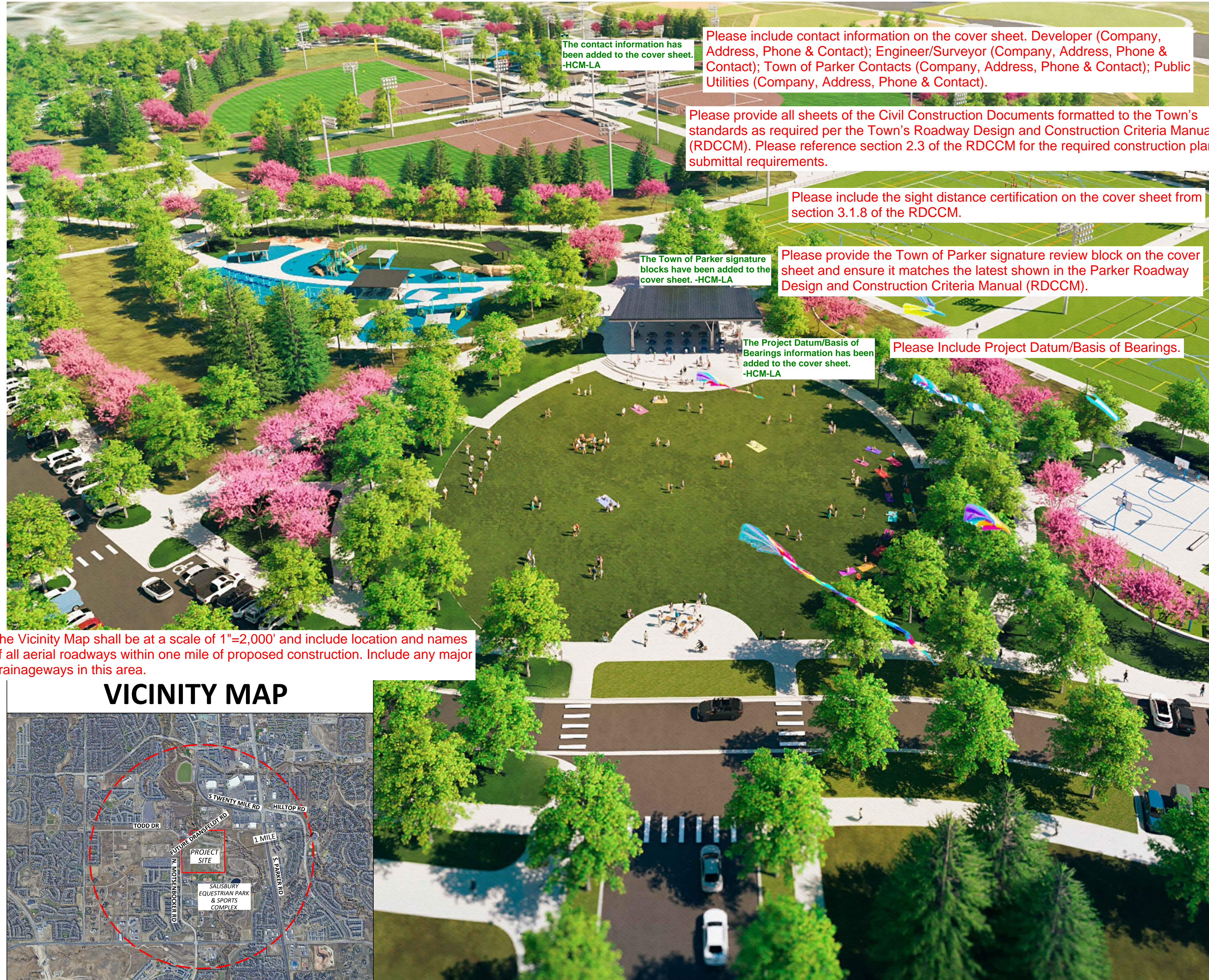


# SALISBURY PARK NORTH PHASE 1

## TOWN OF PARKER SITE PLAN

NOVEMBER 22, 2024

SALISBURY PARK NORTH MINOR DEVELOPMENT PLAT, 2ND AMENDMENT  
A PART OF THE NORTHWEST QUARTER OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.  
91.307 ACRES - 3 LOTS



Please include contact information on the cover sheet. Developer (Company, Address, Phone & Contact); Engineer/Surveyor (Company, Address, Phone & Contact); Town of Parker Contacts (Company, Address, Phone & Contact); Public Utilities (Company, Address, Phone & Contact).

Please provide all sheets of the Civil Construction Documents formatted to the Town's standards as required per the Town's Roadway Design and Construction Criteria Manual (RDCCM). Please reference section 2.3 of the RDCCM for the required construction plan submittal requirements.

Please include the sight distance certification on the cover sheet from section 3.1.8 of the RDCCM.

Please provide the Town of Parker signature review block on the cover sheet and ensure it matches the latest shown in the Parker Roadway Design and Construction Criteria Manual (RDCCM).

Please Include Project Datum/Basis of Bearings.

The Vicinity Map shall be at a scale of 1"=2,000' and include location and names of all aerial roadways within one mile of proposed construction. Include any major drainageways in this area.

### VICINITY MAP



**LAND USE SUMMARY TABLE (BASE) - PHASE 1**

LOT SIZE ACREAGE:	47.89 ACRES / 2,086,224 SF
PROPOSED USE(S):	PARK, OPEN SPACE
NUMBER OF BUILDINGS:	ONE (1) TYPE V-B PROPOSED BUILDING • HOME PLATE HEADQUARTERS ONE (1) EXISTING BUILDING • CONCESSIONS
GROSS FLOOR AREA:	HOME PLATE HEADQUARTERS - 2,001 SF EXISTING CONCESSIONS - 1,054 SF
TOTAL GROSS FLOOR AREA:	3,055 SF
SETBACKS REQUIRED:	FRONT SETBACK REQUIRED: 10' SIDE SETBACK REQUIRED: 10' REAR SETBACK REQUIRED: 10'
SETBACKS PROVIDED:	FRONT SETBACK: 1,175' SIDE SETBACK: 368' REAR SETBACK PROVIDED: 393'
PARKING REQUIRED:	SEE 'PARKING MATRIX' TABLE
BICYCLE PARKING REQUIRED:	SEE 'PARKING MATRIX' TABLE
LANDSCAPE PERCENTAGE REQUIRED:	271,951 SF (15% OF NET SITE AREA)
LANDSCAPE PERCENTAGE PROVIDED:	56.4%

\*SEE SHEET L-410 'LANDSCAPE REQUIREMENTS' FOR ADDITIONAL INFORMATION

**LAND USE SUMMARY TABLE (W/ ALTERNATES) - PHASE 1**

LOT SIZE ACREAGE:	48.73 ACRES / 2,122,510 SF
PROPOSED USE(S):	PARK, OPEN SPACE
NUMBER OF BUILDINGS:	TWO (2) TYPE V-B BUILDINGS • HOME PLATE HEADQUARTERS • COMMUNITY HUB ONE (1) EXISTING BUILDING • CONCESSIONS
GROSS FLOOR AREA:	HOME PLATE HEADQUARTERS - 2,001 SF COMMUNITY HUB - 1,741 SF EXISTING CONCESSIONS - 1,054 SF
TOTAL GROSS FLOOR AREA:	4,796 SF
SETBACKS REQUIRED:	FRONT SETBACK REQUIRED: 10' SIDE SETBACK REQUIRED: 10' REAR SETBACK REQUIRED: 10'
SETBACKS PROVIDED:	FRONT SETBACK: 445' SIDE SETBACK: 368' REAR SETBACK PROVIDED: 393'
PARKING REQUIRED:	SEE 'PARKING MATRIX' TABLE
BICYCLE PARKING REQUIRED:	SEE 'PARKING MATRIX' TABLE
LANDSCAPE PERCENTAGE REQUIRED:	277,394 SF (15% OF NET SITE AREA)
LANDSCAPE PERCENTAGE PROVIDED*:	55.3%

\*SEE SHEET L-410 'LANDSCAPE REQUIREMENTS' FOR ADDITIONAL INFORMATION

### PARKING MATRIX - PHASE 1

VEHICLE PARKING TYPE	REQUIRED BASE*	REQUIRED WITH ALTERNATES	PROVIDED BASE
STANDARD	279	324	314
STANDARD EV	0	0	2
ACCESSIBLE	7	8	16
ACCESSIBLE EV	0	0	2
COMPACT**	0	0	8
<b>TOTALS:</b>	<b>286</b>	<b>332</b>	<b>334</b>

\*REFER TO SHEET G-021 FOR 'COMMUNITY PARK PARKING SPACE GUIDELINES'  
\*\*COMPACT PARKING STALLS DO NOT COUNT TOWARDS OVERALL PARKING COUNT

BIKE PARKING TYPE	REQUIRED BASE	PROVIDED BASE	REQUIRED WITH ALTERNATES	PROVIDED WITH ALTERNATES
EXTERIOR FIXED	3	20	6	30

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LANDSCAPE ARCHITECT / ARCHITECT  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
p. 303.607.0977  
CIVIL ENGINEER / STRUCTURAL ENGINEER  
JVA Incorporated  
1675 Lamar Street, #500  
Denver, CO 80202  
p. 303.444.1991  
ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
3000 Yarmouth Street, #204  
Wheat Ridge, CO 80151  
p. 303.278.7297  
IRRIGATION  
Avocet Irrigation  
11701 W. Main Street, Suite F-500  
Littleton, CO 80127  
p. 303.966.2175  
MECHANICAL ENGINEER  
ENVISSION Mechanical Engineers, Inc.  
9777 Regent Court, #500  
Englewood, CO 80112  
p. 303.968.0223

Town of Parker  
**SALISBURY PARK  
NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: EH, LW, ED, MS, AG  
Checked By: RB, CB, DD  
Key Map

Drawing  
COVER SHEET

**G-000**  
SITE PLAN SUBMITTAL  
Page 1 of 311



THE LINES SHOWN ABOVE ARE COLORED WITH BLACK AND WHITE LETTERS. IF PRINTED CORRECTLY, THE SQUARES ABOVE ARE COLORED WITH BLACK AND WHITE LETTERS. IF PRINTED CORRECTLY, THE SQUARES ABOVE ARE COLORED WITH BLACK AND WHITE LETTERS. IF PRINTED CORRECTLY, THE SQUARES ABOVE ARE COLORED WITH BLACK AND WHITE LETTERS.

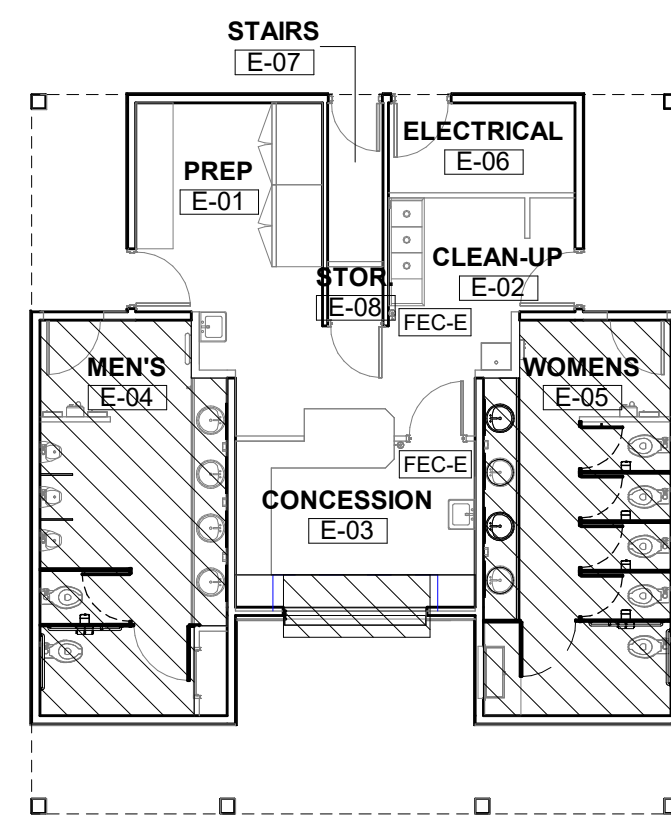
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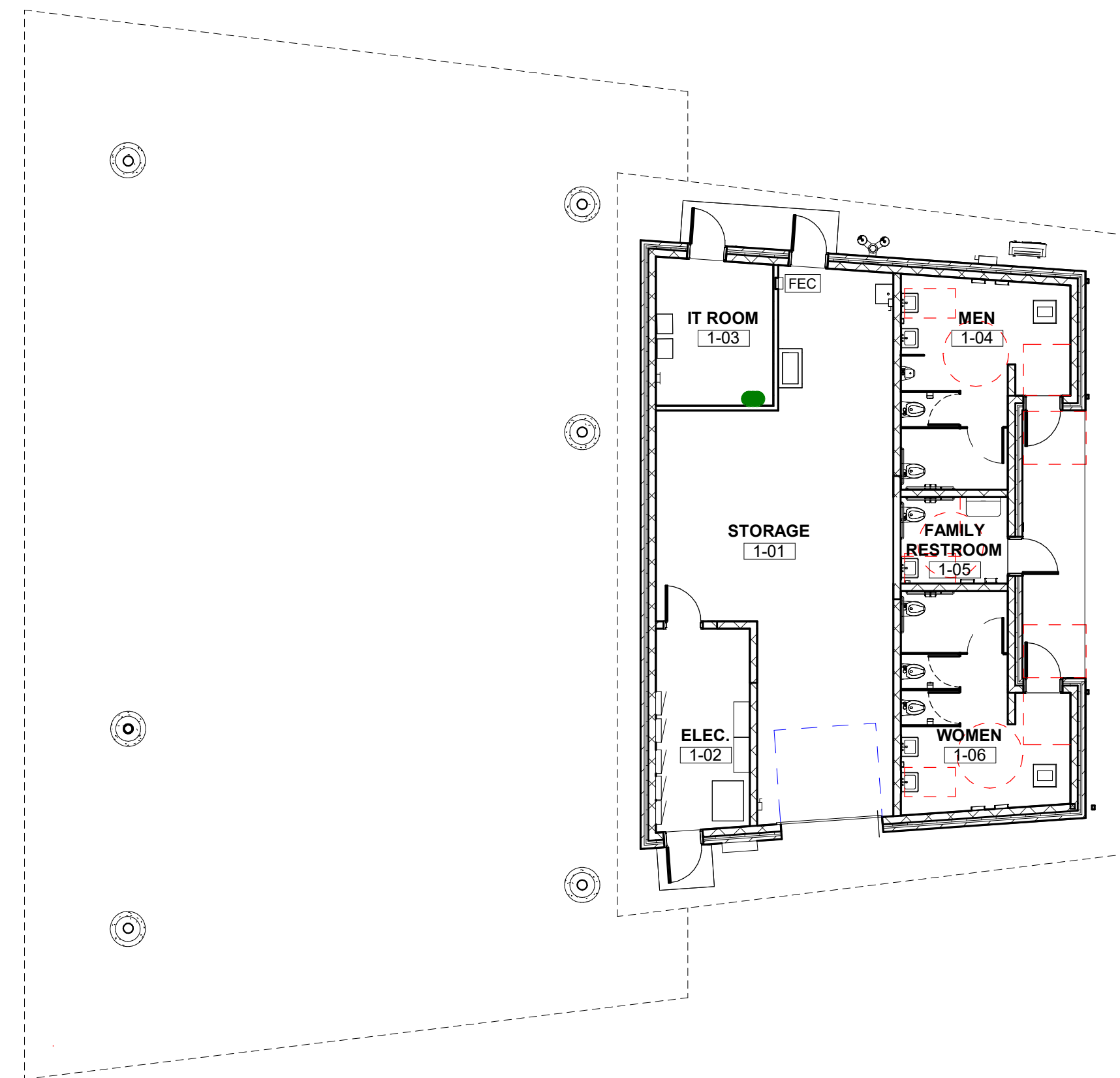
A



EXISTING BUILDING - NO CHANGE IN USE  
 OCCUPANCY GROUP: M (PRIMARY OCCUPANCY)  
 ALLOWABLE HEIGHT: 40'  
 ALLOWABLE AREA: 9,000 SF  
 ACTUAL HEIGHT: 23'-4"  
 ACTUAL AREA: 981 SF

**C1** EXISTING CONCESSIONS BUILDING - LIFE SAFETY PLAN

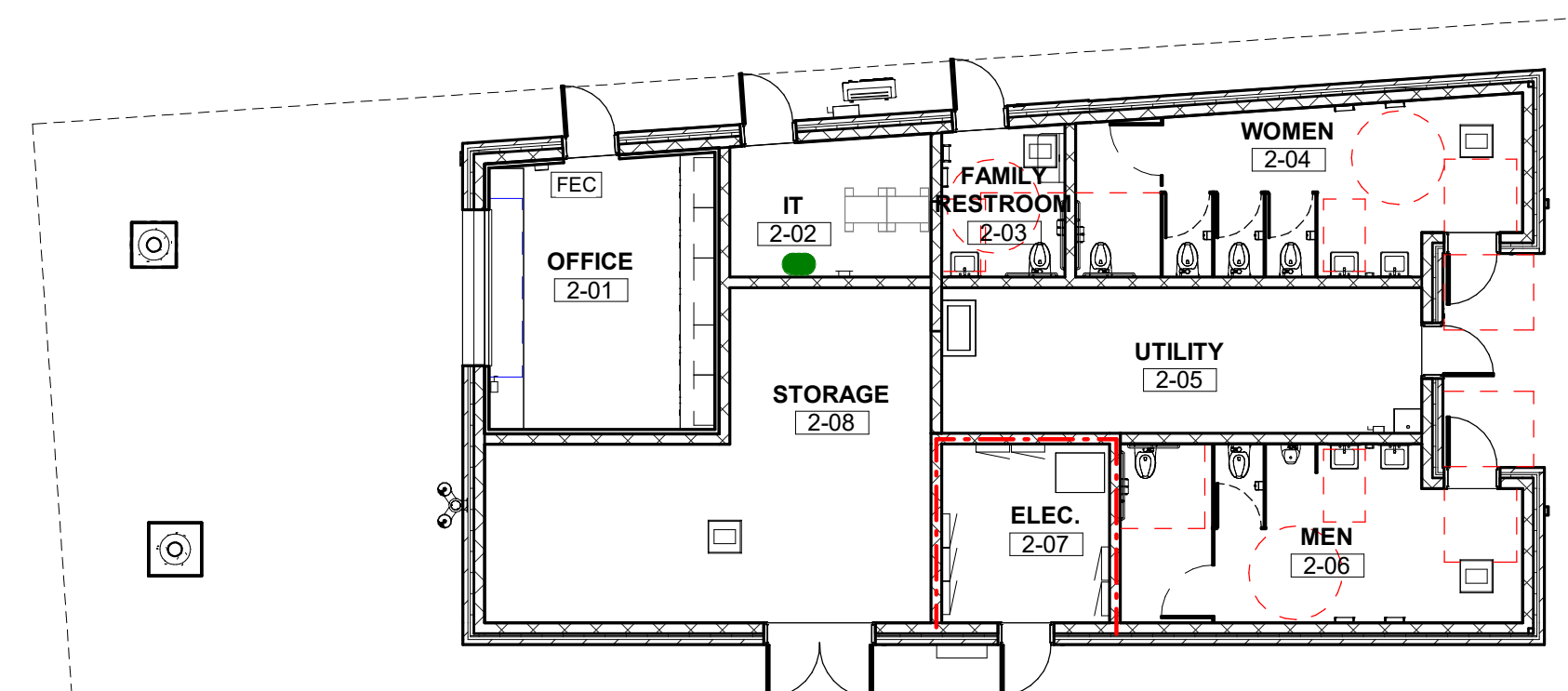
A-003 3/32" = 1'-0"



OCCUPANCY GROUP: S-1 (PRIMARY OCCUPANCY)  
 ALLOWABLE HEIGHT: 40'  
 ALLOWABLE AREA: 9,000 SF  
 ACTUAL HEIGHT: 26'-8"  
 ACTUAL AREA: 1,511 SF

**A1** COMMUNITY HUB BUILDING - LIFE SAFETY PLAN

A-003 3/32" = 1'-0"



OCCUPANCY GROUP: B (PRIMARY OCCUPANCY)  
 S-1 (ACCESSORY, NON-SEPARATED OCCUPANCY)  
 ALLOWABLE HEIGHT: 40'  
 ALLOWABLE AREA: 9,000 SF  
 ACTUAL HEIGHT: 20'  
 ACTUAL AREA: 1,733 SF

**A3** HEADQUARTERS & RESTROOM BUILDING - LIFE SAFETY PLAN

A-003 3/32" = 1'-0"

**CODE INFO**

**PROJECT NAME:** SALISBURY PARK NORTH

**PROJECT DESCRIPTION:** Four new restroom buildings with utility spaces, maintenance storage, and office space distributed throughout the new park development.

**GENERAL CODE SUMMARY:** Each facility has separate mens and womens restrooms, a family restroom, and a utility chase. There is unique additional programmed space at each building. The buildings will have unique occupancy classifications based on each building's spaces. See occupancy designations and actual square footage noted at each life safety plan.

**CONSTRUCTION TYPE:** VB

**FIRE SUPPRESSION SYSTEM:** NOT SPRINKLED

**APPLICABLE CODES & STANDARDS:**

ACCESSIBILITY	2017 UCC/ANSI A117.1 ACCESSIBLE AND USEABLE
BUILDINGS	2021 INTERNATIONAL BUILDING CODE
ELECTRICAL	2020 NATIONAL ELECTRICAL CODE
ENERGY	2021 INTERNATIONAL ENERGY CONSERVATION CODE
FIRE PREVENTION	2021 INTERNATIONAL FIRE CODE
FUEL GAS	2021 INTERNATIONAL FUEL & GAS CODE
MECHANICAL	2021 INTERNATIONAL MECHANICAL CODE
PLUMBING	2021 COLORADO PLUMBING CODE
EXISTING BUILDING	2021 INTERNATIONAL EXISTING BUILDING CODE

**REGULATORY & NON-REGULATORY AGENCIES:**

STATE ELECTRICAL BOARD - Dept of Regulatory Agencies  
 STATE PLUMBING BOARD - Dept of Regulatory Agencies  
 DOUGLAS COUNTY HEALTH DEPARTMENT

**IECC CODE COMPLIANCE:**

COMPLIANCE METHOD (IECC/C401.2): OPTION TWO - Prescriptive Path

**CODE LEGEND**

- 1 HOUR FIRE RATED WALL
- ADA CLEARANCES
- FIRE EXTINGUISHER CABINET (EXISTING)
- FIRE EXTINGUISHER CABINET
- ALTERATION - LEVEL 1

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LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p.303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1615 Larimer Street, #550  
 Denver, CO 80202  
 p.303.444.1961

ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 3300 Franklin Street, #204  
 Wheat Ridge, CO 80121  
 p.303.278.7297

IRRIGATION  
 Avcoet Irrigation  
 11705 W. Ken-Caryl Ave., Suite F-509  
 Littleton, CO 80127  
 p.303.986.2175

MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 3777 Ponder Court, #500  
 Englewood, CO 80112  
 p.303.688.0223

Town of Parker  
**SALISBURY PARK  
 NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

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ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

Δ	DATE	DESCRIPTION

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**Checked By:** LG

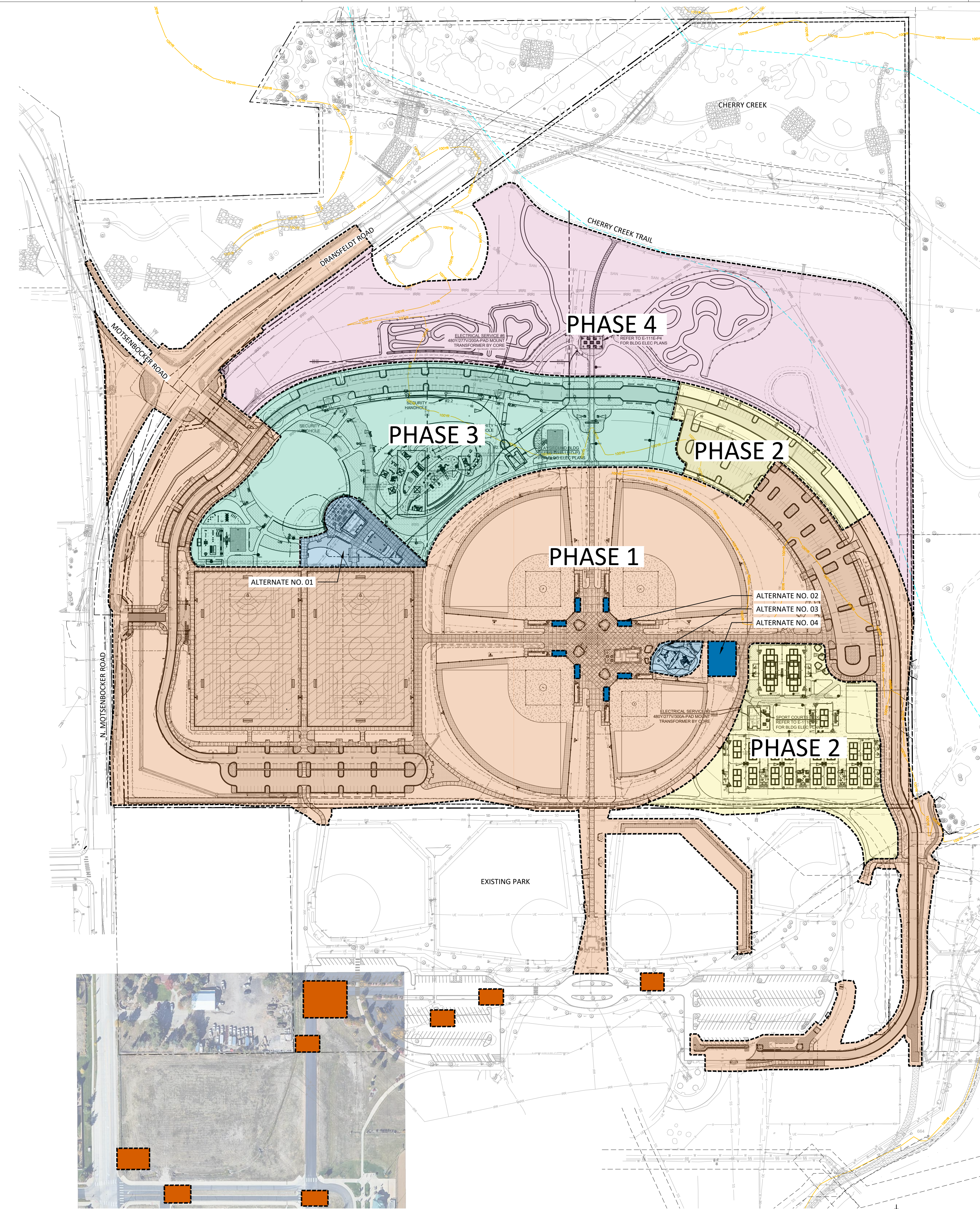
**Key Map**

**Drawing**  
**LIFE SAFETY PLANS**

**A-003**

SITE PLAN SUBMITTAL  
 Page 3 of 311

D  
C  
B  
A



**A1 OVERALL SITE AND PHASING PLAN**  
1" = 140'-0"

**PHASING LEGEND**

- PHASE 1 (BALLFIELDS, MULTIPURPOSE FIELDS, PARKING)
- PHASE 1 ALTERNATES (FLOWING WATERS HUB, BLEACHER SHADE STRUCTURES, BALLFIELD PLAYGROUND, BATTING CAGES)
- PHASE 2 (SPORTS COURTS, PARKING)
- PHASE 3 (COMMUNITY HUB, FITNESS AREA, INCLUSIVE PLAYGROUND, PARKING)
- PHASE 4 (BIKE PARK, OVERLOOK PAVILION, PARKING)

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
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Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
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**hord coplan macht**  
 ARCHITECTURE  
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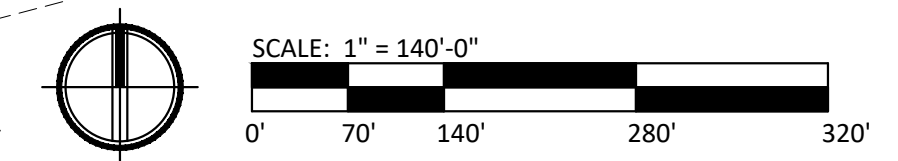
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 Checked By: RB, CB, DD  
 Key Map

Drawing  
**OVERALL SITE AND PHASING PLAN**

**G-010**  
 SITE PLAN SUBMITTAL  
 Page 4 of 311



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES



1 2 3 4 5

THE SQUARES ABOVE ARE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.

COMMUNITY PARK PARKING SPACE GUIDELINES					
PARK NAME: SALISBURY PARK NORTH					
PARK AMENITY	QUANTITY	UNITS	PARKING SPACES REQUIRED PER UNIT	PARKING SPACES REQUIRED (TOTAL REQUIRED*)	TOTAL PARKING SPACES PROVIDED WITH EACH PHASE
<b>PHASE 1</b>				286 PHASE 1	334
MULTI-PURPOSE FIELDS 225' X 360'					
SOCCER, LACROSSE, FLAG FOOTBALL	2	FIELDS	60 PER FIELD	120	
BALLFIELDS	4	FIELDS	40 PER FIELD	160	
BALLFIELD BUILDING (HEADQUARTERS)					
SHELTER	3	TABLES	2 PER TABLE	6	
<b>PHASE 1 - ALTERNATES</b>				46 PHASE 1 ALT. (332)	
HUB BUILDING/PAVILION					
SHELTER (TABLES)	20	TABLES	2 PER TABLE	40	
BALLFIELD PLAYGROUND	6,089	SF	1 PER 1000 SF	6	
<b>PHASE 2</b>				99 PHASE 2 (431)	437
PICKLEBALL COURTS					
	17	COURTS	5 PER COUNT	85	
TENNIS COURTS	2	COURTS	3 PER COUNT	6	
PICKLEBALL BUILDING					
SHELTER (TABLES)	4	TABLES	2 PER TABLE	8	
<b>PHASE 3</b>				70 PHASE 3 (501)	532
BASKETBALL COURTS					
	2	COURTS	5 PER COUNT	10	
DESTINATION PLAYGROUND					
	38,621	SF	1 PER 1000 SF	39	
SHELTER (TABLES)	8	TABLES	2 PER TABLE	16	
OUTDOOR FITNESS					
	23	PIECES	1 PER 5 PIECES	5	
<b>PHASE 4</b>				29 PHASE 4 (530)	532
BIKE PARK					
	3	ACRES	5 PER ACRE	15	
LARGE PICNIC SHELTER (OVERLOOK)					
	7	TABLES	2 PER TABLE	14	
TOTAL PARKING SPACES REQUIRED				530	

\* NUMBER LISTED IN PARENTHESES ARE CUMULATIVE SUM OF PHASES AND RUNNING TOTAL OF PARKING SPACES REQUIRED.

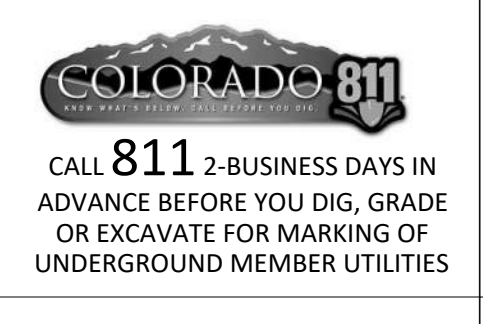
Community Serving Park Requirements (Section 13.08.030(g))						
#	Requirements	Required	Provided Phase 1	Provided Phase 2	Provided Phase 3	Provided Phase 4
<b>Required amenities for all parks.</b>						
1	Landscaping shall be provided for all areas not used for other amenities	☑	☑	☑	☑	☑
2	Tables and seating shall be provided, such as benches, chairs, picnic tables, and ADA seating	☑	☑	☑	☑	☑
3	Internal access pathways per ADA standards shall be provided to and between park amenities, parking areas, and the perimeter	☑	☑	☑	☑	☑
4	Open turf play areas shall be provided with living or synthetic turf	☑	☑	☑	☑	☑
5	Universal and inclusive play elements meeting ADA standards shall be provided to accommodate all ages and abilities	☑	☑	☑	☑	☑
6	Dog waste stations shall be provided at all pedestrian access points into the park, with a minimum of three per park or as otherwise determined by the Town	☑	☑	☑	☑	☑
7	Trash receptacles shall be provided at all seating areas with a minimum of three per park or as otherwise determined by the Town	☑	☑	☑	☑	☑
8	All neighborhood parks shall provide a minimum of one adequately sized shelter serving a capacity greater than five users providing shade and with tables and related seating	☑	☑	☑	☑	☑
<b>All community-serving parks shall provide:</b>						
1	A large shelter serving a capacity of between 48 and 100 users	☑	☑	☑	☑	☑
2	A loop trail path with mileage markers	☑	☑	☑	☑	☑
3	A large destination-scale play area of a minimum of 10,000 square feet	☑	☑	☑	☑	☑
4	Programmed space	☑	☑	☑	☑	☑
5	Drinking fountains	☑	☑	☑	☑	☑
6	A multi-use baseball or softball field, diamond, or rectangular ball field	☑	☑	☑	☑	☑
7	Two sport courts	☑	☑	☑	☑	☑
8	Bike rack and repair station	☑	☑	☑	☑	☑
9	Permanent flush restrooms	☑	☑	☑	☑	☑
10	Barbecues, single or dual with ash disposal	☑	☑	☑	☑	☑
11	Off-street parking per the minimum parking space guidelines as stated in the Parks, Trails, Open Space, and Streetscape Design and Construction Manual	☑	☑	☑	☑	☑

Community Serving Park Amenities							
	(C) Compatible / (R) Required	Provided	Phase 1	Phase 2	Phase 3	Phase 4	
<b>Category 1 - Gathering Spaces &amp; Self-Directed Group Activities</b>							
Pick (1) from each subcategory unless noted (R) required							
<b>Gardens</b>							
Quantity per Phase							
1.1 Arboretum/decorative garden, irrigated	C	☑	1				
1.1 Community garden/raised garden, irrigated	C	☑					
<b>Gathering and Social Space</b>							
Quantity per Phase							
1.2 Amphitheater	C						
1.2 Festival/event space	C	☑	1			1	
1.2 Outdoor nature classroom	C						
1.2 Outdoor performance space/stage	C	☑	1 (Alt.)				
1.2 Programmable space (indoor or outdoor)	R - In addition, See Section 13.08.030(g)(4)(g.1.i)	☑	2	1		1	
1.2 Seating and tables	R - See Section 13.08.030(g)(4)(g.1.i)	☑	39 w/ Alt	42	41	7	
1.2 Shelter, small (5-10 users)	C	☑	2	1	5	1	
1.2 Shelter, medium (11-47 users)	C	☑	1	1	4	1	
1.2 Shelter, large (48-100 users)	R - See Section 13.08.030(g)(4)(g.1.i)	☑	1				
1.2 Shelter, pavilion (more than 100 users)	C	☑					
<b>Interpretive and Placemaking</b>							
Quantity per Phase							
1.3 Interactive, functional, or visual art	C	☑	2 + 1 (Alt.)	1			
1.3 Interpretive signage or elements	C	☑			3		
1.3 Site design theme	C	☑			1		
<b>Outdoor Specialized</b>							
Quantity per Phase							
1.4 Activity hubs (ping pong, foosball, chess table, cornhole, etc.)	C	☑	1				
1.4 Bike park, skills area, or pump track	C	☑				1	
1.4 Climbing spire or wall	C	☑			886 SF		
1.4 Disc golf course	C						
1.4 Dog off-leash area (fenced)	C						
1.4 Horseshoe pit	C						
1.4 Skate park	C						
<b>Paths, Trails, and Trailheads</b>							
Pick 1							
Quantity per Phase							
2.1 Trail connections when adjacent to residential or nonresidential	R	☑	1				
2.1 Trailhead	C						
2.1 Hard-surfaced multi-use trail	C	☑					
2.1 Internal access pathway	R - See Section 13.08.030(g)(4)(g.1.i)	☑	1	1	1	1	
2.1 Loop path (Signage with QR code)	R - See Section 13.08.030(g)(4)(g.1.i)	☑					Refer to Facilities Master Site Plan
2.1 Soft-surface jogging/hiking trail	C						
2.1 Soft-surface equestrian or bike trail	C	☑	1				
<b>Play Space and Fitness Equipment</b>							
Pick 1 per park from this Section, or substitute 1 additional amenity from the Sports and Fitness section below							
Quantity per Phase							
2.2 Climbing structure or boulders, nature play features, or thematic play features		☑			886 SF		
2.2 Open turf play area	R - See Section 13.08.030(g)(4)(g.1.i)	☑	1		Hillside		
2.2 Outdoor fitness equipment - circuit must include a minimum of 5 stations		☑			1		
2.2 Play area, small-scale (≤ 5,000 square feet)		☑			1 (Alt.)		
2.2 Play area, large destination-scale (≥ 15,000 square feet)	R - See Section 13.08.030(g)(4)(g.1.i)	☑			1		
2.2 Universal and inclusive play elements	R	☑			1 (Alt.)	1	
2.2 Zip line		☑			1		
<b>Sports and Fields</b>							
Pick 1 per park or 2 per park if no Play Space & Equipment Amenity is provided							
Quantity per Phase							
2.3 Ball field (baseball, softball, or multi-use) Artificial turf preferred.	R - See Section 13.08.030(g)(4)(g.1.i)	☑	6				
2.3 Lighting of field constructed	C	☑	6				
2.3 Specialty sport field or stadium	C						
2.3 Sport court (e.g., basketball, futsal, pickleball, tennis)	R - See Section 13.08.030(g)(4)(g.1.i)	☑			18		
2.3 Tournament sports court or multi-court complex	C	☑			1		
<b>Support Amenities</b>							
Quantity per Phase							
3.1 Fire Pit (Barbecues)	R - See Section 13.08.030(g)(4)(g.1.i)	☑	1	1		1	
3.1 Bike rack and repair station	R - See Section 13.08.030(g)(4)(g.1.i)	☑	30 + 2		4	12	
3.1 Dog waste station	R - See Section 13.08.030(g)(4)(g.1.i)	☑	7	1	2	1	
3.1 Drinking fountain	R - See Section 13.08.030(g)(4)(g.1.i)	☑	3	1	1	1	
3.1 Parking off-street Restroom, vault (screened) *If water or sewer is not readily available, a vault restroom may be compatible. **Temporary port-o-lets are permitted for tournaments and events only.	R - See Section 13.08.080	☑	2	1			
3.1 Restroom, permanent (plumbed)	R - See Section 13.08.030(g)(4)(g.1.i)	☑	2	1			
3.1 Signage (identification)	R	☑	42	29	9	9	
3.1 Trash/Recycle receptacles	R - See Section 13.08.030(g)(4)(g.1.i)	☑	44	16	10	6	
<b>Aquatics and Water Access</b>							
Quantity per Phase							
4.1 Splash pad or water play feature	C	☑			1		
4.1 Swimming pool	C						
<b>Indoor Facilities</b>							
Quantity per Phase							
4.2 Activity building/clubhouse	C						
4.2 Environmental education center	C						
4.2 Recreation center or fieldhouse	C						
* Amenities denoted in red indicates to be provided within the alternate scope. Alternates not accepted within phase 1 will be added to future phases. Signage (Identification) Location Plan to be submitted under building permit set.							

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: EH, LW, ED, MS, AG  
Checked By: RB, CB, DD

Key Map



**A**

**B**

**C**

**D**

DATE	DESCRIPTION

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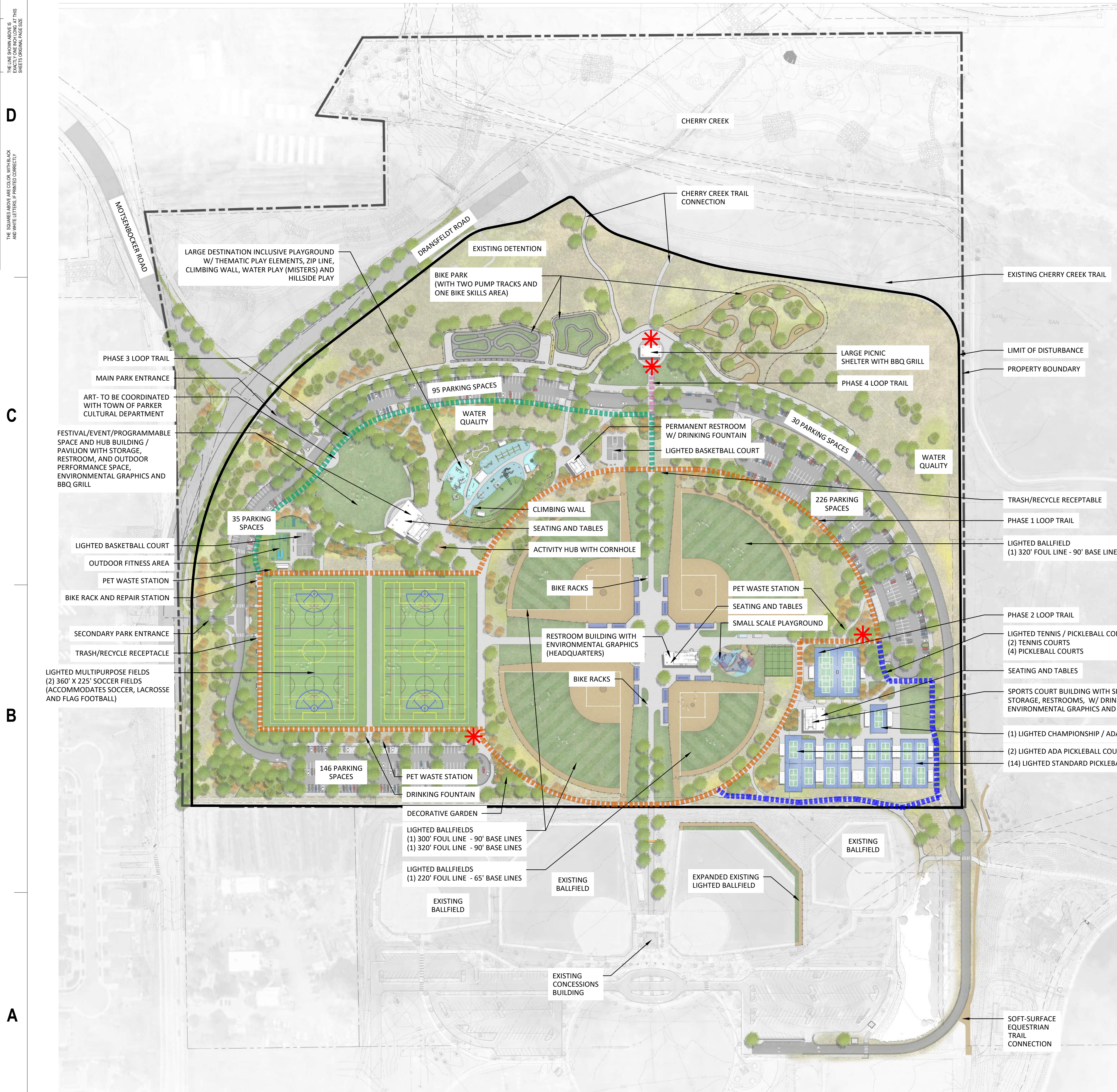
Drawing  
FINAL PARK FACILITIES  
MASTER PLAN

G-021

SITE PLAN SUBMITTAL  
Page 6 of 311

### LEGEND

- PROPERTY BOUNDARY
- LIMIT OF DISTURBANCE
- PHASE 1 LOOP TRAIL
- PHASE 2 LOOP TRAIL
- PHASE 3 LOOP TRAIL
- PHASE 4 LOOP TRAIL
- \* LOOP TRAIL NODE

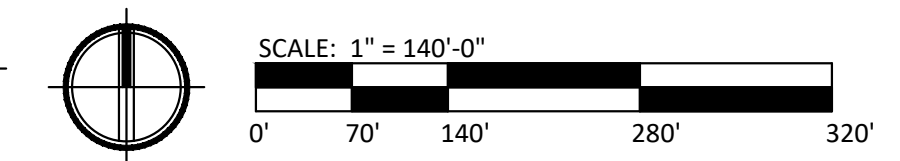


D  
C  
B  
A

THE SQUARES ABOVE ARE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.  
K  
J  
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### A1 FINAL PARK FACILITIES MASTER PLAN

1" = 140'-0"



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

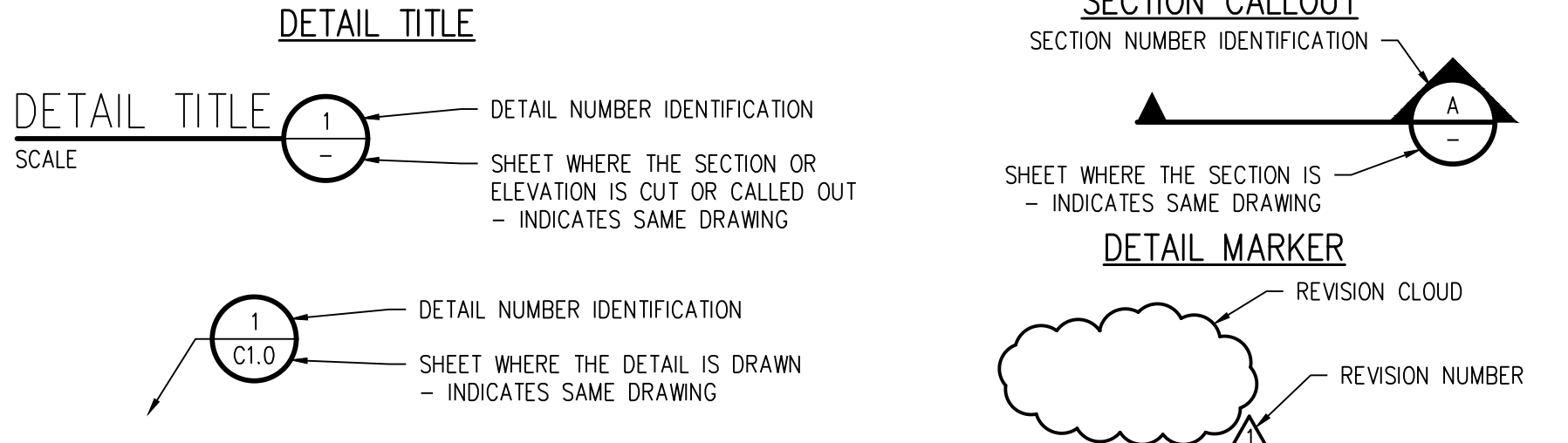
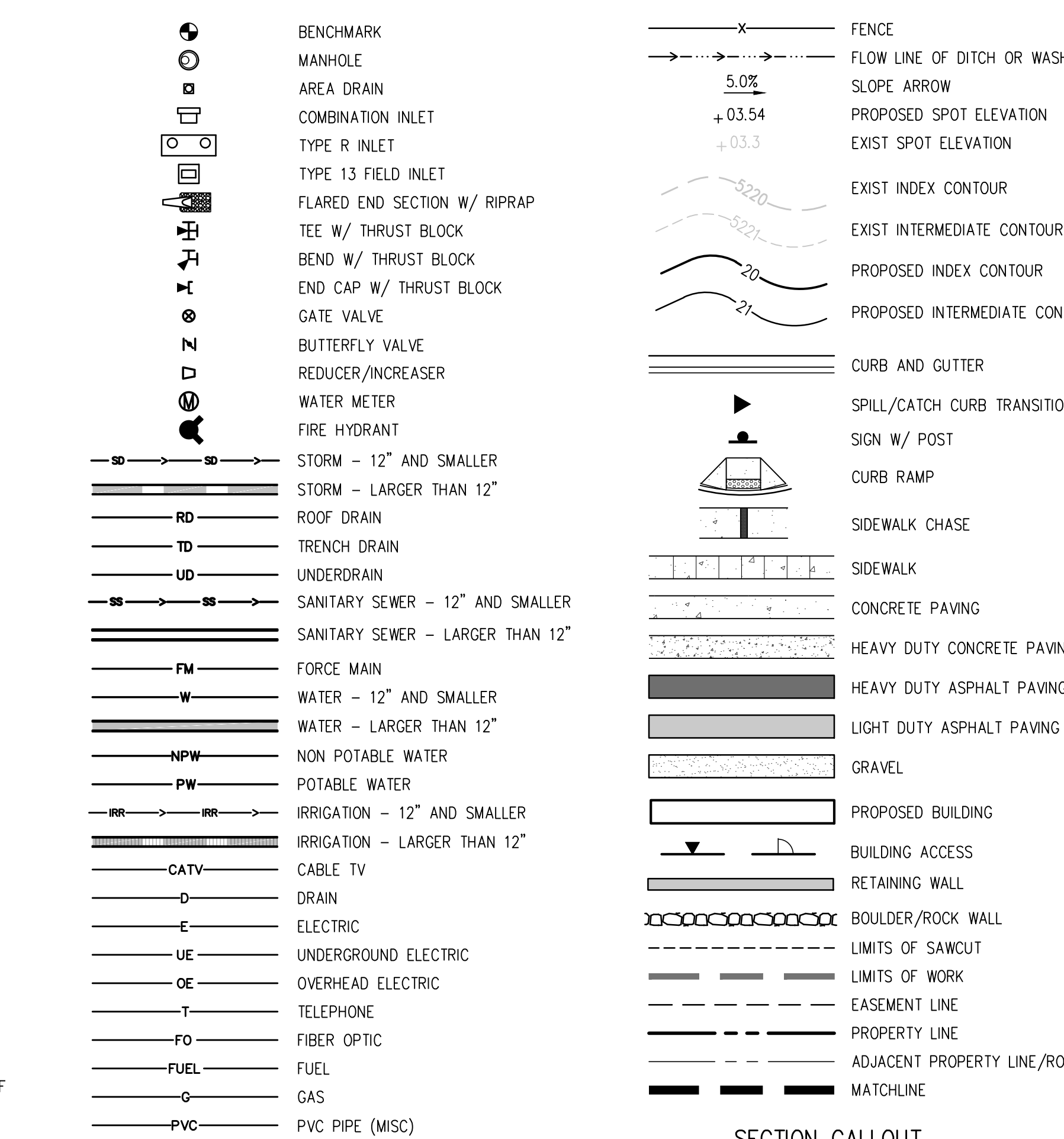
1 2 3 4 5

Q:\37526 - Salisbury Park North Drawings\37526-00-CR-LNA-01.dwg, 11/20/2024 - 12:10 PM, MUS

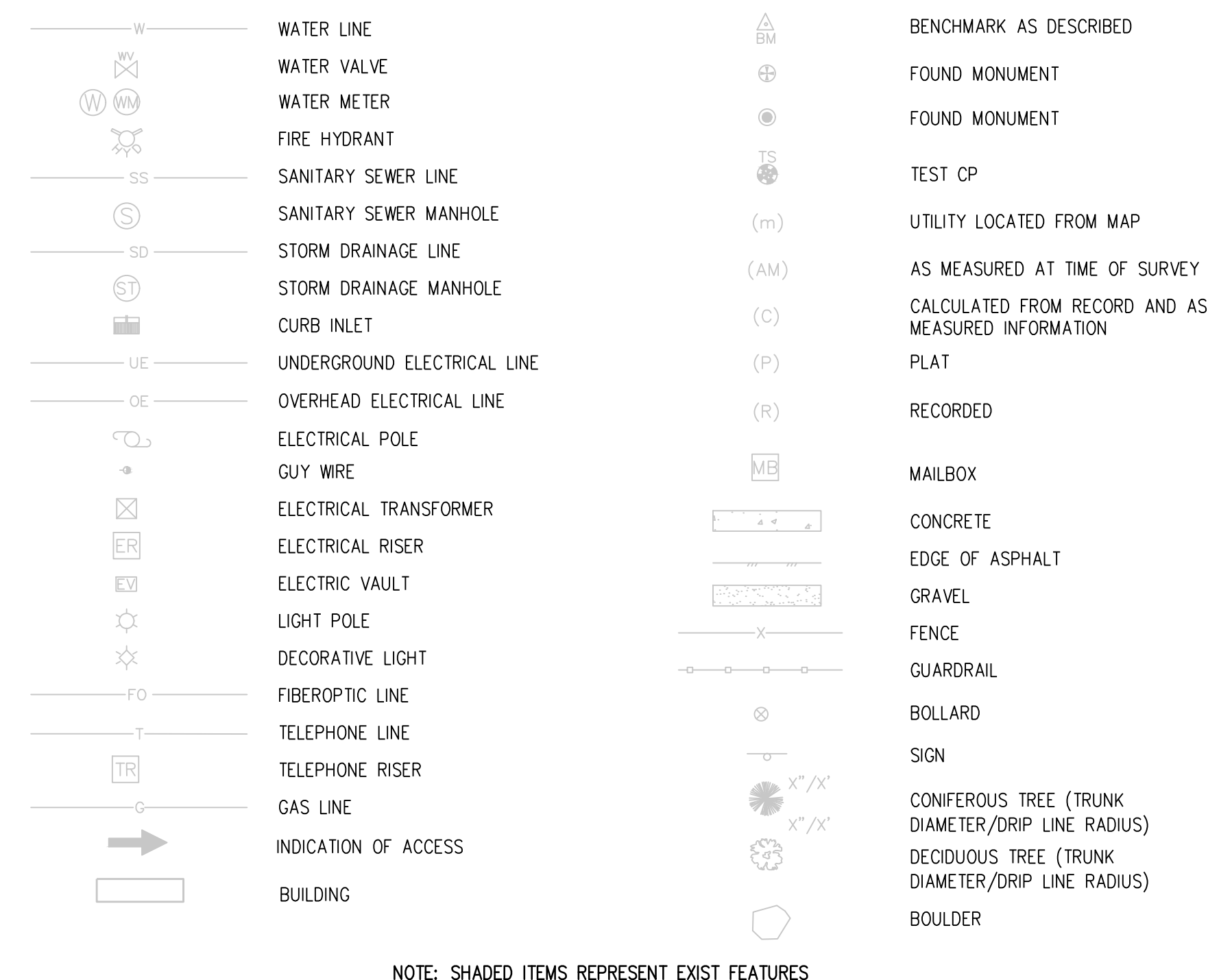
**ABBREVIATIONS**

AASTHO AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL INSIDE DIAMETER	INCLUDED
ABAN ABANDON	IN	INLET
AC ASPHALTIC CONCRETE PAVING	INSUL	INSULATION
ADDL ADDITIONAL	INV	INVERT
ADDM ADDENDUM	IRR	IRRIGATION
ADJ ADJUSTABLE	JTS	JOINTS
AL ALUMINUM	KO	KNOCKOUT
ALT ALTERNATE	KPL	KICK PLATE
AMT AMOUNT	KWY	KEYWAY
APPROX APPROXIMATE	L	LEFT OR LITER
ARCH ARCHITECT(URAL)	LSCAPE	LANDSCAPE(ING)
ARV AIR RELIEF VALVE	LF	LINEAR FOOT
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS	LP	LOW POINT OR LIGHT POLE
ASPH ASPHALT	LT	LIGHT
ASSY ASSEMBLY	LWL	LOW WATER LEVEL
ASYM ASYMMETRIC	MAINT	MAINTENANCE
AUTO AUTOMATIC	MAN	MANUAL
AVG AVERAGE	MATL	MATERIAL
AWWA AMERICAN WATER WORKS ASSOC.	ME	MATCH
	MEX	MATCH EXISTING
	MECH	MECHANICAL
	MEN	MECHANICAL, ELECTRICAL, PLUMBING (ARCH)
	MFR	MANUFACTURER
	MH	MANHOLE
	MIN	MINIMUM
	MISC	MISCELLANEOUS
	MJ	MECHANICAL JOINT
	N	NORTH
	NA	NOT APPLICABLE
	NIC	NOT IN CONTRACT
	NPT	NATIONAL PIPE THREAD
	NTS	NOT TO SCALE
	OS	OFFSET
CB CATCH BASIN	OC	ON CENTER
CCW COUNTER CLOCKWISE	OD	OUTSIDE DIAMETER
CDOT COLORADO DEPARTMENT OF TRANSPORTATION	ODP	OPPOSITE
CJ CAST IRON PIPE	OPT	OPTIONAL
CJ CONSTRUCTION JOINT		
CL CENTER LINE OR CHAIN LINK		
CLR CLEAR		
CMP CORRUGATED METAL PIPE		
CMU CONCRETE MASONRY UNIT	PC	POINT OF CURVATURE
CONC CONCRETE	PCO	PRESSURE CLEAN OUT
CONST CONSTRUCTION	PCR	POINT OF CURVE RETURN
CONT CONTINUOUS(ACTION)	PI	POINT OF INTERSECTION
COR CORNER	PVI	POINT OF VERTICAL INTERSECTION
CR CONCENTRIC REDUCER	PL	PROPERTY LINE
CTR CENTER	PE	POLYETHYLENE
CY CUBIC YARDS	PREFAB	PREFABRICATED
	PRELIM	PRELIMINARY
DEMO DEMOLITION	PREP	PREPARATION
DET DETAIL	PROP	PROPOSED
DIA DIAMETER	PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
DIA DIAGONAL	PSF	POUNDS PER SQUARE FOOT
DIP DUCTILE IRON PIPE	PSI	POUNDS PER SQUARE INCH
DOM DOMESTIC	PT	POINT OF TANGENCY
DN DOWN	PV	PLUG VALVE
DR DRAIN	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
DWG DRAWING		
DWL DOWEL	PWMT	PAVEMENT
E EAST	QTY	QUANTITY
EA EACH	R	RIGHT
ECC ECCENTRIC	RAD	RADIUS
CJ EXPANSION JT	RCP	REINFORCED CONCRETE PIPE
EL ELEVATION	RD	ROOF DRAIN
ELB ELBOW	RE	REFERENCE
ELEC ELECTRICAL	RECT	RECTANGULAR
ENGR ENGINEER	REINF	REINFORCE (D) (NG) (MENT)
EOP EDGE OF PAVEMENT	REQD	REQUIRED
EQ EQUAL	ROW	RIGHT OF WAY
EQUIP EQUIPMENT		
ESMT EASEMENT	SAN	SANITARY
EST ESTIMATE	SC	SAWCUT
EVCE END VERTICAL CURVE ELEVATION	SD	STORM DRAIN
EVCS END VERTICAL CURVE STATION	SECT	SECTION
EW EACH WAY	SPD	STANDARD PROCTOR DENSITY SPECIFICATION
EXP JT EXPANSION JOINT	SQ	SQUARE
EXIST EXISTING	SQ IN	SQUARE INCH
	SQ FT	SQUARE FOOT
	SQ YD	SQUARE YARD
FND FOUNDATION	SS	SANITARY SEWER
FES FLARED END SECTION	SST	STAINLESS STEEL
FF FINISH FLOOR	STA	STATION
FG FINISH GRADE	STD	STANDARD
FH FIRE HYDRANT	STL	STEEL
FL FLOW LINE	STRUCT	STRUCTURAL
FN FENCE	SVC	SERVICE
FOC FACE OF CONCRETE	SWMP	STORMWATER MANAGEMENT PLAN
FPM FEET PER MINUTE	SYM	SYMMETRICAL
FFS FEET PER SECOND		
FT FEET		
FTG FOOTING OR FITTING	TB	THRUST BLOCK
	TBC	TOP BACK OF CURB
	TBM	TEMPORARY BENCH MARK
G GAS	TEMP	TEMPORARY
GA GAUGE	TG	FINISHED GRADE ADJACENT TO TOP OF WALL
GAL GALLON	THK	THICK
GALV GALVANIZED	TOB	TOP OF BANK
GCO GRADE CLEANOUT	TOC	TOP OF CONCRETE OR TOP OF CURB
GP GALVANIZED IRON PIPE	TOS	TOP OF STEP
GND GROUND	TOT	TOTAL
GPD GALLONS PER DAY	TW	TOP OF WALL OR CAP OF WALL
GPM GALLONS PER MINUTE	TYP	TYPICAL
GR GRATE		
GRG GRATING	UBC	UNIFORM BUILDING CODE
GSP GALVANIZED STEEL PIPE	UGE	UNDERGROUND ELECTRIC
GV GATE VALVE	UTIL	UTILITY
	VERT	VERTICAL
H HIGH	VC	POINT OF VERTICAL CURVATURE
HB HOSE BIB	VCP	VITRIFIED CLAY PIPE
HE HORIZONTAL ELLIPTICAL		
HDWL HEADWALL	W	WIDE OR WIDTH
HNDRL HAND RAIL	W/	WITH
HORIZ HORIZONTAL	W/O	WITHOUT
HP HIGH POINT	WOCV	WATER QUALITY CONTROL VOLUME
HR HOUR	WSE	WATER SURFACE ELEVATION
HVAC HEATING, VENTILATION, AIR CONDITIONING	WW	WASTEWATER
HWY HIGHWAY		
HWL HIGH WATER LINE	X	SECT CROSS SECTION
HYD HYDRANT	XFMR	ELECTRICAL TRANSFORMER
	YH	YARD HYDRANT

**DESIGN LEGEND**



**SURVEY LEGEND**



**GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF PARKER, PARKER WATER & SANITATION DISTRICT, COLORADO DEPARTMENT OF TRANSPORTATION, JURISDICTIONAL FIRE PROTECTION REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM MUNICIPALITY/UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC.), WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UCCO.ORG). SEE SURVEY UTILITY LOCATION INFORMATION BELOW.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART V, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FOREWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, MILE HIGH FLOOD DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE MANDATED PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
- ADA COMPLIANCE: THE CROSS-SLOPE OF ALL WALKS MUST BE LESS THAN 1:48 (2.0%) PERPENDICULAR TO DIRECTION OF TRAVEL. RUNNING SLOPE OF ACCESSIBLE WALKS MUST BE NOT STEEPER THAN 1:20 (5.0%) IN DIRECTION OF TRAVEL. MAXIMUM GRADE OF ACCESSIBLE CURB RAMPS AND RAMPS IS 1:12 (8.3%). CURB RAMPS SHALL PROVIDE A LANDING AT THE TOP AND RAMP RUNS PROVIDE LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN AT A SLOPE NOT TO EXCEED 1:48. RAMP RUNS EXCEEDING SIX INCHES SHALL INCLUDE HANDRAILS. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK IF SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED. ALL RAMPS, STAIRS, EDGE PROTECTION, AND RAILINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. ACCESSIBLE CURB RAMPS SHALL CONFORM TO THE CDOT M-STANDARDS (SEE DETAIL M-608-1, ETC.). ACCESSIBLE FEATURE WITHIN THE PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED TO CONFORM TO THE LOCAL AUTHORITY HAVING JURISDICTION REQUIREMENTS.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIFLINE OF TREES.
- SURVEY INFORMATION:
  - BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY AZTEC CONSULTING INC. SEE TOPOGRAPHIC SURVEY FOR SALISBURY PARK DATED JUNE 01,2023. BENCHMARK: DOUGLAS COUNTY GIS MONUMENT NUMBER 1.085040 BEING A 3 - 1/2" ALUMINUM ALLOY CAP STAMPED "DOUGLAS COUNTY GIS 1.085040" LOCATED EAST OF THE BIKE PATH EAST OF ROODEO CIRCLE, ABOUT 44' EAST OF THE SOUTHEAST CORNER OF 11166 ROODEO CIRCLE. THE DATUM IS PER SURVEY. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
  - BASIS OF BEARINGS: SEE PLANS.
  - HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:
 

CP-01	N609098.89	E204985.46	ELEV5870.51	SET NO. 5 X 18" REBAR W/ 1-1/4" GREEN PLASTIC CAP STAMPED "AZTEC LS 38691" AT SOUTHWEST PROPERTY CORNER
CP-02	N61131.02	E207002.85	ELEV5843.60	W 1/2 CORNER SECTIONS T56, R66W, 6TH P.M. FOUND NO. 6 REBAR W/ 3-1/4" ALUMINUM CAP STAMPED "AZTEC PLS 22561 2009"
CP-03	N608470.98	E207016.06	ELEV5862.98	C-W 1/16 CORNER SECTION 27, T6S, R66W, 6TH P.M. FOUND NO. 6 REBAR W/ 3-1/4" ALUMINUM CAP STAMPED "AZTEC LS 22561 2009" 0.7' BELOW SURFACE IN RANGE BOX
  - SURVEY UTILITY LOCATION INFORMATION PER THE SURVEYOR: SUBSURFACE UTILITIES ARE SHOWN IN APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS CONSISTENT WITH ASC2 38-02 QUALITY LEVEL "B" (INFORMATION OBTAINED BY THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND HORIZONTAL POSITION OF VIRTUALLY ALL UTILITIES WITHIN THE PROJECT LIMITS. THE INFORMATION OBTAINED IN THIS MANNER IS SURVEYED TO PROJECT CONTROL) AND QUALITY LEVEL "C" (INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D; INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS), AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. SUBSURFACE UTILITIES ARE NOT DEPICTED TO THE EXTENT SET FORTH IN ASC2 38-02 QUALITY LEVEL "A" (INFORMATION OBTAINED THROUGH THE NONDESTRUCTIVE EXPOSURE OF UNDERGROUND UTILITIES, AND ALSO PROVIDES THE TYPE, SIZE, CONDITION, MATERIAL AND OTHER CHARACTERISTICS OF UNDERGROUND FEATURES.), TO THE EXTENT DEEMED NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY, POTHOLING OR OTHER PRECISE MAPPING MAY BE COMPLETED TO CONFIRM THE EXACT LOCATION OF ANY SUBSURFACE UTILITIES. NOTIFY OWNER AND ENGINEER WITH ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION. VISIT [HTTPS://WWW.FHWA.DOT.GOV/PROGRAMADMIN/SUINDEX.CFM](https://www.fhwa.dot.gov/programadmin/suindex.cfm) FOR MORE INFORMATION.
- THE CONTRACTOR AT THE CONTRACTORS EXPENSE SHALL PERFORM A FLOODPLAIN CONFORMANCE SURVEY OF THE IMPROVEMENTS WITHIN AND 100' MINIMUM BEYOND THE LIMITS OF THE 100-YEAR FLOODPLAIN AS SHOWN ON THE DRAWINGS. SURVEY SHALL BE PERFORMED BY A P.L.S. AND SUBMITTED AFTER FINE GRADING, AND BEFORE PLACEMENT OF BASE COURSE MATERIALS AND PAVEMENTS.
- THE CONTRACTOR AT THE CONTRACTORS EXPENSE SHALL FURNISH THE OWNER AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS") FOR THE CONSTRUCTED IMPROVEMENTS. THE AS-BUILT SET SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES OR NORTHING/EASTING POINTS FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE AS-BUILT SET SHALL SHOW AS-BUILT CONTOURS AND ELEVATIONS OF ASPHALT AND CONCRETE FLATWORK, FLOWLINES, GRADE BREAKS, STAIRS, CROSS-SLOPES, HIGH AND LOW POINTS, AND ADDITIONAL ELEVATIONS TO DEMONSTRATE IMPROVEMENTS WERE CONSTRUCTED PER PLANS. THE AS-BUILT SET SHALL SHOW ELEVATIONS OF ALL DETENTION/WATER QUALITY FACILITIES, INCLUDING BUT NOT LIMITED TO BERMS, SPILLWAYS, BASIN BOTTOM, PIPE INVERTS, AND CONTROL STRUCTURE FEATURES (AS SURVEYED AND STAMPED BY A CERTIFIED P.L.S.). THE AS-BUILT SET SHALL ALSO INCLUDE ELEVATIONS OF MANHOLES, PIPES, INLETS, GRATES, AND SIZES OF ALL UTILITIES. THE AS-BUILT SET SHALL SHOW ANY AND ALL VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

**hord coplan macht**

**LANDSCAPE ARCHITECT / ARCHITECT**  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
p. 303.607.0977

**CIVIL ENGINEER / STRUCTURAL ENGINEER**  
JVA Incorporated  
1075 Larimer Street, 4500  
Denver, CO 80202  
p. 303.844.1951

**ELECTRICAL ENGINEER**  
Ackerman Engineering, Inc.  
3200 Touhill Street, 4004  
Wheat Ridge, CO 80215  
p. 303.278.7297

**IRRIGATION**  
Avoce Irrigation  
11725 W. Kent-Coyne Ave., Suite F-509  
Littleton, CO 80127  
p. 303.966.5175

**MECHANICAL ENGINEER**  
ENVISION Mechanical Engineers, Inc.  
8772 Greenwood  
Englewood, CO 80112  
p. 303.686.0223

**Town of Parker**  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**

ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

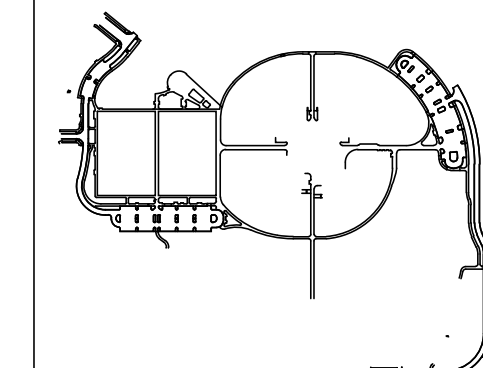
**Project Number:** 223072.00

**Sheet Issue Date:** 2024-11-22

**Drawn By:** AMF/MGG/MJS

**Checked By:** WTP/CWK/CFG

**Key Map**



**Drawing**

**LEGEND NOTES & ABBREVIATIONS**

**C-001**

SITE PLAN SUBMITTAL  
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THE SHOWN MARKS ARE FOR INFORMATION ONLY. THE SHOWN MARKS ARE NOT TO BE USED FOR CONSTRUCTION. THE SHOWN MARKS ARE FOR INFORMATION ONLY. THE SHOWN MARKS ARE NOT TO BE USED FOR CONSTRUCTION. THE SHOWN MARKS ARE FOR INFORMATION ONLY. THE SHOWN MARKS ARE NOT TO BE USED FOR CONSTRUCTION.

**TOWN OF PARKER DEPARTMENT OF ENGINEERING/PUBLIC WORKS**

**STANDARD CONSTRUCTION NOTES**

These notes shall appear on the cover sheet. If a cover sheet has not been used they shall be put on every sheet of the submittal.

- 1. All materials and construction shall be in conformance with the latest edition of the Colorado Department of Transportation Standard Specifications for Road and Bridge Construction, the latest edition of the Town of Parker Roadway Design and Construction Criteria Manual, and the Town of Parker Storm Drainage and Environmental Criteria Manual.
2. All materials and workmanship shall be subject to inspection by the Town of Parker Public Works Department. The Town reserves the right to accept or reject any such materials and workmanship that does not conform to its standards and specifications.
3. A preconstruction meeting shall be scheduled a minimum of 48 hours and a maximum of 96 hours prior to the start of construction. A preconstruction meeting will not be scheduled until the grading permit and all other necessary permits have been obtained.
4. The Town Inspector shall be contacted a minimum of 24 hours prior to a necessary inspection. If a Town Inspector is not available after proper notice of construction activity has been provided, the permittee may commence work in the Town Inspector's absence. However, the Town of Parker reserves the right to reject the improvement if subsequent testing reveals an improper installation.
5. Location of existing utilities shall be verified by the contractor prior to actual construction in accordance with all state and local laws. The contractor shall field verify size and horizontal and vertical locations of existing facilities prior to construction, and notify the engineer of any discrepancies.
6. The contractor shall have one (1) signed copy of the plans, approved by the Town of Parker Director of Engineering/Public Works, and one (1) copy of the Roadway Design and Construction Criteria at the job site at all times.
7. A plan for traffic control during construction shall be submitted to the Town of Parker for acceptance with the Right-of-Way Use Permit application. A permit will not be issued without an approved traffic control plan for use during construction.
8. All trenches shall be adequately supported and the safety of workers provided for as required by the most recent Occupational Safety and Health Administration (OSHA) "Safety and Health Regulations for Construction."
9. Compaction of all trenches must be attained and compaction test results submitted to the Development Review Engineer in preliminary form prior to paving and in final form prior to probationary acceptance.
10. The contractor is responsible for implementing and maintaining erosion and sediment control measures at all times during construction. The plan may be modified as field conditions warrant with approval from the Town of Parker Public Works Department.
11. The contractor shall provide, erect and maintain proper traffic control devices until the site is open to traffic. The contractor shall submit a traffic control plan to the Town of Parker Public Works Department for approval prior to construction.
12. Plans are approved for period of 1 (one) year from the date shown on the Town of Parker signature block. Plans shall be resubmitted to the Town for approval after 1 year. The cost of the plan re-review and re-acceptance will be charged back to the developer including all time and expenses of the Town of Parker Public Works Department.
13. Repair of any damage to existing improvements or landscaping is the responsibility of the contractor. Such restoration may be required to be completed prior to acceptance of completed improvements.
14. All damaged existing curb, gutter, and sidewalk shall be repaired prior to acceptance of completed improvements.
15. All construction activities must comply with the State of Colorado permitting process for "Stormwater Discharges Associated with Construction Activity." For information, please contact Colorado Department of Health, Water Quality Control Division, WQCD-4F-B2, 4300 Cherry Drive South, Denver, Colorado 80222-1530. Attention: Permits and Enforcement Section. Phone (303) 692-3500.
16. If dewatering is required, a state construction dewatering discharge permit is required for discharges to a storm sewer, channel, irrigation ditch, any street that is tributary to the aforementioned facilities, or any water of the United States.
17. All references to books, pages, maps, and reception number are public documents on file with the County Clerk and Recorder's Office.

