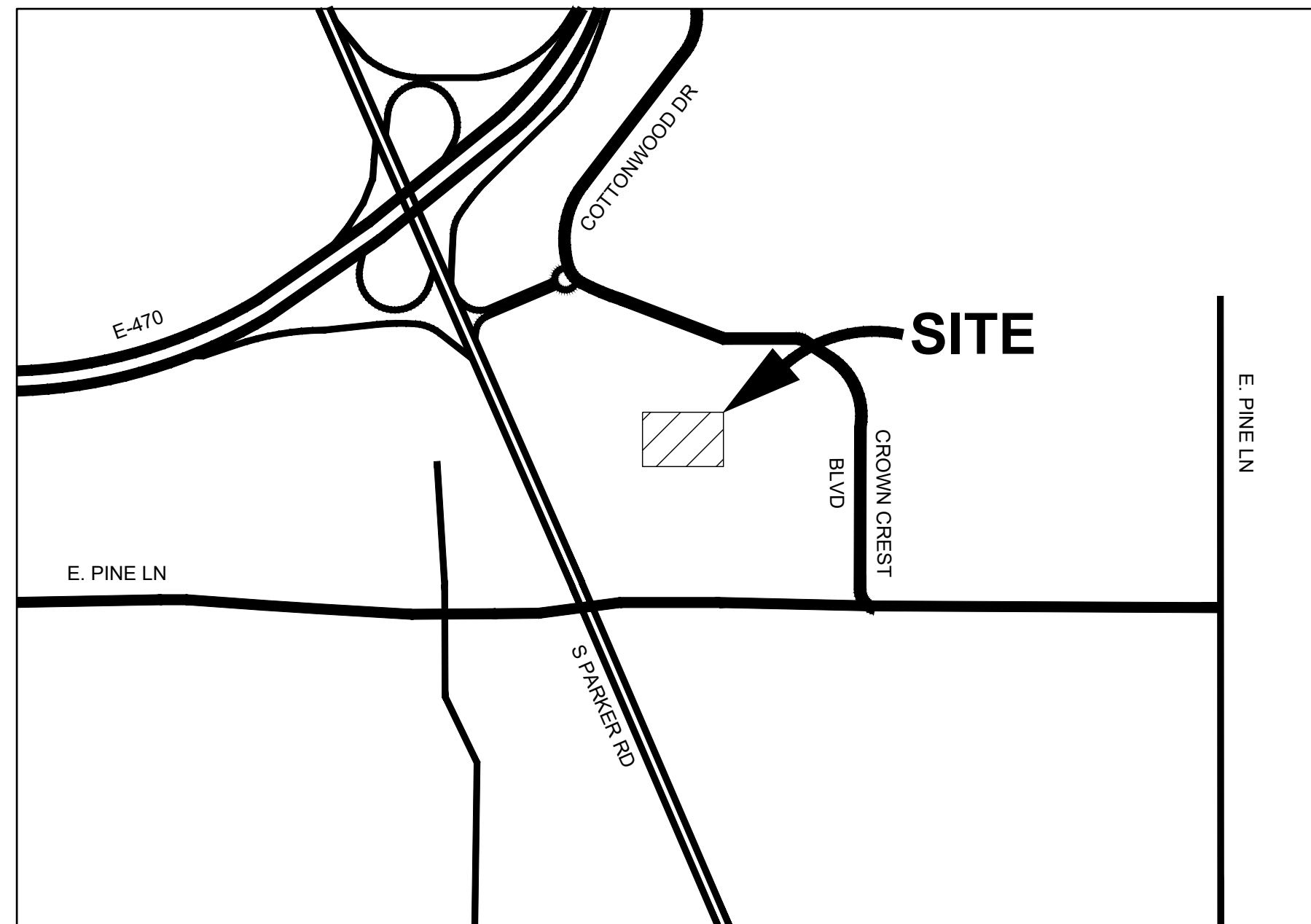


# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF  
PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



VICINITY MAP  
SCALE: 1"=1000'

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05 of 19	EXISTING CONDITIONS MAP
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## AGENCY LIST

ELECTRIC-IREA  
PO DRAWER A  
5496 US HWY 85  
SEDALIA, CO. 80135  
303-888-3100  
CONTACT: BROOKS KAUFMAN

FIRE-SOUTH METRO FIRE RESCUE  
9195 E. MINERAL AVE  
CENTENNIAL, CO 80112  
720-989-2000  
CONTACT: RANDY CAPRA

TOWN OF PARKER-PUBLIC WORKS  
9200 MOTSENBOCKER ROAD  
PARKER, CO 80134  
303-840-9546  
CONTACT: MIKE WAUGH

CABLE-COMCAST  
8850 S. TUSCON WAY  
ENGLEWOOD, CO. 80112  
303-603-5605  
CONTACT: KEVIN YOUNG

TRI-COUNTY HEALTH DEPARTMENT  
7000 E. BELLEVIEW AVENUE  
GREENWOOD VILLAGE, CO. 80111  
303-220-9200  
CONTACT: CAROL MACLENNAN

CROWN POINT ARCHITECTURAL  
CONTROL COMMITTEE  
27905 MEADOW DRIVE, SUITE 11  
EVERGREEN, CO 80439 303-674-7856  
CONTACT: TIM LEONARD

GAS-XCEL ENERGY  
2070 SOUTH VALENTIA STREET  
DENVER, CO. 80231  
1-800-628-2121  
CONTACT: DESIGN MANAGER

TOWN OF PARKER  
PLANNING AND BUILDING DEPT.  
20120 E. MAIN STREET  
PARKER, CO. 80134  
303-841-2332  
CONTACT: PAUL WORKMAN

COTTONWOOD WATER & SANITATION DISTRICT  
2 INVERNESS DRIVE EAST  
ENGLEWOOD, CO  
303-792-9509  
CONTACT: PATRICK MULHERN/ LAURI TATLOCK

TELEPHONE - CENTURY LINK  
LOCAL NETWORK OPERATIONS  
9750 E. COSTILLA AVENUE  
ENGLEWOOD, CO. 80112  
303-792-1840  
CONTACT: KAREN CAIME

COTTONWOOD WATER AND SANITATION  
DISTRICT ENGINEER-KENNEDY JENKS CONSULTING  
143 UNION BOULEVARD  
SUITE 600  
LAKEWOOD, CO 80228  
PHONE: 303-985-3636  
CONTACTS: TOM NAPOLILLI

## OWNER INFORMATION

ADVENTHEALTH PARKER  
9395 CROWN CREST BLVD.  
PARKER, CO. 80138  
303-269-4014

## DESIGN INFORMATION

ARCHITECT: BOULDER ASSOCIATES  
PHONE: 303-499-7795

ARCHITECT: SMITHGROUP  
PHONE: 303-832-3272

CIVIL ENGINEER: S. A. MIRO, INC  
PHONE: 303-741-3737

LANDSCAPE ARCHITECT: OXBOW DESIGN COLLABORATION  
PHONE: 720-465-6168

STRUCTURAL ENGINEER: MGA STRUCTURAL ENGINEERS, INC.  
PHONE: 719-635-4473

MEPT ENGINEERS: CATOR RUMA & ASSOCIATES CO  
PHONE: 303-232-6200

FIRE PROTECTION: TLH FIRE  
PHONE: 303-517-1775



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



SMITHGROUP

ADVENTHEALTH  
PARKER FACILITY  
EXPANSION

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE  
06/03/2024

PARKER PROJECT NUMBER  
SP24-XXX

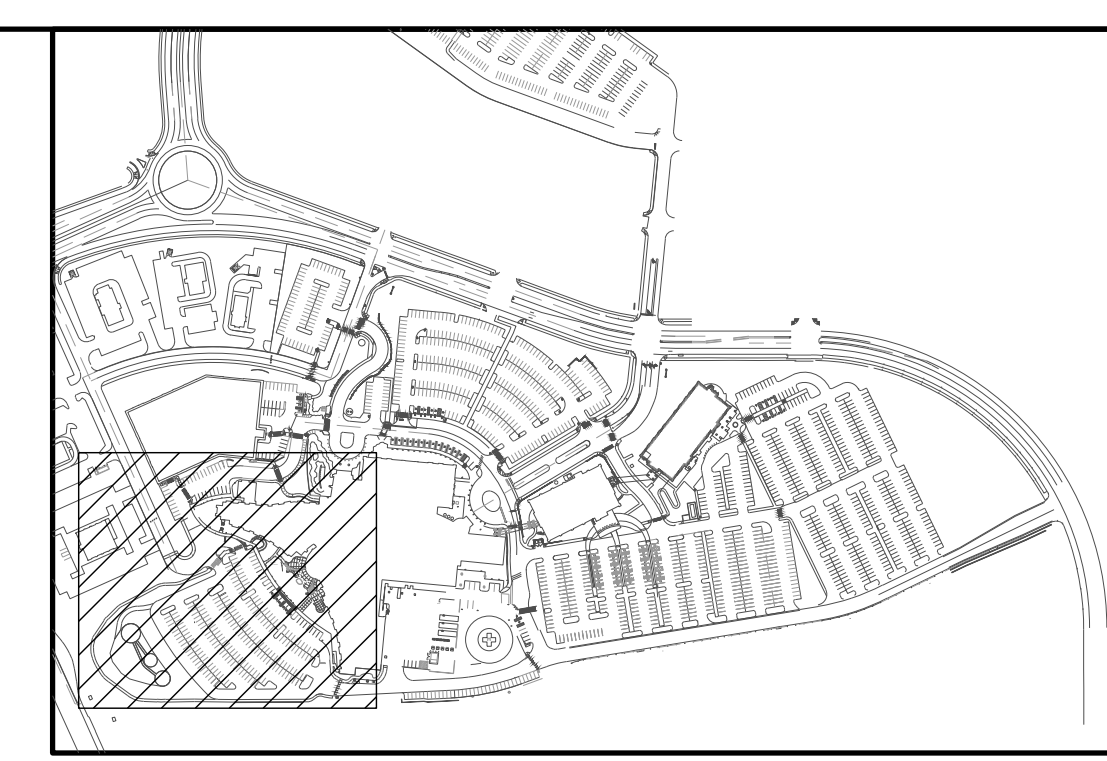
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DRAWING NUMBER

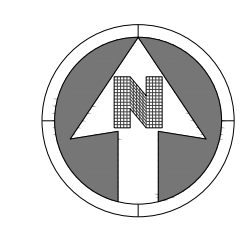
**01 of 19**

# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF  
PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



**KEY MAP**  
NOT TO SCALE

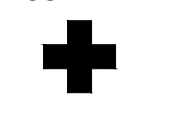


30      0      30  
SCALE: 1" = 30'

- LEGEND:**
- TRAFFIC FLOW ARROW
  - PARKING STALL COUNT  
9'X18' MINIMUM DIMENSIONS



1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
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**ADVENTHEALTH  
PARKER FACILITY  
EXPANSION**

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

SUBMITTALS

DESCRIPTION	DATE
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SP24-XXX

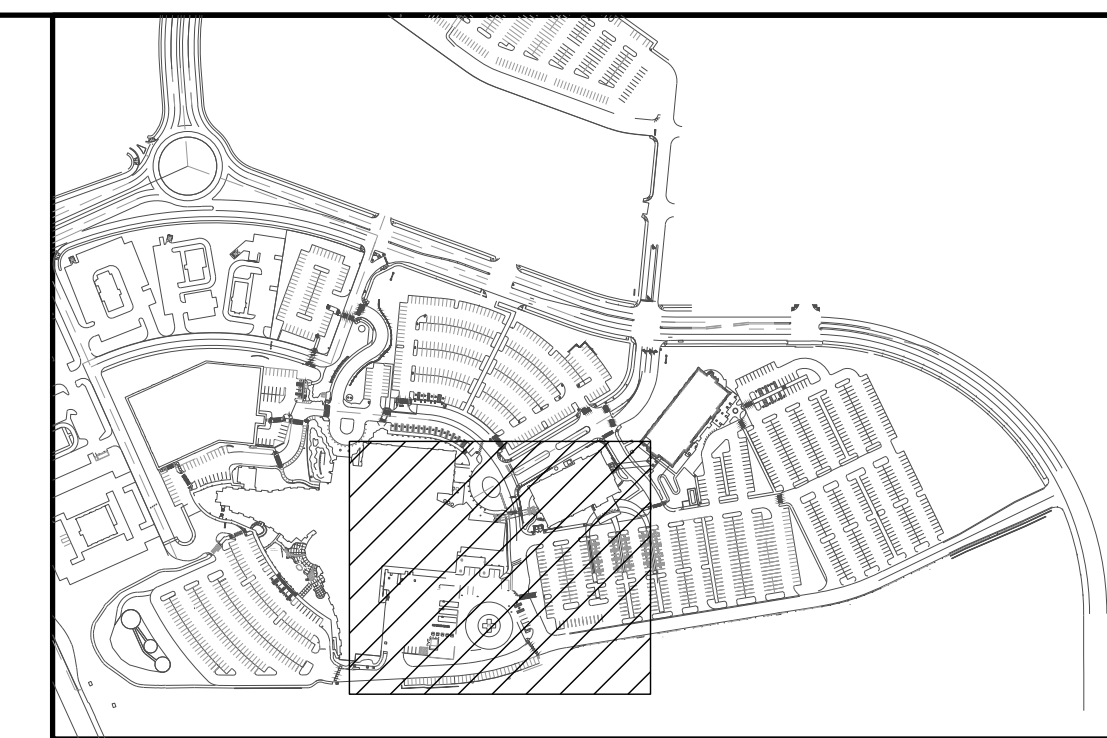
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**SITE PLAN**

DRAWING NUMBER  
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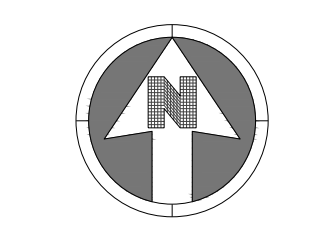
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# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



**KEY MAP**  
NOT TO SCALE

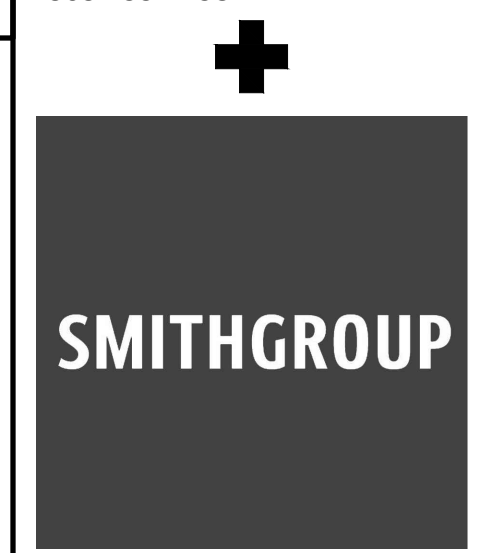


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SCALE: 1" = 30'

- LEGEND:**
- TRAFFIC FLOW ARROW
  - PARKING STALL COUNT  
9'X18' MINIMUM DIMENSIONS

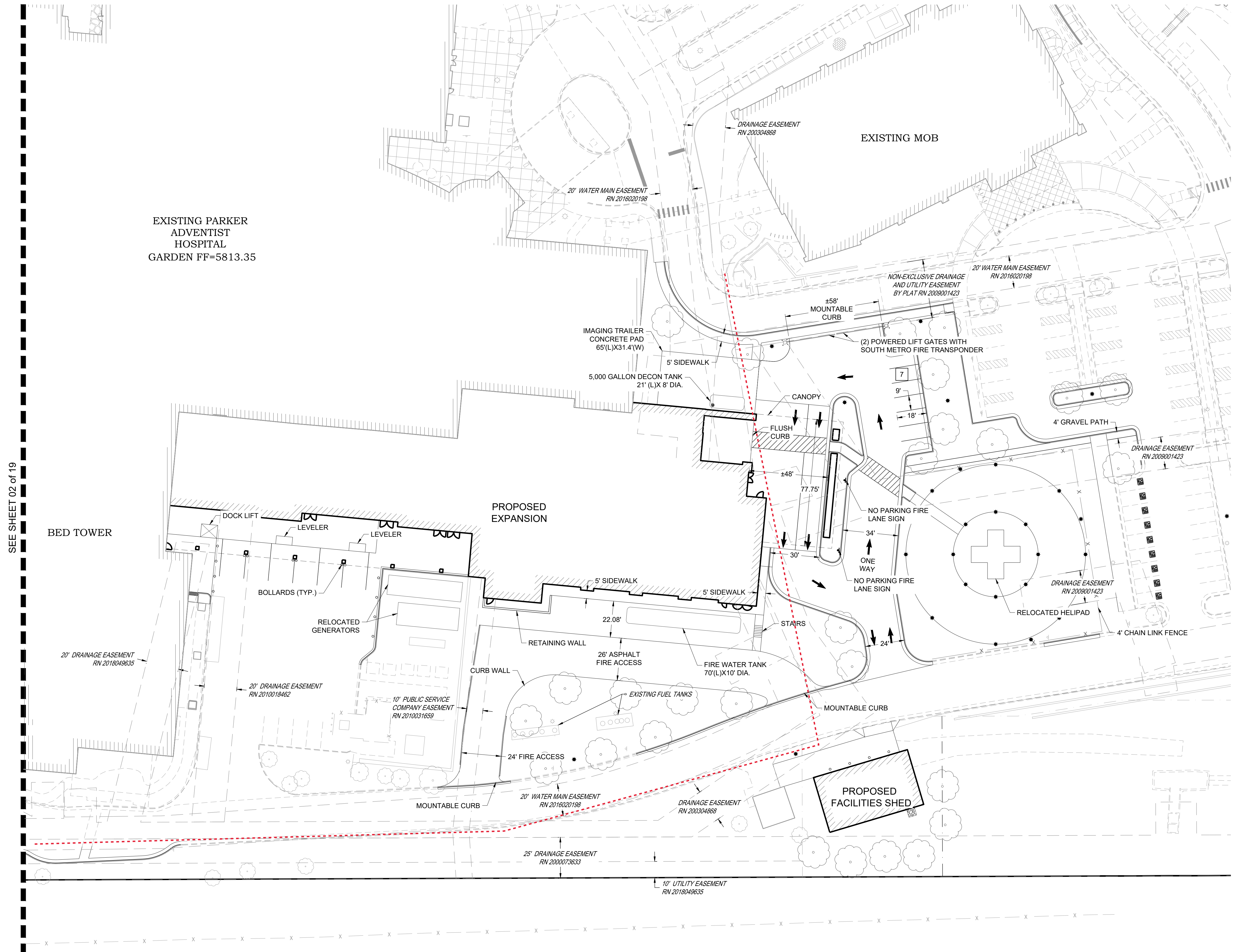


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**ADVENTHEALTH PARKER FACILITY EXPANSION**

