET MORE WITH TAILORED LIGHTING

- Tailored Length
- Tailored Color
- Tailored Output
- Tailored Control

INTEGRATED GORE™ PROTECTIVE VENT

Protective vents are integrated at endcaps and joints to equalize pressure, reduce condensation and prevent internal fixture components against water, salts, corrosive liquids and particulates.

BEACON EP#3 VIPER Area/Site

- FEATURES**
- Low profile LED luminaires available with a variety of FS (foot) kits for lighting applications such as area lighting, retail, and more.
 - Features two different optic technologies, Spot and Micro Strike Optics, which provides the best distribution patterns for retrofit or new construction.
 - Recessed for high-contrast applications including bridges and overpasses. All sizes are rated for 150'.
 - Control options including photo control, occupancy sensing, NLC lighting controller, LightBrid™ and 7-pin with networked control.
 - New customizable luminaire output feature allows for the wattage and lumens output to be customized to the facility to meet whatever specification requirements may arise.
 - Public mounting height: mounting height is limited to the pole height for the fixture.



- CONTROL TECHNOLOGY**
- LIGHTGRIP™
 - STÖCK
 - QSIO
- SPECIFICATIONS**
- CONSTRUCTION**
- Die-cast housing with recessed vertical head for an optional, non-adjustable vertical lighting is cast with a 0.5" (12.7 mm) depth.
 - Corrosion resistant, die-cast aluminum housing with 5000 series powder coat finish.
 - Mounting hardware is corrosion resistant.
- OPTICS**
- Micro Strike Optics (MSO) are 1/2" (12.7 mm) recessed optic lenses that are recessed into the mounting plate. Micro Strike Optics are recessed into the mounting plate. Micro Strike Optics are recessed into the mounting plate.
 - Spot Optics (SO) are 1/2" (12.7 mm) recessed optic lenses that are recessed into the mounting plate. Spot Optics are recessed into the mounting plate.
- ELECTRICAL**
- Voltage: 120-277 VAC or 24-480 VDC input
 - Ambient operating temperature: -40° to 140°F
 - Dielectric strength: greater than 5000 power factor and less than 2000 VAC
 - LED driver: wide output power range, over-current protection, and thermal protection with auto recovery
 - Field adjustable output power (dimming) from 0% to 100% (0% to 100% dimming)
 - LED driver: wide output power range, over-current protection, and thermal protection with auto recovery
 - Field adjustable output power (dimming) from 0% to 100% (0% to 100% dimming)
- CAUTIONS**
- Do not use the fixture in areas where it will be exposed to direct sunlight.
 - Do not use the fixture in areas where it will be exposed to direct sunlight.
 - Do not use the fixture in areas where it will be exposed to direct sunlight.

Current
currentlighting.com/beacon
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Rev 03/2024
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KIMLIGHTING™ EW1 WALL MOUNTED

- FEATURES**
- 30° to 10° tilt adjustment
 - High performance optics deliver up to 16,000 lumens
 - up or down mountable without modification
 - Programmable occupancy sensor (dimming)
 - NLC Lighting Control
 - LED lumens per watt
 - UL Listed for wet locations, IP68 Listed



- CONTROL TECHNOLOGY**
- LIGHTGRIP™
 - STÖCK
 - QSIO
- SPECIFICATIONS**
- CONSTRUCTION**
- Housing is a one-piece, die-cast low copper (40% B3) aluminum alloy with integral heat sink. The housing mates against mounting arm housing to provide 2° to 10° of adjustment with design markers label. All 0° adjustment lens is totally concealed from view above horizontal with fixture mounted in the downward position.
 - Mounting arm housing is one-piece, die-cast, low copper (40% B3) aluminum alloy with provisions for all mechanism. Mounting arm housing is one-piece, die-cast, low copper (40% B3) aluminum alloy with provisions for all mechanism. Mounting arm housing is one-piece, die-cast, low copper (40% B3) aluminum alloy with provisions for all mechanism.
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 - Dielectric strength: greater than 5000 power factor and less than 2000 VAC
 - LED driver: wide output power range, over-current protection, and thermal protection with auto recovery
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Current
currentlighting.com/kimlighting
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Is this the cut sheet for all of the EP Fixtures on the previous page? Is the only difference the height?



BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMMDT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024



896 Taylor Street, Lakewood, CO 80401
(303) 232-6230 • www.catorrumba.com

DATE
06/03/2024

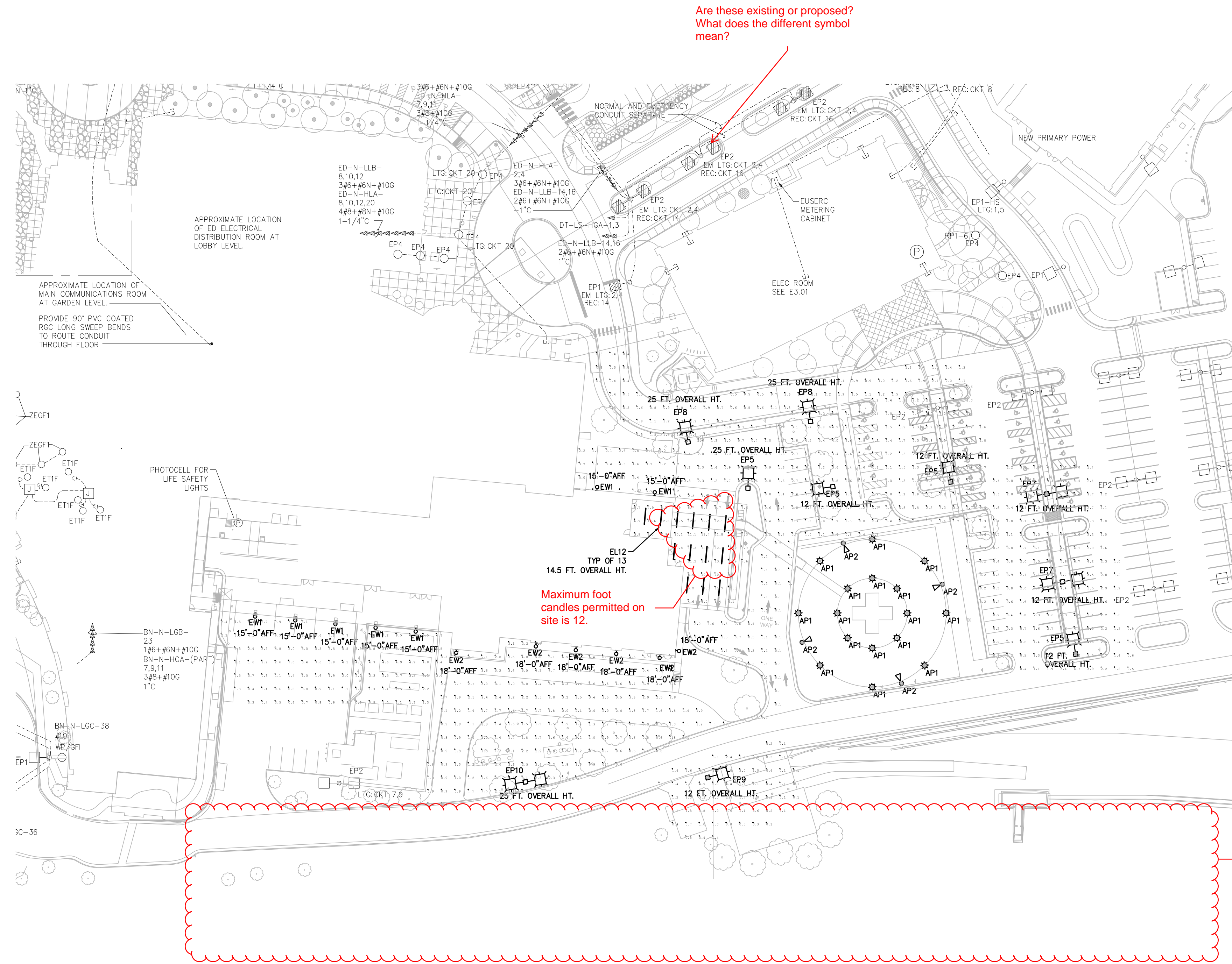
PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
LUMINAIRE CUT SHEETS

DRAWING NUMBER
18 of 19

CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



Are these existing or proposed?
What does the different symbol mean?

