



Planning Commission Staff Report

Planning Commission Date: 6/26/2025

Town Council Date: 7/7/2025

Hearing Type: Public Hearing
Salisbury North MDP F1 AMD2 L1 Park Expansion
Phase 1 – Site Plan
TRAKiT No(s): SP24-0124

Location: The site is located on the west side of Motsenbocker Road, north of Hess Road.

Project Planner: Stacey Nerger, Planner

Applicant: Town of Parker – Brett Collins, Parks, Recreation and Open Space Department

Executive Summary: The applicant, the Town of Parker, is proposing Phase 1 of an expansion to Salisbury Regional Park to include baseball fields, multipurpose fields, restrooms, landscaping, park amenities and parking. The site is located on the west side of Motsenbocker Road north of Hess Road.

Staff Recommendation: Approval with Conditions

RECOMMENDED MOTION

“I move the Planning Commission recommend Town Council approve the Salisbury North MDP Filing No. 1 Amendment 2, Lot 1 Park Expansion Phase 1, subject to the following conditions:”

1. **Approved Site Plan** - The Site Plan exhibit, building elevations exhibit and landscape plan exhibit **stamped ‘Final Document’ on June 17, 2025** shall be the approved plans.
2. **Approved Construction Plan Documents** - The construction plan documents signed by Engineering, the water and sanitation district and Fire Life Safety, shall be the approved construction plans.
3. **Approval Expiration** - This approval has been based upon the review of information submitted to our office as part of your request for an administrative site plan approval and **SHALL REMAIN IN EFFECT FOR FIFTEEN (15) MONTHS FROM THE DATE OF THIS APPROVAL LETTER.** If a Grading Permit or Building Permit is not obtained within fifteen months, this approval becomes null and void. The Community Development Director, upon written request, may grant a one hundred eighty

(180) day extension.

4. **Prairie Dog Certification Required** - A Certification of Compliance with Municipal Code Section 13.08.040(e) Prairie Dog Management is required prior to issuance of a Grading Permit and the start of any work on the site.
5. **Permits Required** - It is the applicant's responsibility to acquire all required permits prior to starting work on the site including Grading Permits, Building Permits and Electrical Permits.
6. **Screening of Mechanical Equipment and Utility Boxes Required** - All **MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED** with permanent material and painted to match the building color. All rooftop vents and other appurtenances shall be painted to match the roof or building color to minimize their visual impact. All rooftop mechanical, vents or appurtenances, which are not shown on the approved plans may require additional conditions for screening as determined by the Town.
 - Above ground on-site utilities for the provision of service to nonresidential use(s) may not be located in the front-yard between the building and the public or private street and can only be located in a rear-yard or side-yard. Any above ground **UTILITY EQUIPMENT SHALL BE SCREENED** with landscaping or a screening wall in coordination with the utility company. Where utility meters and connections are attached to the building they shall be located away from the public realm to the greatest extent possible and be painted to match the building. Location of all utility equipment shall be reviewed and approved by the Community Development Department prior to installation. Any deviation from this standard may result in the relocation of the equipment.
7. **Final Grading Certificate Required** - The Town requires the submittal of a Final Grading Certificate as a *prerequisite to obtaining a Certificate of Occupancy or Temporary Certificate of Occupancy*;
 - An as-built drawing of the individual lot which indicates the finished floor elevation(s), and finished grade site elevation points sufficient to show positive drainage away from all buildings.
 - A certification statement by a licensed professional engineer **and** surveyor, accompanied by their stamp and signature. Please contact the Planning Division to obtain the specific language that is required.
8. **Signage Not Included** - Approval of this site plan **DOES NOT INCLUDE SIGNAGE**. All signage for this site and building will be required to meet the Town of Parker Sign Code Chapter 13.09 and will require a separate sign permit application submittal.

ALTERNATIVE MOTIONS

"I move the Planning Commission recommend Town Council approve the Salisbury North MDP Filing No. 1 Amendment 2, Lot 1 Park Expansion Phase 1."

"I move the Planning Commission recommend Town Council deny the Salisbury North MDP Filing No. 1 Amendment 2, Lot 1 Park Expansion Phase 1 as the request does not meet the following approval criteria:"

-List criteria not met (either by staff or Planning Commission)

“I move the Planning Commission vote to continue the Salisbury North MDP Filing No. 1 Amendment 2, Lot 1 Park Expansion Phase 1 to a future date.”

I. BACKGROUND/DISCUSSION

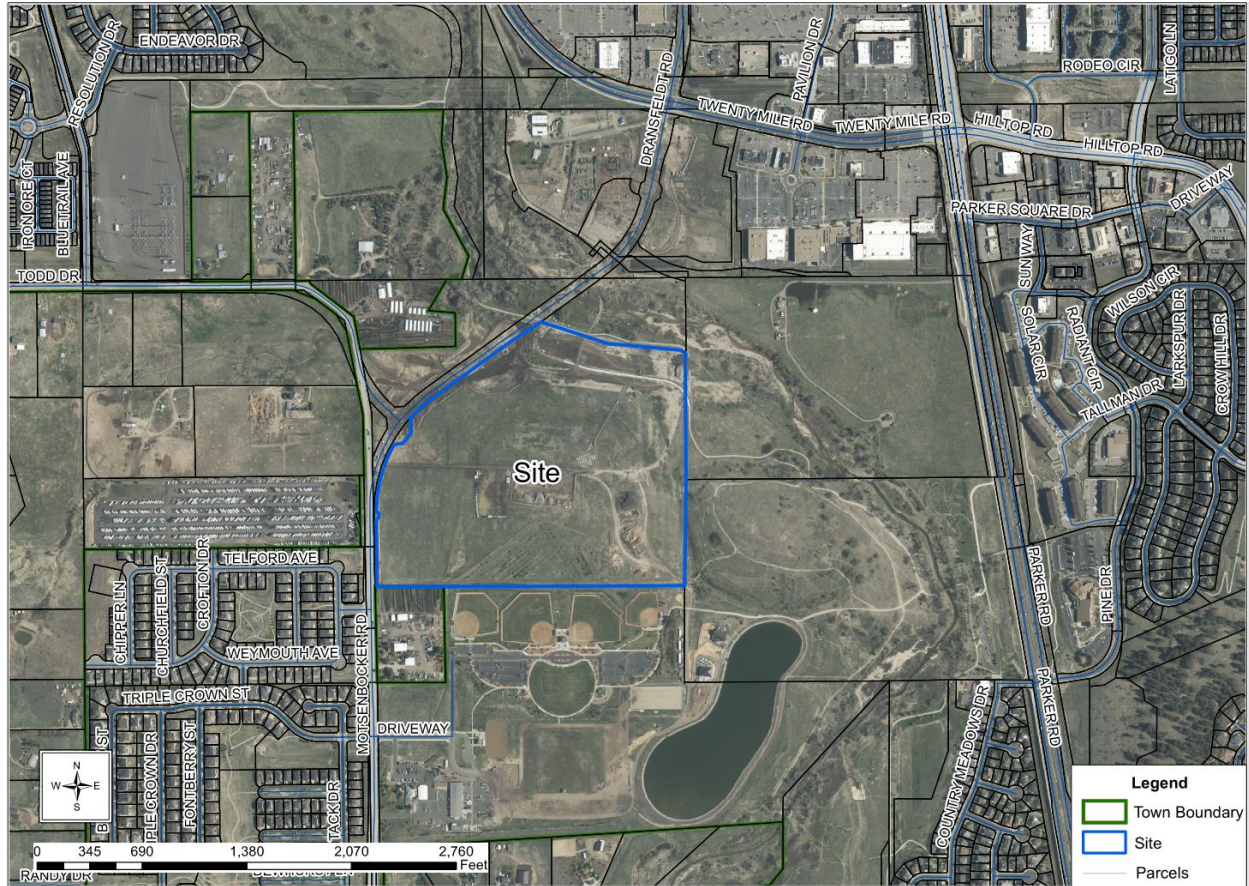
The Town is proposing a Site Plan to add an additional 44.84 acres of developed park land to the north of the existing Salisbury Regional Park. The proposed development of Salisbury Regional Park has been contemplated by the Town since the adoption of the Salisbury Park Master Plan in 2014. The full development of the property, called Salisbury Park North, will be constructed in phases and will take several years to complete. The full construction of the park will include baseball/softball fields, multi-use fields, tennis courts, pickleball courts, a playground, bike park, decorative garden and several buildings with restrooms, storage and concessions.

The Site Plan proposes the first phase of development which will construct:

- four (4) lighted baseball/softball fields with a pedestrian promenade, restrooms and food truck parking,
- two (2) lighted multi-use fields,
- required parking,
- landscaping,
- decorative garden,
- community hub pavilion with restrooms,.

Site plan applications are typically reviewed and processed administratively. However, pursuant to Section 13.03.040 (p) of the Parker Municipal Code, site plan applications for public facilities owned by the Town are required to be scheduled for public hearings. Therefore, the Salisbury North Park Expansion requires a public hearing before both the Planning Commission and Town Council.

Vicinity Map



II. PRIOR ACTIONS

Date	Action
December 7, 2009	The property was Annexed into the Town of Parker and zoned PF- Public Facilities.
December 7, 2009	The Salisbury North Minor Development Plat was approved.
October 14, 2022	The Salisbury North Minor Development Plat First Amendment was approved.
June 26, 2024	The Salisbury North Minor Development Plat Second Amendment was approved.

III. CURRENT SITE DATA

Existing Zoning	Public Facilities District
Overlay District	N/A
PD & Plan Area	PF- Public Facilities District
Master Plan Area	Medium Density Residential

Site Acreage	44.84 acres		
Subdivision	Salisbury North Minor Development Plat		
Existing Use	Vacant		
Surrounding Uses			
	Master Plan Land Use	Zoning	Existing Use
North	Medium Density Residential and Central Commercial	Douglas County Zoning, Open Space and Regional Commercial	Nursery in the County, future Dransfedlt Road and Flatacres Marketplace Commercial Area.
South	Medium Density Residential	Public Facilities District	Existing Salisbury Equestrian Park.
East	Medium Density Residential	Public Facilities District and Agriculture	Cherry Creek Floodplain, open space and KOA Tower.
West	Medium Density Residential	PD - Planned Development and Douglas County Zoning	Outdoor Storage and agricultural land within the County and Salisbury Heights Residential Development in Town.

IV. PARKER 2035 MASTER PLAN
[Parker 2035 Master Plan | Town of Parker - Official Website](#)

MASTER PLAN CONSISTENCY	
Master Plan Designation	Medium Density Residential <input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent
Master Plan Character Discussion	Medium Density Residential: Consists of an overall gross density of 3.5 dwelling units per acre. Higher densities for housing for older adults may be considered as long as impacts are comparable to other uses permitted within this Character Area. Other community assets such as places of worship, schools and parks are appropriate in residential areas.
Consistent Goals/Strategies	Land Use 1.A Land Use 1.B Land Use 1.D Land Use 1.E Land Use 1.H Land Use 1.I Open Space and Recreation 1
Inconsistent Goals/Strategies	None
Staff Analysis	The subject property is located within the Medium Density Residential Character Area as designated by the Parker 2035 Master Plan.

	<p>The Medium Density Residential Character Areas of the Town are the building blocks of a community. Although they focus primarily on residential uses, other community assets such as parks are a needed component.</p> <p>The proposed Site Plan to expand the existing Salisbury Regional Park with an additional approximately 44 acres of regional park space is consistent with the specific Goals/ Strategies of the Master Plan for the following reasons: it will encourage of balance of land uses that support a high quality of life and it will help provide adequate parks and recreational facilities to serve the needs of the community.</p> <p>In addition, this plan implements strategic actions regarding Salsbury Regional Park within the Town’s Parks Recreation and Open Space Plan.</p> <p>Based on this analysis, staff has determined that the request is consistent with the Parker 2035 Master Plan.</p>
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LAND DEVELOPMENT ORDINANCE

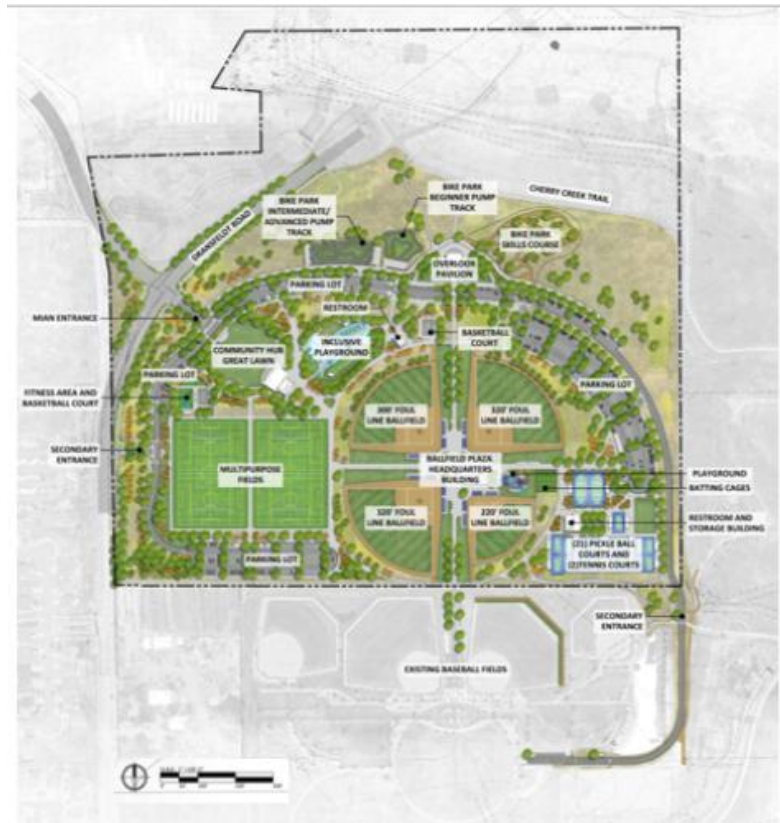
ZONING CONSISTENCY (Site Plan)			
Provisions	Existing/Required	Proposed	Analysis
Setbacks	Front – 10 feet Side – 10 feet Rear – 10 feet	Front – 1060 feet Side – 358 feet Rear – 383 feet	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Density	N/A	N/A	<input type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> N/A
Height/Stories	45 feet		<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Lot Size	None	44.84 acres	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Lot Coverage	None	N/A	<input type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input checked="" type="checkbox"/> N/A
Landscaping	Title 13.06.070	1,064,722 square feet or 54.5%	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent

			<input type="checkbox"/> N/A
Off-Street Parking	Title 13.06.050	334 parking spaces	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent <input type="checkbox"/> N/A
Staff Analysis	This site plan meets or exceeds the zoning and Land Development Ordinance requirements.		

V. DESIGN REVIEW

The application is subject to the Land Development Ordinance and the Development Design Standards. The layout of the park, parking, park amenities, landscaping, and architecture were all analyzed based on these guidelines.

The full build out of the park will add additional park amenities meeting and exceeding the Town’s requirements for park development. Phase one will include several fields, parking, landscaping and one building. The proposed building is architecturally compatible with the existing buildings at Salisbury Regional Park and meet the design standards as outlined by the Town code.





After review and analysis, Staff has determined that all elements of the Land Development Ordinance and the Development Design Standards have been satisfied for the proposed development.

VI. ACCESS, CIRCULATION & TRAFFIC ANALYSIS

Vehicular Access

Vehicular access to the property will be provided along Motsenbocker Road. The existing Salisbury Regional Park access will remain with additional access to the expanded park on the north side through new access on Motsenbocker Road. The existing Salisbury Park and the expansion will be interconnected. The newly constructed Dransfeldt Road extension will allow additional access from the north to the proposed park expansion.

Pedestrian & Bicycle Access

Pedestrian and bicycle access will be provided along Motsenbocker Road and through trail connections along the Cherry Creek Trail.

VII. SUMMARY REFERRAL AGENCY COMMENTS AND CONDITIONS

Agency	Comments
Parker Engineering	Approved
Fire Life Safety	Approved
Douglas County Planning and Engineering	No Comment
Douglas County School District	No Comment
Parker Water & Sanitation District	PWSD has no further comments on the plans for phase 1.
Cherry Creek Basin Water Quality Authority	The Authority confirms receipt of the referral and will assume compliance with post construction requirements
Urban Drainage	No Comment
Xcel	The applicant shall reach out to Xcel for any new services needed.

IREA	The applicant will be required to meet CORE's clearance and metering requirements, see attached CORE documents.
CenturyLink	No Comment
Parker Building Division	Building permits will be required. Please reach out to the Building Division for permits.
Comcast	No Comment
Parker Police	No Comment

VIII. CONCLUSION

The proposal to construct phase one of the Salisbury North Park will add additional amenities to the Salisbury Regional Park that has been contemplated by the Town since the adoption of the Salisbury Park Master Plan in 2014. Per the Town of Parker Land Development Ordinance, any non-residential development must receive Site Plan or Site Plan Amendment approval to ensure that certain Town criteria are met. This Site Plan approval is required prior to construction. Review criteria include satisfaction of setbacks, heights, parking, landscaping, density, layout, architecture, all Public Work/Engineering requirements, and sufficient responses to all other referral agencies. Site Plans are generally administratively reviewed, however, since Salisbury Regional Park is on Town owned property, public hearings before Planning Commission and Town Council are required. After careful review and analysis, the staff has determined that the proposed application has satisfied all requirements for a Site Plan within the Town of Parker. Staff recommends that the Planning Commission approve the proposed Site Plan.

IX. RECOMMENDED CONDITIONS

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X. ATTACHMENTS

Salisbury North Equestrian Park Site Plan Phase 1

Report Approved By: Bryce Matthews, Assistant Director - Planning