









# MISTER CAR WASH

13225 SOUTH PARKER ROAD  
PARKER, CO 80134

LOCATED IN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS

**Galloway**

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com

NOT FOR  
CONSTRUCTION

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### SITE LEGEND

|         |  |
|---------|--|
| ---     | PROPERTY LINE                              |
| - - - - | EASEMENT LINE                              |
| =====   | EXISTING CURB AND GUTTER TO REMAIN         |
| =====   | EXISTING CURB AND GUTTER TO BE REMOVED     |
| ---     | SS- EXISTING SANITARY SEWER LINE           |
| ---     | SD- EXISTING STORM SEWER LINE              |
| ---     | W- EXISTING WATER LINE                     |
| ---     | UE- EXISTING UNDERGROUND ELECTRIC LINE     |
| ---     | G- EXISTING GAS LINE                       |
| ---     | FO- EXISTING FIBER OPTIC LINE              |
| ⊙       | EXISTING SANITARY SEWER MANHOLE            |
| ⊙       | EXISTING STORM SEWER MANHOLE TO REMAIN     |
| ⊙       | EXISTING STORM SEWER MANHOLE TO BE REMOVED |
| ⊙       | EXISTING WATER VALVE                       |
| ⊙       | EXISTING FIRE HYDRANT                      |
| ECB     | EXISTING ELECTRIC STRUCTURE TO REMAIN      |

### SITE PLAN SCHEDULE

- 1 EXISTING CURB AND GUTTER TO BE REMOVED
- 2 EXISTING CONCRETE SIDEWALK TO BE REMOVED
- 3 EXISTING STORM CURB INLET TO BE REMOVED AND POINT OF PROPOSED CONNECTION
- 4 EXISTING GRAVEL PATH TO BE REMOVED
- 5 EXISTING EXCESS DIRT WITHIN PROJECT SITE TO BE REMOVED
- 6 EXISTING SANITARY SEWER STUB TO REMAIN AND POINT OF PROPOSED CONNECTION
- 7 EXISTING WATER VALVE TO REMAIN
- 8 EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED IN PLACE DURING CONSTRUCTION
- 9 EXISTING STORM SEWER LINE TO BE REMOVED AND PROPERLY DISPOSED OF
- 10 EXISTING CONCRETE CURB RAMP TO REMAIN AND BE PROTECTED IN PLACE DURING CONSTRUCTION

### NOTES

1. SITE TO BE CONCRETE (EXCEPT LANDSCAPE AREAS), NO ASPHALT
2. CONCRETE DRIVE AREAS SHALL BE REINFORCED WITH #3 REBAR @ 18" SPACING, BOTH DIRECTIONS

### BENCHMARK

CDOT RIGHT-OF-WAY MONUMENT #41, PROJECT FC-CX-083-1-53.

ELEVATION: 5953.61 (NAVD88)

### BASIS OF BEARING

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST, AND IS CONSIDERED TO BEAR S 89°33'16" W. SAID LINE BEING DEFINED BY MONUMENTS AS FOLLOWS: A FOUND 3-1/3" ALUMINUM CAP IN A RANGE BOX, STAMPED AS SHOWN, BEING THE NORTHEAST CORNER OF THE NORTHEAST ONE-QUARTER OF SECTION 3; AND A FOUND 3-1/4" ALUMINUM CAP IN A RANGE BOX, STAMPED AS SHOWN.

### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN PARKER, IN THE COUNTY OF DOUGLAS, STATE OF COLORADO, AND IS DESCRIBED AS FOLLOWS:  
LOT 13, PARKER PONTE SUBDIVISION PLING NO. 1, ACCORDING TO THE PLAT AS RECORDED JANUARY 7TH, 2022 AT RECEPTION NO. 202201733, COUNTY OF DOUGLAS, STATE OF COLORADO.

MISTER CAR WASH  
13225 SOUTH PARKER ROAD  
PARKER, CO 80134

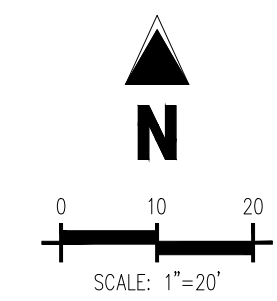
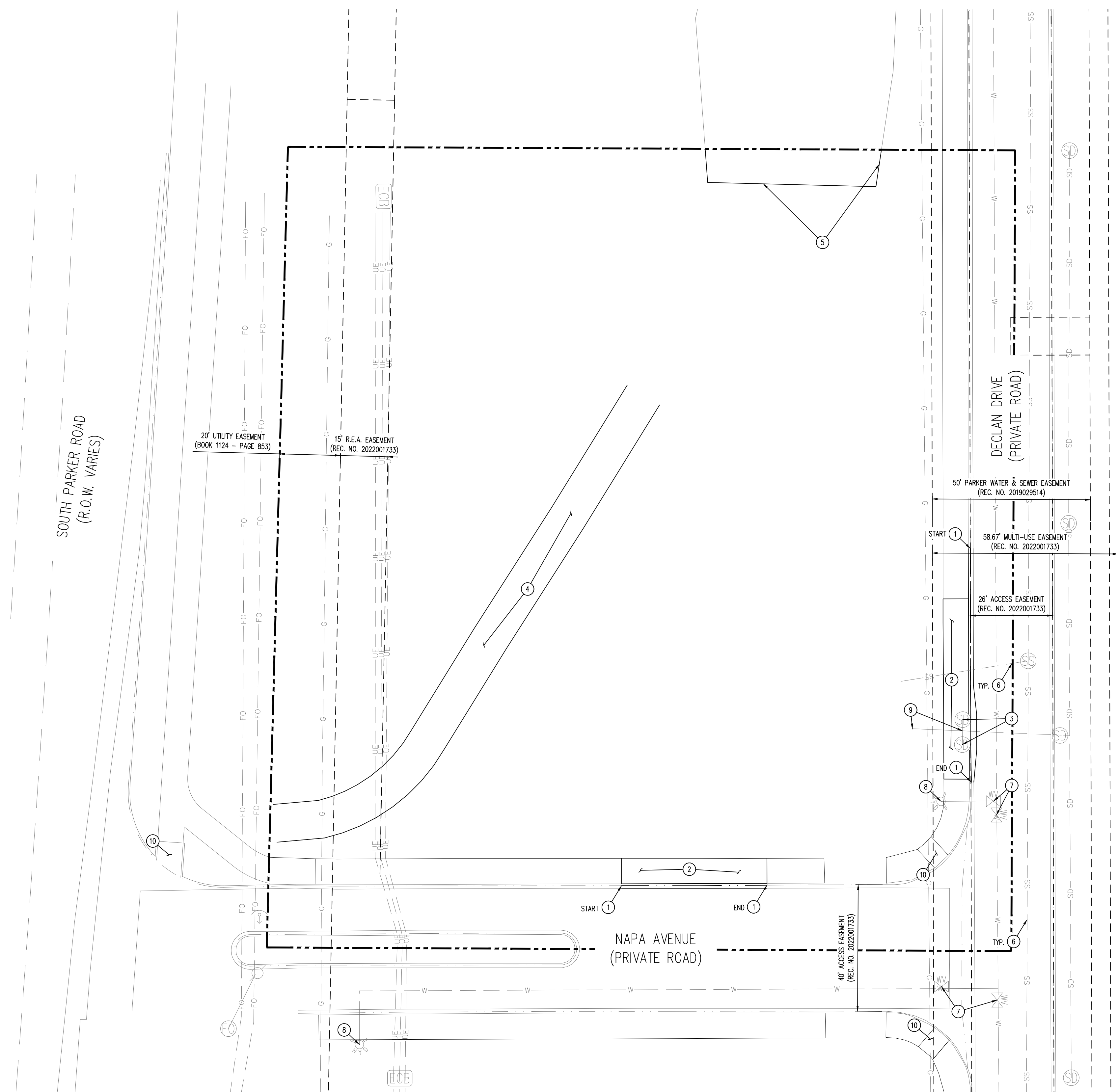
PARKER POINT AMD 1 L34  
SITE PLAN SUBMITTAL

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
| 1 | 7/10/2024  | 1ST CITY SUBMITTAL  | MRK   |
| 2 | 10/30/2024 | 2ND CITY SUBMITTAL  | MRK   |

|             |              |
|-------------|--------------|
| Project No: | TEC000004.20 |
| Drawn By:   | KML          |
| Checked By: | MRK          |
| Date:       | 10/30/2024   |

DEMOLITION PLAN

C1.0



11/11/2024 10:52 AM: E:\03 - Parker and Greenwood\030421\030421\_C11 Demolition\030421\_C11.dwg User: kml Date: 10/30/2024



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BENCHMARK  
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THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

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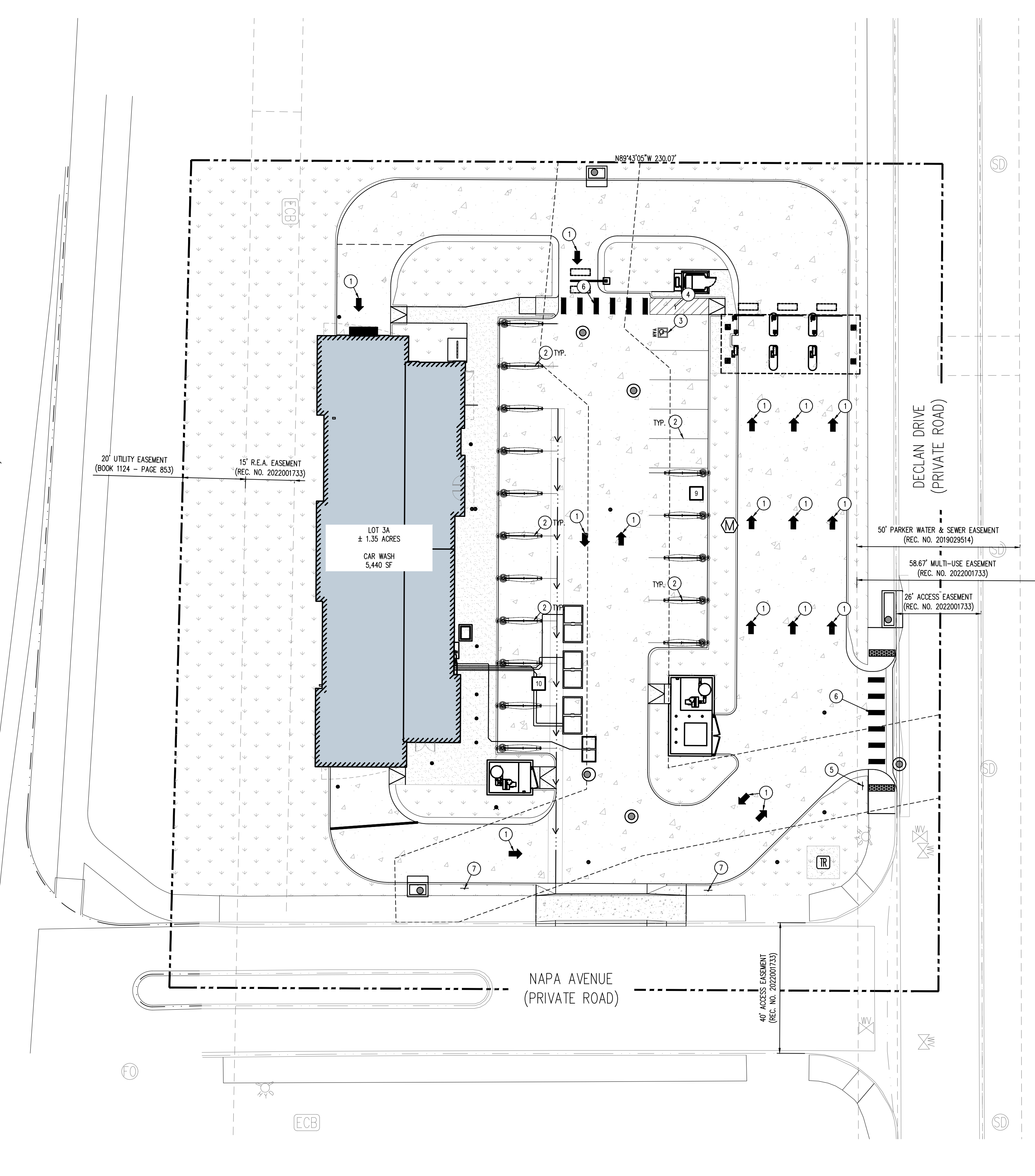
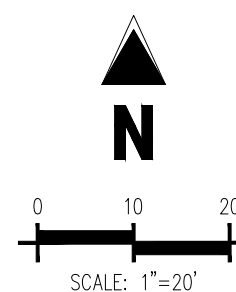
DATE

### STRIPING & SIGNAGE SCHEDULE

- 1 DIRECTIONAL TRAFFIC ARROW PER MCW REQUIREMENTS
- 2 4" PARKING STALL STRIPING (TYP) PER MCW REQUIREMENTS
- 3 HANDICAP PARKING STRIPING AND SIGNAGE PER ADA GUIDELINES AND MCW REQUIREMENTS
- 4 4" WIDE PAINTED STRIPES, 2' O.C. @ 45° PER MCW REQUIREMENTS
- 5 STOP SIGN R1-1 PER MUTCD STANDARDS
- 6 WHITE CROSSWALK STRIPING
- 7 FIRE LANE, NO PARKING SIGN, SEE FIRE MOBILITY PLAN

### SITE LEGEND

- PROPERTY BOUNDARY LINE
- - - EASEMENT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED ADA PARKING SYMBOL
- PROPOSED TRANSFORMER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC BOX
- CAR VACUUM EQUIPMENT
- PROPOSED CONCRETE PAVEMENT PER GEOTECH
- PROPOSED CONCRETE SIDEWALK PER GEOTECH
- PROPOSED LANDSCAPING PER LANDSCAPE
- # PARKING STALL COUNT



### NOTES

1. SITE TO BE CONCRETE (EXCEPT LANDSCAPE AREAS), NO ASPHALT
2. CONCRETE DRIVE AREAS SHALL BE REINFORCED WITH #3 REBAR @ 18" SPACING, BOTH DIRECTIONS