Maximum foot candles permitted on site is 12.

Please include the foot candles to the property lines. This does not need to be included for the entire property, only where new lights are proposed to be added. Please add a note stating why the entire property is not shown (i.e. Areas of property not shown on the Photometric Plan are not proposed to be changed).

Please show the property line.

PHOTOMETRIC SITE PLAN

SCALE: 1" = 30'-0"

Max foot candles is 12.

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Ambulance Drive	Illuminance	Fc	0.47	2.6	0.1
Canopy	Illuminance	Fc	9.21	13.0	3.6
Dock area	Illuminance	Fc	3.32	8.5	0.3
Fire Lane	Illuminance	Fc	2.32	6.5	0.4
Parking lot East	Illuminance	Fc	2.54	9.8	0.2
ROADWAY	Illuminance	Fc	1.17	4.3	0.3
Shed	Illuminance	Fc	2.17	6.0	0.2
TEMP IMAGING PARKING	Illuminance	Fc	3.97	6.0	1.9

Please include the required uniformity ratios:
1. Average to Minimum
2. Maximum to Minimum



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ADVENTHEALTH
PARKER FACILITY
EXPANSION

CROWN POINT, 30TH AMDMT
LOT 1, TRACT A & B
PARKER, CO 80138

SUBMITTALS
DESCRIPTION DATE
1ST SUBMITTAL 06/03/2024



CATOR RUMA
& ASSOCIATES, CO
896 Taylor Street, Lakewood, CO 80401
(903) 232-0290 • www.catorrumba.com

DATE
06/03/2024

PARKER PROJECT NUMBER
SP24-XXX

SHEET TITLE
PHOTOMETRIC
SITE PLAN

DRAWING NUMBER

19 of 19



Project Number: SP24-062

Description: **Crown Point F1 AMD30 L1 - Hospital Addition**

Applied: **6/3/2024**

Approved:

Site Address: **9395 CROWN CREST BLVD**

Closed:

Expired:

City, State Zip Code: **PARKER, CO 80138**

Status: **UNDER REVIEW 1**

Applicant: **Boulder Associates**

Parent Project: **SP19-129**

Owner: **PORTERCARE ADVENTIST HEALTH SYSTEM**

Contractor: **<NONE>**

Details:

The applicant, Boulder Associates, is proposing an approximately 135,500 sq. ft. 5-story addition to the existing Parker AdventHealth hospital. The site is located on the east side of Parker Road south of Crown Crest Boulevard.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: ALL

6/4/2024	6/11/2024	6/7/2024	COMPLETENESS REVIEW	Stacey Nerger	REVISIONS REQUIRED	
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Notes:

Megan,

I am back from vacation and have looked at the application. The fees have all been added. Below is the information for moving this project forward:

1. Application Fees: \$3,405.00 (An additional \$85.13 will apply if paid by credit card)
2. Public Notice: All site plan applications require public notice signs to be posted on the property prior to the second referral. I will send out an additional email to FastSigns and copy you to get these signs started. Installing these signs will not hold up the initial review, but will need to be completed prior to the second referral.

Please let me know if you have any questions.

Thank you,
Stacey

Review Group: AUTO

6/3/2024			ENGINEERING ADMINISTRATIVE	Tom Williams		
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Notes:

6/3/2024	6/11/2024	6/17/2024	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
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Notes:



PARKER
COLORADO

Project Reviews Town of Parker



Review Group: PROJECT

6/14/2024		7/11/2024	CENTENNIAL AIRPORT 20	Zachary Gabehart		
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Notes:

Review Group: SP 1ST 20

6/12/2024	6/24/2024	7/11/2024	BUILDING 20	Randy Capra	ADVISORY COMMENTS	See Notes
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Notes:

Buildings

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building’s review must meet the most current adopted codes per Ordinance at time of submittal. This includes, but not limited to, the International Code Family, Accessibility codes such as ICC A117.1 for accessibility, the National Electric Code, and any NFPA standards referenced by the applicable codes. Please contact us prior to submittal of the construction documents. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

The applicant shall demonstrate compliance with the Colorado Model Electric and Solar Ready Code, HB22-1362, as applicable to this site plan review and the construction documents (plans) when submitting the building permit. If the Building Permit application is received before December 31, 2024, no modifications to the site plan or building documents will be required. Please call to discuss if needed.