**SIGNAGE AND STRIPING NOTES**

In addition to the notes in the above section of these roadway standards, the following notes shall appear on the cover sheet of all submittals containing roadways. The following notes shall be on all signage and striping plans:

- 1. All traffic control devices shall conform to the most recent version of the federal Manual on Uniform Traffic Control Devices (MUTCD), Colorado Supplemental MUTCD, and the Town of Parker Roadway Design and Construction Criteria Manual. Further specifications and illustrations are located in the Colorado Department of Transportation (CDOT) M and S Standards.
2. A field inspection of location and installation of all signs and markings shall be performed by the Town of Parker.
3. The contractor installing signs shall be responsible for the locating and protecting of all underground utilities.
4. Type III (lighted) barricades shall be set at the ends of roadways separating finished (and/or accepted) and unfinished construction areas and shall be maintained by the contractor/developer. A "Road Closed Ahead" and "To Be Extended" warning signs shall be installed appropriately in advance of the Type III barricades.
5. Special care shall be taken in sign locations to ensure an unobstructed view of each sign.
6. Where stop sign control is appropriate, 36 inch stop signs shall be used for approaches to any roadway that is classified as a collector or greater.
7. A 7 foot minimum post length shall be maintained from the bottom of the sign panel to the ground. This requirement for vertical clearance is for all signs.
8. Delineation of roadways shall be as specified in the Colorado Department of Transportation M and S Standards.
9. Raised median island noses shall have R4-7 signs at each end and a 4"x12" high intensity yellow sign blank located midway between the R4-7 sign and finished grade on each post.
10. Signage and striping has been determined by information available at the time of review. Prior to the initiation of any warranty period, the Town of Parker reserves the right to require modifications to existing, or installation of, additional signage and/or pavement marking if it is determined that conditions warrant such modification according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the two-year warranty period for new construction. Additionally, all pavement markings shall not lift or peel during the first year after installation.
11. Diamond grade material shall be used on all stop signs and overhead signs. All other roadside traffic control devices shall use high intensity grade sheeting. No fluorescent yellow green sheeting shall be used unless specifically approved by the Town of Parker.
12. All street name signs shall be high intensity, extruded, green and white blades. Arterial and collector street name signs shall be 9 inch blades and have mixed case lettering. Local street name signs shall be 6 inches blades with mixed case lettering.
13. All layouts for internally illuminated street name signs shall be submitted to the Town for review and approval prior to fabrication.
14. All removed signs shall be returned to the Town of Parker.
15. Crosswalks: Shall be constructed using preformed thermo-plastic or an approved equal.
Shall be Longitudinal 2 feet by 10 feet (Continental) type or other approved by the Town of Parker.
Shall line up with handicap ramps.
Shall be centered within lanes and placed on lane and curb lines so as to avoid vehicle wheel paths.
16. All pavement marking material (including words and symbols) shall be as follows:
For Concrete Surface: Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.
Words, symbols, and crosswalks/stop bars shall be methyl-mythacralate, preformed thermoplastic (90 mil), preformed plastic (90 mil), inlaid tape (STAMARK), or as specified.
(Sand or water blast curing compound prior to installation of markings.)
For Asphalt Surface: Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.
Words, symbols, and crosswalks/stop bars shall be hot applied thermoplastic (90 mil), preformed plastic (90 mil), inlaid tape (STAMARK), Methyl-Mythacralate, or as specified.
17. Inspection and approval of striping and crosswalk layout to be done by Town of Parker Development Review Engineer (call 303-840-9546) prior to application of final striping.

**STORM DRAINAGE INFRASTRUCTURE NOTES**

- 1. All storm drainage improvements are subject to compliance with the Colorado Department of Transportation (CDOT) current edition of the Standard Specifications for Road and Bridge Construction, M & S Standards, and all standard special provisions currently used by CDOT, with the modifications set forth in the Town of Parker's Storm Drainage and Environmental Criteria Manual (SDECM), as amended.
2. The contractor shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8 CRS), the "Protection of Fishing Streams" Title 33, Article 5, CRS), the "Clean Water Act" (33 USC 1344), Cherry Creek Reservoir Control Regulation No. 72" (5 CCR 1002-72), the regulation promulgated, certification or permits issues, and the requirements presented in the SDECM Revision to Section 107 and the Construction BMP Plan. In the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal, or State agencies, the more restrictive laws, rules, or regulations shall apply.
3. Inspections: Construction shall not begin until a grading permit has been issued for the project. The contractor shall notify the Town of Parker Engineering Department (Public Works) to schedule inspections a minimum of 48 hours prior to the construction of all drainage infrastructure (storm sewers, inlets, manholes, energy dissipaters, riprap, grouted boulders, detention pond outlet structures, forebays, trickle channels, etc). Failure to notify the engineering department for inspections may result in non-acceptance of the infrastructure by the Town. Urban Drainage and Flood Control District must also be notified in a similar manner for all maintenance eligible drainage infrastructures (consult with Stormwater Engineering Division).
4. Structural backfill (CDOT Class 1) shall be compacted to conform to CDOT Standard Specification 203.03. Structural backfill (CDOT Class 2) shall conform to CDOT Standard Specification 203.07. At the contractor's option, Structural Backfill (Squeeze) meeting the gradation requirements contained in Revision of Section 206 of the CDOT Standard Specifications as presented in the SDECM, may be substituted for Structure backfill (Class 1) or Class 2) for backfilling of culvert pipes, storm sewer pipes, manholes and inlet structures; however, the top 2 feet below subgrade elevation shall be the required embankment material.
5. All excavations shall meet OSHA requirements.
6. Testing: Probationary acceptance of storm drainage improvements will be contingent upon satisfactory testing results. In all cases where tests indicate compaction less than that required by Town specifications, additional compaction and tests will be required until the specifications are met. Frequency of testing will be as follows:
1 test for subgrade and 1 test for backfill at every above ground appurtenance (manholes, inlets, etc)
1 test every 200 LF of mainline trench every 1 foot of backfill lift and within 1 foot from all structures.
7. Allowable storm sewer conduit material within the Town of Parker shall be limited to Reinforced Concrete Pipe (RCP) conforming to CDOT Standard Specification 706.02.
8. All RCP joints shall be manufactured in accordance with ASTM C443. Rubber gaskets shall be used on all pipe joints conforming to ASTM C443. All RCP sections shall be joined in such a manner that the ends are fully entered and the inner surfaces are reasonable flush. Average joint gap that exceeds 1/2 inch shall be filled with an approved flexible plastic sealant.
9. Joint restraints and toe-walls, conforming to CDOT M&S Standard Plan No. M-601-11 shall be used on all RCP flared end section outfalls.
10. Epoxy coated rebar shall be used as reinforcing steel on all storm inlets and structures. Reference CDOT M&S Standard Plan No. M-604-10, 11, 12, and 13.
11. CDOT Class D concrete shall be used for all concrete drainage structures.
12. Pre-cast inlets and manhole bases shall not be used within the Town of Parker Right-of-way, with the exception of CDOT Type C and D inlets.
13. Two- (2) manhole access points are required on all Type "R" curb inlets greater than or equal to ten (10) feet in length as presented in CDOT M&S Standard Plan No. M-604-12.
14. All grouting (boulders, riprap) shall be in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
15. All boulders and riprap shall be selected and placed in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
16. Contractor shall refer to the Town of Parker's Construction Best Management Practices details and notes for all requirements relating to re-vegetation, sediment and erosion control requirements for construction activities.
17. Pipe bells shall not be cast into manhole bases or inlets.

**ROADWAY NOTES**

The following notes shall appear on the cover sheet of all submittals containing roadway plans. If a cover sheet has not been used, they shall be put on every sheet of the submittal containing roadway design.

- 1. Paving shall not commence until a soils report and pavement design is approved by the Town of Parker and subgrade compaction tests are submitted to and approved by the Town Inspector.
2. Standard Town of Parker Curb Ramps are to be constructed at all curb returns and at all "T" intersections in accordance with the latest Town of Parker standards
3. All stationing is based on centerline of roadways unless otherwise noted.
4. All elevations are on USGS DATUM with date. Range point or monument shall be shown on the construction plans.
5. Except where otherwise provided for in these plans and specifications, the Colorado Department of Highways Standard Specifications for Road and Bridge Construction, the Colorado Department of Highways M and S Standards, and the Town of Parker Roadway Design and Construction Criteria Manual, latest edition, shall apply.

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Denver, CO 80202
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER
JVA Incorporated
1075 Larmer Street, #500
Denver, CO 80202
p. 303.444.1951

ELECTRICAL ENGINEER
Ackerman Engineering, Inc.
2000 Youngster Street, #204
Wheat Ridge, CO 80215
p. 303.278.7297

IRRIGATION
Avocat Irrigation
11725 W. Ken-Caryl Ave., Suite F-509
LIMONA, CO 80137
p. 303.986.2175

MECHANICAL ENGINEER
ENVISSION Mechanical Engineers, Inc.
3777 Federal Court, #600
Englewood, CO 80112
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Town of Parker
SALISBURY PARK
NORTH - PHASE 1
11700 MOTSENBOCKER RD
PARKER, CO 80134

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ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

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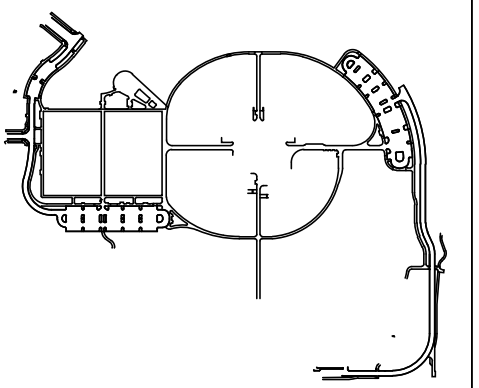
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Sheet Issue Date: 2024-11-22

Drawn By: AMF/MGG/MJS

Checked By: WTP/CWK/CFG

Key Map

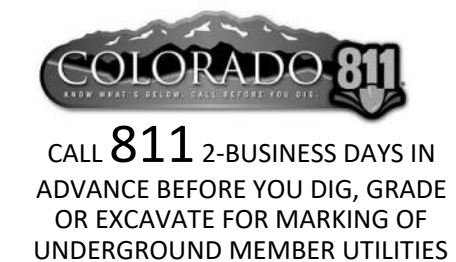


Drawing
TOWN OF PARKER
CONSTRUCTION NOTES

C-002

SITE PLAN SUBMITTAL
Page 8 of 311

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.
This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.
Town of Parker, Director of Engineering Date



THE LINE SHOWN ABOVE IS THE CENTERLINE OF THE UTILITY. THE DIMENSIONS SHOWN ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

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GENERAL NOTES

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST VERSION.
2. THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE TOWN OF PARKER, DOUGLAS COUNTY AND OTHER NEIGHBORING CITIES AND TOWNS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
3. ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE ACTUAL LOCATIONS MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES.
4. PWSO ENGINEER AND OTHER APPROVING AGENCIES ARE TO BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.
6. ALL CONCRETE SHALL BE A MINIMUM OF CLASS A, 6 SACK, TYPE II, 3000-POUND COMPRESSION STRENGTH.
7. THE DESIGN ENGINEER SHALL SUBMIT ONE (1) SET OF "AS-BUILT" DRAWINGS AND ELECTRONIC FILES TO THE DISTRICT ENGINEER FOR APPROVAL BY DISTRICT.
8. NO WORK SHALL BE BACKFILLED UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE DISTRICT ENGINEER OR REPRESENTATIVE OF THE DISTRICT ENGINEER.
9. TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR THE INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED BY THE INSPECTOR.
10. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF LINES (WATER AND SEWER) FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT.
11. SURFACE GRADES ARE TO BE WITHIN PLUS OR MINUS ONE FOOT OF FINISHED GRADE AND VERIFICATION OF COMPACTION RESULTS OBTAINED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES.
12. ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:
13. NO TREES ALLOWED IN EASEMENTS OR WITHIN 8' OF WATER OR SANITARY SEWER MAINS IN RIGHT OF WAY.
14. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS WHICH HAVE BEEN APPROVED BY THE PWSO AND THE DISTRICT ENGINEER AND ONE (1) COPY OF THE LATEST PWSO SPECIFICATION MANUAL.

WATER SYSTEM NOTES

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST REVISION.
2. ALL WATER MAINS SHALL BE PER PWSO MATERIALS SPECIFICATIONS. ALL MATERIALS IN CONTACT WITH POTABLE WATER SHALL BE SUITABLE FOR CHLORINATED AND CHLORAMINATED WATER.
3. ALL BENDS, PLUGS, REDUCERS, AND FIRE HYDRANTS TO BE RODDED OR MEGA-LUGGED. ALL FITTINGS SHALL BE WRAPPED PER PWSO MATERIALS SPECIFICATIONS.
4. THERE SHALL BE A MINIMUM COVER OF 4.5 FEET OVER ALL WATER MAINS.
5. FIRE HYDRANTS SHALL CONFORM TO AWWA C-502 "DRY BARREL FIRE HYDRANTS" PIPE HYDRANT ASSEMBLIES PER PWSO SPECIFICATIONS.
6. ALL BENDS, TEES, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST WITH CONCRETE THRUST BLOCKS.
7. PRECAUTIONS SHALL BE TAKEN TO PROTECT THE INTERIOR OF PIPES, FITTINGS, AND VALVES AGAINST CONTAMINATION. ALL OPENINGS IN THE PIPELINE SHALL BE CLOSED WITH WATERTIGHT PLUGS WHEN PIPE LAYING IS STOPPED AT THE CLOSE OF THE DAY'S WORK OR FOR OTHER REASONS, SUCH AS REST BREAKS OR MEAL PERIODS.
8. VALVES IN STREETS ARE TO BE LOCATED AT PROPERTY LINE EXTENSIONS EXCEPT FOR TAPPING TEES; WHERE AN ADDITIONAL VALVE SHALL BE PLACED ON THE TAPPING TEE. OTHER LOCATIONS SHOWN ON THE PLANS.
9. WHEN NECESSARY TO LOWER OR RAISE WATER LINES AT STORM DRAINS AND OTHER UTILITY CROSSING, A MINIMUM CLEARANCE OF 1.5 FEET SHALL BE MAINTAINED BETWEEN OUTSIDE OF PIPES.
10. THE CONTRACTOR SHALL NOTIFY THE PWSO AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP, THE CONTRACTOR MUST NOTIFY THE DISTRICT ENGINEER 48 HOURS PRIOR TO RE-START.
11. PIPE BEDDING SHALL BE A CLEAN, WELL-GRADED SAND OR SQUEEGEE SAND IN ACCORDANCE WITH PWSO STANDARDS AND SPECIFICATIONS, LATEST REVISION.
12. THE CONTRACTOR SHALL NOTIFY THE PUBLIC UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH THE EXCAVATION. ALL WORK PERFORMED IN THE AREA OF THE PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES.
13. COMPACTION OF ALL TRENCHES MUST BE ATTAINED IN ACCORDANCE WITH THE SOILS REPORTS AND COMPACTION TEST RESULTS SUBMITTED TO THE DISTRICT ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
14. AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE OFFICE OF THE DISTRICT ENGINEER AND ATTENDED BY THE CONTRACTOR, DESIGN ENGINEER, AND REPRESENTATIVE OF OTHER APPROVING AGENCIES.
15. CHLORINATION AND FLUSHING: ALL WATER MAINS SHALL BE INSTALLED AND CHLORINATED PER PWSO SPECIFICATIONS. CHLORINATION OF FINISHED PIPELINE COMPLETED BEFORE HYDROSTATIC TESTING.
16. HYDROSTATIC TESTING: ALL WATER MAINS SHALL BE TESTED PER THE REQUIREMENTS OF THE PWSO SPECIFICATIONS UP TO MINIMUM OF 150 PSI IN THE PRESENCE OF A PWSO INSPECTOR/ENGINEER.

SANITARY SEWER SYSTEM NOTES

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST VERSION.
2. ALL SEWER MAINS SHALL BE PVC, ASTM D-3034, SDR 35 OR APPROVED EQUAL. ALL SEWER MAIN SIZE IS 8" IN DIAMETER UNLESS OTHERWISE NOTED.
3. SEWER LINES SHALL BE INSTALLED 5.0 FEET SOUTH OR WEST OF STREET CENTERLINE, UNLESS OTHERWISE SHOWN ON PLANS. SEWER LINES SHALL BE 10.00 FEET FROM WATER LINES EXCEPT WHEN CROSSING EACH OTHER. SEWER LINES WHICH CROSS LESS THAN 1.50 FEET VERTICALLY FROM THE WATER MAIN SHALL BE ENCASED IN CONCRETE AS PER PWSO SPECIFICATIONS. USE RUBBER GASKETS FOR PVC ENCASEMENT.
4. SEWER RIM ELEVATIONS SHOWN ARE APPROPRIATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. RING AND COVER SHALL BE SET IN CENTERED CONCRETE RINGS WITH RAM-NECK FOR ADJUSTMENT TO MATCH FINAL PAVEMENT ELEVATIONS.
5. THE CONTRACTOR AND SURVEY CREW SHALL VERIFY ELEVATIONS OF EXISTING SEWER LINES AND MANHOLES TO BE TIED TO PRIOR TO CONSTRUCTION OR STAKING OF SANITARY SEWER.
6. NO UNDERDRAIN SYSTEM WILL BE ALLOWED TO BE PLACED IN MAINLINE OR SEWER SERVICE TRENCHES.
7. SEWER SERVICE TEES FOR EACH UNIT SHALL BE STAKED BY A SURVEY CREW AND FURNISHED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER "AS CONSTRUCTED" LOCATION OF TEES. SEWER WYES SHALL BE USED RATHER THAN TEES.
8. ALL MANHOLES SHALL BE 48-INCHES IN DIAMETER WITH 24-INCH RING AND COVER, ECCENTRIC CONE UNLESS OTHERWISE SPECIFIED. ALL MANHOLES SHALL HAVE SHAPED INVERTS.
9. PIPE BEDDING SHALL BE CLASS "B" AND SHALL CONFORM TO ASTM C-33 OR D-448 GRADATION NO. 6 OR NO. 67.
10. AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE OFFICE OF THE DISTRICT ENGINEER AND ATTENDED BY THE CONTRACTOR AND REPRESENTATIVES OF THE OTHER APPROVING AGENCIES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE DISTRICT ENGINEER TO SCHEDULE THIS MEETING.
11. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS WHICH HAVE BEEN APPROVED BY THE PWSO AND THE DISTRICT ENGINEER AND ONE (1) COPY OF THE LATEST PWSO SPECIFICATION MANUAL.
12. ALL SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE PWSO STANDARDS AND SPECIFICATIONS PRIOR TO ACCEPTANCE OR ANY CONNECTION TO AN EXISTING SEWER LINE.
13. PRIOR TO STARTING WORK WHERE SEWER MAIN IS TO BE CONNECTED TO EXISTING PWSO SEWER SYSTEMS, THE NEAREST MANHOLE TO THE POINT OF TIE-IN SHALL BE PLUGGED WITH A PLUMBER'S PLUG ON THE INLET SIDE BY THE CONTRACTOR. THIS PLUG SHALL REMAIN IN PLACE UNTIL FINAL PROBATIONARY ACCEPTANCE BY PWSO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING AND CLEANING THESE MANHOLES AND REMOVING THE PLUG WHEN INSTRUCTED BY THE DISTRICT.
14. PRIOR TO PROBATIONARY ACCEPTANCE WALK-THROUGH, THE CONTRACTOR SHALL JET CLEAN THE ENTIRE SANITARY SEWER SYSTEM AND PUMP OUT AT THE PLUGGED MANHOLE.

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS. ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.
REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.
BY: \_\_\_\_\_ (DISTRICT REPRESENTATIVE)
DATE: \_\_\_\_\_
APPROVED FOR CONSTRUCTION: PARKER WATER AND SANITATION DISTRICT
BY: \_\_\_\_\_ (DISTRICT ENGINEER)
DATE: \_\_\_\_\_

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LANDSCAPE ARCHITECT / ARCHITECT
1800 Wazee Street, Suite 450
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CIVIL ENGINEER / STRUCTURAL ENGINEER
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ELECTRICAL ENGINEER
Ackerman Engineering, Inc.
3000 Touhill Street, #204
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p. 303.278.7297
IRRIGATION
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11705 W. Kent-Coyne Ave., Suite F-509
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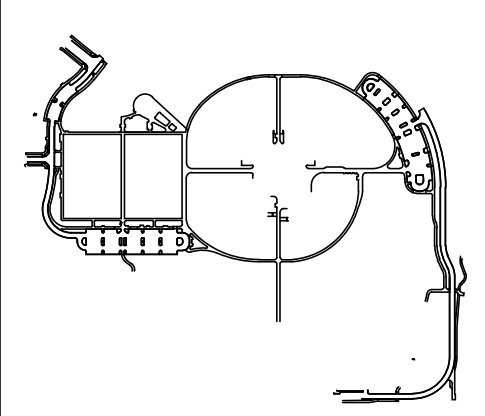
Town of Parker
SALISBURY PARK
NORTH - PHASE 1
11700 MOTSENBOCKER RD
PARKER, CO 80134

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ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

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Sheet Issue Date: 2024-11-22
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Checked By: WTP/CWK/CFG

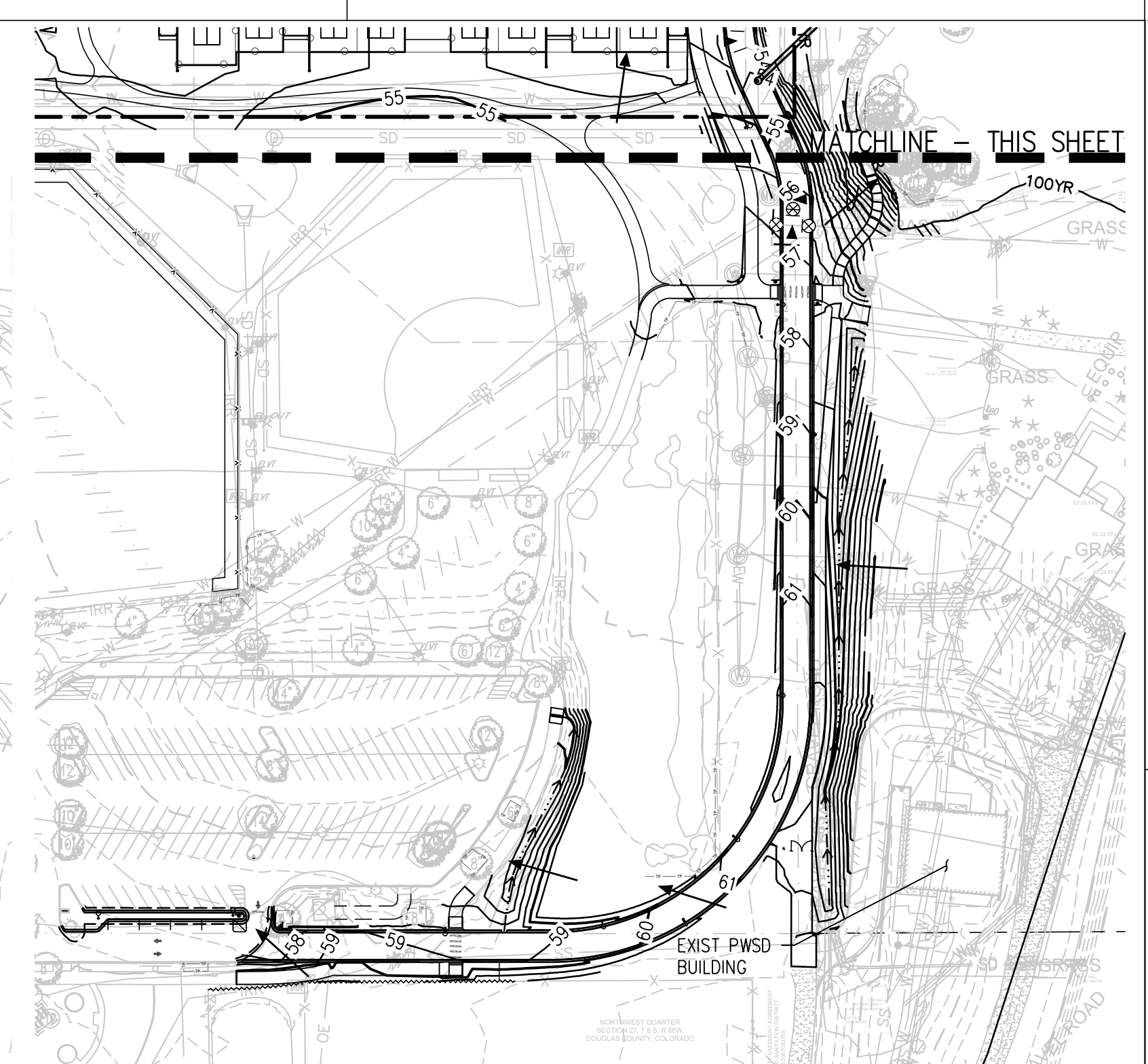
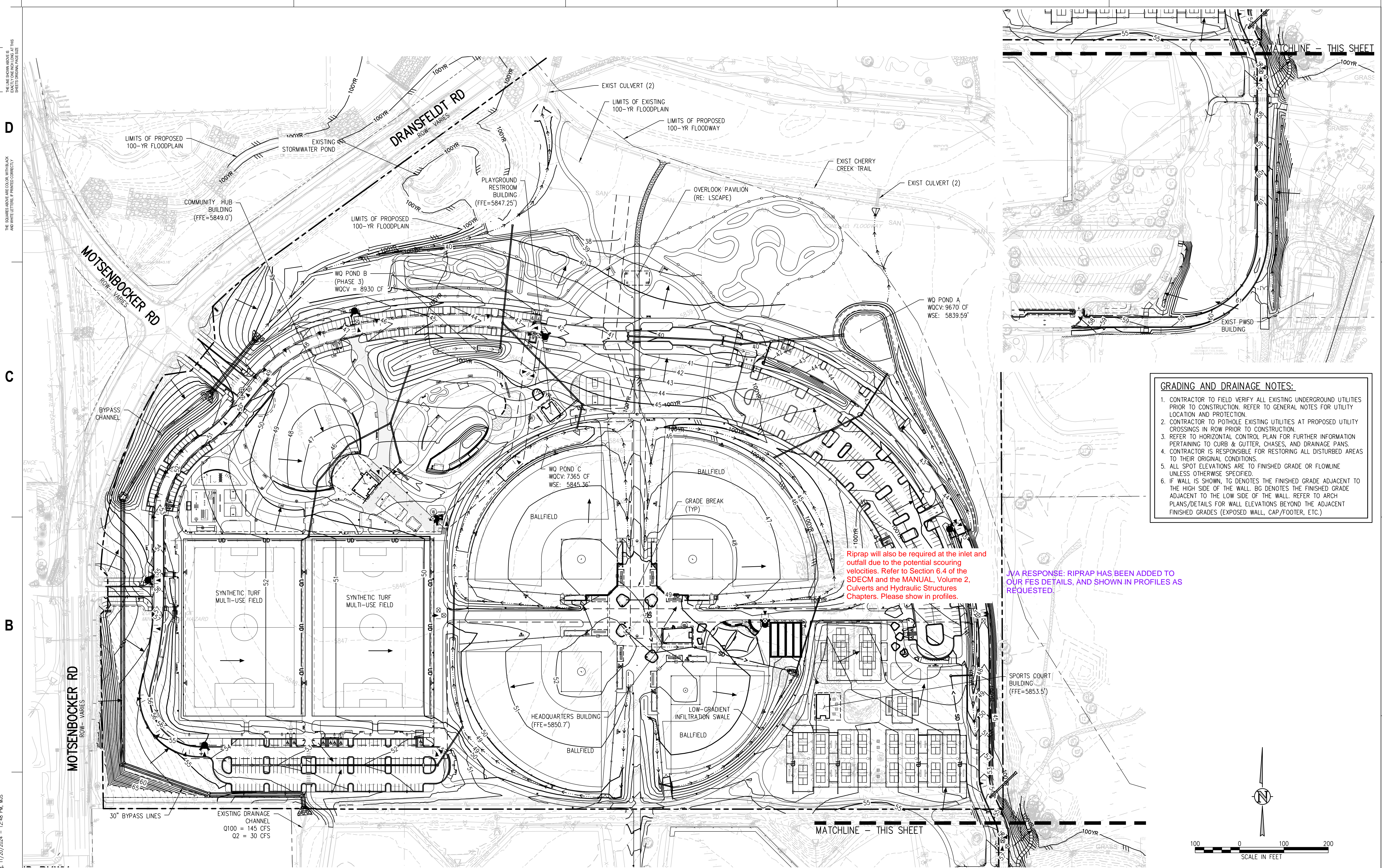
Key Map



Drawing PWSD NOTES

C-003

SITE PLAN SUBMITTAL
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- GRADING AND DRAINAGE NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  2. CONTRACTOR TO POTHOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
  3. REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS TO THEIR ORIGINAL CONDITIONS.
  4. CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
  5. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
  6. IF WALL IS SHOWN, TG DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL. BG DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CAP/FOOTER, ETC.)

Riprap will also be required at the inlet and outfall due to the potential scouring velocities. Refer to Section 6.4 of the SDECM and the MANUAL, Volume 2, Culverts and Hydraulic Structures Chapters. Please show in profiles.

JVA RESPONSE: RIPRAP HAS BEEN ADDED TO OUR FES DETAILS, AND SHOWN IN PROFILES AS REQUESTED.

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1675 Lowell Street, #500  
 Denver, CO 80202  
 p. 303.444.1961

ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 3200 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

IRRIGATION  
 Avocet Irrigation  
 11725 W. Ken-Coy Ave., Suite F-509  
 Littleton, CO 80120  
 p. 303.986.2175

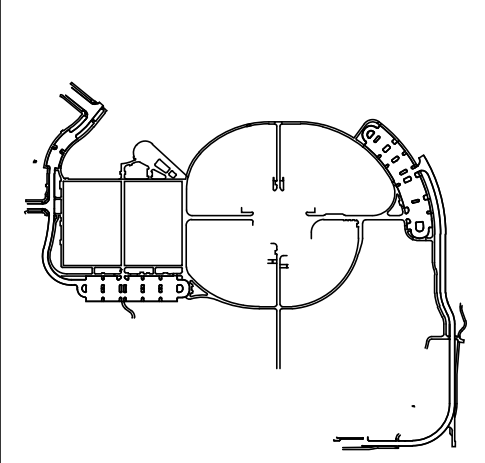
MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

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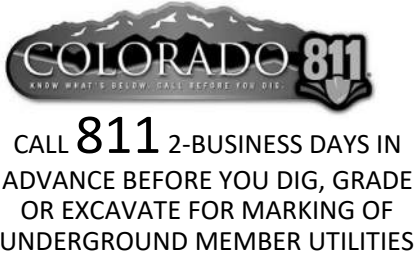
Drawing  
**OVERALL GRADING & DRAINAGE PLAN (FINAL)**

**C-100**  
 SITE PLAN SUBMITTAL  
 Page 10 of 311

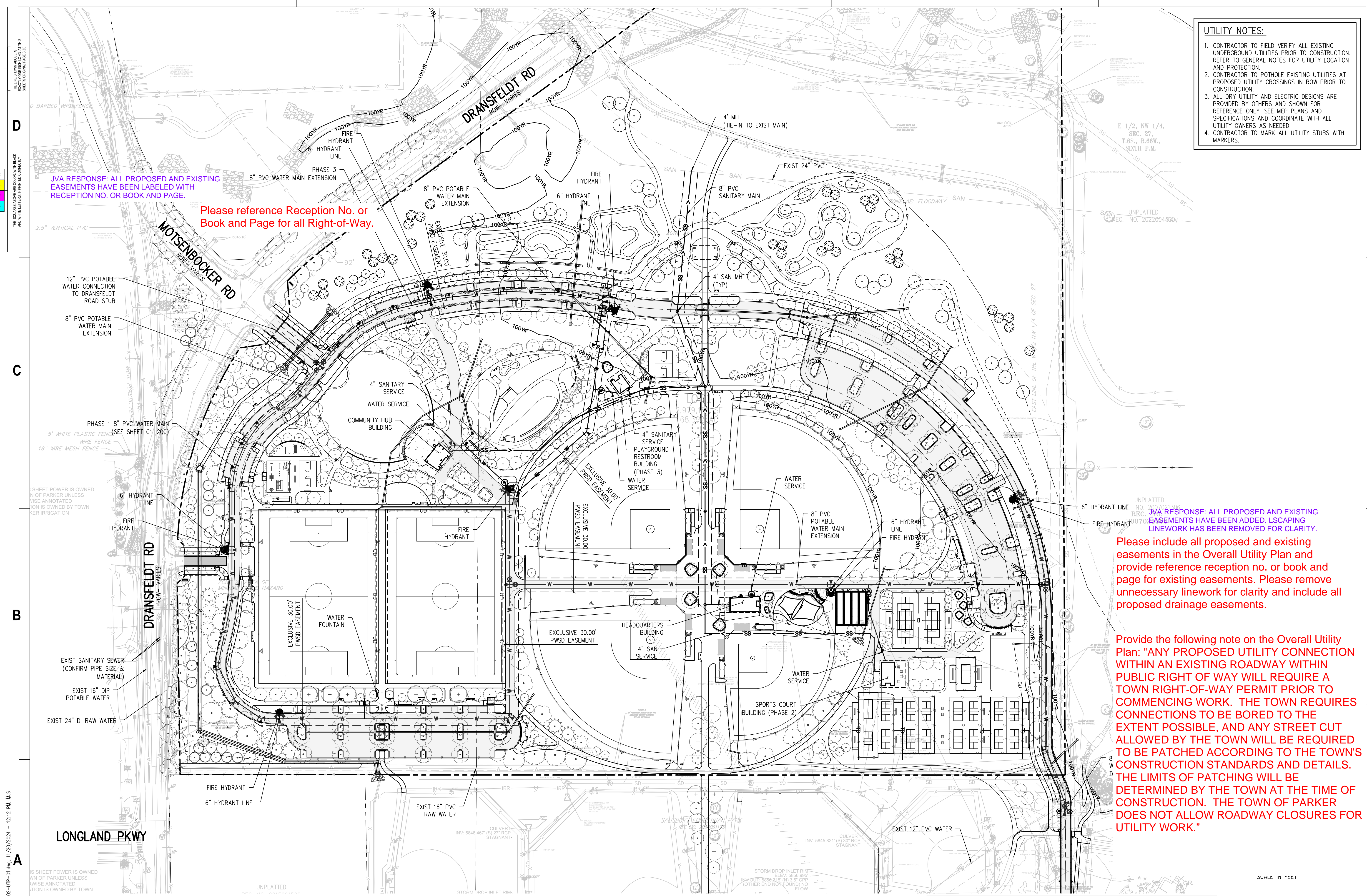
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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_



Q:\37526 - Salisbury Park North Drawings\37526-00-01-CGR-00.dwg, 11/20/2024 - 12:48 PM, MJS



**UTILITY NOTES:**

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
2. CONTRACTOR TO POTHOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
3. ALL DRY UTILITY AND ELECTRIC DESIGNS ARE PROVIDED BY OTHERS AND SHOWN FOR REFERENCE ONLY. SEE MEP PLANS AND SPECIFICATIONS AND COORDINATE WITH ALL UTILITY OWNERS AS NEEDED.
4. CONTRACTOR TO MARK ALL UTILITY STUBS WITH MARKERS.

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977  
 CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1075 Lowell Street, #550  
 Denver, CO 80202  
 p. 303.444.1961  
 ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 3200 Youngster Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297  
 IRRIGATION  
 Avocat Irrigation  
 11725 W. 56th Circle, Suite F-509  
 Littleton, CO 80120  
 p. 303.986.2175  
 MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #500  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
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 LANDSCAPE ARCHITECTURE  
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 INTERIOR DESIGN

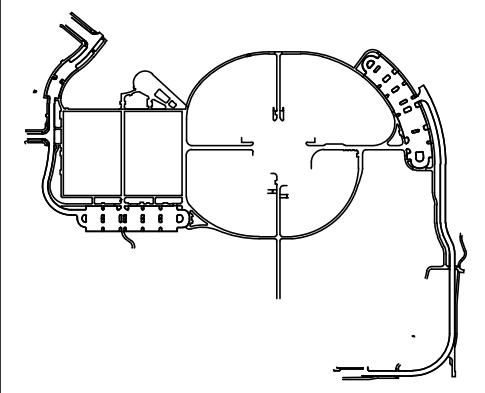
JVA RESPONSE: ALL PROPOSED AND EXISTING EASEMENTS HAVE BEEN ADDED. LSCAPING LINEWORK HAS BEEN REMOVED FOR CLARITY.

Please include all proposed and existing easements in the Overall Utility Plan and provide reference reception no. or book and page for existing easements. Please remove unnecessary linework for clarity and include all proposed drainage easements.

Provide the following note on the Overall Utility Plan: "ANY PROPOSED UTILITY CONNECTION WITHIN AN EXISTING ROADWAY WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN REQUIRES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE REQUIRED TO BE PATCHED ACCORDING TO THE TOWN'S CONSTRUCTION STANDARDS AND DETAILS. THE LIMITS OF PATCHING WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK."

DATE	DESCRIPTION

Project Number: 223072.00  
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 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG  
 Key Map



Drawing  
**OVERALL UTILITY PLAN**  
 (FINAL)

**C-200**  
 SITE PLAN SUBMITTAL  
 Page 11 of 311

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative \_\_\_\_\_ Date \_\_\_\_\_

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

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THE SQUARE AND COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.

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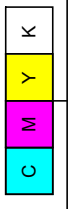
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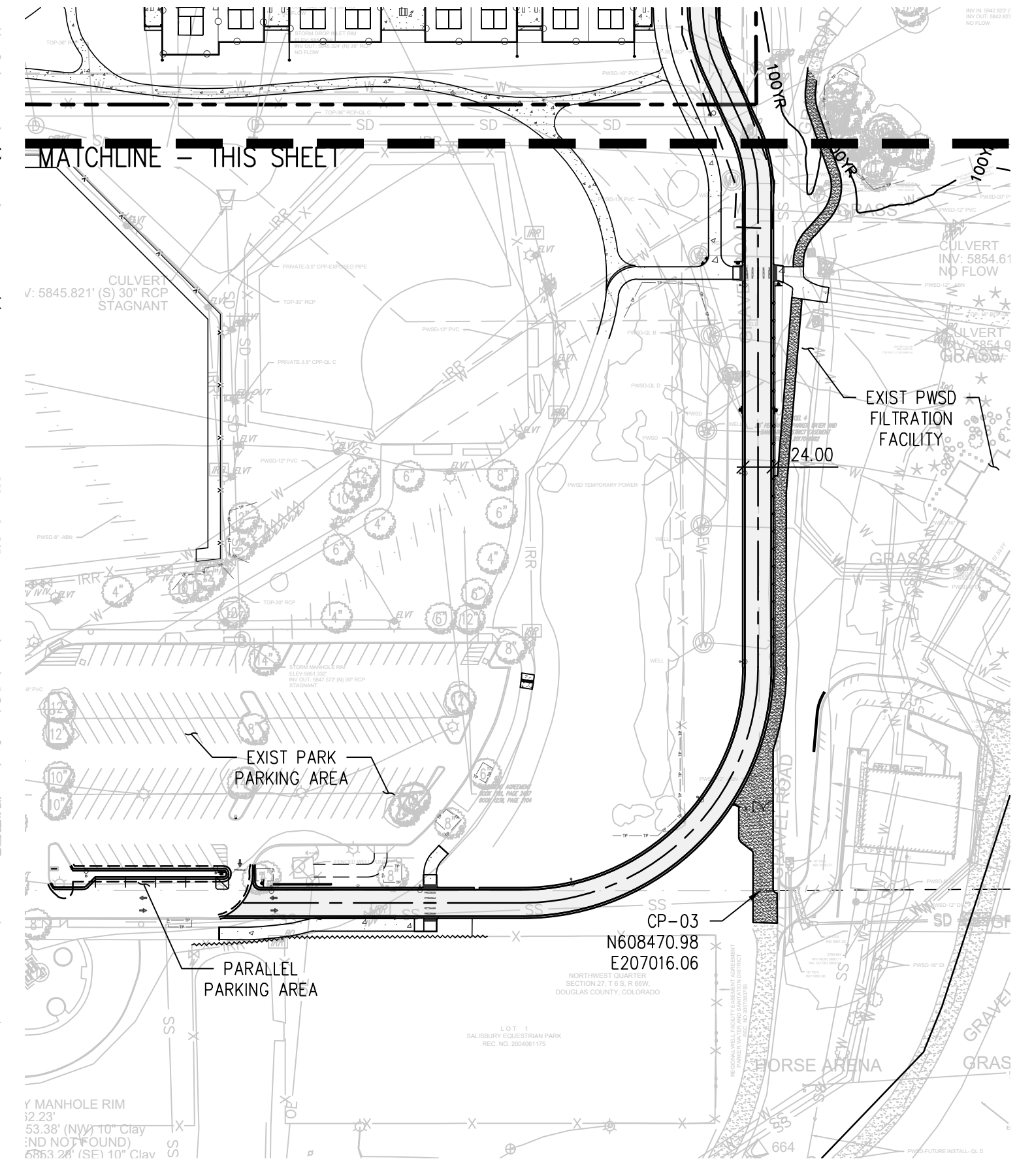
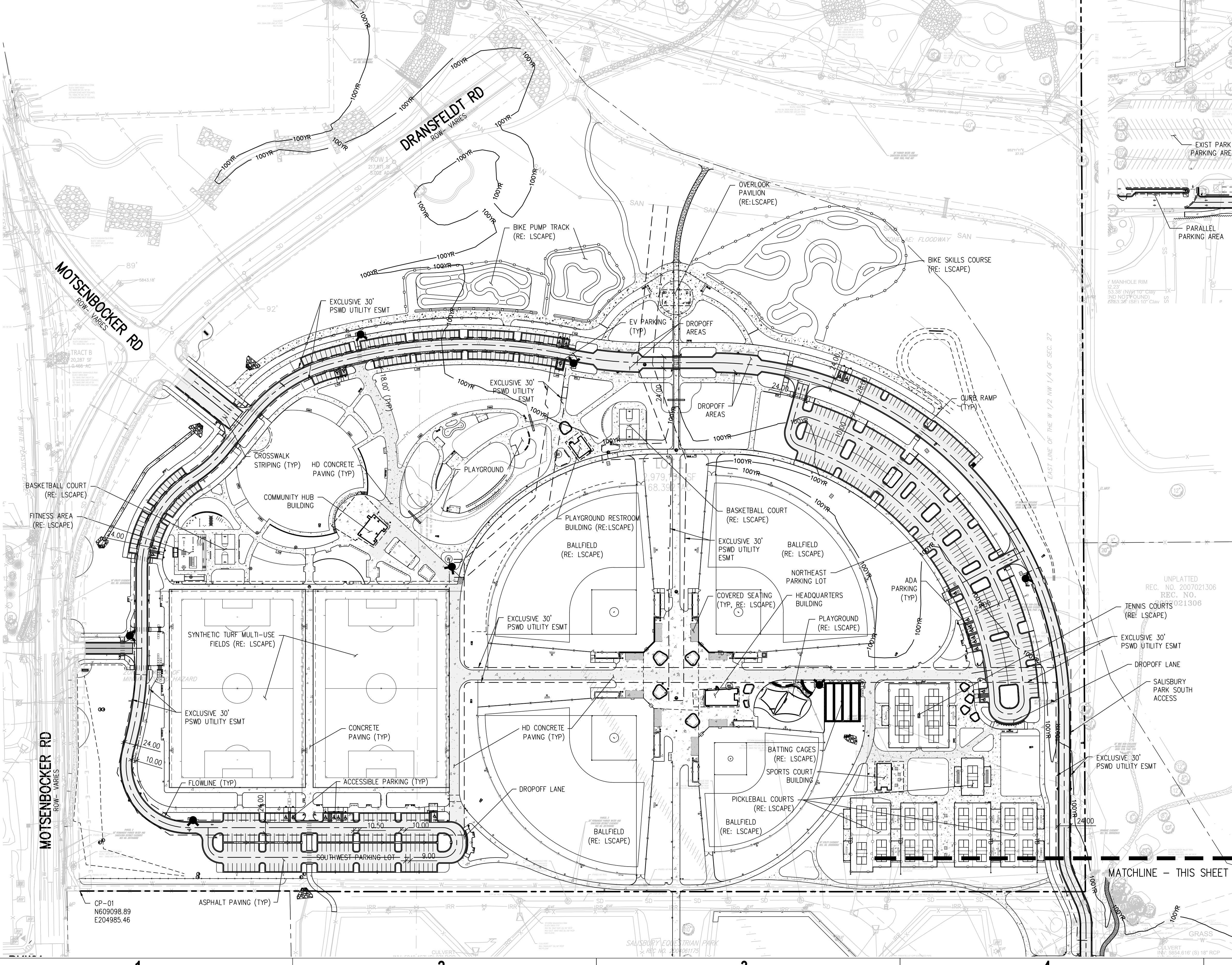
Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

THE SQUARES ABOVE ARE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.



D  
C  
B  
A

ZONE X - AREA OF MINIMAL FLOOD HAZARD



**HORIZONTAL CONTROL NOTES:**

- ALL DIMENSIONS AND RADII ARE TO FACE OF CURB, FACE OF BUILDING AND EDGE OF WALK UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING FLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.
- REFER TO GRADING AND DRAINAGE PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.

**HORIZONTAL CONTROL LEGEND**

	ASPHALT PAVING
	HEAVY-DUTY ASPHALT PAVING
	CONCRETE PAVING
	HEAVY-DUTY CONCRETE PAVING
	STRUCTURAL CONCRETE
	LIMITS OF SAWCUT

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1075 Larimer Street, #500  
 Denver, CO 80202  
 p. 303.444.1961

ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 2000 Youngster Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

IRRIGATION  
 Avocet Irrigation  
 11725 W. 36th Ave., Suite F-509  
 Littleton, CO 80127  
 p. 303.986.2175

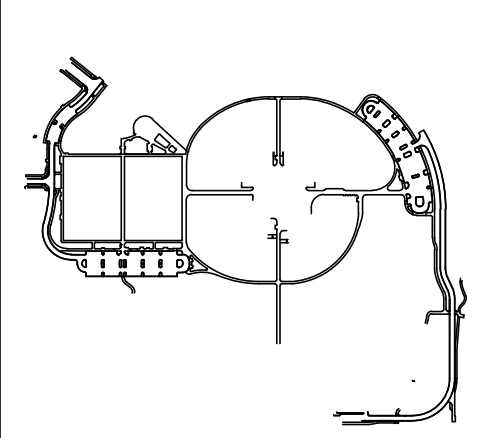
MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #600  
 Greenwood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
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 PARKER, CO 80134

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 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
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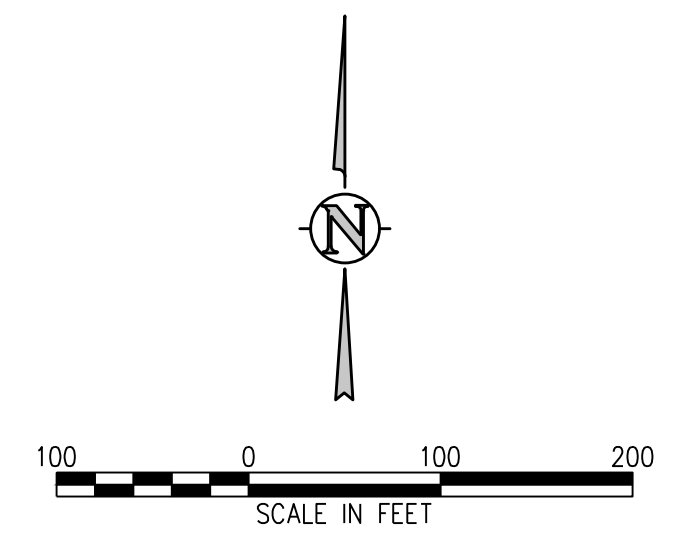
Drawing  
**SIGNAGE, STRIPING & PAVEMENT PLAN (FINAL)**

**C-300**

SITE PLAN SUBMITTAL  
 Page 12 of 311



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES



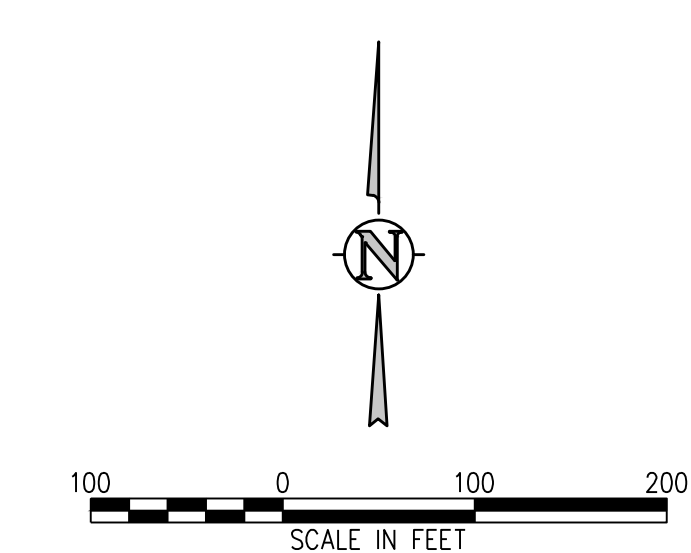
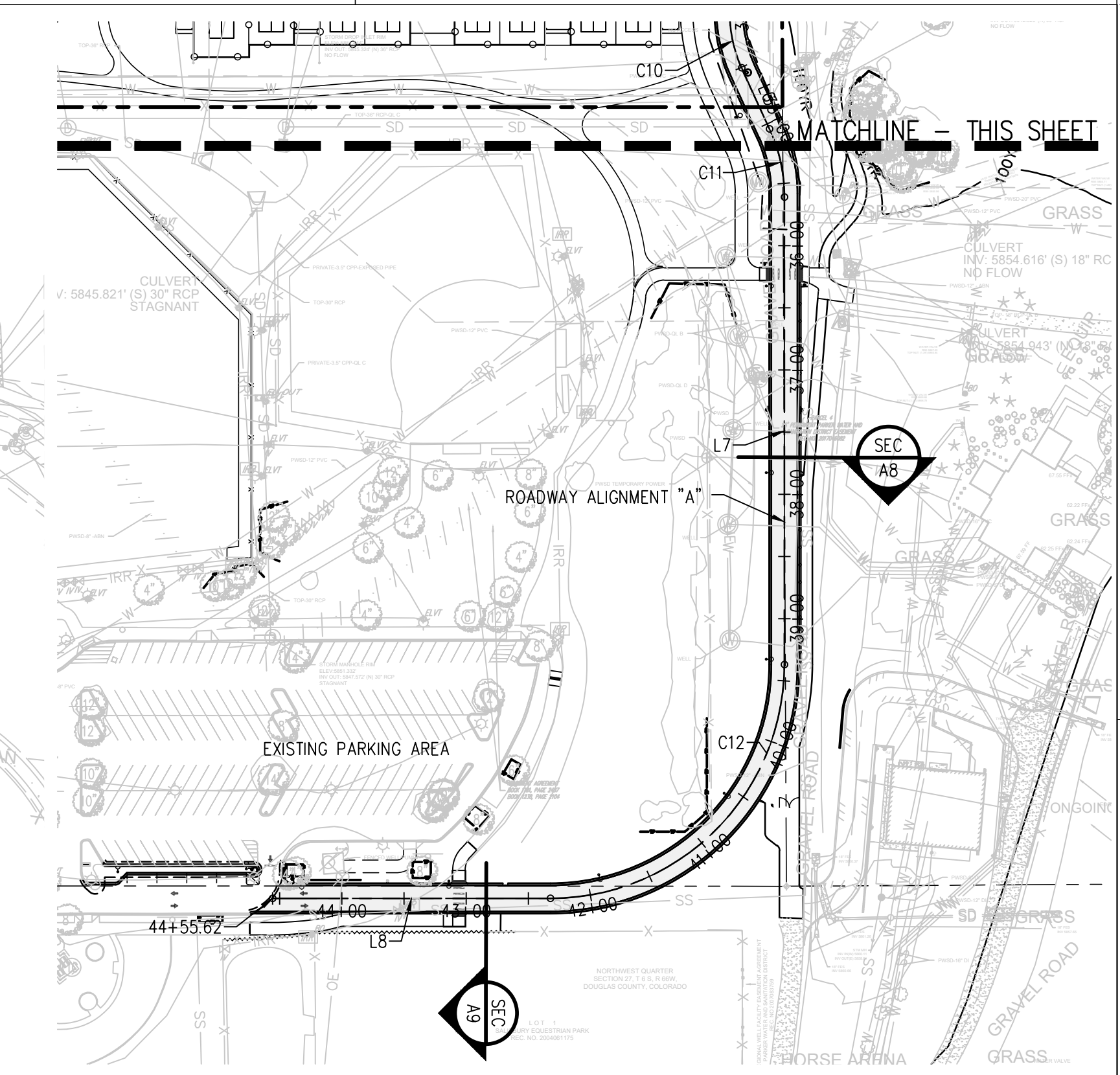
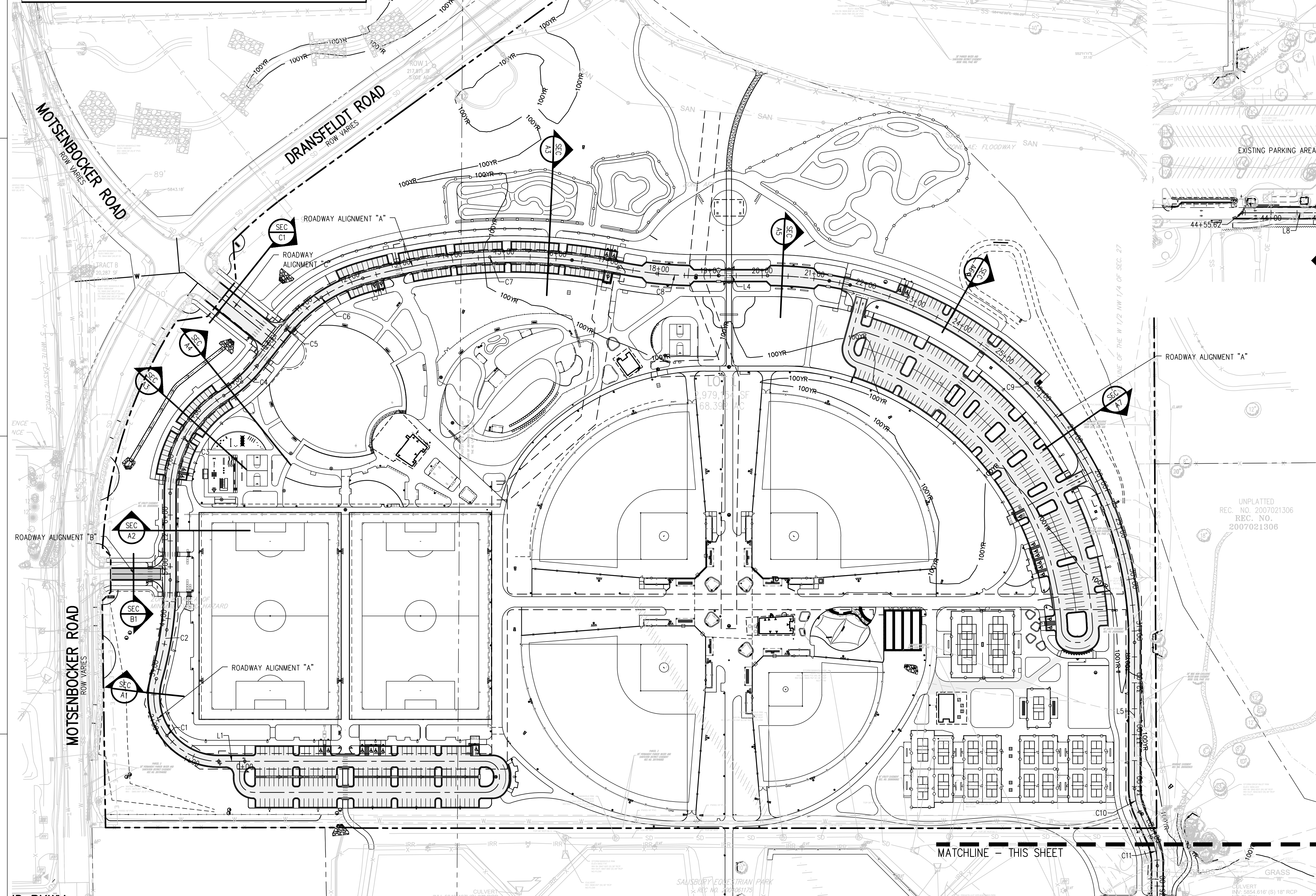
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THE LINE SHOWN ABOVE IS THE SQUARE AND/OR RECTANGLE WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY. SHEETS ORDINAL PAGE SIZE.

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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_



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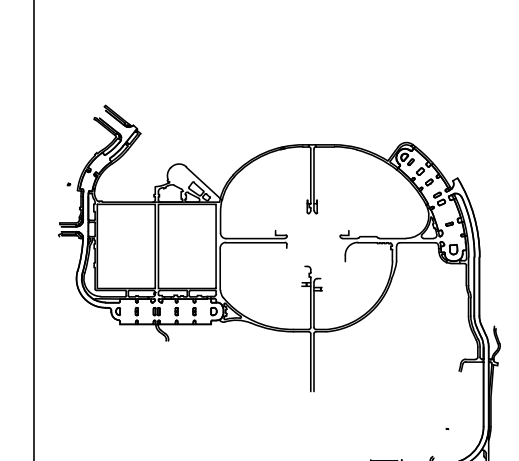
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 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
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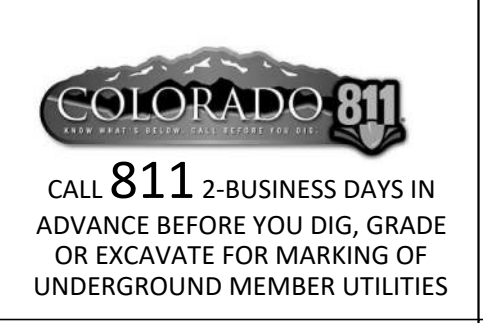
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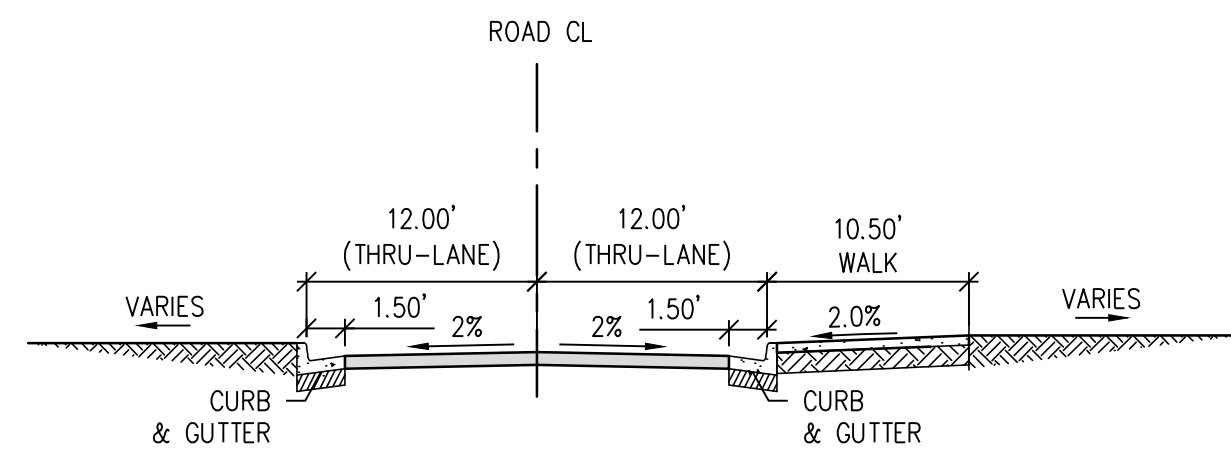


Drawing  
**ROADWAY GEOMETRIC CONTROL PLAN**

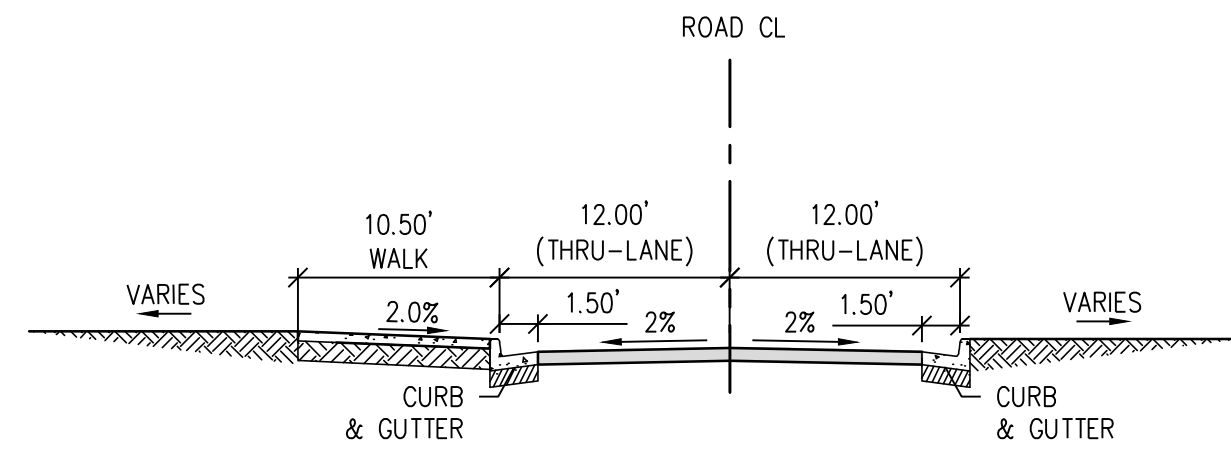
**C-400**  
 SITE PLAN SUBMITTAL  
 Page 13 of 311



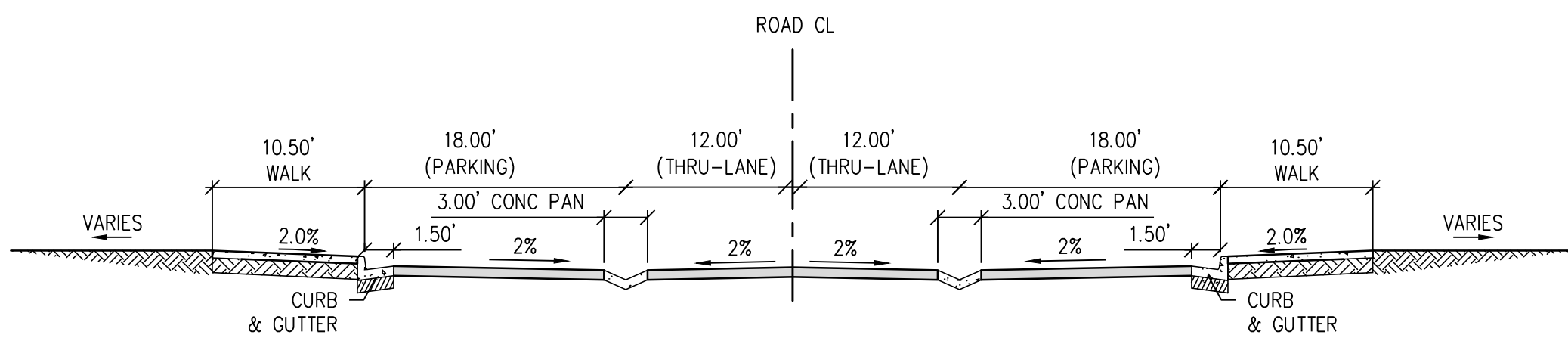
**ROADWAY ALIGNMENT A  
TYPICAL ROAD WAY (SECTIONS)**



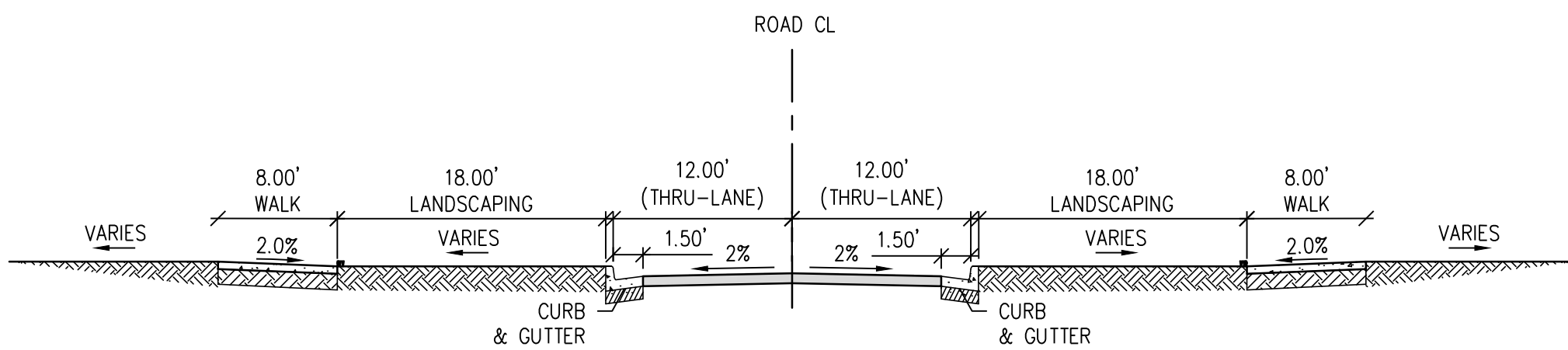
**STA 1+11.96 – 4+16.53** (SEC A1)



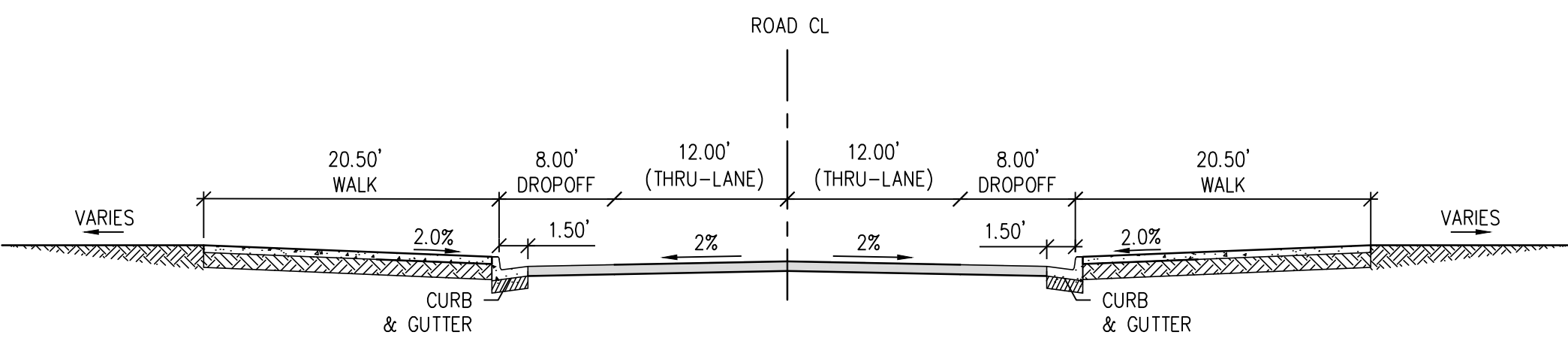
**STA 5+60.65 – 6+57.46** (SEC A2)



**STA 6+76.08 – 8+58.86, 11+81.27 – 16+95.23** (SEC A3)

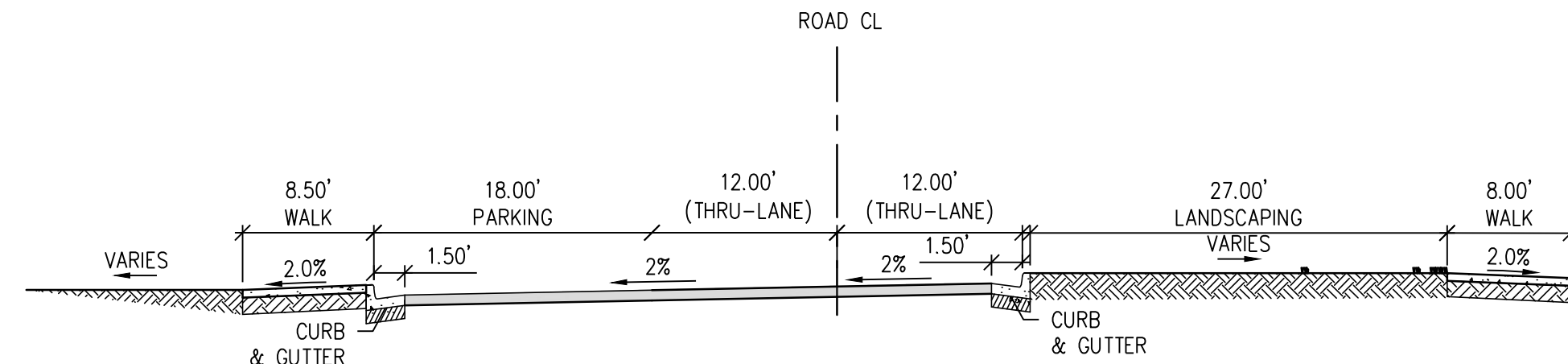


**STA 8+62.93 – 9+58.46, 10+61.55 – 11+76.54** (SEC A4)

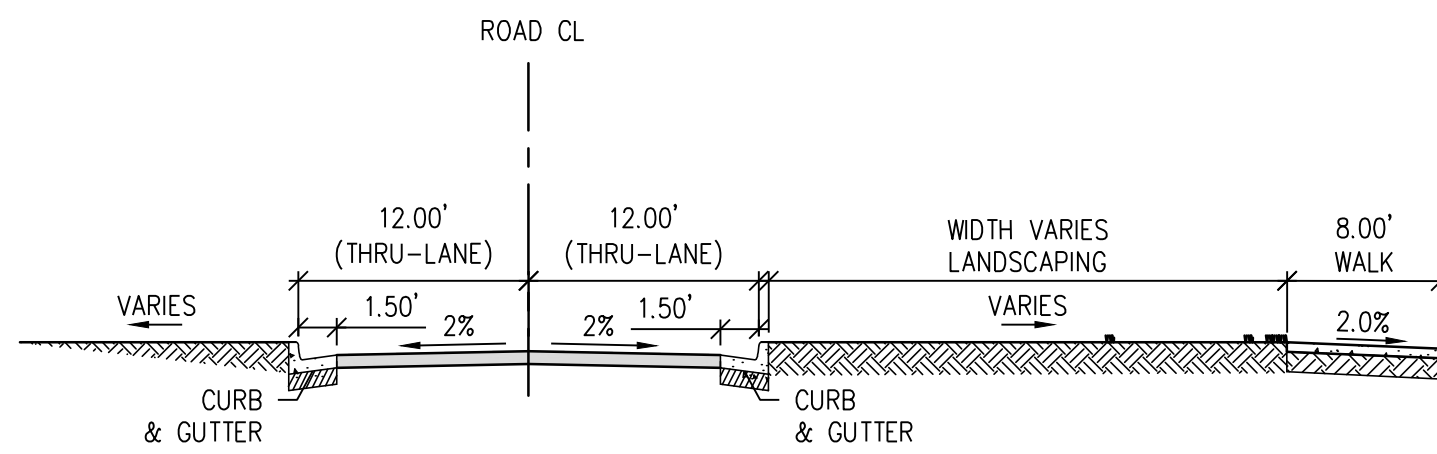


**STA 17+73.22 – 18+59.81, 20+16.33 – 21+3.03** (SEC A5)

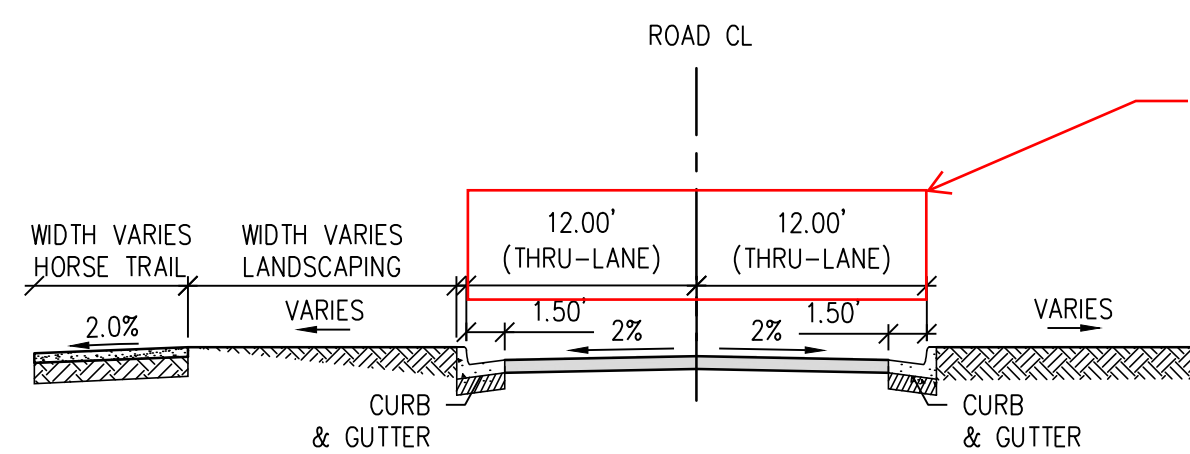
**ROADWAY ALIGNMENT B  
TYPICAL ROAD WAY (SECTIONS)**



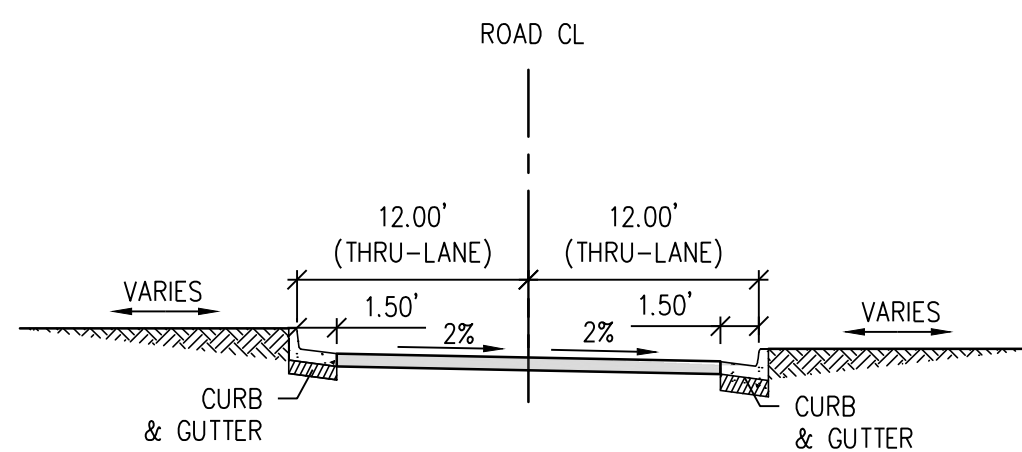
**STA 22+59.74 – 25+74.42** (SEC A6)



**STA 25+78.81 – 36+16.86** (SEC A7)

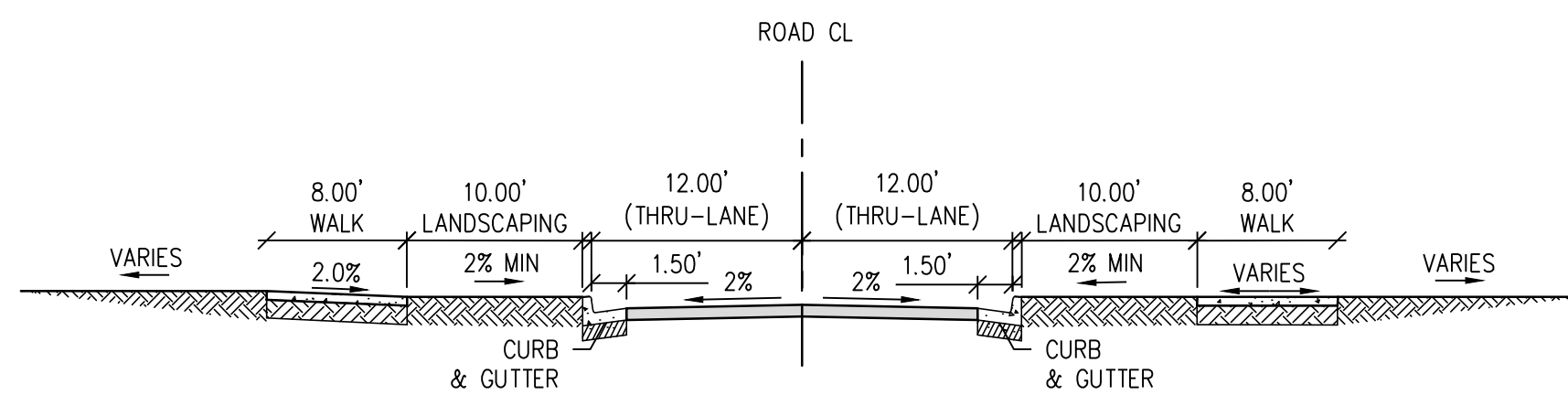


**STA 36+30.92 – 40+90.68** (SEC A8)



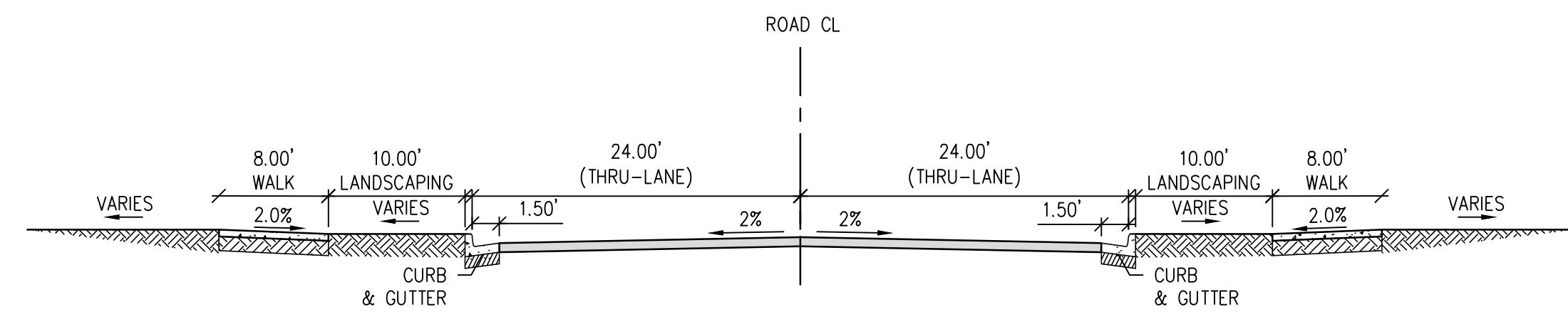
**STA 40+90.68 – 44+45.50** (SEC A9)

**ROADWAY ALIGNMENT B  
TYPICAL ROAD WAY (SECTIONS)**



**SOUTH ENTRANCE** (SEC B1)

**ROADWAY ALIGNMENT C  
TYPICAL ROAD WAY (SECTIONS)**



**NORTH ENTRANCE** (SEC C1)

Roadway Sections have travel lanes that include the gutter which is not typical on roadways/town facilities. Please confirm with Parks Staff that travel lane widths are sufficient.

Roadway sections have been confirmed with Parks Staff. Dimension labels will be adjusted to exclude the gutter.

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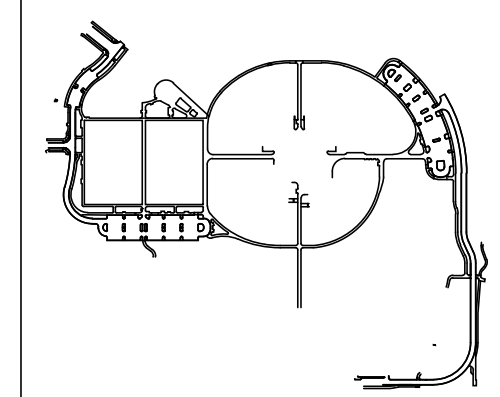
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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

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Key Map



Drawing  
**TYPICAL ROADWAY SECTIONS**

**C-401**

SITE PLAN SUBMITTAL  
Page 14 of 311

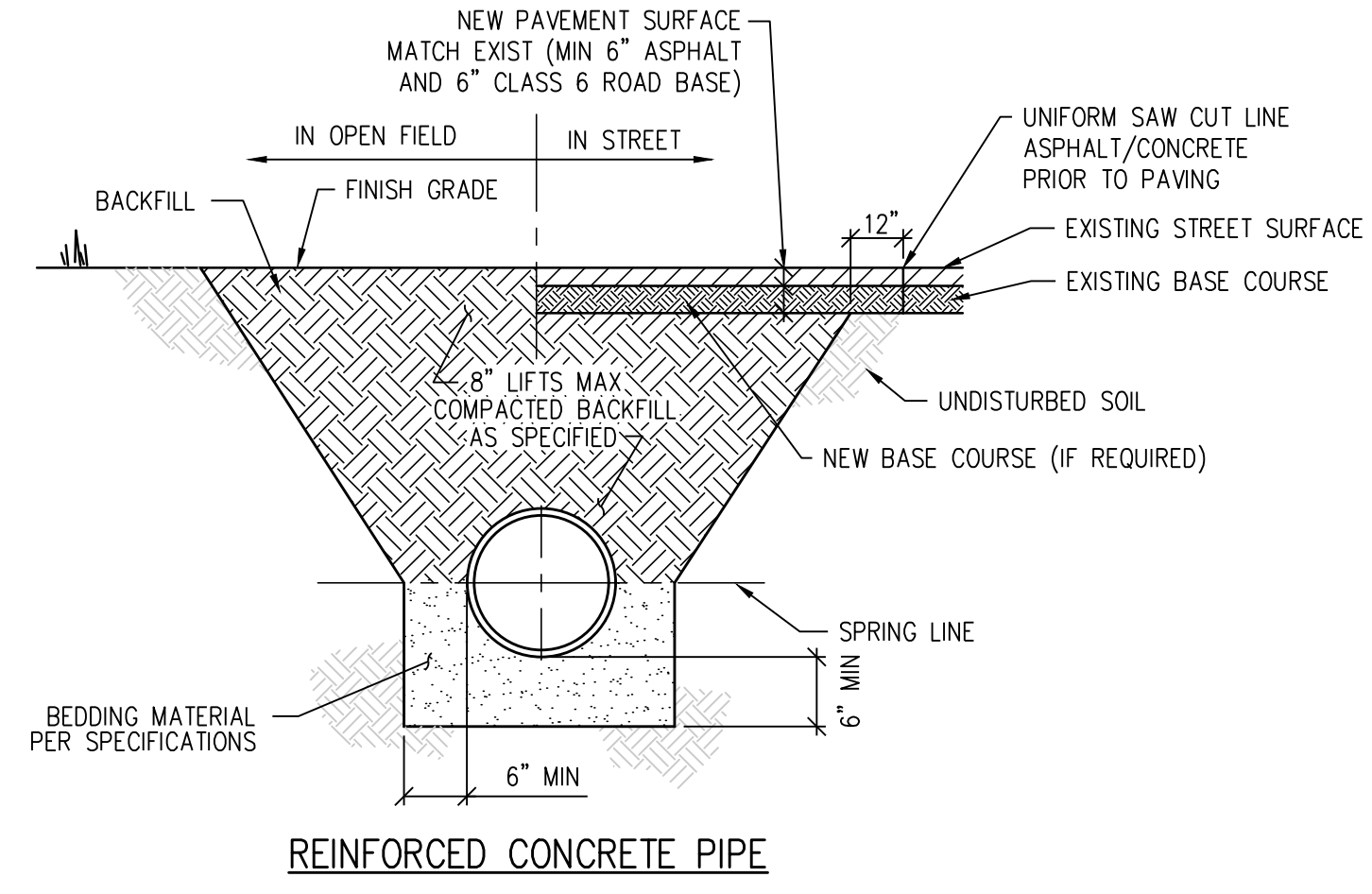


CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES



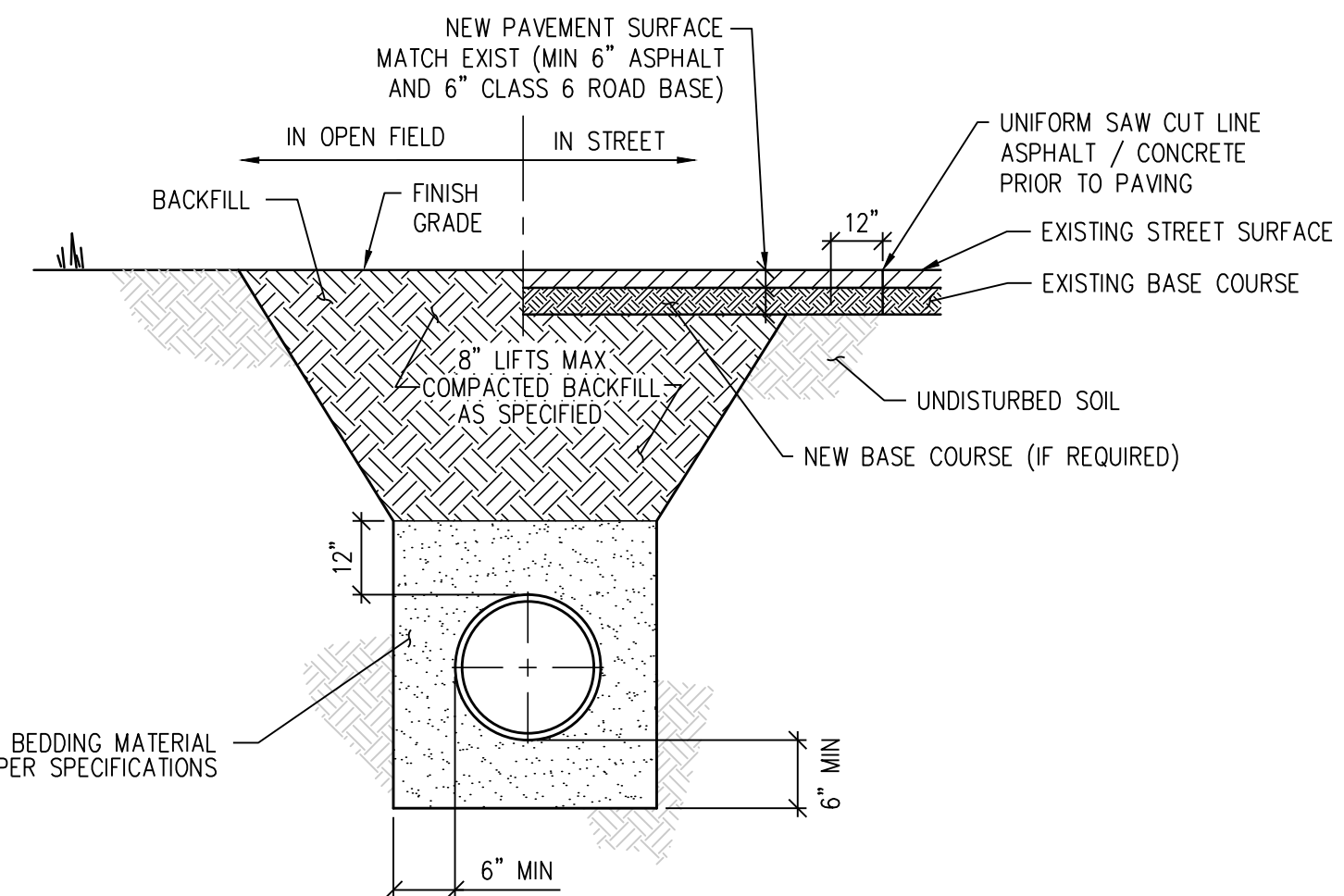
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D



REINFORCED CONCRETE PIPE

C

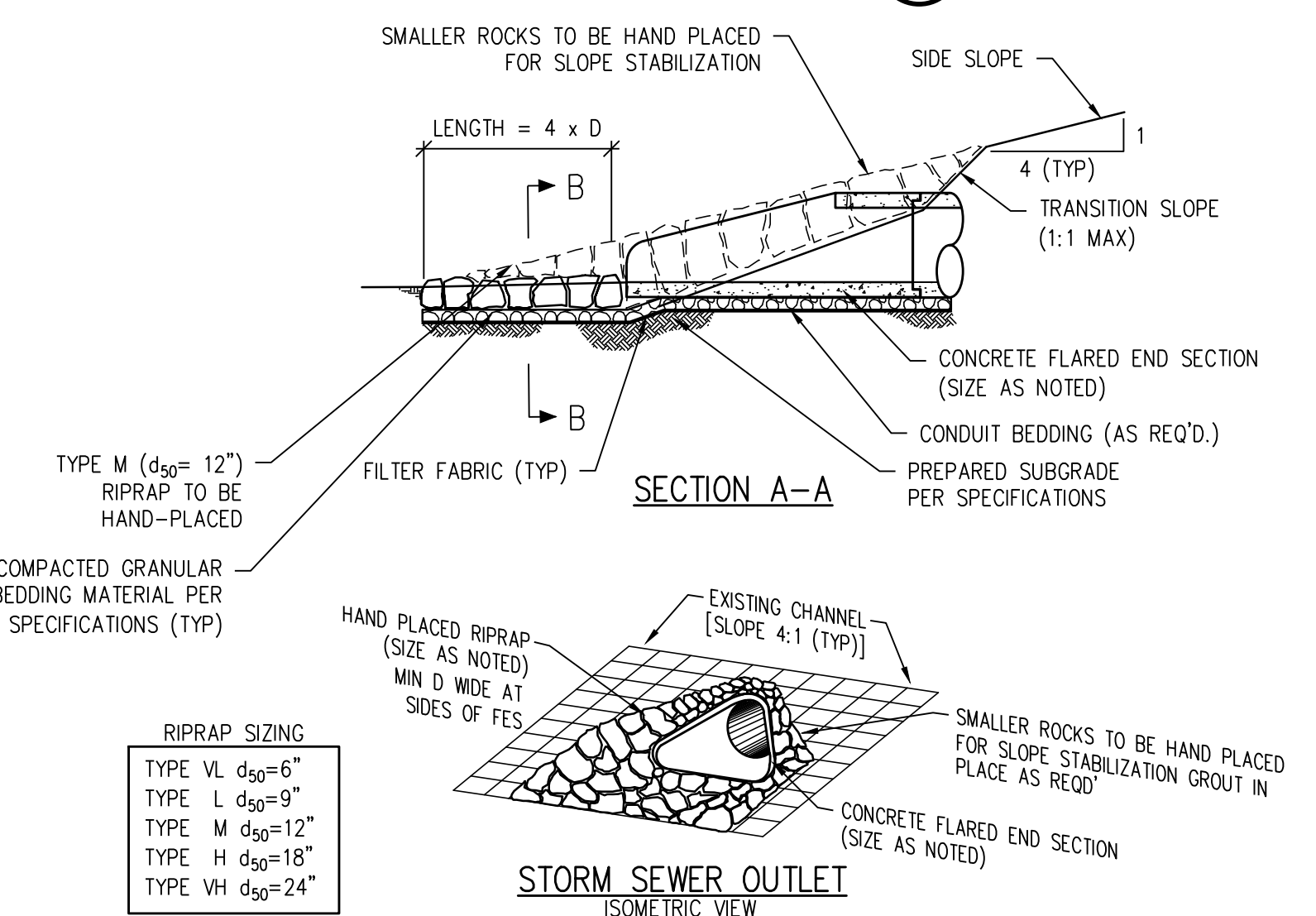


CMP/PVC/HDPE PIPE (SEE PLANS FOR MATERIAL)

- NOTES:**
1. IF UNSTABLE MATERIALS ARE FOUND IN TRENCH, OVEREXCAVATED PER SPECIFICATIONS OR AS REQUIRED.
  2. TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES.
  3. MINIMUM COVER IS 18" BELOW FINISHED GRADE.

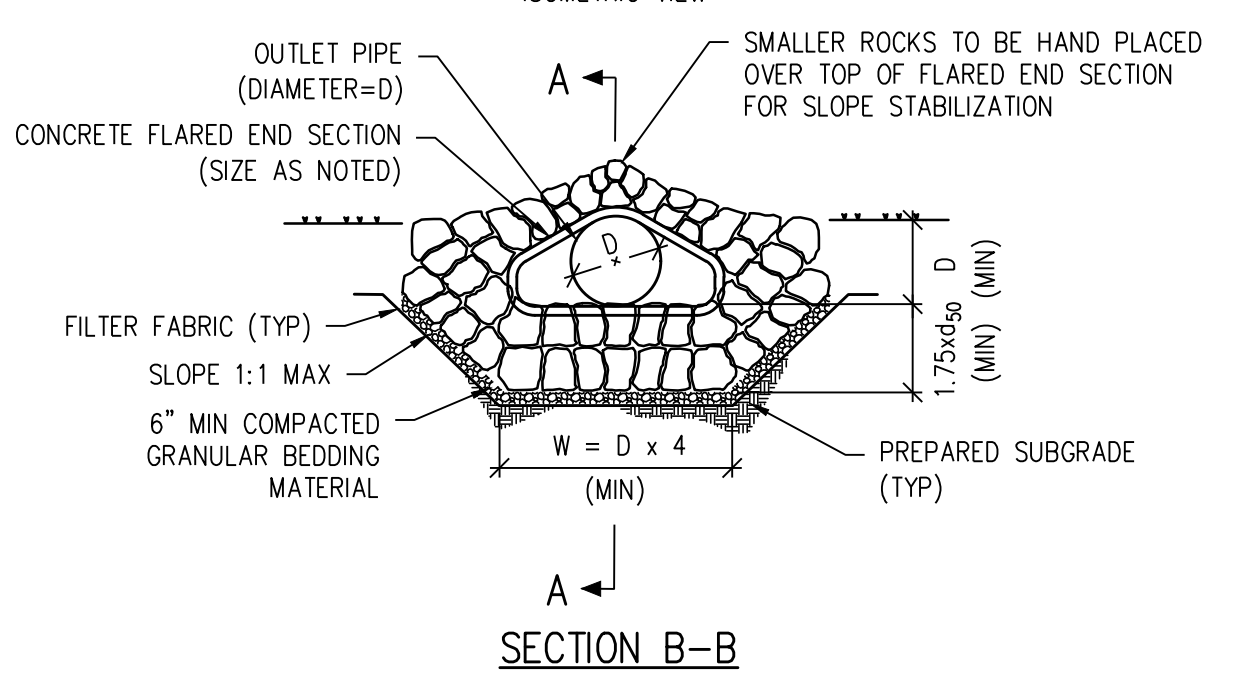
**STORM SEWER PIPE BEDDING DETAIL** (1)

B

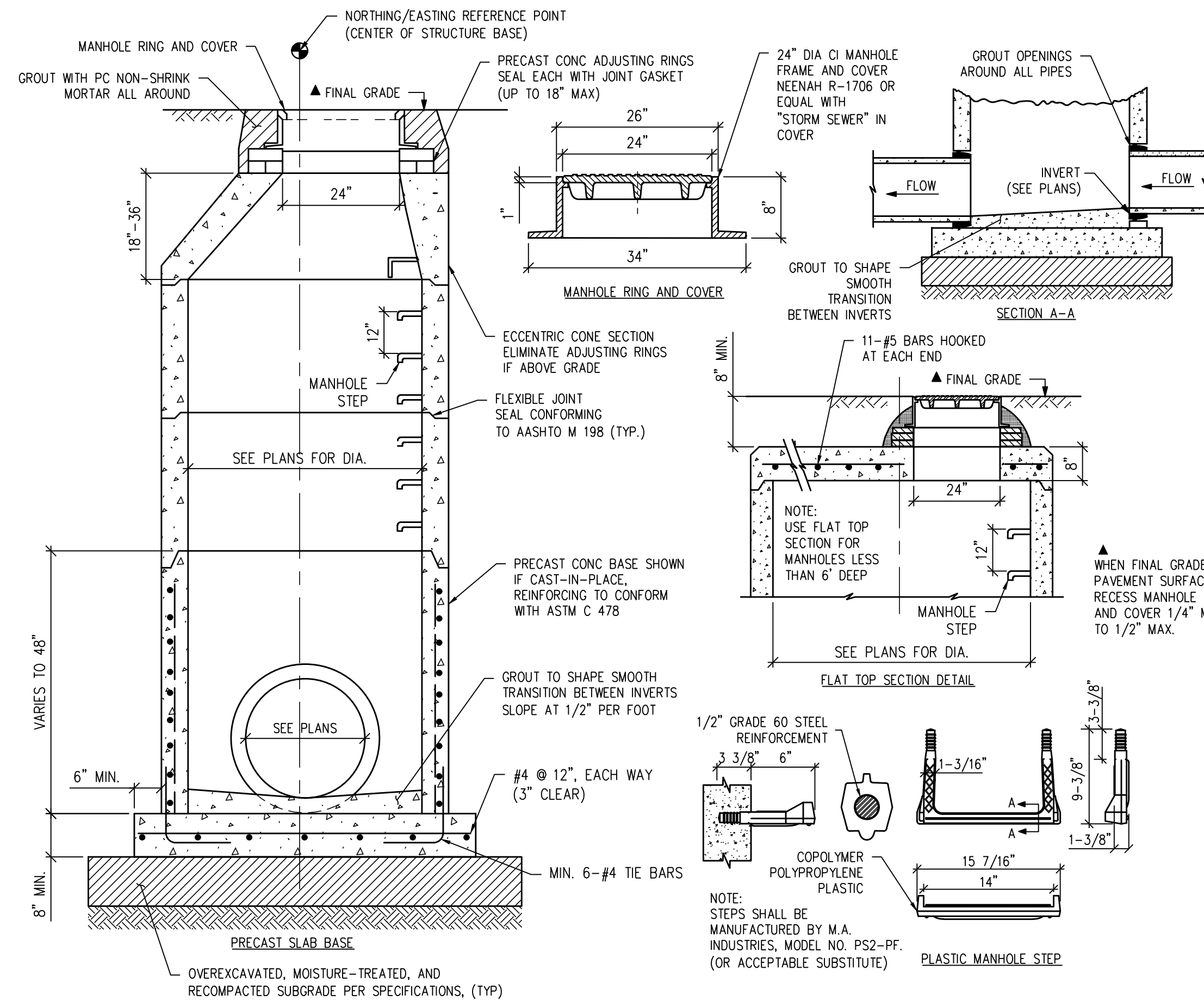


STORM SEWER OUTLET ISOMETRIC VIEW

A



STORM SEWER FLARED END SECTION DETAIL (4)

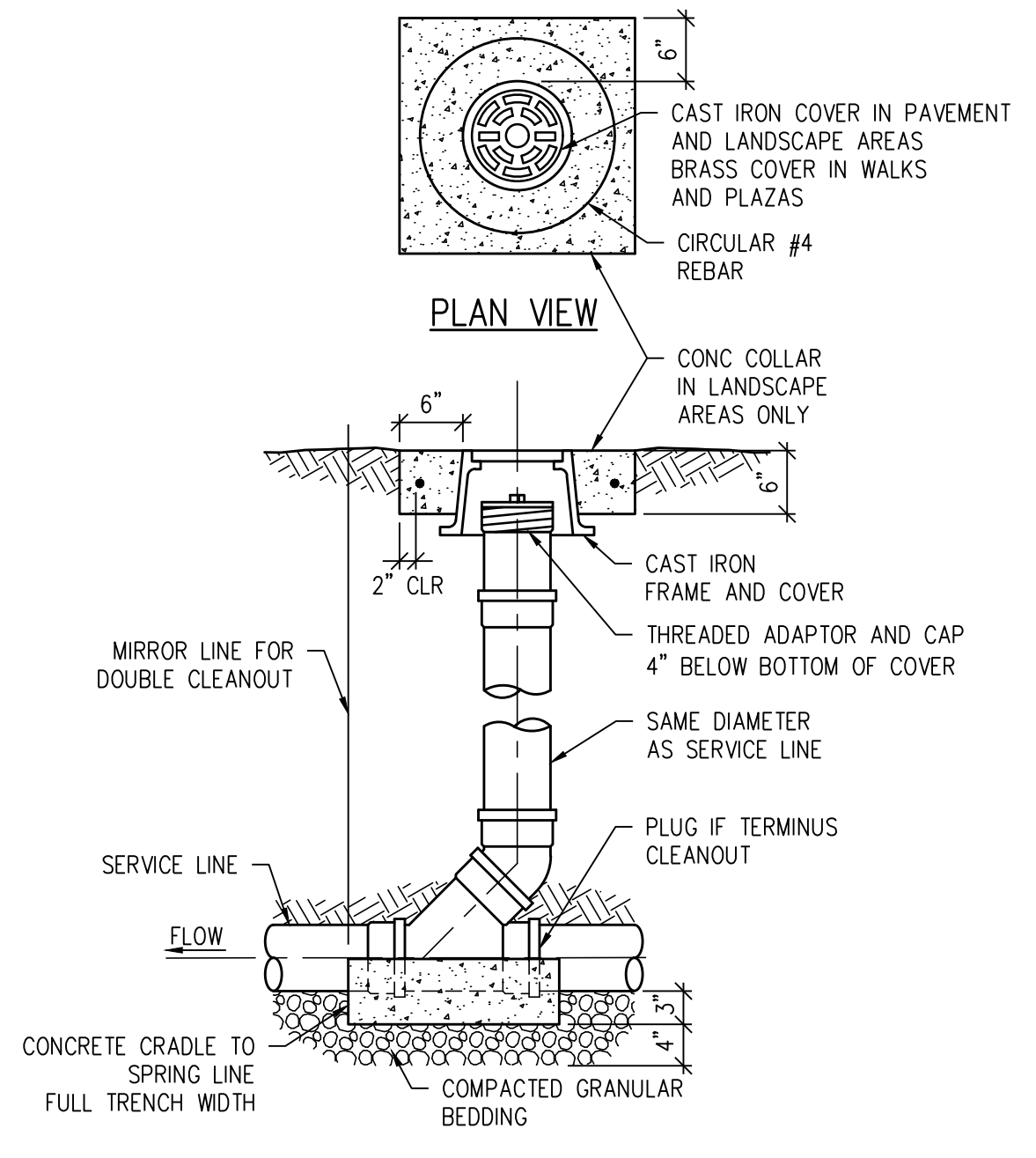


**STORM MANHOLE DETAIL** (2)

- NOTES:**
1. SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL. ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
  2. THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE.
  3. THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SURROUNDED WITH A CEMENT GROUT IN UNPAVED AREA, OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
  4. DESIGN OF BOX BASE IS BASED ON STRAIGHT RUNS OF PIPE OR CHANGE IN DIRECTION OF LESS THAN 45°. SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
  5. PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 199 (ASTM C 478).
  6. CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
  7. STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 199.
  8. ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTERLINE OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
  9. ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, SLOPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION. FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
  10. FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
  11. STUB-OUTS SHALL EXTEND 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
  12. THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
  13. BASE SLABS SHALL BE POURED MONOLITHICALLY WITH BOTTOM RISER SECTION.
  14. PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATIONS INTENDED WILL BE REJECTED BY THE ENGINEER AND REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
  15. FOR FULL DETAIL, SEE CDDOT DETAIL M-604-20.

Include Parker Standard Detail 33 from the RDCCM for Manhole Cover.

JVA RESPONSE: Detail has been added.



**STORM CLEANOUT DETAIL** (3)

hord coplan macht

LANDSCAPE ARCHITECT / ARCHITECT  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
JVA Incorporated  
1675 Lowell Street, #500  
Denver, CO 80202  
p. 303.444.1961

ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
3200 Youngfield Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

IRRIGATION  
Avocet Irrigation  
11725 W. Main Street, Suite F-509  
Littleton, CO 80127  
p. 303.986.2175

MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
3977 Federal Court, #500  
Englewood, CO 80112  
p. 303.688.0223

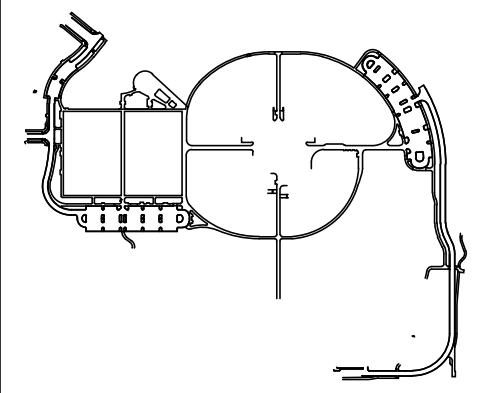
Town of Parker  
**SALISBURY PARK  
NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/MJS  
Checked By: WTP/CWK/CFG  
Key Map



Drawing  
**GRADING & DRAINAGE  
DETAILS**

**CD-100**

SITE PLAN SUBMITTAL  
Page 15 of 311

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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

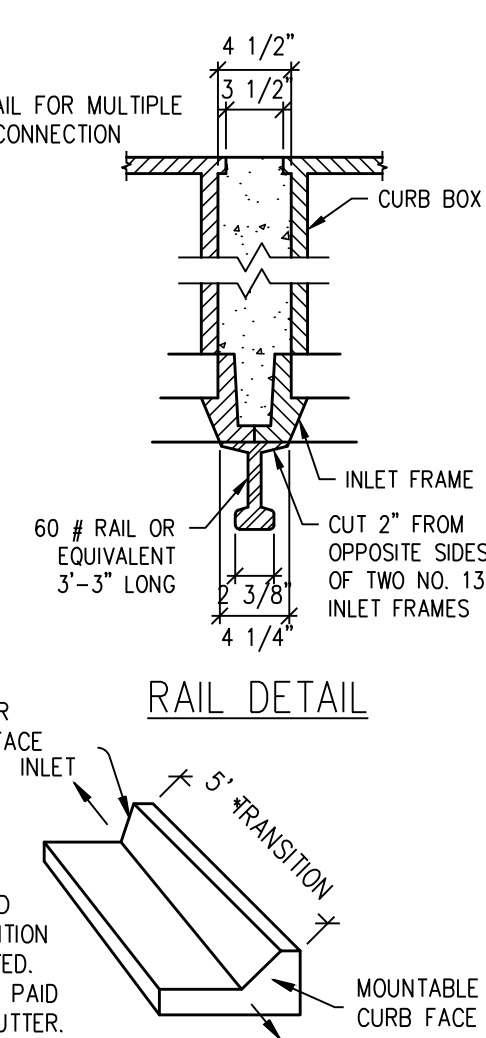
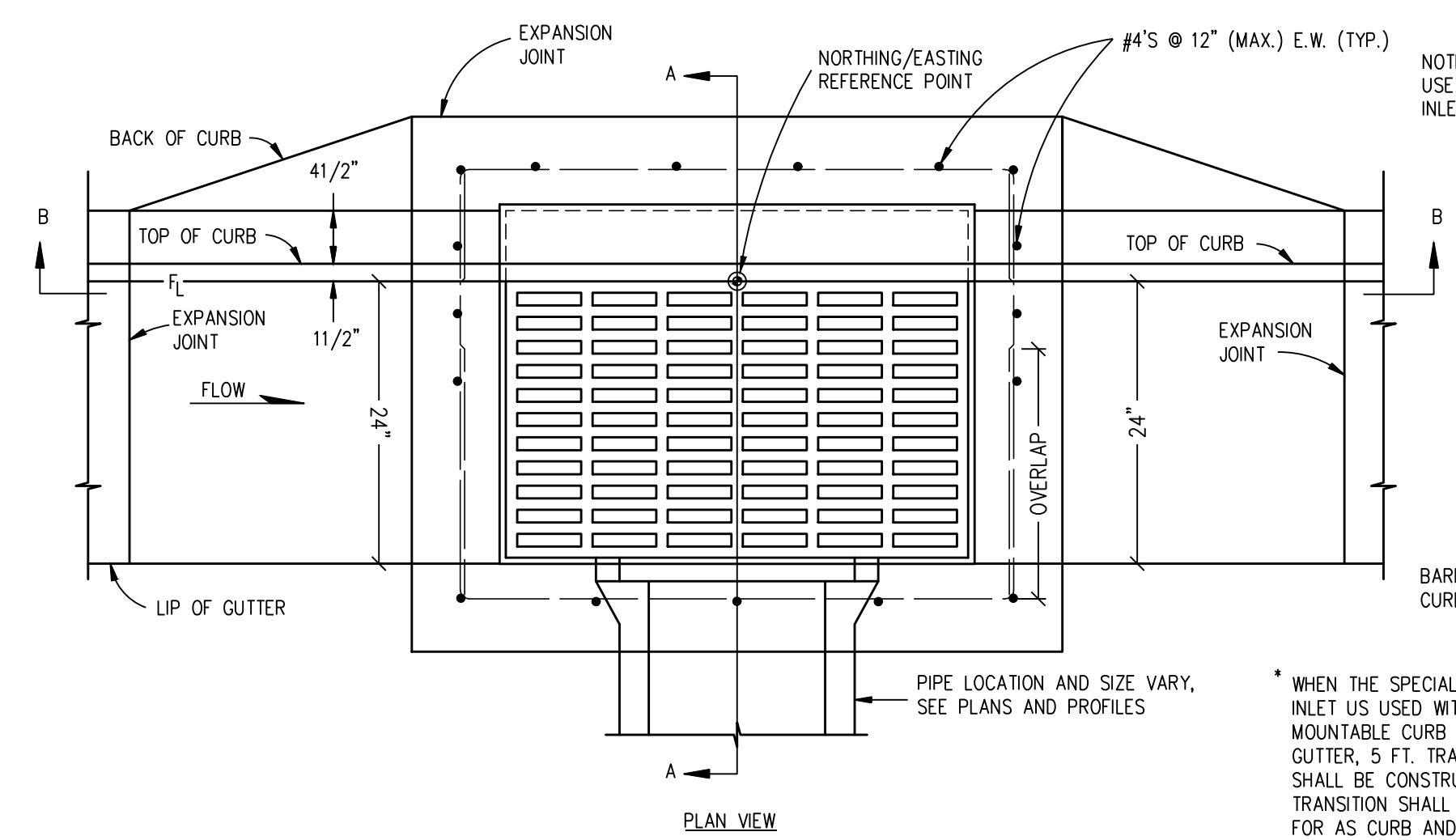
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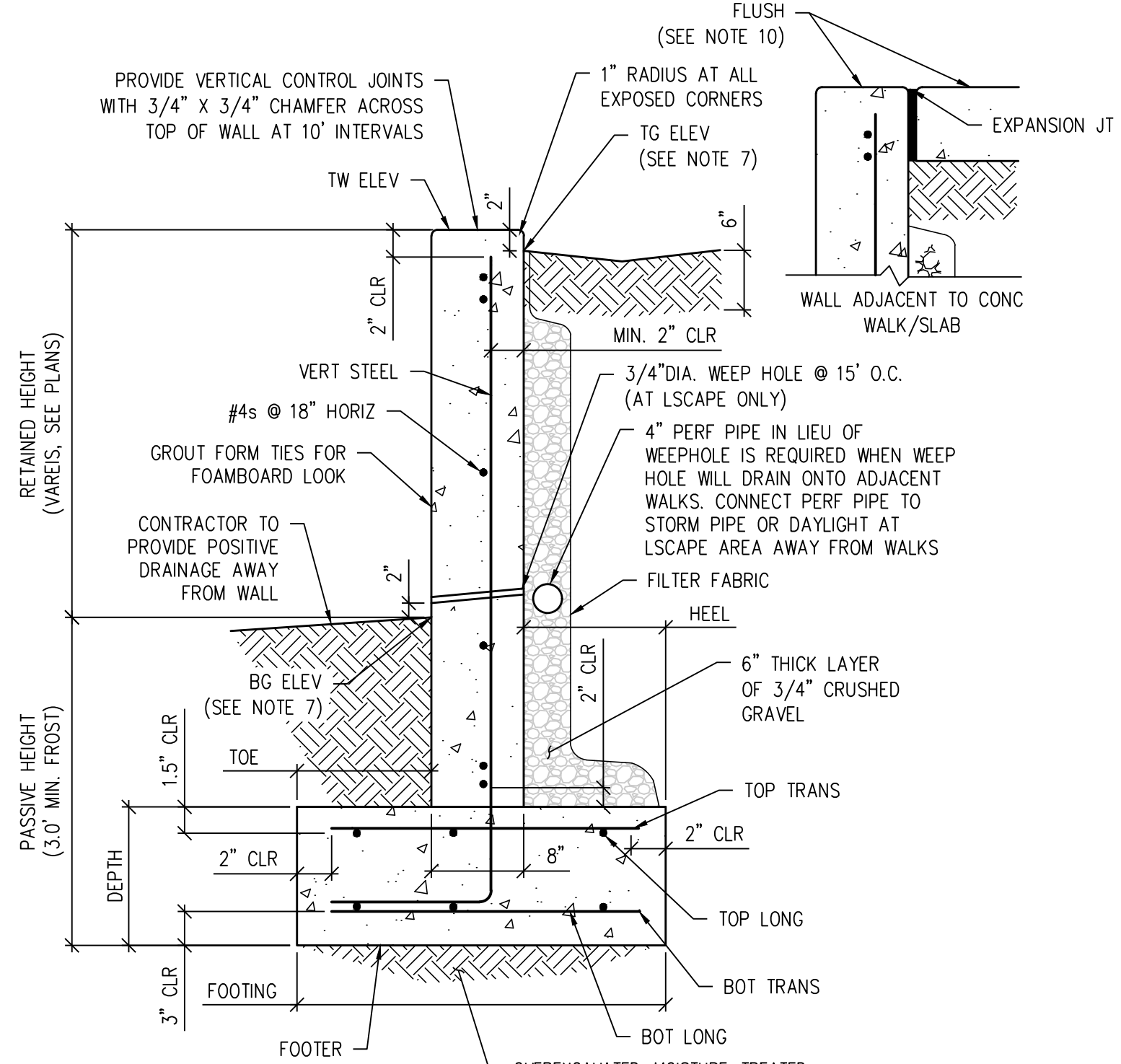
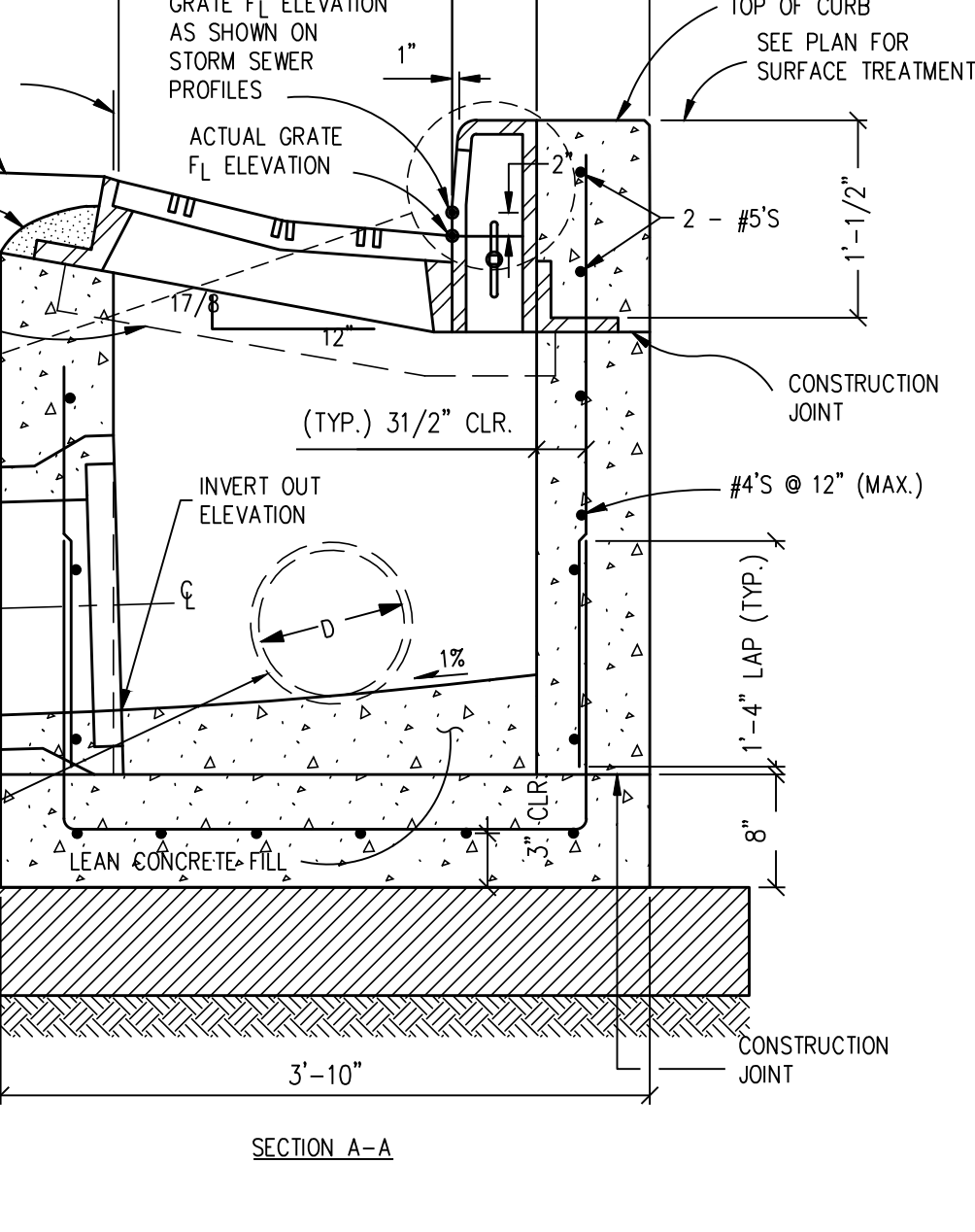
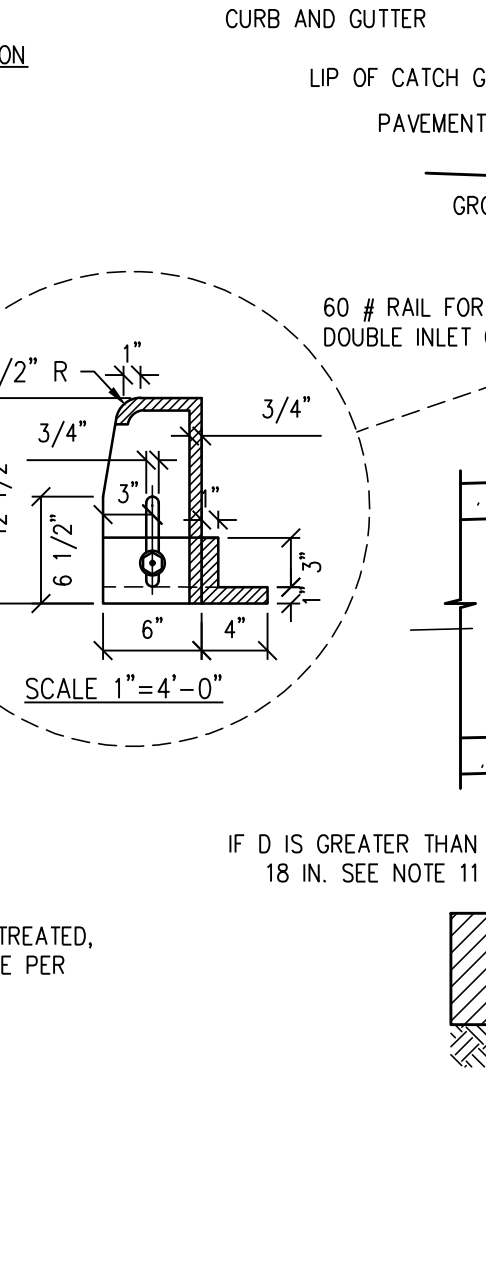
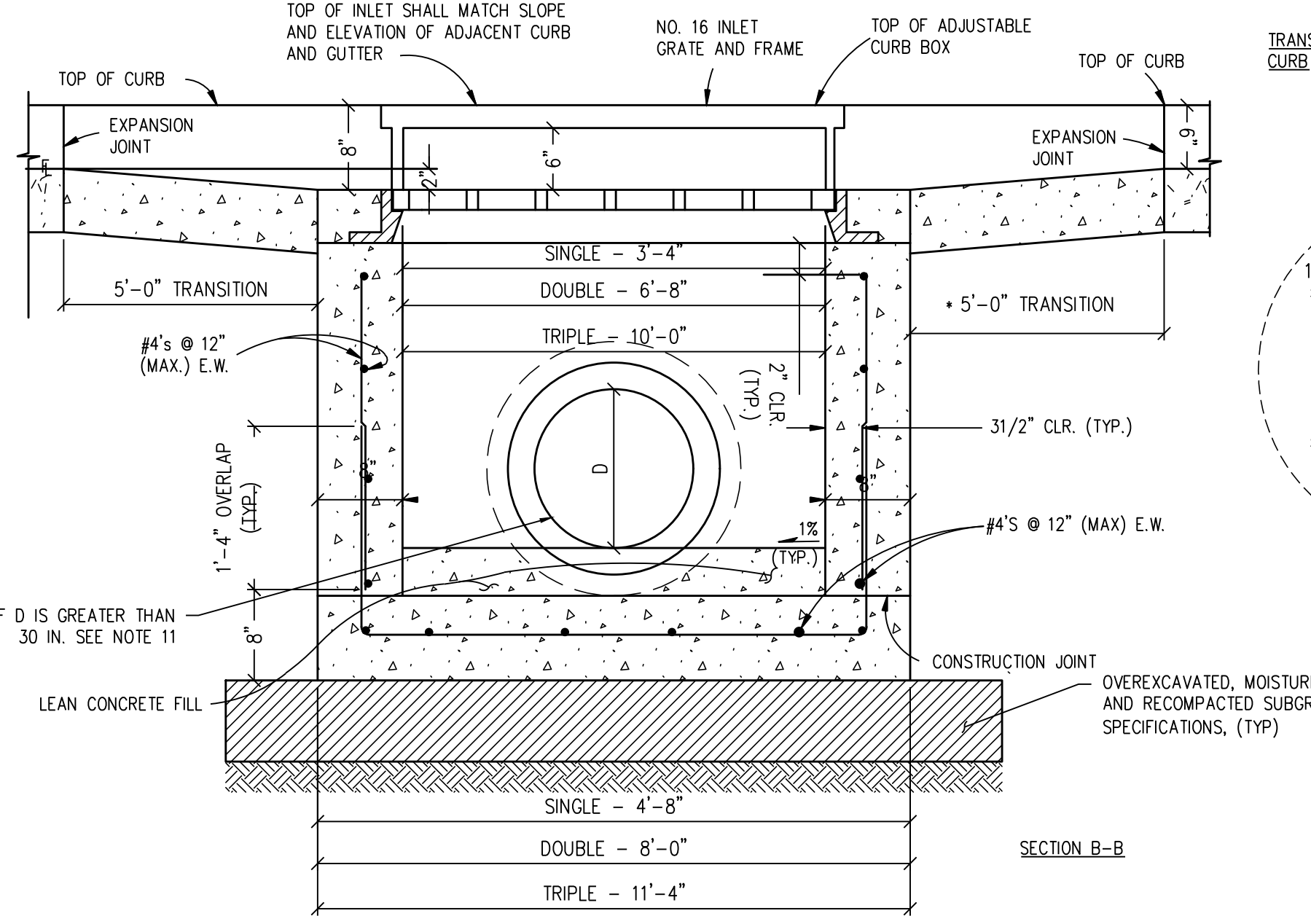
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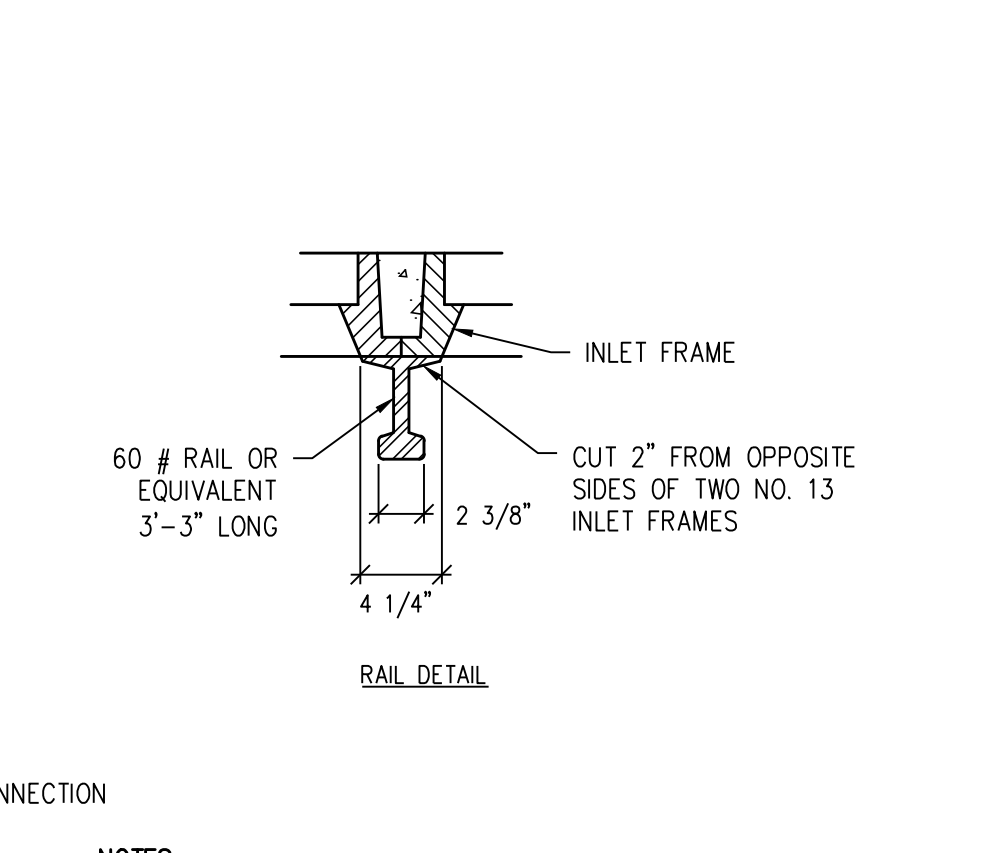
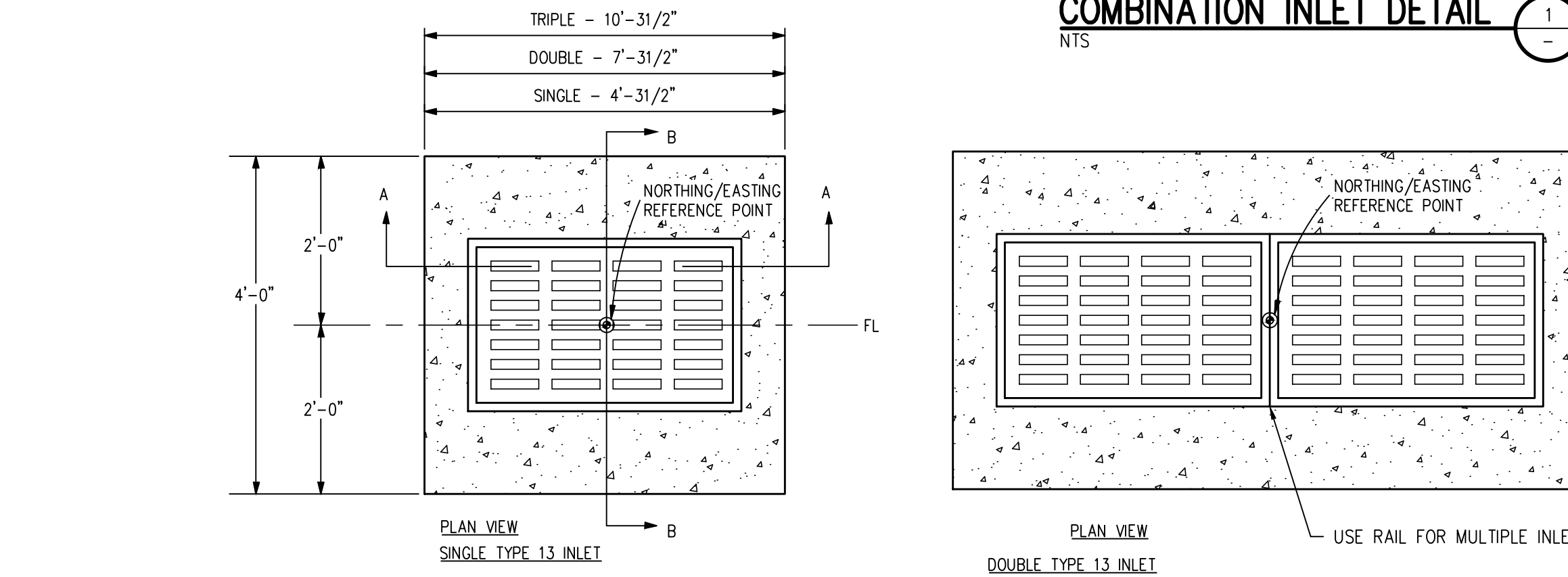
- NOTES:**
1. ALL CASTING SHALL CONFORM TO ASTM A-48(C1 35b) WITH A MINIMUM STRENGTH OF 35 ksi.
  2. ALL CASTINGS SHALL BE HEAVY DUTY, AND CAPABLE OF WITHSTANDING AASHTO H20 LOADING.
  3. FLOOR SLOPE MAY BE POURED MONOLITHIC WITH BASE.
  4. ALL REINFORCING STEEL SHALL BE ASTM, A-615, GRADE 60 DEFORMED BARS, DIAMETER OF BEND MEASURED ON THE INSIDE OF THE BAR SHALL BE A MINIMUM OF 6 BAR DIAMETER.
  5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS APPLICABLE TO THE PROJECT.
  6. CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 4000 PSI.
  7. SUBGRADE SHALL HAVE A GRADATION EQUAL TO CLASS B BEDDING COMPACTED TO 100% MAXIMUM DRY DENSITY, AASHTO T-99.
  8. NO FORMWORK SHALL REMAIN INSIDE STRUCTURE WHEN COMPLETE.
  9. INLET WALLS SHALL BE FORMED BOTH INSIDE AND OUTSIDE. CASTING OF SIDEWALLS AGAINST EARTH IS NOT PERMITTED.
  10. LEAN CONCRETE FILL TO BE  $f' = 2000$  PSI.
  11. ALL CONNECTED PIPES WITH A DIAMETER (D) GREATER THAN 30" FRONT AND 18" SIDE AND/OR ENTERING AT AN ANGLE GREATER THAN 80° A CUSTOM CONC BOX MUST BE CONSTRUCTED. CONTRACTOR TO COORDINATE BOX DIMENSIONS AND SPECS WITH MANUFACTURER.



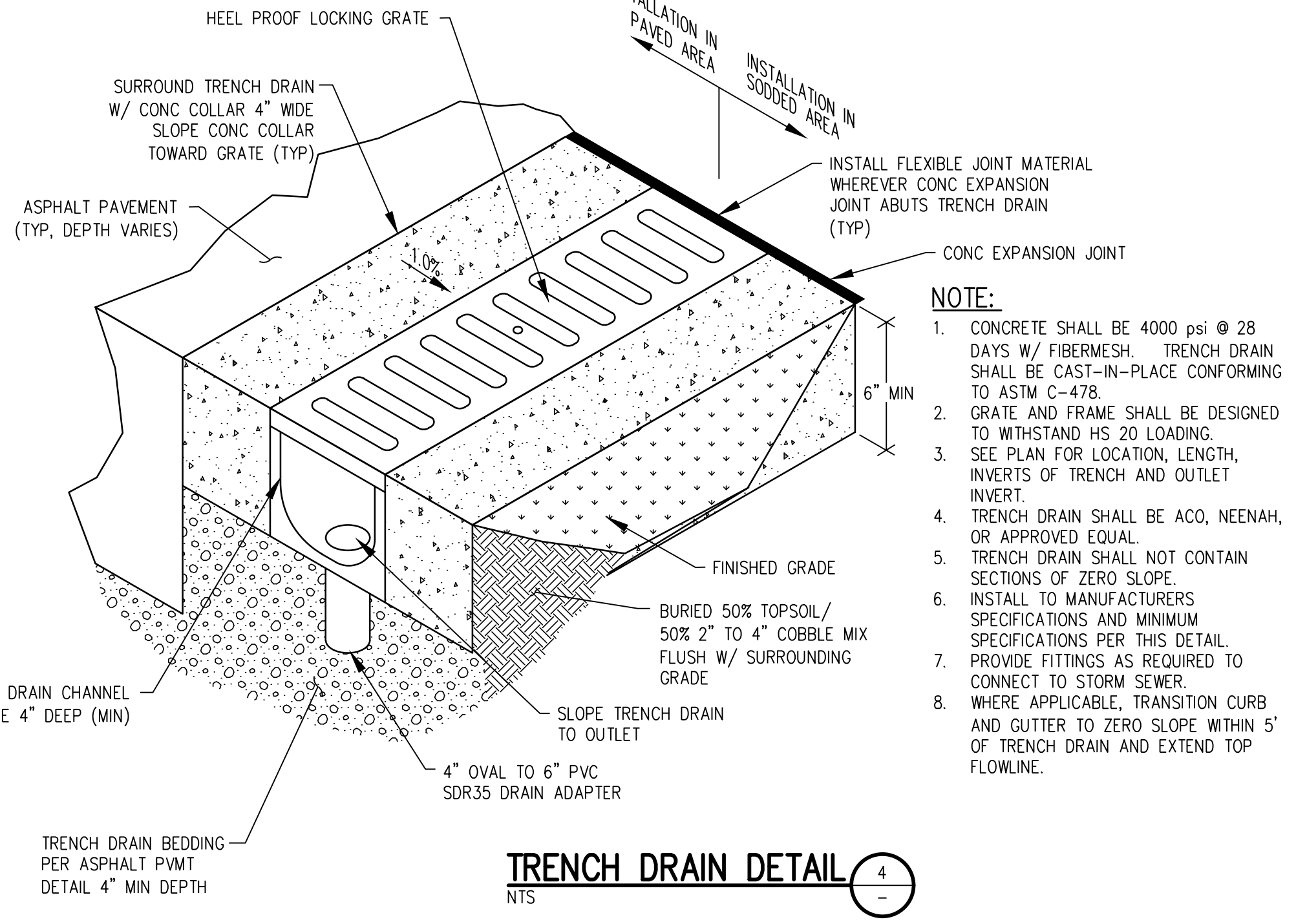
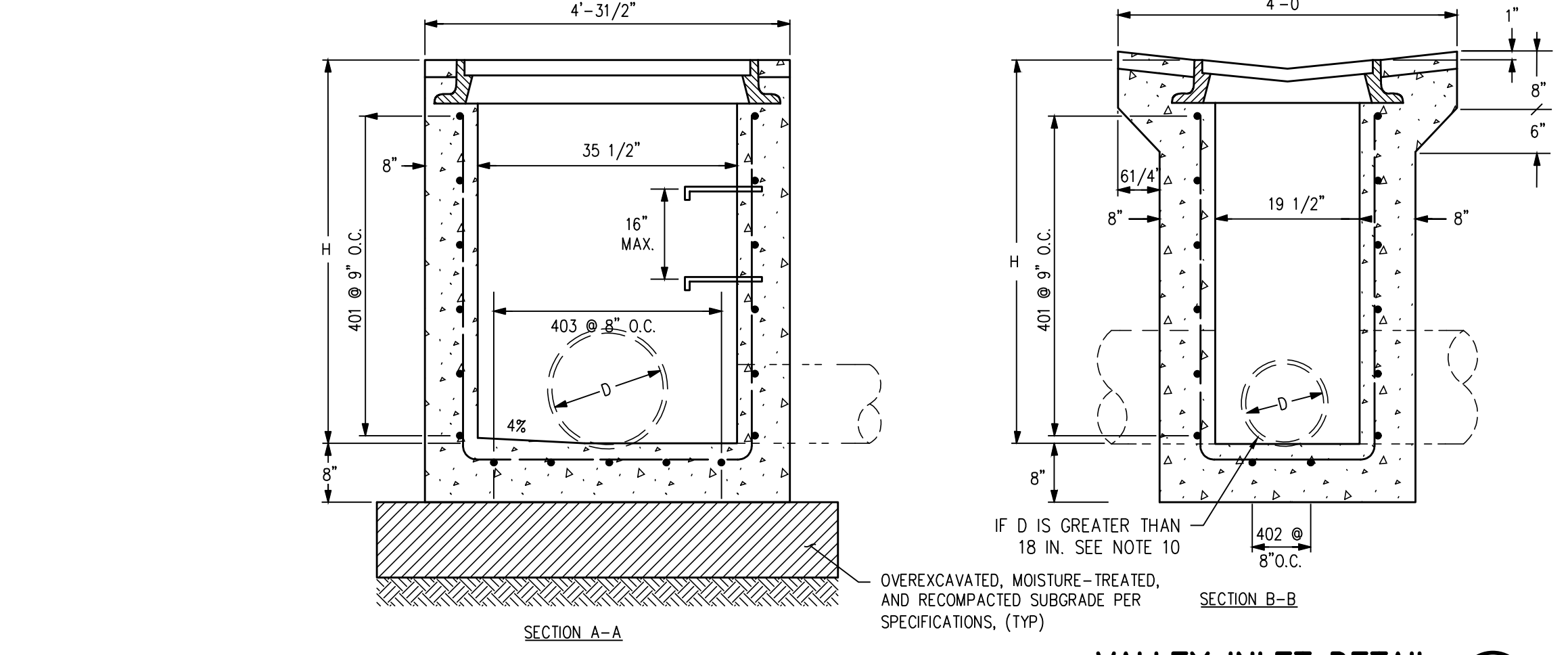
- NOTES:**
1. REBAR SHOWN GRAPHICALLY
  2. PROVIDE DRAINAGE BOARD TO ALLOW DRAINAGE
  3. WALLS OVER 4' MUST BE DESIGNED AND STAMPED BY STRUCTURAL PROFESSIONAL ENGINEER.
  4. ALL REINFORCEMENT TO BE MIN. ASTM 615 GR 60
  5. MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH = 4500 PSI
  6. REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO WALL GEOMETRY
  7. TG DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL. BG DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL
  8. WALL IS DESIGNED FOR DRAINED SOIL CONDITION
  9. INCREASE REINFORCING COVER TO MAINTAIN CLEAR DISTANCES NOTED WHEN FORM LINERS ARE USED
  10. TW DENOTES TOP OF WALL. WALL TO BE FLUSH WITH ADJOINING FLATWORK EXCEPT AS NOTED. REFERENCE LANDSCAPE ARCHITECT FOR RAILING REQUIREMENTS IF REQ'D.

RETAINED HEIGHT	PASSIVE HEIGHT	FOOTING	DEPTH	TOE	HEEL	TOP TRANS	TOP LONG	BOT TRANS	BOT LONG	VERT STEEL
0.5' UP TO 2'	3'	20"	8"	6"	6"	#4s @ 24"	#4s @ 16"	#4s @ 24"	#4s @ 16"	#4s @ 24"
2' UP TO 3'	3'	24"	10"	8"	8"	#4s @ 18"	#4s @ 18"	#4s @ 18"	#4s @ 18"	#4s @ 18"
3' UP TO 4'	3'	32"	12"	12"	12"	#4s @ 12"	#4s @ 18"	#4s @ 18"	#4s @ 18"	#5s @ 12"

**CONCRETE RETAINING WALL (4' HT. MAX) DETAIL**



- NOTES:**
1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
  2. CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
  3. EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4 IN.
  4. REINFORCING BARS SHALL BE DEFORMED #4 AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE EPOXY COATED.
  5. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" IS EQUAL TO OR GREATER THAN 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 199.
  6. ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON IN ACCORDANCE WITH SUBSECTION 712.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
  7. STATION POINT IS AT THE CENTER OF THE INLET.
  8. GRATE SHALL HAVE "DUMP NO WASTE DRAINS TO STREAM" MESSAGE CAST ON SURFACE.
  9. FOR FULL DETAIL INCLUDING BAR LIST, DIMENSIONS AND QTY. TABLE, SEE CDOT DETAIL M-604-13
  10. ALL CONNECTED PIPES WITH A DIAMETER (D) GREATER THAN 30" FRONT AND 18" SIDE AND/OR ENTERING AT AN ANGLE GREATER THAN 80° A CUSTOM CONC BOX MUST BE CONSTRUCTED. CONTRACTOR TO COORDINATE BOX DIMENSIONS AND SPECS WITH MANUFACTURER.



- NOTE:**
1. CONCRETE SHALL BE 4000 psi @ 28 DAYS W/ FIBERMESH. TRENCH DRAIN SHALL BE CAST-IN-PLACE CONFORMING TO ASTM C-478.
  2. GRATE AND FRAME SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
  3. SEE PLAN FOR LOCATION, LENGTH, INVERTS OF TRENCH AND OUTLET INVERT.
  4. TRENCH DRAIN SHALL BE ACO, NEENAH, OR APPROVED EQUAL.
  5. TRENCH DRAIN SHALL NOT CONTAIN SECTIONS OF ZERO SLOPE.
  6. INSTALL TO MANUFACTURERS SPECIFICATIONS AND MINIMUM SPECIFICATIONS PER THIS DETAIL.
  7. PROVIDE FITTINGS AS REQUIRED TO CONNECT TO STORM SEWER.
  8. WHERE APPLICABLE, TRANSITION CURB AND GUTTER TO ZERO SLOPE WITHIN 5' OF TRENCH DRAIN AND EXTEND TOP FLOWLINE.

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1075 Lowell Street, #500  
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ELECTRICAL ENGINEER  
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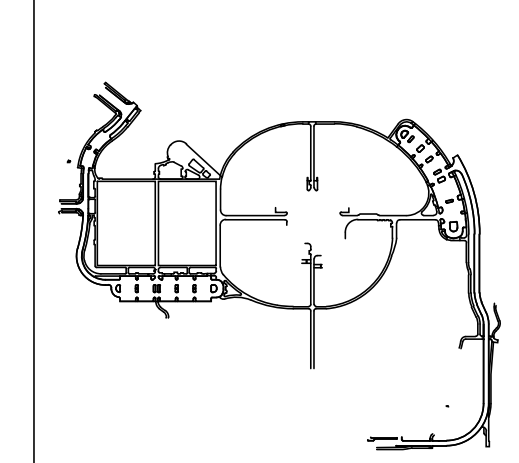
MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



Drawing  
**GRADING & DRAINAGE**  
**DETAILS**

**CD-101**

Site Plan Submittal  
 Page 16 of 311

CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

D

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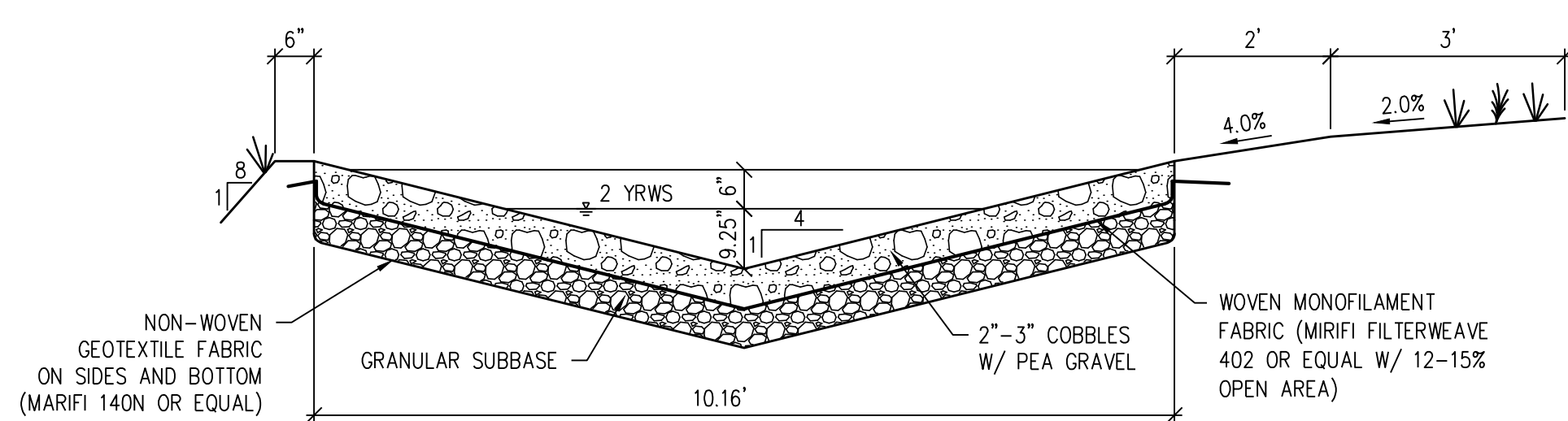
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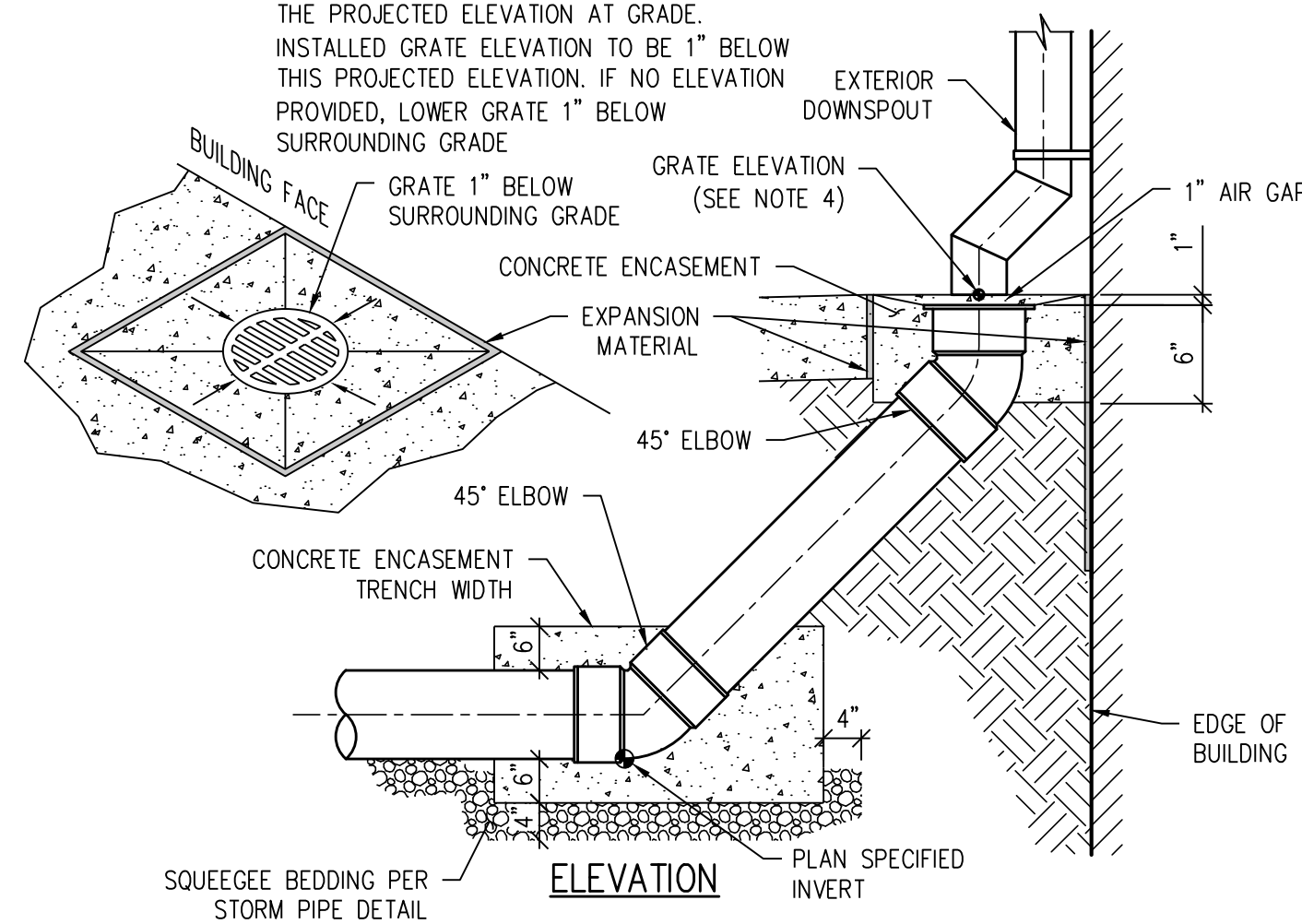
**NOTES:**

1. GRANULAR SUBBASE SHALL MEET AASHTO No. 4 COARSE AGGREGATE (WASHED 3/4" - 1-1/2" GRAVEL). COBBLES SHALL BE 2"-3" AVERAGE DIAMETER. PEA GRAVEL SHALL MEET CDOT CLASS B FILTER MATERIAL.
2. MAINTENANCE REQUIREMENTS:
  - a) MAINTAIN IRRIGATED GRASS AT 2 TO 4 INCHES TALL OR NONIRRIGATED NATIVE GRASS AT 6 TO 8 INCHES TALL. COLLECT CUTTINGS AND DISPOSE OF THEM OFFSITE OR USE A MULCHING MOWER.
  - b) AS NEEDED BY INSPECTION, REMOVE ALL COLLECTED DEBRIS AND LITTER. KEEP THE AREA CLEAN FOR AESTHETIC REASONS, WHICH ALSO REDUCES FLOATABLES BEING FLUSHED DOWNSTREAM. REPAIR SWALE IF DAMAGED AFTER STORM EVENTS.
  - c) ANNUALLY CHECK THE SWALE FOR RIPRAP PLACEMENT, COBBLE LAYER COVERAGE, AND SEDIMENT ACCUMULATED IN SWALE AND NEAR INLETS AND FLARED END SECTIONS.
  - d) ROUTINELY REMOVE ACCUMULATED SEDIMENT NEAR CULVERTS AND WITHIN THE CHANNEL TO MAINTAIN FLOW CAPACITY. REPLACE THE GRASS AREAS DAMAGED IN THE PROCESS. PERIODICALLY REPAIR AND REVEGETATE ERODED AREAS IN THE CHANNELS DUE TO HIGH FLOWS.
  - e) WHEN THE WATER IN THE SWALE FAILS TO INFILTRATE DUE TO HIGH SEDIMENT DEPOSITS IN THE COBBLE/PEA GRAVEL LAYER, REMOVE CLEAN AND STOCKPILE THE COBBLE/PEA GRAVEL LAYER.
3. REMOVE AND REPLACE THE WORN GEO FABRIC LAYER IF NECESSARY, REPLACE THE CLEANED COBBLE/PEA GRAVEL GRAVEL LAYER.

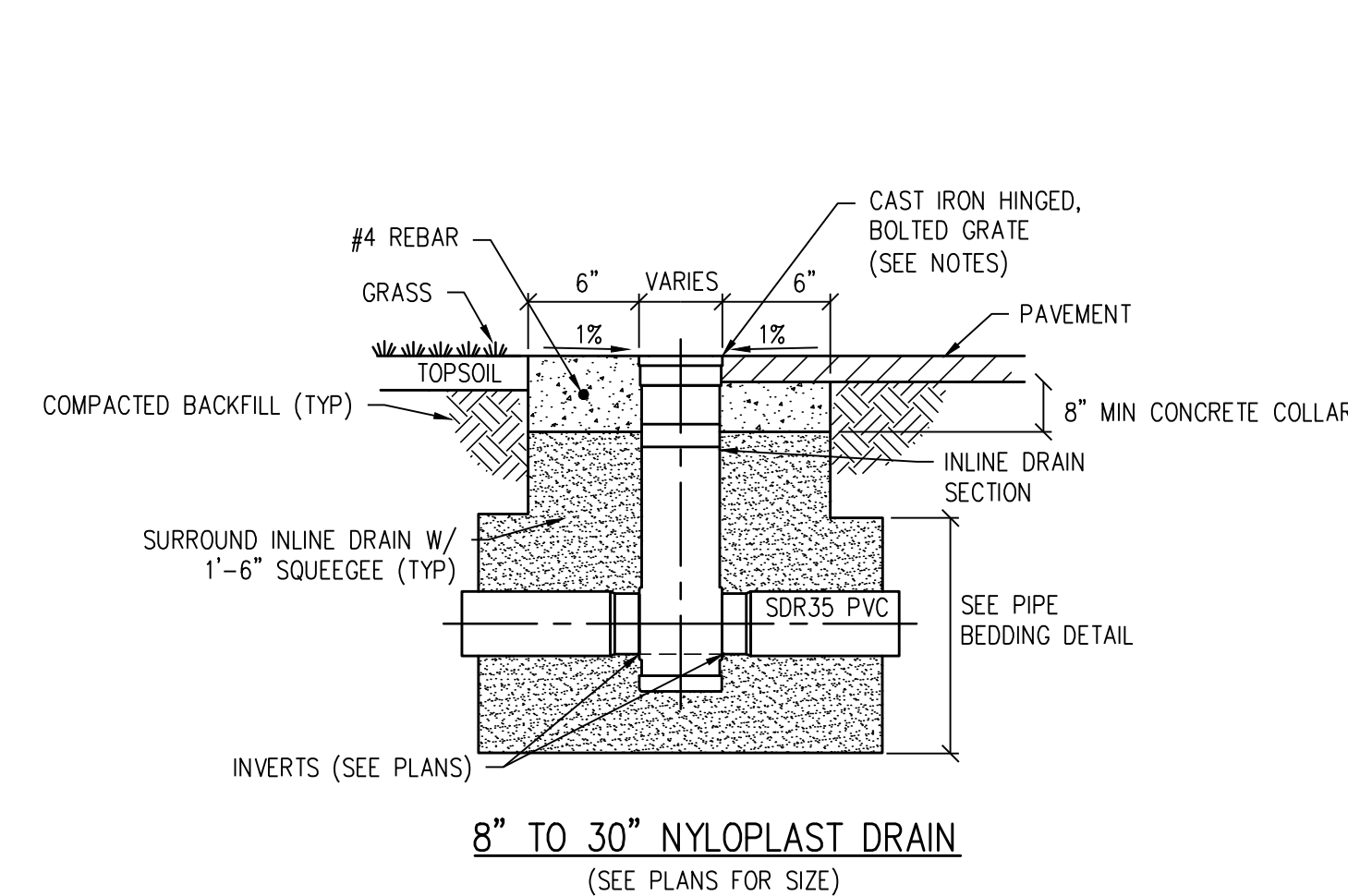
**LOW GRADIENT WATER QUALITY INFILTRATION SWALE** 1  
NTS

**NOTES:**

1. WHEN ROOF DRAIN CONNECTION IS INSTALLED IN SODDED AREA, DEPRESS CONCRETE ENCASEMENT 2" BELOW TOP OF ELBOW
2. USE NDS ROUND 6" GRATE (#40), OR LARGER IF NOTED ON PLANS.
3. INSTALL 1/2" EXPANSION MATERIAL BETWEEN CONCRETE AND BUILDING.
4. GRATE ELEVATION CALLED OUT IN PLANS IS THE PROJECTED ELEVATION AT GRADE. INSTALLED GRATE ELEVATION TO BE 1" BELOW THIS PROJECTED ELEVATION. IF NO ELEVATION PROVIDED, LOWER GRATE 1" BELOW SURROUNDING GRADE.



**EXTERIOR DOWNSPOUT ROOF DRAIN CONNECTION** 2  
NTS



**NOTES:**

1. AREA DRAIN COVER TO BE NYLOPLAST CAST HS-20 RATED BOLTED AND HINGED GRATE OR APPROVED EQUAL IN TRAFFIC AREAS.
2. AREA DRAIN INLETS IN PEDESTRIAN AREAS SHALL BE INSTALLED WITH PEDESTRIAN RATED GRATES (1/4" MAX OPENING, TYPICAL).

**AREA DRAIN DETAIL** 3  
NTS

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Town of Parker, Director of Engineering Date

**COLORADO 811**  
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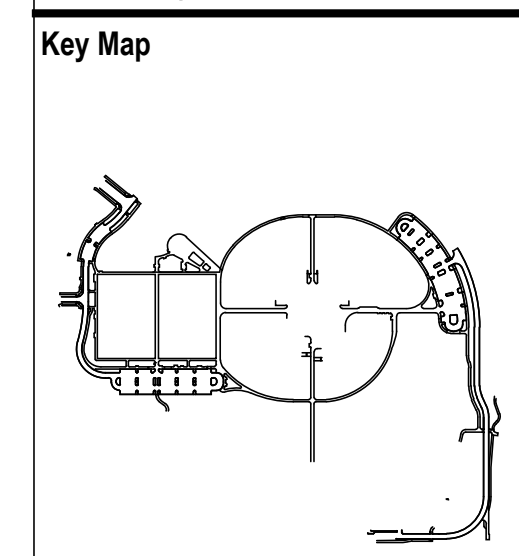
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Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
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ARCHITECTURE  
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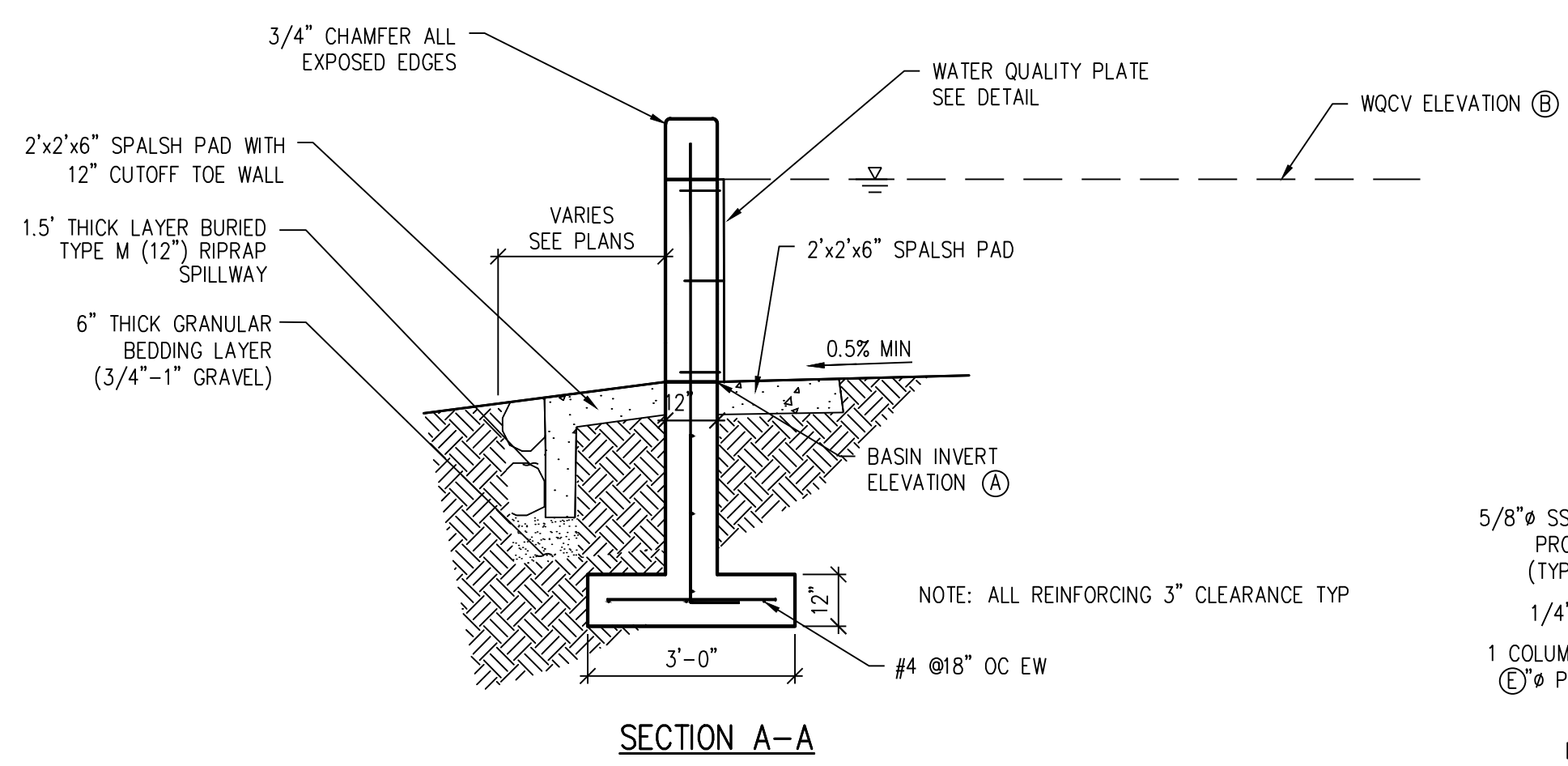


Drawing  
**GRADING & DRAINAGE DETAILS**

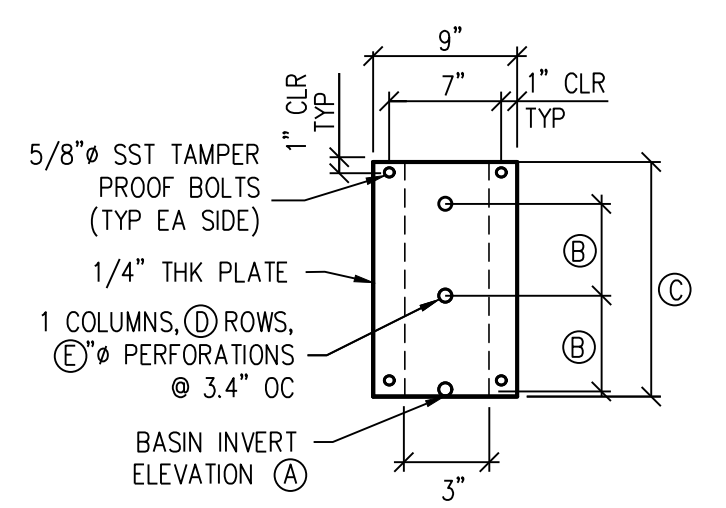
**CD-102**

SITE PLAN SUBMITTAL  
Page 17 of 311

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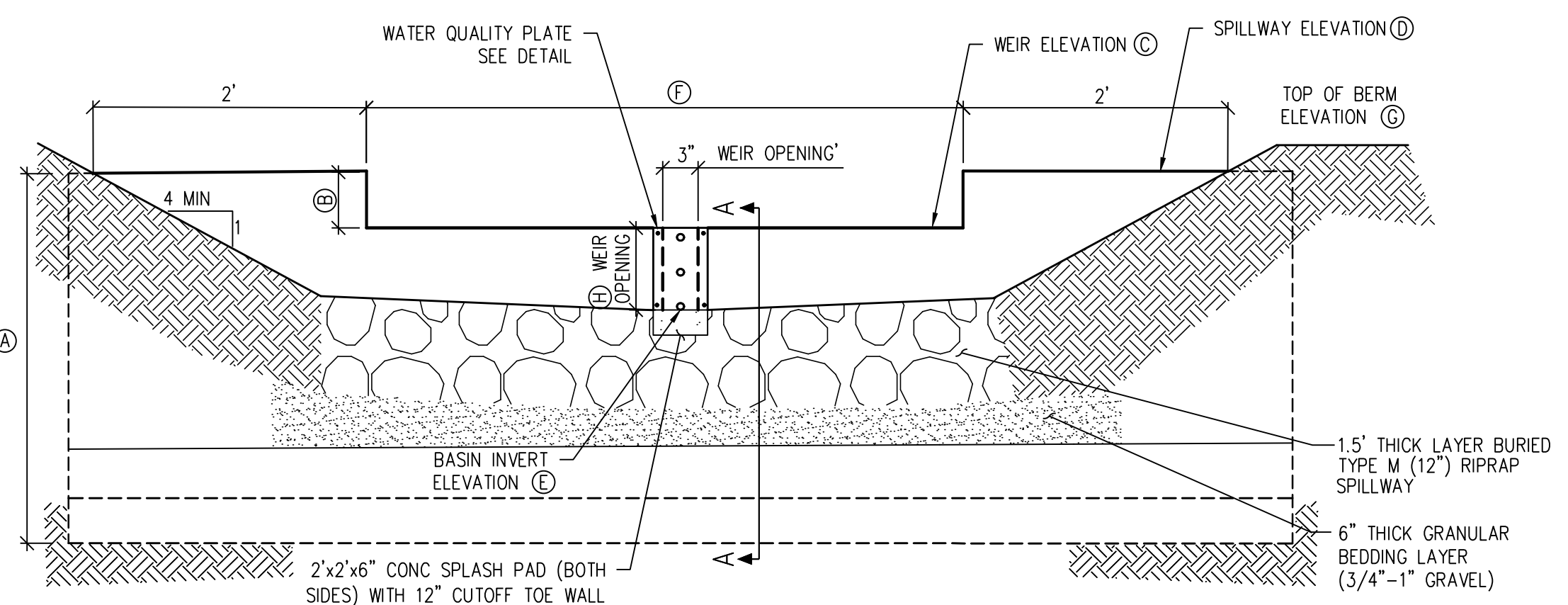


POND ID	(A)	(B)
POND A	5838.10	5839.59
POND D	5845.30	5842.03
POND E	5845.90	5847.30
ALT 1 POND	5844.10	5845.67



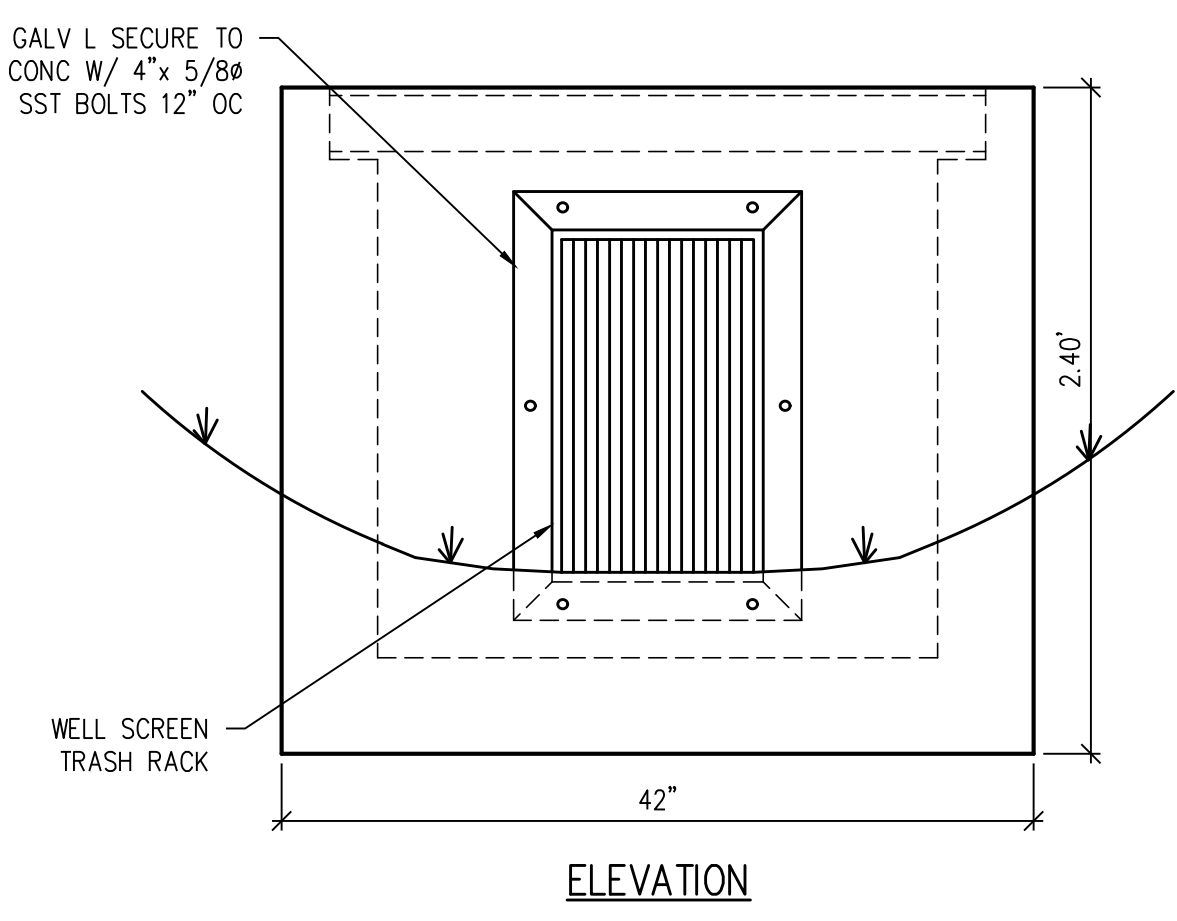
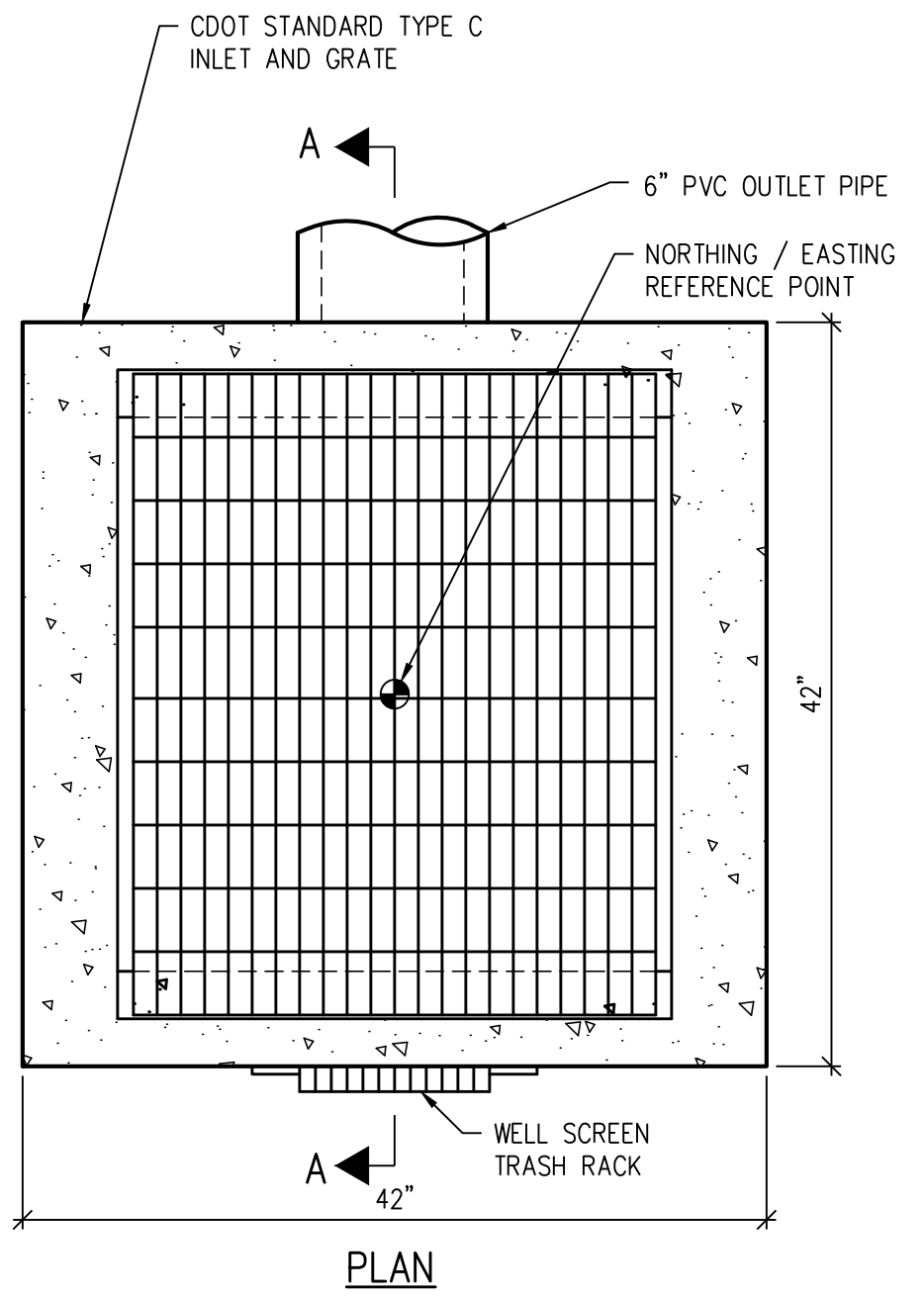
POND ID	(A)	(B)	(C)	(D)	(E)
POND A	5838.10	4.0"	1.5'	5	1-1/4"
POND D	5845.30	12.0"	2.43'	3	1"
POND E	5845.90	5.6"	1.41'	3	5/8"
ALT 1 POND	5844.10	6.4"	1.59'	3	7/16"

C



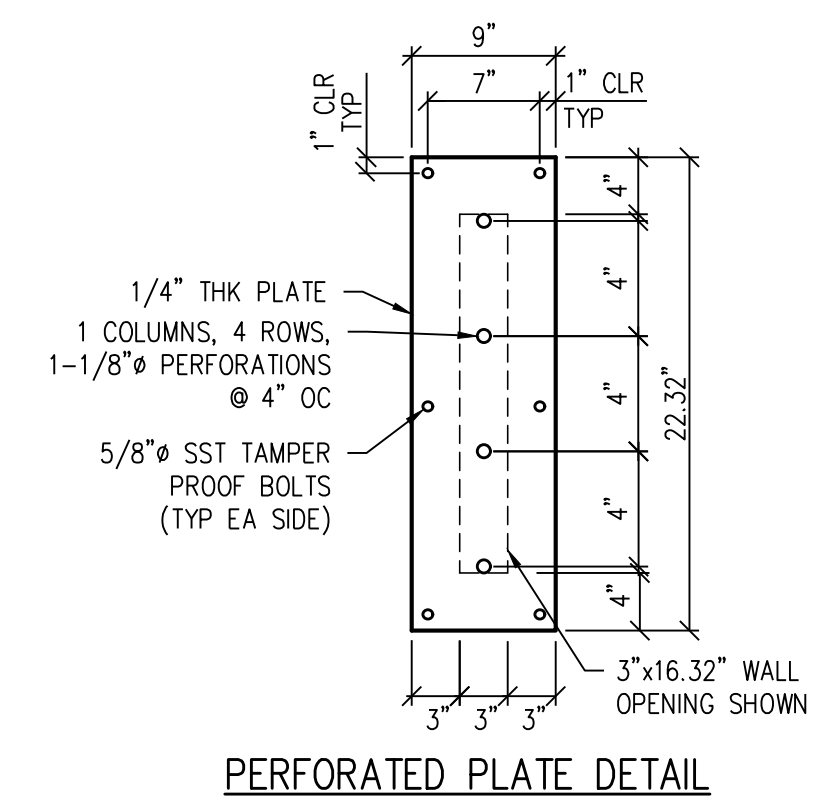
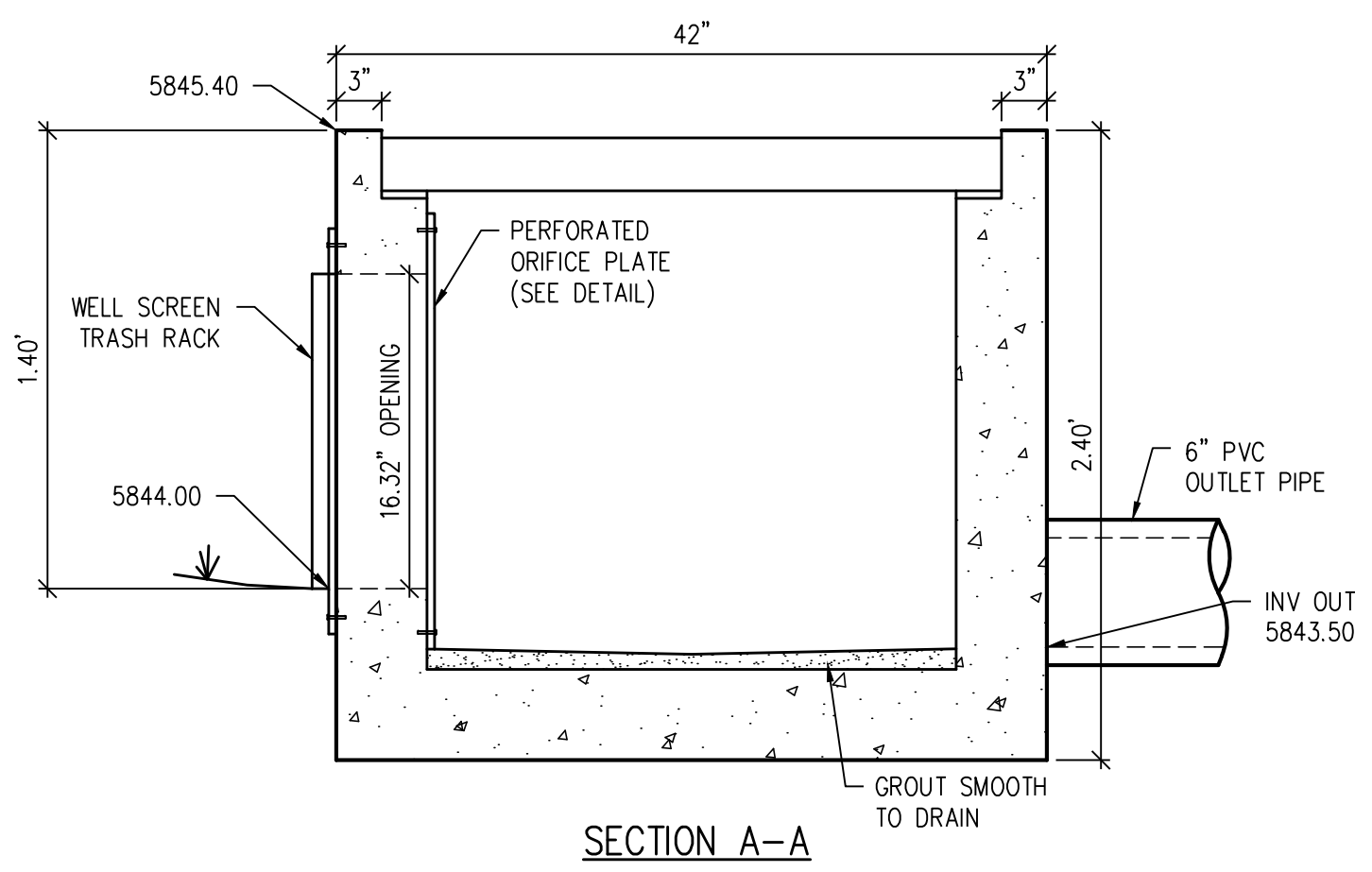
POND ID	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
POND A	8.00'	0.50'	5839.60	5840.60	5838.10	5.00'	5841.10	1.50'
POND D	5.75'	0.30'	5847.73	5845.30	5848.10	0.75'	5845.80	2.43'
POND E	3.75'	0.35'	5847.31	5848.00	5845.90	2.00'	5848.50	1.41'
ALT 1 POND	4.00'	0.35'	5845.69	5846.10	5844.10	2.00'	5846.60	1.59'

B



- NOTES:**
1. CONCRETE SHALL BE CDOT CLASS B. INLET MAY BE CAST-IN-PLACE, OR PRECAST. CAST-IN-PLACE CONCRETE WALLS EDGES SHALL BE CHAMFERED 3/4"
  2. ALL WALLS AND BASE SHALL BE REINFORCED WITH #4'S @ 8" OC EACH WAY REINFORCING BARS SHALL BE DEFORMED AND SHALL HAVE A 2" MINIMUM CLEARANCE. REINFORCING BARS SHALL BE EPOXY COATED AND DEFORMED, AND SHALL HAVE A MINIMUM 2" CLEARANCE.
  3. STRUCTURAL STEEL FOR GRATES AND GRATE INSTALLATION HARDWARE SHALL BE GALVANIZED.
  4. SEE PLAN DETAILS FOR LOCATION AND SIZE OF PIPE
  5. BOLT AND ANCHOR PLATES TO WALL
  6. SPECIFIED TRASH RACK: US FILTER STAINLESS STEEL WELL-SCREEN WITH #93 VEE WIRE, 0.139" OPENINGS BETWEEN WIRES, #156 SUPPORT RODS ON 3/4" SPACING, TOTAL RACK THICKNESS OF 0.31" AND 3/8" X 1.0" FLAT BAR FRAME.

A



**DETENTION BASIN OUTLET STRUCTURE**  
 NTS  
 2 of 116

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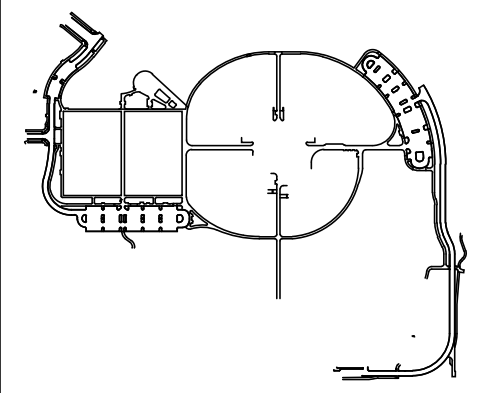
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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
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 CIVIL ENGINEER / STRUCTURAL ENGINEER  
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 MECHANICAL ENGINEER  
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 9777 Federal Court, #600  
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 p. 303.688.9223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG  
 Key Map



Drawing  
**GRADING & DRAINAGE**  
 DETAILS

**CD-103**

SITE PLAN SUBMITTAL  
 Page 18 of 311



**11-1/4", 22-1/2", 45" & 90" BENDS**

**DEAD END**

**TYPICAL CROSS SECTION**

**TEE**

2016 REVISION

**NOTES:**

- ALL VALVES, TEES, BENDS AND PLUGS SHALL BE RESTRAINED AND KICKBLOCKED.
- BEARING SURFACES SHOWN IN CHART ARE MINIMUM.
- BASED ON 150 PSI PIPE PRESSURE PLUS WATER HAMMER. 4", 6" AND 8" WATER HAMMER = 120 PSI. 12" WATER HAMMER = 110 PSI. 16", 20" AND 24" WATER HAMMER = 70 PSI.
- SOIL BEARING CAPACITY = 3,000 LBS./SQ. FT.

SIZE OF PIPE	11-1/4" BENDS	22-1/2" BENDS	45" BENDS	90" BENDS	TEE OR DEAD END
4"	1.00	1.50	1.00	1.80	1.50
6"	1.00	1.25	2.25	4.00	3.00
8"	1.00	2.00	4.00	7.50	5.25
12"	2.00	4.25	8.25	17.50	11.00
16"	3.50	6.50	12.50	23.00	16.50
20"	5.00	10.00	18.50	33.50	25.00
24"	6.50	13.00	26.00	47.00	33.00

**PARKER WATER & SANITATION DISTRICT**  
**CONCRETE KICKBLOCKS BEARING SURFACES AND INSTALLATION**

SCALE: NONE DATE: 2/96  
 APPROVED: PVR 4/01 1/16 10/16  
 DIRECTOR OF ENGINEERING

**PARKER WATER & SANITATION DISTRICT**  
**PARKER MANHOLE ECCENTRIC CONE**

2016 REVISION

**NOTES:**

- RING/COVER AND CHIMNEY SHALL BE CENTERED ON CONCRETE RINGS W/RAMNECK.
- FLAT TOP SECTIONS MAY BE USED IN LIEU OF ECCENTRIC MANHOLES WHEN SPECIALLY APPROVED BY DISTRICT ENGINEER.
- FOR MANHOLE DEPTHS LESS THAN 4' FROM RIM TO TOP OF BENCH, VERTICAL MANHOLE BARRELS WITH PRECAST FLAT TOP SECTIONS ARE REQUIRED.
- ALL PRECAST MANHOLE SECTIONS, FLAT TOPS, BARRELS, REDUCERS, ETC. SHALL CONFORM TO ASTM C-476, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED MANHOLE SECTIONS.
- FLAT TOPS SHALL BE CAPABLE OF WITHSTANDING 11-20 LINE LOADS.
- ALL INTERIOR SEAMS AND PIN HOLES SHALL BE GROUTED WITH TYPE II CEMENT MIX.
- SHAPING FOR SMOOTH MANHOLE INVERTS MUST BE DONE BY FORMING OR SHAPING CONCRETE BASE.
- FLAT TOP SECTIONS WITH CONCENTRIC OPENINGS ARE NOT ALLOWED.
- MANHOLE STEPS SHALL NOT BE INSTALLED OVER THE FLOW CHANNEL. THEY SHALL BE PLACED 12" APART IN A VERTICAL ALIGNMENT WITH THE BOTTOM STEP 8" ABOVE THE BENCH MINIMUM.
- FLEXIBLE PLASTIC SEALANT (RAMNECK ETC.) IS REQUIRED IN SHIPLAP JOINTS AND JOINTS BETWEEN BASE, BARREL SECTIONS, CONE SECTIONS, FLAT TOPS, ETC.
- DESIGN ENGINEER OR DISTRICT ENGINEER MAY INCREASE MANHOLE SIZE FOR SPECIAL DESIGN CONSIDERATIONS.
- SLIP-RING FRAME RISERS MAY NOT BE USED.

**PARKER WATER & SANITATION DISTRICT**  
**PARKER MANHOLE ECCENTRIC CONE**

SCALE: NONE DATE: 2/96  
 APPROVED: PVR 4/01 10/16 01/02 1/08 1/16  
 DIRECTOR OF ENGINEERING

**PARKER WATER & SANITATION DISTRICT**  
**24" DIAMETER RING AND COVER**

2016 REVISION

**NOTES:**

- Casting Specifications: ASTM A-48 With A Minimum Tensile Strength Of 25 KSI (Class 25)
- All Casting To Be Dipped In Asphalt Base Paint (Or Approved Equal).
- No other manhole lids will be accepted without prior approval from the District Engineer.

**PARKER WATER & SANITATION DISTRICT**  
**24" DIAMETER RING AND COVER**

SCALE: NONE DATE: 2/96  
 APPROVED: PVR 01/16 10/16  
 DIRECTOR OF ENGINEERING

**TOE POCKET DETAILS**

**STANDARD EXTRUDED ALUMINUM MANHOLE STEP**

2016 REVISION

**NOTES:**

- ALUMINUM ALLOY SPECIFICATIONS  
 a. FED. SPEC. QQ-A-200/8 (ALUMINUM-MAGNESIUM-SILICATE ALLOY)  
 b. MINIMUM TENSILE STRENGTH= 38,000 p.s.i.  
 c. MINIMUM YIELD STRENGTH= 35,000 p.s.i.  
 d. MINIMUM ELONGATION=10% IN 2"  
 1.2 MINIMUM LOAD CAPACITY (APPLIED AT CENTER OF STEP)  
 a. 1000 lb. WITH 6" PROJECTION FROM WALL.  
 b. 1500 lb. WITH 4" PROJECTION FROM WALL.
- WEIGHT PER STEP=2.23 POUNDS
- STEPS TO BE CAST, UNALTERED, IN MANHOLE WALL IN STRAIGHT LINE, VERTICALLY, AT THE SAME TIME THE BARREL OR CONE SECTIONS ARE CAST.
- VERTICAL SPACING BETWEEN STEPS SHALL BE CONSISTENT IN EACH INDIVIDUAL MANHOLE.
- TOE POCKETS ARE REQUIRED IN STORM SEWER MANHOLES IF TOP OF BENCH IS MORE THAN 18" ABOVE INVERT. TOE POCKETS ARE NOT REQUIRED IN SANITARY SEWER MANHOLES UNLESS OTHERWISE SPECIFIED.

**PARKER WATER & SANITATION DISTRICT**  
**STANDARD EXTRUDED ALUMINUM MANHOLE STEP**

SCALE: NONE DATE: 2/96  
 APPROVED: PVR 01/16 10/16  
 DIRECTOR OF ENGINEERING

**TYPICAL TRENCH DETAIL**

2016 REVISION

**NOTES:**

- Sloping or benching of trench side walls, where permitted shall be in accordance with applicable Federal, State and Local safety regulations.
- Trench shall be braced and shored as necessary to afford safe working conditions or to protect adjacent utilities, structures, etc. Unless otherwise specified on the plans, no pavement will be made for removal, replacement or relocation of curb and gutter, utilities, sidewalks, structures, etc. outside the maximum limits of excavation as shown and the contractor shall be responsible for protection of same.
- If dimension "B<sub>2</sub>" is < 5', then existing asphalt pavement shall be removed and replaced up to the gutter. Maximum asphalt pay width, B<sub>2</sub> & B<sub>3</sub> shall then be based upon this actual width.

STREET WIDTH	ASPHALTIC BASE COURSE (T <sub>1</sub> )	ASPHALTIC WEARING SURFACE (T <sub>2</sub> )	TOTAL THICKNESS (T <sub>0</sub> )
UP TO 36'	4"	2"	6"
36' TO 44'	4"	3"	7"
44' TO 48'	5"	3"	8"
WIDER THAN 48'	6"	3"	9"

**PARKER WATER & SANITATION DISTRICT**  
**SEWER TRENCHING AND BEDDING DETAIL**

SCALE: NONE DATE: 2/96  
 APPROVED: PVR 5/98 1/16 10/16  
 DIRECTOR OF ENGINEERING

**PARKER WATER & SANITATION DISTRICT**  
**IN-LINE CLEANOUT SECTIONS**

2016 REVISION

**NOTES:**

- Frame and cover shall be cast in place or precast concrete.
- Frame and cover shall be set in place and compacted in accordance with applicable Federal, State and Local safety regulations.
- Backfill to be placed and compacted in accordance with applicable Federal, State and Local safety regulations.

**PARKER WATER & SANITATION DISTRICT**  
**IN-LINE CLEANOUT SECTIONS**

SCALE: NONE DATE: 2/96  
 APPROVED: PVR 2/00 7/98 1/16 10/16  
 DIRECTOR OF ENGINEERING

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**Town of Parker**  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOKER RD  
 PARKER, CO 80134

**hord coplan macht**

ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
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 Drawn By: AMF/MGG/MJS  
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**Key Map**

**Drawing**  
**UTILITY DETAILS**

**CD-201**

SITE PLAN SUBMITTAL  
 Page 20 of 311

**COLORADO 811**  
 CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

**CD-201**

© Hord Coplan Macht, Inc.

THE SQUARE AND PREVIOUS COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY. THE SQUARE AND PREVIOUS COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY. 0:\37526 - Salisbury Park North\Drawings\37526-03-HQP-BET-01.dwg, 11/20/2024 - 12:15 PM, MJS

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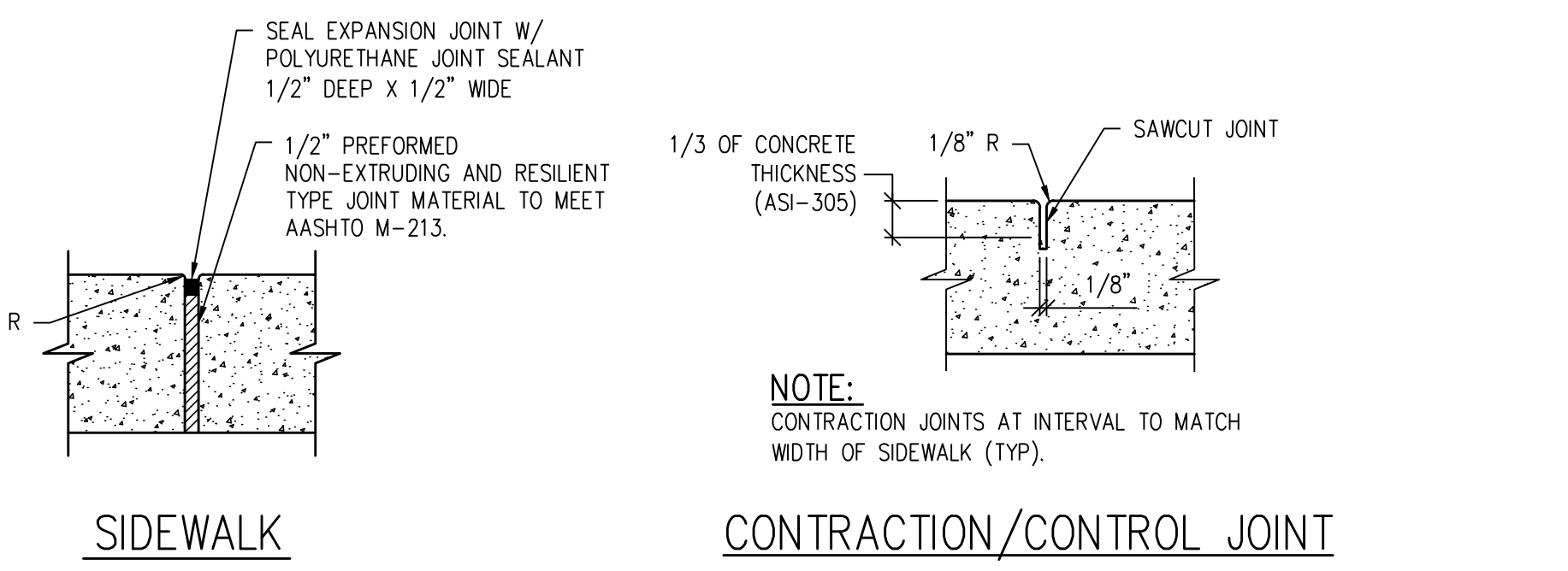
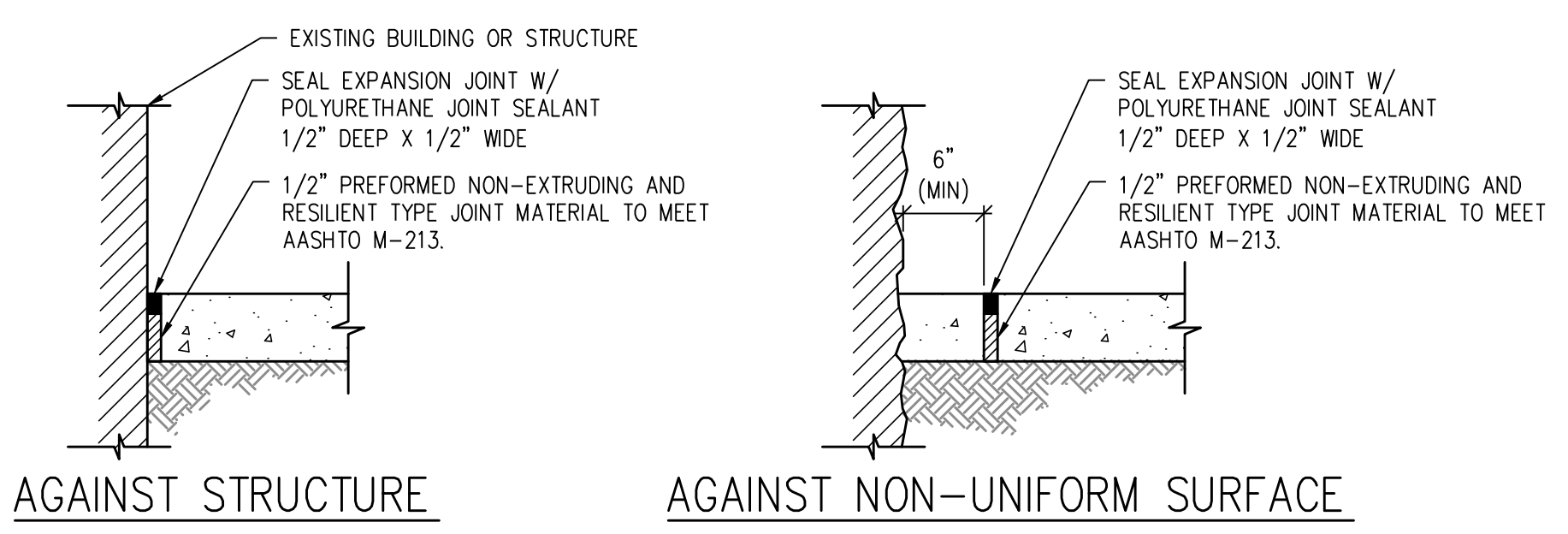
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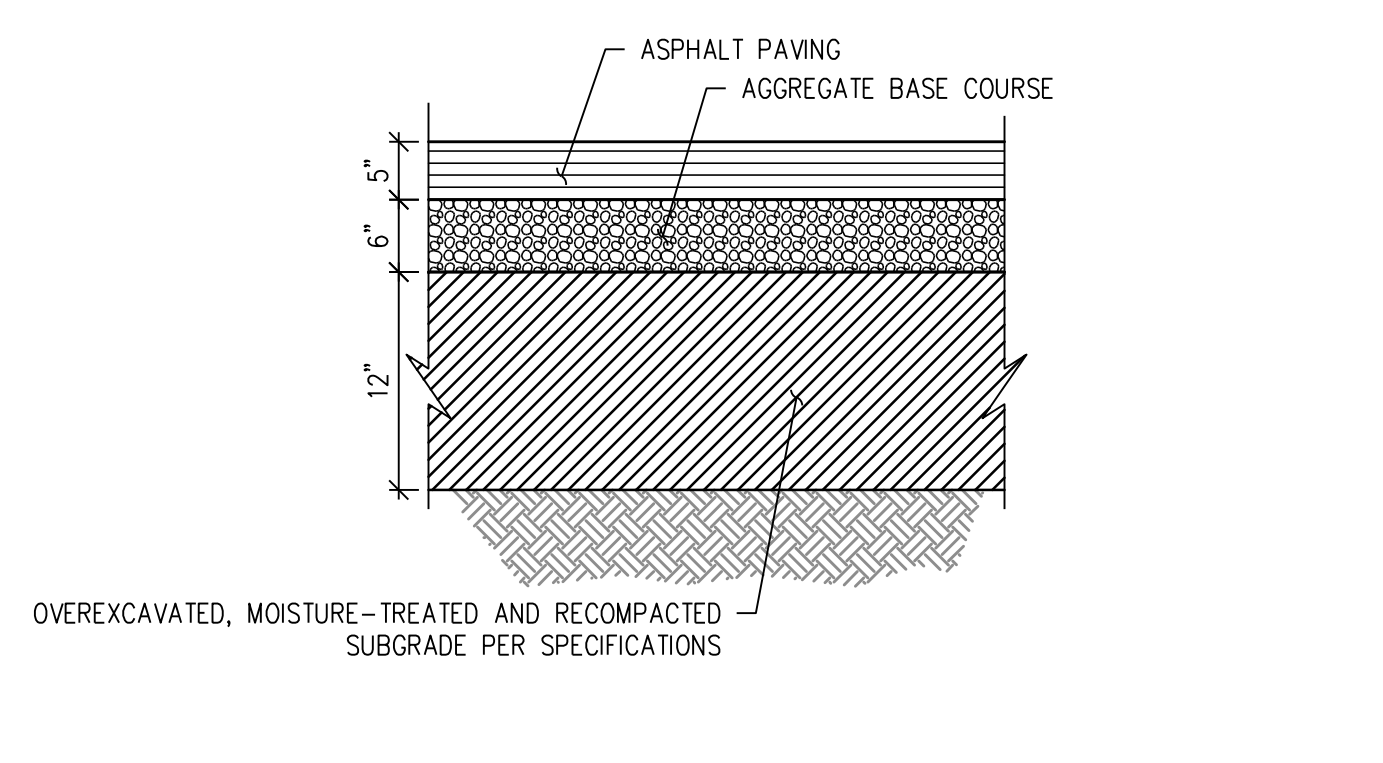
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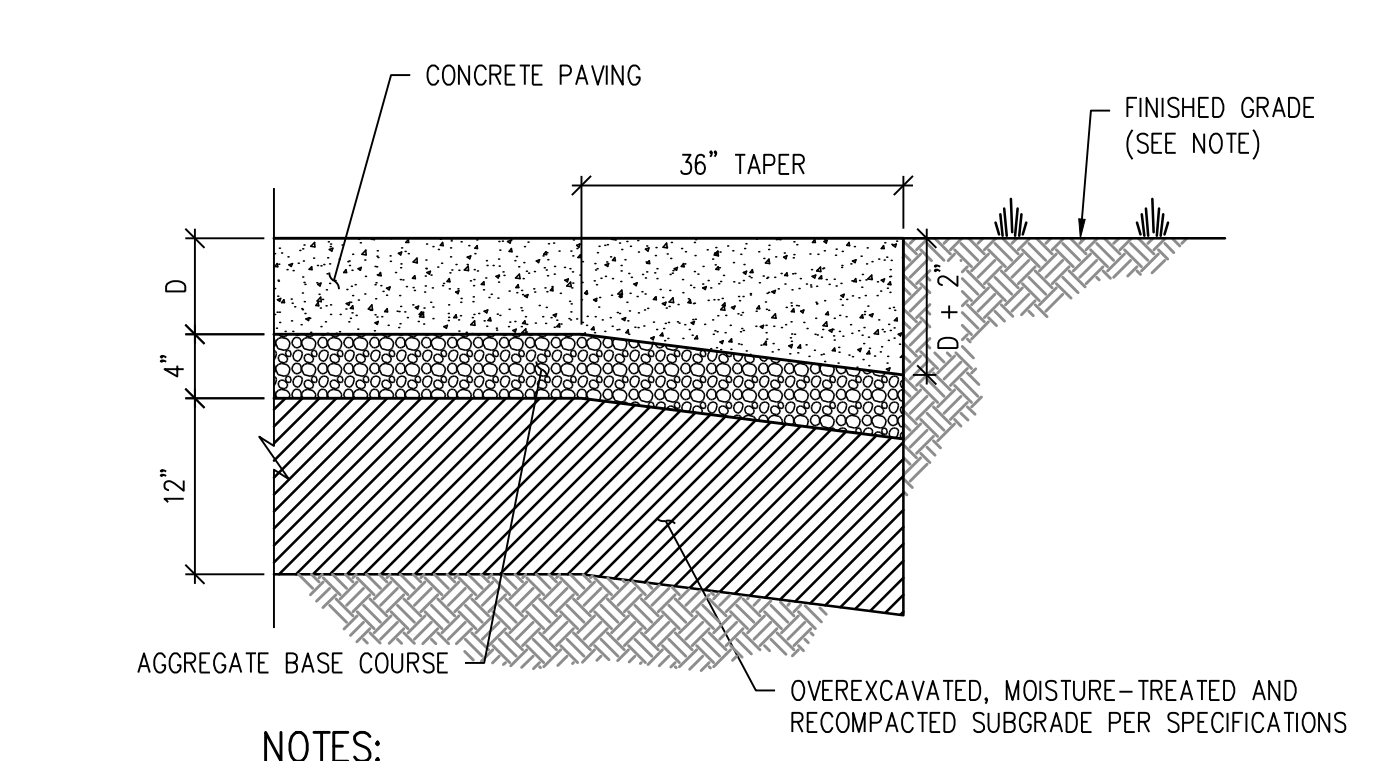
**NOTES:**

- CURB EXPANSION JOINTS EVERY 100' MAX AND WHEREVER SIDEWALK ABUTS EXISTING & PROPOSED CONCRETE STRUCTURES (TYP) - SEE PLAN
- REMOVE PLASTIC FORMING MATERIAL ("ZIP STRIPS") FROM PREFORMED JOINT MATERIAL PRIOR TO PLACING SEALANT

**CONCRETE JOINT DETAIL** 1  
NTS



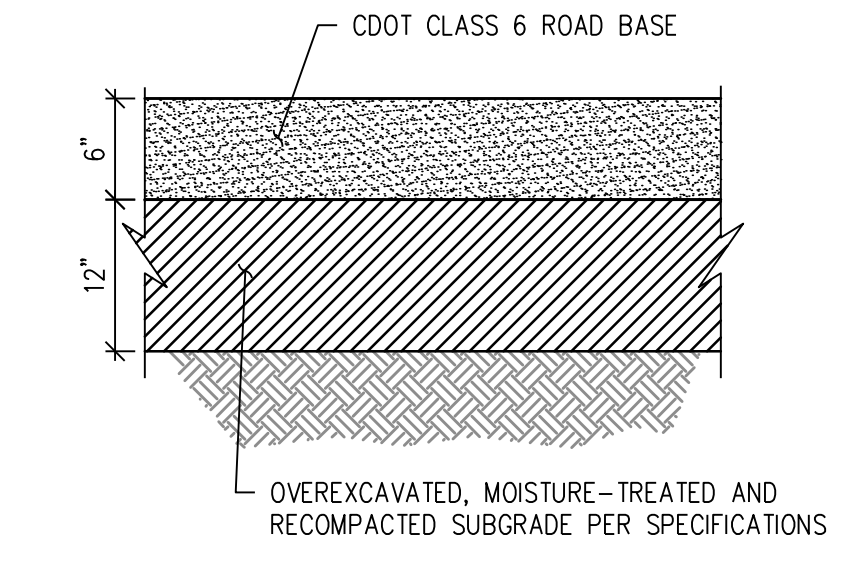
**COMPOSITE ASPHALT PAVEMENT SECTION DETAIL** 2  
NTS



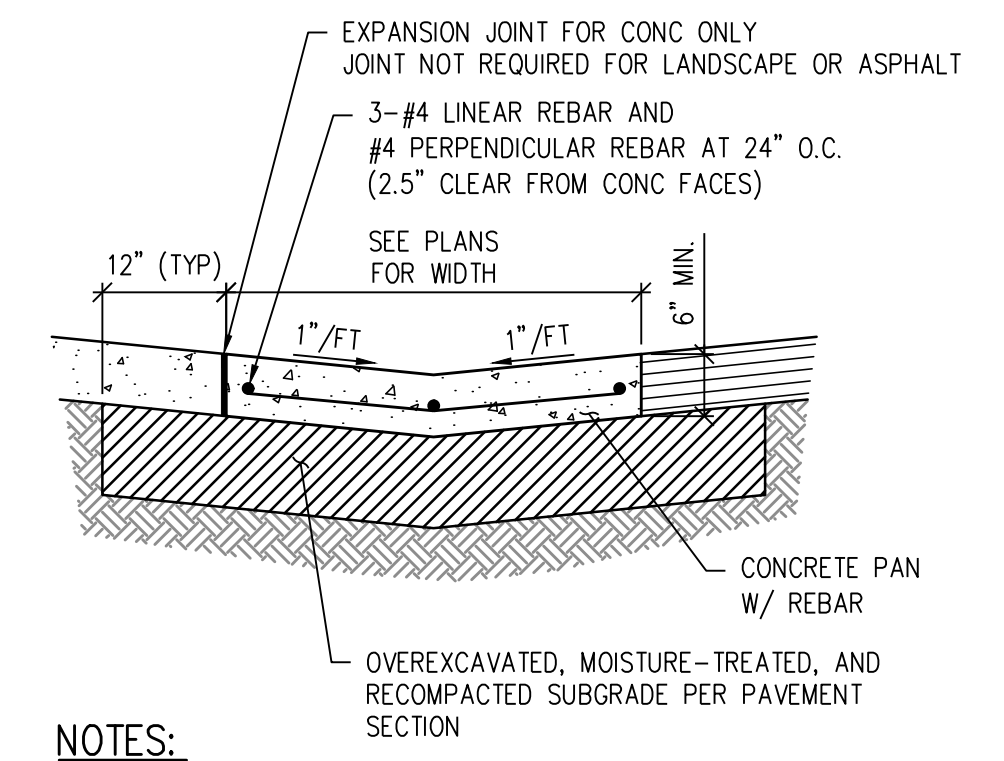
**NOTES:**

- CONCRETE THICKNESS:  
D = 5" FOR WALKS  
D = 7" FOR FIRE TRUCK ACCESS ROUTES, TRASH PADS AND OTHER AREAS NOTED AS HEAVY DUTY
- 2" THICKENED EDGE REQUIRED WHERE PAVEMENT ABUTS LANDSCAPE ONLY.
- SEE CONTRACTION JOINT AND EXPANSION JOINT DETAILS.
- ALL CONCRETE SHALL HAVE FIBERMESH REINFORCEMENT PER SPECIFICATIONS.

**CONCRETE PAVEMENT SECTION DETAIL** 3  
NTS



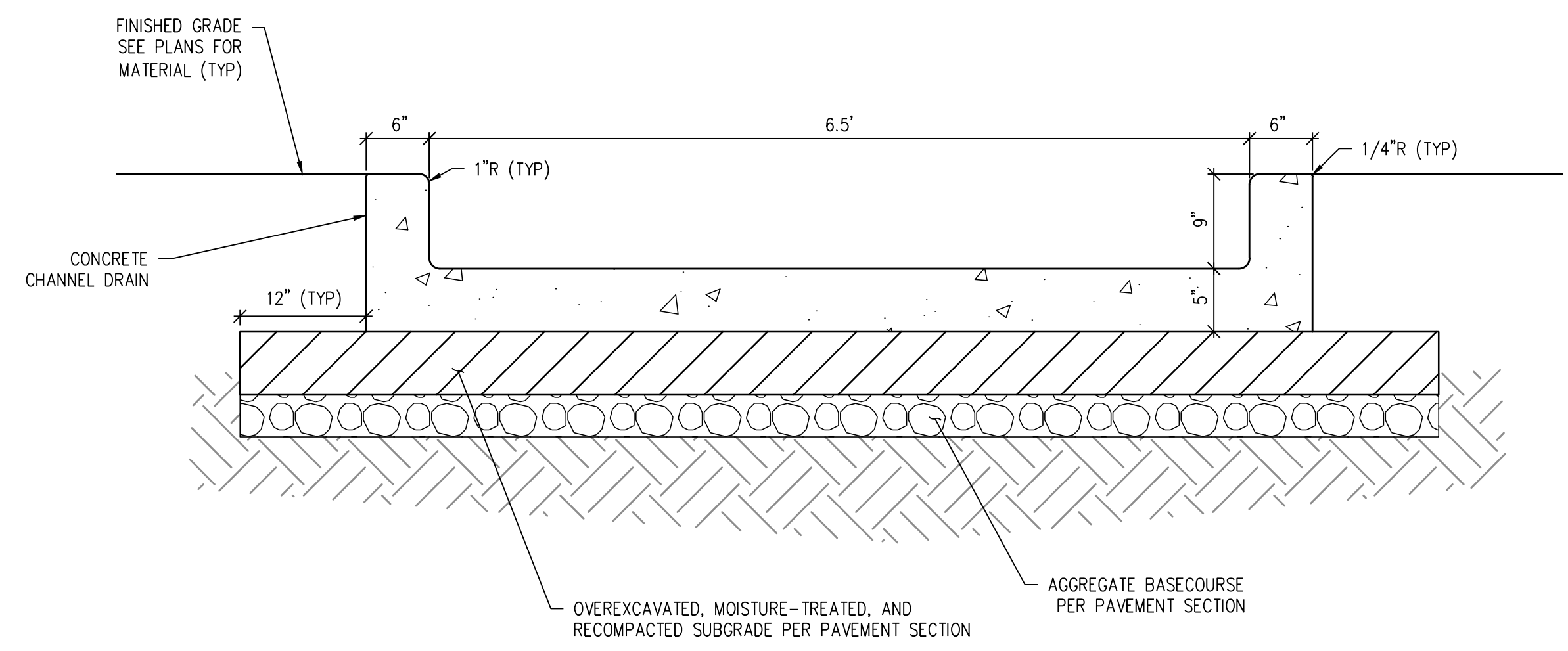
**GRAVEL SECTION DETAIL** 4  
NTS



**NOTES:**

- THIS PAN IS INTENDED FOR USE AT DRIVE AREAS.
- SEE PLANS FOR INVERT ELEVATIONS AND HORIZONTAL CONTROLS.
- SEE THIS SHEET FOR CONTRACTION AND EXPANSION JOINT DETAILS.
- PROVIDE JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. JOINTS TO MATCH ADJOINING SIDEWALK.
- ALL CONCRETE SHALL HAVE FIBERMESH REINFORCEMENT PER SPECIFICATIONS

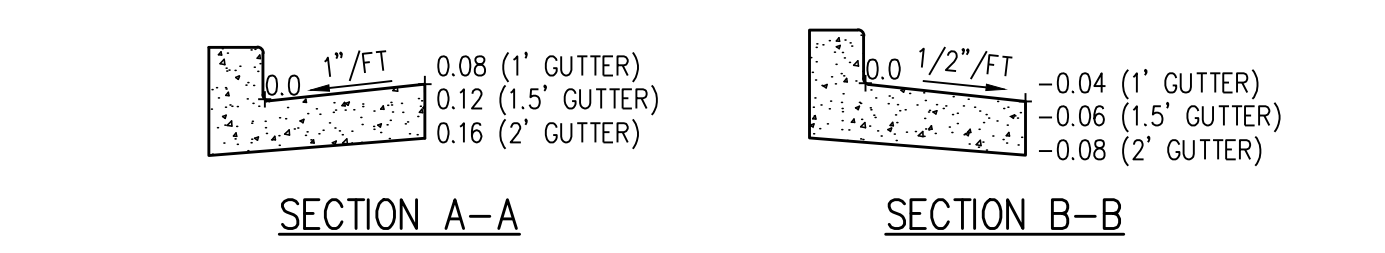
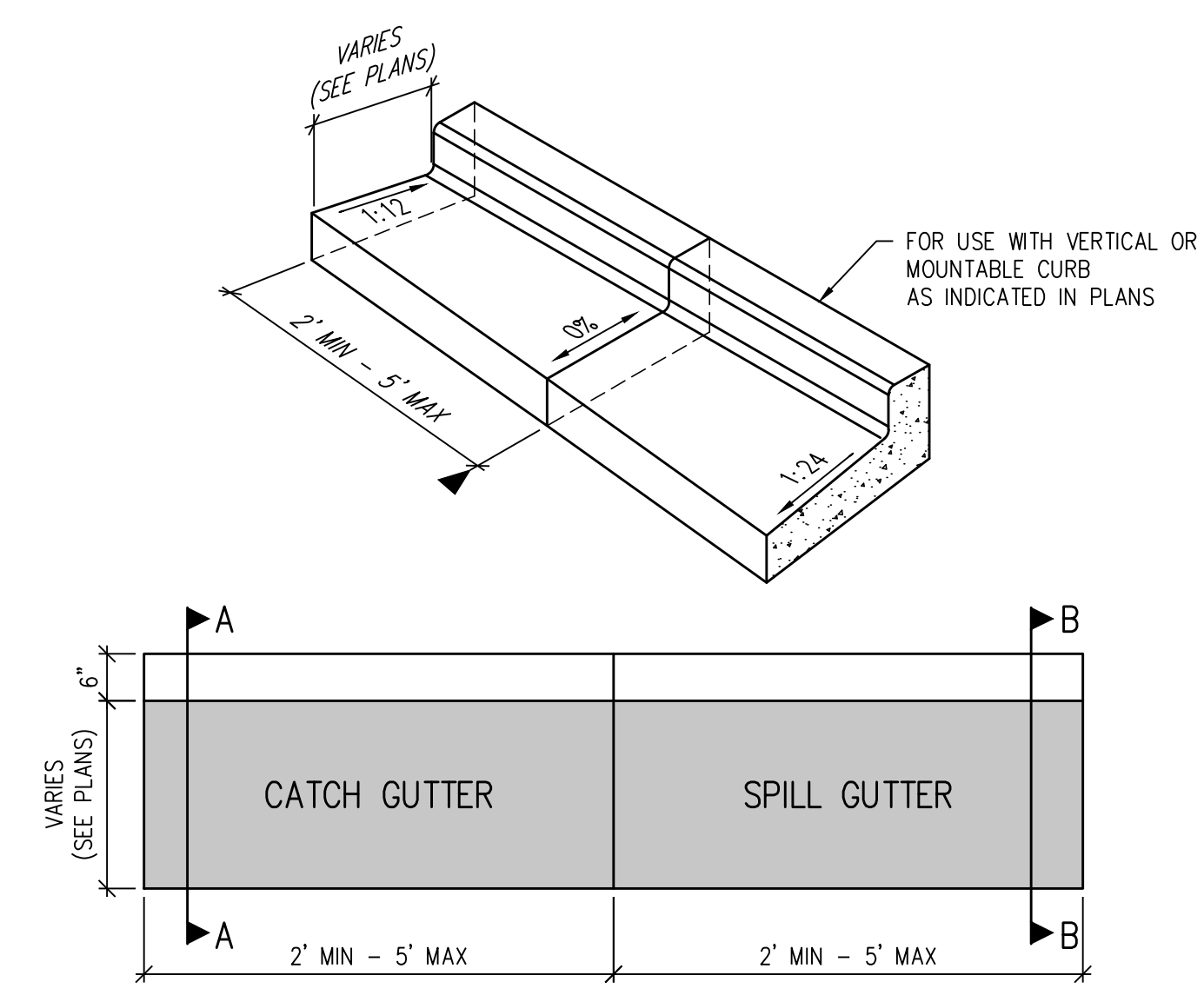
**REINFORCED CONCRETE PAN DETAIL** 5  
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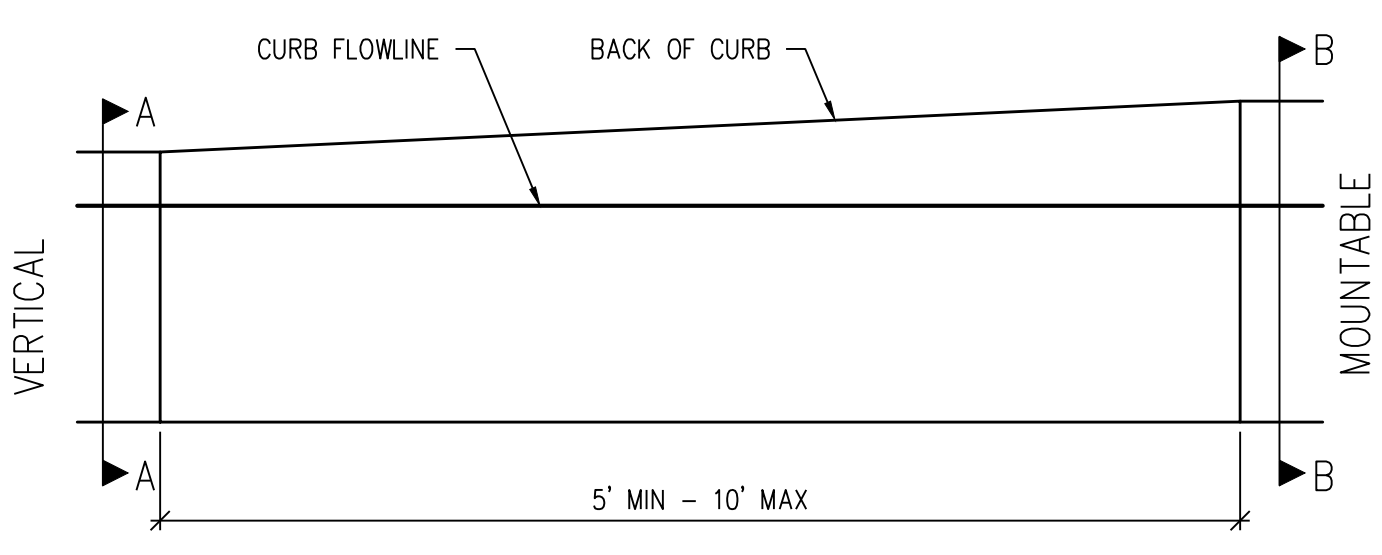
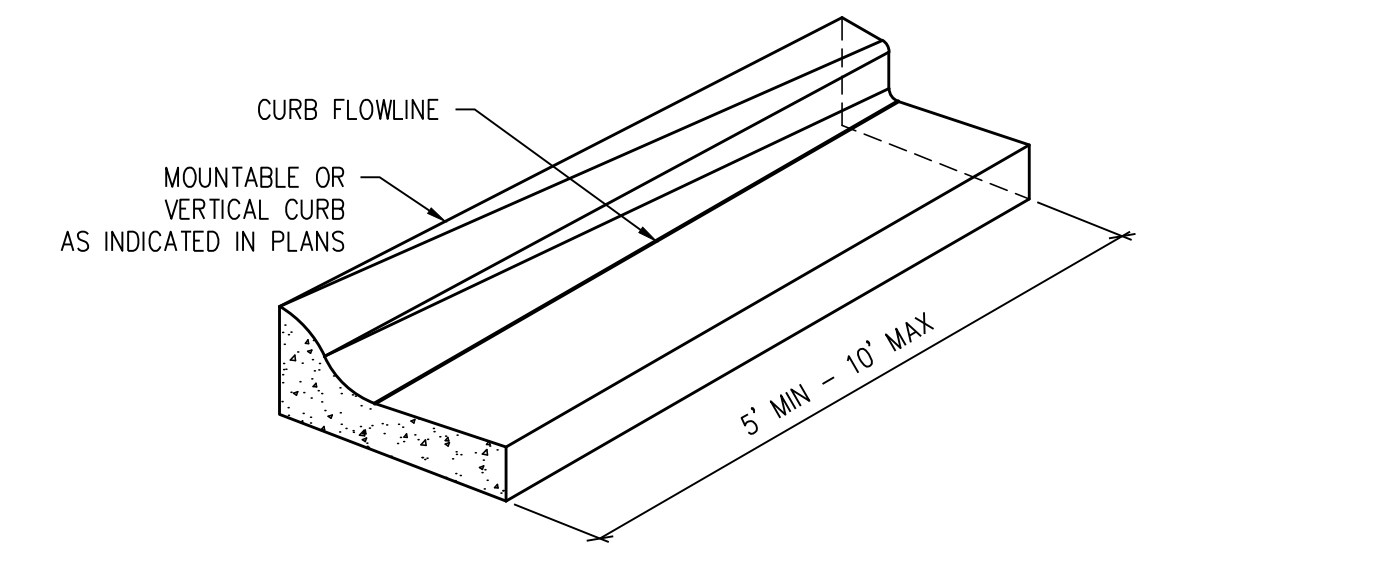
**NOTES:**

- ALL CONCRETE SHALL HAVE FIBERMESH REINFORCEMENT PER SPECIFICATIONS.

**BYPASS CHANNEL DETAIL** 6  
NTS



**GUTTER CATCH SPILL TRANSITION DETAIL** 7  
NTS



**VERTICAL TO MOUNTABLE CURB DETAIL** 8  
NTS

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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

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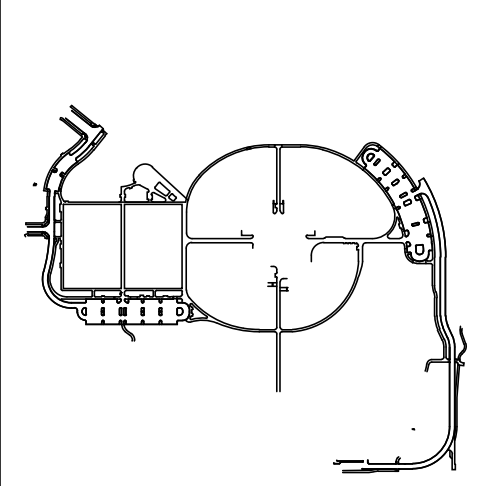
**MECHANICAL ENGINEER**  
ENVISION Mechanical Engineers, Inc.  
3972 Federal Court, #400  
Englewood, CO 80112  
p. 303.688.0223

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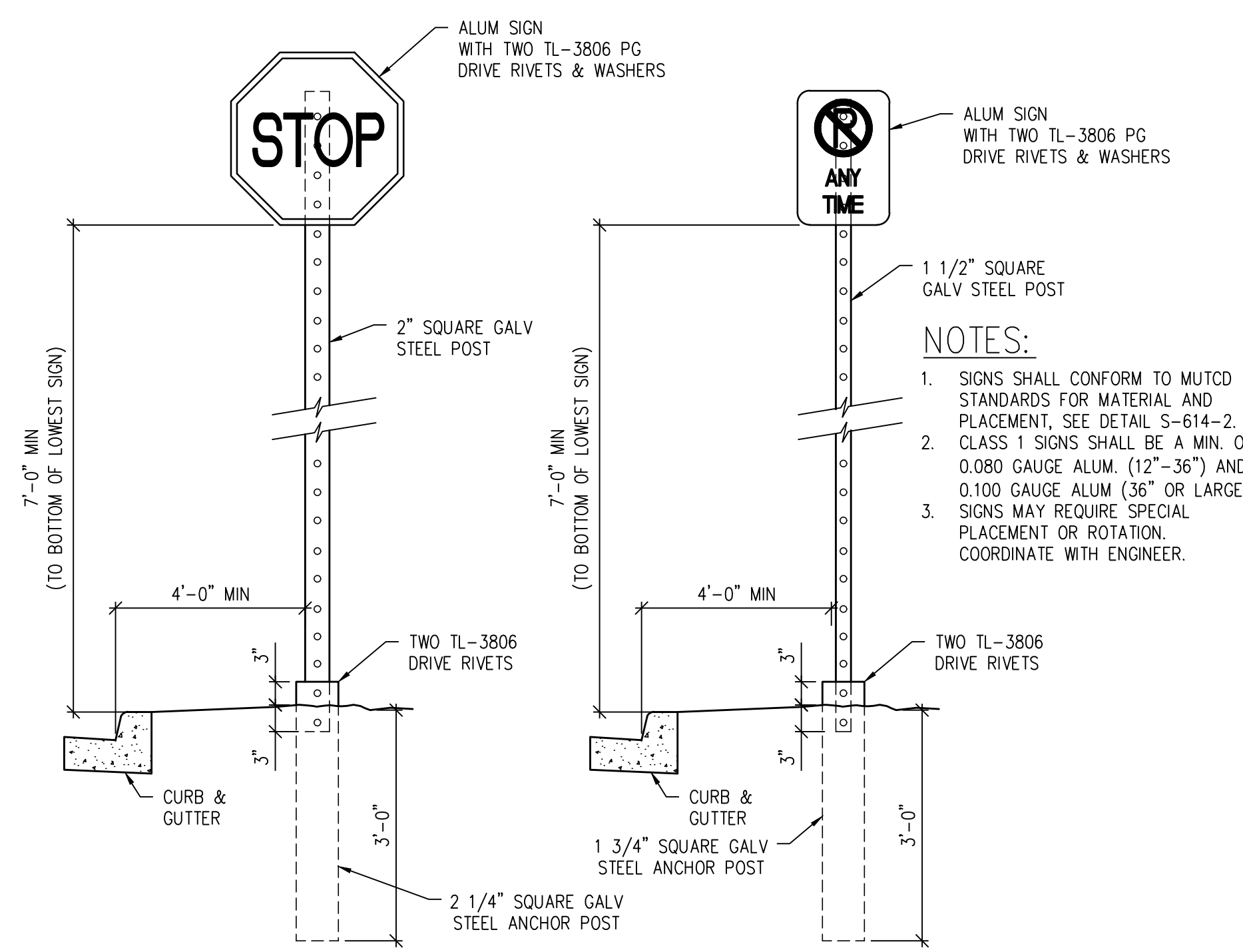
Drawing  
**SIGNAGE, STRIPING & PAVEMENT DETAILS**

**CD-300**

SITE PLAN SUBMITTAL  
Page 21 of 311

THE LINE SHOWING ABOVE IS PER COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.

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- C

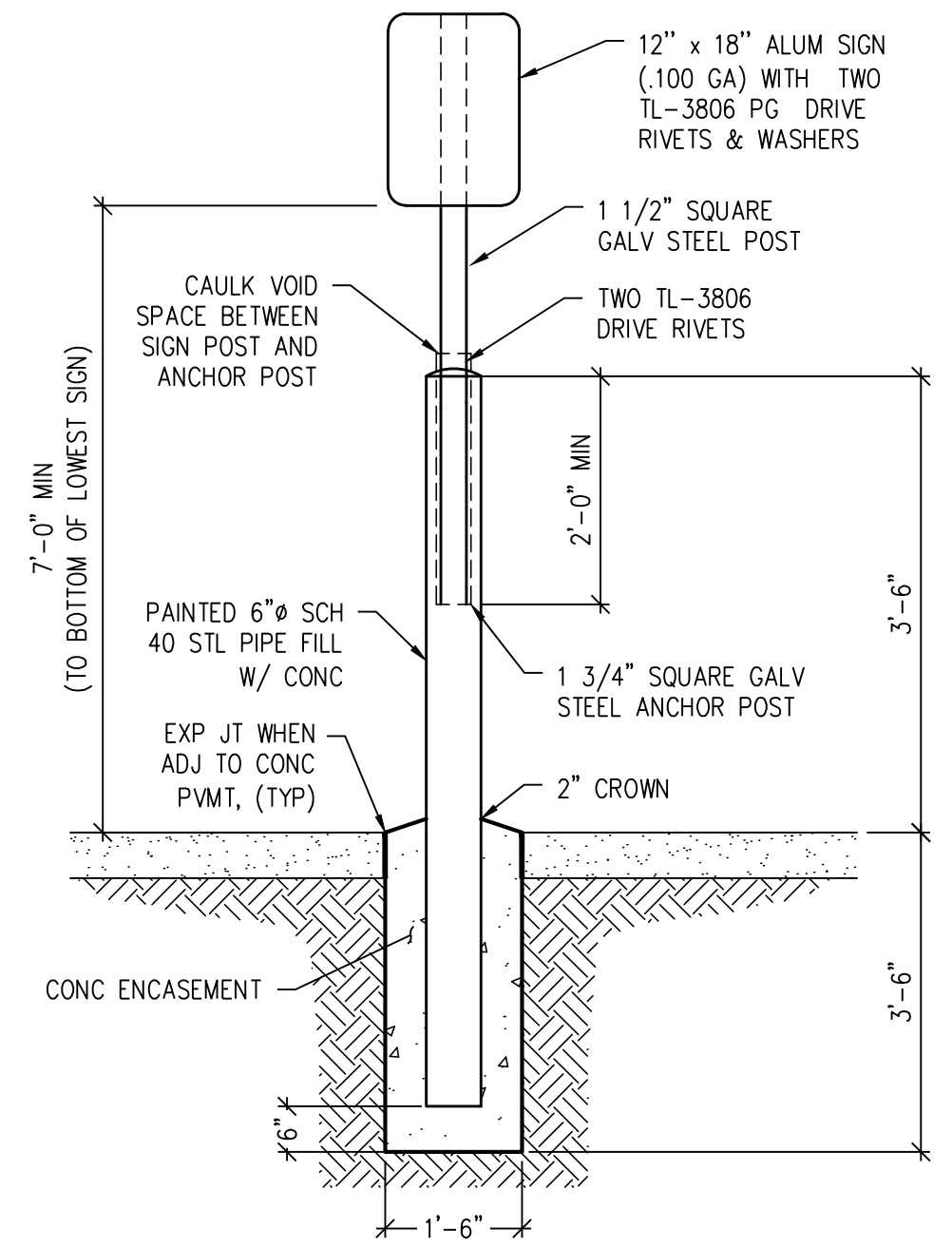


- NOTES:**
- SIGNS SHALL CONFORM TO MUTCD STANDARDS FOR MATERIAL AND PLACEMENT, SEE DETAIL S-614-2.
  - CLASS 1 SIGNS SHALL BE A MIN. OF 0.080 GAUGE ALUM. (12" - 36") AND 0.100 GAUGE ALUM. (36" OR LARGER).
  - SIGNS MAY REQUIRE SPECIAL PLACEMENT OR ROTATION. COORDINATE WITH ENGINEER.

**LARGE/MULTIPLE SIGN SQUARE POST**  
FOR USE W/ LARGER SIGNS (RS-1, R1-1, WIDTH>12", MULTIPLE SIGNS ON SAME POST & FOR ALL SIGNS IN WALKS, CONCRETE AREAS, ETC.)

**REGULAR/SMALL SIGN SQUARE POST**  
FOR USE W/ SINGLE SMALL SIGN (MAX SIZE 12"X 18" H)

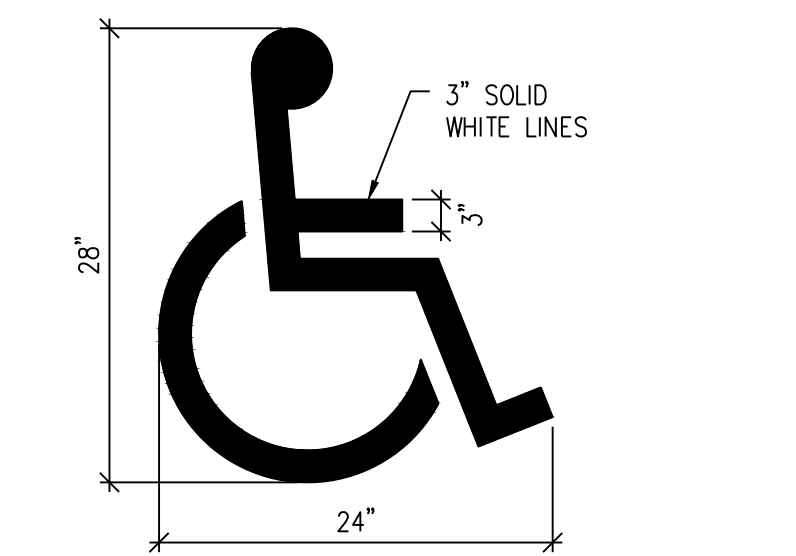
**SIGN DETAIL**  
NTS



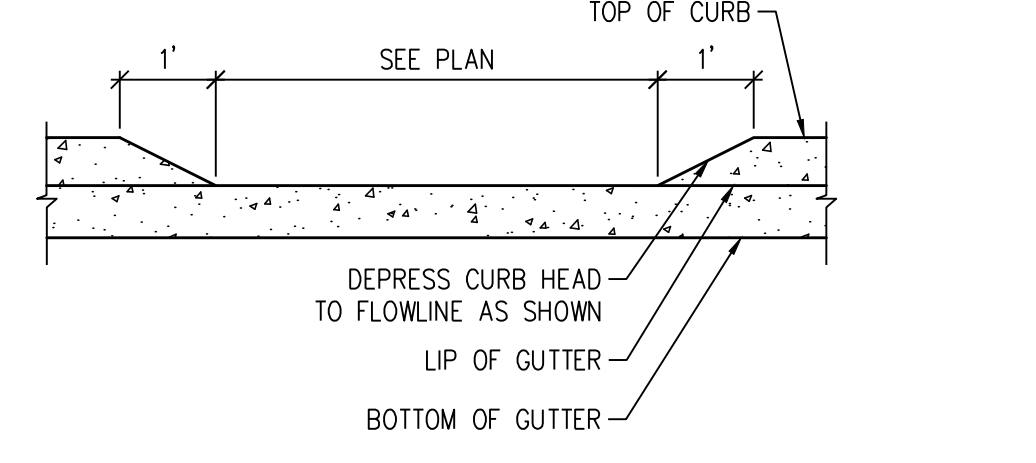
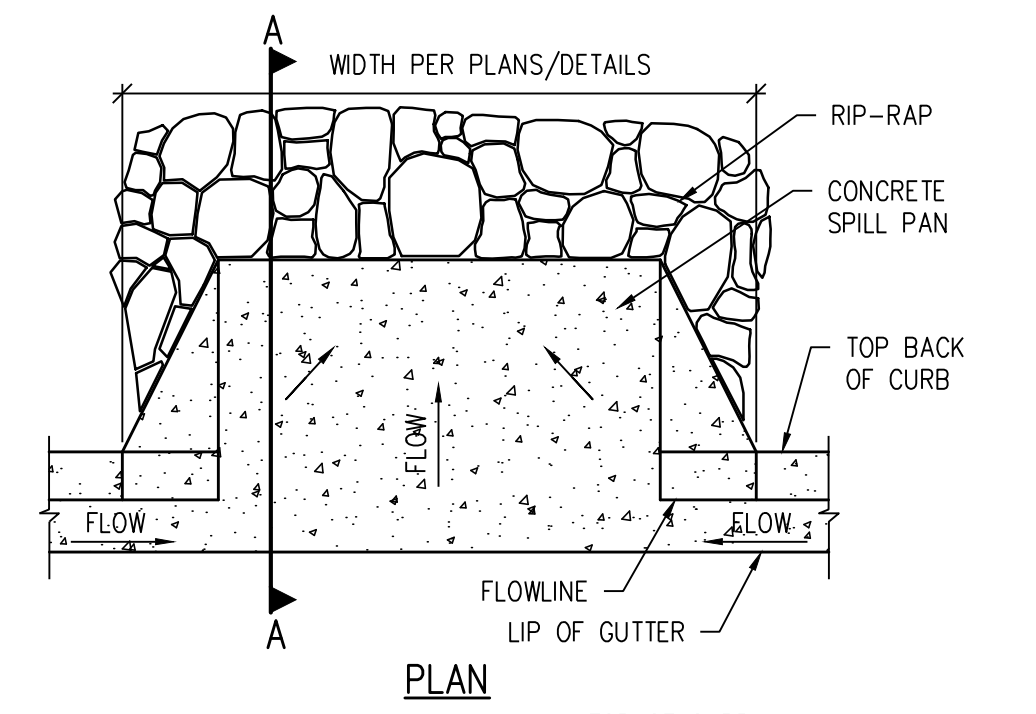
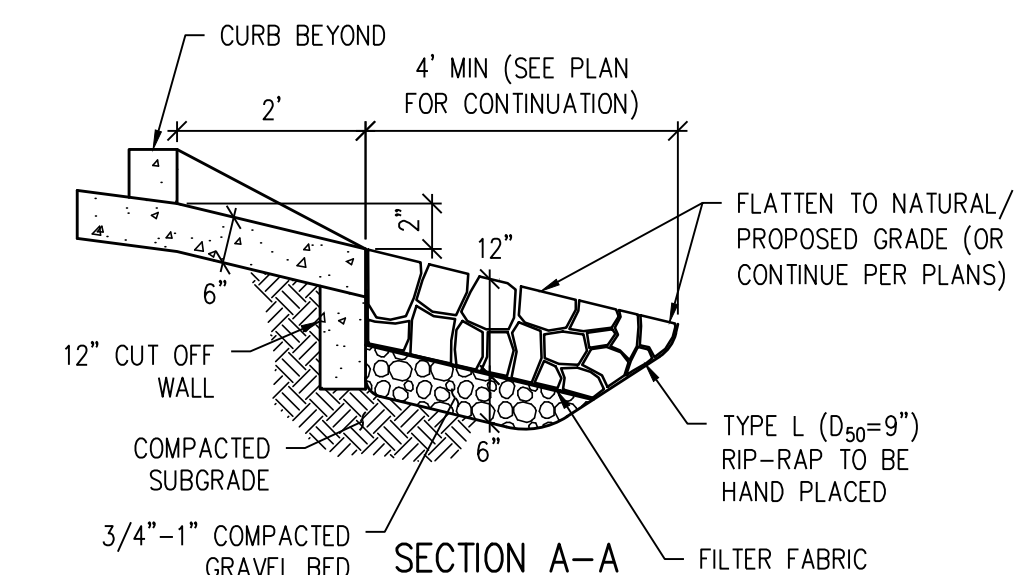
**SIGN OPTIONS**

- RESERVED PARKING (R7-8)
- VAN ACCESSIBLE (R7-8a)
- WHEELCHAIR ACCESS AISLE ABSOLUTELY NO PARKING (R7-8bL)
- WHEELCHAIR ACCESS AISLE (R7-8bC)
- WHEELCHAIR ACCESS AISLE ABSOLUTELY NO PARKING (R7-8bR)

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  - STL PIPE SHALL BE PAINTED PER SPECIFICATIONS

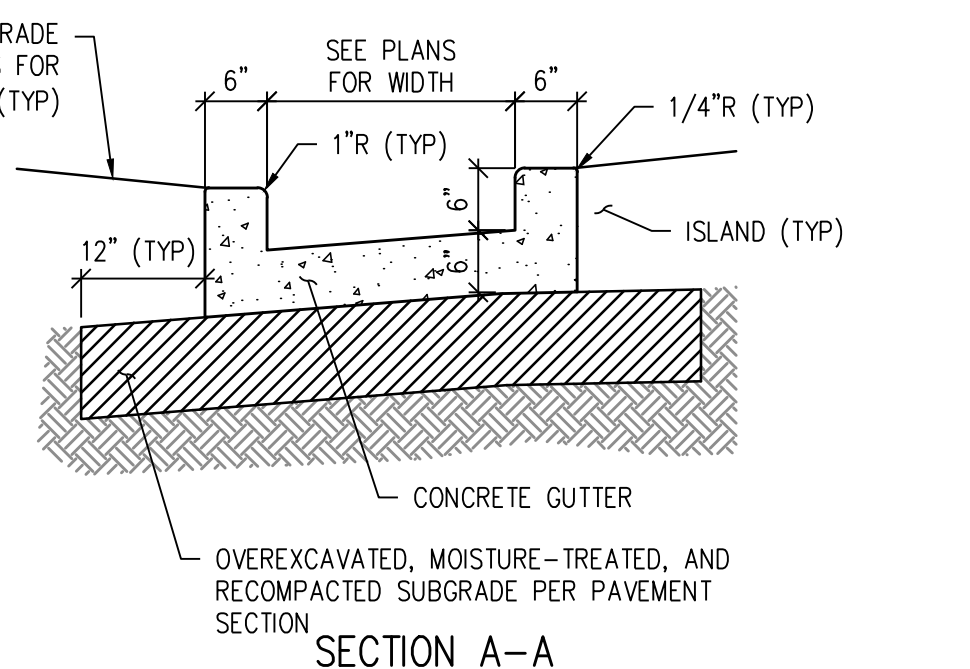
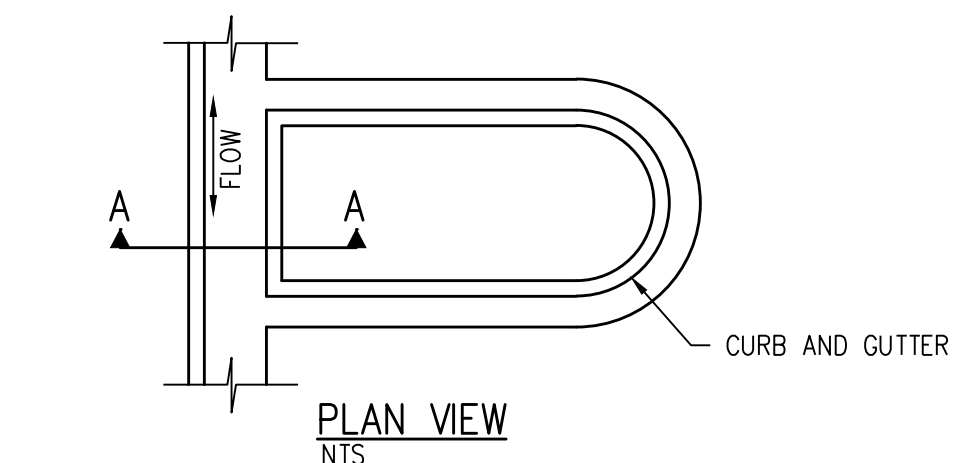


**ACCESSIBLE SYMBOL DETAIL**  
NTS



- NOTES:**
- ALL CONCRETE SHALL HAVE FIBERMESH REINFORCEMENT PER SPECIFICATIONS.

**CURB CUT W/ RIPRAP PAN**  
NTS



- NOTES:**
- ALL CONCRETE SHALL HAVE FIBERMESH REINFORCEMENT PER SPECIFICATIONS.

**CURB CHANNEL DETAIL**  
NTS

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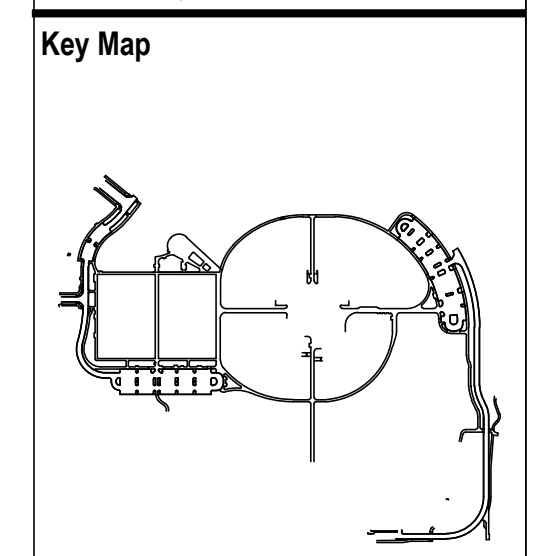
MECHANICAL ENGINEER  
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**SALISBURY PARK NORTH - PHASE 1**  
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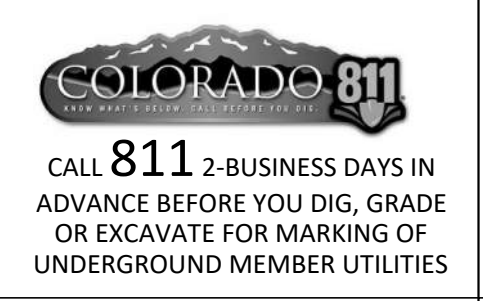
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Drawing  
**SIGNAGE, STRIPING & PAVEMENT DETAILS**

**CD-301**  
SITE PLAN SUBMITTAL  
Page 22 of 311

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THE LINE SHOWN ABOVE IS TO BE PLACED ON THE SHEETS INDICATED BY THE LETTERS IN THE MARGIN. THE SQUARES ABOVE ARE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.

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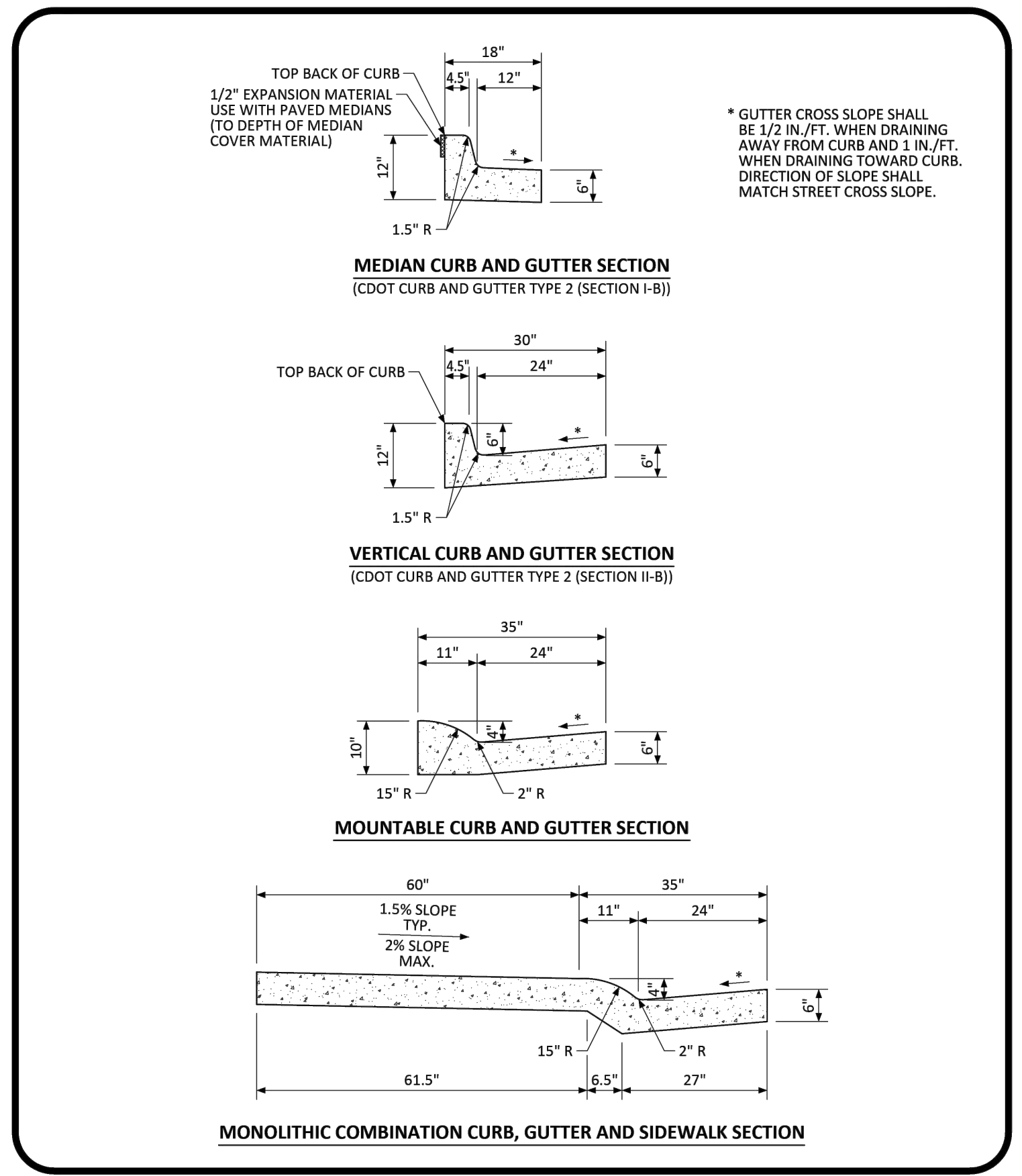
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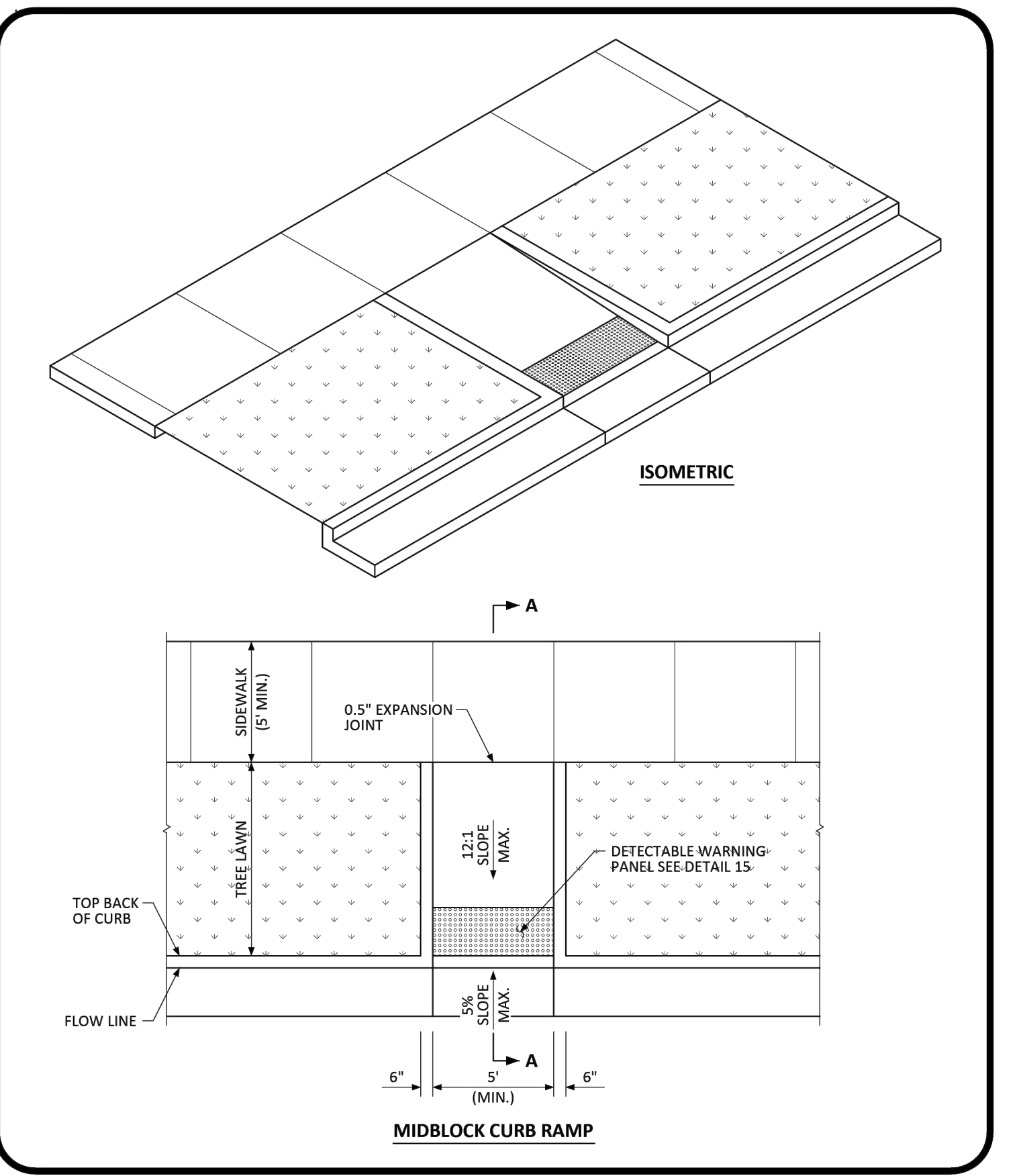
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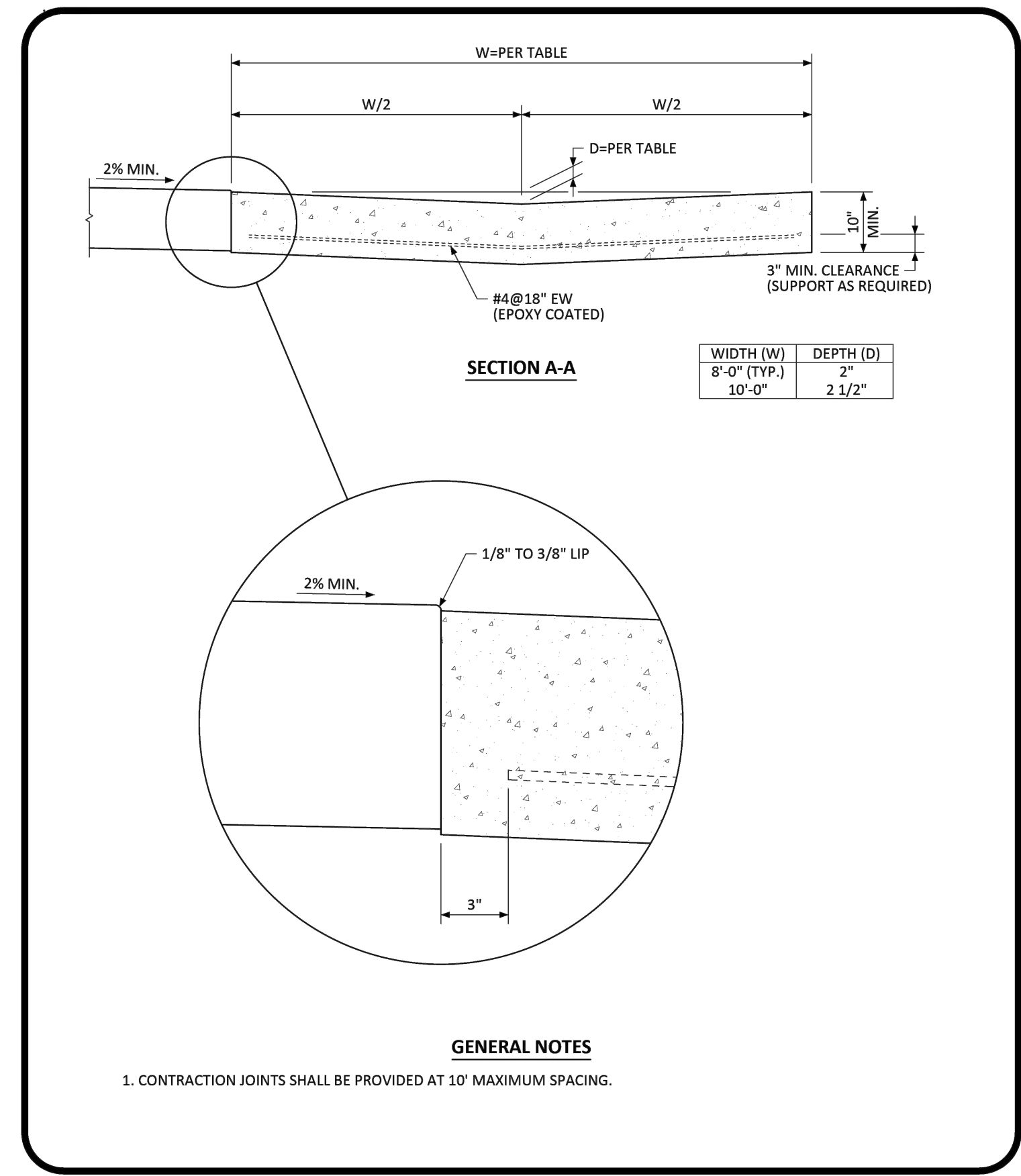
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

<b>PARKER</b> COLORADO	<b>CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL</b>	DATE NOVEMBER 2020	DETAIL <b>3</b>
			1 OF 1



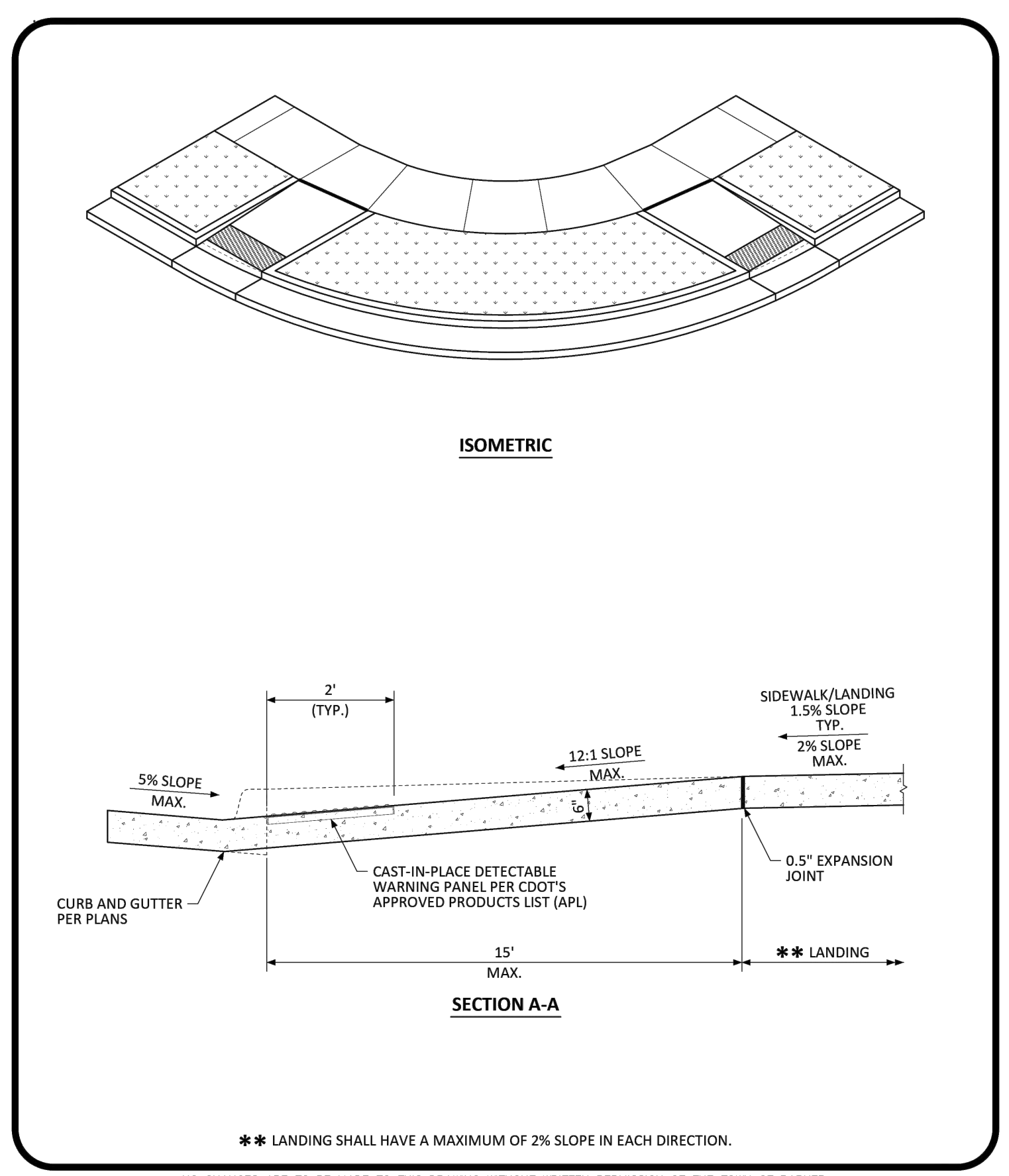
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

<b>PARKER</b> COLORADO	<b>MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL</b>	DATE NOVEMBER 2020	DETAIL <b>17</b>
			1 OF 2



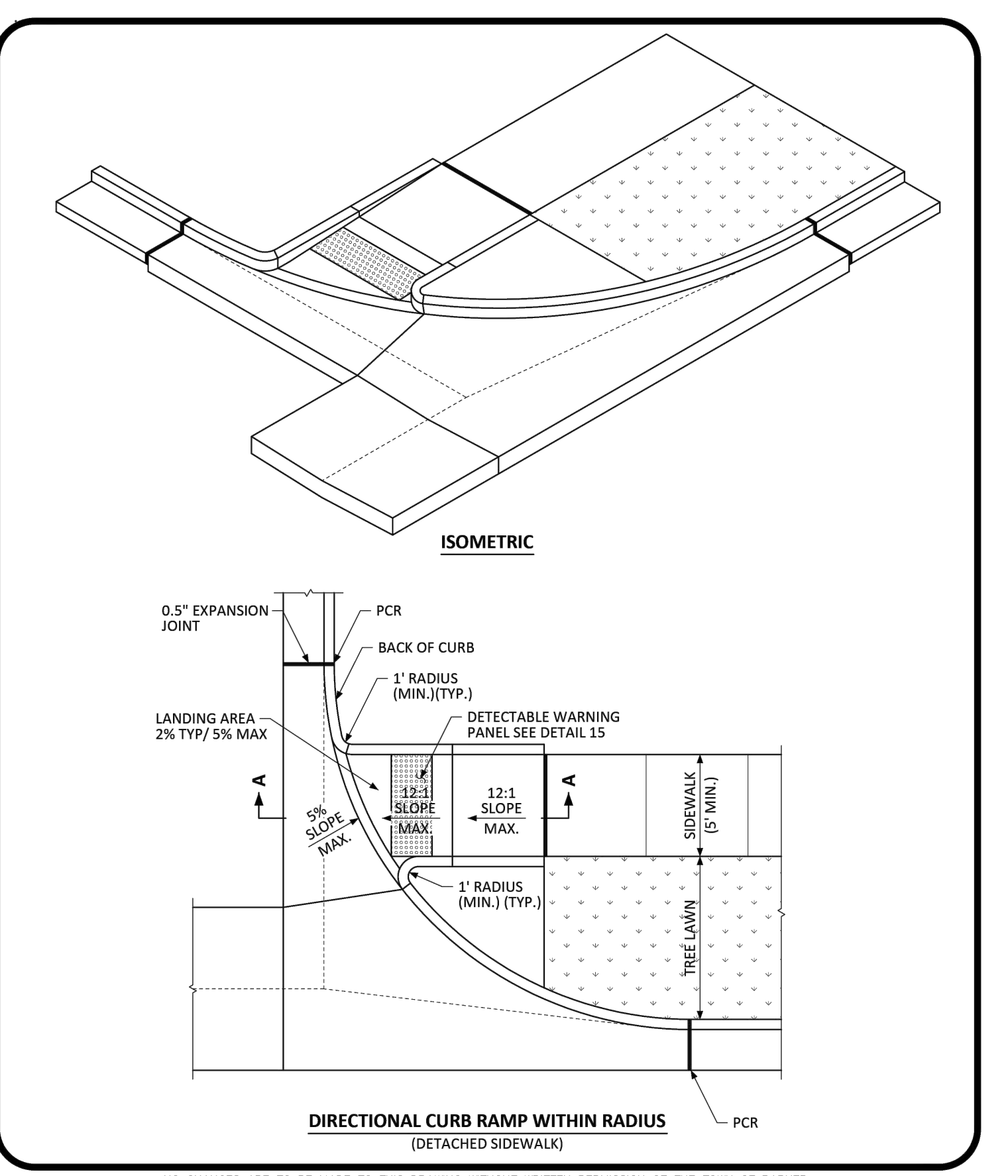
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

<b>PARKER</b> COLORADO	<b>INTERSECTION CROSS PAN LAYOUT STANDARD DETAIL</b>	DATE NOVEMBER 2020	DETAIL <b>19</b>
			1 OF 2



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

<b>PARKER</b> COLORADO	<b>DIRECTIONAL CURB RAMP LAYOUT STANDARD DETAIL</b>	DATE NOVEMBER 2020	DETAIL <b>15</b>
			4 OF 4



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

<b>PARKER</b> COLORADO	<b>DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL</b>	DATE NOVEMBER 2020	DETAIL <b>18</b>
			2 OF 2

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_



CALL **811** 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

**hord coplan macht**

LANDSCAPE ARCHITECT / ARCHITECT  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
JVA Incorporated  
1075 Larimer Street, #550  
Denver, CO 80202  
p. 303.444.1961

ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
3000 Youngfield Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

IRRIGATION  
Avocet Irrigation  
11725 W. 86th Circle, Suite F-509  
LIMONA, CO 80137  
p. 303.996.2175

MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
3777 Federal Court, #600  
Englewood, CO 80112  
p. 303.688.0223

Town of Parker  
**SALISBURY PARK  
NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

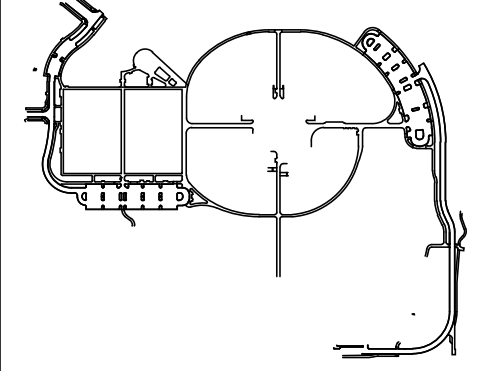
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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/MJS  
Checked By: WTP/CWK/CFG

Key Map



Drawing  
**SIGNAGE, STRIPING & PAVEMENT DETAILS**

**CD-302**

SITE PLAN SUBMITTAL  
Page 23 of 311

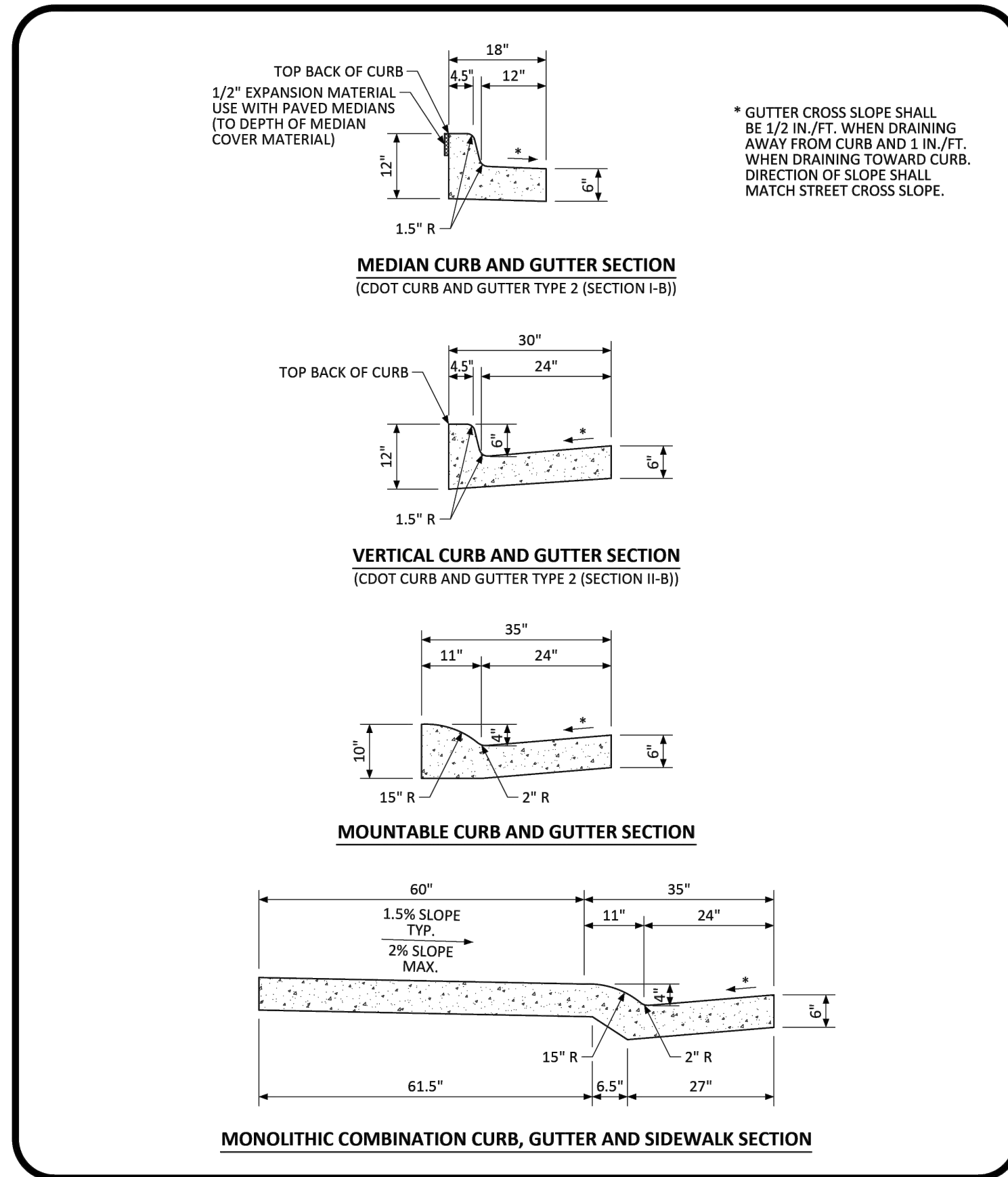
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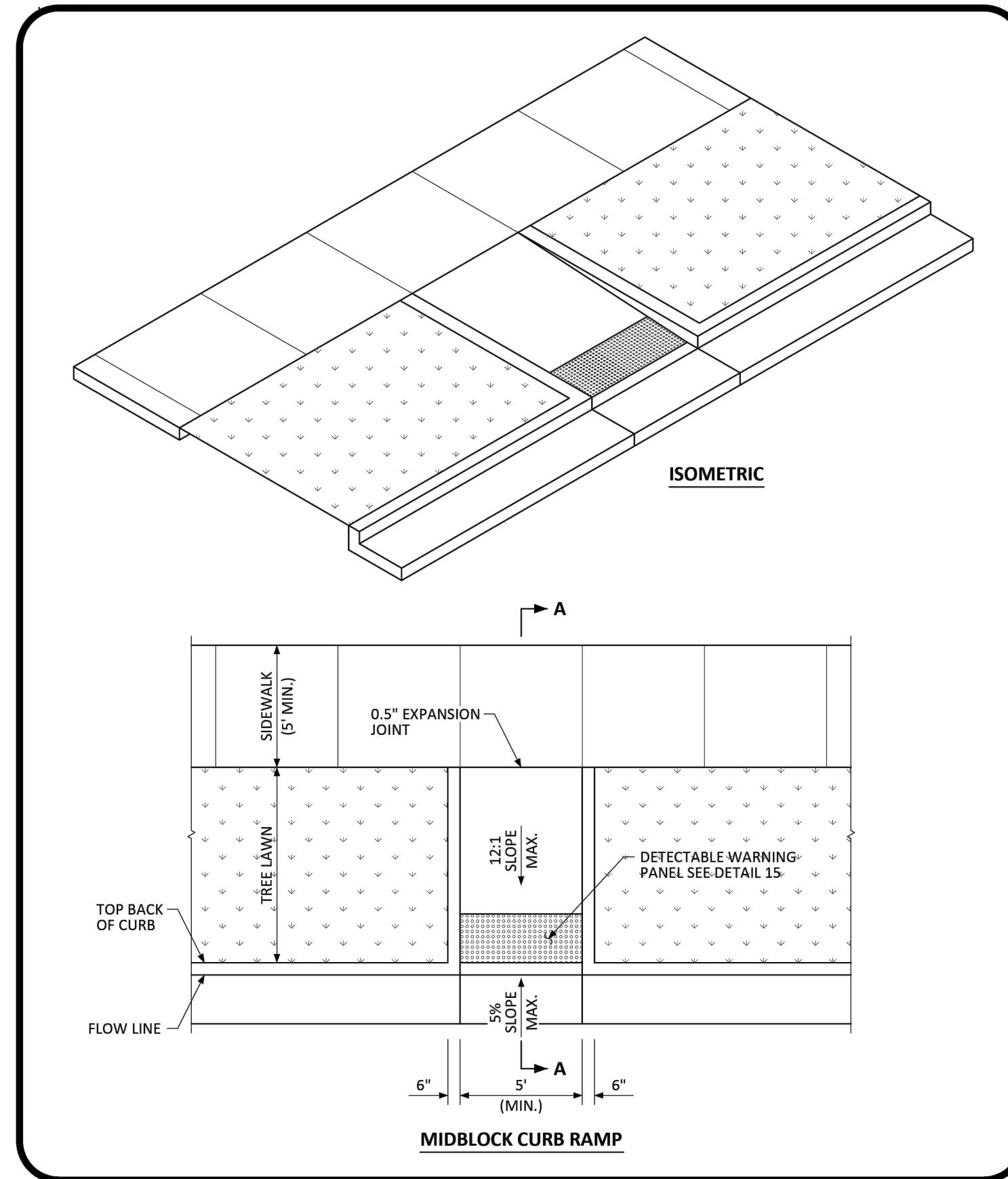
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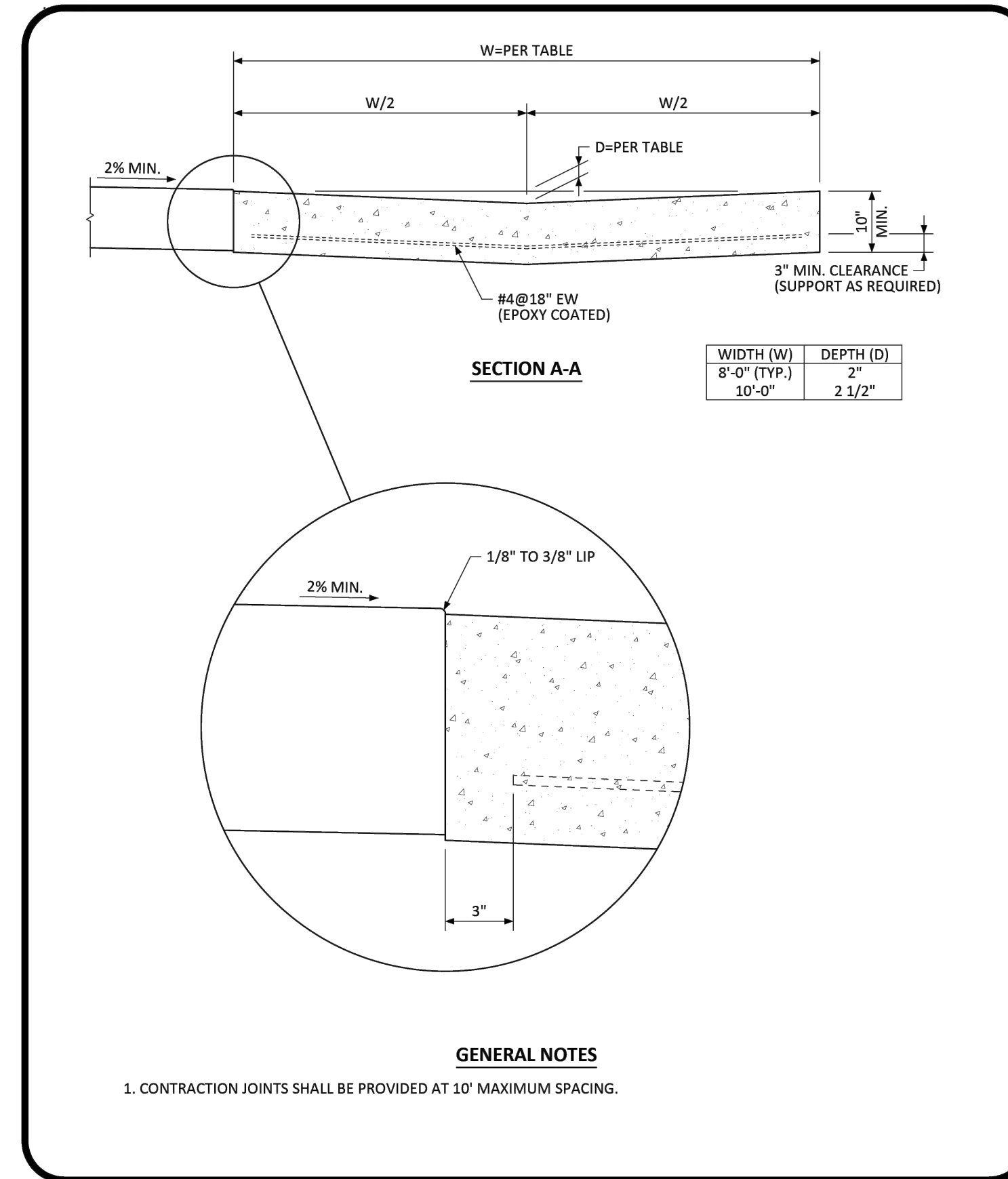
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<b>PARKER</b> COLORADO	<b>CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL</b>	DATE	DETAIL
		NOVEMBER 2020	<b>3</b>
		1 OF 1	



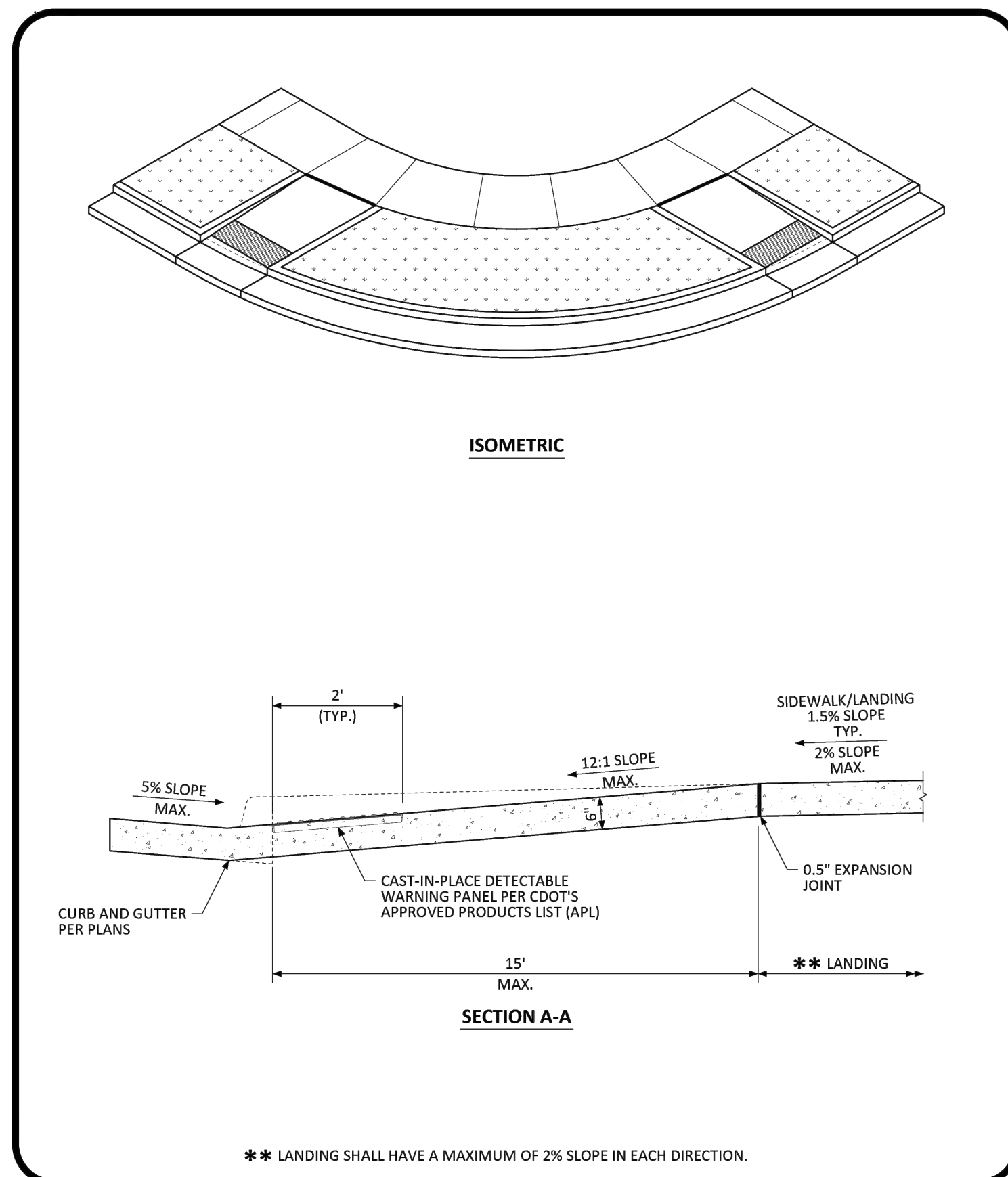
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<b>PARKER</b> COLORADO	<b>MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL</b>	DATE	DETAIL
		NOVEMBER 2020	<b>17</b>
		1 OF 2	



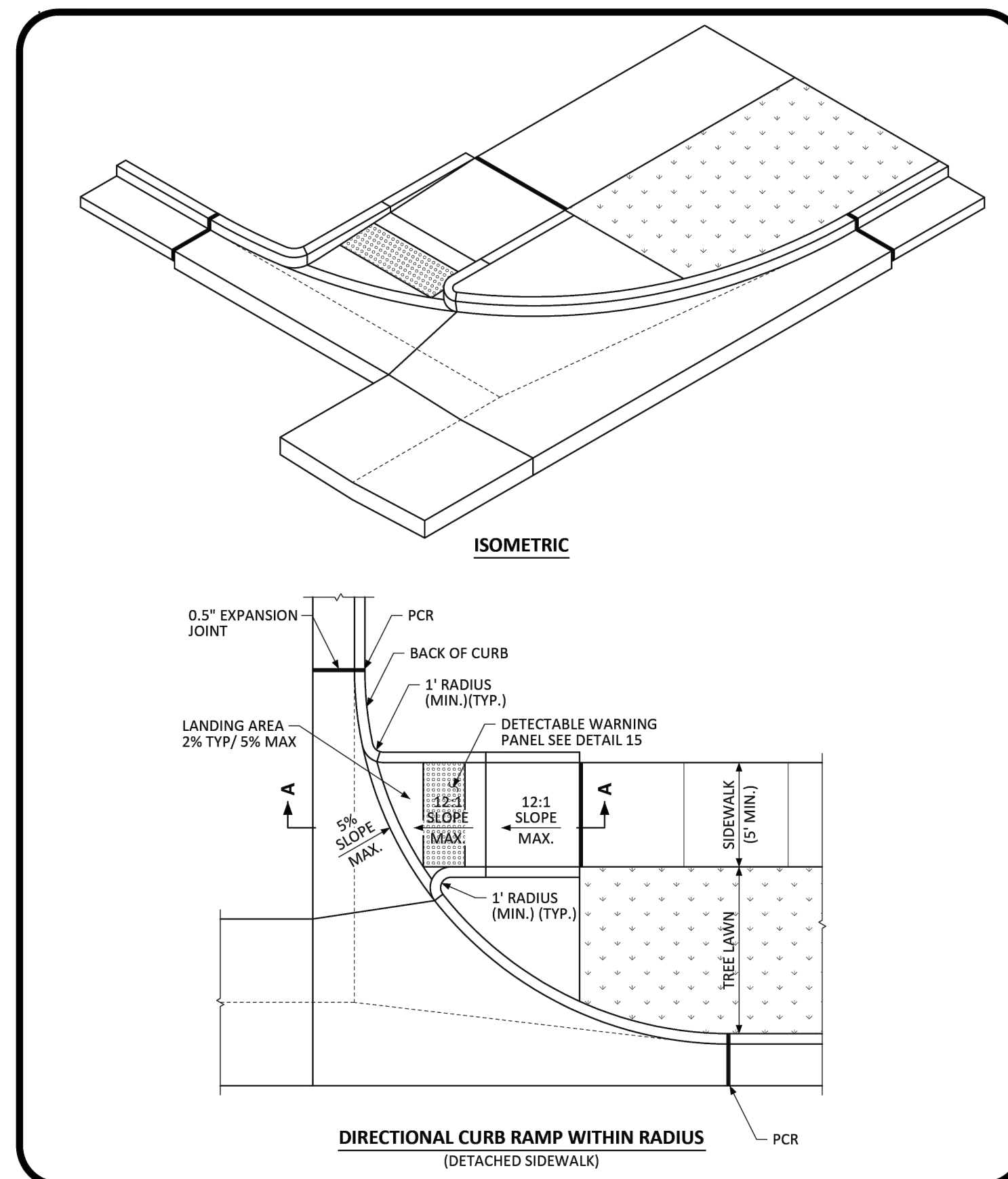
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<b>PARKER</b> COLORADO	<b>INTERSECTION CROSS PAN LAYOUT STANDARD DETAIL</b>	DATE	DETAIL
		NOVEMBER 2020	<b>19</b>
		1 OF 2	



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<b>PARKER</b> COLORADO	<b>DIRECTIONAL CURB RAMP LAYOUT STANDARD DETAIL</b>	DATE	DETAIL
		NOVEMBER 2020	<b>15</b>
		4 OF 4	



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<b>PARKER</b> COLORADO	<b>DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL</b>	DATE	DETAIL
		NOVEMBER 2020	<b>18</b>
		2 OF 2	

Sheet CD-303 is redundant with the same details shown on CD-302. Please revise or remove CD-303.

JVA RESPONSE: CD-303 has been updated.

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

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Town of Parker, Director of Engineering Date



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

**hord coplan macht**  
LANDSCAPE ARCHITECT / ARCHITECT  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
JVA Incorporated  
1075 Larimer Street, #550  
Denver, CO 80202  
p. 303.444.1961

ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
3000 Youngfield Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

IRRIGATION  
Avocat Irrigation  
11725 W. 56th Circle, Suite F-509  
LIMONA, CO 80137  
p. 303.966.2175

MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
3077 Federal Court, #600  
Englewood, CO 80112  
p. 303.688.0223

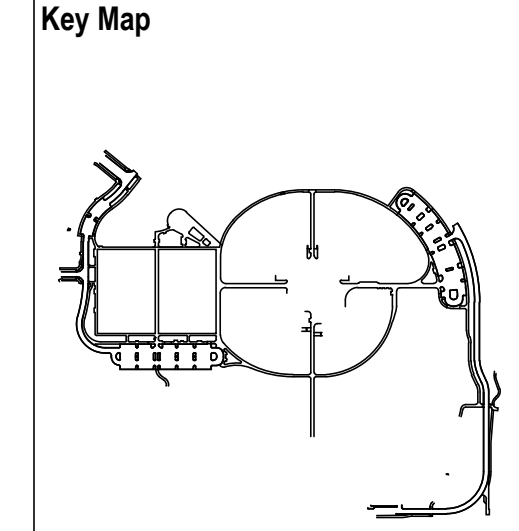
Town of Parker  
**SALISBURY PARK NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/MJS  
Checked By: WTP/CWK/CFG



Drawing  
**SIGNAGE, STRIPING & PAVEMENT DETAILS**

**CD-303**

SITE PLAN SUBMITTAL  
Page 24 of 311

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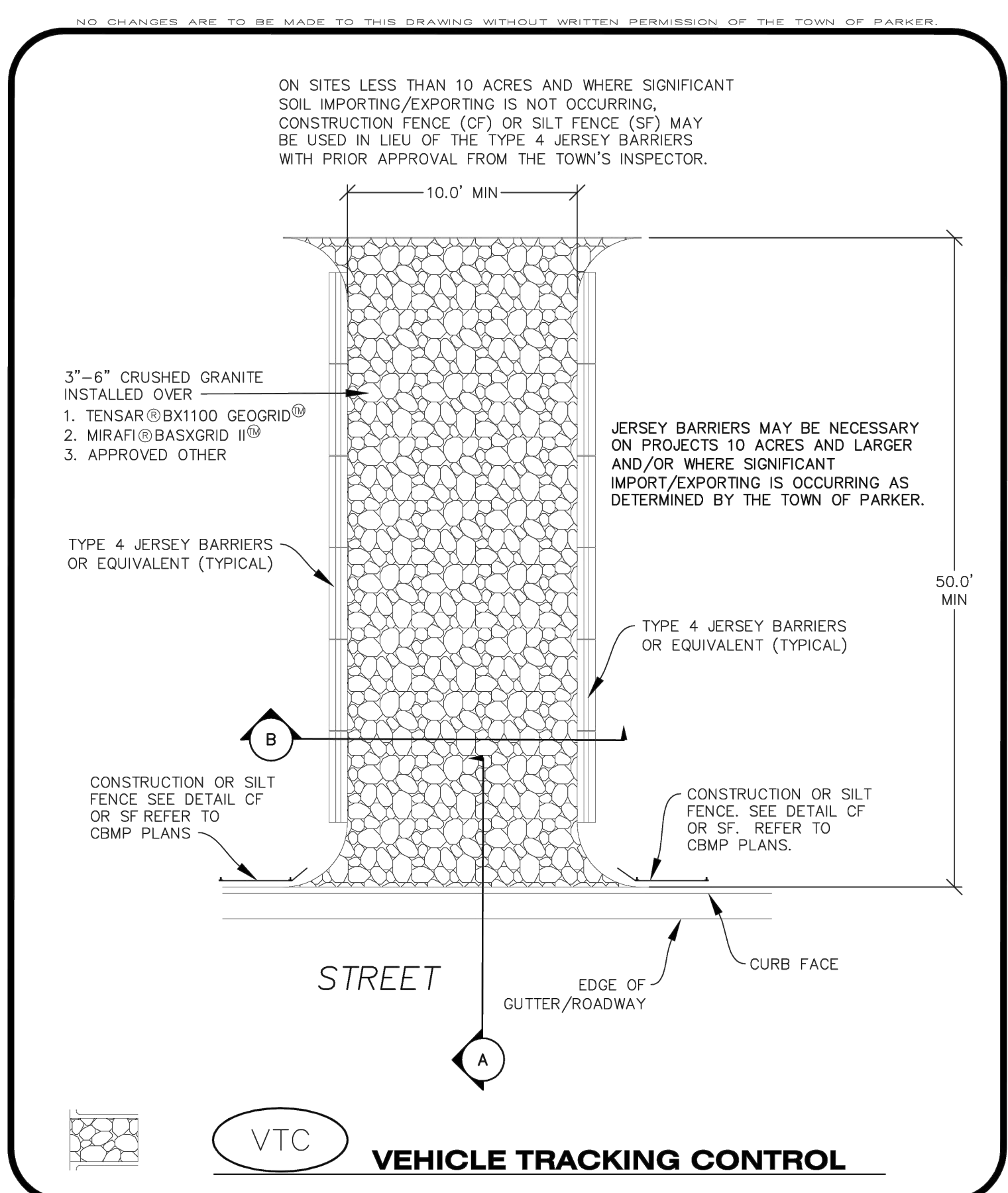
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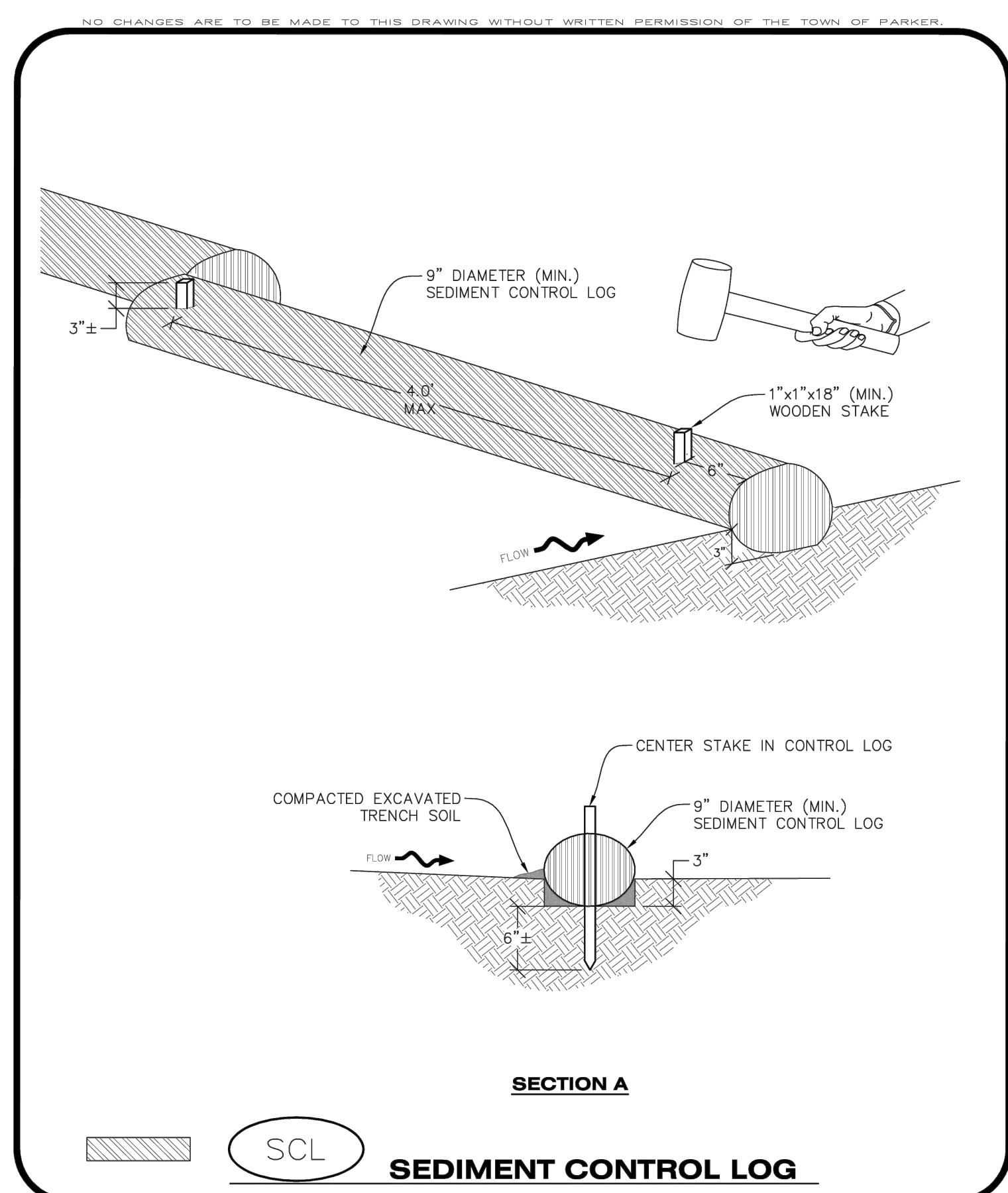
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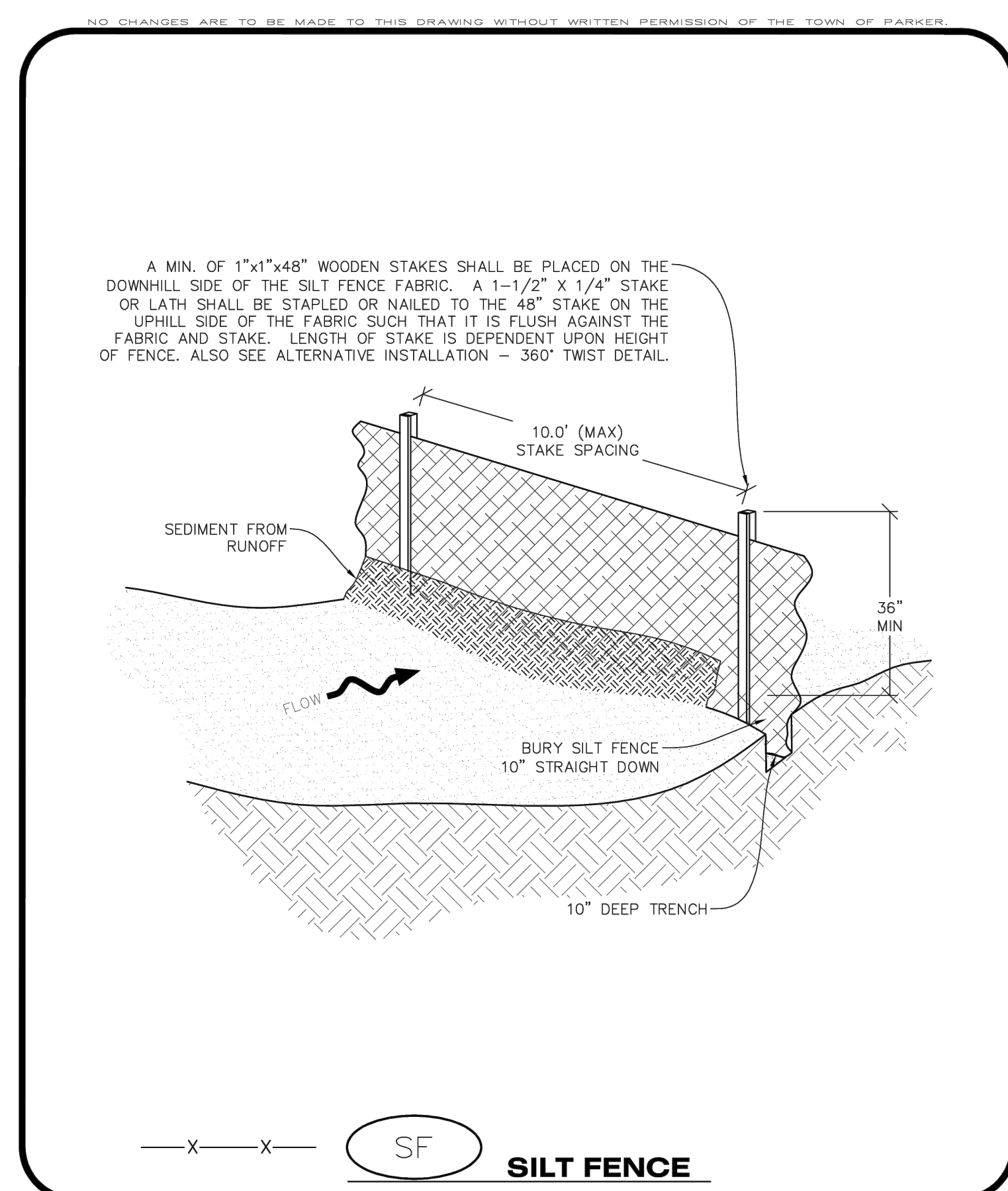
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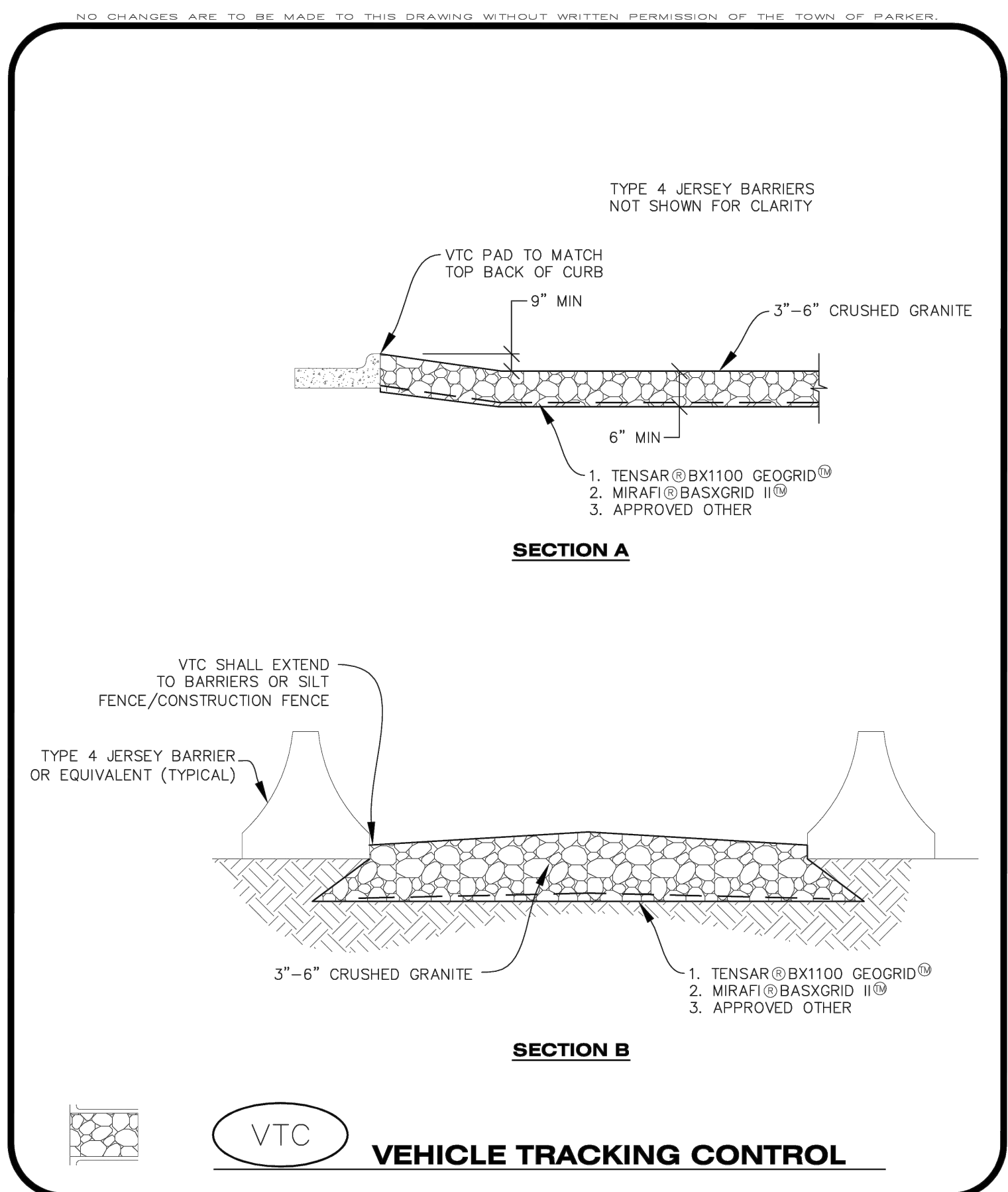
**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **VTC** 1 OF 3 Oct. 2013



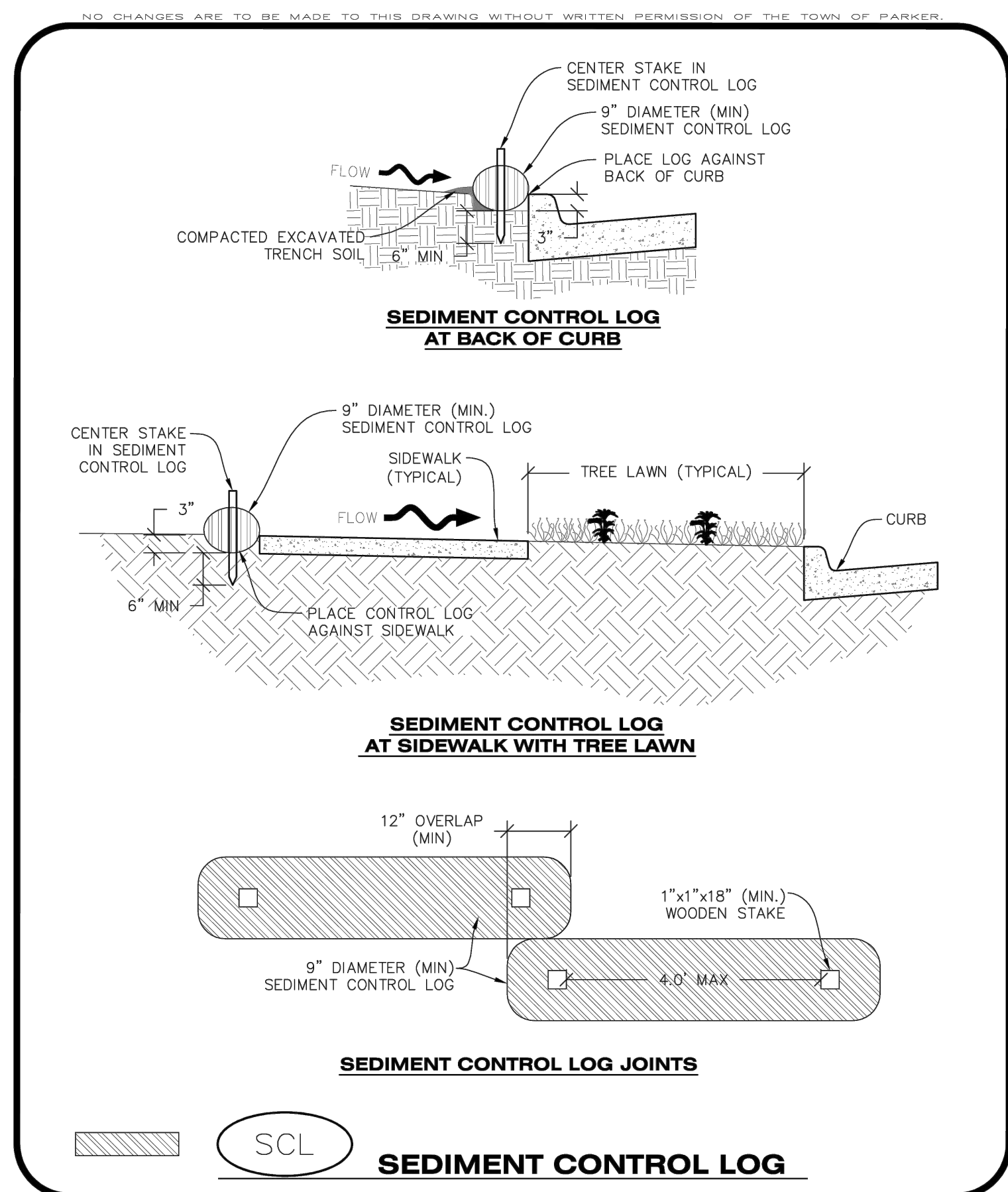
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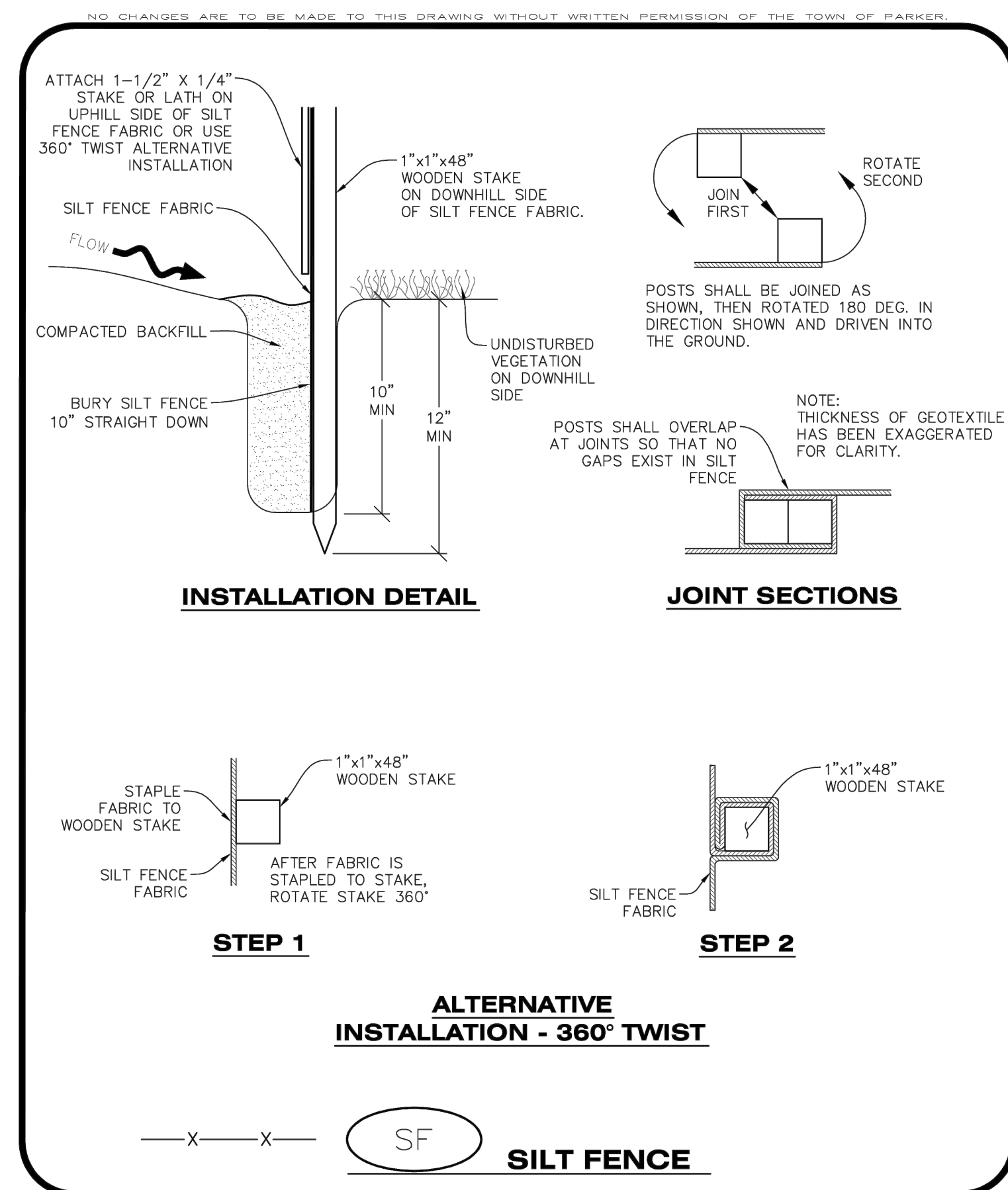
**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **SF** 1 OF 4 Oct. 2013



**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **VTC** 2 OF 3 Oct. 2013



**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **SCL** 2 OF 3 Oct. 2013



**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **SF** 2 OF 4 Oct. 2013

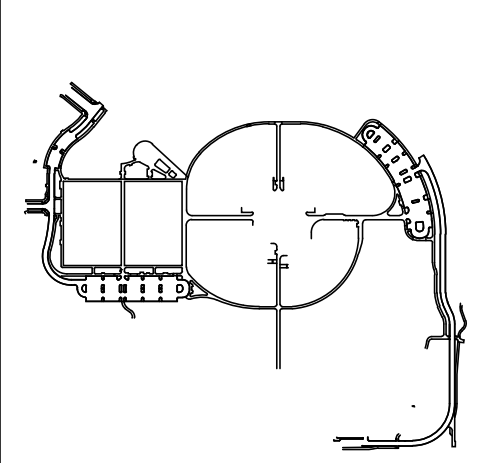
**hord coplan macht**  
 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977  
 CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1675 Lowell Street, #550  
 Denver, CO 80202  
 p. 303.444.1951  
 ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 2000 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297  
 IRRIGATION  
 Avocat Irrigation  
 11725 W. Ken-Caryl Ave., Suite F-509  
 Littleton, CO 80127  
 p. 303.966.2175  
 MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Regent Court, #500  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

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 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/JMS  
 Checked By: WTP/CWK/CFG



Drawing  
**CBMP DETAILS**

**CD-500**

SITE PLAN SUBMITTAL  
 Page 25 of 311

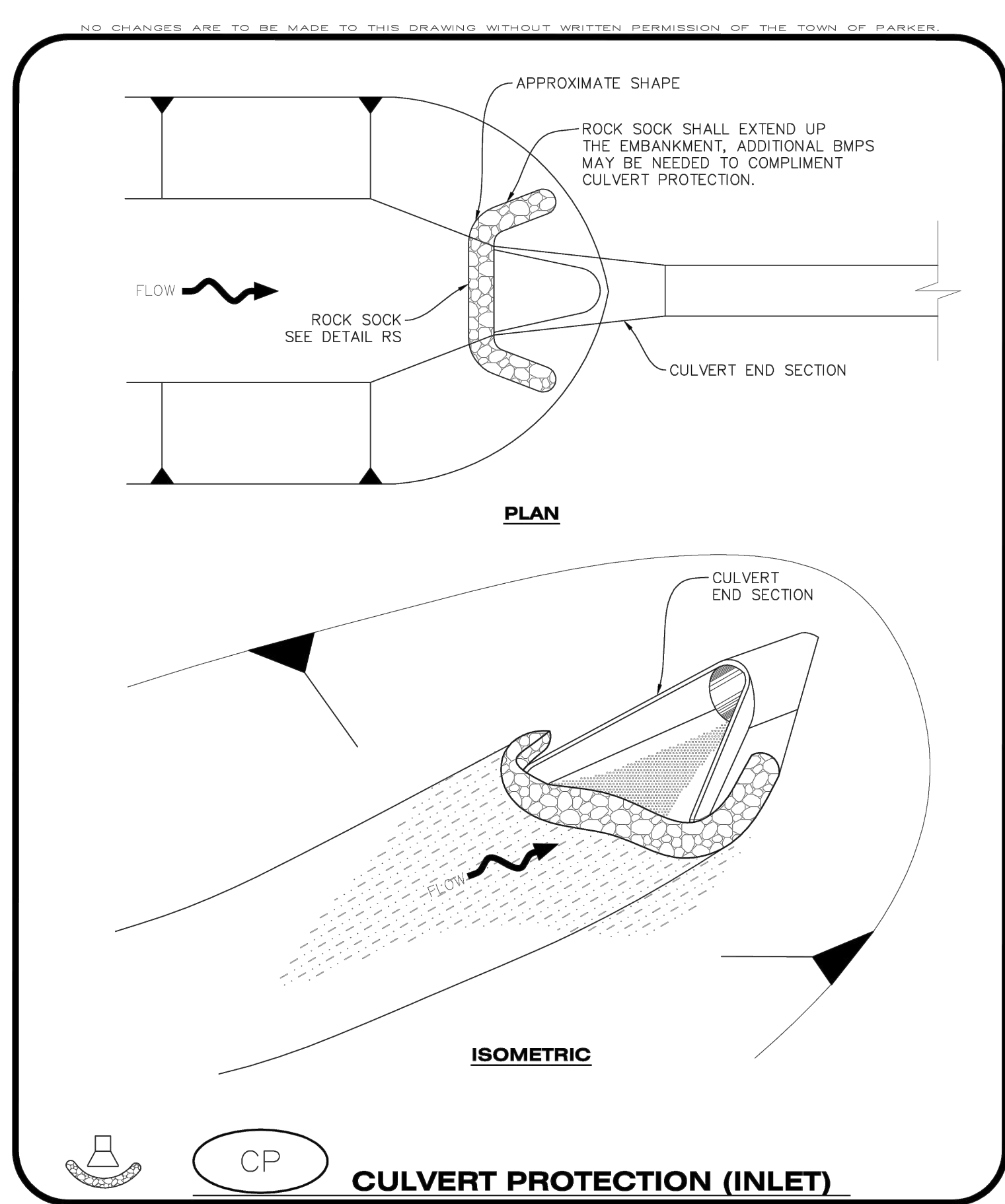
**COLORADO 811**  
 CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

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THE SQUARE AND ANY ARE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.

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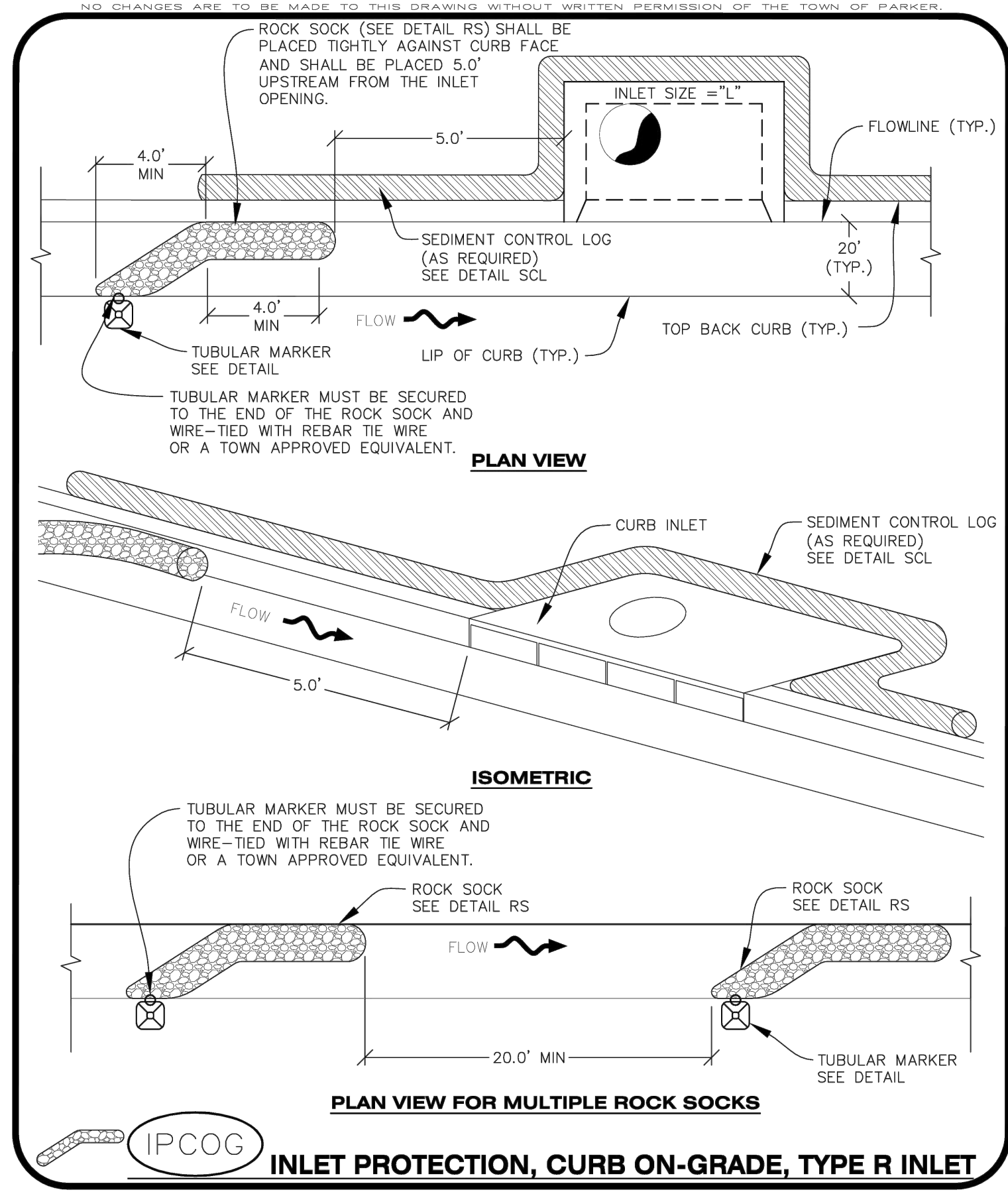
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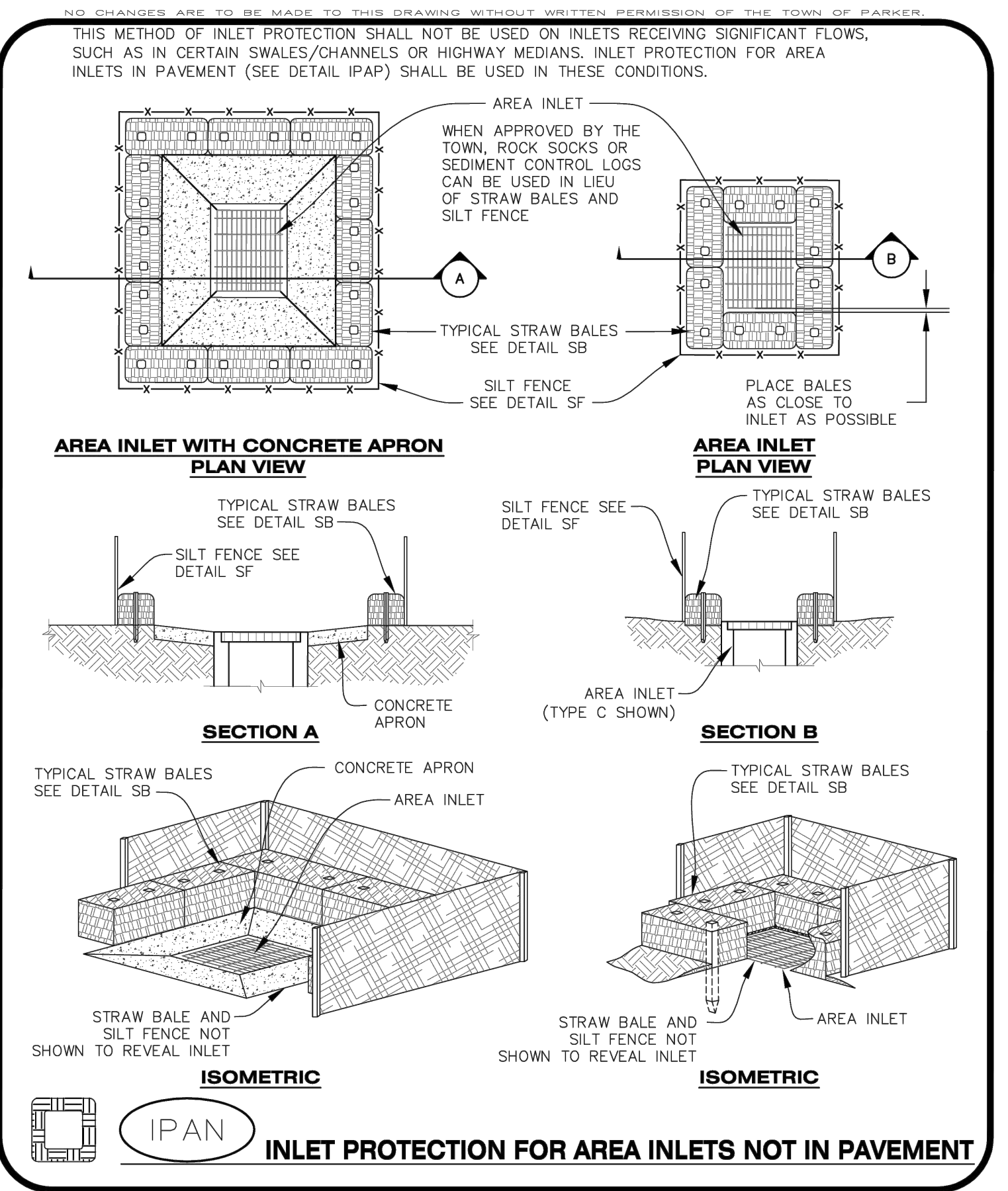
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CONSTRUCTION BEST MANAGEMENT PRACTICES

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1 OF 2  
Oct. 2013



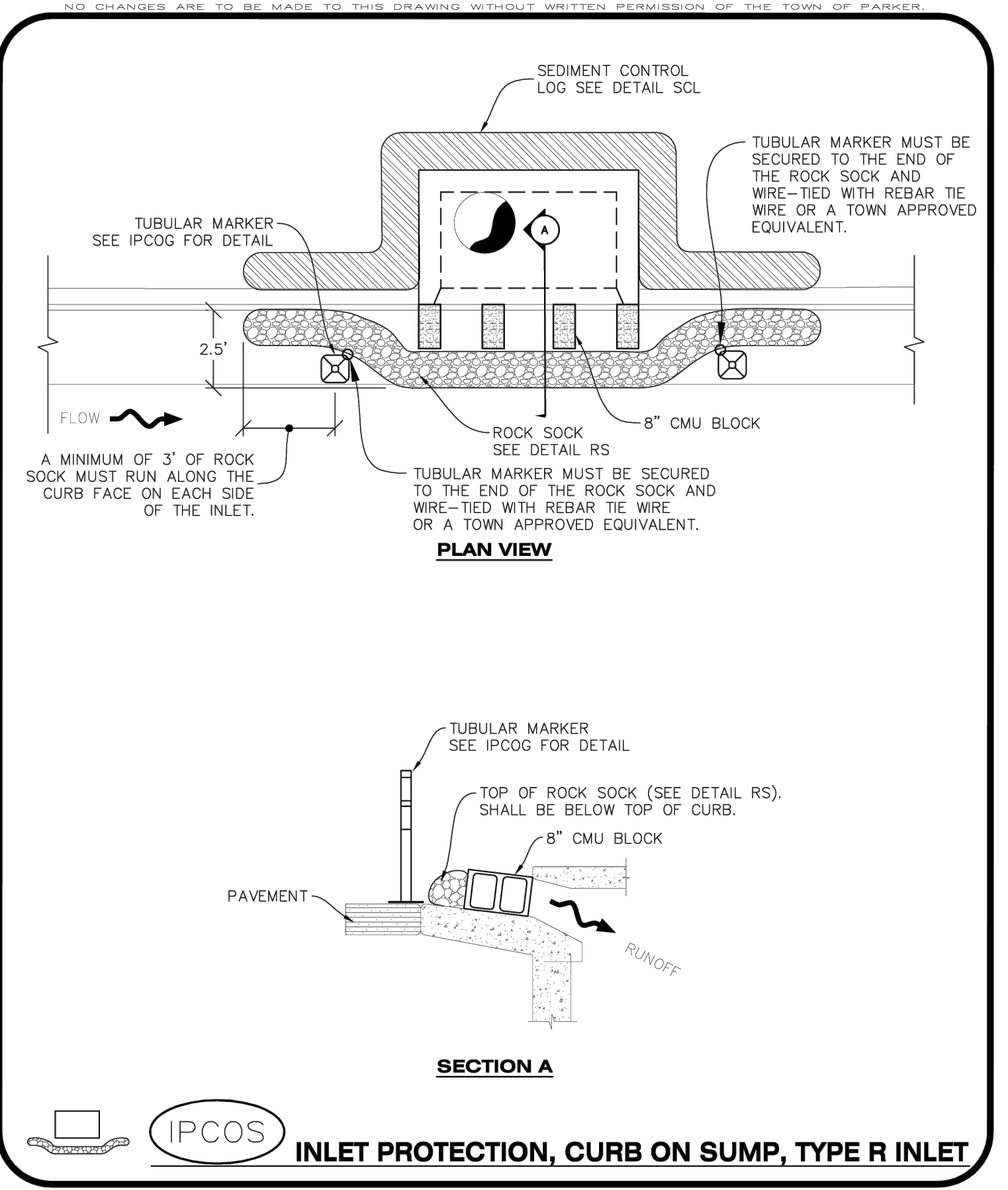
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CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG**  
1 OF 3  
Oct. 2013



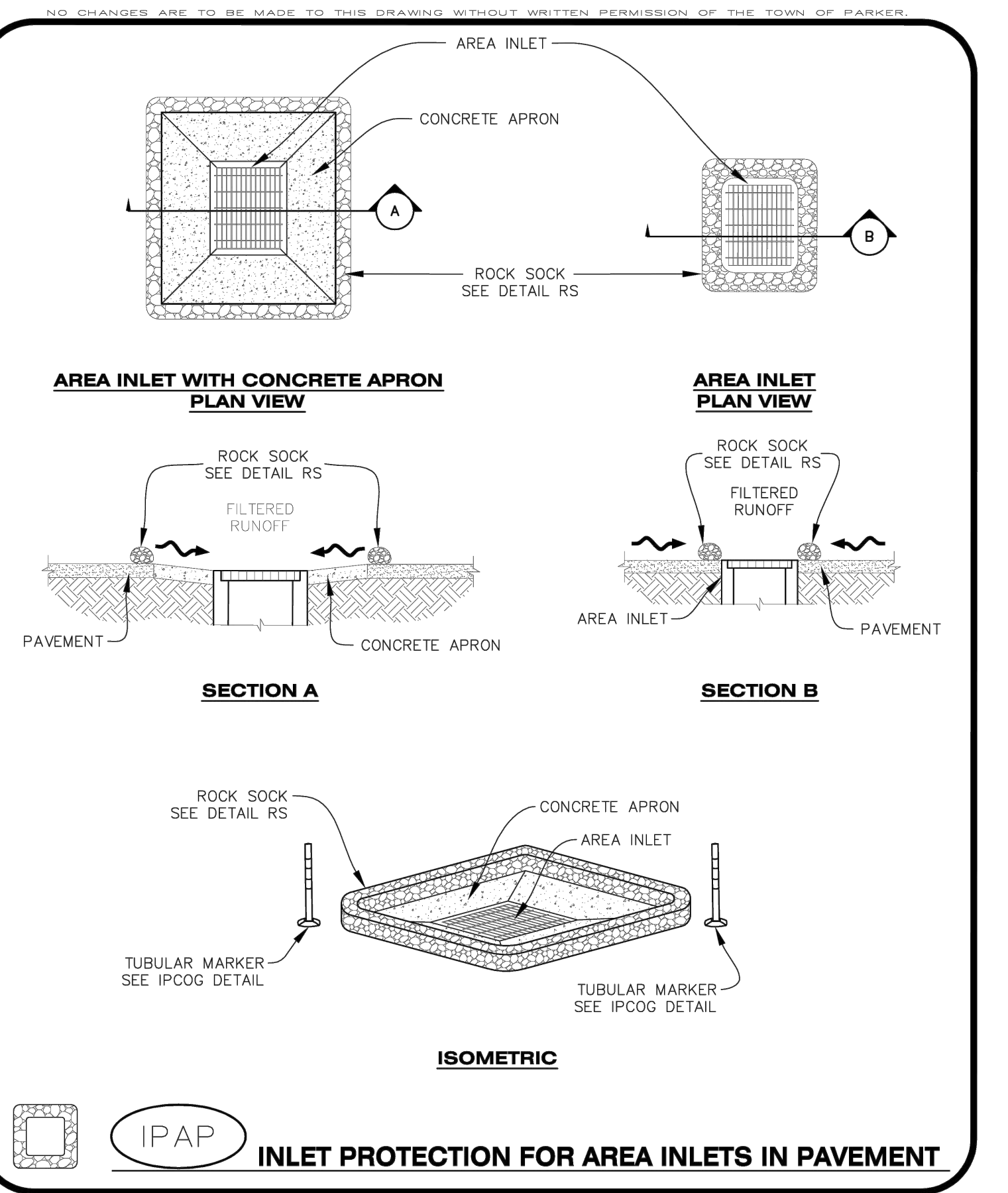
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CONSTRUCTION BEST MANAGEMENT PRACTICES

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1 OF 1  
Oct. 2013



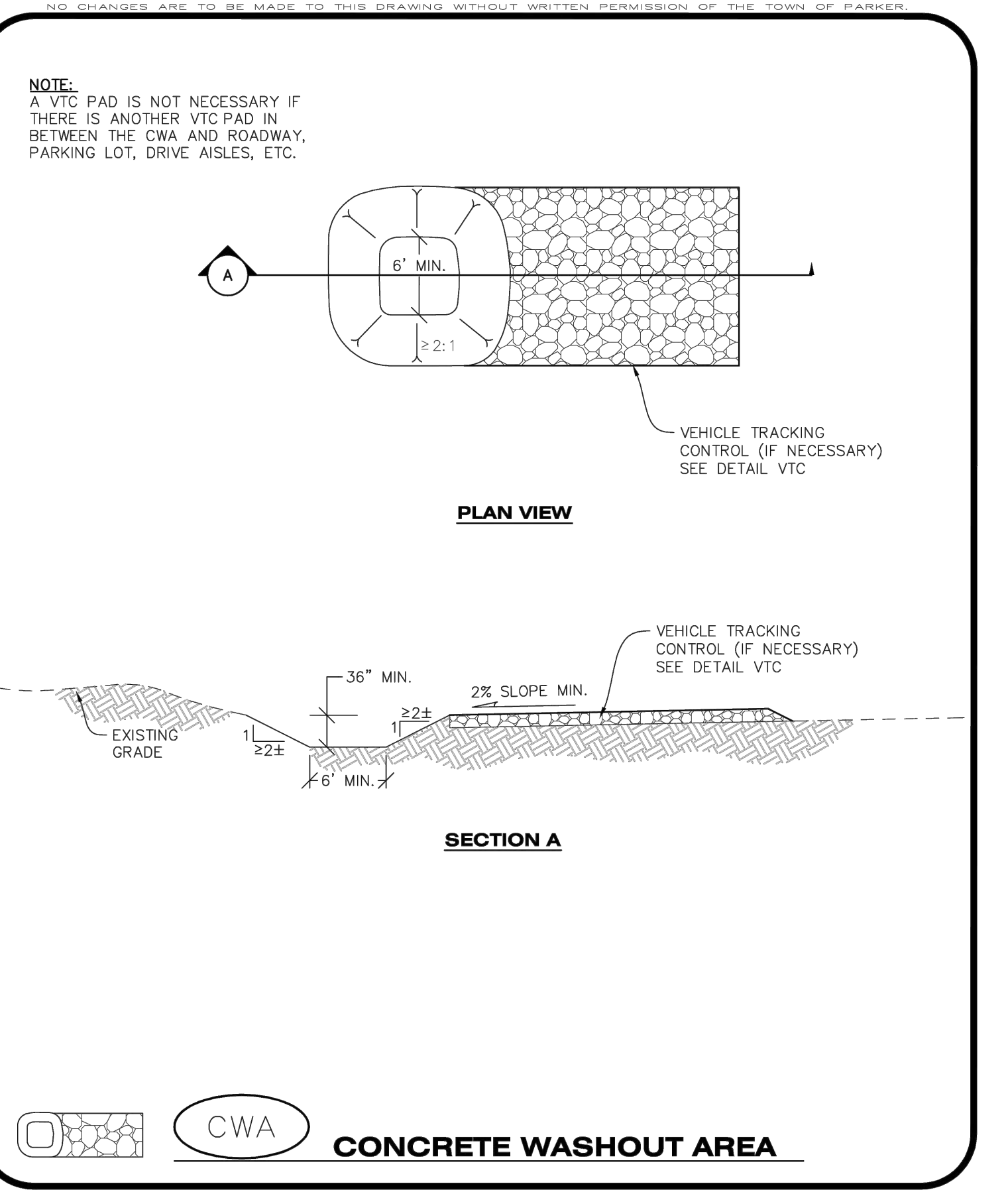
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CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOS**  
1 OF 2  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPAP**  
1 OF 1  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**CWA**  
1 OF 2  
Oct. 2013

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LANDSCAPE ARCHITECT / ARCHITECT  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
JVA Incorporated  
1675 Larimer Street, #550  
Denver, CO 80202  
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ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
2000 Youngfield Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

IRRIGATION  
Avocat Irrigation  
11725 W. Main Canyon Ave., Suite F-509  
Lakewood, CO 80127  
p. 303.986.2175

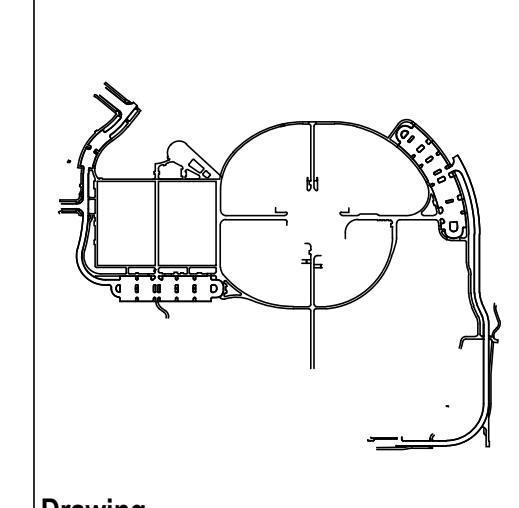
MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
9777 Federal Court, #400  
Englewood, CO 80112  
p. 303.688.0223

Town of Parker  
**SALISBURY PARK NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

**hord coplan macht**  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/MJS  
Checked By: WTP/CWK/CFG



Drawing  
**CBMP DETAILS**

**CD-501**  
SITE PLAN SUBMITTAL  
Page 26 of 311

**COLORADO 811**  
CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

THE SQUARE AND COLOR WITH BLACK AND WHITE LETTERS, PRINTED CORRECTLY.

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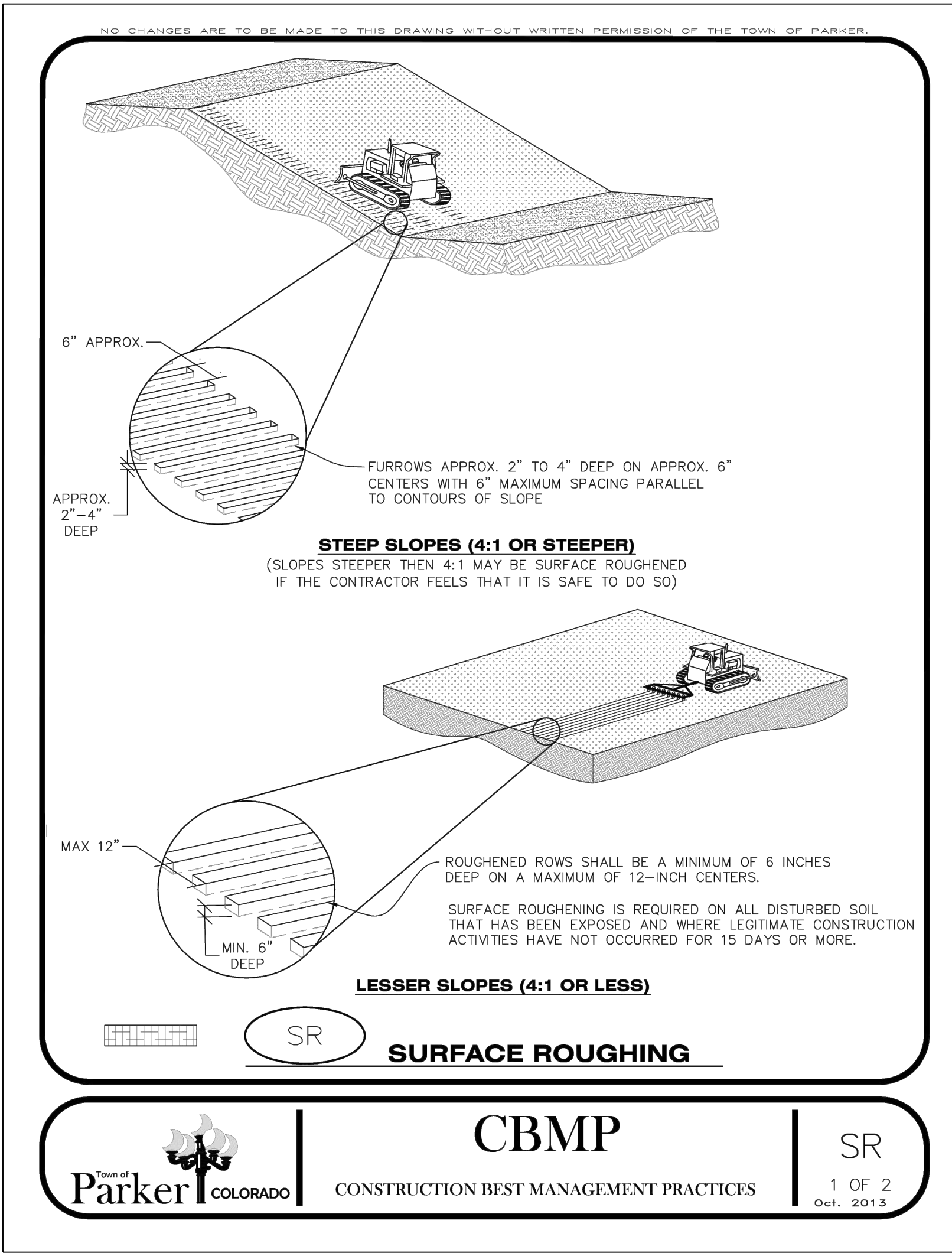
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**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

SR  
1 OF 2  
Oct. 2013

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LANDSCAPE ARCHITECT / ARCHITECT  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
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**CIVIL ENGINEER / STRUCTURAL ENGINEER**  
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Ackerman Engineering, Inc.  
3200 Youngfield Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

**IRRIGATION**  
Avocat Irrigation  
11725 W. 56th Circle Ave., Suite F-509  
LITTLETON, CO 80127  
p. 303.986.2175

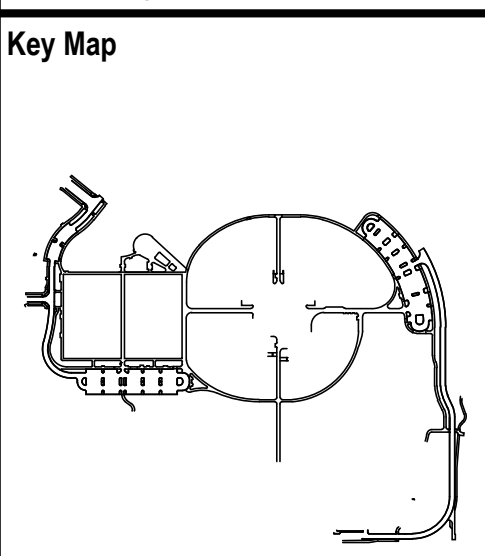
**MECHANICAL ENGINEER**  
ENVISION Mechanical Engineers, Inc.  
3772 Federal Court, #100  
Englewood, CO 80112  
p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

**hord coplan macht**  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

**Project Number:** 223072.00  
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**Drawn By:** AMF/MGG/MJS  
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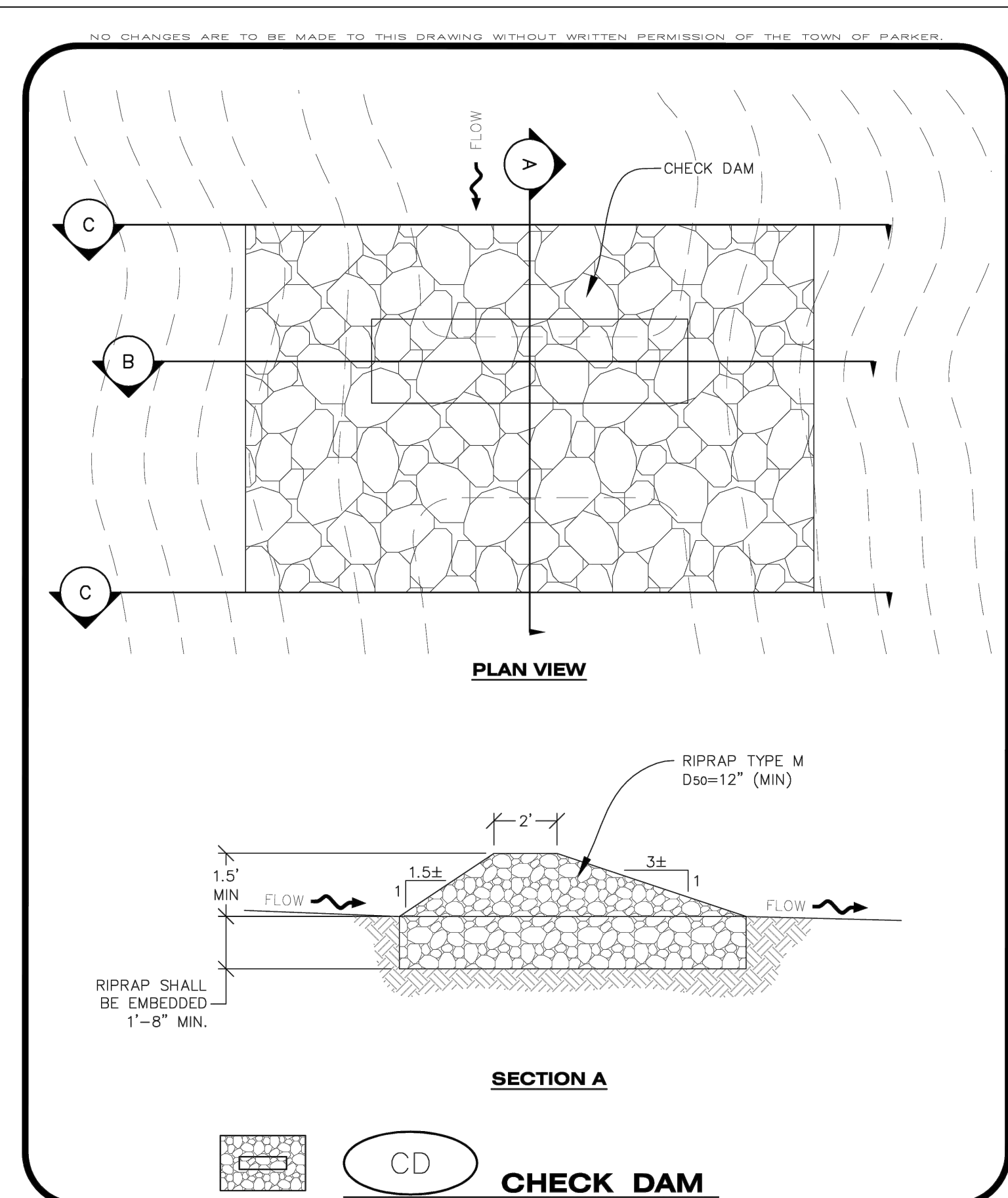
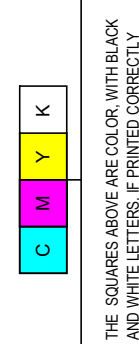


**Drawing**  
**CBMP DETAILS**

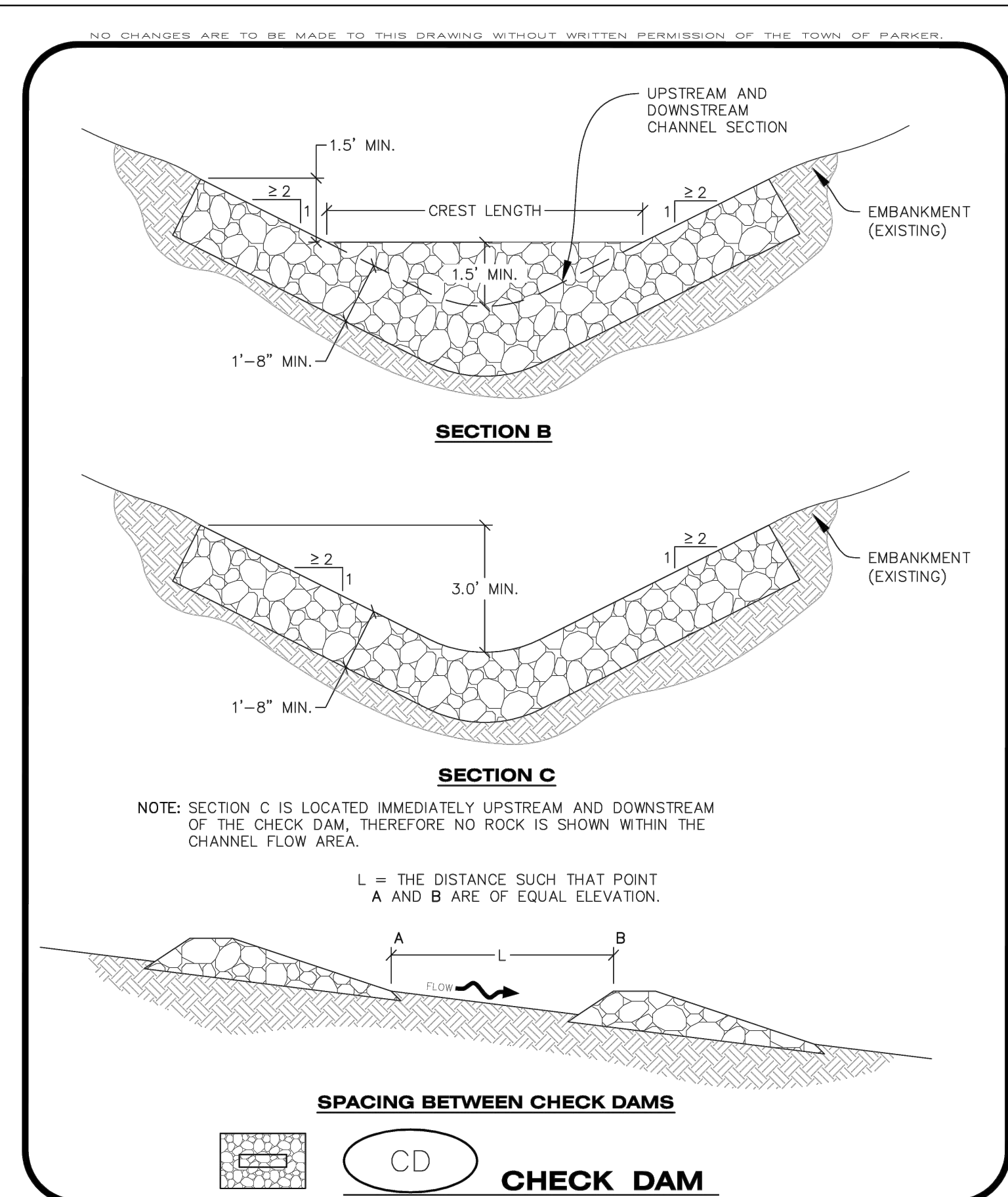
**CD-502**

SITE PLAN SUBMITTAL  
Page 27 of 311

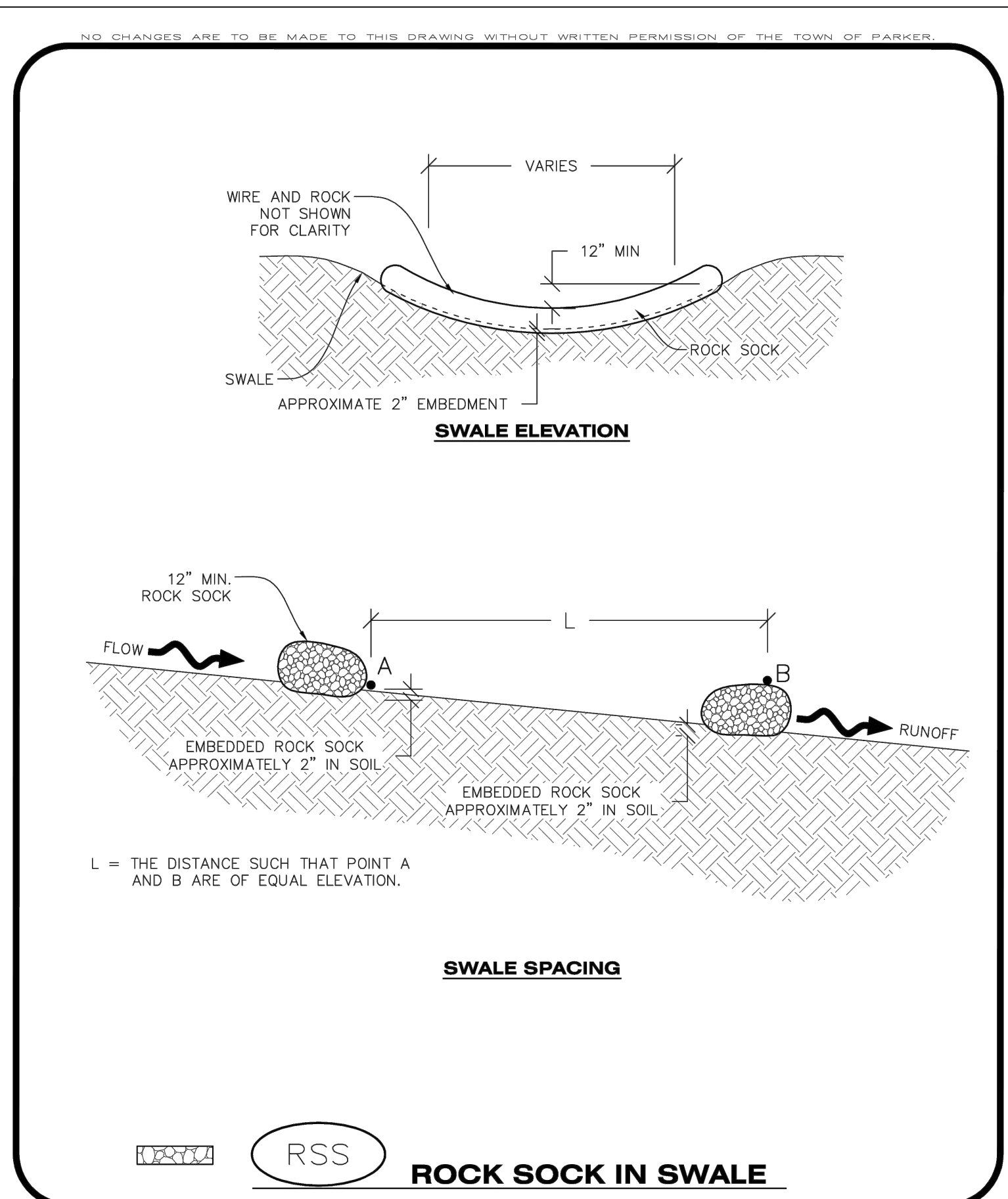
**COLORADO 811**  
CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES



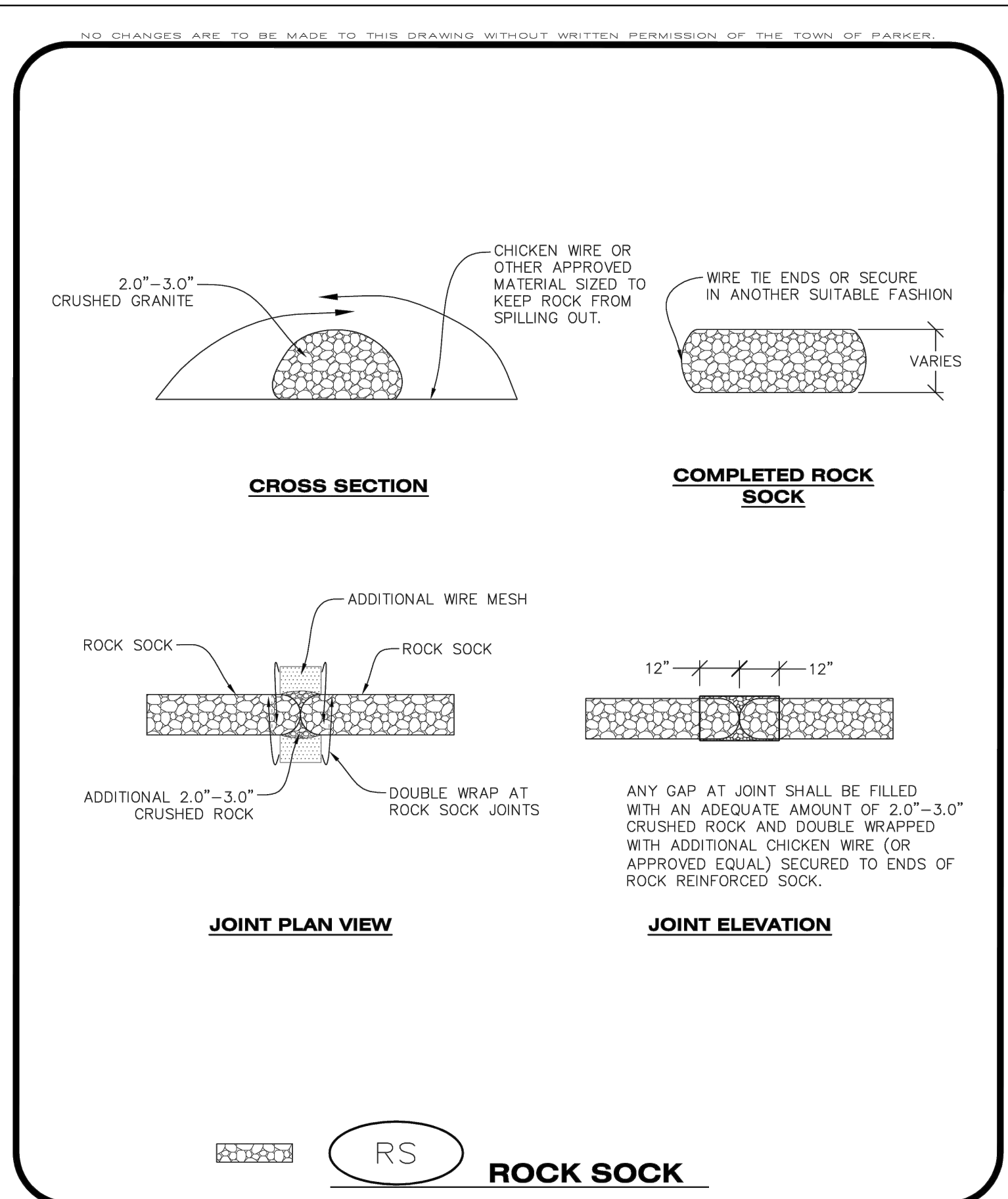
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CD**  
 1 OF 3 Oct. 2013



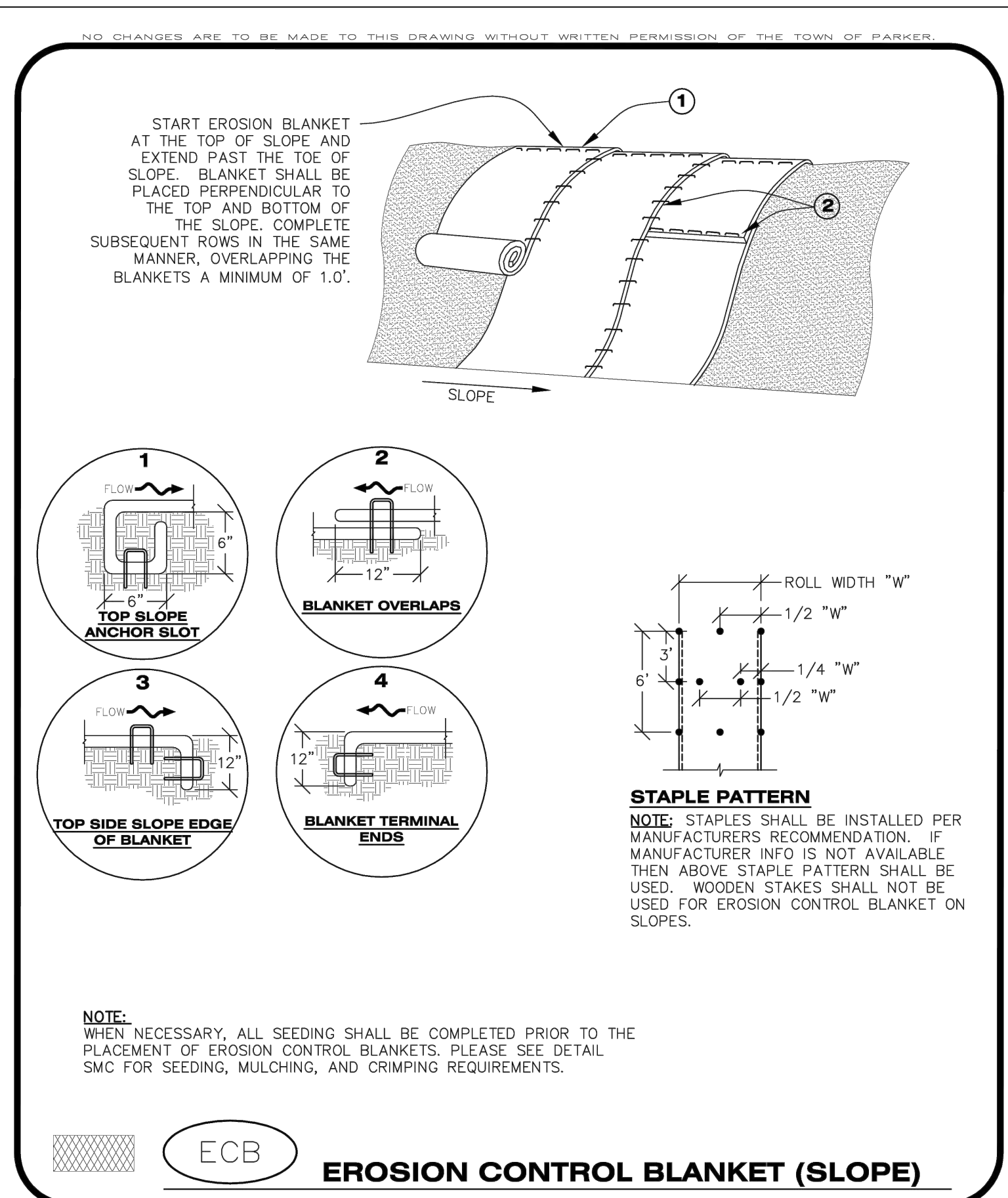
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CD**  
 2 OF 3 Oct. 2013



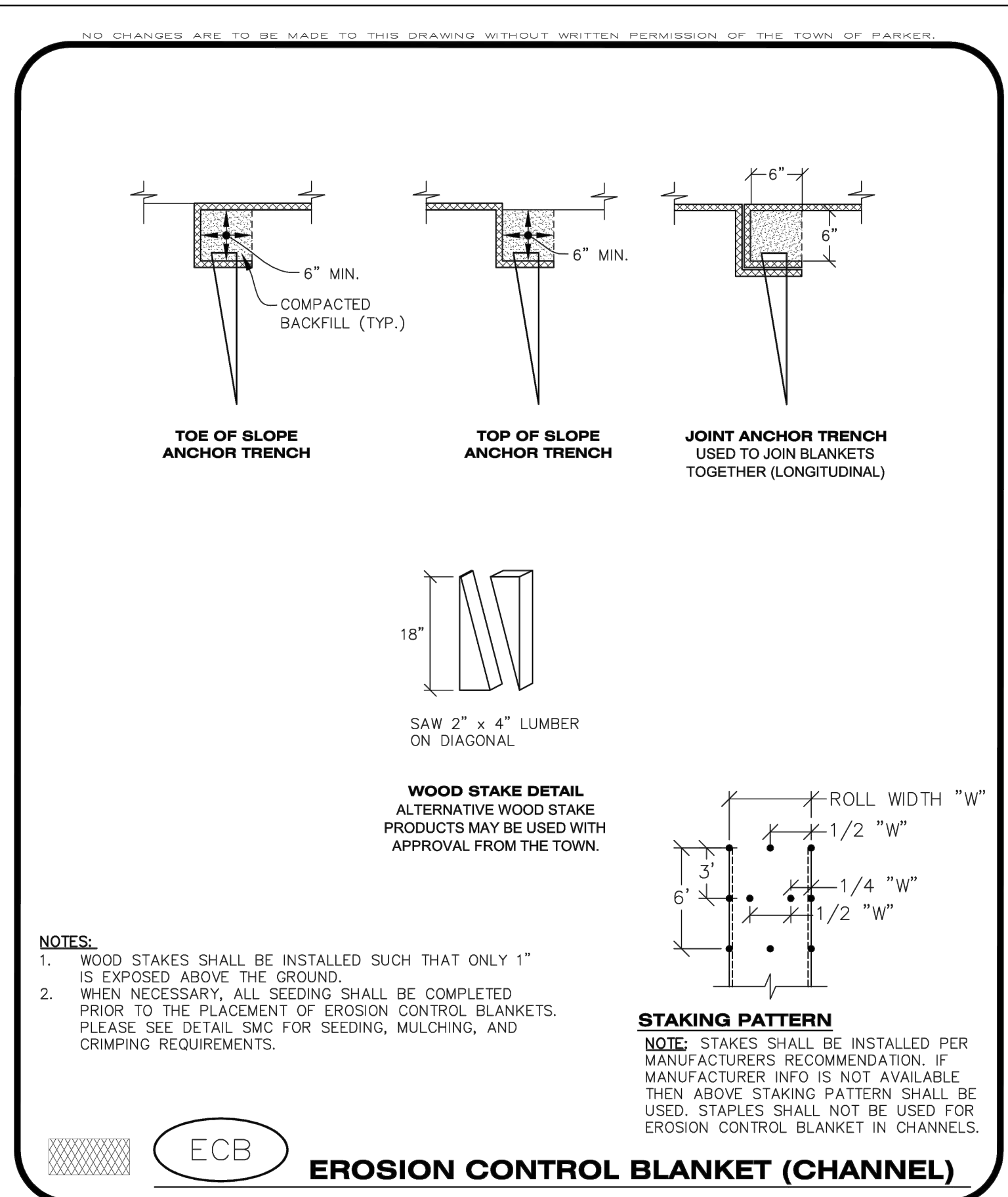
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 1 OF 1 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **RS**  
 1 OF 2 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **ECB**  
 1 OF 3 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **ECB**  
 2 OF 3 Oct. 2013

DATE	DESCRIPTION

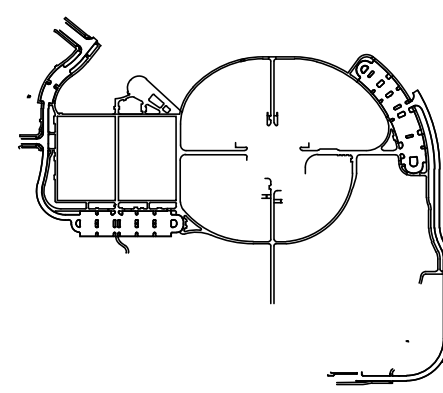
Project Number: 223072.00

Sheet Issue Date: 2024-11-22

Drawn By: AMF/MGG/MJS

Checked By: WTP/CWK/CFG

Key Map



Drawing  
**CBMP DETAILS**

**CD-503**

SITE PLAN SUBMITTAL  
 Page 28 of 311

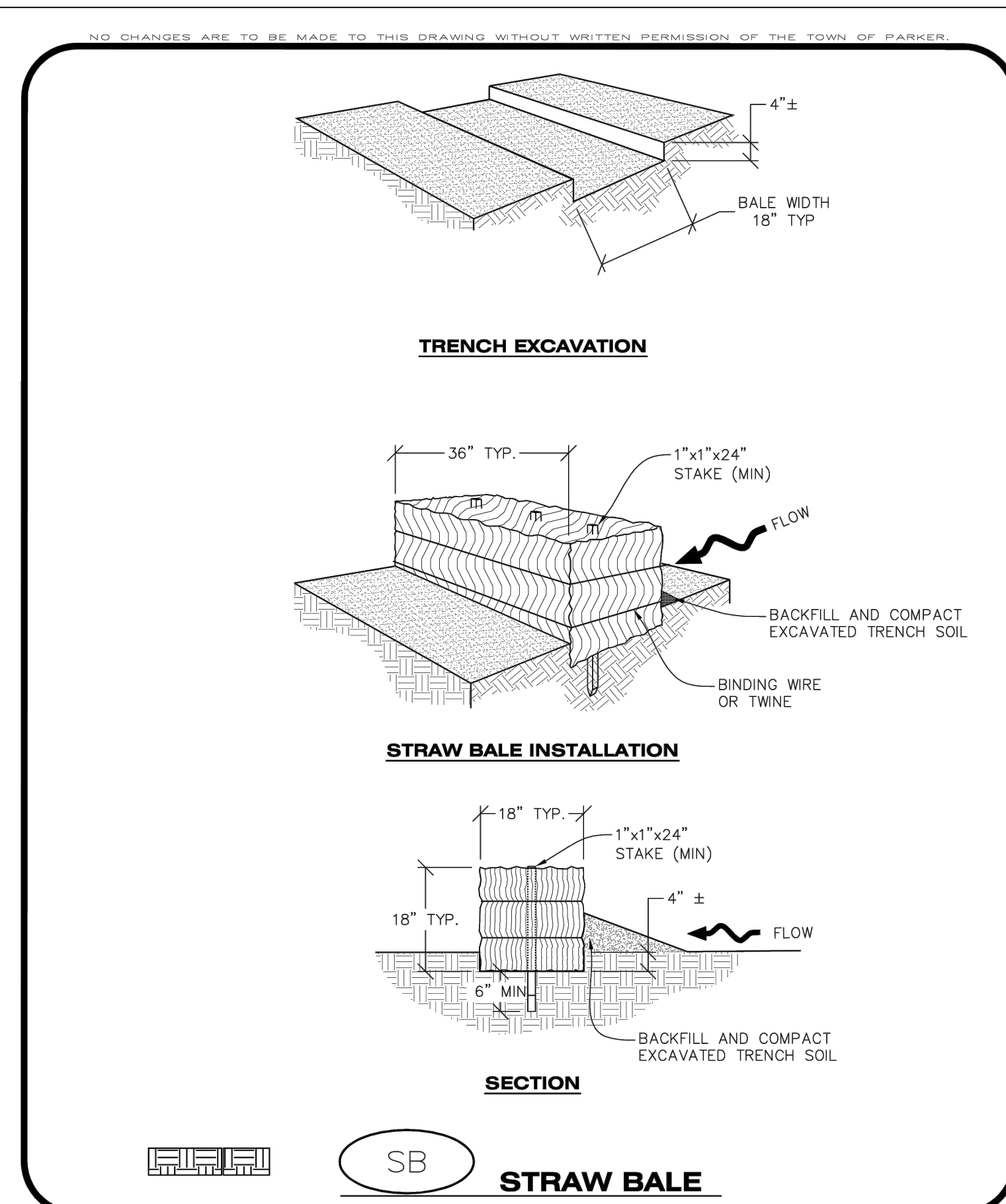
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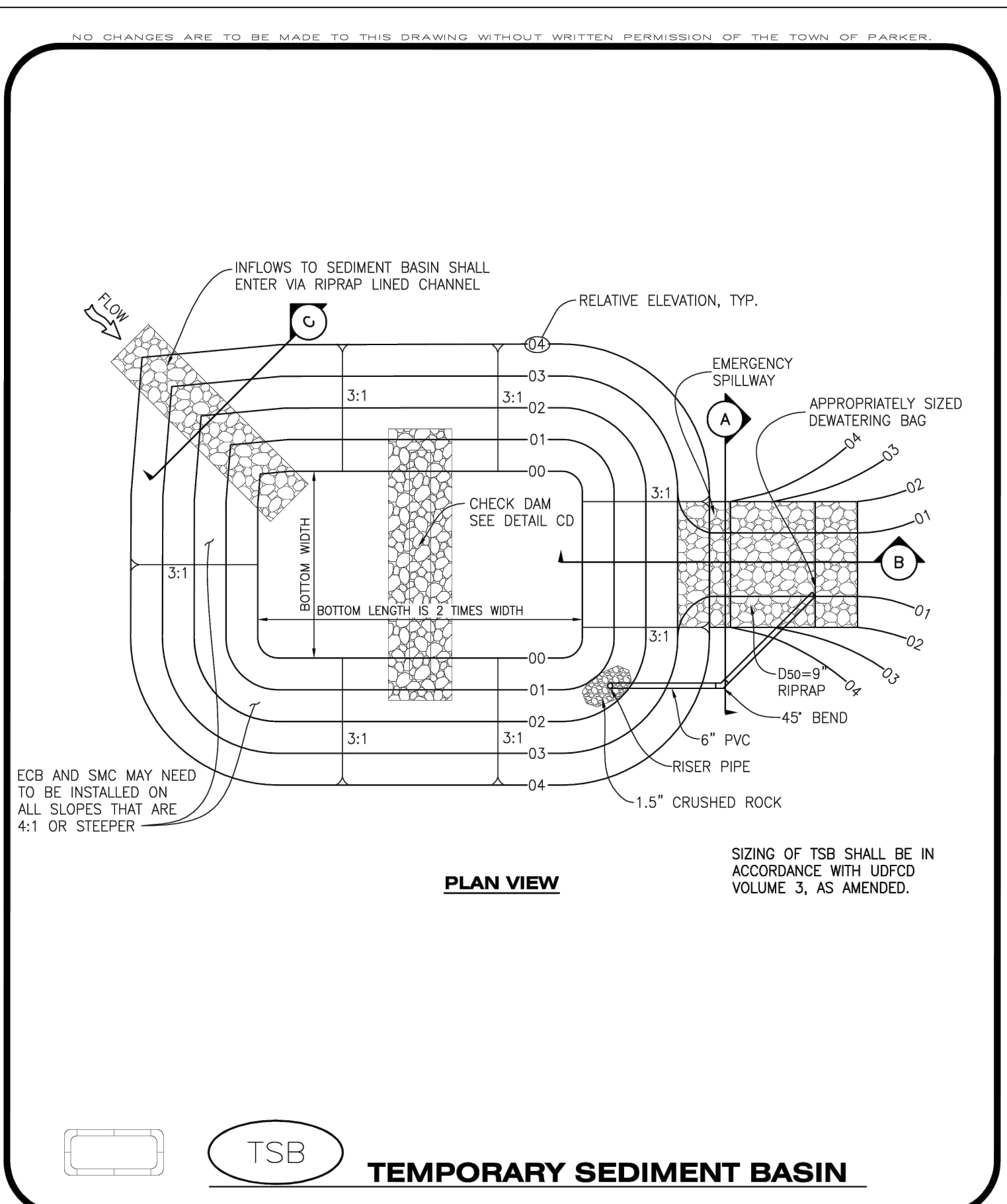
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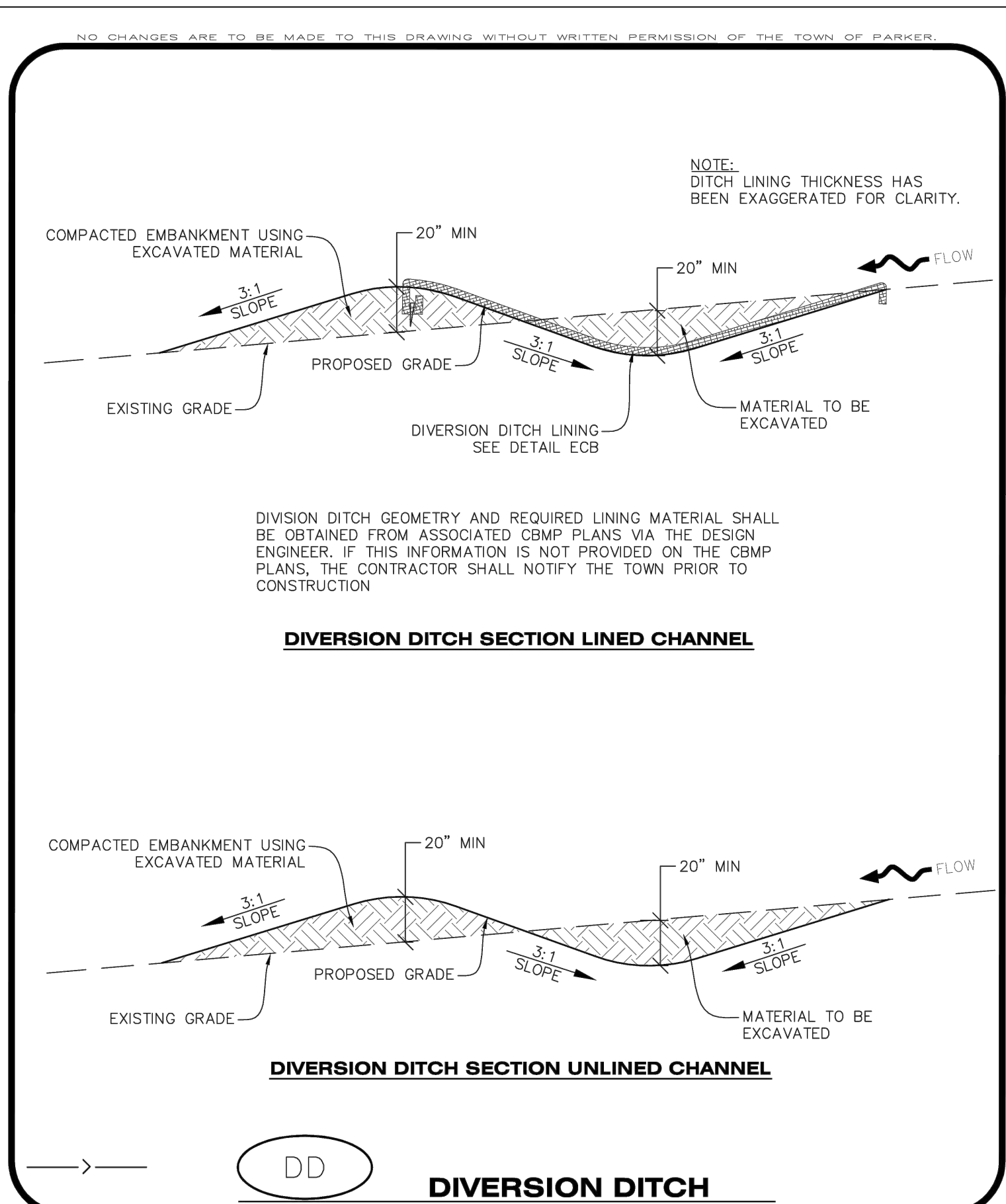
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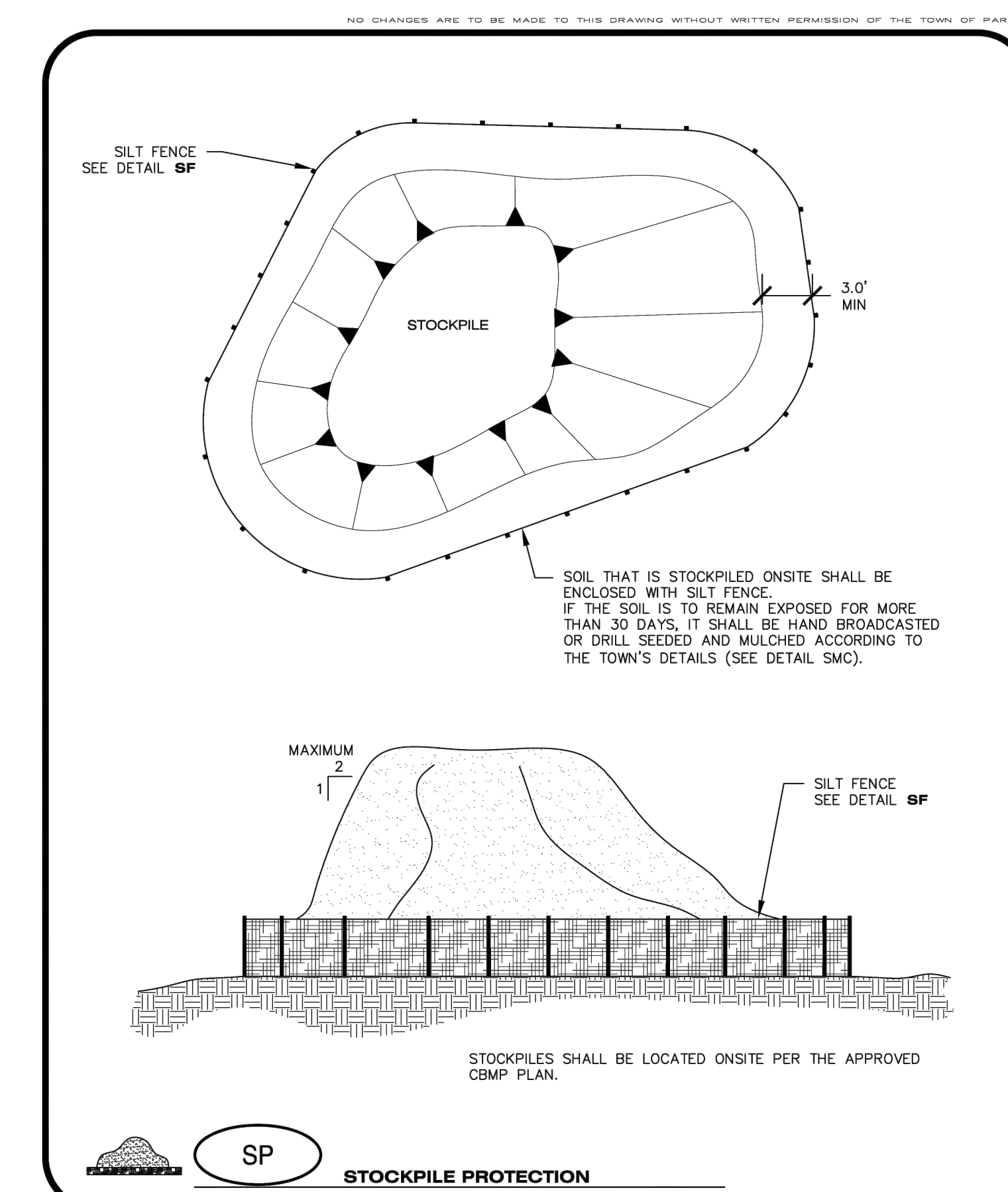
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CONSTRUCTION BEST MANAGEMENT PRACTICES | Oct. 2013



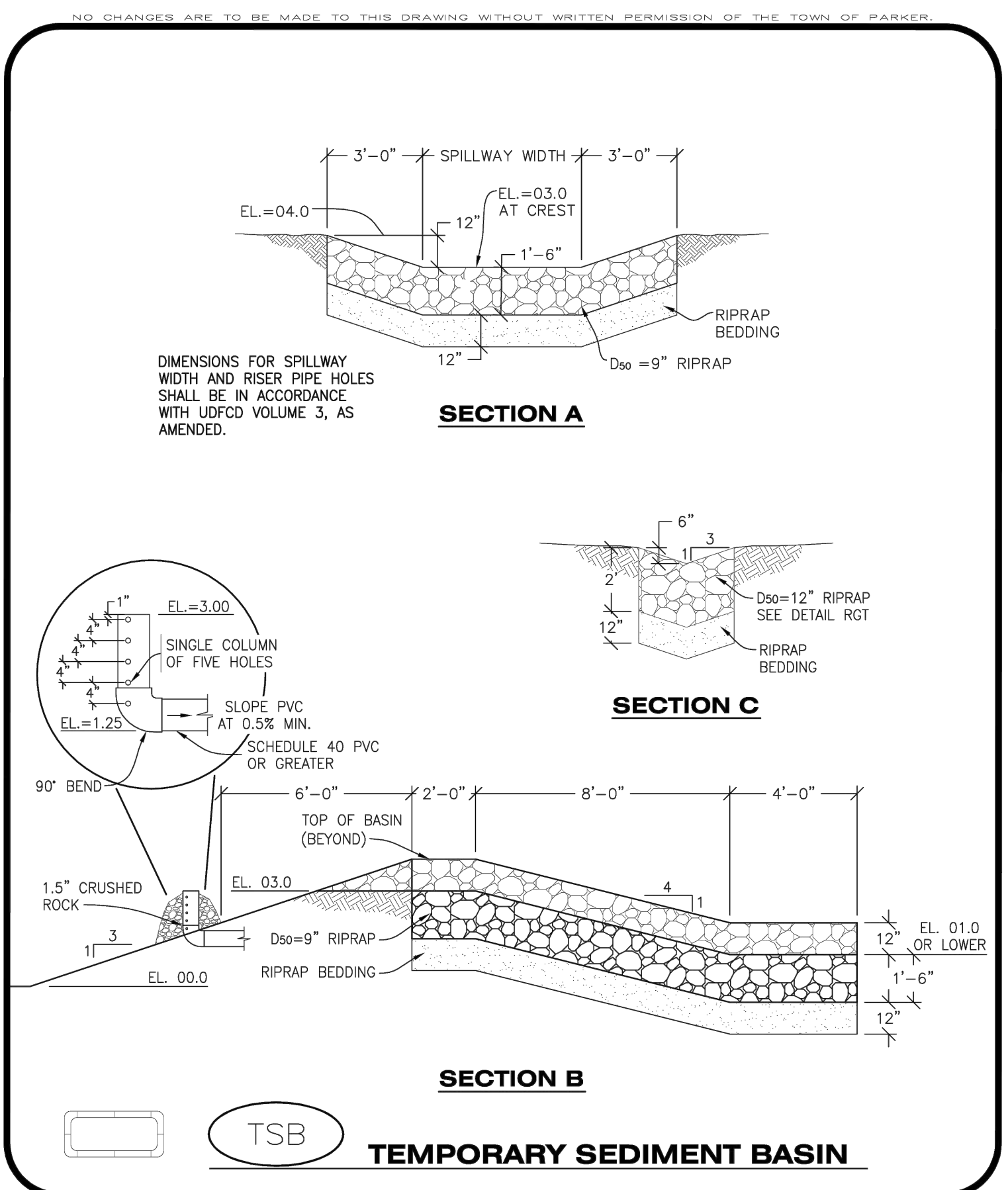
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CONSTRUCTION BEST MANAGEMENT PRACTICES | Oct. 2013



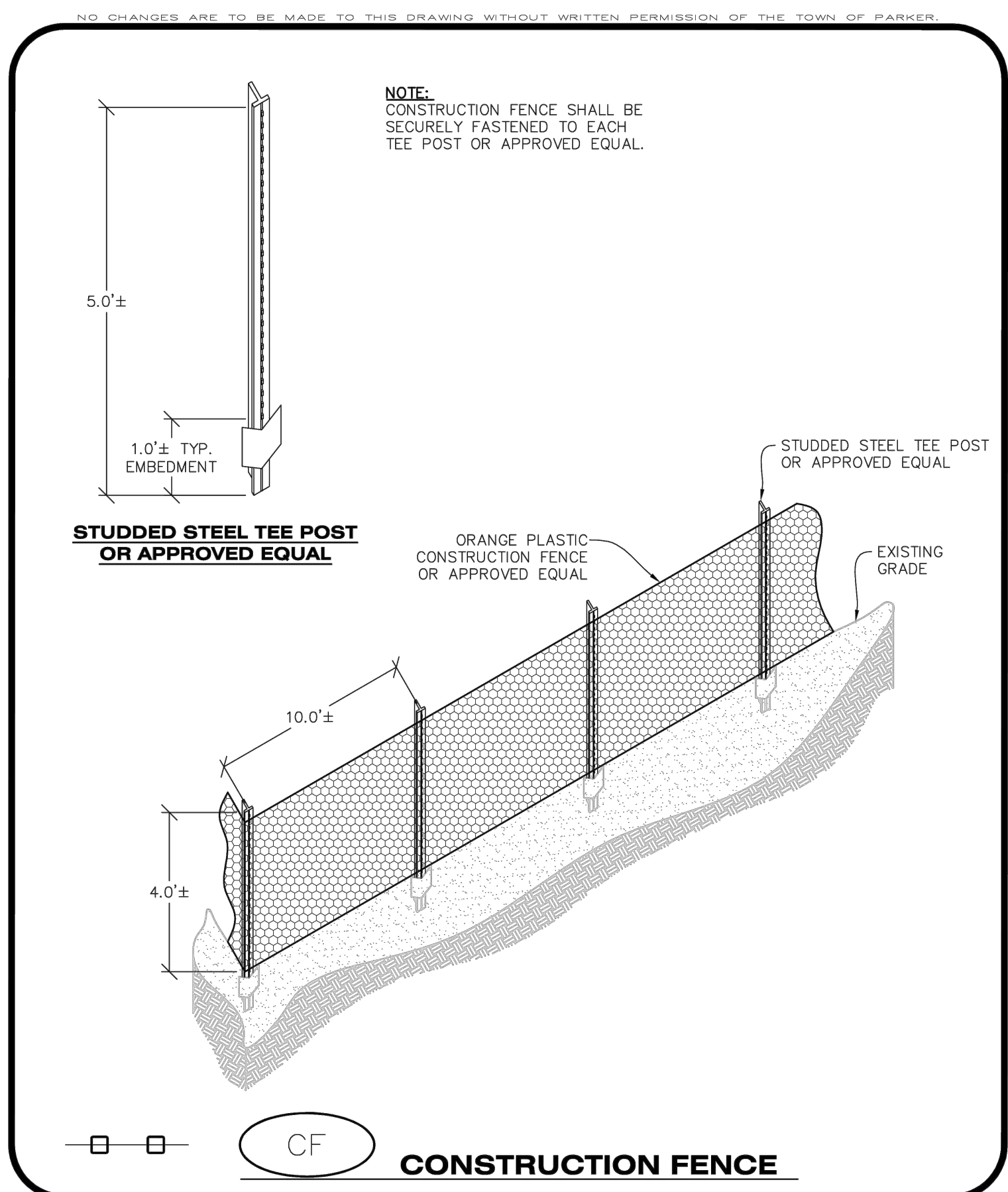
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CONSTRUCTION BEST MANAGEMENT PRACTICES | Oct. 2013



**CBMP** | **SP** | JUNE 2008  
CONSTRUCTION BEST MANAGEMENT PRACTICES



**CBMP** | **TSB** | 2 OF 3  
CONSTRUCTION BEST MANAGEMENT PRACTICES | Oct. 2013



**CBMP** | **CF** | 1 OF 2  
CONSTRUCTION BEST MANAGEMENT PRACTICES | Oct. 2013

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Denver, CO 80202  
p. 303.607.0977

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JVA Incorporated  
1075 Larimer Street, #550  
Denver, CO 80202  
p. 303.444.1951

ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
3200 Youngfield Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

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Avocat Irrigation  
11725 W. 56th Circle, Suite F-509  
LIMONA, CO 80137  
p. 303.986.2175

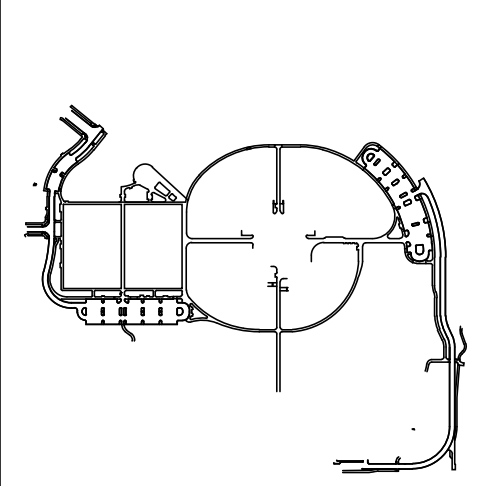
MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
3777 Federal Court, #500  
Englewood, CO 80112  
p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/JMS  
Checked By: WTP/CWK/CFG



Drawing  
**CBMP DETAILS**

**CD-504**  
SITE PLAN SUBMITTAL  
Page 29 of 311

**COLORADO 811**  
CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

Q:\37526 - Salisbury Park North Drawings\37526-06-EG-EG-01.dwg, 11/20/2024 - 12:16 PM, AJZ

THE LINE SHOWING IN RED OR COLOR WITH BLACK AND WHITE LETTERS IS PRINTED CORRECTLY

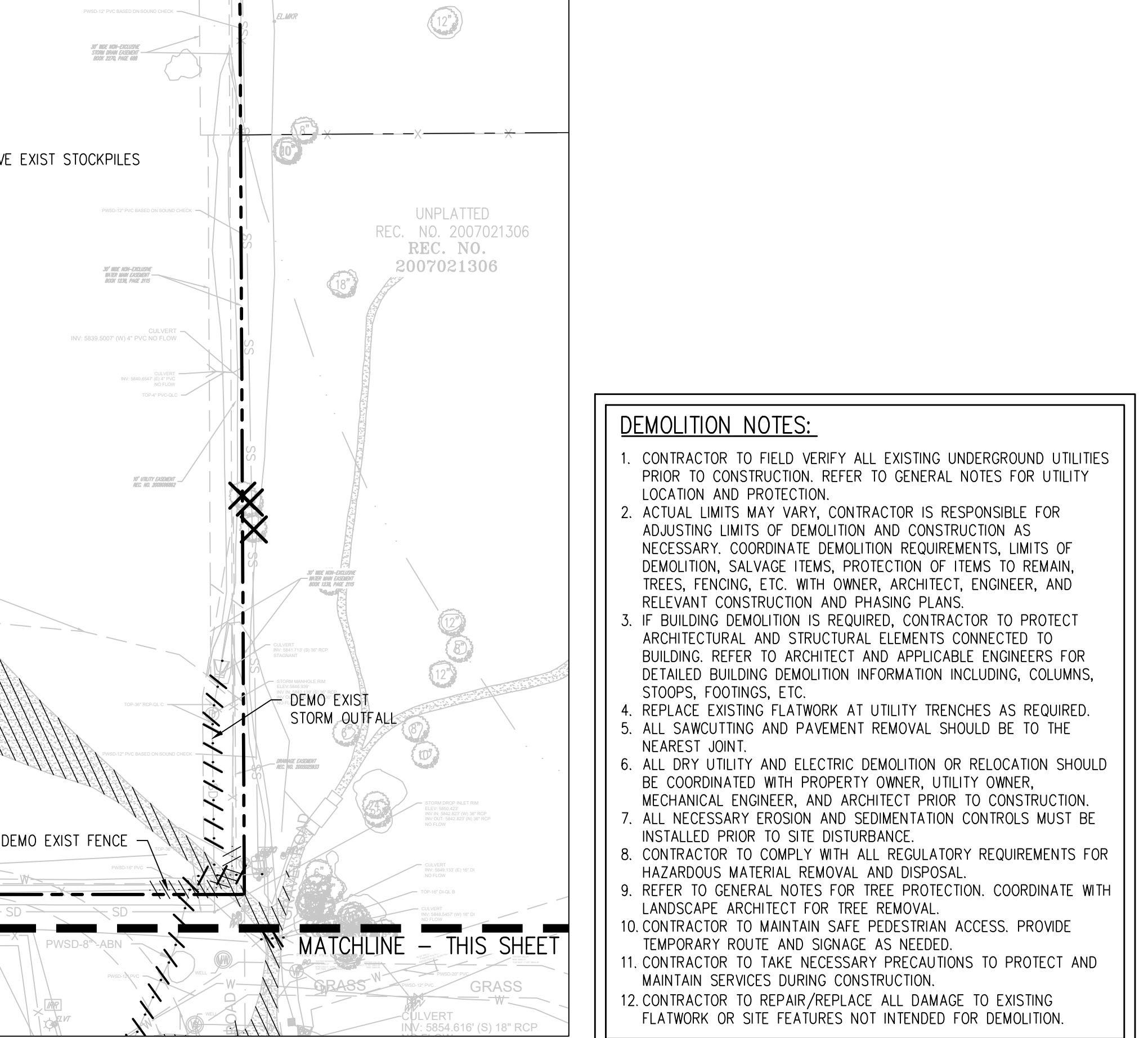
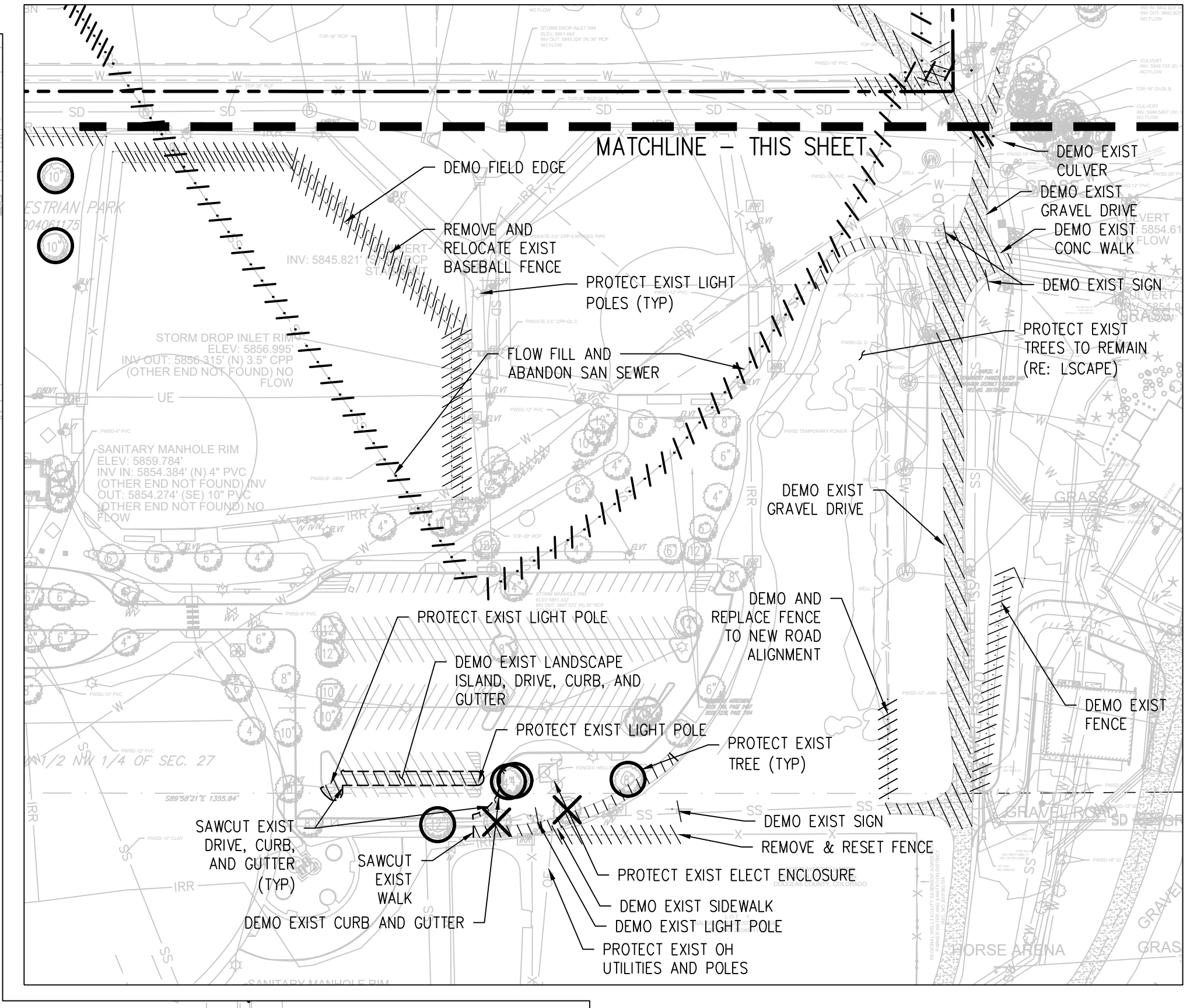
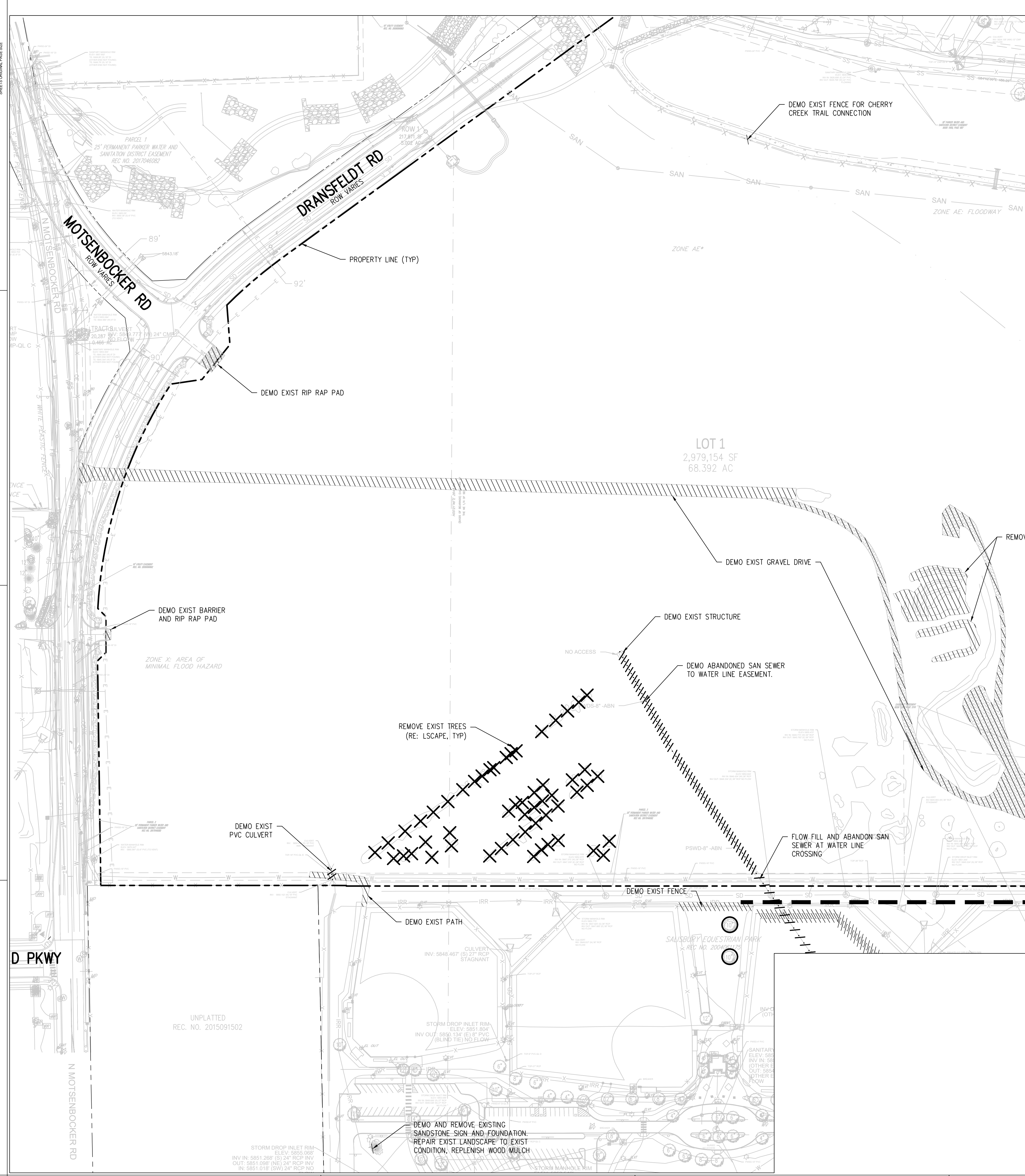
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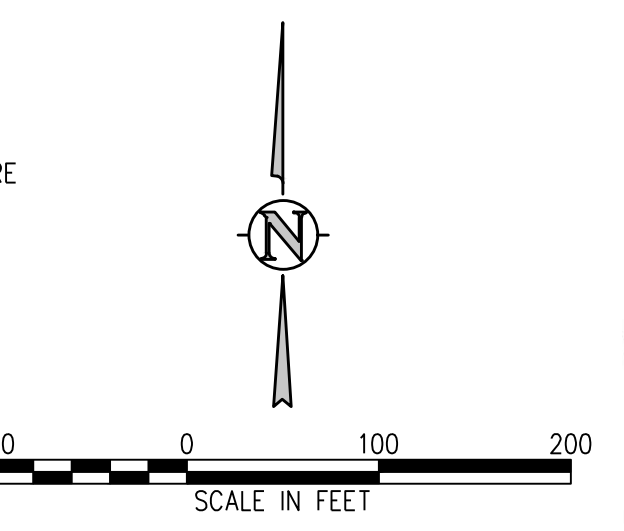
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- DEMOLITION NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  - ACTUAL LIMITS MAY VARY. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING LIMITS OF DEMOLITION AND CONSTRUCTION AS NECESSARY. COORDINATE DEMOLITION REQUIREMENTS, LIMITS OF DEMOLITION, SALVAGE ITEMS, PROTECTION OF ITEMS TO REMAIN, TREES, FENCING, ETC. WITH OWNER, ARCHITECT, ENGINEER, AND RELEVANT CONSTRUCTION AND PHASING PLANS.
  - IF BUILDING DEMOLITION IS REQUIRED, CONTRACTOR TO PROTECT ARCHITECTURAL AND STRUCTURAL ELEMENTS CONNECTED TO BUILDING. REFER TO ARCHITECT AND APPLICABLE ENGINEERS FOR DETAILED BUILDING DEMOLITION INFORMATION INCLUDING, COLUMNS, STOOBS, FOOTINGS, ETC.
  - REPLACE EXISTING FLATWORK AT UTILITY TRENCHES AS REQUIRED.
  - ALL SAWCUTTING AND PAVEMENT REMOVAL SHOULD BE TO THE NEAREST JOINT.
  - ALL DRY UTILITY AND ELECTRIC DEMOLITION OR RELOCATION SHOULD BE COORDINATED WITH PROPERTY OWNER, UTILITY OWNER, MECHANICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION.
  - ALL NECESSARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO SITE DISTURBANCE.
  - CONTRACTOR TO COMPLY WITH ALL REGULATORY REQUIREMENTS FOR HAZARDOUS MATERIAL REMOVAL AND DISPOSAL.
  - REFER TO GENERAL NOTES FOR TREE PROTECTION. COORDINATE WITH LANDSCAPE ARCHITECT FOR TREE REMOVAL.
  - CONTRACTOR TO MAINTAIN SAFE PEDESTRIAN ACCESS. PROVIDE TEMPORARY ROUTE AND SIGNAGE AS NEEDED.
  - CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN SERVICES DURING CONSTRUCTION.
  - CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING FLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.

- DEMOLITION LEGEND**
- DEMO SUBSURFACE FEATURE
  - DEMO SURFACE FEATURE
  - DEMO BUILDING
  - ABANDON SUBSURFACE FEATURE
  - LIMITS OF SAWCUT
  - REMOVE EXISTING TREE
  - PROTECT EXISTING TREE



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Denver, CO 80202  
p. 303.607.0977

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JVA Incorporated  
1675 Larimer Street, #550  
Denver, CO 80202  
p. 303.444.1951

ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
2009 Youngster Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

IRRIGATION  
Avocet Irrigation  
11757 W. 86th Circle, Suite F-509  
Littleton, CO 80120  
p. 303.966.2175

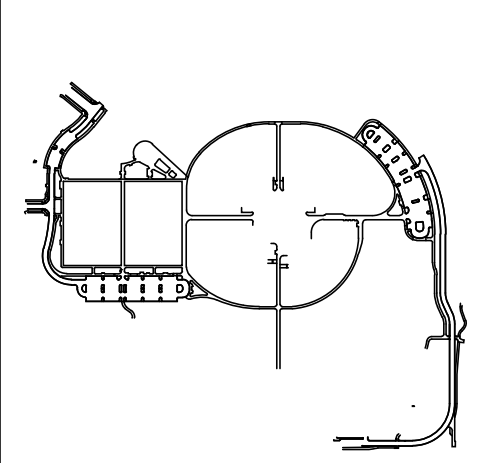
MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
9777 Federal Court, #100  
Englewood, CO 80112  
p. 303.688.0223

Town of Parker  
**SALISBURY PARK  
NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/MJS  
Checked By: WTP/CWK/CFG



Drawing  
**PHASE 1 DEMOLITION PLAN**

**C1-020**  
SITE PLAN SUBMITTAL  
Page 30 of 311

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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

**JVA RESPONSE: DRAINAGE WAYS HAVE BEEN LABELED, AND FLOW ARROWS HAVE BEEN ADDED.**  
 Please provide names of any major drainage ways/channels and include a flow direction arrow.

**JVA RESPONSE: DETAILED SHEETS HAVE BEEN ADDED/EXPANDED TO INCLUDE ALL AREAS WITH PROPOSED GRADING.**  
 Provide detailed grading/drainage plan sheets that encompass all proposed grading/earthwork areas of the project site. (TYP)

**JVA RESPONSE: NOTED A FLOODPLAIN DEVELOPMENT PERMIT HAS BEEN SUBMITTED AND A CLOMR WILL BE COMPLETED AT THE END OF THE CONSTRUCTION**  
 Per State and Town regulations, any development within the Special Flood Hazard Area (SFHA), otherwise known as the 100-year regulatory floodplain, which increases the base flood elevations more than 0.50-feet shall require a CLOMR be submitted on the community's behalf. Any development which increases or decreases the base flood elevations more than 0.30-feet shall require a LOMR be submitted on the community's behalf.

Per State and Town regulations, any development within the FEMA Floodway which results in an increase or decrease in base flood elevations above 0.00-feet shall require a CLOMR and LOMR be submitted on the community's behalf.

**JVA RESPONSE: NOTED**

- GRADING AND DRAINAGE NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  - CONTRACTOR TO POTHOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
  - REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.
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 JVA Incorporated  
 7075 Lowell Street, #500  
 Denver, CO 80202  
 p. 303.444.1951

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 3200 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

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 Avocet Irrigation  
 11725 W. Ken-Cox Ave., Suite F-509  
 Littleton, CO 80120  
 p. 303.986.5175

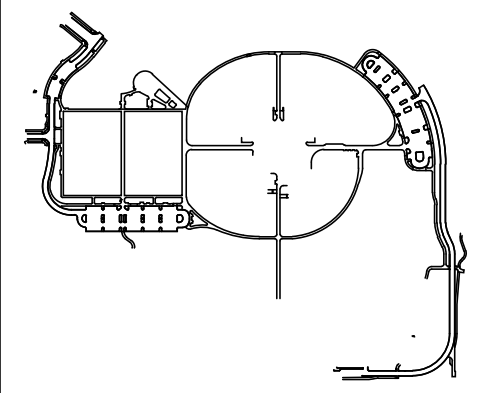
MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 3777 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.698.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

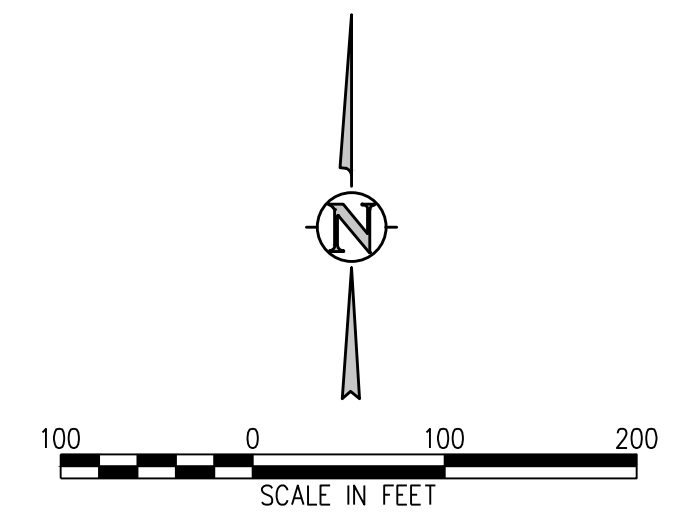
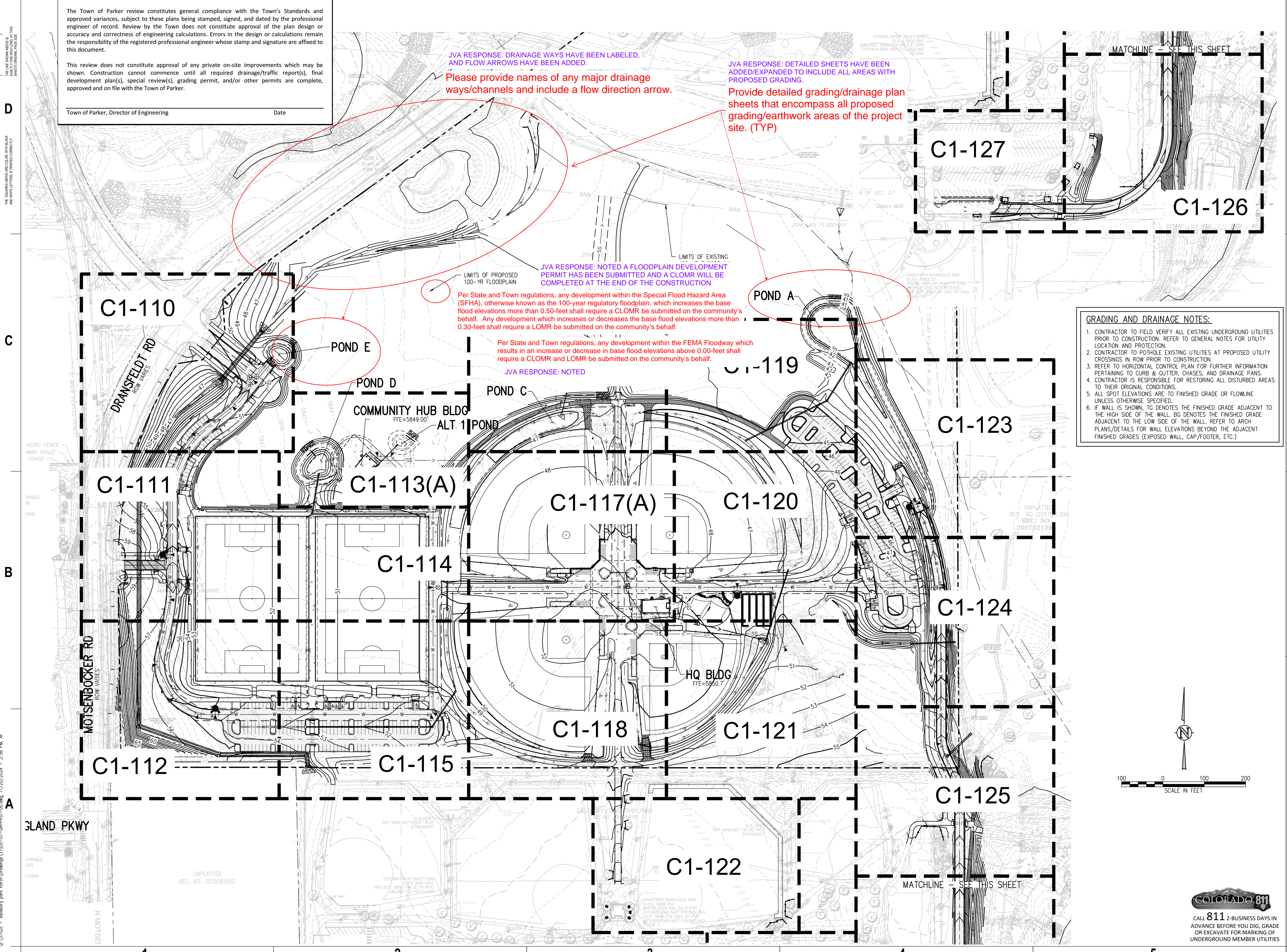
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 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG  
 Key Map



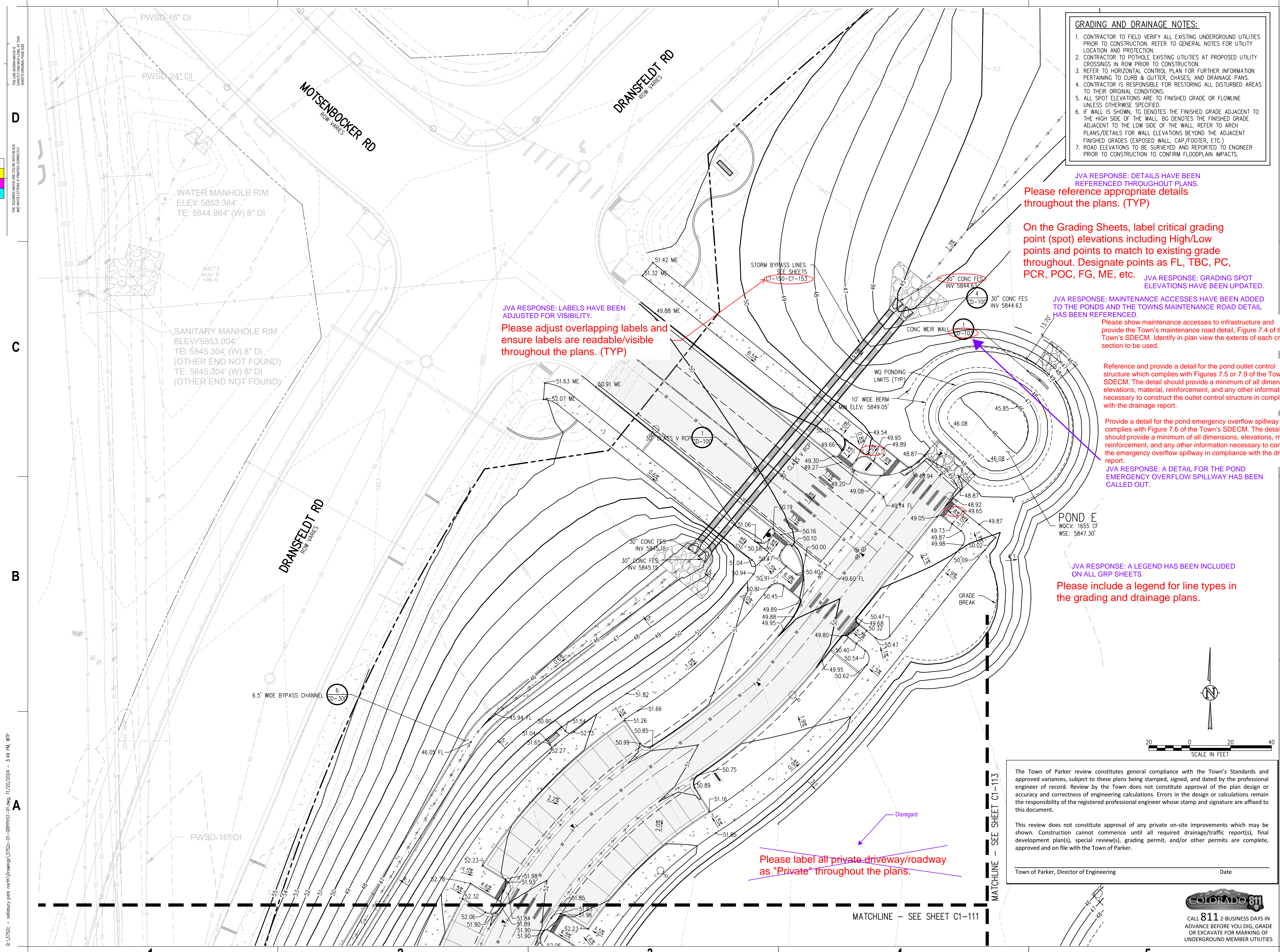
Drawing  
 PHASE 1 OVERALL  
 GRADING & DRAINAGE  
 PLAN

**C1-100**  
 SITE PLAN SUBMITTAL  
 Page 31 of 311

**COLORADO 811**  
 CALL 811 2-BUSINESS DAYS IN  
 ADVANCE BEFORE YOU DIG, GRADE  
 OR EXCAVATE FOR MARKING OF  
 UNDERGROUND MEMBER UTILITIES



THE LINE SHOWN ABOVE IS THE BOUNDARY OF THE PROJECT PROPERTY.  
 THE SQUARES ABOVE ARE COLOR KEY WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.  
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- GRADING AND DRAINAGE NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  - CONTRACTOR TO POTHOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
  - REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER CHASES AND DRAINAGE PANS.
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  - ROAD ELEVATIONS TO BE SURVEYED AND REPORTED TO ENGINEER PRIOR TO CONSTRUCTION TO CONFIRM FLOODPLAIN IMPACTS.

**JVA RESPONSE: DETAILS HAVE BEEN REFERENCED THROUGHOUT PLANS.**  
Please reference appropriate details throughout the plans. (TYP)

**On the Grading Sheets, label critical grading point (spot) elevations including High/Low points and points to match to existing grade throughout. Designate points as FL, TBC, PC, PCR, POC, FG, ME, etc.**  
JVA RESPONSE: GRADING SPOT ELEVATIONS HAVE BEEN UPDATED.

**JVA RESPONSE: MAINTENANCE ACCESSES HAVE BEEN ADDED TO THE PONDS AND THE TOWNS MAINTENANCE ROAD DETAIL HAS BEEN REFERENCED.**  
Please show maintenance accesses to infrastructure and provide the Town's maintenance road detail, Figure 7.4 of the Town's SDECM. Identify in plan view the extents of each cross section to be used.

**Reference and provide a detail for the pond outlet control structure which complies with Figures 7.5 or 7.9 of the Town's SDECM. The detail should provide a minimum of all dimensions, elevations, material, reinforcement, and any other information necessary to construct the outlet control structure in compliance with the drainage report.**

**Provide a detail for the pond emergency overflow spillway which complies with Figure 7.6 of the Town's SDECM. The detail should provide a minimum of all dimensions, elevations, material, reinforcement, and any other information necessary to construct the emergency overflow spillway in compliance with the drainage report.**  
JVA RESPONSE: A DETAIL FOR THE POND EMERGENCY OVERFLOW SPILLWAY HAS BEEN CALLED OUT.

**JVA RESPONSE: A LEGEND HAS BEEN INCLUDED ON ALL GRP SHEETS.**  
Please include a legend for line types in the grading and drainage plans.

**JVA RESPONSE: LABELS HAVE BEEN ADJUSTED FOR VISIBILITY.**  
Please adjust overlapping labels and ensure labels are readable/visible throughout the plans. (TYP)

**Please label all private driveway/roadway as "Private" throughout the plans.**

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LANDSCAPE ARCHITECT / ARCHITECT  
1800 Wazee Street, Suite 450  
Denver, CO 80202  
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
JVA Incorporated  
1075 Larimer Street, 450  
Denver, CO 80202  
p. 303.444.1961

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3000 Youngfield Street, 4004  
Wheat Ridge, CO 80215  
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11725 W. Ken-Caryl Ave., Suite F-509  
LIMONA, CO 80137  
p. 303.986.2175

MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
9777 Federal Court, 400  
Englewood, CO 80112  
p. 303.688.0223

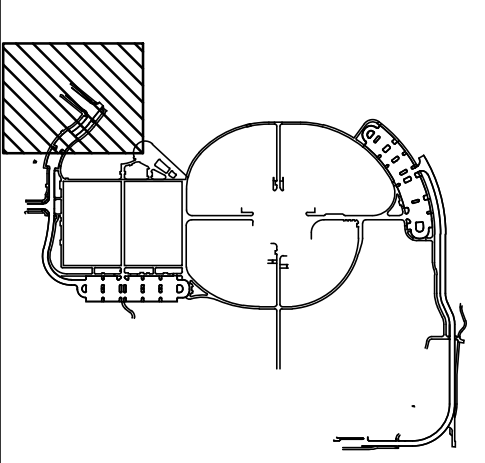
Town of Parker  
**SALISBURY PARK  
NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

**JVA RESPONSE: DETAILS FOR THE POND OUTLET CONTROL STRUCTURES HAVE BEEN CREATED AND CALLED OUT ACCORDINGLY.**

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
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Drawing  
**PHASE 1 DETAILED  
GRADING & DRAINAGE  
PLAN**

**C1-110**

SITE PLAN SUBMITTAL  
Page 32 of 311



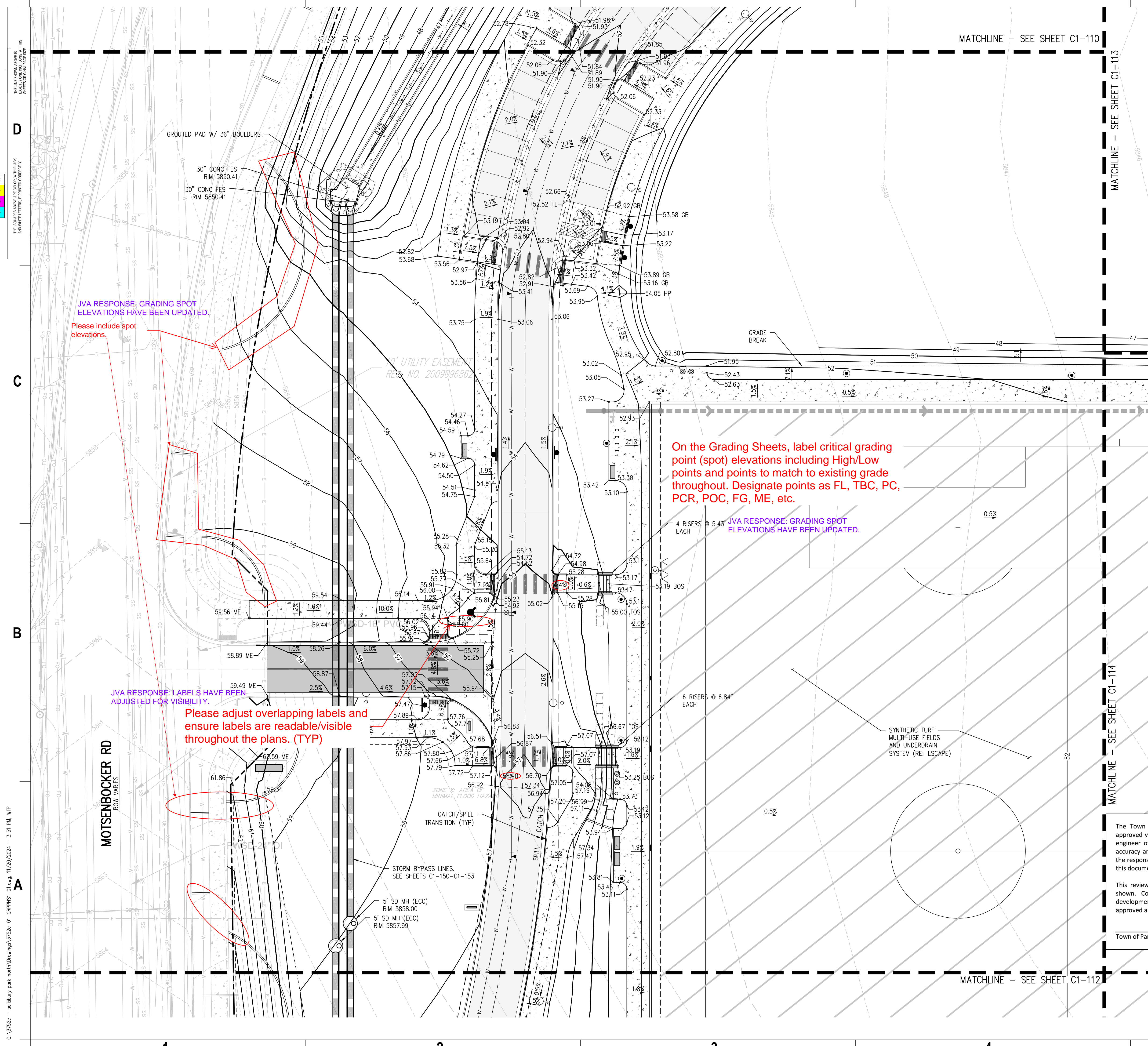
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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

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- GRADING AND DRAINAGE NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  2. CONTRACTOR TO POTHOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
  3. REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.
  4. CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
  5. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
  6. IF WALL IS SHOWN, TG DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL, BG DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CAP/FOOTER, ETC.)
  7. ROAD ELEVATIONS TO BE SURVEYED AND REPORTED TO ENGINEER PRIOR TO CONSTRUCTION TO CONFIRM FLOODPLAIN IMPACTS.

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 JVA Incorporated  
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 p. 303.444.1961

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 Ackerman Engineering, Inc.  
 3000 Highland Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

IRRIGATION  
 Avocet Irrigation  
 11725 W. Main Street, Suite F-509  
 Littleton, CO 80120  
 p. 303.966.2175

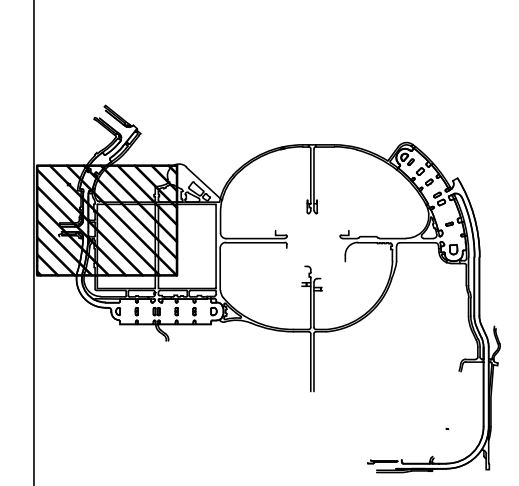
MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #600  
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 p. 303.688.0223

Town of Parker  
**SALISBURY PARK  
 NORTH - PHASE 1**  
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 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



Drawing  
**PHASE 1 DETAILED  
 GRADING & DRAINAGE  
 PLAN**

**C1-111**  
 SITE PLAN SUBMITTAL  
 Page 33 of 311

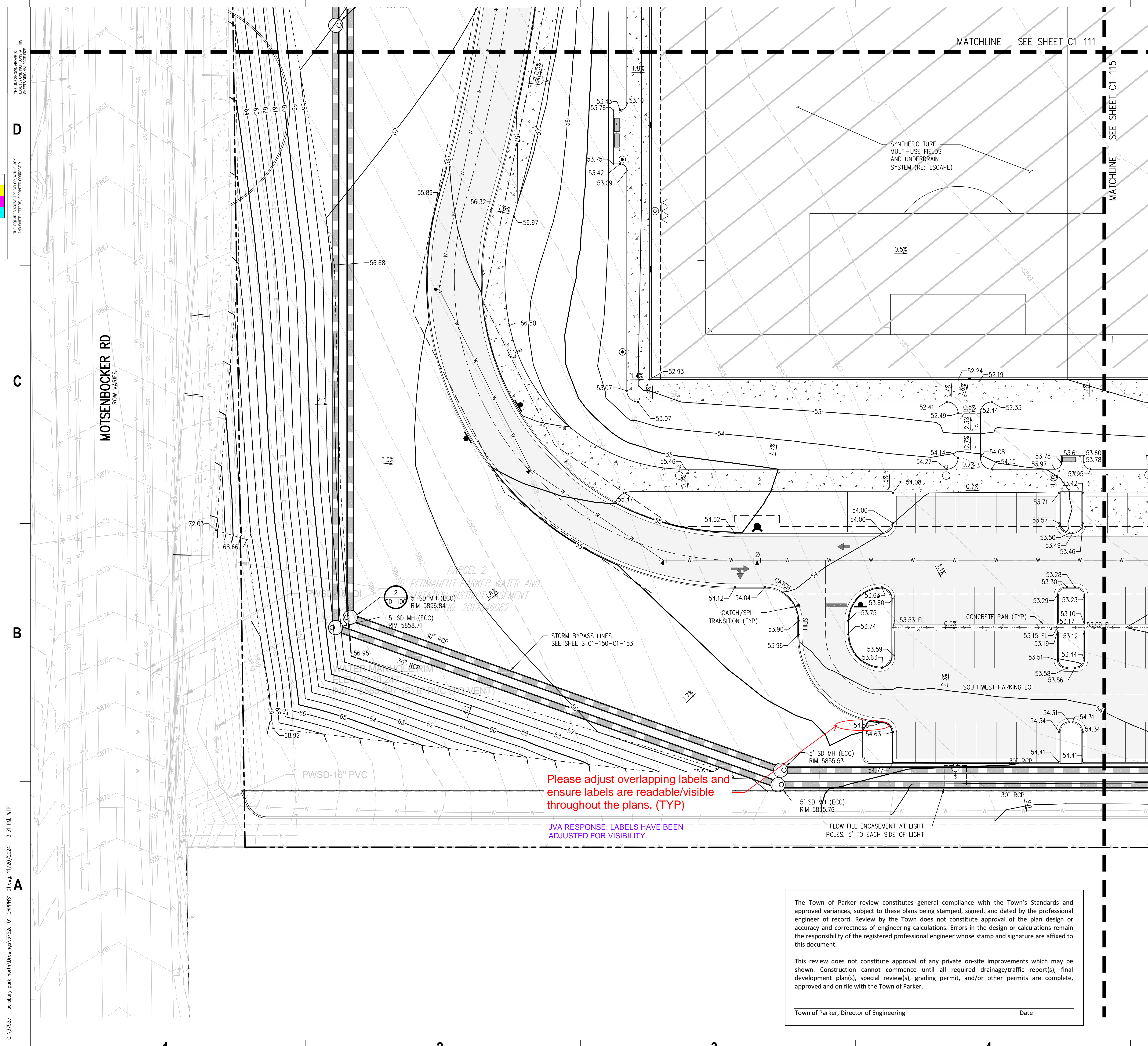
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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_



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Please adjust overlapping labels and ensure labels are readable/visible throughout the plans. (TYP)

JVA RESPONSE: LABELS HAVE BEEN ADJUSTED FOR VISIBILITY.

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JVA RESPONSE: GRADING SPOT ELEVATIONS HAVE BEEN UPDATED.

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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1675 Larimer Street, #550  
 Denver, CO 80202  
 p. 303.444.1961

ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 3200 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

IRRIGATION  
 Avocet Irrigation  
 11725 W. Ken-Caryl Ave., Suite F-509  
 Littleton, CO 80127  
 p. 303.966.2175

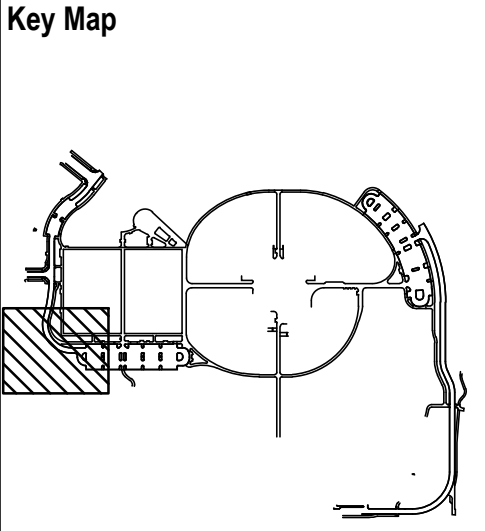
MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #500  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTZENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

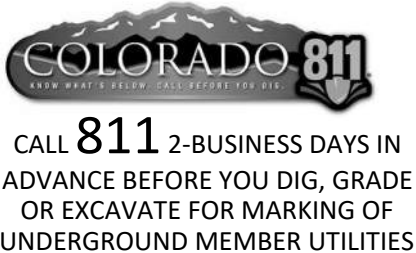
Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



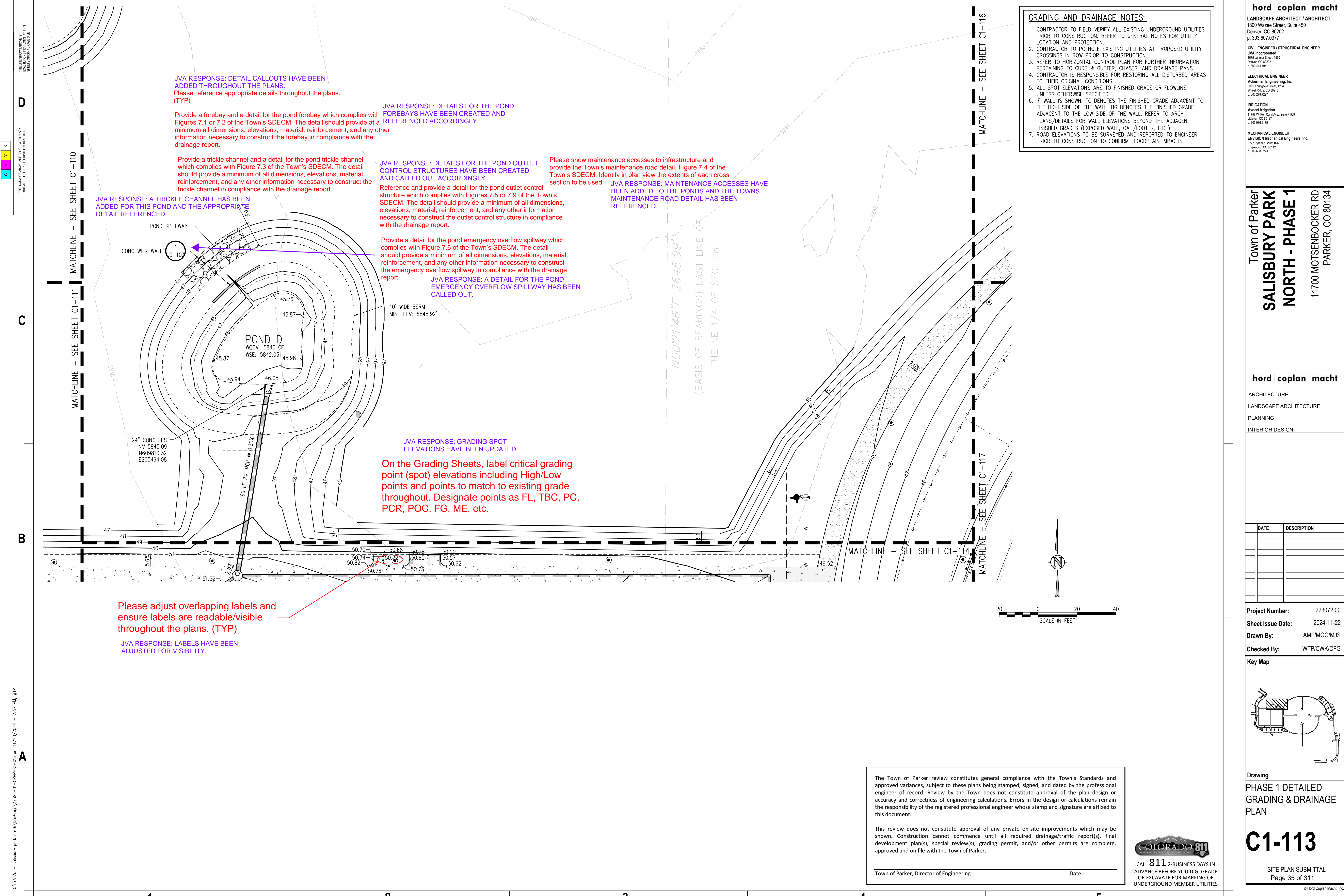
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**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

**C1-112**

SITE PLAN SUBMITTAL  
 Page 34 of 311



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**GRADING AND DRAINAGE NOTES:**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
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 Denver, CO 80202  
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**ELECTRICAL ENGINEER**  
 Ackerman Engineering, Inc.  
 3300 Youngfield Street, #204  
 Wheat Ridge, CO 80151  
 p. 303.278.7297

**IRRIGATION**  
 Avocat Irrigation  
 11755 W. Ken-Caryl Ave., Suite F-509  
 Littleton, CO 80127  
 p. 303.986.2175

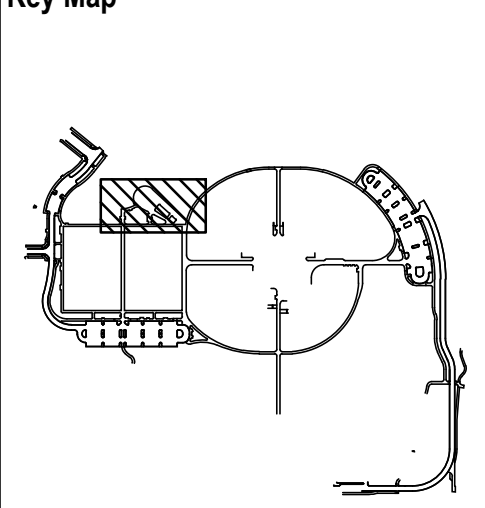
**MECHANICAL ENGINEER**  
 ENVISION Mechanical Engineers, Inc.  
 3777 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
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 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



Drawing  
**PHASE 1 DETAILED  
 GRADING & DRAINAGE  
 PLAN**

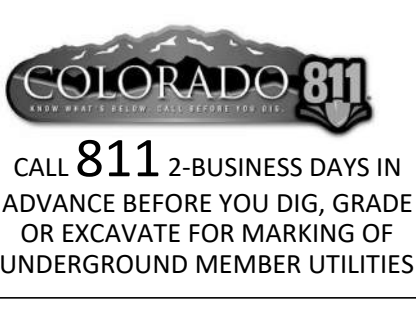
**C1-113**

SITE PLAN SUBMITTAL  
 Page 35 of 311

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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_



THE SQUARES AND COLORS WITHIN THESE SHEETS INDICATE PAGE SIZE

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Please adjust overlapping labels and ensure labels are readable/visible throughout the plans. (TYP)

JVA RESPONSE: LABELS HAVE BEEN ADJUSTED FOR VISIBILITY.

JVA RESPONSE: DETAIL CALLOUTS HAVE BEEN ADDED THROUGHOUT THE PLANS. Please reference appropriate details throughout the plans. (TYP)

Provide a forebay and a detail for the pond forebay which complies with Figures 7.1 or 7.2 of the Town's SDEC. The detail should provide a minimum all dimensions, elevations, material, reinforcement, and any other information necessary to construct the forebay in compliance with the drainage report.

JVA RESPONSE: DETAILS FOR THE POND FOREBAYS HAVE BEEN CREATED AND REFERENCED ACCORDINGLY.

Provide a trickle channel and a detail for the pond trickle channel which complies with Figure 7.3 of the Town's SDEC. The detail should provide a minimum of all dimensions, elevations, material, reinforcement, and any other information necessary to construct the trickle channel in compliance with the drainage report.

JVA RESPONSE: A TRICKLE CHANNEL HAS BEEN ADDED FOR THIS POND AND THE APPROPRIATE DETAIL REFERENCED.

JVA RESPONSE: DETAILS FOR THE POND OUTLET CONTROL STRUCTURES HAVE BEEN CREATED AND CALLED OUT ACCORDINGLY.

Reference and provide a detail for the pond outlet control structure which complies with Figures 7.5 or 7.9 of the Town's SDEC. The detail should provide a minimum of all dimensions, elevations, material, reinforcement, and any other information necessary to construct the outlet control structure in compliance with the drainage report.

Please show maintenance accesses to infrastructure and provide the Town's maintenance road detail, Figure 7.4 of the Town's SDEC. Identify in plan view the extents of each cross section to be used.

JVA RESPONSE: MAINTENANCE ACCESSES HAVE BEEN ADDED TO THE PONDS AND THE TOWNS MAINTENANCE ROAD DETAIL HAS BEEN REFERENCED.

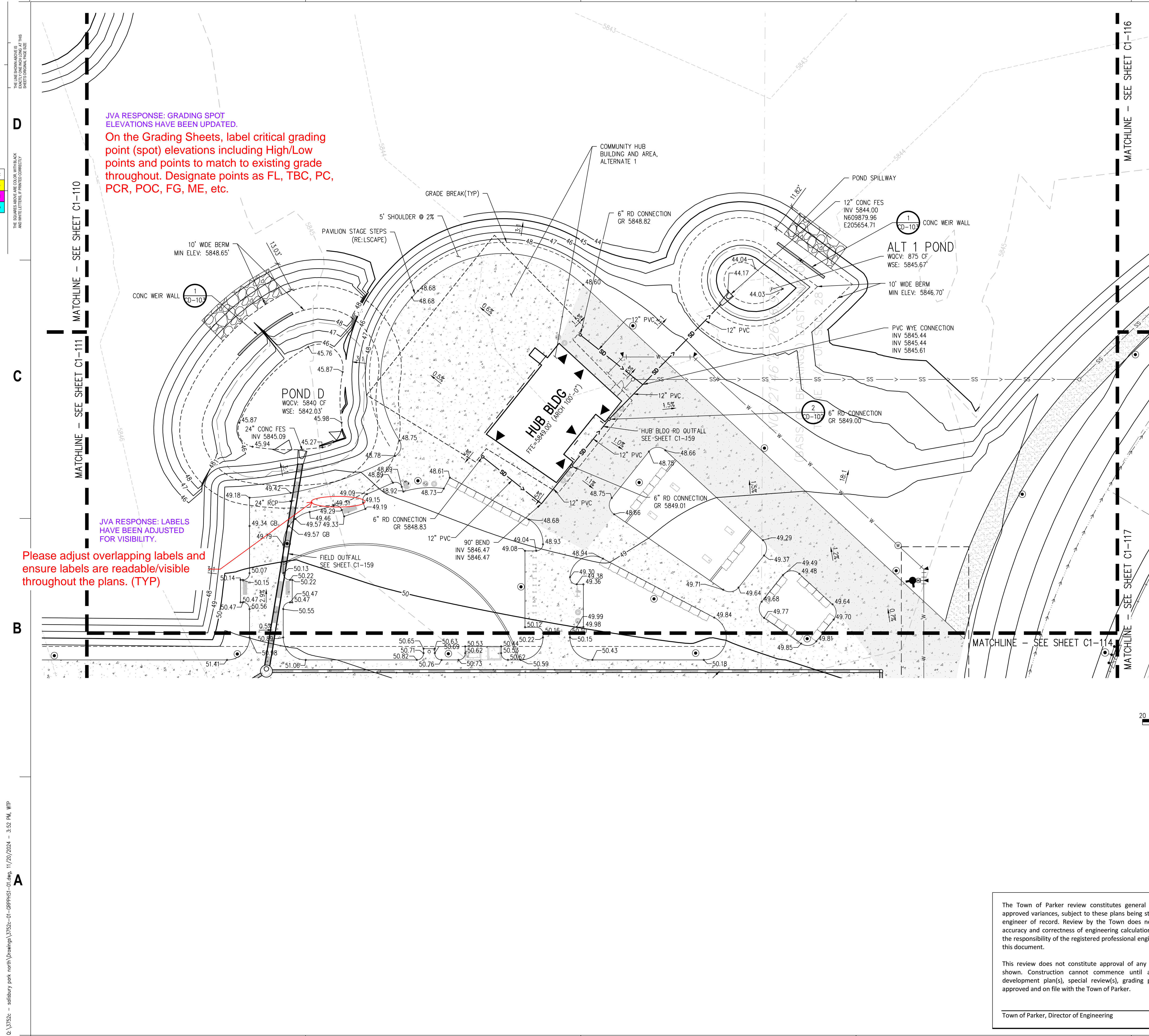
Provide a detail for the pond emergency overflow spillway which complies with Figure 7.6 of the Town's SDEC. The detail should provide a minimum of all dimensions, elevations, material, reinforcement, and any other information necessary to construct the emergency overflow spillway in compliance with the drainage report.

JVA RESPONSE: A DETAIL FOR THE POND EMERGENCY OVERFLOW SPILLWAY HAS BEEN CALLED OUT.

JVA RESPONSE: GRADING SPOT ELEVATIONS HAVE BEEN UPDATED.

On the Grading Sheets, label critical grading point (spot) elevations including High/Low points and points to match to existing grade throughout. Designate points as FL, TBC, PC, PCR, POC, FG, ME, etc.





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 LANDSCAPE ARCHITECT / ARCHITECT  
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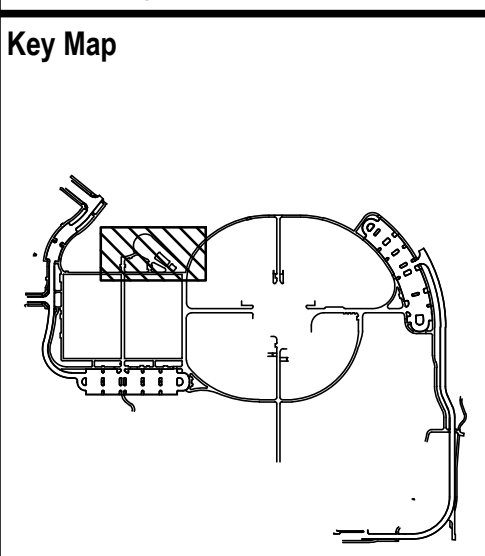
**MECHANICAL ENGINEER**  
 ENVISION Mechanical Engineers, Inc.  
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 Englewood, CO 80112  
 p. 303.986.0223

Town of Parker  
**SALISBURY PARK  
 NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

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 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

**Project Number:** 223072.00  
**Sheet Issue Date:** 2024-11-22  
**Drawn By:** AMF/MGG/MJS  
**Checked By:** WTP/CWK/CFG



**Drawing**  
 PHASE 1 DETAILED  
 GRADING & DRAINAGE  
 PLAN - ALTERNATE 1

**C1-113A**

SITE PLAN SUBMITTAL  
 Page 36 of 311

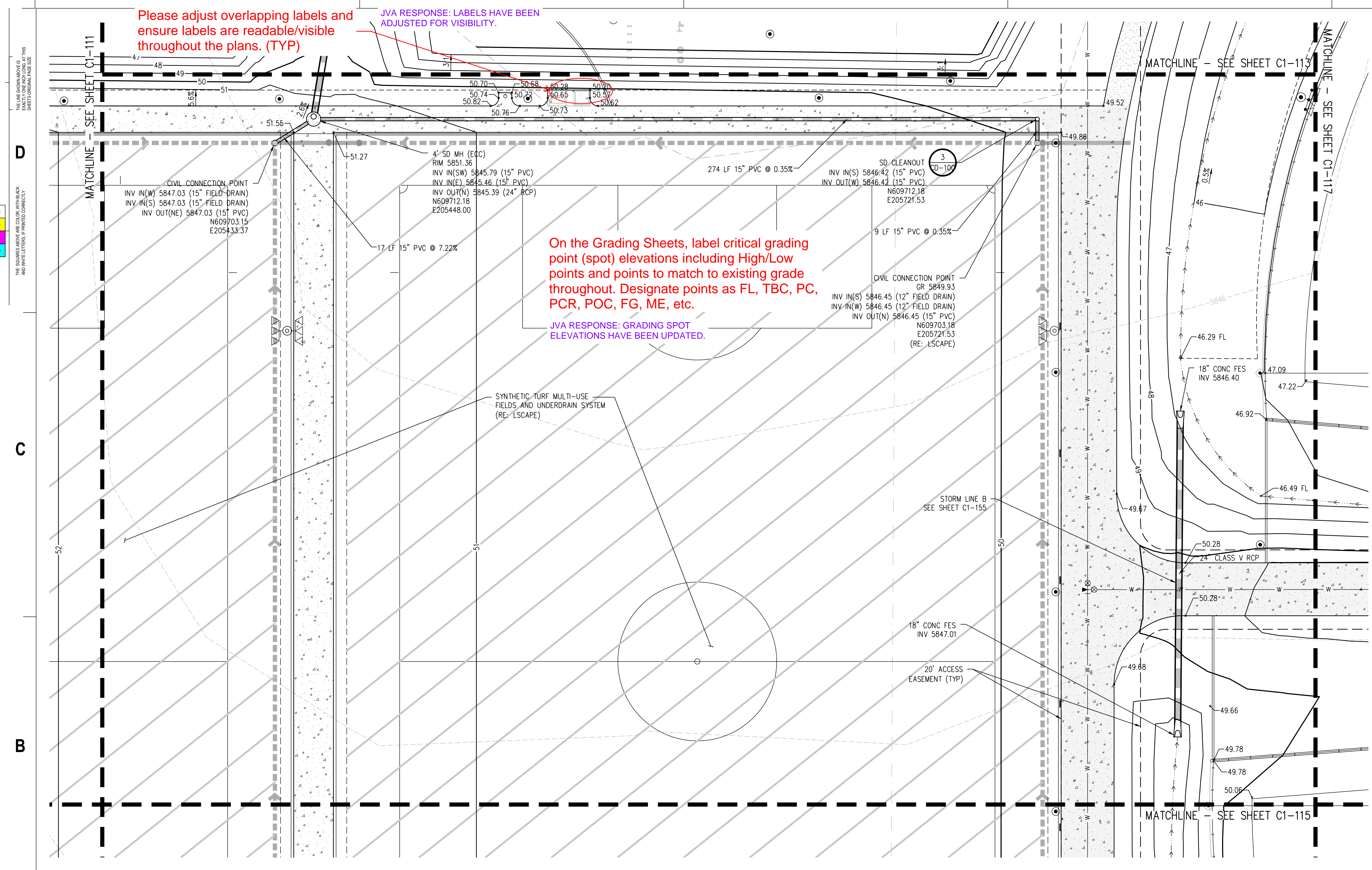
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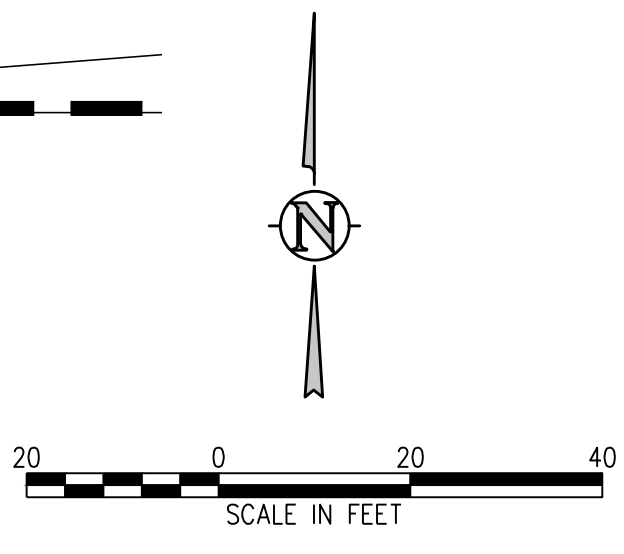
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Riprap will also be required at the inlet and outlet due to the potential scouring velocities. Refer to Section 6.4 of the SDECM and the MANUAL, Volume 2, Culverts and Hydraulic Structures Chapters. Please show in profiles.