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138  
SUBMITTALS  
DESCRIPTION DATE  
1ST SUBMITTAL 06/03/2024



EXISTING PARKER  
ADVENTIST  
HOSPITAL  
GARDEN FF=5813.35

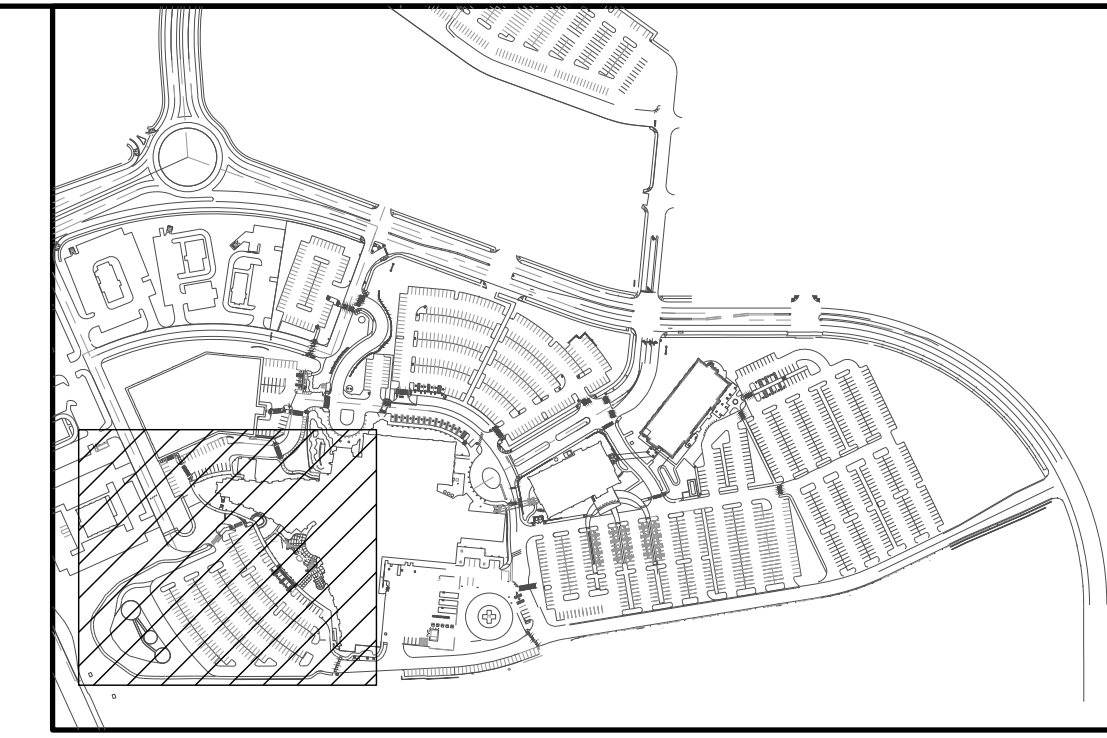
SEE SHEET 02 of 19

THIS DRAWING IS UNLESS OTHERWISE NOTED TO BE IN ACCORDANCE WITH THE 2020 IBC

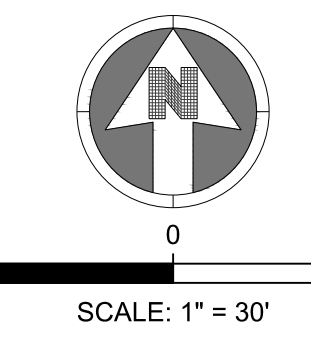
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PARKER PROJECT NUMBER SP24-XXX  
SHEET TITLE **SITE PLAN**  
DRAWING NUMBER **03 of 19**

# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



**KEY MAP**  
NOT TO SCALE



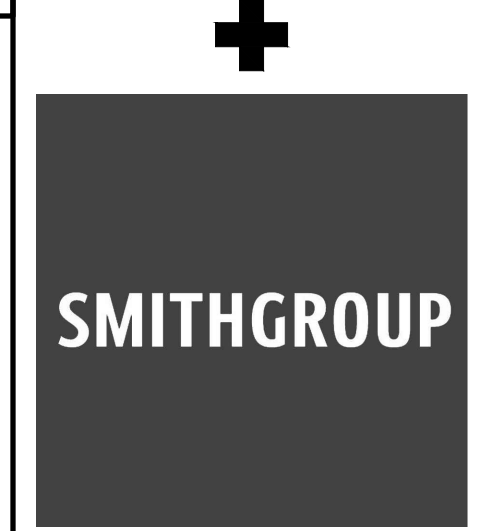
**LEGEND:**

	PROPERTY LINE
	RIGHT OF WAY
	EXISTING BUILDING
	EXISTING CURB AND GUTTER
	EXISTING SIDEWALK
	EXISTING WALL
	EXISTING FENCE
	EXISTING SIGN
	EXISTING LIGHT
	EXISTING TREE
	EXISTING MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING EASEMENT
	EXISTING ELECTRICAL LINE
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING SANITARY LINE
	EXISTING STORM LINE
	EXISTING WATER LINE
	EXISTING STORM INLET
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING MANHOLES

SEE SHEET 05 OF 19



**BOULDER ASSOCIATES**  
1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



## ADVENTHEALTH PARKER FACILITY EXPANSION

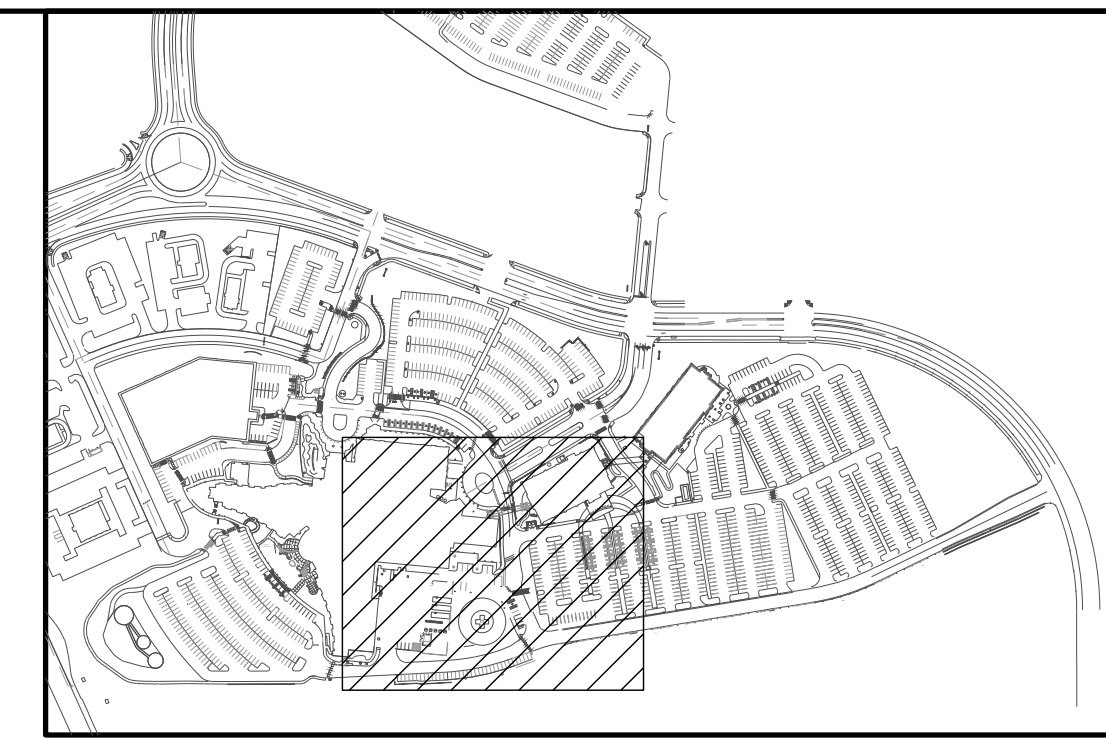
CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138  
SUBMITTALS  
DESCRIPTION DATE  
1ST SUBMITTAL 06/03/2024

DATE	06/03/2024
PARKER PROJECT NUMBER	SP24-XXX
SHEET TITLE	<b>EXISTING CONDITIONS MAP</b>
DRAWING NUMBER	<b>04 of 19</b>

THIS DRAWING IS UNLESS OTHERWISE NOTED TO BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, EDITION 2019, AS AMENDED.

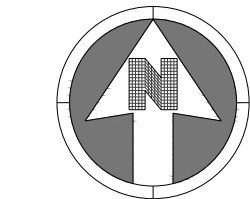
# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

BEING A PART OF THE NORTHWEST QUARTER SECTION 10, T. 6 S., R 66W., 6TH PM, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



KEY MAP

NOT TO SCALE



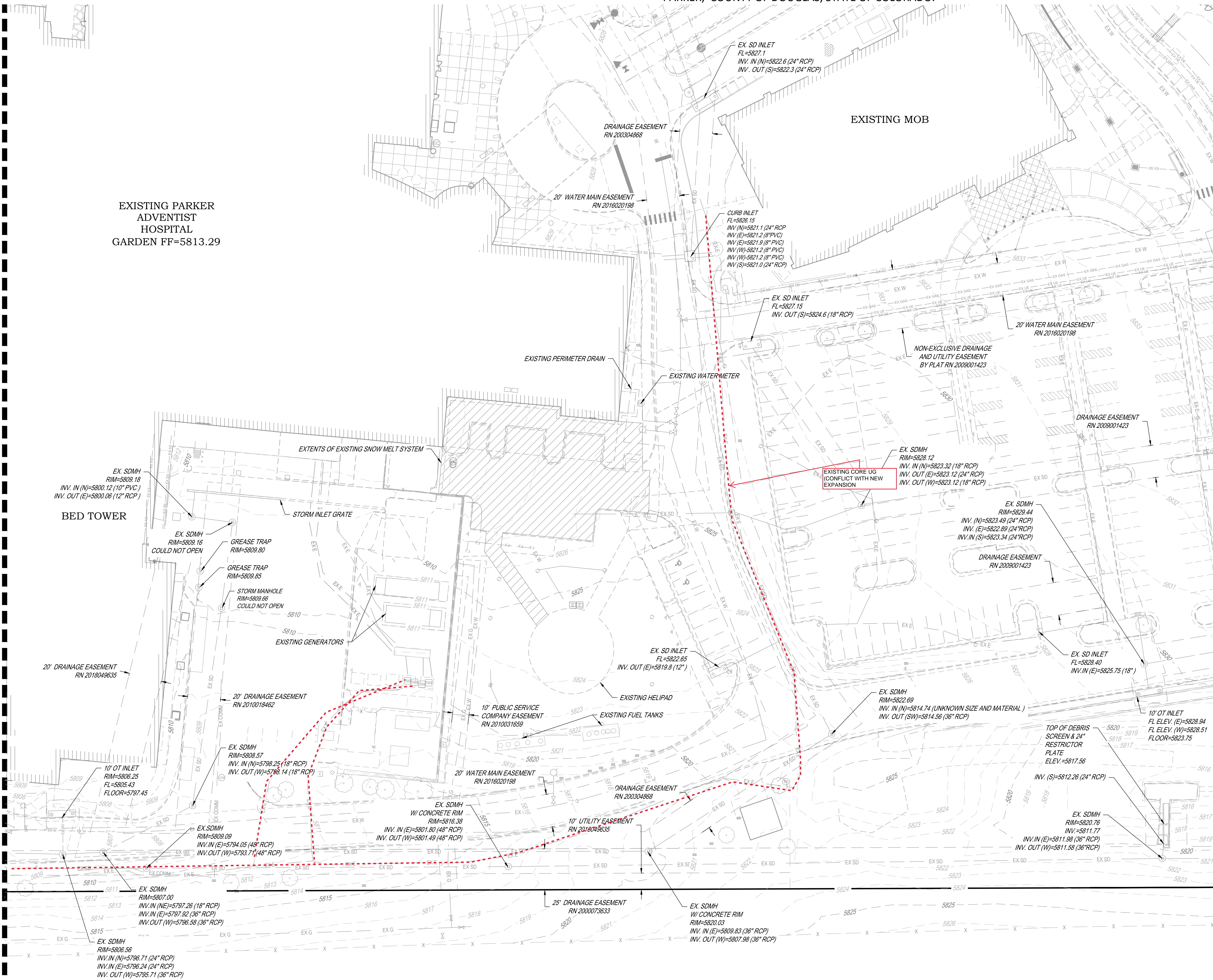
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LEGEND:

- PROPERTY LINE
- RIGHT OF WAY
- EXISTING BUILDING
- EXISTING CURB AND GUTTER
- EXISTING SIDEWALK
- EXISTING WALL
- EXISTING FENCE
- EXISTING SIGN
- EXISTING LIGHT
- EXISTING TREE
- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- EXISTING EASEMENT
- EX E EXISTING ELECTRICAL LINE
- EX FO EXISTING FIBER OPTIC LINE
- EX G EXISTING GAS LINE
- EX T EXISTING TELEPHONE LINE
- EX SS EXISTING SANITARY LINE
- EX SD EXISTING STORM LINE
- EX W EXISTING WATER LINE
- EXISTING STORM INLET
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING MANHOLES

EXISTING PARKER ADVENTIST HOSPITAL GARDEN FF=5813.29

SEE SHEET 04 of 19



1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795

ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMMDT LOT 1, TRACT A & B PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE: 06/03/2024

PARKER PROJECT NUMBER: SP24-XXX

SHEET TITLE: EXISTING CONDITIONS MAP

DRAWING NUMBER: 05 of 19

# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

## PLANTING SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	WIDTH	WATER
<b>DECIDUOUS TREES</b>							
BRO	<i>Quercus macrocarpa</i>	Bur Oak	2.5" cal.	as shown	50-80'	50-80'	L
WHB	<i>Celtis reticulata</i>	Western Hackberry	2.5" cal.	as shown	60'	40'	L
EOK	<i>Quercus robur</i>	English Oak	2.5" cal.	as shown	40 - 60'	30-40'	M
SHL	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	2.5" cal.	as shown	50'	35'	L
SWO	<i>Quercus bicolor</i>	Swamp White Oak	2.5" cal.	as shown	40-60'	40-60'	L - M
WCA	<i>Catalpa speciosa</i>	Western Catalpa	2.5" cal.	as shown	40-60'	30-50'	L
<b>EVERGREEN TREES</b>							
PIN	<i>Pinus edulis</i>	Pinon Pine	6'	as shown	20-30'	10-20'	L
APN	<i>Pinus nigra</i>	Austrian Pine	8'	as shown	50'	20-25'	L
<b>ORNAMENTAL TREES</b>							
RBC	<i>Malus 'Red Barron'</i>	Red Barron Crabapple	1.5" cal.	as shown	10'	10'	M
SSC	<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	1.5" cal.	as shown	20'	15'	M
<b>EVERGREEN SHRUBS</b>							
MZT	<i>Arctostaphylos x coloradensis</i> 'Panchito'	Panchito Manzanita	#5	4' o.c.	2'	4'	L
DMP	<i>Pinus mugo 'Pumilo'</i>	Dwarf Mugo Pine	#5	4' o.c.	3-4'	3-4'	L
BFJ	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	#5	4' o.c.	12"	6'	L
WCJ	<i>Juniperus horizontalis 'Wiltoni'</i>	Wilton Carpet Juniper	#5	6' o.c.	6"	6'	L
SKY	<i>Juniperus virginiana 'Skyrocket'</i>	Skyrocket Juniper	#5	4' o.c.	4-6'	20'	L
<b>DECIDUOUS SHRUBS</b>							
DGM	<i>Acer ginnala 'Compacta'</i>	Dwarf Ginnala Maple	#5	6' o.c.	8'	8'	M
BMS	<i>Caryopteris clandonensis</i>	Blue Mist Spirea	#5	3.5' o.c.	3-5'	3-5'	M
APO	<i>Potentilla fruticosa 'Abbotswood'</i>	Abbotswood Potentilla	#5	3' o.c.	3'	3'	M
LPS	<i>Spiraea japonica 'Little Princess'</i>	Little Princess Spirea	#5	2' o.c.	2-3'	2-4'	M
RSG	<i>Perovskia artiplicifolia</i>	Russian Sage	#5	4' o.c.	4'	4'	L
GLS	<i>Rhus aromatica 'Grow Low'</i>	Gro-Low Sumac	#5	8' o.c.	3'	8'	L
DKL	<i>Syringa meyeri</i>	Dwarf Korean Lilac	#5	4' o.c.	4-6'	4-6'	L
RWP	<i>Rosa 'Winnipeg Parks'</i>	Winnipeg Parks Rose	#5	4' o.c.	3'	4'	L
SSU	<i>Rhus typhina</i>	Staghorn Sumac	#5	6' o.c.	10-25'	10-25'	L
DBR	<i>Ericameria nauseosa var. nauseosa</i>	Dwarf Blue Rabbitbrush	#5	3' o.c.	3'	3'	L
MKL	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Dwarf Lilac	#5	4' o.c.	3-5'	3-5'	L
MHV	<i>Viburnum lantana 'Mohican'</i>	Mohican Viburnum	#5	6' o.c.	6-8'	6-8'	L
<b>ORNAMENTAL GRASSES</b>							
FRG	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#1	2-3' o.c.	3-4'	2-3'	M
BAG	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	#1	24" o.c.	2-3'	2'	M
DFG	<i>Pennisetum alopecuroides 'Hamel'</i>	Hardy Fountain Grass (Dwarf)	#1	2' o.c.	2-3'	2'	L

## LOW GROW NATIVE PRAIRIE MIX:

BOTANICAL NAME	COMMON NAME	%	PLS / ACRE
<i>Agropyron cristatum</i>	Ephraim Crested Wheatgrass	25	6.25
<i>Festuca ovina</i>	Sheep Fescue	23	5.75
<i>Lolium perenne</i>	Perennial Ryegrass	18	4.5
<i>Poa compressa</i>	Canada Bluegrass	13	3.25
<i>Hordeum vulgare</i>	Barley	12	3
<i>Festuca glauca</i>	Blue Fescue	9	2.25
<b>Total lbs per acre.:</b>		<b>100</b>	<b>25</b>

## PLANTING NOTES:

- ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
- SEE PLANTING DETAILS FOR PLANT PIT DIMENSIONS, BACKFILL REQUIREMENTS, AND INSTALLATION NOTES. ALL TREES TO BE STAKED OR GUYED PER DETAILS ON SHEET L4.2.
- ALL PLANTS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY TO THE SITE. ALL TREE LOCATIONS AND EDGES OF NEW PLANTING BEDS ARE TO BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE AS CALLED OUT ON PLANS. UNIT COSTS TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC. AS DETAILED AND SPECIFIED FOR EACH SIZE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
- COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH FOOTINGS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- IMPORTED SOIL SHALL BE USED TO SUPPLEMENT EXISTING SOIL AS NECESSARY TO MEET THE FINISHED GRADING REQUIREMENTS OF PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL PERFORM A STANDARD AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL PROPOSED FOR PLANTING AT HIS EXPENSE AND INCORPORATE RECOMMENDATIONS PER DENVER WATER AMENDMENT REQUIREMENTS PRIOR TO PLANTING.
- INSTALL A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PER 1000 SQUARE FEET OF PERMEABLE AREA TO BE PLANTED WITH SOD, SHRUBS, GRASSES, OR PERENNIALS. AMENDMENT SUPPLIER SHALL BE AT ORGANICS OF EATON, COLORADO.
- ALL TREES, SHRUBS, PERENNIALS, SOD AND SEEDED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
- TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- STREET TREES SHALL BE PLACED 5'-0" MIN. FROM BURIED UTILITIES.
- TREE WRAPPING MATERIAL SHALL BE FOUR INCHES WIDE, BITUMINOUS IMPREGNATED TAPE, CORRUGATED OR CREPE PAPER, BROWN IN COLOR, SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREES SHALL BE WRAPPED BETWEEN OCTOBER 15 AND NOVEMBER 1 OF THE YEAR THEY ARE PLANTED. NO TREE WRAPPING SHALL BE PERMITTED UNTIL A LICENSED LANDSCAPE CONTRACTOR OR CERTIFIED ARBORIST HAS INSPECTED THE TREE. IT IS THE DUTY OF THE CONTRACTOR TO WRAP DECIDUOUS TREES DURING THE ONE-YEAR WARRANTY PERIOD.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.