All accessible parking must be shown in the building permit documents. The approved site plan sheet (s) showing the property lines, building, accessible routes, accessible parking spaces and entrances to the building will be required.

All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4’ from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

6/12/2024		7/11/2024	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

6/12/2024	6/18/2024	7/11/2024	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Val Endyk	ADVISORY COMMENTS	See Notes
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Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP24-062, Crown Point A1 AMD30 L1 - Hospital Addition have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority’s current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker’s review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwqa.org. The review may include consultation with the Authority’s Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

6/12/2024		7/11/2024	COMCAST 20	Butch Buster		
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Notes:



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Project Reviews Town of Parker



6/12/2024	7/12/2024	7/11/2024	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP24-062 – Crown Point Advent Health Expansion - 1st Environmental Review, 7-11-24

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please add a general note stating – “TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GRATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6- FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1-FOOT IN SOIL RIPRAP OR BENCHED LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN’S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.”
2. Please consider connecting the Stabilized Staging Area (SSA) to the Vehicle Tracking Control (VTC) as shown in the Town’s standard detail. This configuration helps limit the amount of necessary traffic across disturbed areas, further limiting tracking from the site.
3. Please remove the duplicate set of the Town of Parker’s CBMP Legend, General Notes & CBMP Details.
4. Please provide and identify Detention Pond Protection (DP) as a precautionary measure for the two detention ponds.

INITIAL CBMP PLANS

5. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.

INTERIM/FINAL CBMP PLANS

6. Provide and identify Erosion Control Blanket (ECB) for all slopes 4:1 or steeper. Specifically, the south side of the proposed expansion.

6/12/2024	7/12/2024	7/11/2024	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

6/12/2024	7/12/2024	7/11/2024	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

6/12/2024	7/1/2024	7/11/2024	ECONOMIC DEVELOPMENT 20	Weldy Fezell	NO COMMENT	
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Notes:

6/12/2024	6/24/2024	7/11/2024	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See notes
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Notes:

See response letter, uploaded to this application, and address all comments. A response to the letter is required. For this reason, a word document, along with the pdf, has been provided.



PARKER
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Project Reviews Town of Parker



6/12/2024	6/19/2024	7/11/2024	IREA 20	Brooks Kaufman	UNDER REVIEW	Meeting with Applicant Required
Notes: CORE has existing underground electric facilities in conflict with the proposed expansion. CORE will require a meeting with the applicant to address relocation of CORE facilities and electric service upgrades that could affect the site plan approvals.						
6/12/2024		7/11/2024	POLICE 20	Greg Epp		
Notes:						
6/12/2024	6/27/2024	7/11/2024	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	REVISIONS REQUIRED	please see attached
Notes: please see attached and provide a comment response/s						
6/12/2024	7/12/2024	7/11/2024	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
6/12/2024		7/11/2024	SITE PLAN 20	Stacey Nerger		
Notes:						
6/12/2024		7/11/2024	SOUTH METRO FIRE 20	South Metro Fire		
Notes:						
6/12/2024	7/12/2024	7/11/2024	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	ADVISORY COMMENTS	See uploaded Memo and Redlines.
Notes:						
Review Group: SP 1ST 20 ADD						
6/12/2024		7/11/2024	COTTONWOOD WATER AND SANITATION DISTRICT 20	Scott Barnett		
Notes:						
6/12/2024	6/14/2024	7/11/2024	CENTENNIAL AIRPORT 20	Zachary Gabehart	ADVISORY COMMENTS	
Notes: See attached comments.						
6/12/2024		7/11/2024	CROWN POINT ACC 20	Steve Scannell		
Notes:						



PARKER
COLORADO



Project Reviews Town of Parker

Review Group: SUBMITTAL CHECKLIST

6/11/2024	6/12/2024	6/26/2024	COMPLETENESS REVIEW	Stacey Nerger	COMPLETED	
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Notes: