



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Town of Parker Recreation Dept.
FROM: Julia Duncan, Associate Planner
DATE: January 23, 2025
SUBJECT: SP24-124; Salisbury North MDP F1 AMD 2 L1 - Park Expansion Phase 1
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Julia Duncan

EMAIL: jduncan@parkerco.gov

PHONE: 303.805.3334

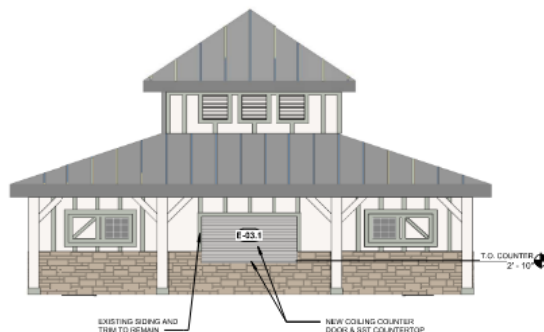
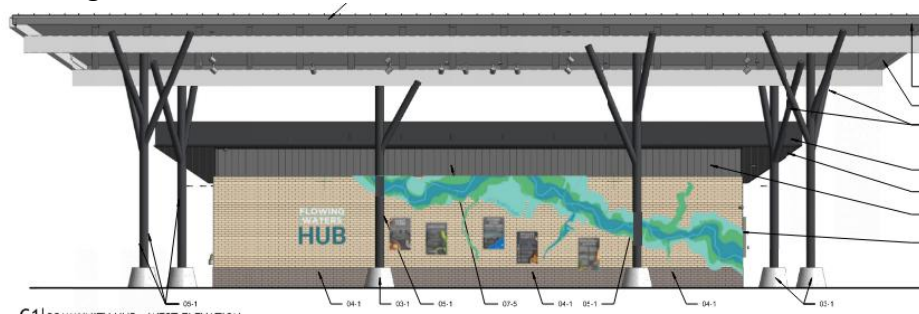
GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

Site Plan and Project Details

- 1. Please see the attached redlines for additional information. Comments are on drawings
- 2. A comment on one sheet applies to all sheets with similar situations.
- 3. Provide 1 sheet highlighting all above ground transformers/pedestals/equipment for easy reference. Separate sheet provide under file name: 02_E-100A-Elec Highlights_Salisbury Park
- 4. Please provide a material board. Julia confirmed she had the material board.
- 5. Elevations:
 - a. Break elevations into multiple sheets, max 2 on each sheet, dimensions all heights and widths on all elevations.
 - b. Show building footprints on same sheet of elevations, indicating plane breaks
 - c. I did not see elevations submitted for the Sports Court building or the playground restroom building.
 - d. Please explain how new buildings’ proposed themes and architecture work in with the existing concession?



Comment Addressed: Yes No
Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Civil (Construction Plans)
- Douglas County Planning
- Town of Parker – Civil (Drainage Report)
- IREA
- Parker Water and Sanitation
- PSCO
- Town of Parker – Civil (Site Plan)
- Town of Parker – Civil (Traffic Impact Study)

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed: Yes No
Response:

Brett Collins

05/01/2025

Property Owner

Date

Polyn Rautu

05/01/2025

Project Representative

Date

SALISBURY PARK NORTH PHASE 1

TOWN OF PARKER SITE PLAN

NOVEMBER 22, 2024

SALISBURY PARK NORTH MINOR DEVELOPMENT PLAT, 2ND AMENDMENT

A PART OF THE NORTHWEST QUARTER OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.

91.307 ACRES - 3 LOTS

Legal Description should be first line

Legal description is now the first line -HCM-LA

Only include acreage and lots for this phase

Acreage and lots have been updated to only reflect Phase 1. -HCM-LA

Setbacks have been updated to reflect OS (Open Space) requirements. Setbacks have also been broken out for specific buildings. -HCM-LA

Indicate what these setbacks are for, which building

Calc out for me, where is this number coming from?

This is coming from the Total Landscaping Requirements (Table 13.08.L) in the Land Development Ordinance. See Landscaping Requirements table on L-411. -HCM-LA



LAND USE SUMMARY TABLE (BASE) - PHASE 1

| | |
|--------------------------------|---|
| LOT SIZE ACREAGE: | 47.89 ACRES / 2,086,224 SF |
| PROPOSED USE(S): | PARK, OPEN SPACE |
| NUMBER OF BUILDINGS: | ONE (1) TYPE V-B PROPOSED BUILDING • HOME PLATE HEADQUARTERS ONE (1) EXISTING BUILDING • CONCESSIONS |
| GROSS FLOOR AREA: | HOME PLATE HEADQUARTERS - 2,001 SF EXISTING CONCESSIONS - 1,054 SF |
| TOTAL GROSS FLOOR AREA: | 3,055 SF |
| SETBACKS REQUIRED: | FRONT SETBACK REQUIRED: 10' SIDE SETBACK REQUIRED: 10' REAR SETBACK REQUIRED: 10' |
| SETBACKS PROVIDED: | FRONT SETBACK: 1,175' SIDE SETBACK: 368' REAR SETBACK PROVIDED: 393' |
| PARKING REQUIRED: | SEE 'PARKING MATRIX' TABLE |
| BICYCLE PARKING REQUIRED: | SEE 'PARKING MATRIX' TABLE |
| LANDSCAPE PERCENTAGE REQUIRED: | 271,951 SF (15% OF NET SITE AREA) |
| LANDSCAPE PERCENTAGE PROVIDED: | 56.4% |

*SEE SHEET L-410 'LANDSCAPE REQUIREMENTS' FOR ADDITIONAL INFORMATION

LAND USE SUMMARY TABLE (W/ ALTERNATES) - PHASE 1

| | |
|--------------------------------|--|
| LOT SIZE ACREAGE: | 48.73 ACRES / 2,122,510 SF |
| PROPOSED USE(S): | PARK, OPEN SPACE |
| NUMBER OF BUILDINGS: | TWO (2) TYPE V-B BUILDINGS • HOME PLATE HEADQUARTERS • COMMUNITY HUB ONE (1) EXISTING BUILDING • CONCESSIONS |
| GROSS FLOOR AREA: | HOME PLATE HEADQUARTERS - 2,001 SF COMMUNITY HUB - 1,741 SF EXISTING CONCESSIONS - 1,054 SF |
| TOTAL GROSS FLOOR AREA: | 4,796 SF |
| SETBACKS REQUIRED: | FRONT SETBACK REQUIRED: 10' SIDE SETBACK REQUIRED: 10' REAR SETBACK REQUIRED: 10' |
| SETBACKS PROVIDED: | FRONT SETBACK: 445' SIDE SETBACK: 368' REAR SETBACK PROVIDED: 393' |
| PARKING REQUIRED: | SEE 'PARKING MATRIX' TABLE |
| BICYCLE PARKING REQUIRED: | SEE 'PARKING MATRIX' TABLE |
| LANDSCAPE PERCENTAGE REQUIRED: | 277,394 SF (15% OF NET SITE AREA) |
| LANDSCAPE PERCENTAGE PROVIDED: | 55.3% |

*SEE SHEET L-410 'LANDSCAPE REQUIREMENTS' FOR ADDITIONAL INFORMATION

PARKING MATRIX - PHASE 1

| VEHICLE PARKING TYPE | REQUIRED BASE* | REQUIRED WITH ALTERNATES | PROVIDED BASE |
|----------------------|----------------|--------------------------|---------------|
| STANDARD | 279 | 324 | 314 |
| STANDARD EV | 0 | 0 | 2 |
| ACCESSIBLE | 7 | 8 | 16 |
| ACCESSIBLE EV | 0 | 0 | 2 |
| COMPACT** | 0 | 0 | 8 |
| TOTALS: | 286 | 332 | 334 |

*REFER TO SHEET G-021 FOR 'COMMUNITY PARK PARKING SPACE GUIDELINES'
**COMPACT PARKING STALLS DO NOT COUNT TOWARDS OVERALL PARKING COUNT

| BIKE PARKING TYPE | REQUIRED BASE | PROVIDED BASE | REQUIRED WITH ALTERNATES | PROVIDED WITH ALTERNATES |
|-------------------|---------------|---------------|--------------------------|--------------------------|
| EXTERIOR FIXED | 3 | 20 | 6 | 30 |



*ABOVE IMAGE NOT TO SCALE

*REFERENCE IMAGE ONLY. IMAGE NOT TO SCALE

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LANDSCAPE ARCHITECT / ARCHITECT
1800 Wazee Street, Suite 450
Denver, CO 80202
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER
JVA Incorporated
1075 Larimer Street, 450
Denver, CO 80202
p. 303.444.1991

ELECTRICAL ENGINEER
Ackerman Engineering, Inc.
3000 Yampole Street, 4004
Wheat Ridge, CO 80151
p. 303.278.7297

IRRIGATION
Avocet Irrigation
11701 W. Main Street, Suite F-509
Littleton, CO 80127
p. 303.986.2175

MECHANICAL ENGINEER
ENWISON Mechanical Engineers, Inc.
9777 Regent Court, 800
Englewood, CO 80112
p. 303.686.0223

Town of Parker
**SALISBURY PARK
NORTH - PHASE 1**
11700 MOTSENBOCKER RD
PARKER, CO 80134

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ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

| DATE | DESCRIPTION |
|------|-------------|
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Project Number: 223072.00
Sheet Issue Date: 2024-11-22
Drawn By: EH, LW, ED, MS, AG
Checked By: RB, CB, DD
Key Map

Drawing
COVER SHEET

G-000

SITE PLAN SUBMITTAL
Page 1 of 311

THE SQUARES ABOVE ARE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.

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K

V

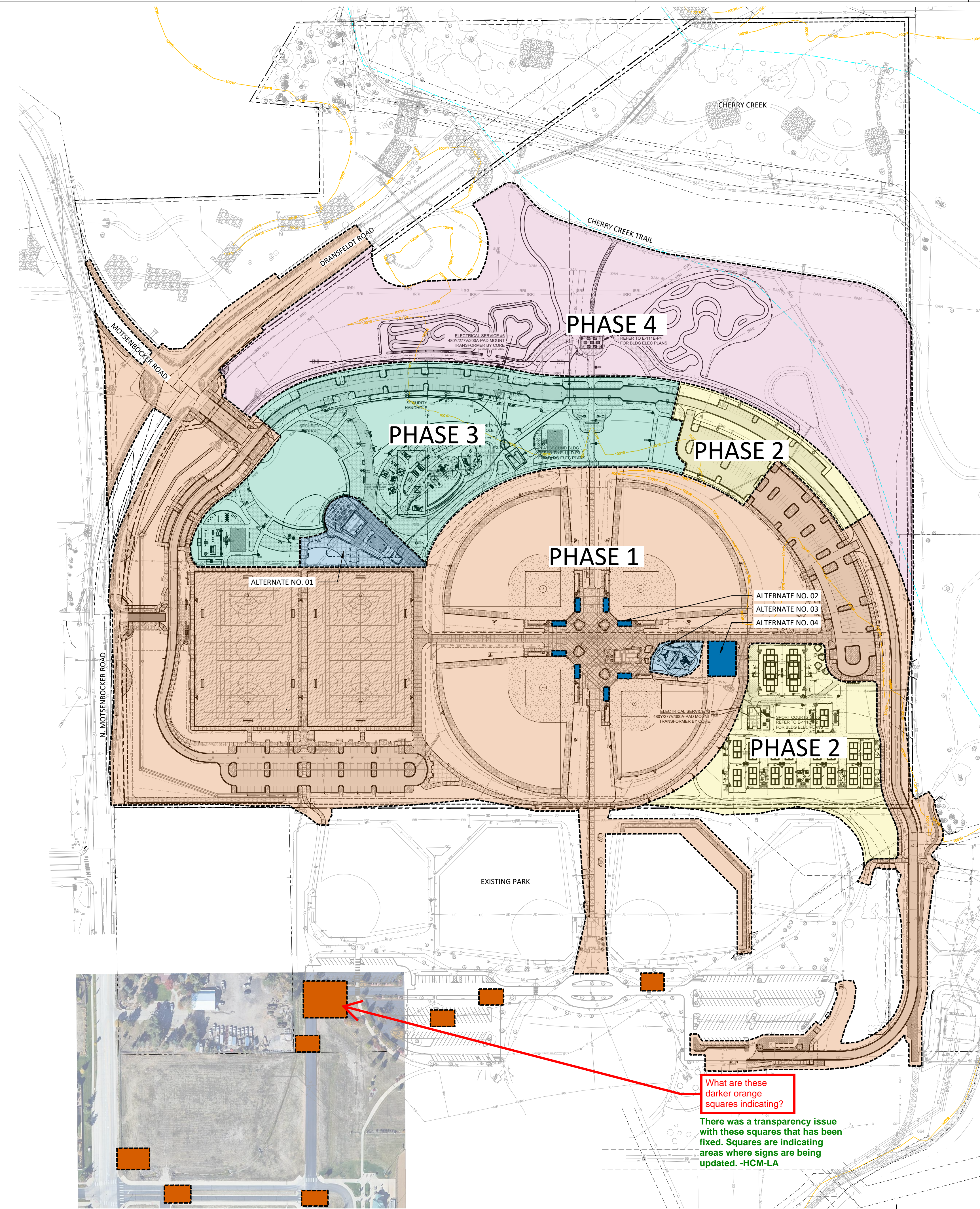
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PHASING LEGEND

- PHASE 1 (BALLFIELDS, MULTIPURPOSE FIELDS, PARKING)
- PHASE 1 ALTERNATES (FLOWING WATERS HUB, BLEACHER SHADE STRUCTURES, BALLFIELD PLAYGROUND, BATTING CAGES)
- PHASE 2 (SPORTS COURTS, PARKING)
- PHASE 3 (COMMUNITY HUB, FITNESS AREA, INCLUSIVE PLAYGROUND, PARKING)
- PHASE 4 (BIKE PARK, OVERLOOK PAVILION, PARKING)

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 LANDSCAPE ARCHITECT / ARCHITECT
 1800 Wazee Street, Suite 450
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 p. 303.607.0977

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 1675 Larimer Street, #500
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 Wheat Ridge, CO 80151
 p. 303.278.7297

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 Littleton, CO 80127
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MECHANICAL ENGINEER
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 Englewood, CO 80112
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Town of Parker
SALISBURY PARK
NORTH - PHASE 1
 11700 MOTSENBOCKER RD
 PARKER, CO 80134

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 ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 PLANNING
 INTERIOR DESIGN

| DATE | DESCRIPTION |
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Project Number: 223072.00
 Sheet Issue Date: 2024-11-22
 Drawn By: EH, LW, ED, MS, AG
 Checked By: RB, CB, DD
 Key Map

Drawing
OVERALL SITE AND PHASING PLAN

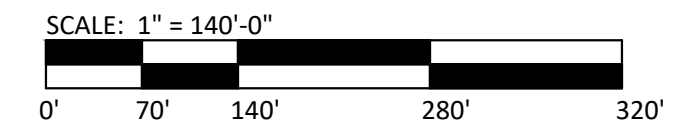
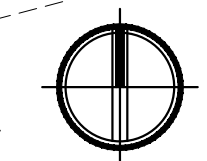
G-010

SITE PLAN SUBMITTAL
 Page 4 of 311

A1 OVERALL SITE AND PHASING PLAN
 1" = 140'-0"

What are these darker orange squares indicating?

There was a transparency issue with these squares that has been fixed. Squares are indicating areas where signs are being updated. -HCM-LA



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

1

2

3

4

5

BASE BID PLANTING SCHEDULE

PLANT SCHEDULE

| CODE | QTY | BOTANICAL / COMMON NAME | CONT | SIZE | YRS MATURE | EST. SIZE AT MATURITY | W |
|---------------------------|-----|--|---------|----------------------|------------|-----------------------|---|
| EVERGREEN TREES | | | | | | | |
| SC | 9 | JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER | B&B | 10' HT AT BALLFIELDS | | 20' H X 10' W | X |
| SC-A | 12 | PICEA PUNGENS / COLORADO SPRUCE | B&B | 10' HT AT BALLFIELDS | | 60' H X 25' W | |
| SC-B | 7 | PICEA PUNGENS / COLORADO SPRUCE | B&B | 8' HT | | 60' H X 25' W | N |
| PFV | 19 | PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID LIMBER PINE | B&B | 8' HT | | 25' H X 25' W | L |
| PNI-A | 6 | PINUS NIGRA / AUSTRIAN PINE | B&B | 10' HT AT BALLFIELDS | | 50' H X 30' W | L |
| PNI-B | 13 | PINUS NIGRA / AUSTRIAN PINE | B&B | 8' HT | | 50' H X 30' W | L |
| PNO | 11 | PINUS PONDEROSA / PONDEROSA PINE | B&B | 10' HT AT BALLFIELDS | | 60' H X 40' W | L |
| DECIDUOUS TREES | | | | | | | |
| AMM | 21 | ACER MIYABEI 'MORTON' / STATE STREET™ MIYABE MAPLE | B&B | 2.5" CAL | 1 YEAR | 30' H X 30' W | N |
| ASB | 21 | ACER SACCHARUM 'BALSTA' / FALL FIESTA® SUGAR MAPLE | B&B | 2.5" CAL | | 60' H X 40' W | N |
| CSP | 9 | CATALPA SPECIOSA / NORTHERN CATALPA | B&B | 2.5" CAL | | 50' H X 30' W | L |
| COC | 41 | CELTIS OCCIDENTALIS / COMMON HACKBERRY | B&B | 2.5" CAL | | 60' H X 40' W | L |
| GDM | 22 | GYMNOCLADUS DIOICUS 'MCKBRANCHED' / DECAF® KENTUCKY COFFEETREE | B&B | 2.5" CAL | | 50' H X 40' W | L |
| QMA | 13 | QUERCUS MACROCARPA / BUR OAK | B&B | 2.5" CAL | | 65' H X 45' W | L |
| QMU | 24 | QUERCUS MUEHLENBERGII / CHINKAPIN OAK | B&B | 2.5" CAL | | 45' H X 45' W | L |
| QMC | 17 | QUERCUS X MACDANIELII 'CLEMONS' / HERITAGE® OAK | B&B | 2.5" CAL | | 60' H X 40' W | N |
| SJA | 22 | SOPHORA JAPONICA / JAPANESE PAGODA TREE | B&B | 2.5" CAL | | 50' H X 40' W | N |
| TAM | 17 | TILIA AMERICANA 'MCKSENTRY' / AMERICAN SENTRY® LINDEN | B&B | 2.5" CAL | | 60' H X 40' W | N |
| TTG | 14 | TILIA TOMENTOSA 'PNI 6051' / GREEN MOUNTAIN® SILVER LINDEN | B&B | 2.5" CAL | | 60' H X 40' W | N |
| UFR | 16 | ULMUS X 'FRONTIER' / FRONTIER ELM | B&B | 2.5" CAL | | 30' H X 30' W | N |
| UAM | 24 | ULMUS X 'MORTON' / ACCOLAD™ | B&B | 2.5" CAL | | 60' H X 40' W | N |
| ORNAMENTAL TREES | | | | | | | |
| AGI | 6 | ACER GINNALA / AMUR MAPLE | B&B | 2.0" CAL | | 20' H X 15' W | L |
| ATG | 12 | ACER TATARICUM 'GARA' | B&B | 2.0" CAL | | 20' H X 18' W | L |
| AGA | 11 | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY | B&B | 2.0" CAL | | 18' H X 15' W | L |
| CCA | 5 | CARPINUS CAROLINIANA | B&B | 2.0" CAL | | 20' H X 30' W | N |
| CCI | 17 | CRATAEGUS CRUS-GALLI / KENTUCKY SPUR HAWTHORN | B&B | 2.0" CAL | | 25' H X 20' W | N |
| MSS | 17 | MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE | B&B | 2.0" CAL | | 20' H X 20' W | N |
| SRE | 8 | SYRINGA RETICULATA / JAPANESE TREE LILAC | B&B | 2.0" CAL | | 20' H X 18' W | L |
| DECIDUOUS SHRUBS | | | | | | | |
| AAL | 49 | AMELANCHIER ALNIFOLIA / SERVICEBERRY | #5 CONT | | | 6' H X 6' W | X |
| AMC | 45 | AMORPHA NANA / DWARF FALSE INDIGO | #5 CONT | | | 6' H X 2' W | X |
| ACP | 108 | ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO' / PANCHITO MANZANITA | #5 CONT | | | 6' H X 5' W | L |
| CCB | 101 | CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD | #5 CONT | | | 6' H X 3' W | L |
| CMI | 11 | CHAMAEBATIARIA MILLEFOLIUM / FERNBUSH | #5 CONT | | | 6' H X 6' W | X |
| ENN | 21 | ERICAMERIA NAUSEOSA / RABBITBRUSH | #5 CONT | | | 6' H X 6' W | X |
| PFN | 32 | POTENTILLA FRUTICOSA 'FARGO' / DAKOTA SUNSPOT® POTENTILLA | #5 CONT | | | 6' H X 3' W | N |
| PPB | 323 | PRUNUS PUMILA BESSEYI 'P011S' / PAWNEE BUTTES® SAND CHERRY | #5 CONT | | | 5' H X 5' W | L |
| RTR | 26 | RHUS TRILOBATA / THREE LEAF SUMAC | #5 CONT | | | 6' H X 6' W | X |
| RTA | 225 | RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC | #5 CONT | | | 6' H X 6' W | X |
| RAU | 46 | RIBES ALPINUM / GOLDEN CURRANT | #5 CONT | | | 6' H X 6' W | L |
| RAM | 20 | RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT | #5 CONT | | | 6' H X 3' W | L |
| EVERGREEN SHRUBS | | | | | | | |
| ECO | 27 | EUONYMUS COLORATUS / PURPLE WINTERCREEPER | #5 CONT | | | 6' H X 6' W | L |
| JCG | 390 | JUNIPERUS COMMUNIS 'GREEN CARPET' / GREEN CARPET COMMON JUNIPER | #5 CONT | | | 6' H X 5' W | L |
| JHB | 296 | JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP CREEPING JUNIPER | #5 CONT | | | 6' H X 7' W | L |
| MRE | 315 | MAHONIA REPENS / CREEPING MAHONIA | #5 CONT | | | 5' H X 1.5' W | L |
| PMP | 18 | PINUS MUGO 'PUMILIO' / DWARF MUGO PINE | #5 CONT | | | 6' H X 10' W | L |
| PSH | 28 | PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE | #5 CONT | | | 6' H X 8' H | L |
| ORNAMENTAL GRASSES | | | | | | | |
| BGB | 141 | BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA | #1 CONT | | | 5' H X 2' W | X |
| PVS | 73 | PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS | #1 CONT | | | 6' H X 2' W | L |
| PAH | 15 | PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS | #1 CONT | | | 6' H X 1.5' W | L |
| PERENNIALS | | | | | | | |
| AMI | 7 | ACHILLEA MILLEFOLIUM / COMMON WHITE YARROW | #1 CONT | | | 6' H X 2' W | X |
| ACM | 3 | ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW | #1 CONT | | | 6' H X 2' W | L |
| ACS | 7 | AGASTACHE CANA 'SONORAN SUNSET' / SONORAN SUNSET HYSSOP | #1 CONT | | | 6' H X 1.5' W | X |
| DIC | 22 | DIASCIA INTEGERRIMA 'P009S' / CORAL CANYON® TWINSPUR | #1 CONT | | | 6' H X 1.5' W | X |
| EPU | 10 | ECHINACEA PURPUREA / CONEFLOWER | #1 CONT | | | 6' H X 2' W | L |
| ETE | 6 | ECHINACEA TENNESSEENSIS / TENNESSEE CONEFLOWER | #1 CONT | | | 5' H X 2' W | L |
| GAR | 9 | GALLIARDIA ARISTATA / BLANKET FLOWER | #1 CONT | | | 6' H X 2' W | L |
| LPU | 22 | LIATRIS PUNCTATA / NATIVE GAYFEATHER | #1 CONT | | | 5' H X 1' W | X |
| PST | 18 | PENSTEMON STRICTUS / ROCKY MOUNTAIN PENSTEMON | #1 CONT | | | 6' H X 1.5' W | L |
| PMP | 21 | PENSTEMON X MEXICALI 'P007S' / PIKES PEAK PURPLE® PENSTEMON | #1 CONT | | | 5' H X 1' W | L |
| SAJ | 40 | SEDUM X 'AUTUMN JOY' / AUTUMN JOY SEDUM | #1 CONT | | | 6' H X 1.5' W | L |

These subtotals have been added. -HCM-LA

Include subtotal for each category for both trees, shrubs, grasses, perennials

The totals for each plant category have been added. -HCM-LA

Include Total Tree Total. Do this for all trees, shrubs, grasses, perennials

ALTERNATES PLANTING SCHEDULE

| CODE | QTY | BOTANICAL / COMMON NAME | CONT | SIZE | EST. SIZE AT MATURITY | WATER USE |
|---------------------------|-----|--|---------|----------|-----------------------|-----------|
| DECIDUOUS TREES | | | | | | |
| AMM | 1 | ACER MIYABEI 'MORTON' / STATE STREET™ MIYABE MAPLE | B&B | 2.5" CAL | 30' H X 30' W | MEDIUM |
| ASB | 3 | ACER SACCHARUM 'BALSTA' / FALL FIESTA® SUGAR MAPLE | B&B | 2.5" CAL | 60' H X 40' W | MEDIUM |
| GDM | 2 | GYMNOCLADUS DIOICUS 'MCKBRANCHED' / DECAF® KENTUCKY COFFEETREE | B&B | 2.5" CAL | 50' H X 40' W | LOW |
| SJA | 5 | SOPHORA JAPONICA / JAPANESE PAGODA TREE | B&B | 2.5" CAL | 50' H X 40' W | MEDIUM |
| ORNAMENTAL TREES | | | | | | |
| AGA | 5 | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY | B&B | 2.0" CAL | 18' H X 15' W | LOW |
| MSS | 3 | MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE | B&B | 2.0" CAL | 20' H X 20' W | MEDIUM |
| DECIDUOUS SHRUBS | | | | | | |
| AAL | 4 | AMELANCHIER ALNIFOLIA / SERVICEBERRY | #5 CONT | | 6' H X 6' W | XERIC |
| AMC | 13 | AMORPHA NANA / DWARF FALSE INDIGO | #5 CONT | | 2' H X 2' W | XERIC |
| ACP | 8 | ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO' / PANCHITO MANZANITA | #5 CONT | | 2' H X 5' W | LOW |
| DBC | 37 | DAPHNE X BURKWOODII 'CAROL MACKIE' / CAROL MACKIE DAPHNE | #5 CONT | | 3' H X 4' W | MEDIUM |
| PFN | 50 | POTENTILLA FRUTICOSA 'FARGO' / DAKOTA SUNSPOT® POTENTILLA | #5 CONT | | 3' H X 3' W | MEDIUM |
| RAM | 26 | RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT | #5 CONT | | 4' H X 3' W | LOW |
| VON | 83 | VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN CRANBERRYBUSH | #5 CONT | | 2' H X 2' W | MEDIUM |
| EVERGREEN SHRUBS | | | | | | |
| ECO | 24 | EUONYMUS COLORATUS / PURPLE WINTERCREEPER | #5 CONT | | 1' H X 6' W | LOW |
| MRE | 140 | MAHONIA REPENS / CREEPING MAHONIA | #5 CONT | | 1.5' H X 1.5' W | LOW |
| PMP | 8 | PINUS MUGO 'PUMILIO' / DWARF MUGO PINE | #5 CONT | | 4' H X 10' W | LOW |
| PSH | 13 | PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE | #5 CONT | | 3' H X 8' H | LOW |
| ORNAMENTAL GRASSES | | | | | | |
| CAB | 73 | CALAMAGROSTIS BRACHYTRICHA / KOREAN FEATHER REED GRASS | #1 CONT | | 4' H X 3' W | MEDIUM |

NOTE: 1. PLANT SCHEDULE FOR REVIEW. FINAL PLANTING DESIGN WILL BE PROVIDED DURING CONSTRUCTION DOCUMENTS.

include info in yrs. mature column

The years to maturity have been added. -HCM-LA

SEED MIX SCHEDULES

| WATER QUALITY/DETENTION SEED MIX | | | |
|--|-------------------------|---------------------|---------------------|
| BOTANICAL NAME | COMMON NAME | VARIETY | PLS lbs/ac |
| GRAMINOIDS | | | |
| <i>Carex pellita</i> | Woolly Sedge | CO Ecotype (or VNS) | 2.0937 |
| <i>Distichlis spicata</i> | Inland Saltgrass | CO Ecotype (or VNS) | 0.6383 |
| <i>Elyochloa palustris</i> | Creeeping Spikerush | CO Ecotype (or VNS) | 0.6323 |
| <i>Elymus canadensis</i> | Canada Wildrye | Mandan | 1.7045 |
| <i>Bouteloua gracilis</i> | Blue Grama | Bad River | 0.2376 |
| <i>Elymus lanceolatus</i> ssp. <i>psammophilus</i> | Streambank Wheatgrass | Sodar | 3.3508 |
| <i>Juncus arcticus</i> | Baltic Rush/Arctic Rush | CO Ecotype (or VNS) | 0.0480 |
| <i>Juncus torreyi</i> | Torrey's Rush | CO Ecotype (or VNS) | 0.0212 |
| <i>Nassella viridula</i> | Green Needlegrass | CO Ecotype (or VNS) | 1.4440 |
| <i>Panicum virgatum</i> | Switchgrass | CO Ecotype (or VNS) | 2.0156 |
| <i>Pascopyrum smithii</i> | Western Wheatgrass | Arriba | 3.5640 |
| <i>Poa palustris</i> | Fowl Bluegrass | CO Ecotype (or VNS) | 0.0414 |
| <i>Schoenoplectus tabernaemontani</i> | Softstem Bulrush | CO Ecotype (or VNS) | 0.9504 |
| <i>Sorghastrum nutans</i> | Yellow Indiangrass | Holt | 1.1531 |
| <i>Spartina pectinata</i> | Prairie Cordgrass | CO Ecotype (or VNS) | 2.6534 |
| FORBS | | | |
| <i>Asclepias incarnata</i> | Swamp Milkweed | CO Ecotype (or VNS) | 0.8508 |
| <i>Helianthus nuttallii</i> | Nuttall's Sunflower | CO Ecotype (or VNS) | 0.3011 |
| <i>Cleome serrulata</i> | Rocky Mountain Beeplant | CO Ecotype (or VNS) | 0.9915 |
| TOTAL | | | 1'-10 11/16" |

| NATIVE SEED MIX | | | |
|--|--------------------------|----------------------------|------------------|
| BOTANICAL NAME | COMMON NAME | VARIETY | PLS lbs/ac |
| GRAMINOIDS | | | |
| <i>Achnatherum hymenoides</i> | Indian Ricegrass | Rimrock | 1.8500 |
| <i>Bouteloua curtipendula</i> | Sideoats Grama | Vaughn, Butte | 2.4600 |
| <i>Bouteloua gracilis</i> | Blue Grama | Lovington, Bad River, Alma | 1.2700 |
| <i>Buchloe dactyloides</i> | Buffalograss | Cody | 8.4000 |
| <i>Elymus lanceolatus</i> ssp. <i>lancoletatus</i> | Thickspike Wheatgrass | Bannock II | 1.3400 |
| <i>Elymus trachycaulus</i> | Slender Wheatgrass | San Luis | 1.3200 |
| <i>Koeleria macrantha</i> | Prairie Junegrass | CO Ecotype (or VNS) | 0.1100 |
| <i>Hilaria jamesii</i> | Galleta Grass | Viva | 1.6400 |
| <i>Nassella viridula</i> | Green Needlegrass | Lodorm or Cucharas | 1.4400 |
| <i>Pascopyrum smithii</i> | Western Wheatgrass | Arriba | 4.7500 |
| <i>Sporobolus airoides</i> | Alkali Sacaton | CO Ecotype (or VNS) | 0.3300 |
| <i>Sporobolus cryptandrus</i> | Sand Dropseed | CO Ecotype (or VNS) | 0.1000 |
| FORBS | | | |
| <i>Achillea millefolium</i> var. <i>occidentalis</i> | Western Yarrow | CO Ecotype (or VNS) | 0.1000 |
| <i>Artemisia frigida</i> | Fringed Sage | CO Ecotype (or VNS) | 0.1000 |
| <i>Dalea purpurea</i> | Purple Prairie Clover | CO Ecotype (or VNS) | 0.2500 |
| <i>Gaillardia aristata</i> | Blanketflower | CO Ecotype (or VNS) | 0.4000 |
| <i>Linum lewisii</i> | Blue Flax | CO Ecotype (or VNS) | 0.3100 |
| <i>Penstemon strictus</i> | Rocky Mountain Penstemon | CO Ecotype (or VNS) | 0.0900 |
| <i>Sphaeralcea coccinea</i> | Scarlet globemallow | CO Ecotype (or VNS) | 0.1000 |
| TOTAL | | | 2'-2 3/8" |

* Halve rate for drill seeding.

Include missing info

Missing chart information has been added. -HCM-LA

| POLLINATOR SEED MIX | | | |
|--|--------------------------|---------------------|--------------------|
| BOTANICAL NAME | COMMON NAME | VARIETY | PLS lbs/ac |
| GRAMINOIDS | | | |
| <i>Achnatherum hymenoides</i> | Indian Ricegrass | Rimrock | 1.1100 |
| <i>Bouteloua curtipendula</i> | Sideoats Grama | Vaughn, Butte | 2.7400 |
| <i>Bouteloua gracilis</i> | Blue Grama | Bad River, Alma | 0.9500 |
| <i>Buchloe dactyloides</i> | Buffalograss | Cody | 4.6700 |
| <i>Calamovilfa longifolia</i> | Prairie sandreed | Goshen | 0.7700 |
| <i>Elymus lanceolatus</i> ssp. <i>lancoletatus</i> | Thickspike Wheatgrass | Bannock II | 1.3400 |
| <i>Elymus trachycaulus</i> | Slender Wheatgrass | San Luis | 1.3200 |
| <i>Hesperostipa comata</i> ssp. <i>comata</i> | Needle and Thread Grass | CO Ecotype (or VNS) | 2.2700 |
| <i>Hilaria jamesii</i> | Galleta Grass | Viva | 0.9900 |
| <i>Nassella viridula</i> | Green Needlegrass | Lodorm or Cucharas | 1.4400 |
| <i>Panicum virgatum</i> | Switchgrass | Blackwell | 0.5400 |
| <i>Pascopyrum smithii</i> | Western Wheatgrass | Arriba | 4.7500 |
| <i>Schizachyrium scoparium</i> | Little Bluestem | CO Ecotype (or VNS) | 1.2100 |
| <i>Sorghastrum nutans</i> | Yellow Indiangrass | CO Ecotype (or VNS) | 1.2300 |
| <i>Sporobolus cryptandrus</i> | Sand Dropseed | CO Ecotype (or VNS) | 0.1000 |
| FORBS | | | |
| <i>Achillea millefolium</i> var. <i>occidentalis</i> | Western Yarrow | CO Ecotype (or VNS) | 0.1000 |
| <i>Artemisia frigida</i> | Fringed Sage | CO Ecotype (or VNS) | 0.1000 |
| <i>Artemisia ludoviciana</i> | Prairie Sage | CO Ecotype (or VNS) | 0.1000 |
| <i>Cleome serrulata</i> | Rocky Mountain Beeplant | CO Ecotype (or VNS) | 1.5900 |
| <i>Coreopsis tinctoria</i> | Plains Coreopsis | CO Ecotype (or VNS) | 0.0400 |
| <i>Dalea purpurea</i> | Purple Prairie Clover | CO Ecotype (or VNS) | 0.2500 |
| <i>Gaillardia aristata</i> | Blanketflower | CO Ecotype (or VNS) | 0.7900 |
| <i>Heterotheca villosa</i> | Hairy False Goldenaster | CO Ecotype (or VNS) | 0.1100 |
| <i>Liatis punctata</i> | Dotted Gayfeather | CO Ecotype (or VNS) | 0.3700 |
| <i>Linum lewisii</i> | Blue Flax | CO Ecotype (or VNS) | 0.3100 |
| <i>Machaeranthera bigelovii</i> vs. <i>bigelovii</i> | Plains Aster | CO Ecotype (or VNS) | 0.0300 |
| <i>Penstemon strictus</i> | Rocky Mountain Penstemon | CO Ecotype (or VNS) | 0.0900 |
| <i>Ratibida columnifera</i> | Prairie Coneflower | CO Ecotype (or VNS) | 0.0700 |
| <i>Sphaeralcea coccinea</i> | Scarlet Globemallow | CO Ecotype (or VNS) | 0.1000 |
| SHRUBS | | | |
| <i>Ericameria nauseosa</i> | Rubber Rabbitbrush | CO Ecotype (or VNS) | 0.1300 |
| <i>Yucca glauca</i> | Soapweed Yucca | CO Ecotype (or VNS) | 2.3000 |
| TOTAL | | | 2'-7 29/32" |

* Hal

MATERIALS LEGEND

| DESCRIPTION |
|---|
| 03-1 CAST-IN-PLACE STRUCTURAL CONCRETE COLUMN BASE |
| 04-1 BRICK VENEER - MODULAR (2-1/4X4X8), INTERSTATE BRICK, COLOR: ALMOND |
| 04-2 BRICK VENEER - MODULAR (2-1/4X4X8), INTERSTATE BRICK, COLOR: PLATINUM |
| 05-1 STRUCTURAL STEEL PIPE COLUMN PAINTED WITH HIGH PERFORMANCE COATING |
| 07-1 PRE-FINISHED SHEET METAL FASCIA, COLOR TO MATCH MORIN ZINC GRAY |
| 07-2 PRE-FINISHED SHEET METAL STANDING SEAM BOD: MORIN SYMMETRY SYM-12-0 WITH 2" SEAMS, 22 GA |
| 07-3 PRE-FINISHED SHEET METAL GUTTER |
| 07-4 PRE-FINISHED SHEET METAL DOWNSPOUT, COLOR TO MATCH FASCIA |
| 07-5 PRE-FINISHED METAL PANEL, BOD: MORIN MATRIX MX-6, 22 GA. COLOR: ZINC GRAY |
| 07-6 CEMENT BOARD SOFFIT |
| 08-1 HOLLOW METAL DOOR AND FRAME, PAINTED |
| 08-2 HOLLOW METAL FRAME AND GLAZING, PAINTED |
| 08-3 21" TUBULAR SKYLIGHT |
| 08-4 INSULATED STEEL SECTIONAL DOOR 9'-4"W X 8'H |
| 08-5 INSULATED SST SECTIONAL COUNTER DOOR 8'W X 4'H |
| 10-1 ALUMINUM DIMENSIONAL LETTER SIGNAGE |
| 10-2 PROPOSED ENVIRONMENTAL GRAPHIC |
| 10-3 ACRYLIC ROOM PANEL SIGNAGE |
| 22-1 WALL MOUNTED DRINKING FOUNTAINS AND BOTTLE FILLER |

Break elevations into multiple sheets, max 2 on each sheet, dimensions all heights and widths on all elevations.

Show building footprints on same sheet of elevations, indicating plane breaks

Elevations broken out with building footprint and plane breaks indicated on revised elevation sheets. - Note that the Hub building has been removed from this phase so we have no longer included these sheets. HCM

Include a small site plan on all elevations building sheets showing where these buildings are

Site key plan is added to all revised elevation sheets. - HCM

Provide more detail on graphics/application/permanency...etc.

Can you incorporate any of the glazing on this facade

The spaces on the other side of this exterior wall (Electrical, IT) do not want exterior glazing due to the equipment housed in those rooms. We do not recommend adding glazing to this elevation. -HCM

Is there any wall mounted lighting anywhere?

Building lighting indicated on revised elevations. - HCM

Please label material labels added. - HCM

THE LINE SHOWN ABOVE IS ONLY FOR REFERENCE AND NOT TO SCALE. SHEET ORIGINAL PAGE SIZE

D

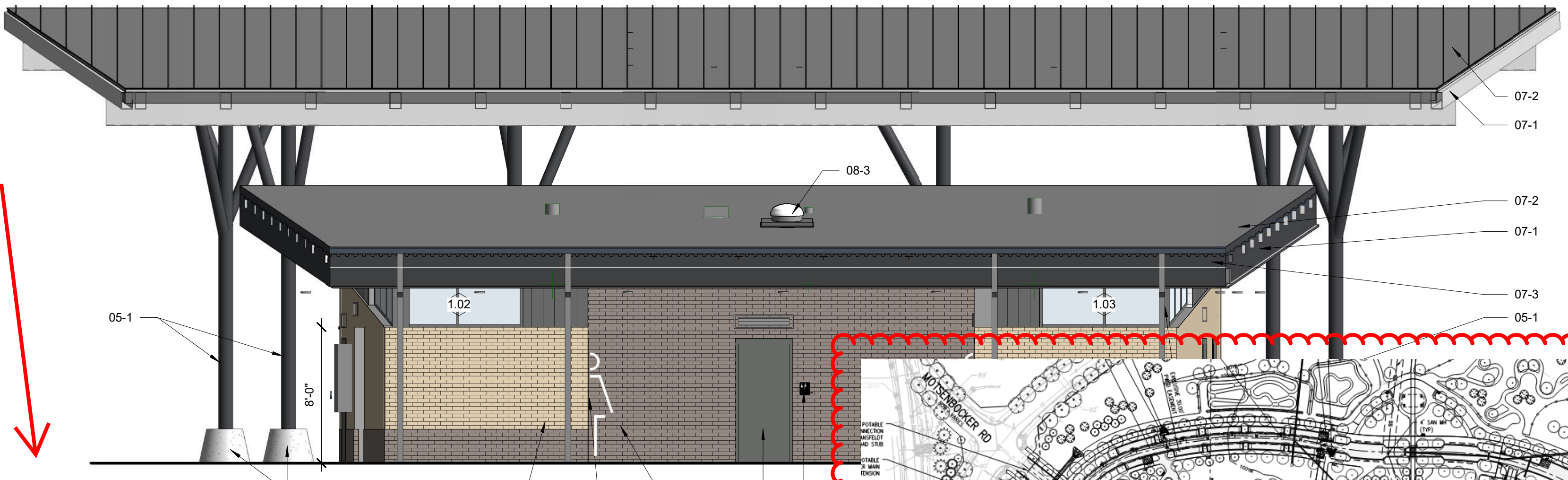
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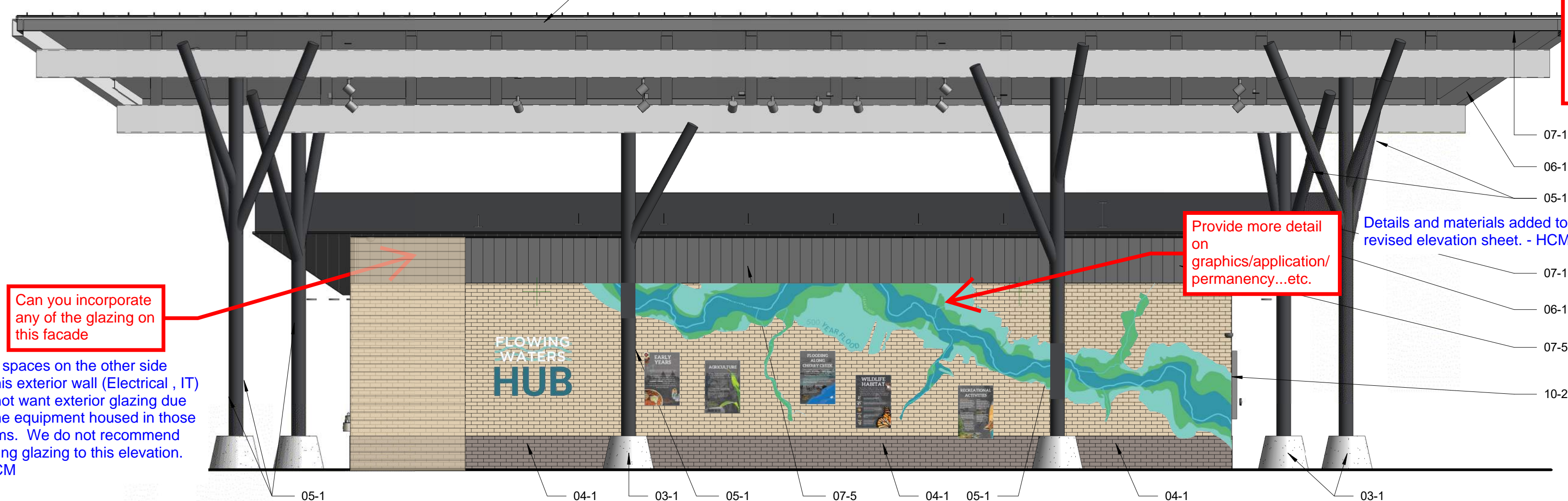
B

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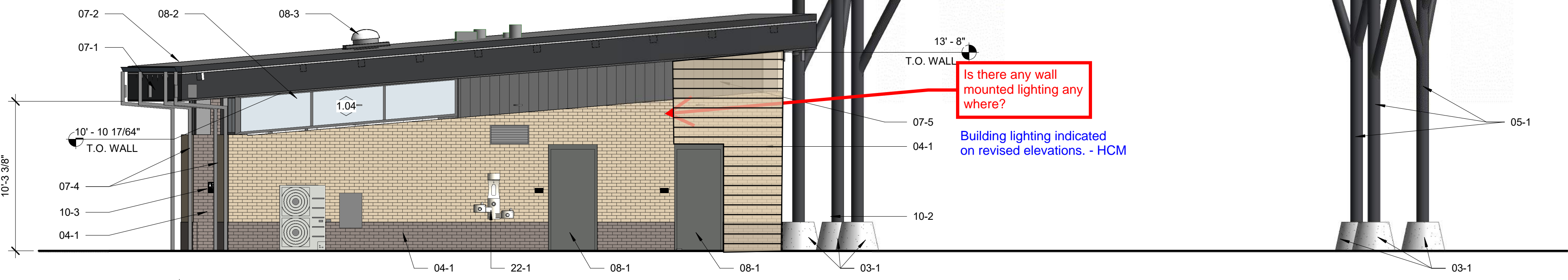
11/20/2024 4:31:26 PM



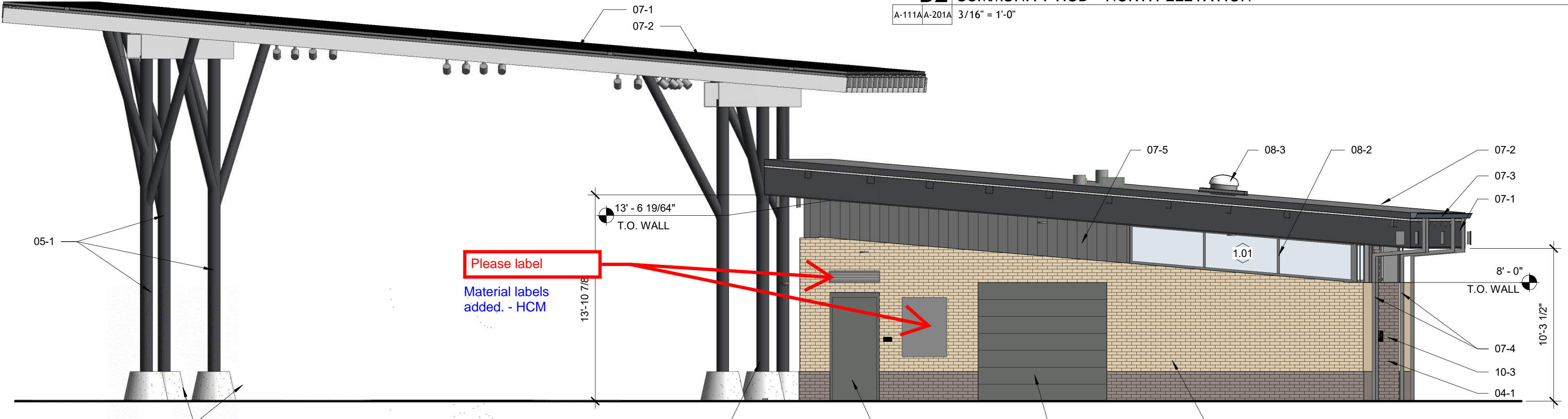
D1 COMMUNITY HUB - EAST ELEVATION
A-111A-A-201A 3/16" = 1'-0"



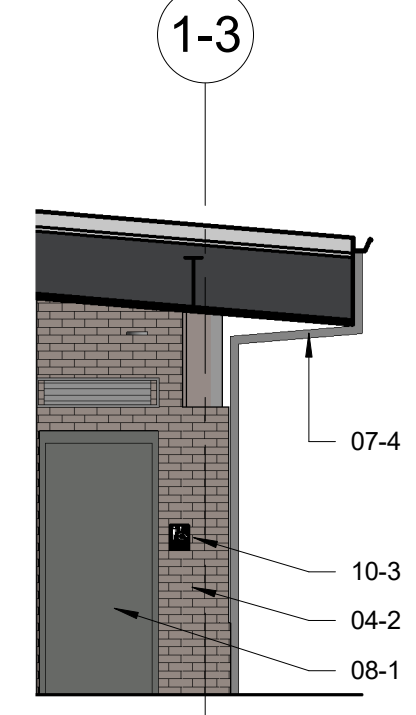
C1 COMMUNITY HUB - WEST ELEVATION
A-111A-A-201A 3/16" = 1'-0"



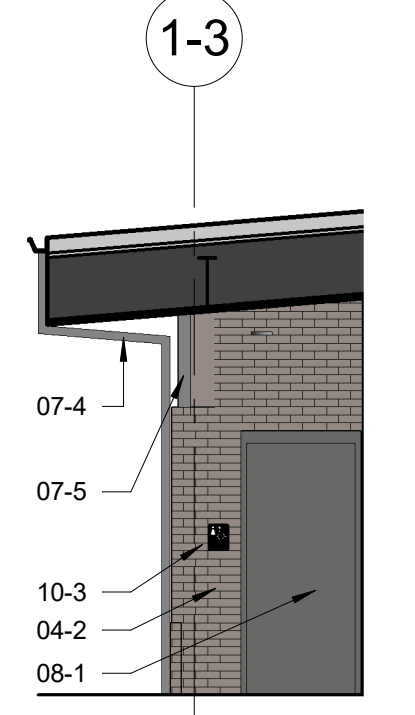
B2 COMMUNITY HUB - NORTH ELEVATION
A-111A-A-201A 3/16" = 1'-0"



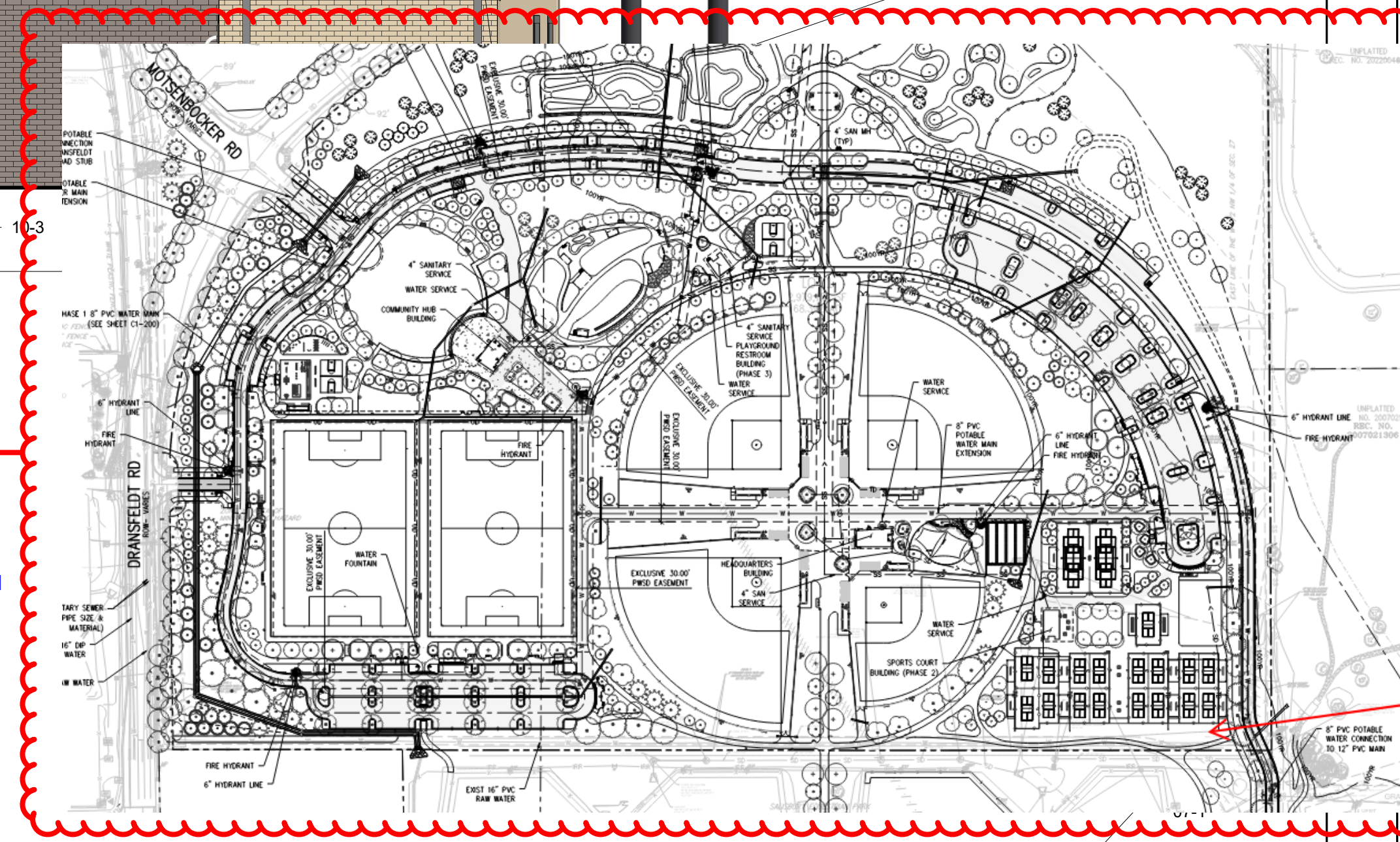
A1 COMMUNITY HUB - SOUTH ELEVATION
A-111A-A-201A 3/16" = 1'-0"



A4 HUB TOILET ROOM - SOUTH ELEVATION
A-111A-A-201A 3/16" = 1'-0"



A5 HUB TOILET ROOM - NORTH ELEVATION
A-111A-A-201A 3/16" = 1'-0"



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LANDSCAPE ARCHITECT / ARCHITECT
1800 Wazee Street, Suite 450
Denver, CO 80202
p.303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER
JVA Incorporated
1015 Larimer Street, #500
Denver, CO 80202
p.303.444.1951

ELECTRICAL ENGINEER
Ackerman Engineering, Inc.
3200 Franklin Street, #204
Wheat Ridge, CO 80215
p.303.278.7297

IRRIGATION
Avocat Irrigation
11701 W. Ken-Coy Area, Suite F-509
Littleton, CO 80127
p.303.989.2175

MECHANICAL ENGINEER
ENVISION Mechanical Engineers, Inc.
3777 General Court, #400
Englewood, CO 80112
p.303.588.0223

TOWN OF PARKER
**SALISBURY PARK
NORTH - PHASE 1**
11700 MOTSENBOCKER RD
PARKER, CO 80134

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ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

| DATE | DESCRIPTION |
|------|-------------|
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| | |

Project Number: 223072.00
Sheet Issue Date: 2024-11-22
Drawn By: ST
Checked By: LG
Key Map

Drawing
COMMUNITY HUB -
EXTERIOR
ELEVATIONS

A-201A

SITE PLAN SUBMITTAL
Page 259 of 311

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THE LINES SHOWN ABOVE IS
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THE SQUARES ABOVE ARE COLORED WITH BLACK
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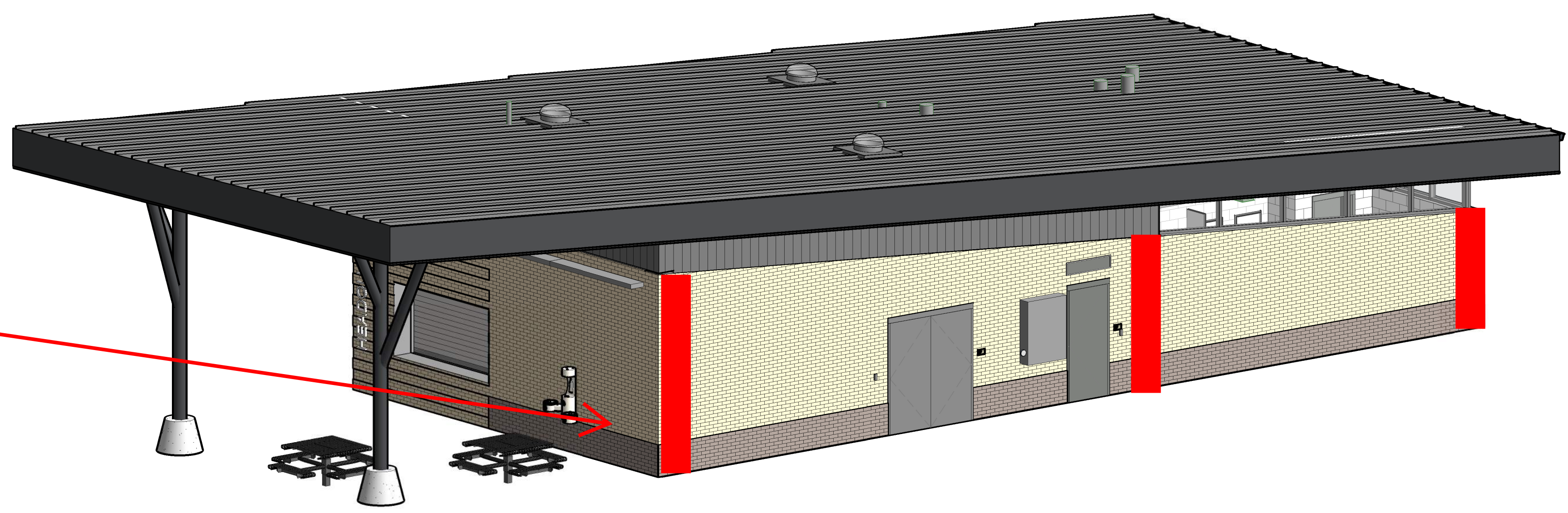
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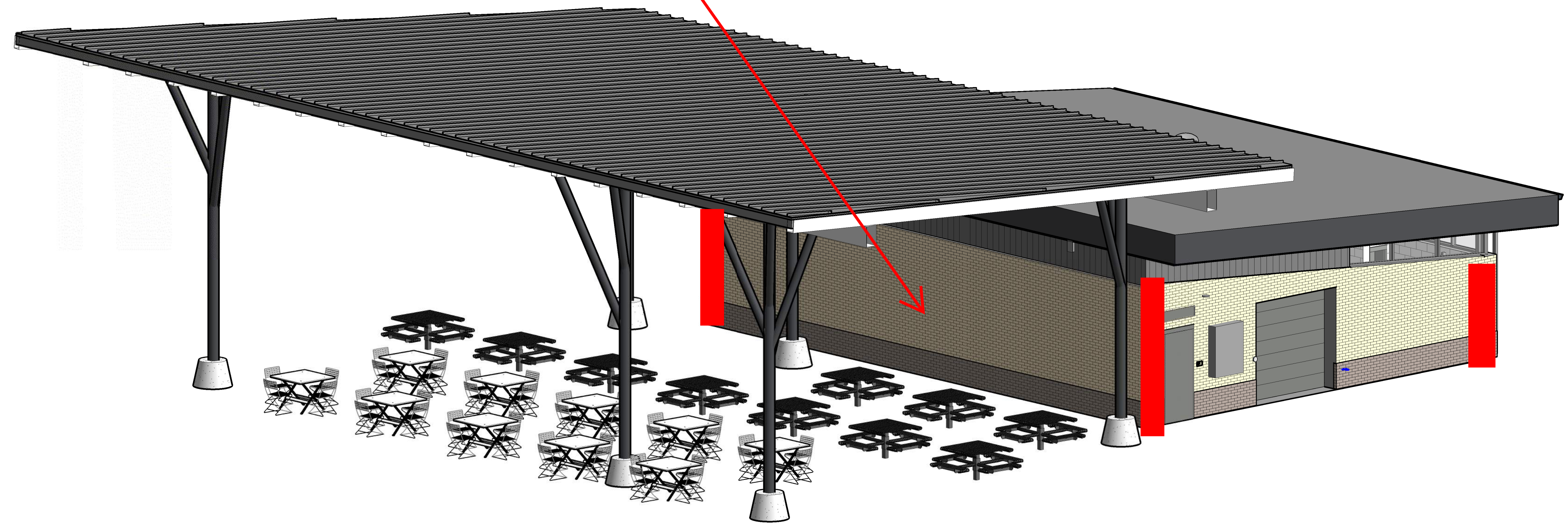
Brick banding was added to both buildings to emulate
the vertical plane breaks. The proposed design solution
was presented to Julia Duncan and was reviewed and
approved by the planning staff. All new banding is incorporated
into the revised elevations. - HCM

Incorporate vertical column elements on corners to break up
building as well as additional art/graphics

These are just examples/suggestions but bring the darker brick
element up at intervals and have it protrude to create plane
breaks



C3 HEADQUARTERS & RESTROOM 3D VIEW
A-202



A1 COMMUNITY PAVILION 3D VIEW
A-202

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LANDSCAPE ARCHITECT / ARCHITECT
1800 Wazee Street, Suite 450
Denver, CO 80202
p.303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER
JVA Incorporated
1615 Larimer Street, #550
Denver, CO 80202
p. 303.444.1961

ELECTRICAL ENGINEER
Ackerman Engineering, Inc.
3200 Fossilhead Street, #204
Wheat Ridge, CO 80215
p. 303.278.7297

IRRIGATION
Avocat Irrigation
11705 W. Ken-Caryl Ave., Suite F-509
Littleton, CO 80127
p. 303.986.2175

MECHANICAL ENGINEER
ENVISION Mechanical Engineers, Inc.
3777 Pineson Court, #300
Englewood, CO 80112
p. 303.688.0223

Town of Parker
**SALISBURY PARK
NORTH - PHASE 1**
11700 MOTSENBOCKER RD
PARKER, CO 80134

hord coplan macht
ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

| Δ | DATE | DESCRIPTION |
|---|------|-------------|
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Project Number: 223072.00
Sheet Issue Date: 2024-11-22
Drawn By: ST
Checked By: LG

Key Map

Drawing
HEADQUARTERS &
COMMUNITY HUB
PAVILION 3D VIEWS

A-202

SITE PLAN SUBMITTAL
Page 261 of 311



Project Reviews Town of Parker

Project Number: SP24-124

Description: Salisbury North MDP F1 AMD 2 L1 - Park Expansion Phase 1

Applied: 11/25/2024

Approved:

Site Address: 11700 MOTSENBOCKER RD

Closed:

Expired:

City, State Zip Code: PARKER, CO 80134

Status: UNDER REVIEW 1

Applicant: Town of Parker Recreation Dept.