## GENERAL NOTES:

- THE BASE INFORMATION PROVIDED BY ENGINEER. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL MATERIAL LOCATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT ARE FOUND.
- THE CONTRACTOR SHALL HAVE ONE (1) APPROVED COPY OF PLANS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES. THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL NOT BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR IS ADVISED THAT ALL EXISTING TREES AND SHRUBS ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED IN THE PLANS. CARE SHALL BE TAKEN TO PROTECT ALL TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGES CAUSED BY THE CONTRACTOR S SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONSTRUCTION BARRICADES, SIGNS, AND WARNING DEVICES NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS TO PERFORM ALL PROPOSED WORK AND SHALL COMPLY WITH ALL NOTIFICATION AND INSPECTION REQUIREMENTS.
- CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, (ETC). LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MODIFICATIONS OR DAMAGES TO THE UTILITY LINES, STRUCTURES OR INJURIES THEREFROM. FOR EXISTING UTILITY INFORMATION CONTACT "THE UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987. A MINIMUM OF THREE (3) BUSINESS DAY NOTICE IN ADVANCE OF LOCATIONS NEEDED ARE REQUIRED.
- CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPE & HARDSCAPE MATERIALS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, SANDSTONE BOULDERS (ETC).
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONSTRUCTION HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTOR'S ASSOCIATION.



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



## ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE  
06/03/2024

PARKER PROJECT NUMBER  
SP24-XXX

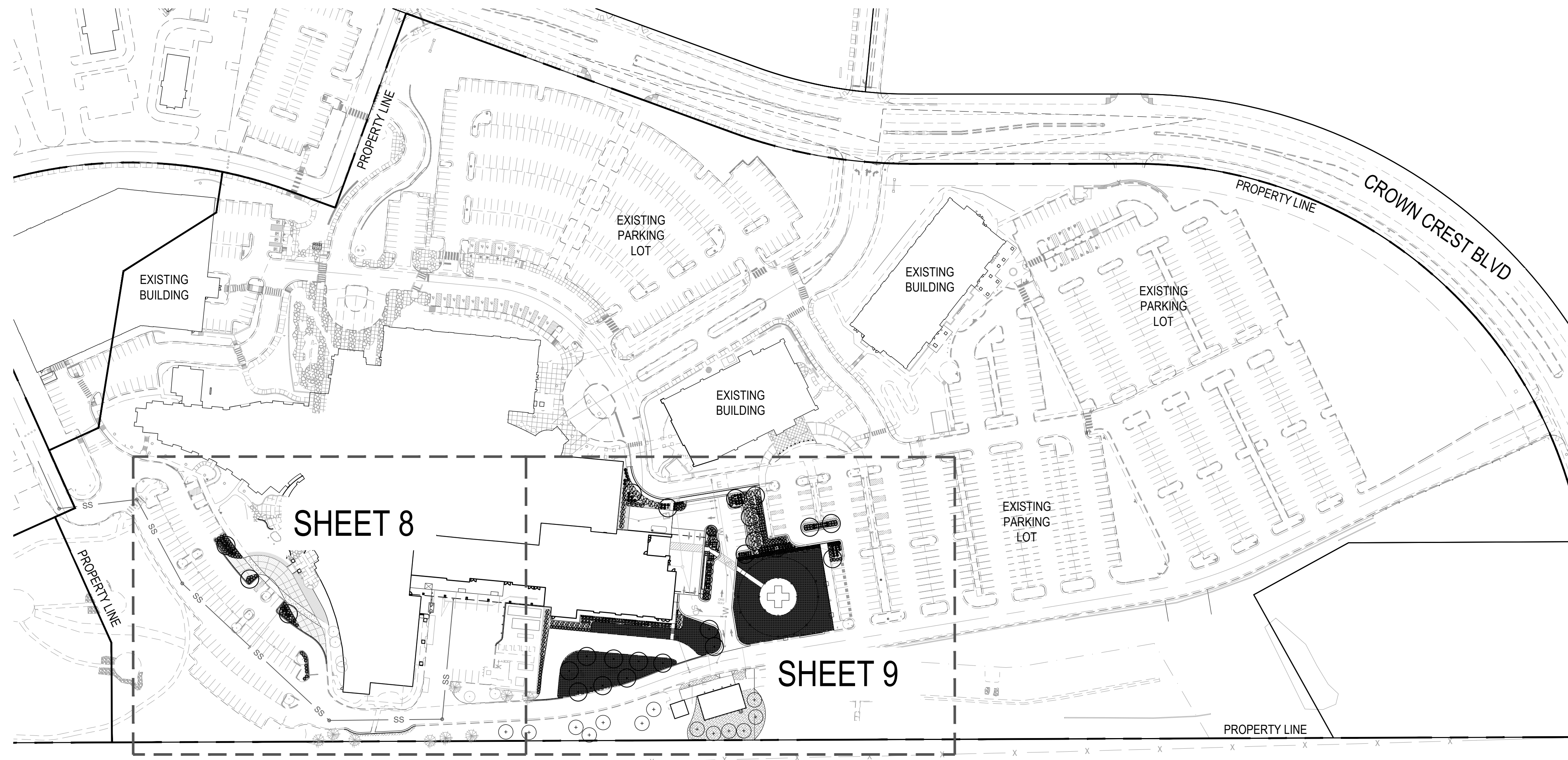
SHEET TITLE  
**LANDSCAPE  
COVER SHEET**

DRAWING NUMBER

**6 of 19**

# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



### OVERALL LANDSCAPE CHART:

LANDSCAPE AREA (1 TREE AND 5 SHRUBS PER 1,500 SF)	TREES REQ.	TREES PROVIDED	SHRUBS REQ.	SHRUBS PROVIDED
34,190 SF	23	44 (13 EVERGREEN TREES / 44 TOTAL TREES = 30%)	114	418

1 LANDSCAPE PLAN  
7 SCALE: 1"=100"

### PARKING LOT ISLAND LANDSCAPE CHART:

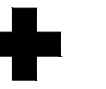
ISLAND TYPE	AREA OF THE ISLAND	# OF TREES REQUIRED (1/162 FT)	# OF TREES PROVIDED	# OF SHRUBS REQUIRED (5/162 FT)	# OF SHRUBS PROVIDED
ISLAND 1	652 SQ. FT	1	1	38	38
ISLAND 2	120 SQ. FT	1	1	4	7
ISLAND 3	433 SQ. FT.	1	1	23	23
ISLAND 4	385 SQ. FT	1	1	20	23
ISLAND 5	316 SQ. FT	1	2	15	16
ISLAND 6	563 SQ. FT	1	1	32	41
ISLAND 7	337 SQ. FT	1	1	17	17
TOTALS:	2,696 SQ. FT	7	6	140	155

\*(1) EXTRA TREE IS BEING PROVIDED = 10 SHRUBS.



BOULDER ASSOCIATES

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BOULDER, COLORADO 80302  
303.499.7795



### ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE  
06/03/2024

PARKER PROJECT NUMBER  
SP24-XXX

SHEET TITLE  
**OVERALL  
LANDSCAPE PLAN**

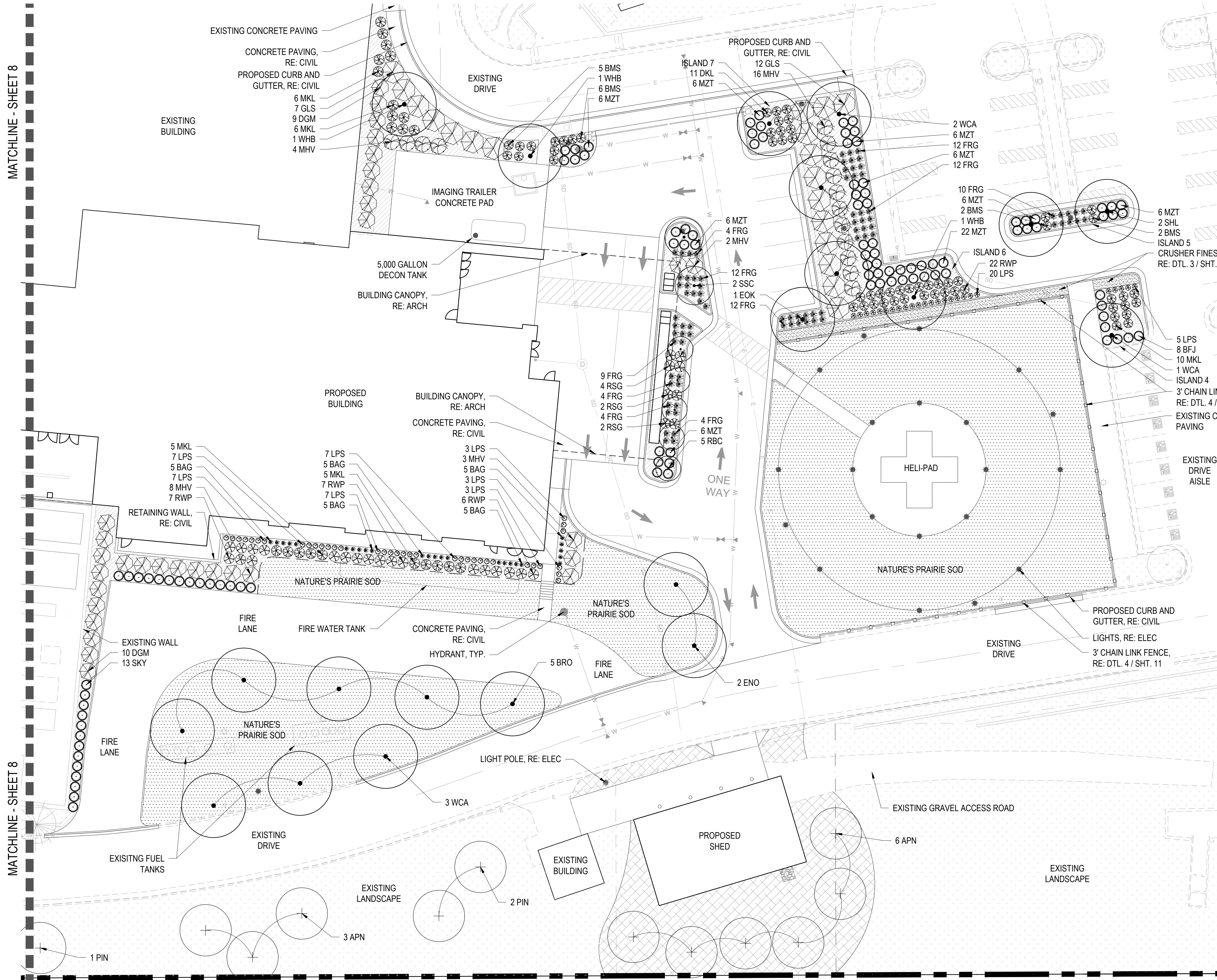
DRAWING NUMBER

**7 of 19**



# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



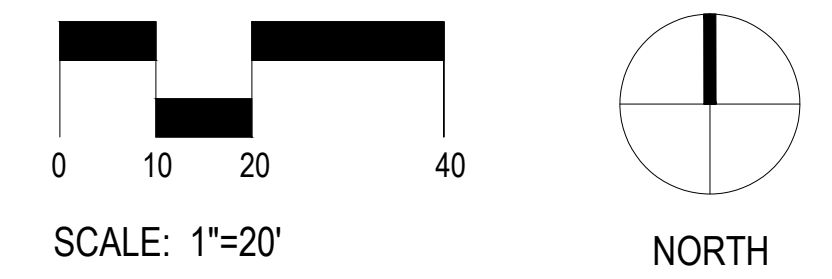
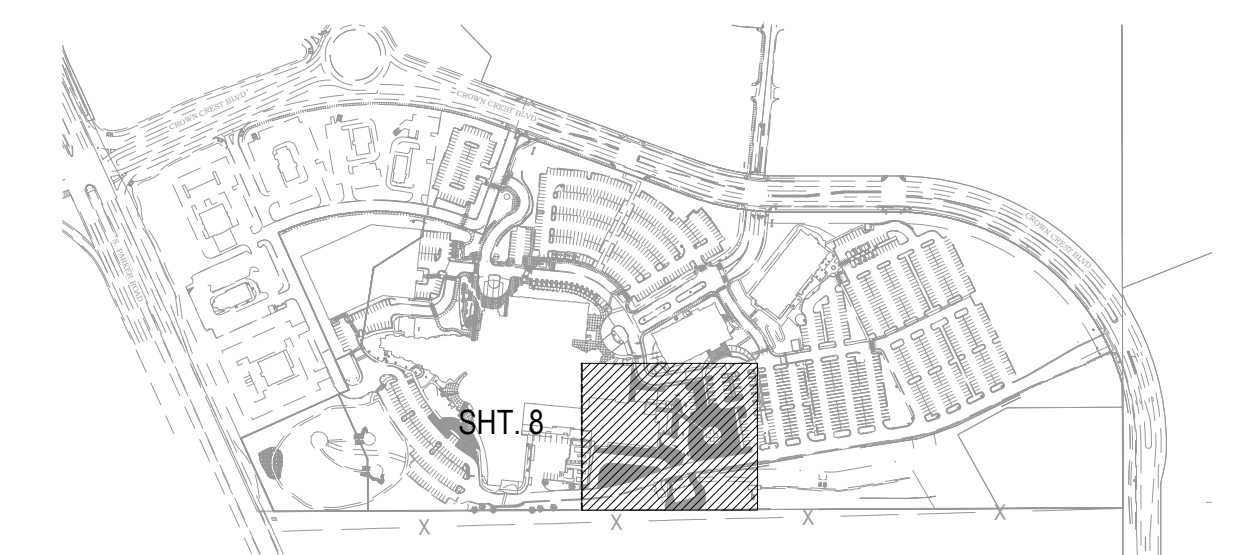
### MATERIAL LEGEND:

- PROPERTY LINE
- MATCHLINE
- STEEL EDGER
- 3' CHAIN LINK FENCE
- CONCRETE PAVING TYPE I - VEHICULAR (6" TH) W/ TOOLED JOINTS  
COLOR: INTEGRAL COLOR. COLOR: TBD  
FINISH: LIGHT ACID ETCH
- CONCRETE PAVING TYPE II - VEHICULAR (6" TH) W/ TOOLED JOINTS  
COLOR: STANDARD GRAY  
FINISH: LIGHT BROOM
- 1-1/2" RIVER ROCK MULCH

### PLANTING LEGEND:

- DECIDUOUS SHADE TREE
- EXISTING TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- PERENNIALS
- LOW GROW NATIVE SEED MIX
- NATURE'S PRAIRIE SOD  
PRODUCER: TURF MASTERS LLC
- EXISTING LANDSCAPE

### KEY MAP:



MATCHLINE - SHEET 8

MATCHLINE - SHEET 8

5/28/2024 2:48:57 PM  
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1 LANDSCAPE PLAN  
9 SCALE: 1" = 20'



BOULDER ASSOCIATES  
1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



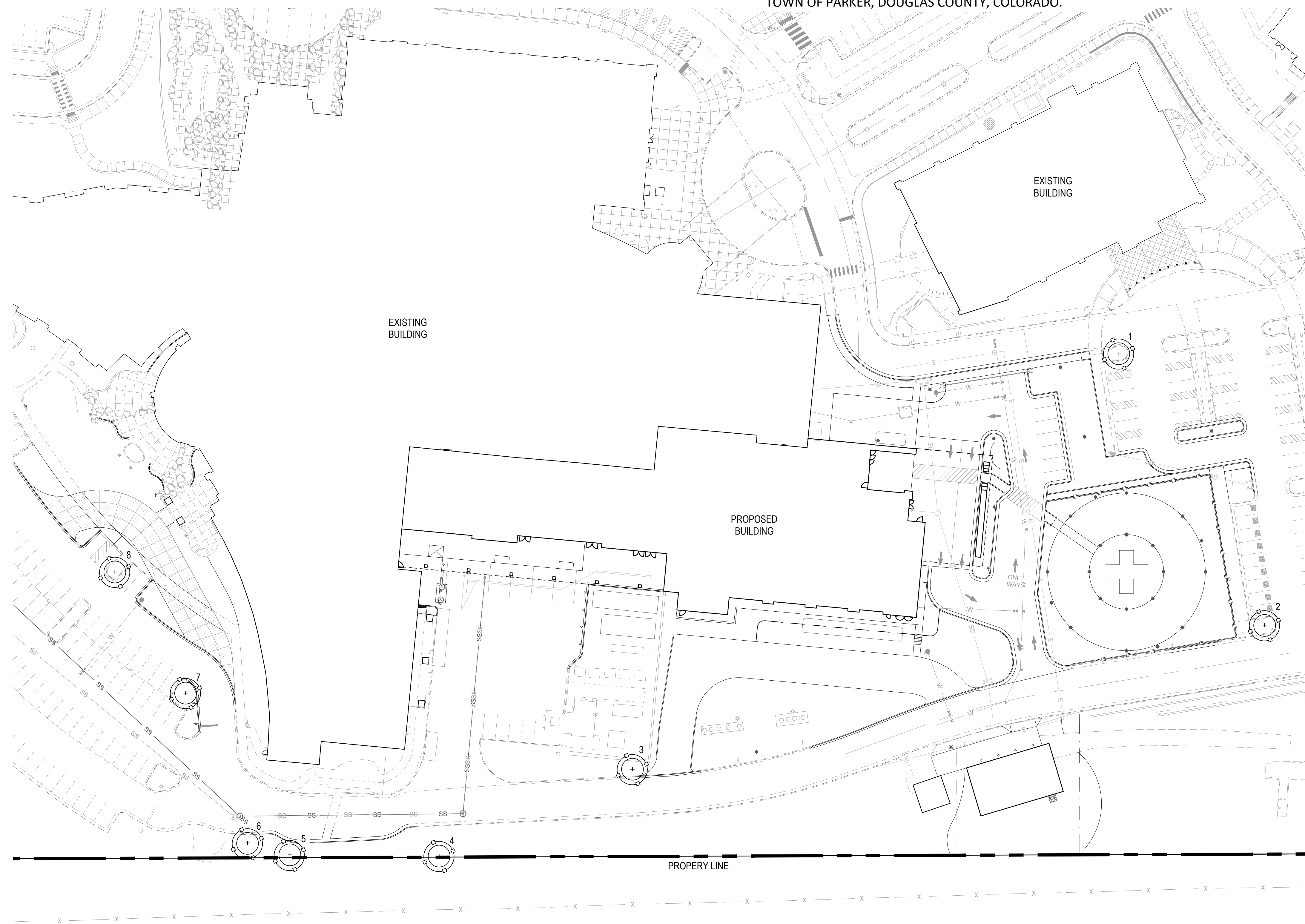
ADVENTHEALTH  
PARKER FACILITY  
EXPANSION

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138  
SUBMITTALS  
DESCRIPTION DATE  
1ST SUBMITTAL 06/03/2024

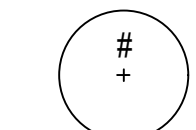
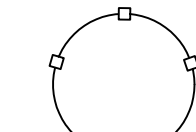

DATE 06/03/2024  
PARKER PROJECT NUMBER SP24-XXX  
SHEET TITLE LANDSCAPE PLAN  
DRAWING NUMBER 9 of 19

# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



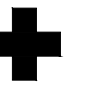
## TREE CONSERVATION LEGEND:

-  EXISTING TREES TO BE PRESERVED
-  TREE PROTECTION FENCING, RE: DTL 2 / SHT. 12
-  PROPERTY LINE



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



SMITHGROUP

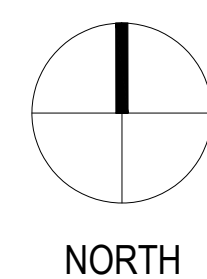
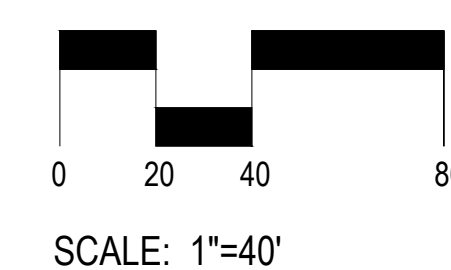
## ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

5/28/2024 2:48:57 PM Autodesk Docs/723635.XM AdventHealth Parker Hospital (24/23635.00) AM Parker CS-A.rvt

1 TREE CONSERVATION PLAN  
10 SCALE: 1" = 40'



DATE  
06/03/2024

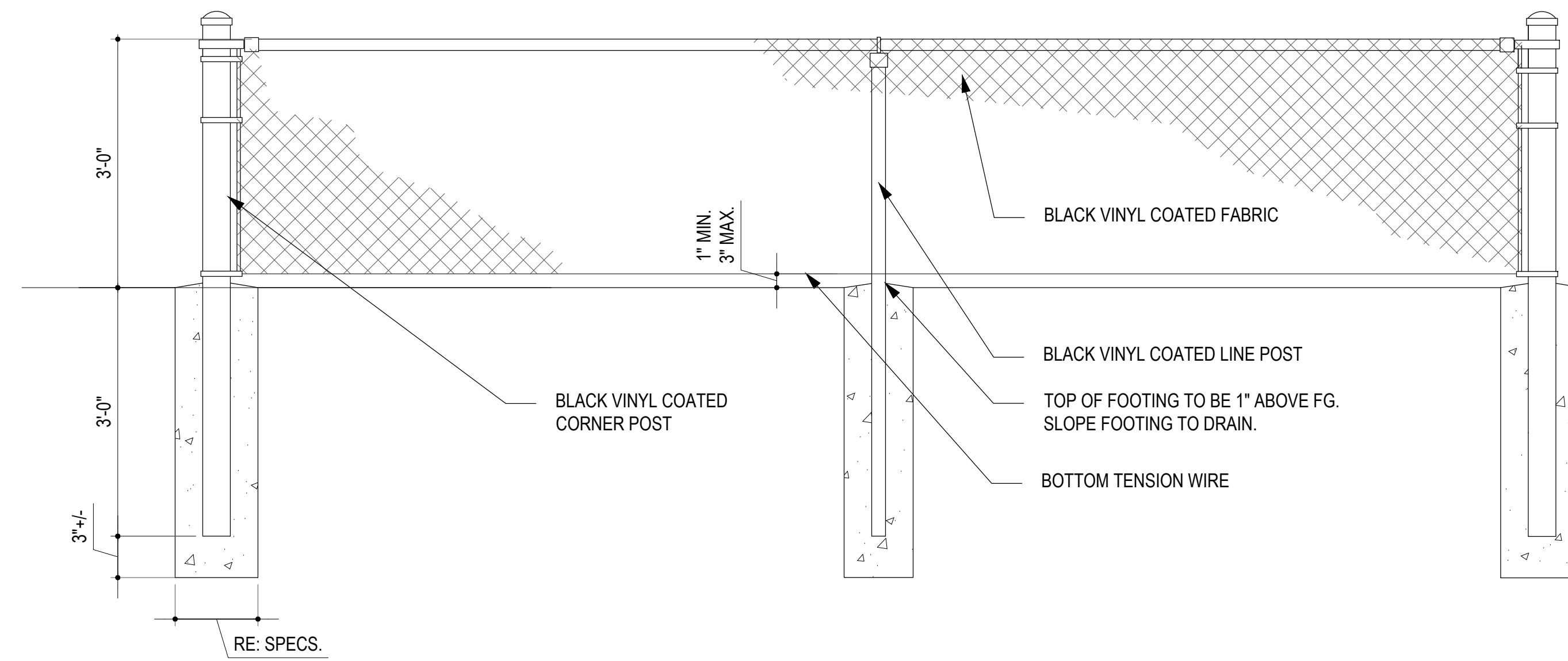
PARKER PROJECT NUMBER  
SP24-XXX

SHEET TITLE  
**TREE CONSERVATION PLAN**

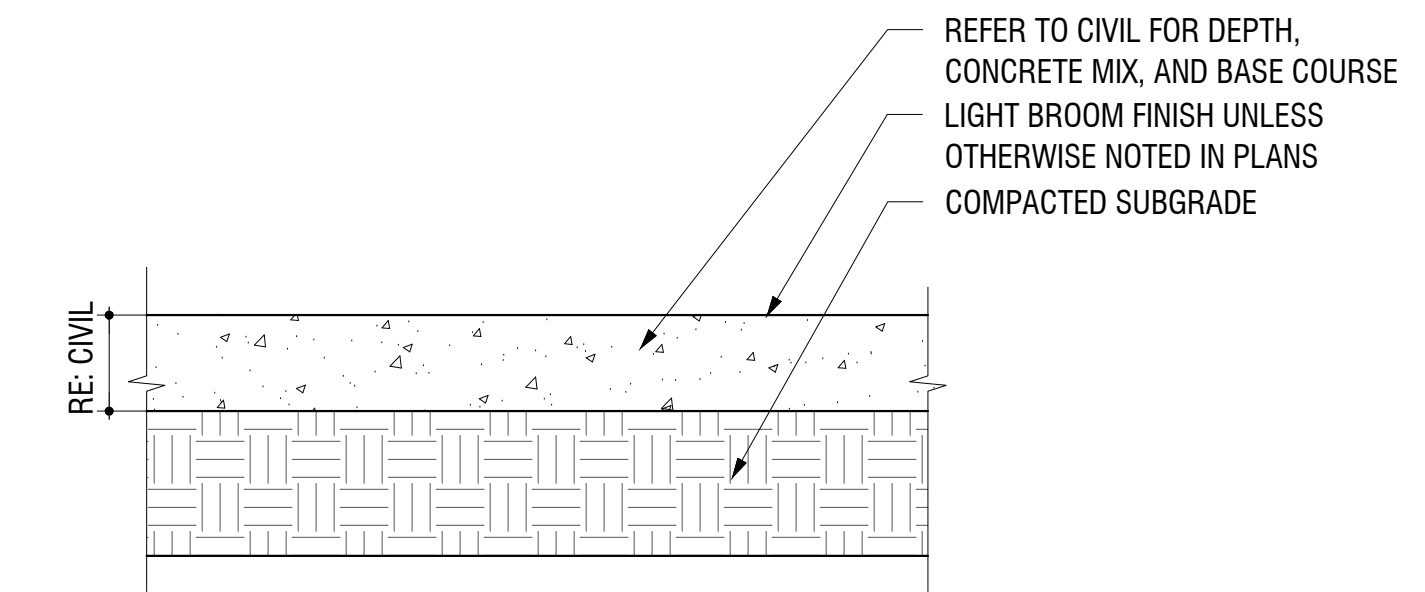
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**10 of 19**

# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

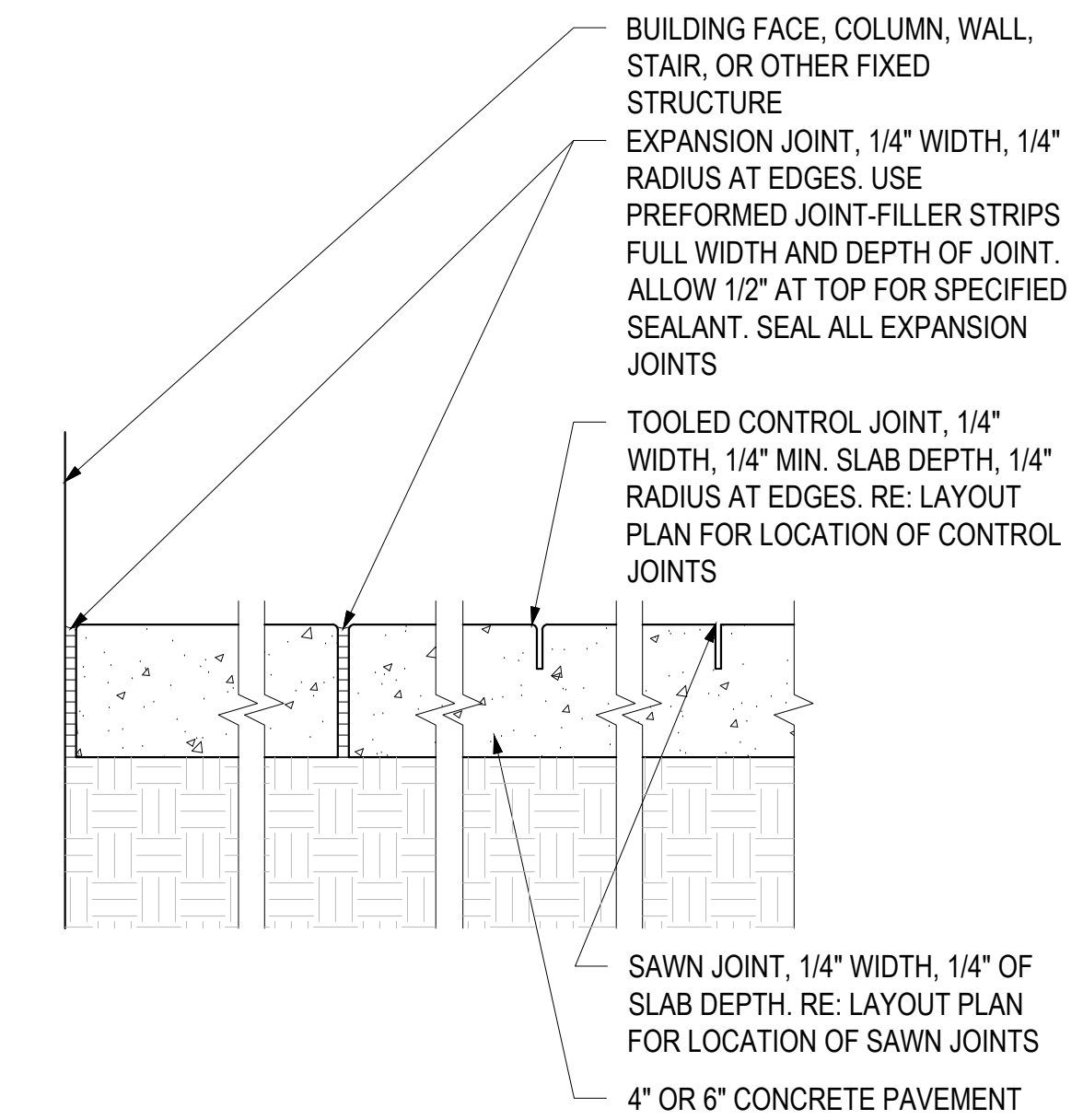
LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



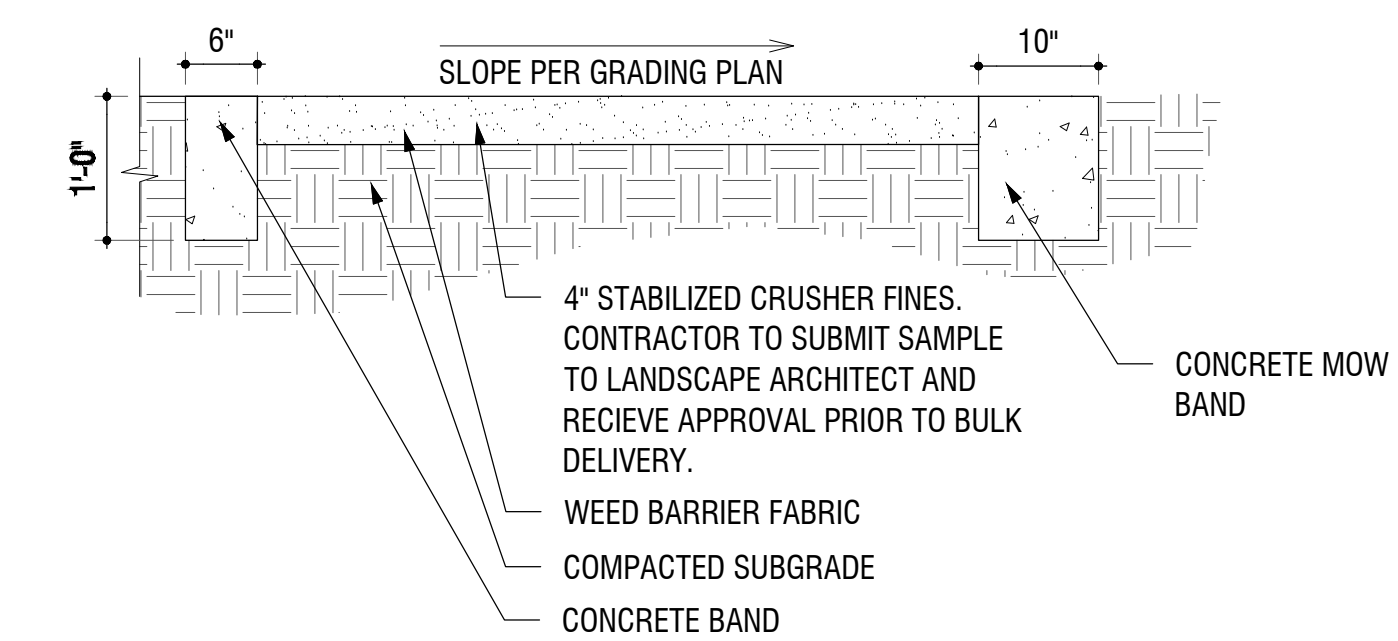
4  
11 3' CHAIN LINK DETAIL  
SCALE: 1/2" = 1'-0"



1  
11 CONCRETE PAVING DETAIL - PEDESTRIAN  
SCALE: 1 1/2" = 1'-0"



2  
11 CONCRETE JOINTING  
SCALE: 1-1/2" = 1'-0"



3  
11 CRUSHER FINES DETAIL  
SCALE: 3/4" = 1'-0"