JVA RESPONSE: RIP RAP HAS BEEN ADDED PER SDECM SECTION 6.4.

On the Grading Sheets, label critical grading point (spot) elevations including High/Low points and points to match to existing grade throughout. Designate points as FL, TBC, PC, PCR, POC, FG, ME, etc.

JVA RESPONSE: GRADING SPOT ELEVATIONS HAVE BEEN UPDATED.



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 LANDSCAPE ARCHITECT / ARCHITECT  
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 Denver, CO 80202  
 p. 303.607.0977

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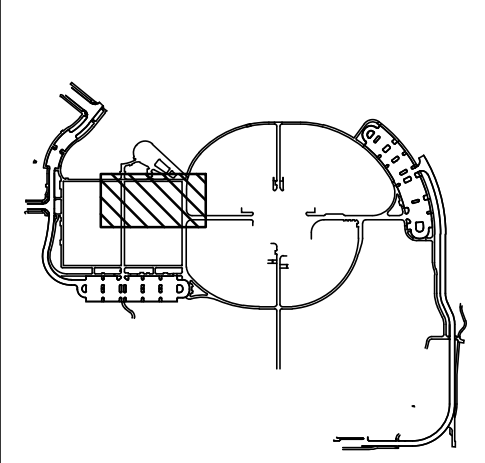
MECHANICAL ENGINEER  
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 9777 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
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 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

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 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

**C1-114**

SITE PLAN SUBMITTAL  
 Page 37 of 311

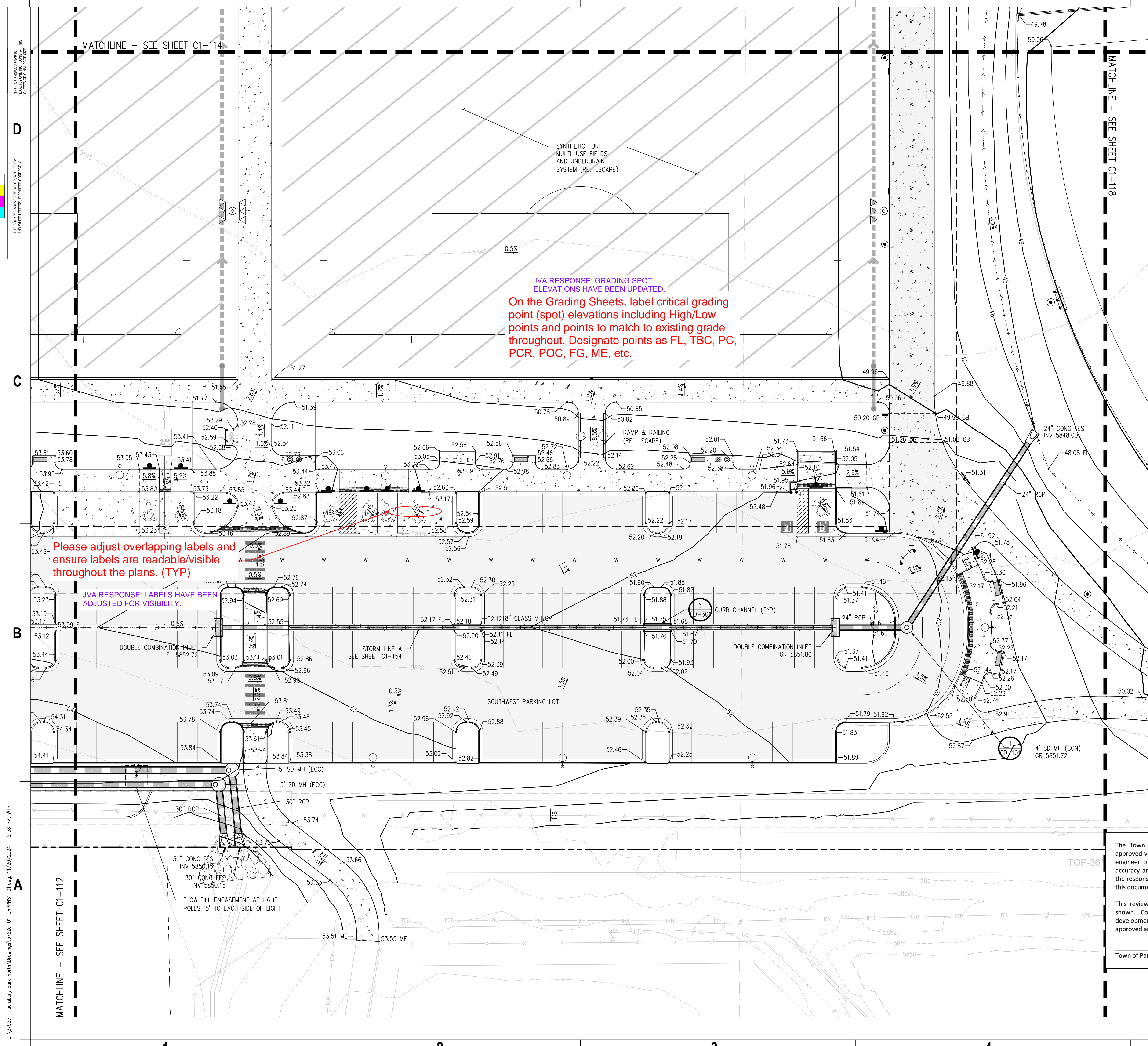
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Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES



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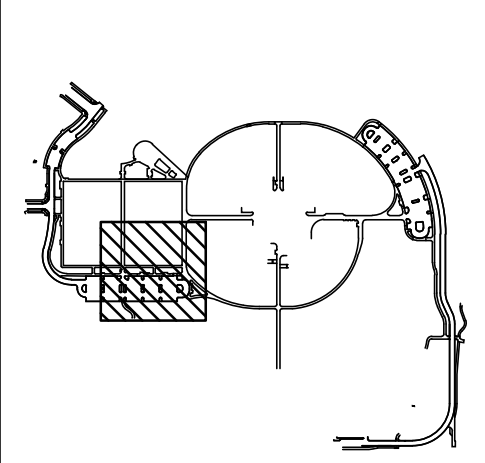
MECHANICAL ENGINEER  
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Town of Parker  
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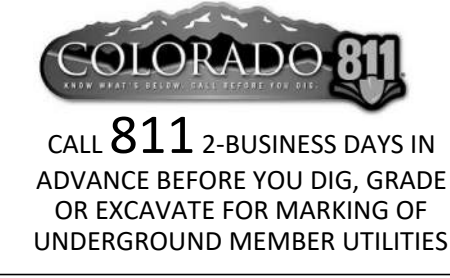
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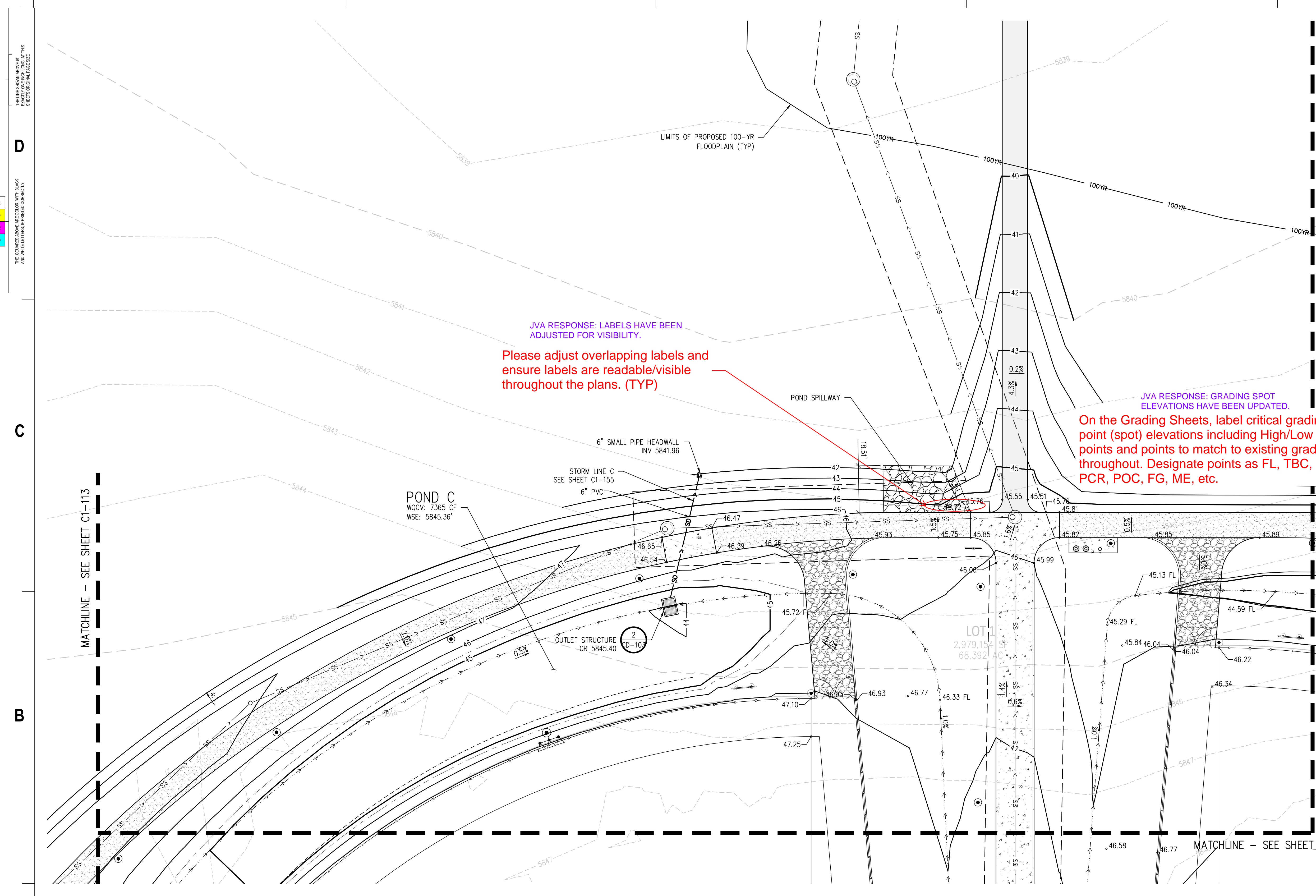
Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

**C1-115**

SITE PLAN SUBMITTAL  
 Page 38 of 311



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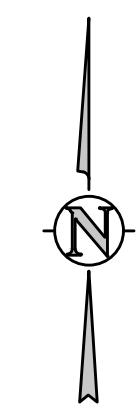
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MATCHLINE - SEE SHEET C1-119

MATCHLINE - SEE SHEET C1-113

MATCHLINE - SEE SHEET C1-117



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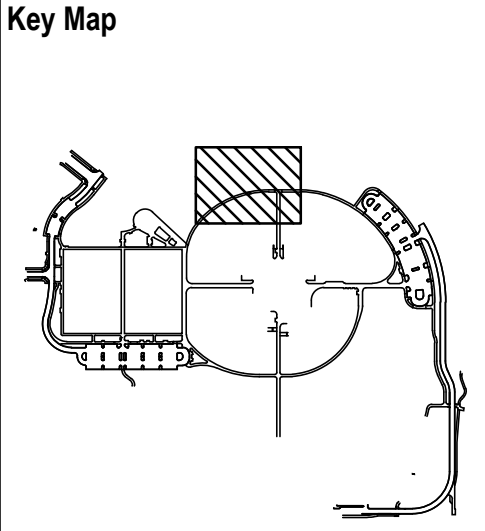
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Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

**C1-116**

SITE PLAN SUBMITTAL  
 Page 39 of 311

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CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

THE LINE SHOWING ABOVE IS A COLOR COPY WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.  
 THE SQUARE ABOVE THE COLOR COPY WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.  
 TOWN OF PARKER, NORTH SALISBURY PARK, 3752A-01.DWG, 11/20/2024, 2:59 PM, WTP

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 875 Larimer Street, #500  
 Denver, CO 80202  
 p. 303.444.1961

ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 3200 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

IRRIGATION  
 Avocet Irrigation  
 11725 W. Ken-Caryl Ave., Suite F-509  
 Littleton, CO 80127  
 p. 303.966.2175

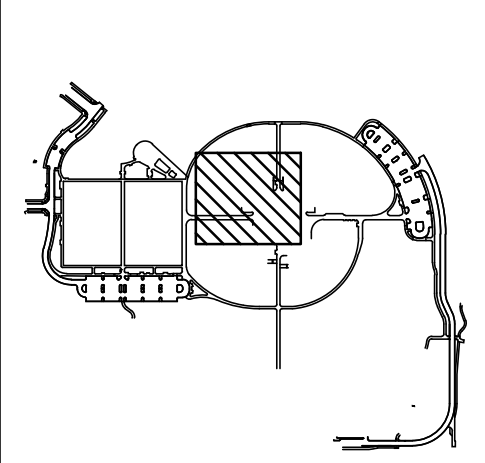
MECHANICAL ENGINEER  
 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

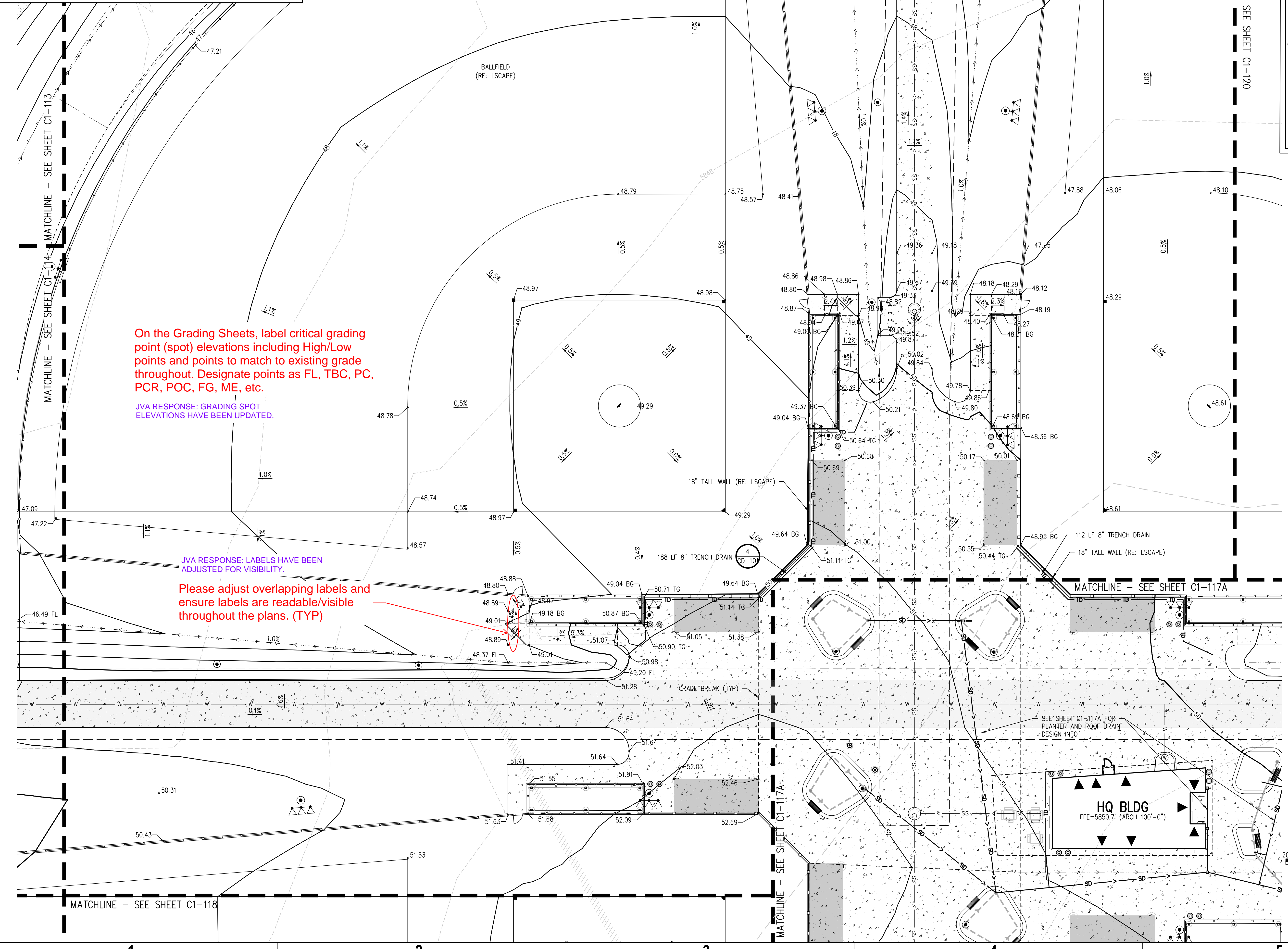
Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

**C1-117**

SITE PLAN SUBMITTAL  
 Page 40 of 311



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

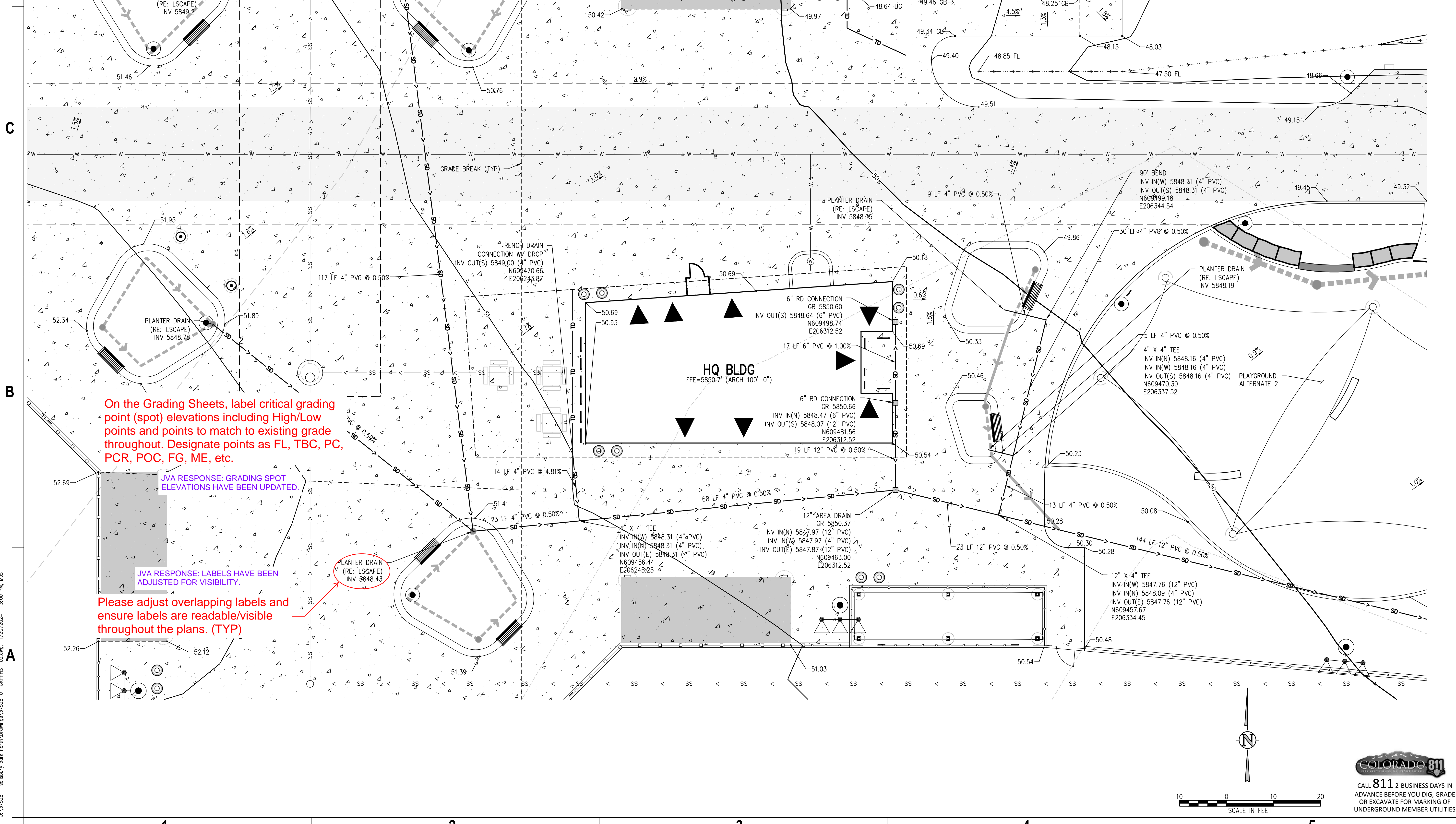
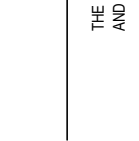
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THE SQUARE AND/OR ANGLE COLOR WITH BLACK AND WHITE LETTERS HELP PRINTED CORRECTLY



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1800 Wazee Street, Suite 450  
Denver, CO 80202  
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Denver, CO 80202  
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ELECTRICAL ENGINEER  
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2000 Youngfield Street, #204  
Wheat Ridge, CO 80215  
p. 303.278.7297

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Avocet Irrigation  
11705 W. Ken-Caryl Ave., Suite F-509  
Littleton, CO 80120  
p. 303.966.3175

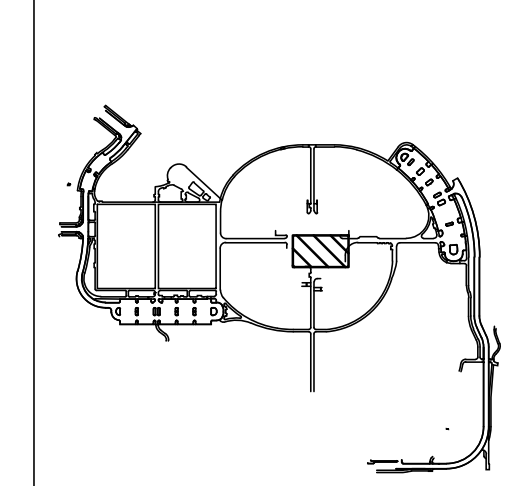
MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
3972 Federal Court, #600  
Englewood, CO 80112  
p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

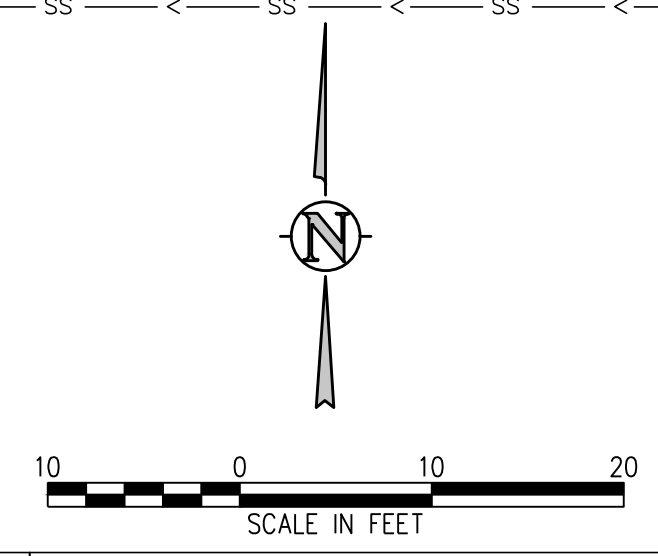
DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/MJS  
Checked By: WTP/CWK/CFG



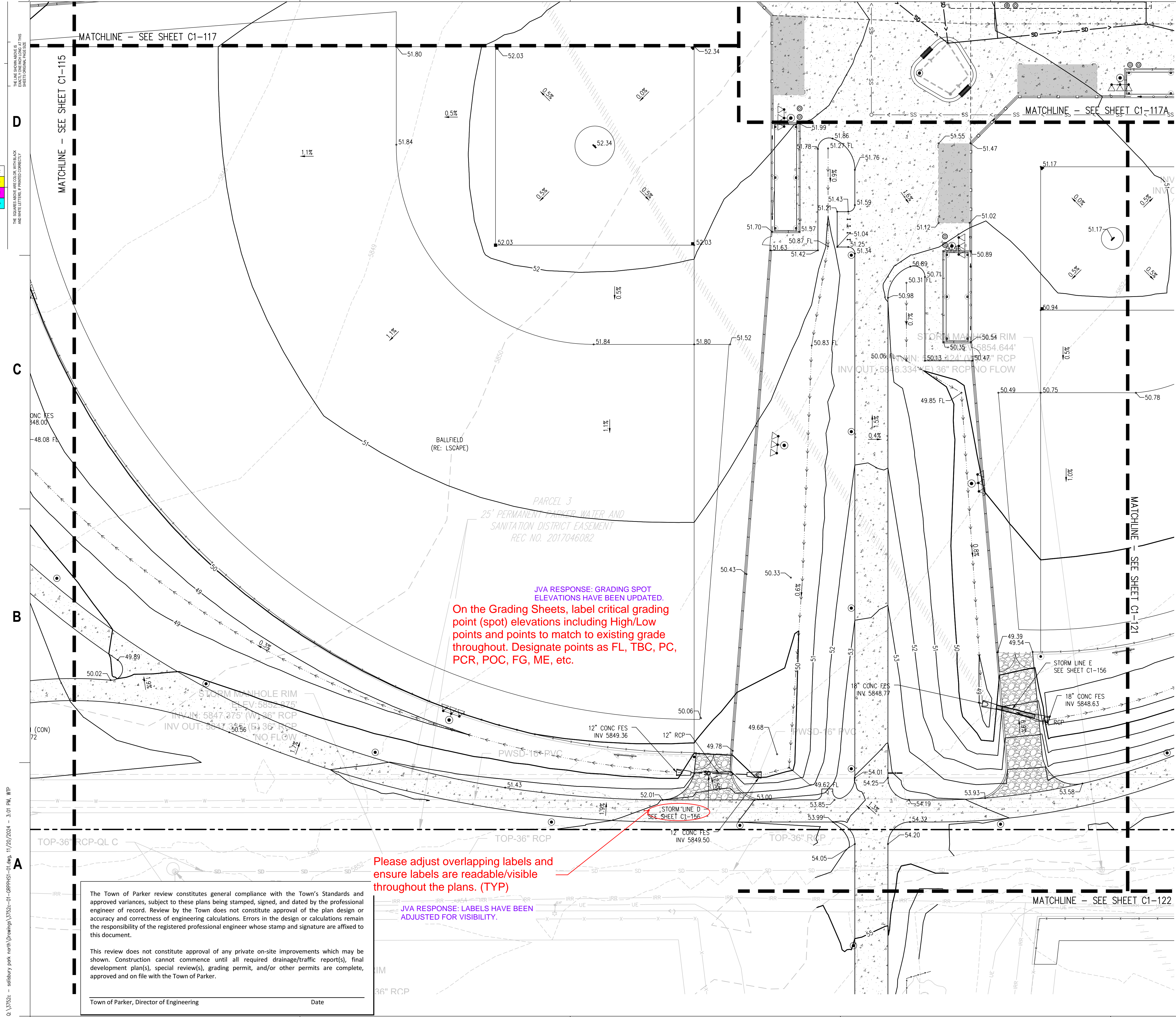
Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

**C1-117A**  
SITE PLAN SUBMITTAL  
Page 41 of 311



**COLORADO 811**  
CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

Q:\37526 - salisbury park north (Drawings)\37526-01-08PHS1-02.dwg, 11/20/2024, - 3:00 PM, MJS



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On the Grading Sheets, label critical grading point (spot) elevations including High/Low points and points to match to existing grade throughout. Designate points as FL, TBC, PC, PCR, POC, FG, ME, etc.

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 LANDSCAPE ARCHITECT / ARCHITECT  
 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977

**CIVIL ENGINEER / STRUCTURAL ENGINEER**  
 JVA Incorporated  
 1675 Laramie Street, #500  
 Denver, CO 80202  
 p. 303.444.1951

**ELECTRICAL ENGINEER**  
 Ackerman Engineering, Inc.  
 3000 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

**IRRIGATION**  
 Avocet Irrigation  
 11725 W. Kent-Coyne Ave., Suite F-509  
 Littleton, CO 80127  
 p. 303.986.5175

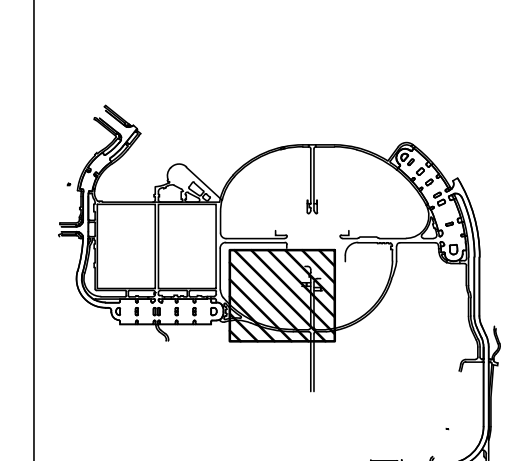
**MECHANICAL ENGINEER**  
 ENVISION Mechanical Engineers, Inc.  
 3977 Federal Court, #600  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

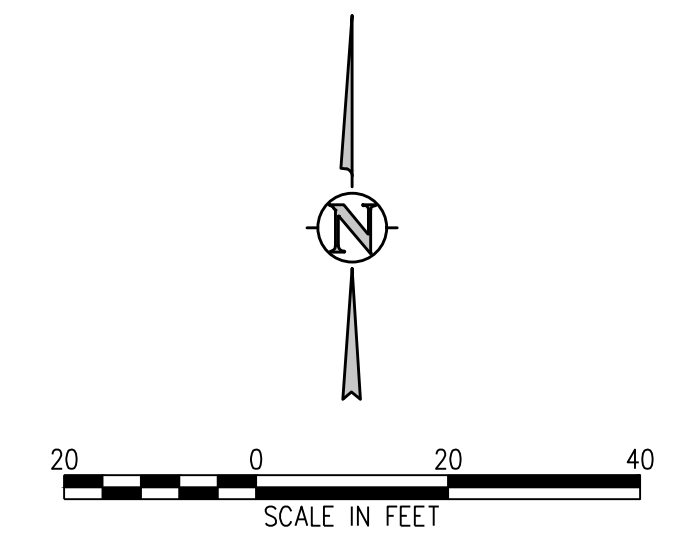
Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



Drawing  
 PHASE 1 DETAILED  
 GRADING & DRAINAGE  
 PLAN

**C1-118**  
 SITE PLAN SUBMITTAL  
 Page 42 of 311

**COLORADO 811**  
 CALL 811 2-BUSINESS DAYS IN  
 ADVANCE BEFORE YOU DIG, GRADE  
 OR EXCAVATE FOR MARKING OF  
 UNDERGROUND MEMBER UTILITIES



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THE SQUARES ABOVE ARE COLOR WITH BLACK AND WHITE TO INDICATE PRINTING CORRECTLY

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LANDSCAPE ARCHITECT / ARCHITECT  
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Denver, CO 80202  
p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
JVA Incorporated  
1075 Larmer Street, #500  
Denver, CO 80202  
p. 303.444.1961

ELECTRICAL ENGINEER  
Ackerman Engineering, Inc.  
3000 Youngfield Street, #204  
Wheat Ridge, CO 80215  
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IRRIGATION  
Avocat Irrigation  
11750 W. Ken-Caryl Ave., Suite F-509  
LITTLETON, CO 80127  
p. 303.986.2175

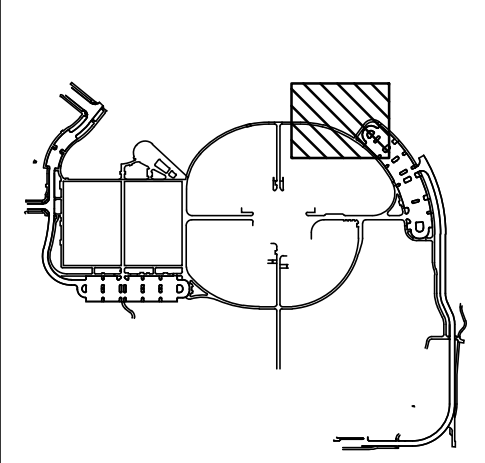
MECHANICAL ENGINEER  
ENVISION Mechanical Engineers, Inc.  
3077 Regent Court, #600  
Englewood, CO 80112  
p. 303.688.0223

Town of Parker  
**SALISBURY PARK  
NORTH - PHASE 1**  
11700 MOTSENBOCKER RD  
PARKER, CO 80134

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ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
Sheet Issue Date: 2024-11-22  
Drawn By: AMF/MGG/MJS  
Checked By: WTP/CWK/CFG



Drawing  
**PHASE 1 DETAILED  
GRADING & DRAINAGE  
PLAN**

**C1-119**  
SITE PLAN SUBMITTAL  
Page 43 of 311

Please reference appropriate details throughout the plans. (TYP)

JVA RESPONSE: MAINTENANCE ACCESSES HAVE BEEN ADDED TO THE PONDS AND THE TOWNS MAINTENANCE ROAD DETAIL HAS BEEN REFERENCED.

Please show maintenance accesses to infrastructure and provide the Town's maintenance road detail, Figure 7.4 of the Town's SDECM. Identify in plan view the extents of each cross section to be used.

JVA RESPONSE: DETAILS FOR THE POND OUTLET CONTROL STRUCTURES HAVE BEEN CREATED AND CALLED OUT ACCORDINGLY.

Reference and provide a detail for the pond outlet control structure which complies with Figures 7.5 or 7.9 of the Town's SDECM. The detail should provide a minimum of all dimensions, elevations, material, reinforcement, and any other information necessary to construct the outlet control structure in compliance with the drainage report.

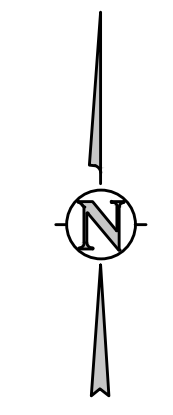
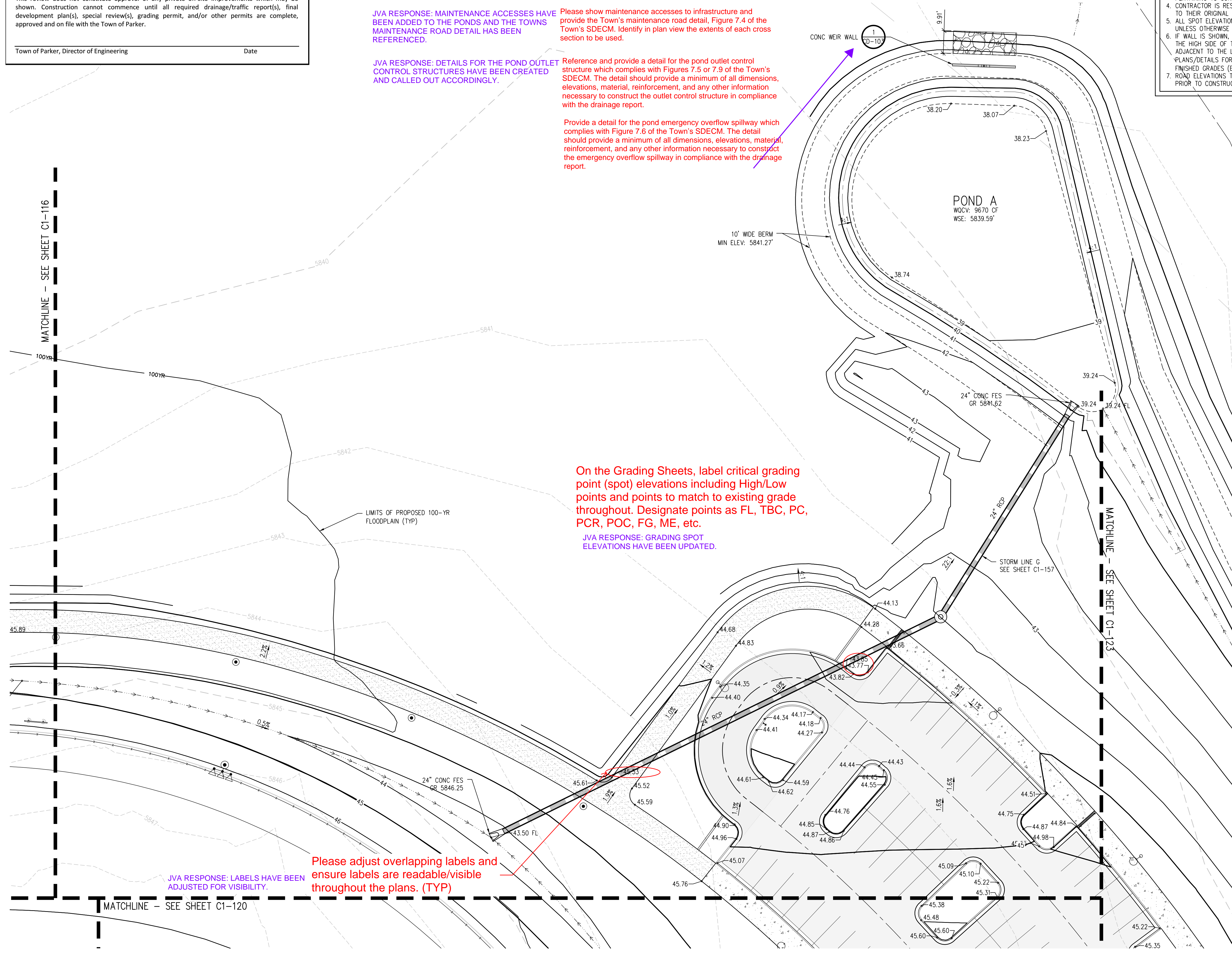
Provide a detail for the pond emergency overflow spillway which complies with Figure 7.6 of the Town's SDECM. The detail should provide a minimum of all dimensions, elevations, material, reinforcement, and any other information necessary to construct the emergency overflow spillway in compliance with the drainage report.

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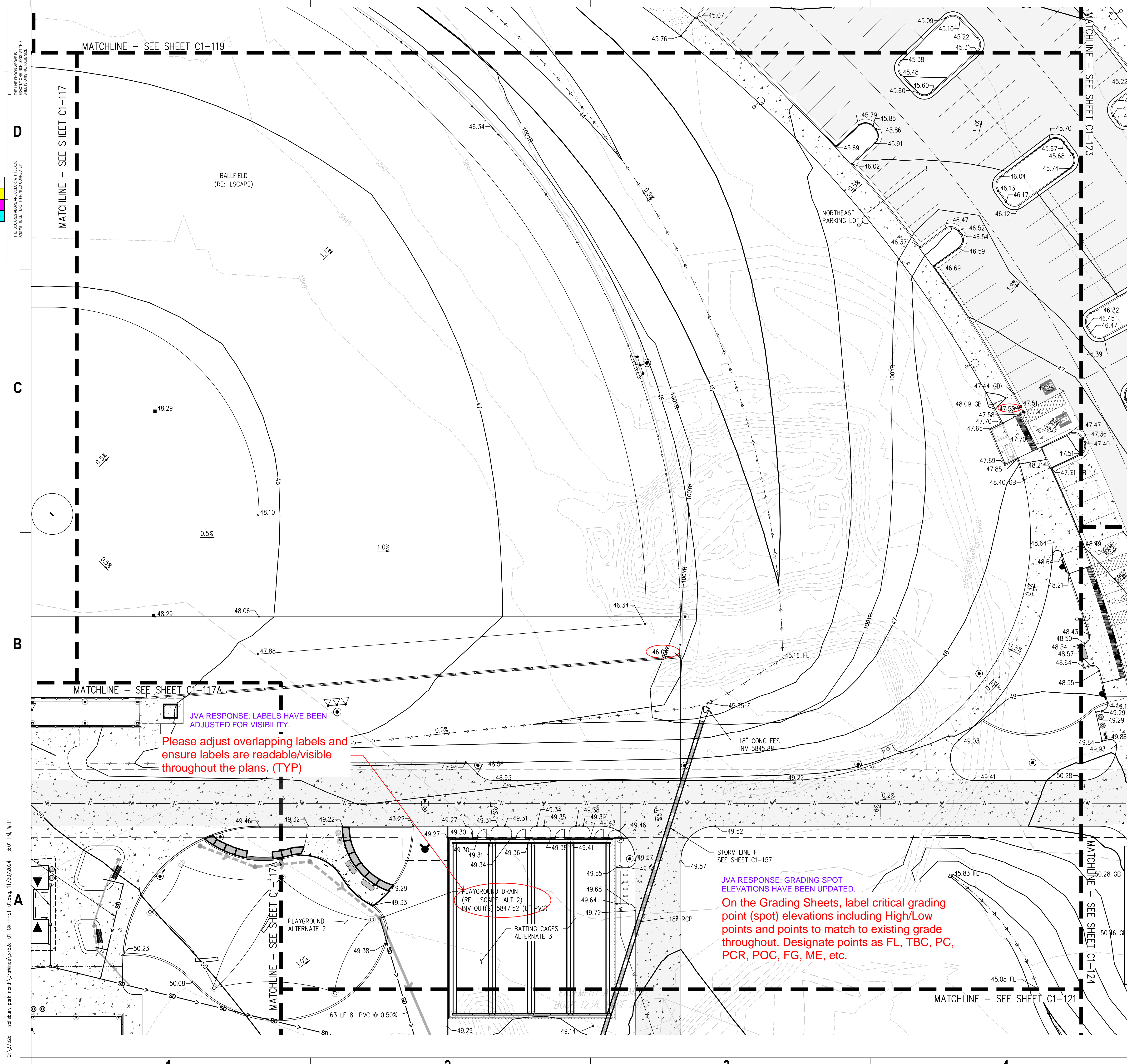
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 Denver, CO 80202  
 p. 303.607.0977

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 1675 Larimer Street, #550  
 Denver, CO 80202  
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 3300 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
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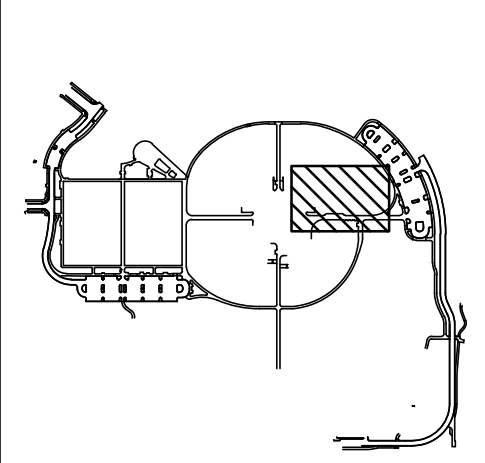
**MECHANICAL ENGINEER**  
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 9777 Federal Court, #600  
 Englewood, CO 80112  
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Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00  
 Sheet Issue Date: 2024-11-22  
 Drawn By: AMF/MGG/MJS  
 Checked By: WTP/CWK/CFG



Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

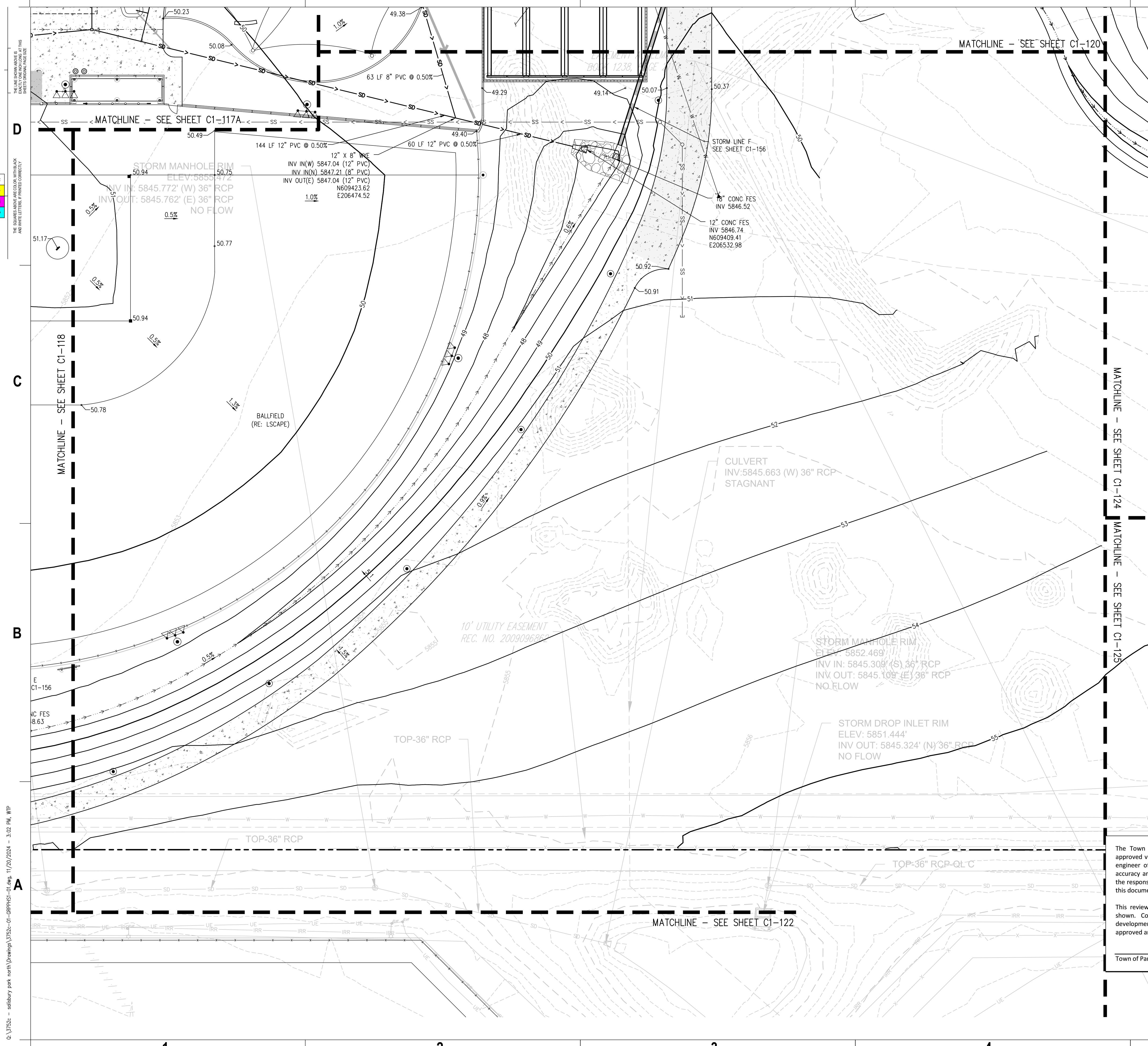
**C1-120**  
 SITE PLAN SUBMITTAL  
 Page 44 of 311

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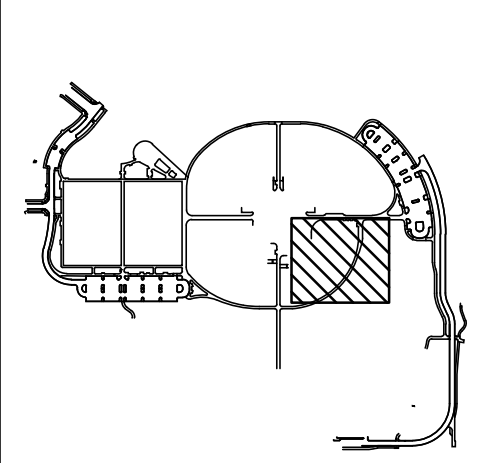
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 ENVISION Mechanical Engineers, Inc.  
 9777 Federal Court, #500  
 Englewood, CO 80112  
 p. 303.688.0223

Town of Parker  
**SALISBURY PARK**  
**NORTH - PHASE 1**  
 11700 MOTSENBOCKER RD  
 PARKER, CO 80134

**hord coplan macht**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN

DATE	DESCRIPTION

**Project Number:** 223072.00  
**Sheet Issue Date:** 2024-11-22  
**Drawn By:** AMF/MGG/MJS  
**Checked By:** WTP/CWK/CFG



**Drawing**  
 PHASE 1 DETAILED  
 GRADING & DRAINAGE  
 PLAN

**C1-121**

SITE PLAN SUBMITTAL  
 Page 45 of 311

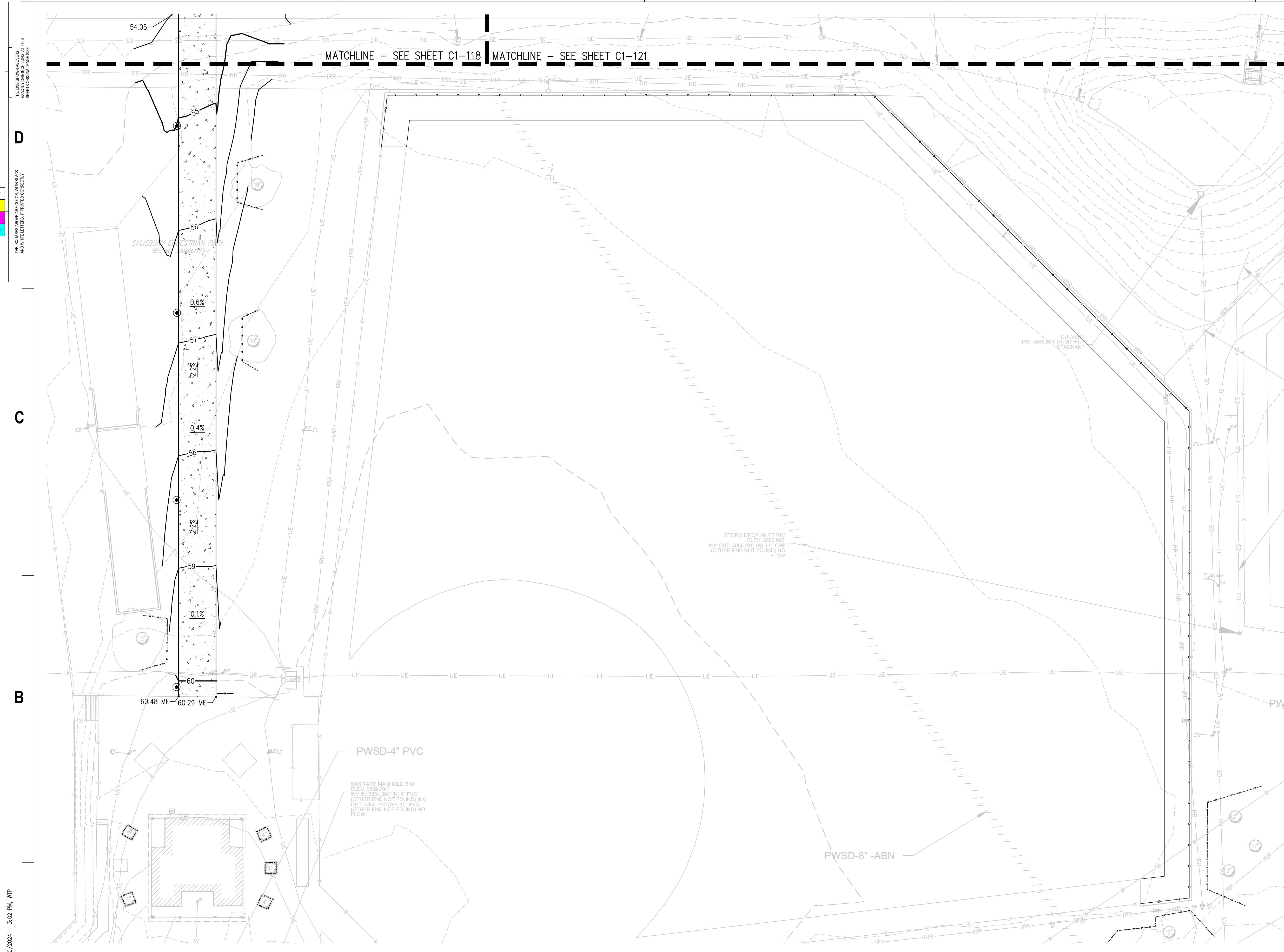
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**COLORADO 811**  
 CALL 811 2-BUSINESS DAYS IN  
 ADVANCE BEFORE YOU DIG, GRADE  
 OR EXCAVATE FOR MARKING OF  
 UNDERGROUND MEMBER UTILITIES

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MATCHLINE - SEE SHEET C1-118 MATCHLINE - SEE SHEET C1-121

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THE SQUARES AND ARE COLOR WITH BLACK AND WHITE LETTERS IF PRINTED CORRECTLY

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 1800 Wazee Street, Suite 450  
 Denver, CO 80202  
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER  
 JVA Incorporated  
 1675 Larmer Street, #550  
 Denver, CO 80202  
 p. 303.444.1961

ELECTRICAL ENGINEER  
 Ackerman Engineering, Inc.  
 2009 Youngfield Street, #204  
 Wheat Ridge, CO 80215  
 p. 303.278.7297

IRRIGATION  
 Avocet Irrigation  
 11725 W. 26th Circle Ave., Suite F-509  
 Littleton, CO 80127  
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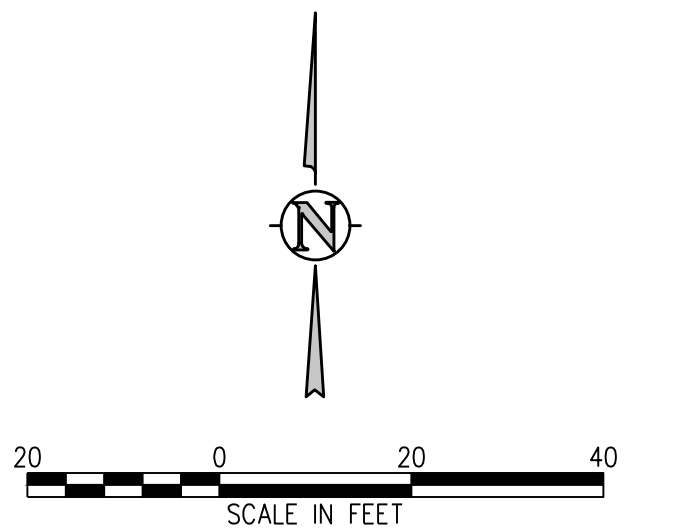
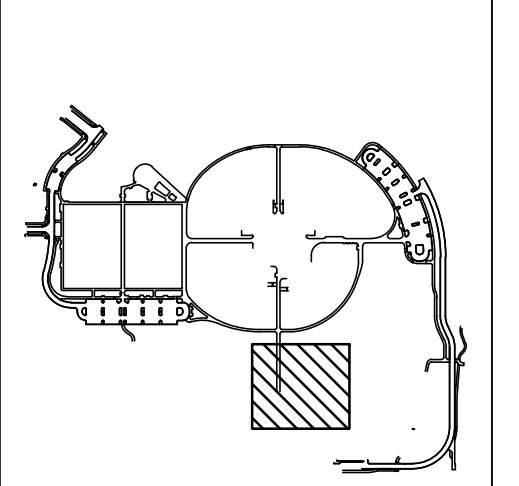
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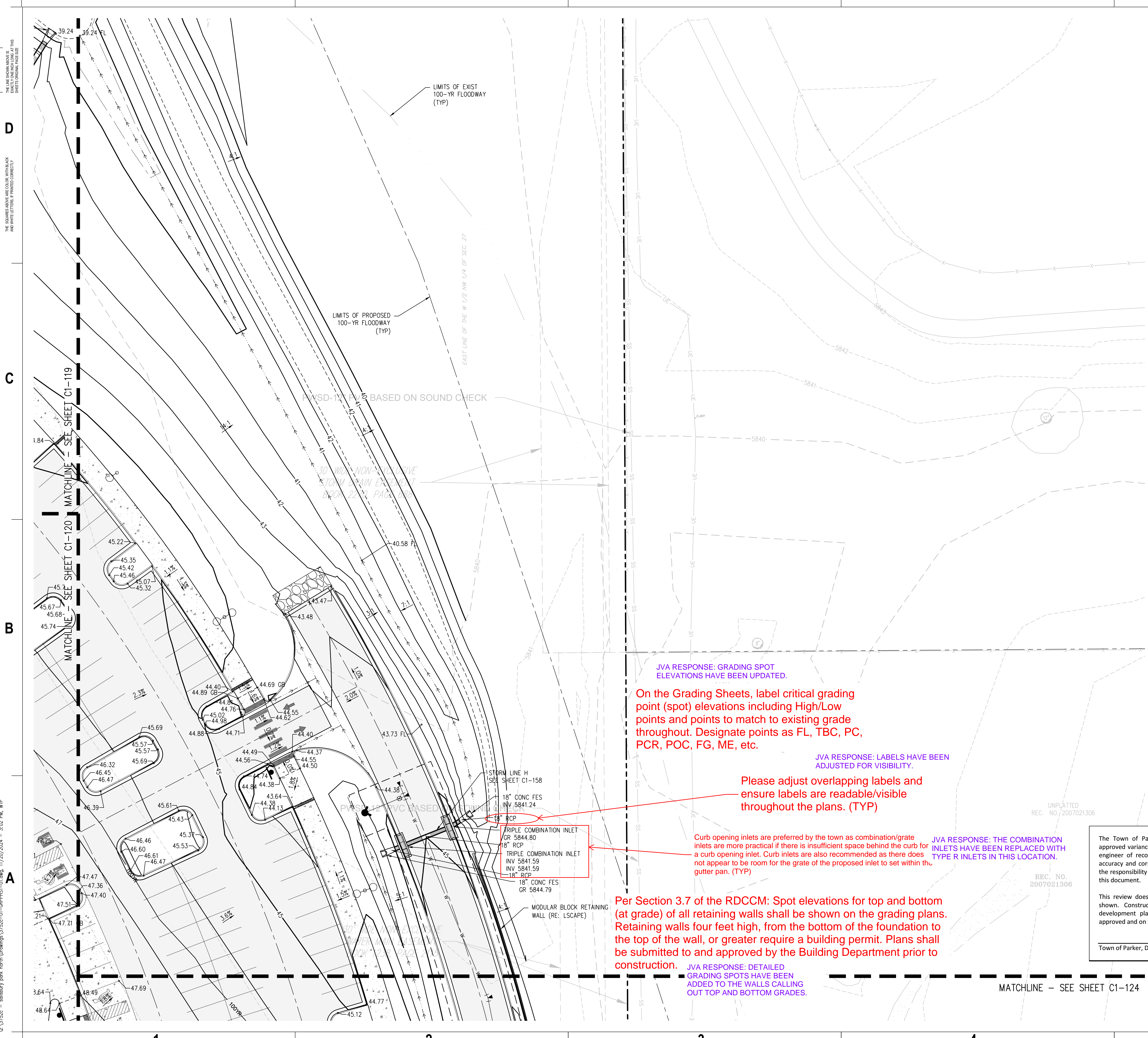
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Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

# C1-122

SITE PLAN SUBMITTAL  
 Page 46 of 311

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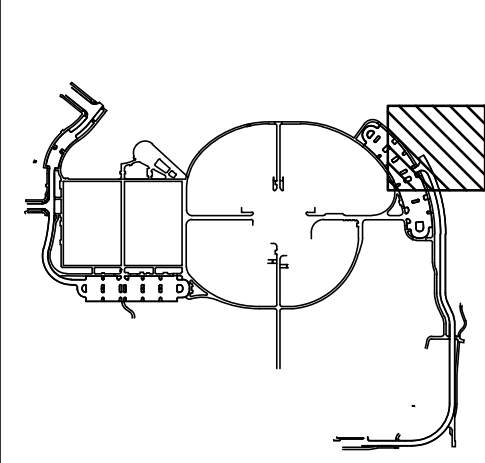
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Drawing  
**PHASE 1 DETAILED GRADING & DRAINAGE PLAN**

**C1-123**

SITE PLAN SUBMITTAL  
 Page 47 of 311

JVA RESPONSE: GRADING SPOT ELEVATIONS HAVE BEEN UPDATED.

On the Grading Sheets, label critical grading point (spot) elevations including High/Low points and points to match to existing grade throughout. Designate points as FL, TBC, PC, PCR, POC, FG, ME, etc.

JVA RESPONSE: LABELS HAVE BEEN ADJUSTED FOR VISIBILITY.

Please adjust overlapping labels and ensure labels are readable/visible throughout the plans. (TYP)

Curb opening inlets are preferred by the town as combination/grate inlets are more practical if there is insufficient space behind the curb for a curb opening inlet. Curb inlets are also recommended as there does not appear to be room for the grate of the proposed inlet to set within the gutter pan. (TYP)

JVA RESPONSE: THE COMBINATION INLETS HAVE BEEN REPLACED WITH TYPE R INLETS IN THIS LOCATION.

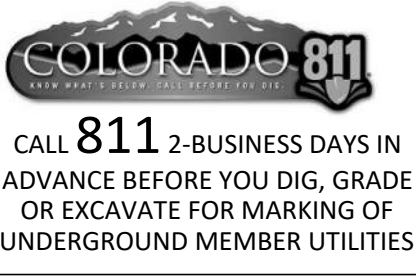
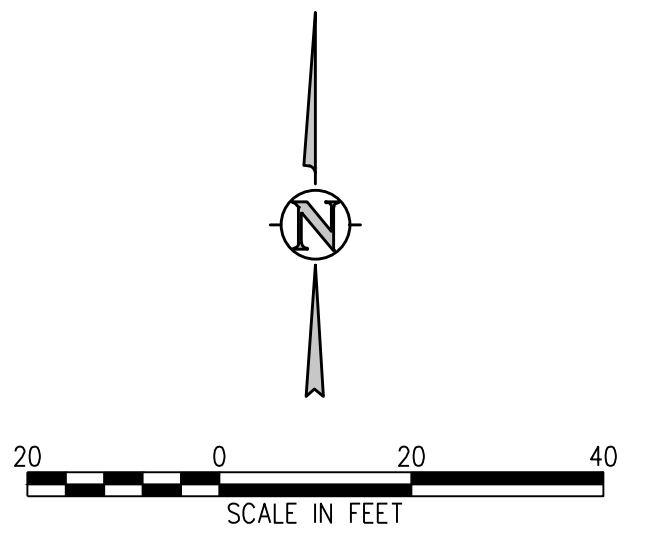
Per Section 3.7 of the RDCCM: Spot elevations for top and bottom (at grade) of all retaining walls shall be shown on the grading plans. Retaining walls four feet high, from the bottom of the foundation to the top of the wall, or greater require a building permit. Plans shall be submitted to and approved by the Building Department prior to construction.

JVA RESPONSE: DETAILED GRADING SPOTS HAVE BEEN ADDED TO THE WALLS CALLING OUT TOP AND BOTTOM GRADES.

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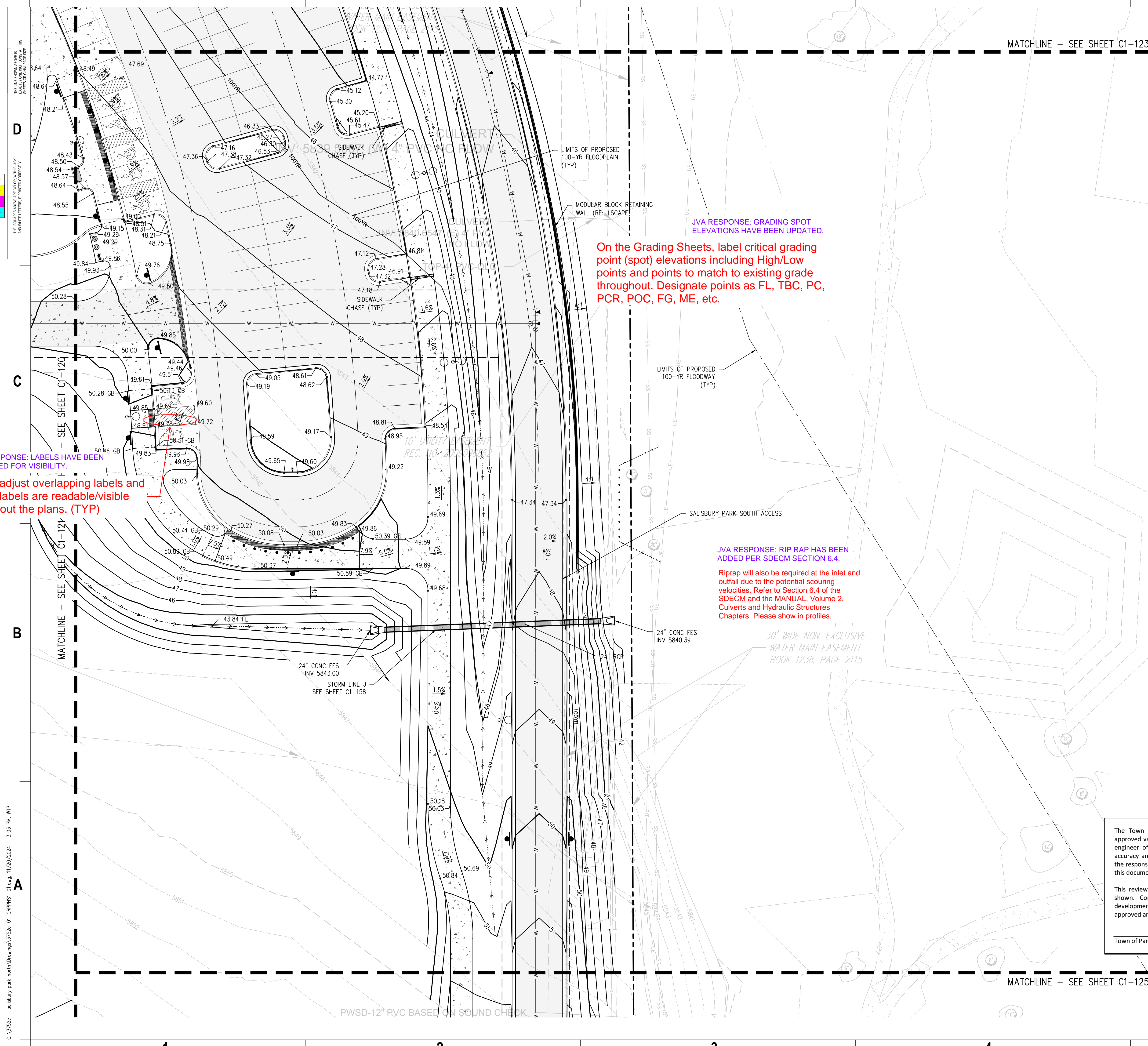
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MATCHLINE - SEE SHEET C1-124



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**JVA RESPONSE: RIP RAP HAS BEEN ADDED PER SDECM SECTION 6.4.**

**Riprap will also be required at the inlet and outfall due to the potential scouring velocities. Refer to Section 6.4 of the SDECM and the MANUAL, Volume 2, Culverts and Hydraulic Structures Chapters. Please show in profiles.**

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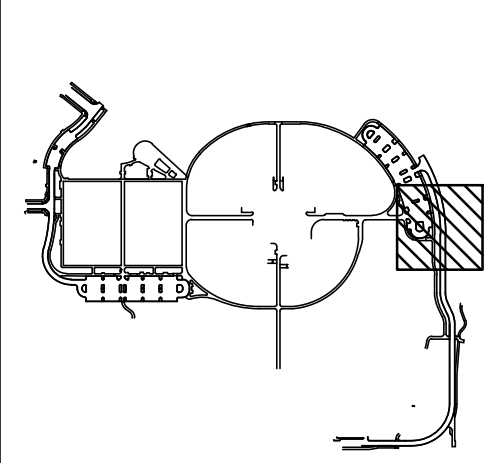
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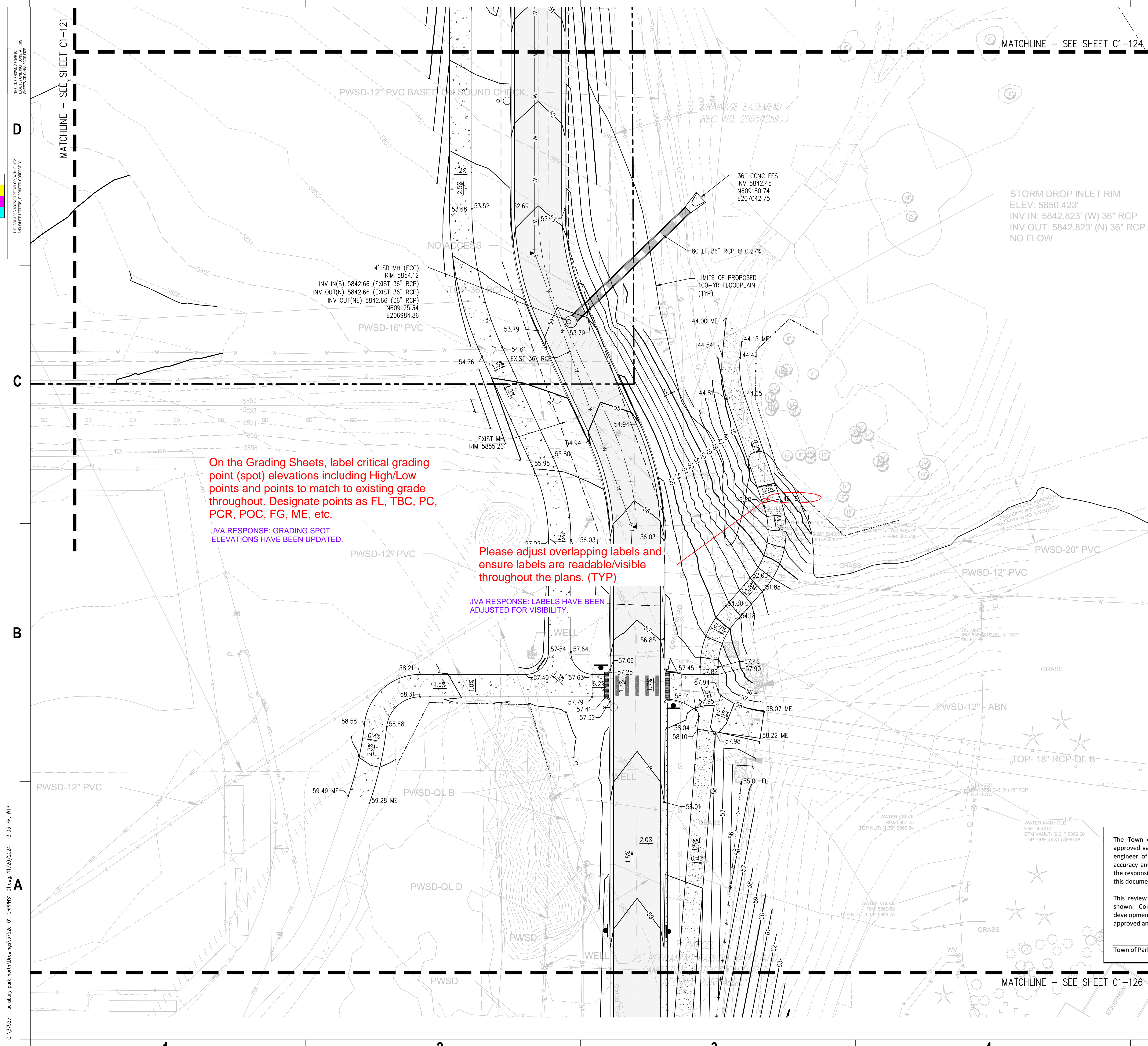
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**C1-124**

SITE PLAN SUBMITTAL  
 Page 48 of 311



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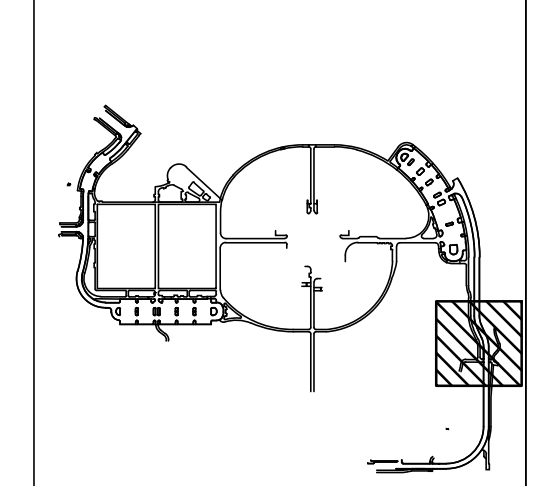
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**C1-125**  
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