Parent Project: SUB24-005

Owner: TOWN OF PARKER

Contractor: <NONE>

Details:

The applicant, the Town of Parker, is proposing Phase 1 of an expansion to Salisbury Park to include baseball fields, park amenities and parking. The site is located on the west side of Motsenbocker Road north of Hess Road.

LIST OF REVIEWS

| SENT DATE | RETURNED DATE | DUE DATE | TYPE | CONTACT | STATUS | REMARKS |
|--------------------|---------------|------------|------------------------------|---------------|------------|---------|
| Review Group: ALL | | | | | | |
| 11/27/2024 | 12/2/2024 | 12/9/2024 | COMPLETENESS REVIEW | Julia Duncan | COMPLETED | |
| Notes: | | | | | | |
| Review Group: AUTO | | | | | | |
| 11/25/2024 | | | ENGINEERING ADMINISTRATIVE | Tom Williams | | |
| Notes: | | | | | | |
| 11/25/2024 | 11/27/2024 | 12/11/2024 | LAND USE COMPLETENESS REVIEW | Alex Mestdagh | NO COMMENT | |
| Notes: | | | | | | |



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Project Reviews Town of Parker



Review Group: SP 1ST 20

| | | | | | | |
|-----------|----------|----------|-------------|------------|-----------|--------------|
| 12/2/2024 | 1/6/2025 | 1/6/2025 | BUILDING 20 | Randy Sale | COMPLETED | 01 REVIEW 20 |
|-----------|----------|----------|-------------|------------|-----------|--------------|

Notes:

Building Division pre-application meetings are available before applying for the building permit to discuss access requirements during construction, construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc...if needed. Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions. Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then the full plan review process will begin.

General Comments to be aware of:
 Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the most current adopted codes per Ordinances at time of submittal. This includes but is not limited to the International Code Family, Accessibility Code, the National Electrical and any referenced codes such as the NFPA editions. Please contact us prior to submittal of the construction documents. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal.
 The applicant may need to demonstrate compliance with the Colorado Model Electric and Solar Ready Code, HB22-1362, as applicable to this site plan review and the construction documents (plans) when submitting the building permit. If the Building Permit application is received before the next code cycle adoption or June 30, 2026, whichever comes first, no modifications to the site plan or building documents will be required. Please call to discuss if needed.

All accessible parking must be shown in the building permit documents. The approved site plan sheet (s) showing the property lines, building, accessible routes, accessible parking spaces and entrances to the building will be required.
 All required Fire Permits will be reviewed and need inspections through the Parker Building Division, which will be noted in the main building permit review. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.
 Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered, staggered, stepped back retaining walls all require permits no matter the height of individual wall.

| | | | | | | |
|-----------|--|----------|-------------------------------|-------------|--|--------------|
| 12/2/2024 | | 1/6/2025 | CENTURYLINK COMMUNICATIONS 20 | CenturyLink | | 01 REVIEW 20 |
|-----------|--|----------|-------------------------------|-------------|--|--------------|

Notes:

| | | | | | | |
|-----------|-----------|----------|---|-----------|-------------------|-----------|
| 12/2/2024 | 12/9/2024 | 1/6/2025 | CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20 | Val Endyk | ADVISORY COMMENTS | See Notes |
|-----------|-----------|----------|---|-----------|-------------------|-----------|

Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP24-124, Salisbury North MDP F1 AMD 2 L1 - Park Expansion Phase 1 have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.
 If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

| | | | | | | |
|-----------|--|----------|------------|--------------|--|--------------|
| 12/2/2024 | | 1/6/2025 | COMCAST 20 | Butch Buster | | 01 REVIEW 20 |
|-----------|--|----------|------------|--------------|--|--------------|

Notes:



PARKER
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Project Reviews Town of Parker



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| 12/2/2024 | 1/6/2025 | 1/6/2025 | CONST PLANS - ENVIRONMENTAL | Robert Seacat | REVISIONS REQUIRED | No Civil Plan Set, See Comments |
| Notes: Please note, CIVIL Drawings with Erosion Control Plans will be required and reviewed when the site plan gets close to final approval. | | | | | | |
| 12/2/2024 | 1/9/2025 | 1/6/2025 | CONSTRUCTION PLANS - CIVIL | Charles Kudlauskas | REVISIONS REQUIRED | See uploaded Memo and Redlines. |
| Notes: | | | | | | |
| 12/2/2024 | 12/26/2024 | 1/6/2025 | DOUGLAS COUNTY ASSESSORS OFFICE 20 | Marian Woodward | NO COMMENT | 01 REVIEW 20 |
| Notes: | | | | | | |
| 12/2/2024 | 12/3/2024 | 1/6/2025 | DOUGLAS COUNTY ENGINEERING DIVISION 20 | DC Referrals | NOT APPLICABLE | 01 REVIEW 20 |
| Notes: N/A | | | | | | |
| 12/2/2024 | 1/6/2025 | 1/6/2025 | DOUGLAS COUNTY PLANNING SERVICES DIVISION 20 | DC Referrals | ADVISORY COMMENTS | 01 REVIEW 20 |
| Notes: See the attached Referral Comments Report. | | | | | | |
| 12/2/2024 | | 1/6/2025 | DOUGLAS COUNTY SCHOOL DISTRICT RE1 20 | Shavon Caldwell | | 01 REVIEW 20 |
| Notes: | | | | | | |
| 12/2/2024 | 1/9/2025 | 1/6/2025 | DRAINAGE REPORT - CIVIL | Charles Kudlauskas | REVISIONS REQUIRED | See uploaded Memo and Redlines. |
| Notes: | | | | | | |
| 12/2/2024 | 12/16/2024 | 1/6/2025 | FIRE LIFE SAFETY 20 | Randy Capra | APPROVED | 01 REVIEW 20 |
| Notes: | | | | | | |



PARKER
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Project Reviews Town of Parker



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| 12/2/2024 | 1/6/2025 | 1/6/2025 | IREA 20 | Brooks Kaufman | REVISIONS REQUIRED | 01 REVIEW 20 |
| Notes: CORE Electric Cooperative has reviewed the contents in the above-referenced referral response packet. We reviewed the project for maintaining our existing facilities, utility easements, electric loading, and service requirements. We are advising you of the following concerns and comments: CORE has existing underground electric facilities on the subject property. CORE will maintain these existing utility easements and facilities unless otherwise requested by the applicant to modify them under the CORE's current extension policies. CORE will require that all structures and landscaping maintain adequate clearances to the existing underground electric facilities and allow for CORE to access the existing underground electric facilities for maintenance purposes. In addition, CORE will require a grading profile if any grading work is to be done which could affect clearances or access to the existing underground electric facilities. CORE will require the applicant to update the site plan to include the recently overhead power lines converted to underground associated with the Dransfeldt road expansion to be shown on the site plan; to avoid future improvement conflicts. | | | | | | |
| 12/2/2024 | 1/9/2025 | 1/6/2025 | PLAT - CIVIL | Charles Kudlauskas | NOT APPLICABLE | |
| Notes: | | | | | | |
| 12/2/2024 | | 1/6/2025 | POLICE 20 | Greg Epp | | 01 REVIEW 20 |
| Notes: | | | | | | |
| 12/2/2024 | | 1/6/2025 | PSCO RESIDENTIAL SUBDIVISIONS 20 | Xcel Energy | | 01 REVIEW 20 |
| Notes: | | | | | | |
| 12/2/2024 | 12/18/2024 | 1/6/2025 | PUBLIC SERVICE COMPANY OF COLORADO 20 | Donna George | ADVISORY COMMENTS | please see attached |
| Notes: please see attached; no resubmittals are necessary | | | | | | |
| 12/2/2024 | 1/9/2025 | 1/6/2025 | SITE PLAN - CIVIL | Charles Kudlauskas | REVISIONS REQUIRED | See uploaded Memo and Redlines. |
| Notes: | | | | | | |
| 12/2/2024 | | 1/6/2025 | SITE PLAN 20 | Julia Duncan | | 01 REVIEW 20 |
| Notes: | | | | | | |
| 12/2/2024 | | 1/6/2025 | SOUTH METRO FIRE 20 | South Metro Fire | | 01 REVIEW 20 |
| Notes: | | | | | | |



PARKER
C O L O R A D O

Project Reviews Town of Parker



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| 12/2/2024 | 1/9/2025 | 1/6/2025 | TRAFFIC IMPACT STUDY - CIVIL | Charles Kudlauskas | REVISIONS REQUIRED | See uploaded Memo and Redlines. |
| Notes: | | | | | | |
| 12/2/2024 | | 1/6/2025 | URBAN DRAINAGE AND FLOOD CONTROL 20 | UDFCD | | 01 REVIEW 20 |
| Notes: | | | | | | |
| Review Group: SP 1ST 20 ADD | | | | | | |
| 12/2/2024 | 1/7/2025 | 1/6/2025 | PARKER WATER AND SANITATION DISTRICT 20 | Robert Ramsey | REVISIONS REQUIRED | 01 REVIEW 20 |
| Notes: Please see uploaded documents and Red lined plans. | | | | | | |