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



SMITHGROUP

ADVENTHEALTH  
PARKER FACILITY  
EXPANSION

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE  
06/03/2024

PARKER PROJECT NUMBER  
SP24-XXX

SHEET TITLE

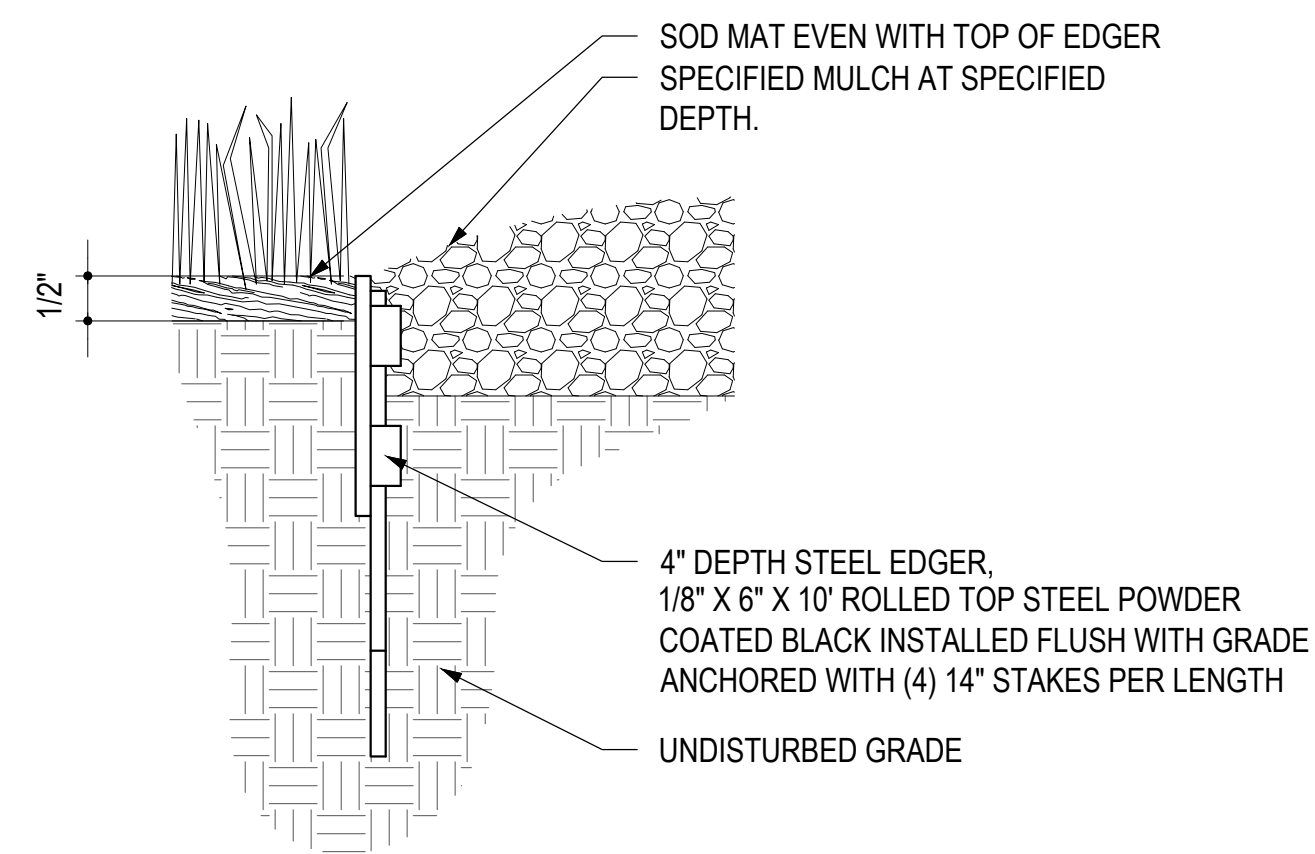
SITE DETAILS

DRAWING NUMBER

11 of 19

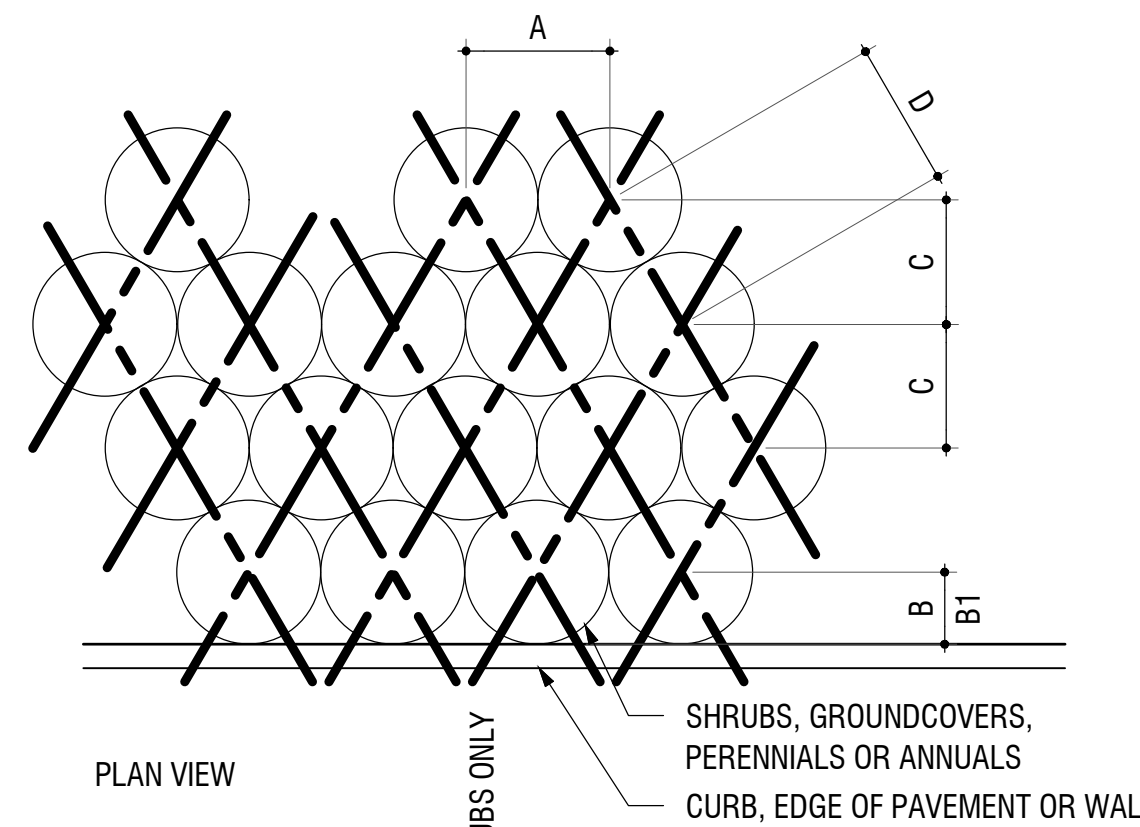
# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



6 STEEL EDGER DETAIL

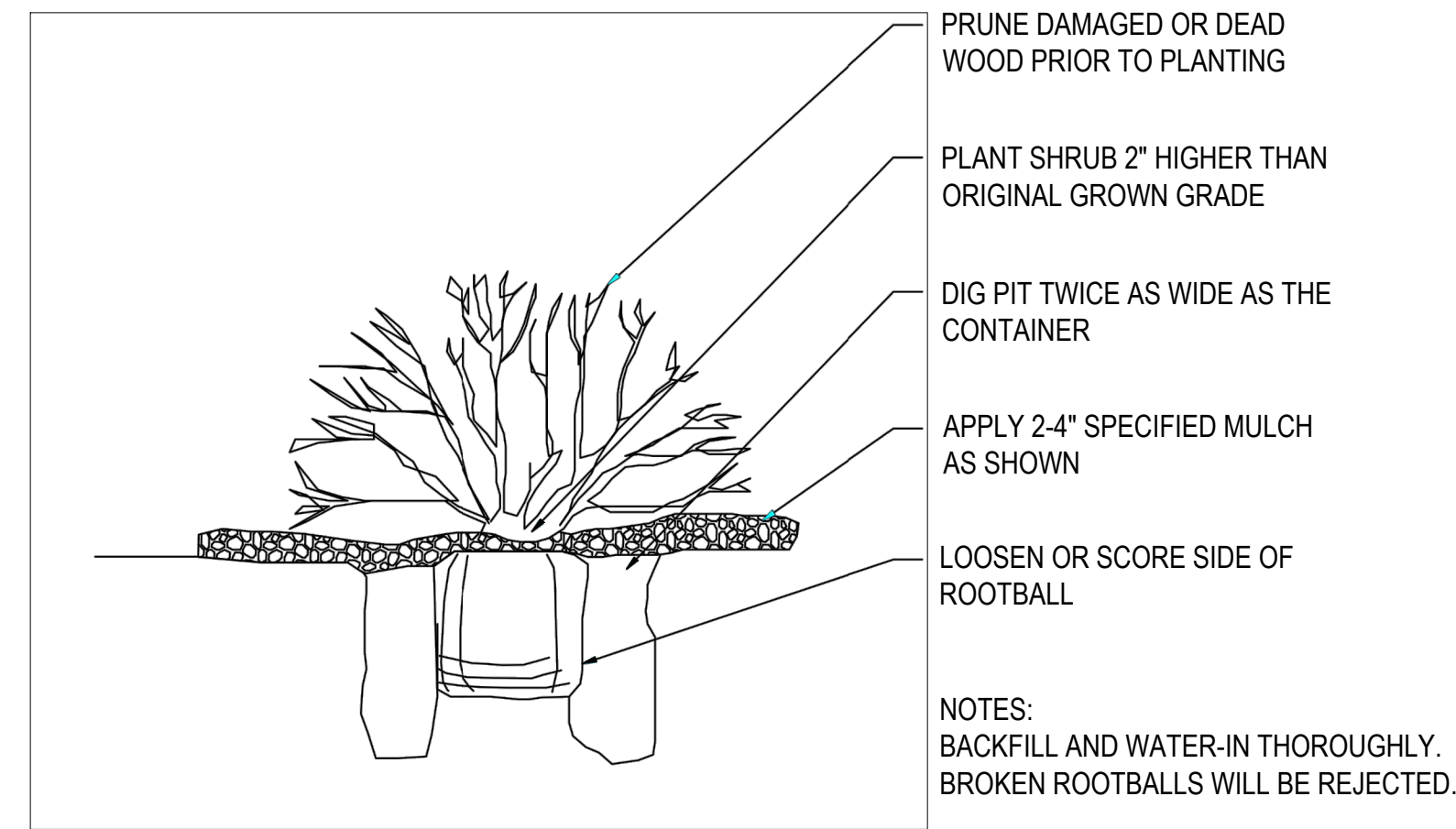
12 SCALE: 3/4" = 1'-0"



PLANT SPACING	A	B	B1	C	D
6"	6"	6"	6"	5"	6"
8"	8"	6"	8"	7"	8"
12"	12"	6"	12"	10"	12"
18"	18"	8"	18"	15"	18"
24"	24"	18"	24"	20"	24"
30"	30"	18"	30"	26"	30"
36"	36"	24"	36"	31"	36"
48"	48"	24"	48"	41"	48"

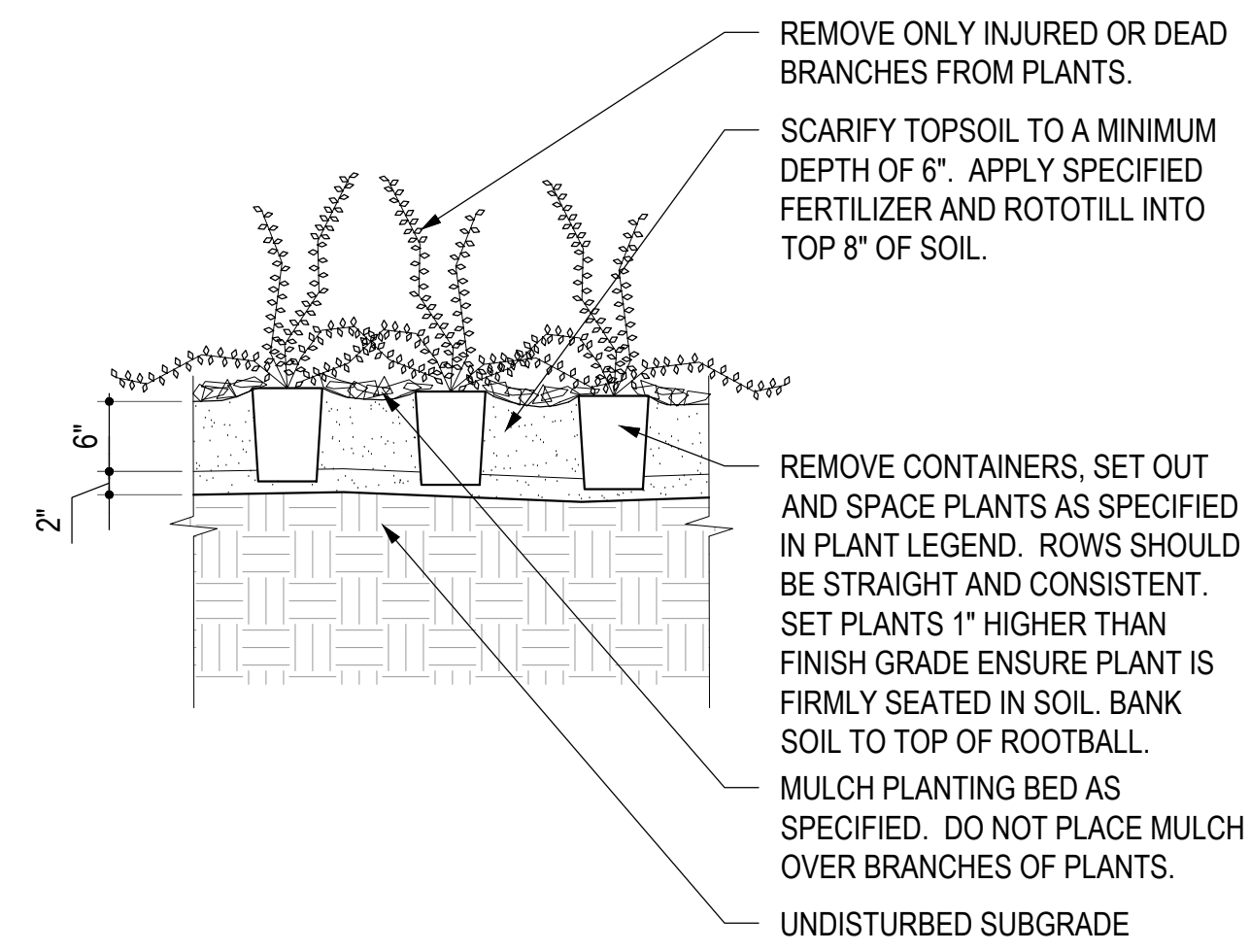
7 PLANT SPACING DETAIL

12 SCALE: 3/4" = 1'-0"



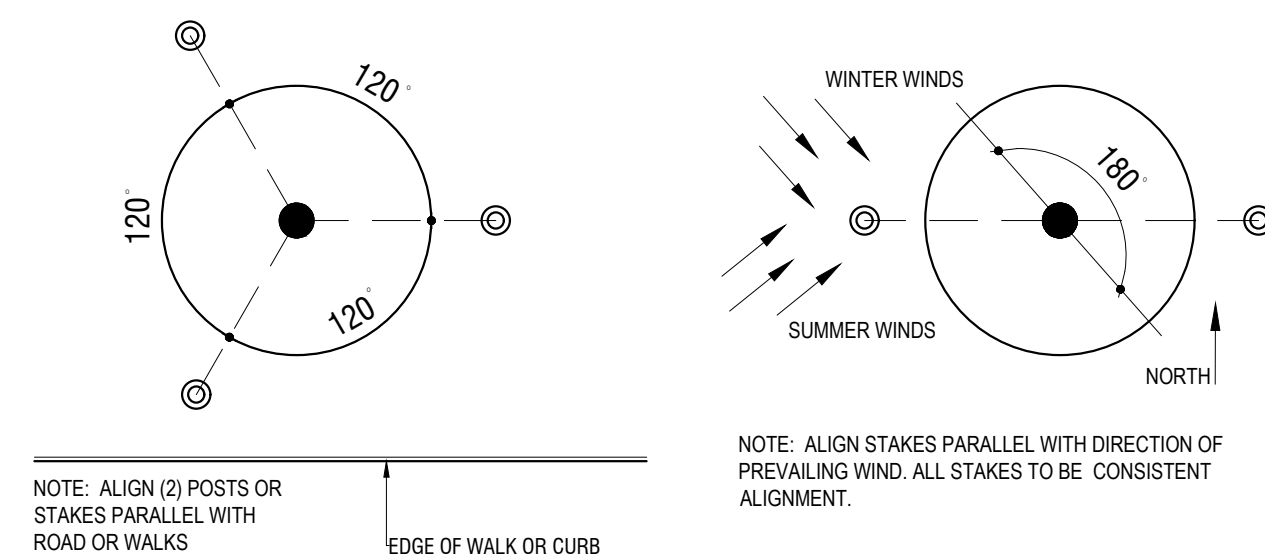
3 SHRUB PLANTING DETAIL

12 SCALE: 1/2" = 1'-0"



4 GROUNDCOVER DETAIL

12 SCALE: 3/4" = 1'-0"



NOTE: ALIGN (2) POSTS OR STAKES PARALLEL WITH ROAD OR WALKS

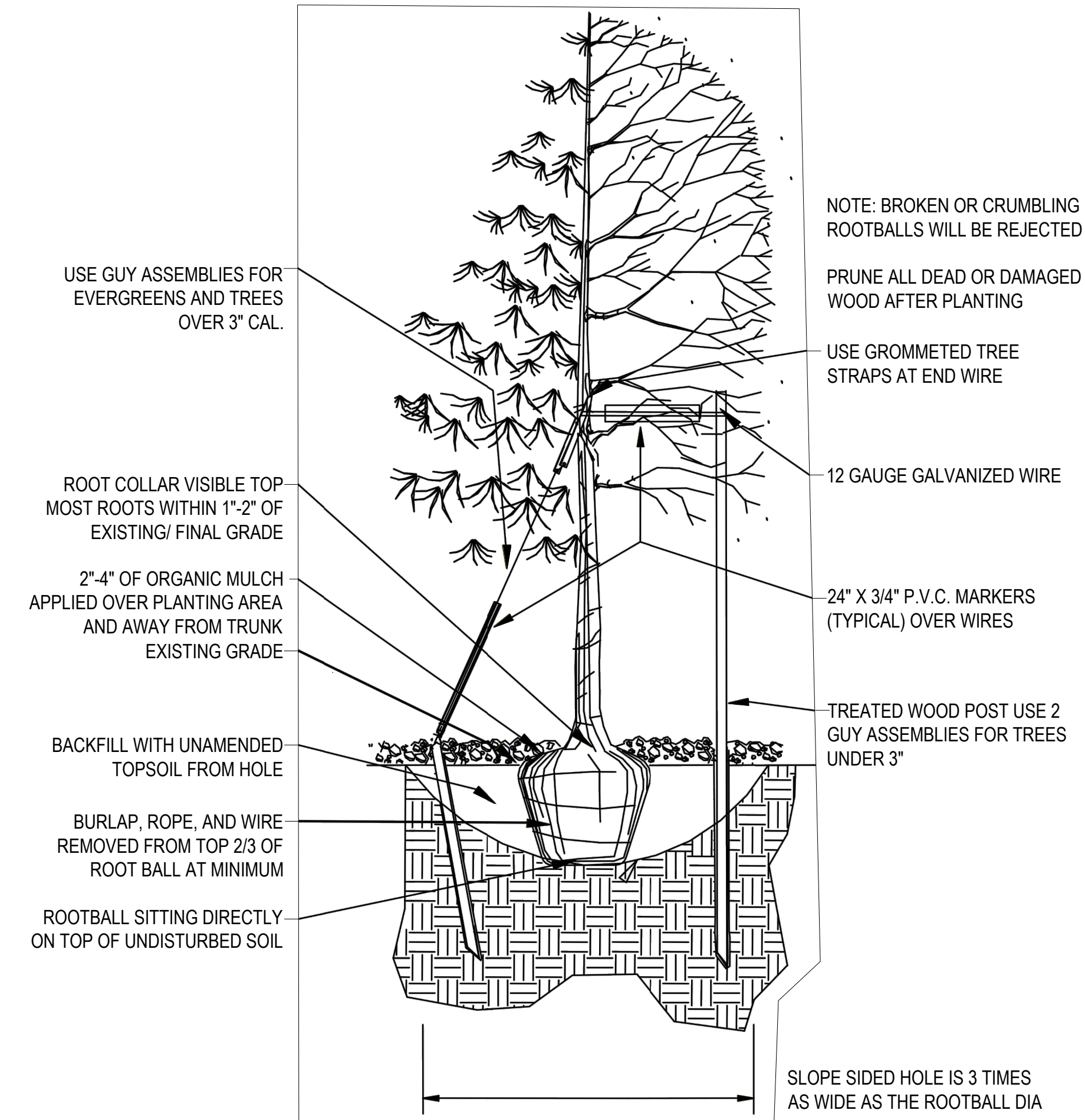
NOTE: ALIGN STAKES PARALLEL WITH DIRECTION OF PREVAILING WIND. ALL STAKES TO BE CONSISTENT ALIGNMENT.

TREE GUYING OR THREE STAKE LAYOUT

TREE GUYING IN OPEN AREAS

5 TREE GUYING DETAIL

12 SCALE: 3/4" = 1'-0"



1 TREE PLANTING DETAIL

12 SCALE: 1/2" = 1'-0"

AREA 1  
DENOTES PERIMETER OF TREE PROTECTION ZONE (TPZ)  
TREE PROTECTION ZONE MUST BE IN PLACE PRIOR TO COMMENCEMENT OF WORK. TPZ MAY NOT BE RESIZED OR REMOVED AT ANY TIME WITHOUT PRIOR APPROVAL FROM OTF. WORK WITHIN THE CRZ MUST TAKE PLACE IN ACCORDANCE WITH THE CONDITIONS ESTABLISHED BY THE OTF. DIGGING, GRUBBING, EXCAVATING, TRENCHING, CHANGING OF GRADE, OR OTHER ACTIONS THAT MAY POTENTIALLY IMPACT THE ROOTING ENVIRONMENT IS STRICTLY PROHIBITED.

TREE PROTECTION ZONE SIGNS SHALL BE POSTED AND SHALL REMAIN IN PLACE SO LONG AS TREE PROTECTION FENCING IS IN PLACE  
T-POSTS WITH ORANGE CONSTRUCTION FENCING



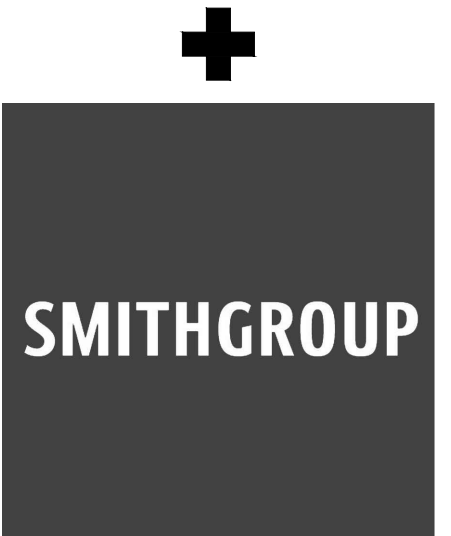
AREA 3  
TRUNK PROTECTION IS REQUIRED IF CONSTRUCTION OCCURS WITHIN TEN FEET OR LESS OF TRUNK. CONSTRUCTION INSIDE CRZ IS ONLY PERMITTED WHEN EQUIPMENT IS OPERATED EXCLUSIVELY ON EXISTING HARDSCAPE, AND NO SOIL COMPACTION TAKES PLACE. ANY WORK IN CRZ MUST BE APPROVED BY OFFICE OF THE TOWN FORESTER PRIOR TO COMMENCEMENT OF ACTIVITY.

2 TREE PRESERVATION DETAIL

12 SCALE: 3/4" = 1'-0"



**BOULDER ASSOCIATES**  
1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



**ADVENTHEALTH  
PARKER FACILITY  
EXPANSION**

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

SUBMITTALS  
DESCRIPTION DATE  
1ST SUBMITTAL 06/03/2024

DATE  
06/03/2024

PARKER PROJECT NUMBER  
SP24-XXX

SHEET TITLE  
**PLANTING  
DETAILS**

DRAWING NUMBER

**12 of 19**

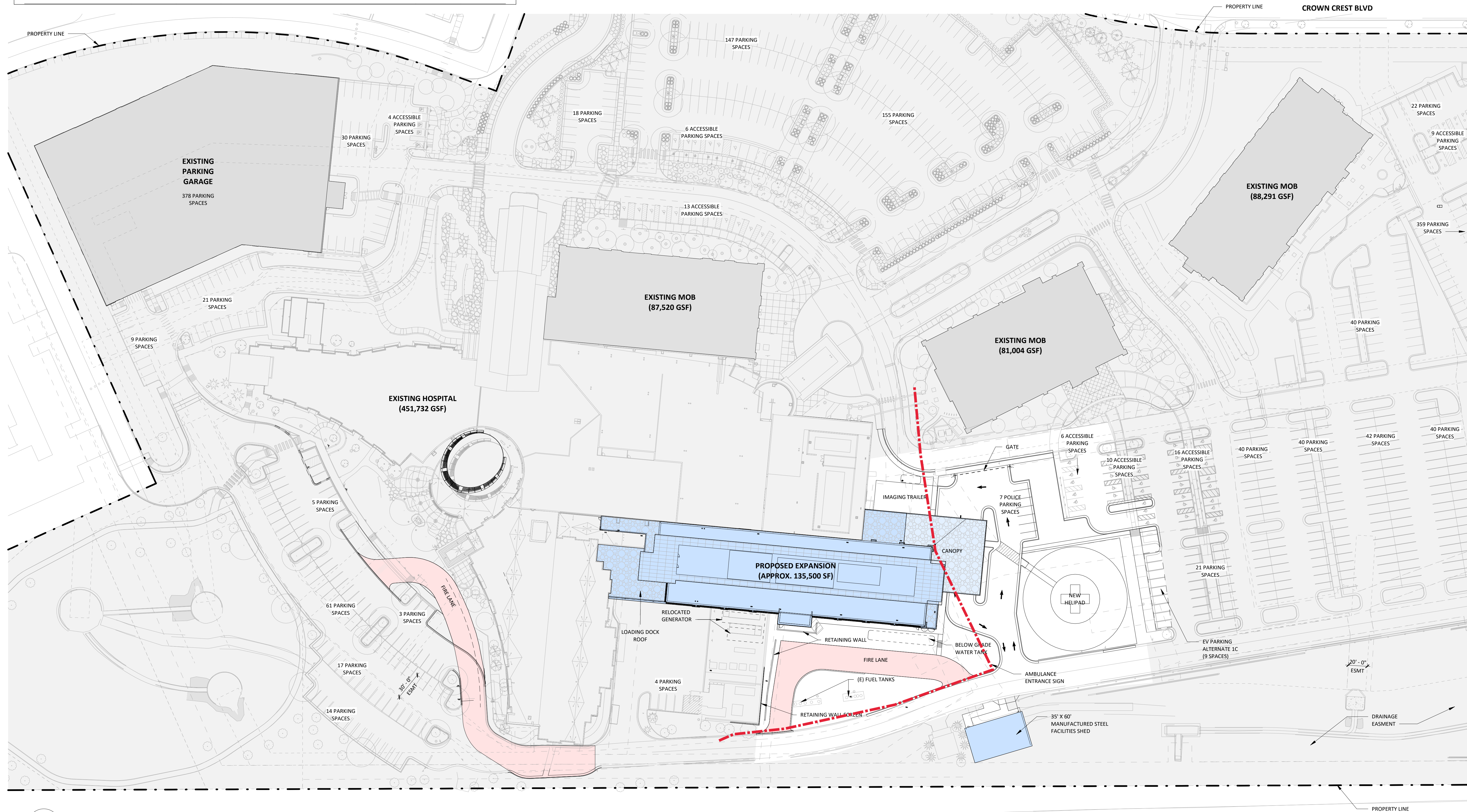
# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

## PARKING ANALYSIS

EXISTING					
PARKING	BEDS	GFA (SF)	PARKING FORMULA	REQUIRED	PROVIDED
MEDICAL OFFICE BUILDINGS	-	256,815	1 PER 300 SF	856.05	1,601
HOSPITAL	179	-	1.5 PER PATIENT BED	268.50	88
ACCESSIBLE SPACES	-	-	20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000	22.00	88
				1,146.55	1,689

PROPOSED					
PARKING	BEDS	GFA (SF)	PARKING FORMULA	REQUIRED	PROVIDED
MEDICAL OFFICE BUILDINGS	-	256,815	1 PER 300 SF	856.05	1,482
HOSPITAL	269	-	1.5 PER PATIENT BED	403.50	64
ACCESSIBLE SPACES	-	-	20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000	23.00	9
ELECTRIC VEHICLE	-	-	-	-	9
				1,282.55	1,546



**BOULDER ASSOCIATES**  
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BOULDER, COLORADO 80302  
303.499.7795



## ADVENTHEALTH PARKER FACILITY EXPANSION

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138  
SUBMITTALS  
DESCRIPTION DATE  
1ST SUBMITTAL 06/03/2024

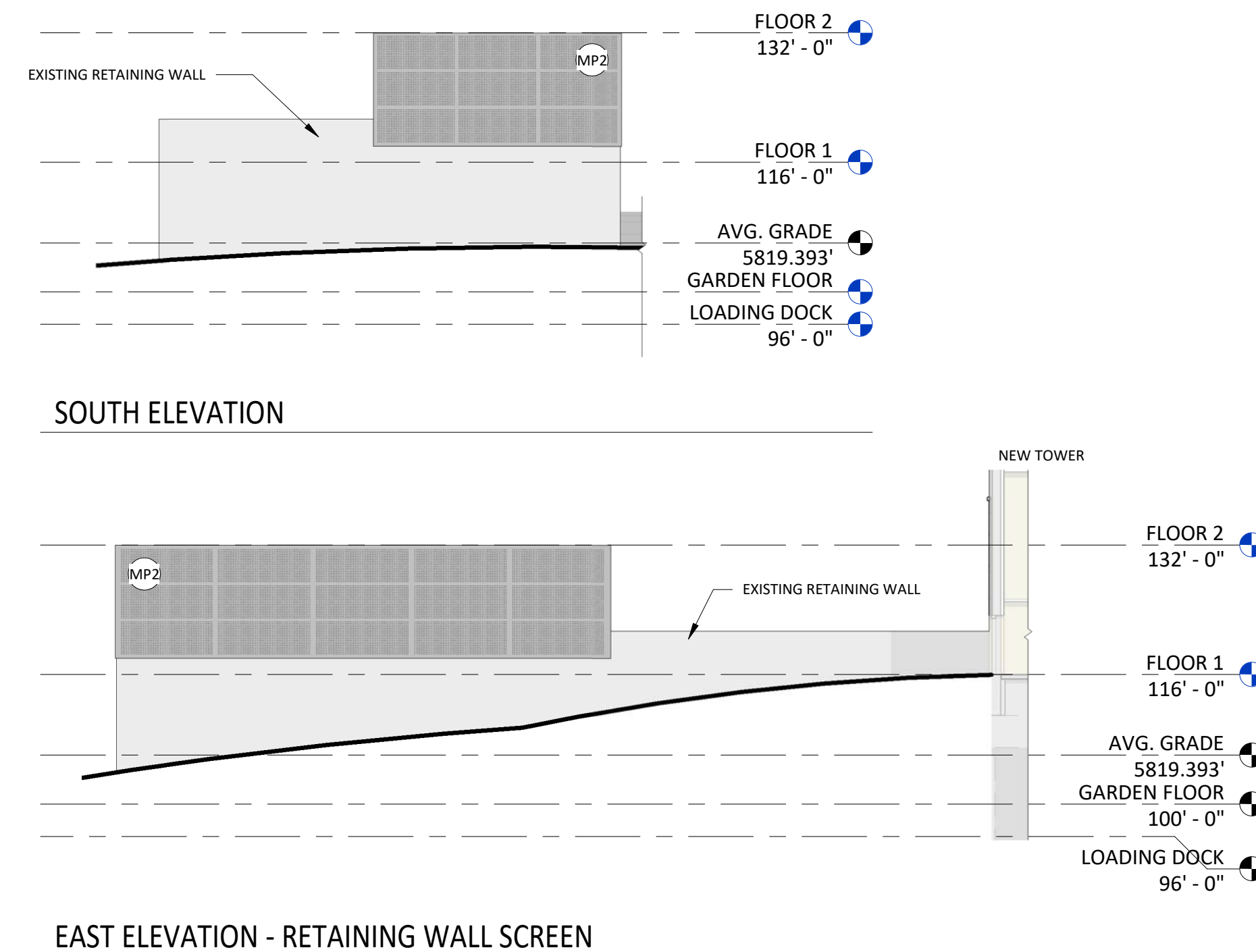
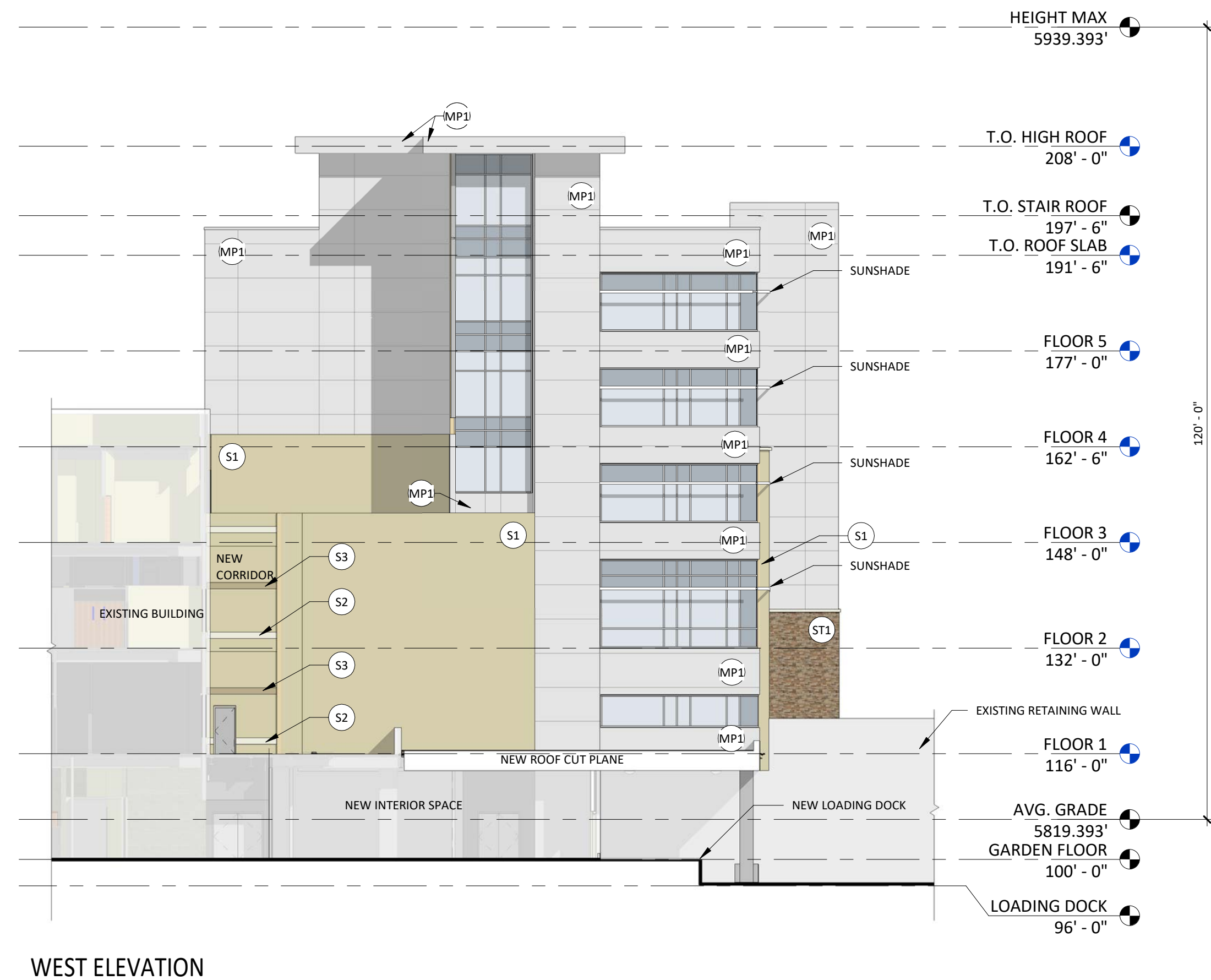
DATE 06/03/2024  
PARKER PROJECT NUMBER SP24-XXX  
SHEET TITLE ARCHITECTURAL SITE PLAN  
DRAWING NUMBER

**13 of 19**

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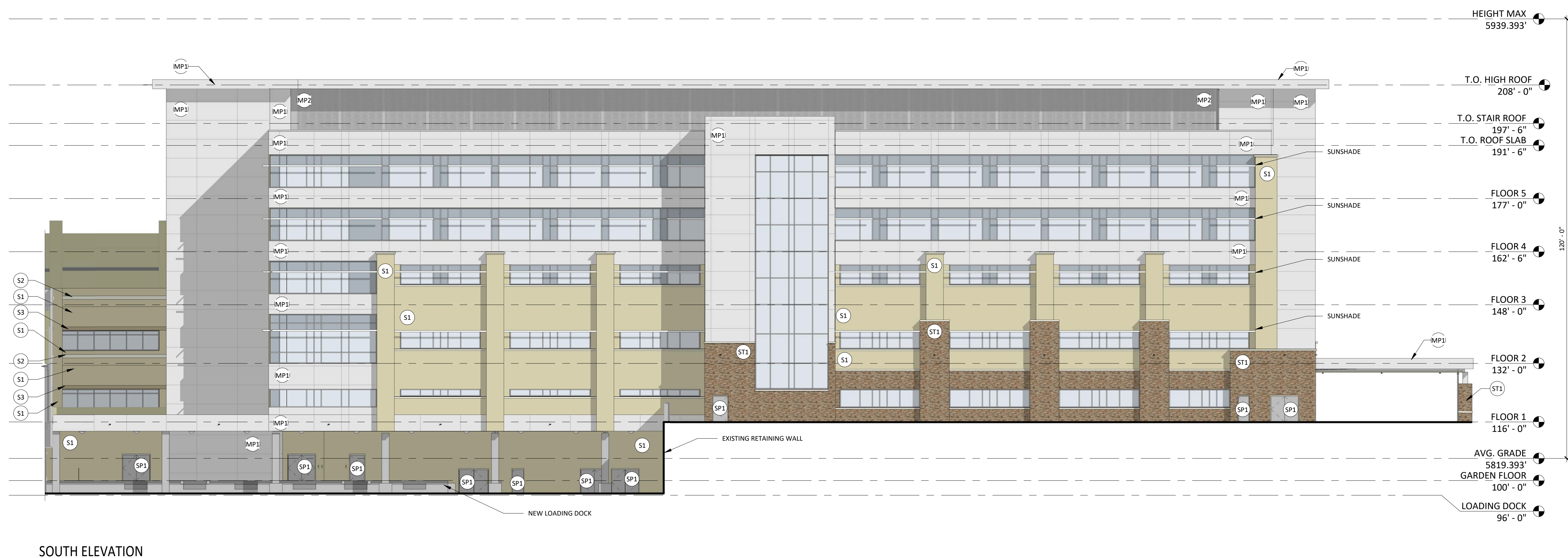
# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



**EXTERIOR ELEVATION MATERIAL LEGEND**

S1	3/4" NOMINAL STUCCO (S1), COLOR TO MATCH EXISTING
S2	3/4" NOMINAL STUCCO (S2) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
S3	3/4" NOMINAL STUCCO (S3) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
ST1	MANUFACTURED STONE VENEER, CHERRY CREEK LEDGE (MATCH EXISTING)
PC1	PRECAST CONCRETE CAP, MIDWEST CAST STONE, COLOR: 1A
MP1	COMPOSITE METAL PANEL, ALUCOBOND, COLOR: CHAMPAGNE METALLIC
MP2	METAL PANEL ROOF SCREEN, PERFORATED
MP3	DECORATIVE ART SCREEN WALL, PERFORATED
SP	STEEL PAINTED, COLOR TO MATCH EXISTING (LIGHT GRAY)
BR	BRAKE METAL, COLOR TO MATCH EXISTING (LIGHT GRAY)
	VISION GLAZING, COLOR TO MATCH EXISTING
	SPANDREL GLAZING, COLOR TO MATCH EXISTING
	MULLION COLOR TO MATCH EXISTING (ANODIZED ALUMINUM)



**BOULDER ASSOCIATES**

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BOULDER, COLORADO 80302  
303.499.7795



**ADVENTHEALTH  
PARKER FACILITY  
EXPANSION**

CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024

DATE 06/03/2024

PARKER PROJECT NUMBER SP24-XXX

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

DRAWING NUMBER

**14 of 19**

6/3/2024 1:47:56 PM Autodesk Docs/228365.XM AdventHealth Parker Hospital R24/236365.00 AH Parker CS-Act

# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.



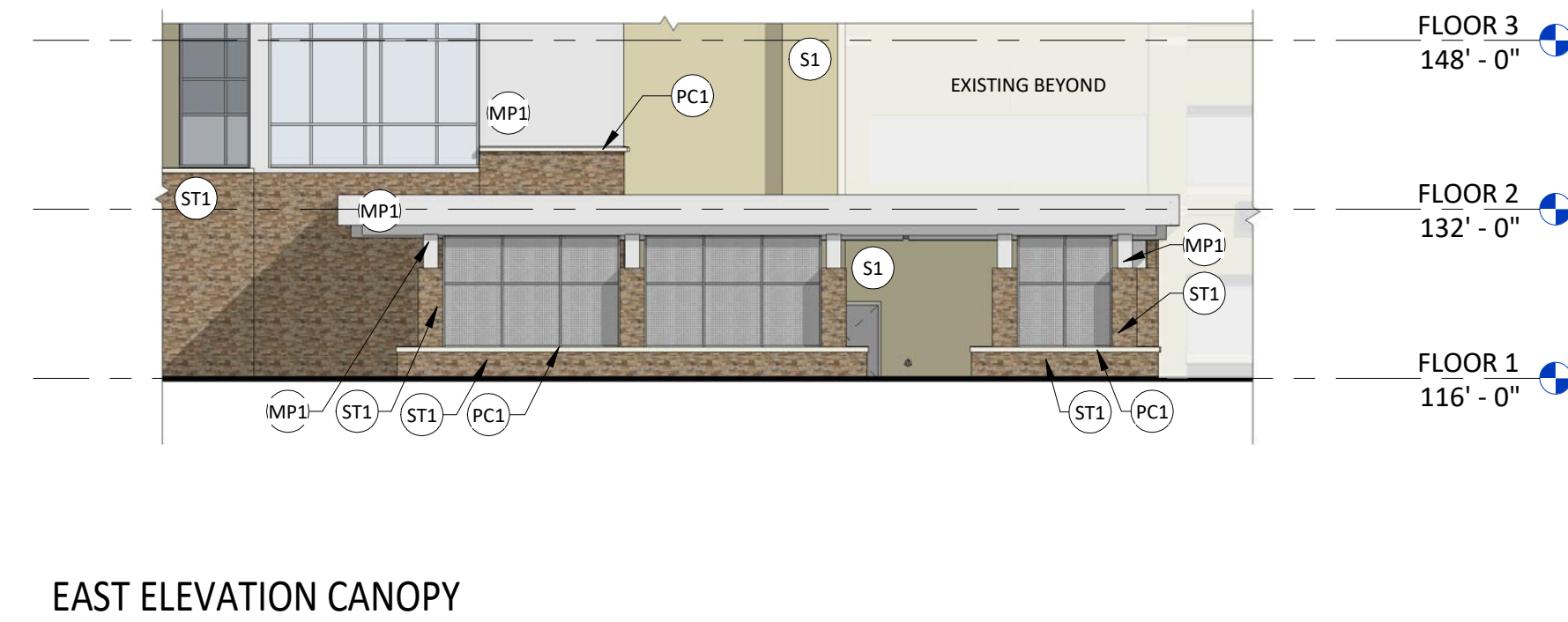
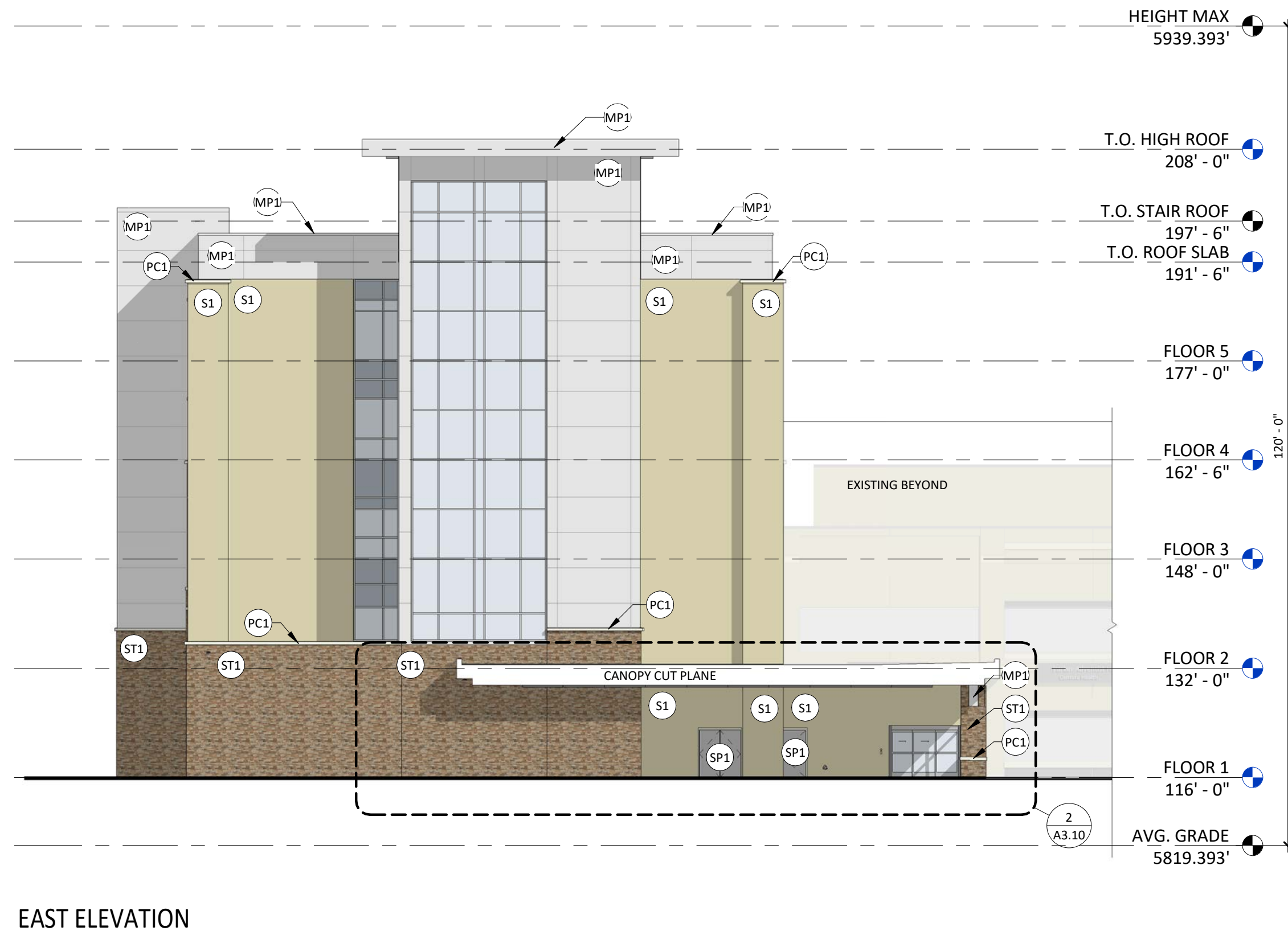
**BOULDER ASSOCIATES**  
1426 PEARL STREET, SUITE 300  
BOULDER, COLORADO 80302  
303.499.7795



**ADVENTHEALTH  
PARKER FACILITY  
EXPANSION**

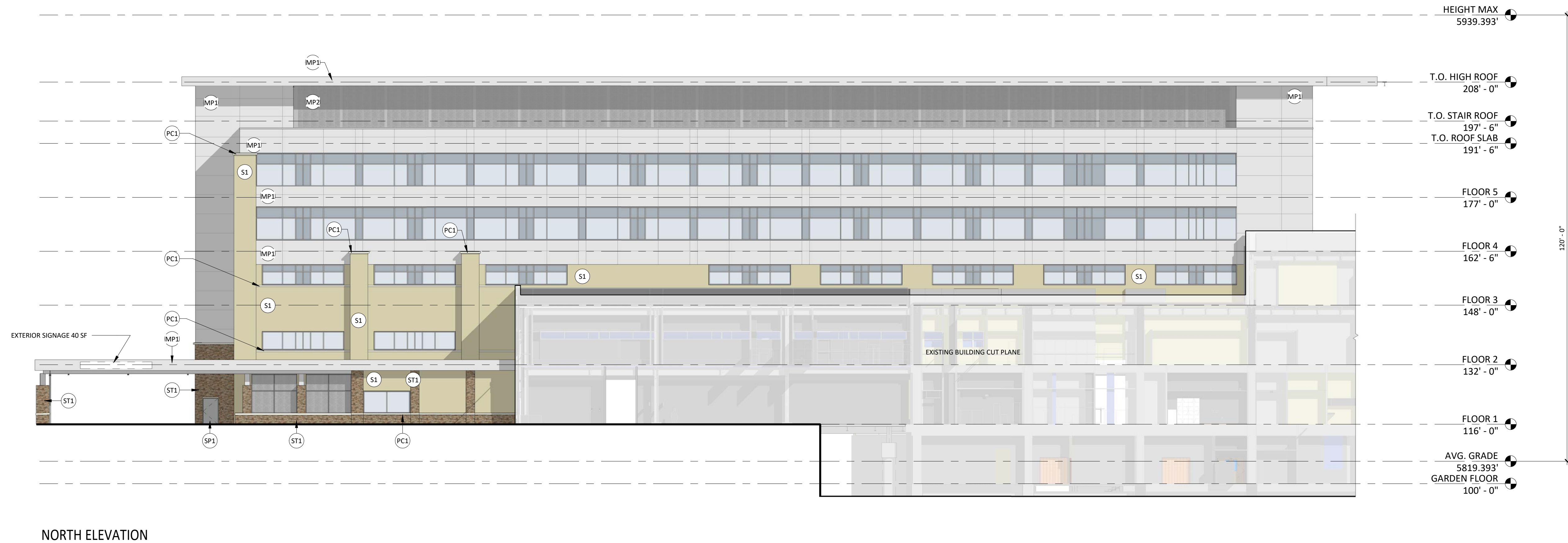
CROWN POINT, 30TH AMDMT  
LOT 1, TRACT A & B  
PARKER, CO 80138

DESCRIPTION	DATE
1ST SUBMITTAL	06/03/2024



**EXTERIOR ELEVATION MATERIAL LEGEND**

- S1: 3/4" NOMINAL STUCCO (S1), COLOR TO MATCH EXISTING
- S2: 3/4" NOMINAL STUCCO (S2) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
- S3: 3/4" NOMINAL STUCCO (S3) OVER EPS FOAM INSULATION TRIM, COLOR TO MATCH EXISTING
- ST1: MANUFACTURED STONE VENEER, CHERRY CREEK LEDGE (MATCH EXISTING)
- PC1: PRECAST CONCRETE CAP, MIDWEST CAST STONE, COLOR: 1A
- MP1: COMPOSITE METAL PANEL, ALUCOBOND, COLOR: CHAMPAGNE METALLIC
- MP2: METAL PANEL ROOF SCREEN, PERFORATED
- MP3: DECORATIVE ART SCREEN WALL, PERFORATED
- SP: STEEL PAINTED, COLOR TO MATCH EXISTING (LIGHT GRAY)
- BR: BRASS METAL, COLOR TO MATCH EXISTING (LIGHT GRAY)
- VISION GLAZING, COLOR TO MATCH EXISTING
- SPANDREL GLAZING, COLOR TO MATCH EXISTING
- MULLION COLOR TO MATCH EXISTING (ANODIZED ALUMINUM)



DATE	06/03/2024
PARKER PROJECT NUMBER	SP24-XXX
SHEET TITLE	<b>EXTERIOR ELEVATIONS</b>
DRAWING NUMBER	<b>15 of 19</b>

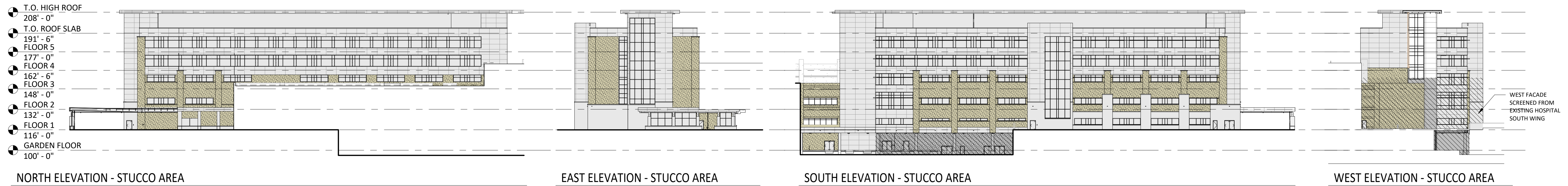
# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

### STUCCO CALCULATIONS

FAÇADE	STUCCO (SF)	TOTAL AREA (SF)	MAXIMUM STUCCO %	PROVIDED %
NORTH	3,033	20,232	30%	15%
EAST	2,584	10,117	30%	26%
SOUTH	6,430	32,192	30%	20%
WEST*	NA	NA	NA	NA