### BENCHMARK

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS

DATE

C1.2









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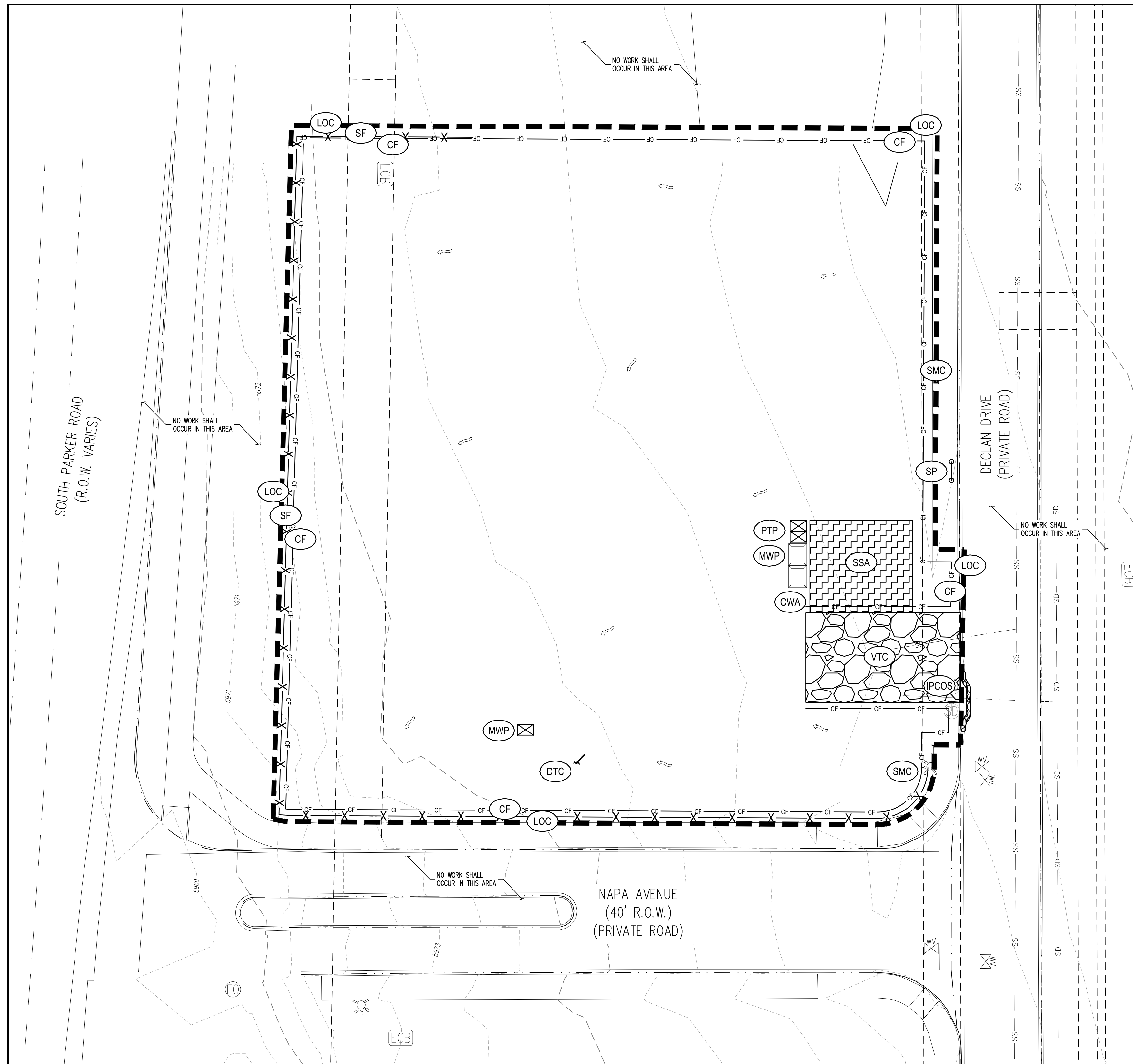
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| Date:       | 10/30/2024   |

INITIAL CBMP PLAN

**C2.2**



INITIAL CBMP PLAN  
SCALE: 1"=20'

### CBMP LEGEND

- CF CONSTRUCTION FENCE
- LOC LIMITS OF CONSTRUCTION
- SF SILT FENCE
- VTC CONSTRUCTION VEHICLE ENTRY
- SSA STABILIZED STAGING AREA
- SMC SEEDING, MULCH, CRIMPING AND SURFACE ROUGHING
- SR
- SCL SEDIMENT CONTROL LOGS
- ECB EROSION CONTROL BLANKET
- SP SITE POSTING (CONTACTS AND PERMITS)
- CWA CONCRETE WASHOUT
- MWP MASONRY WORK PROTECTION
- PTP PORTABLE TOILET PROTECTION
- DTC DEBRIS TRASH CONTROL
- DD DIVERSION DITCH
- ST SEDIMENT TRAP
- IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
- IPCOB INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
- IPCOS INLET PROTECTION, CURB ON-SUMP

### BMP MAINTENANCE NOTES

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
  - SILT DIKE PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEDED AS NEEDED. MULCH SHALL BE UTILIZED WHERE EROSION OF DENuded AREAS IS ANTICIPATED.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND. PUBLIC RIGHT-OF-WAYS WILL BE CHECKED DAILY FOR MUD. IF MUD IS FOUND, IT WILL BE CLEANED FROM PUBLIC RIGHT-OF-WAYS ON A DAILY BASIS.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
  - IF THE STONES IN THE GRAVEL INLET SEDIMENTS FILTERS BECOME CLOGGED WITH SEDIMENT AND CAPACITY IS REDUCED BY HALF, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.
  - UPON SOLIDIFYING, CONCRETE SHALL BE REMOVED FROM WASHOUT AREA AND PROPERLY DISPOSED OF TO PREVENT RUNOFF.
  - THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE NORMAL VTC DETAIL.
  - THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
  - LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
  - THE TRUE LOCATION OF THE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS.
  - MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
  - ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.

### BASIS OF BEARING

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### BENCHMARK

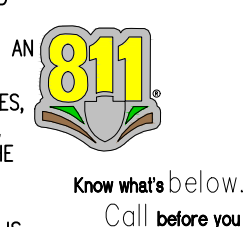
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ELEVATION: 5953.61 (NAVD88)

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### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POHOILING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

### SOIL PREPARATION NOTE

SOIL PREPARATION SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL ENGINEERING REPORT PREPARED FOR MISTER CARWASH, AT 13225 SOUTH PARKER ROAD, PARKER, COLORADO AS FOLLOWS:

GEOTECHNICAL ENGINEER: KUMAR & ASSOCIATES, INC.

PROJECT NO.: 23-1-430

THE CONTRACTOR MUST FULLY REVIEW THESE REPORTS PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

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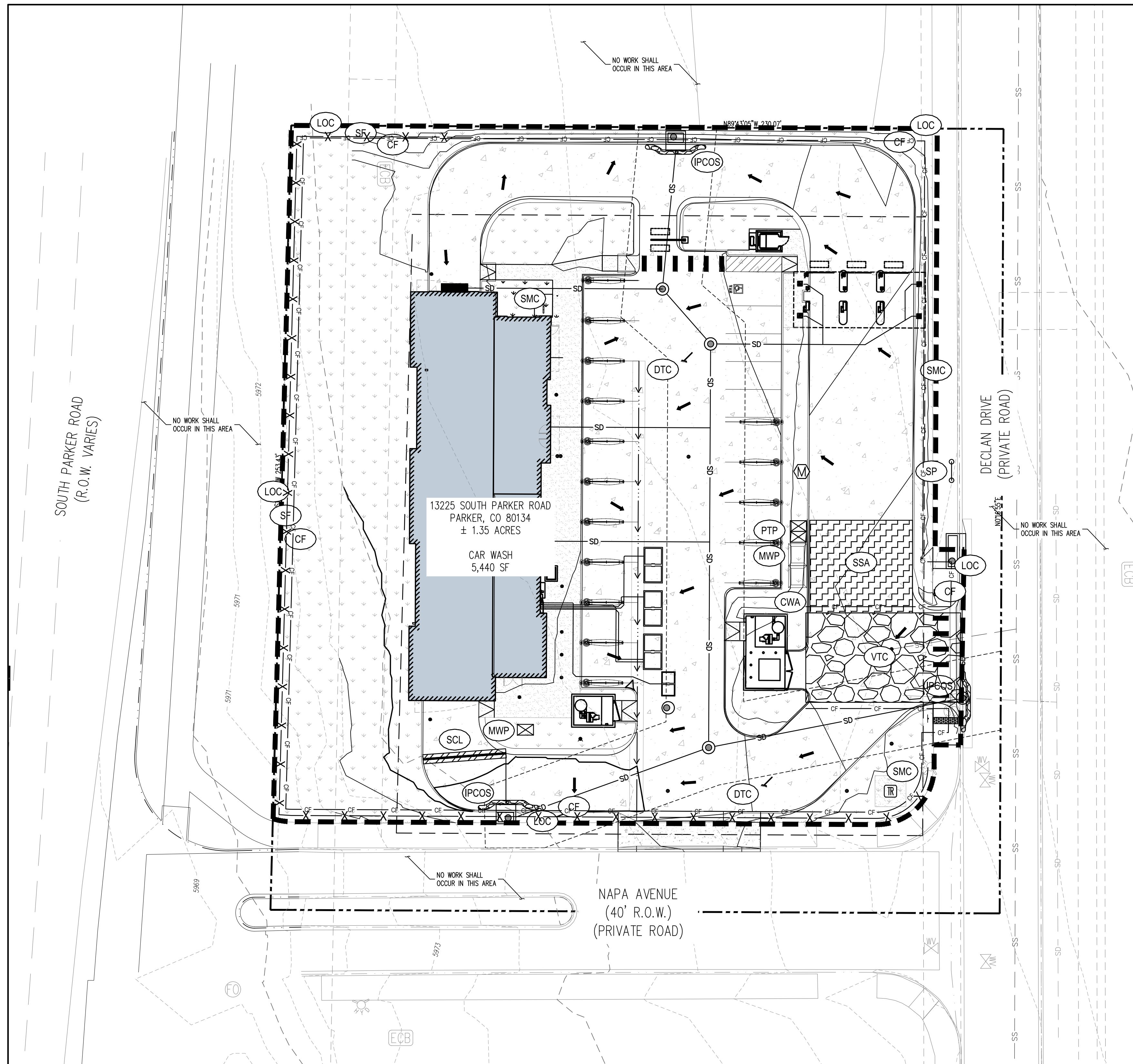
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INTERIM CBMP PLAN

**C2.3**



INTERIM CBMP PLAN  
SCALE: 1"=20'

### CBMP LEGEND

- CF — CONSTRUCTION FENCE
- LOC — LIMITS OF CONSTRUCTION
- X — SF — SILT FENCE
- [Symbol] VTC — CONSTRUCTION VEHICLE ENTRY
- [Symbol] SSA — STABILIZED STAGING AREA
- [Symbol] SMC — SEEDING, MULCH, CRIMPING AND SURFACE ROUGHING
- [Symbol] SR —
- [Symbol] SCL — SEDIMENT CONTROL LOGS
- [Symbol] ECB — EROSION CONTROL BLANKET
- [Symbol] SP — SITE POSTING (CONTACTS AND PERMITS)
- [Symbol] CWA — CONCRETE WASHOUT
- [Symbol] MWP — MASONRY WORK PROTECTION
- [Symbol] PTP — PORTABLE TOILET PROTECTION
- [Symbol] DTC — DEBRIS TRASH CONTROL
- [Symbol] DD — DIVERSION DITCH
- [Symbol] ST — SEDIMENT TRAP
- [Symbol] IPAN — INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
- [Symbol] IPCOG — INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
- [Symbol] IPCOS — INLET PROTECTION, CURB ON-SUMP

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### BASIS OF BEARING

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### BENCHMARK

COORD RIGHT-OF-WAY MONUMENT #41, PROJECT FC-CX-083-1-53,  
ELEVATION: 5953.61 (NAVD88)

### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN PARKER, IN THE COUNTY OF DOUGLAS, STATE OF COLORADO, AND IS DESCRIBED AS FOLLOWS:  
LOT 13, PARKER POINT SUBDIVISION FILING NO. 1, ACCORDING TO THE PLAT AS RECORDED JANUARY 7TH, 2022 AT RECEPTION NO. 2022001733, COUNTY OF DOUGLAS, STATE OF COLORADO.

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Know what's below.  
Call before you dig.

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### SOIL PREPARATION NOTE

SOIL PREPARATION SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL ENGINEERING REPORT PREPARED FOR MISTER CARWASH, AT 13225 SOUTH PARKER ROAD, PARKER, COLORADO AS FOLLOWS:

GEOTECHNICAL ENGINEER: KUMAR & ASSOCIATES, INC.

PROJECT NO.: 23-1-430

THE CONTRACTOR MUST FULLY REVIEW THESE REPORTS PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

# MISTER CAR WASH

13225 SOUTH PARKER ROAD  
PARKER, CO 80134

LOCATED IN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS

NOT FOR  
CONSTRUCTION

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MISTER CAR WASH  
13225 SOUTH PARKER ROAD  
PARKER, CO 80134

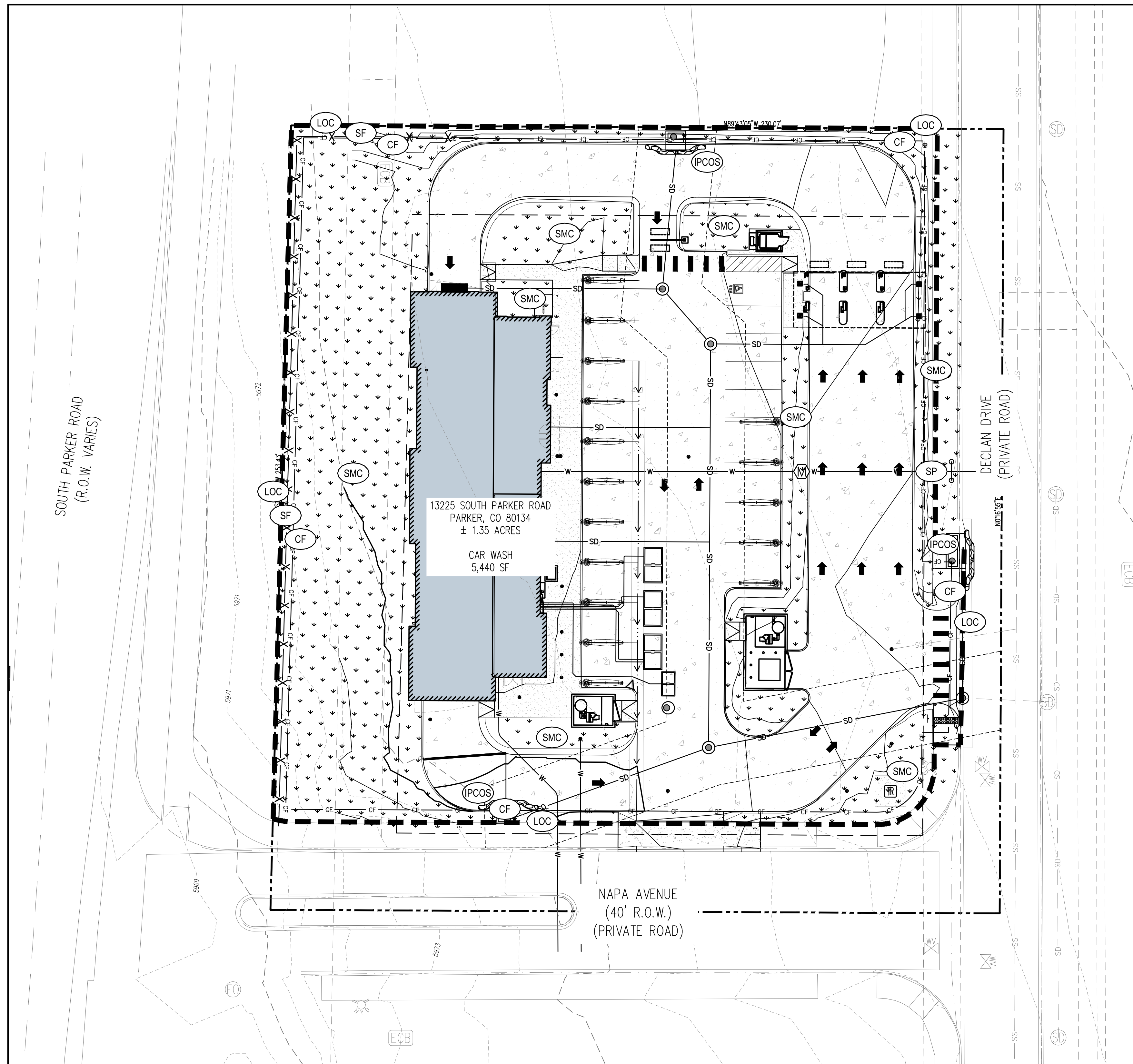
PARKER POINT AMD 1 L34  
SITE PLAN SUBMITTAL

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
| 1 | 7/10/2024  | 1ST CITY SUBMITTAL  | MRK   |
| 2 | 10/30/2024 | 2ND CITY SUBMITTAL  | MRK   |

| Project No: | TEC000004.20 |
|-------------|--------------|
| Drawn By:   | KML          |
| Checked By: | MRK          |
| Date:       | 10/30/2024   |

FINAL CBMP PLAN

C2.4



FINAL CBMP PLAN  
SCALE: 1"=20'

### CBMP LEGEND

- CF — CONSTRUCTION FENCE
- LOC ○ LIMITS OF CONSTRUCTION
- X — SF — SILT FENCE
- ▨ VTC CONSTRUCTION VEHICLE ENTRY
- ▨ SSA STABILIZED STAGING AREA
- ▨ SMC SEEDING, MULCH, CRIMPING AND SURFACE ROUGHING
- ▨ SR
- ▨ SCL SEDIMENT CONTROL LOGS
- ▨ ECB EROSION CONTROL BLANKET
- ▨ SP SITE POSTING (CONTACTS AND PERMITS)
- ▨ CWA CONCRETE WASHOUT
- ▨ MWP MASONRY WORK PROTECTION
- ▨ PTP PORTABLE TOILET PROTECTION
- ▨ DTC DEBRIS TRASH CONTROL
- ▨ DD DIVERSION DITCH
- ▨ ST SEDIMENT TRAP
- ▨ IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
- ▨ IPCOS INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
- ▨ IPCOS INLET PROTECTION, CURB ON-SUMP

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE



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LOCATED IN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS

**Galloway**

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com

**NOT FOR  
CONSTRUCTION**

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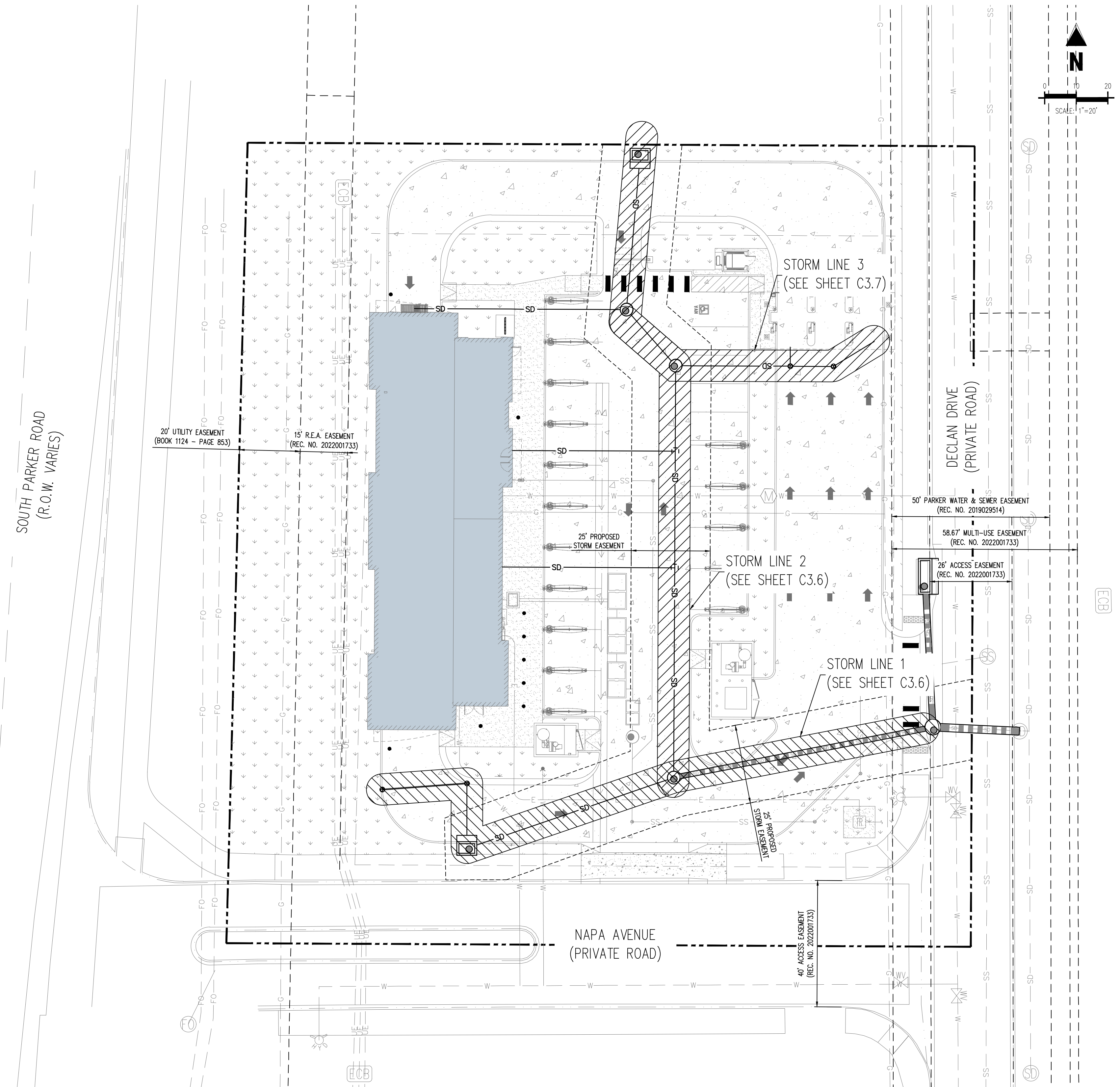


**SITE LEGEND**

|         |   |
|---------|---|
| ---     | PROPERTY BOUNDARY LINE                    |
| - - - - | EASEMENT LINE                             |
| ==      | PROPOSED CURB AND GUTTER                  |
| ---     | EXISTING CURB AND GUTTER                  |
| ⊠       | PROPOSED ADA PARKING SYMBOL               |
| ⊠       | PROPOSED TRANSFORMER                      |
| ⊙       | EXISTING SANITARY SEWER MANHOLE           |
| ⊙       | EXISTING STORM SEWER MANHOLE              |
| ⊙       | EXISTING WATER VALVE                      |
| ⊙       | EXISTING FIRE HYDRANT                     |
| ⊙       | EXISTING ELECTRIC BOX                     |
| ⊙       | CAR VACUUM EQUIPMENT                      |
| ▨       | PROPOSED CONCRETE PAVEMENT PER GEOTECH    |
| ▨       | PROPOSED CONCRETE SIDEWALK PER GEOTECH    |
| ▨       | PROPOSED LANDSCAPING PER LANDSCAPE        |
| ▨       | STORM LINE PLAN & PROFILE LIMITS BY SHEET |

**UTILITY LEGEND**

|     |                                       |
|-----|---------------------------------------|
| --- | EXISTING WATER LINE                   |
| --- | PROPOSED WATER LINE                   |
| --- | EXISTING SANITARY SEWER               |
| --- | PROPOSED SANITARY SEWER               |
| --- | EXISTING STORM SEWER                  |
| --- | PROPOSED STORM SEWER (< 12" DIAMETER) |
| --- | PROPOSED STORM SEWER (> 12" DIAMETER) |
| --- | EXISTING UNDERGROUND ELECTRICAL       |
| --- | PROPOSED UNDERGROUND ELECTRICAL       |
| --- | EXISTING UNDERGROUND TELEPHONE        |
| --- | PROPOSED UNDERGROUND TELEPHONE        |
| --- | EXISTING GAS LINE                     |
| --- | PROPOSED GAS LINE                     |



MISTER CAR WASH  
13225 SOUTH PARKER ROAD  
PARKER, CO 80134

PARKER POINT AMD 1 L34  
SITE PLAN SUBMITTAL

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
| 1 | 7/10/2024  | 1ST CITY SUBMITTAL  | MRK   |
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**BENCHMARK**  
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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS \_\_\_\_\_ DATE \_\_\_\_\_

Project No: TEC000004.20  
Drawn By: KML  
Checked By: MRK  
Date: 10/30/2024

STORM PLAN

**C3.5**