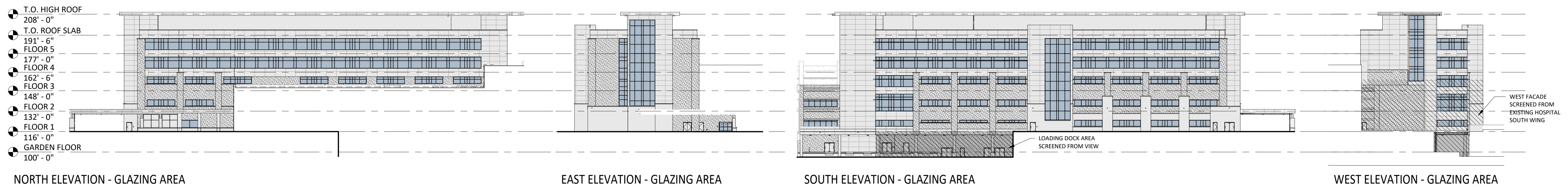
\*SCREENED FROM SOUTH WING OF EXISTING HOSPITAL FROM THE WEST



### GLAZING CALCULATIONS

FAÇADE	DESIGNATION	GLAZING AREA (SF)	BUILDING BASE AREA (SF)	REQUIRED GLAZING %	PROVIDED %
NORTH	FRONT (PRIMARY)	6,005	19,490	30%	31%
EAST	FRONT (SECONDARY)	1,763	8,234	30%	21%
SOUTH	FRONT (TERTIARY)	8,700	22,560	30%	39%
WEST*	REAR	NA	NA	NA	NA

\*SCREENED FROM SOUTH WING OF EXISTING HOSPITAL FROM THE WEST



**BOULDER ASSOCIATES**  
 1426 PEARL STREET, SUITE 300  
 BOULDER, COLORADO 80302  
 303.499.7795



**ADVENTHEALTH  
 PARKER FACILITY  
 EXPANSION**

CROWN POINT, 30TH AMDMT  
 LOT 1, TRACT A & B  
 PARKER, CO 80138

SUBMITTALS  
 DESCRIPTION DATE  
 1ST SUBMITTAL 06/03/2024

DATE  
 06/03/2024

PARKER PROJECT NUMBER  
 SP24-XXX

SHEET **EXTERIOR  
 ELEVATION  
 DIAGRAMS**  
 DRAWING NUMBER

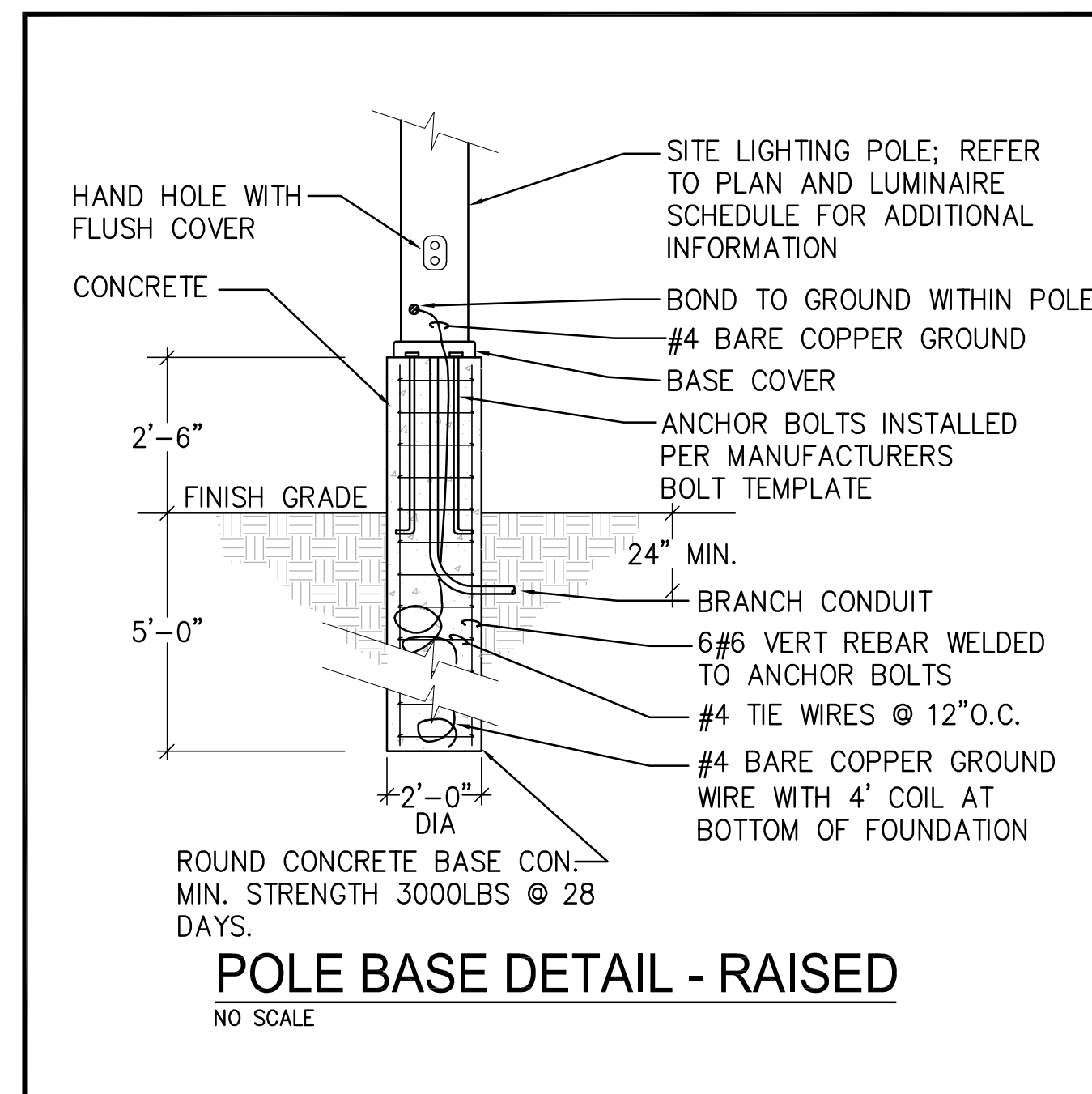
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# CROWN POINT F#1 30TH AMENDMENT FILING NO. X - LOT 1, TRACT A & B

LOCATED IN THE NW 1/4, SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST,  
TOWN OF PARKER, DOUGLAS COUNTY, COLORADO.

REFERENCE SYMBOLS LEGEND (Not all symbols listed below are used on these drawings)			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	KEY NOTE REFERENCE		KITCHEN/OWNER/MEDICAL EQUIPMENT REFERENCE
	TYPICAL CIRCUIT NUMBER		EXISTING TO REMAIN
	TYPICAL LUMINAIRE TYPE		EXISTING TO BE REMOVED
	TYPICAL ROOM REFERENCE (TOP=RM#, BOTTOM=FLR)		EXISTING TO BE RELOCATED
	MECHANICAL EQUIPMENT REFERENCE		EXISTING TO REMAIN - REPLACE DEVICE
	LIGHTING CONTROL/ EQUIPMENT REFERENCE		EXISTING TO BE REMOVED AND REPLACED

LIGHTING LEGEND (Not all symbols listed below are used on these drawings)			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SHADING INDICATES EM SYSTEM, LOWER CASE SUBSCRIPT INDICATES SWITCHING, UPPER CASE SUBSCRIPT INDICATES LUMINAIRE TYPE (TYP)		PENDANT LUMINAIRE - SINGLE SUSPENSION
	TROFFER - RECESSED		PENDANT LUMINAIRE - MULTIPLE SUSPENSION
	SURFACE LUMINAIRE		WALL MOUNTED LUMINAIRE
	LINEAR LUMINAIRE - RECESSED		IN-WALL LUMINAIRE
	FIELD MEASURED LUMINAIRE LENGTH AND SHAPE DENOTED BY LINEWORK, SUBSCRIPT IN RECTANGLE INDICATES LUMINAIRE TYPE		POLE LUMINAIRE - ARM MOUNTED
	DOWNLIGHT - RECESSED		POLE LUMINAIRE - POST TOP



## LUMINAIRE SCHEDULE

GENERAL NOTES:  
 A. CATALOG NUMBER REFERS TO FIRST NAME LISTED UNDER MANUFACTURER PER LUMINAIRE TYPE. REMAINING MANUFACTURERS LISTED ARE CONSIDERED EQUIVALENT PRODUCTS FOR THIS PROJECT AND SHALL MEET ALL CRITERIA LISTED INCLUDING THAT CALLED FOR BY THE SPECIFIC LUMINAIRE CATALOG NUMBER. CATALOG NUMBERS DO NOT NECESSARILY REPRESENT COMPLETE CATALOG NUMBERS. ALL ITEMS LISTED IN THE DESCRIPTION SHALL BE PROVIDED.  
 B. REFER TO LIGHTING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.  
 C. PROVIDE UNIT PRICING FOR ALL LUMINAIRES BY TYPE AND SUBMIT WITH BID FORM.  
 D. PROVIDE AN EMERGENCY BALLAST TEST SWITCH FOR RECESSED DOWNLIGHTS ON CEILING ADJACENT TO LUMINAIRE.

SPECIFIC NOTES:  
 1. VERIFY EXACT MOUNTING HEIGHT WITH ARCHITECT.  
 2. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING DETAILS.  
 3. HELIPAD LIGHTING TO BE COORDINATED WITH HELIPAD CONSULTANT.  
 4. NEW LUMINAIRE HEAD ON RELOCATED EXISTING POLE.  
 5. EXISTING POLE LIGHT.

TYPE	DESCRIPTION	LAMPS	VOLT-AMPS	VOLTAGE	MANUFACTURER	CATALOG SERIES	FINISH	MOUNTING	RECESS	NOTES
AP1	8.62" DIAMETER SEMI-FLUSH MOUNTED HELIPAD PERMETER LIGHT WITH 6" DEEP BASE CAN	LED GREEN	27	277	FLIGHTLIGHT	HL-480L P/N BA-525-6	STAINLESS STEEL	GROUND	6"	3
AP2	HELIPAD FLOOD LIGHTING, WEATHERTIGHT, 14" MOUNTING HEIGHT, 5" MOUNTING PLATE, HORIZONTAL CUTOFF	LED 5100K, 70 CRI 1524 LUMENS	22	277	FLIGHTLIGHT	HL-FLED-AC-14-S-1	STANDARD	GROUND	-	3
EW1	18" WIDE X 11" DEEP EXTERIOR WALL PACK, TYPE IV FORWARD DISTRIBUTION	LED 5000K, 70 CRI 6000 LUMENS	55	277	KIM LIGHTING	WDM-D-48L-55-6K7-4F	DARK BRONZE MATTE	WALL	-	1
EW2	18" WIDE X 11" DEEP EXTERIOR WALL PACK, TYPE IV FORWARD DISTRIBUTION	LED 5000K, 70 CRI 6000 LUMENS	55	277	KIM LIGHTING	WDM-D-48L-65-4K7-4W	DARK BRONZE MATTE	WALL	-	1
EL12	12" RECESSED LINEAR LED SLOT LIGHT EXTRUDED WHITE PAINTED METAL HOUSING WITH WHITE PAINTED FLAT METAL END CAPS, FROSTED DROP PLASTIC LENS, LENSES FROSTED BOTH SIDES, 0-10V DIMMING, DAMP LOCATION LISTED	LED 5000K, 70 CRI 4000 LUMENS	43	277	FINELIGHT	HP4 WLR-R-D-12-S-840-F-96-277-SC-FC-10%-VF-C-FE-SW	WHITE	RECESSED	4"	2
EP5	10" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE IV DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	50	277	KIM LIGHTING	VP-ST-1-36L-105-4K7-5W	DARK BRONZE MATTE	10' POLE	-	
EP6	23" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE 4W DISTRIBUTION	LED 5000K, 70 CRI 15,000 LUMENS	50	277	KIM LIGHTING	VP-1-160L-50-5K7-3-UNV	DARK BRONZE MATTE	23' POLE	-	
EP7	10" TALL LED POLE LIGHT ON 2" CONCRETE BASE, DOUBLE HEAD, 160L-50 LIGHT ENGINE, TYPE 4W DISTRIBUTION	LED 5000K, 70 CRI 15,000 LUMENS	100	277	KIM LIGHTING	VP-ST-1-36L-105-4K7-5W	DARK BRONZE MATTE	10' POLE	-	
EP8	23" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE 3 DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	50	277	KIM LIGHTING	VP-1-160L-50-5K7-3-UNV	DARK BRONZE MATTE	23' POLE	-	
EP9	10" TALL LED POLE LIGHT ON 2" CONCRETE BASE, SINGLE HEAD, 160L-50 LIGHT ENGINE, TYPE 3 DISTRIBUTION	LED 5000K, 70 CRI 7,500 LUMENS	50	277	KIM LIGHTING	VP-1-160L-50-5K7-3-UNV	DARK BRONZE MATTE	10' POLE	-	
EP2A	EXTERIOR POLE LIGHT - TWIN MOUNT TYPE III BEAM SPREAD, 10 FT SQUARE STRAIGHT STEEL POLE, DARK BRONZE.	LED 5000K, 70 CRI 4,000 LUMENS		277	KIM LIGHTING		DARK BRONZE	10' POLE	-	5
EP3	EXTERIOR POLE LIGHT - SINGLE MOUNT TYPE III BEAM SPREAD, 10 FT SQUARE STRAIGHT STEEL POLE, DARK BRONZE.	LED 5000K, 70 CRI 2,000 LUMENS		277	KIM LIGHTING		DARK BRONZE	10' POLE	-	5



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SUBMITTALS

DESCRIPTION DATE  
1ST SUBMITTAL 06/03/2024



CATOR RUMA  
& ASSOCIATES, C.O.  
896 Taylor Street, Lakewood, CO 80401  
(303) 232-6230 • www.catorrumba.com

DATE  
06/03/2024

PARKER PROJECT NUMBER  
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SHEET TITLE  
LUM. SCHEDULE,  
DETAILS & LEGENDS

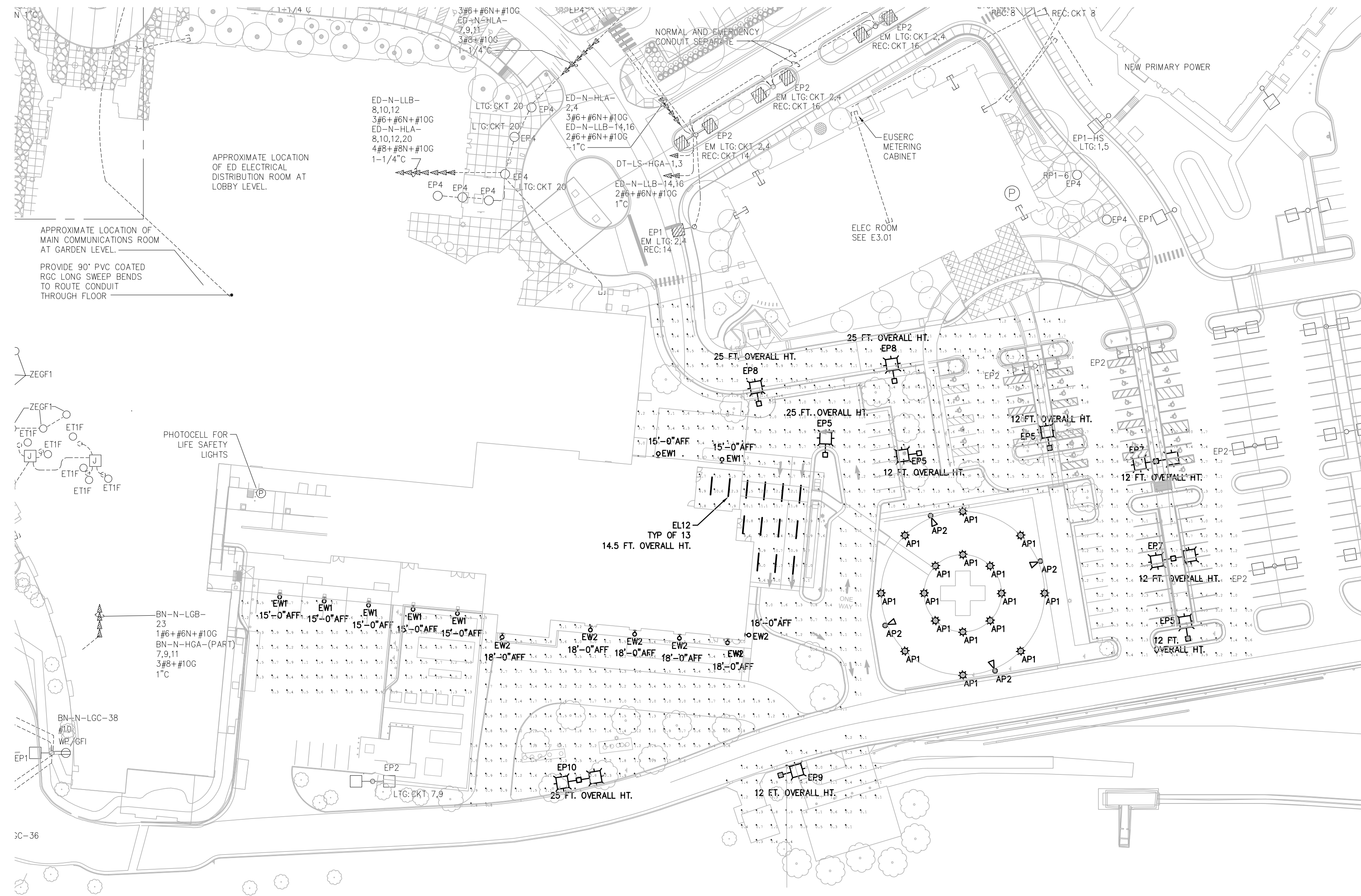
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**PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 30'-0"

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Ambulance Drive	Illuminance	Fc	0.47	2.6	0.1
Canopy	Illuminance	Fc	9.21	13.0	3.6
Dock area	Illuminance	Fc	3.32	8.5	0.3
Fire Lane	Illuminance	Fc	2.32	6.5	0.4
Parking lot East	Illuminance	Fc	2.54	9.8	0.2
ROADWAY	Illuminance	Fc	1.17	4.3	0.3
Shed	Illuminance	Fc	2.17	6.0	0.2
TEMP IMAGING PARKING	Illuminance	Fc	3.97	6.0	1.9



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SITE PLAN**  
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**19 of 19**