

THE SHEET NUMBER AND COLOR WILL BE THE SAME AS THE SHEET NUMBER AND COLOR OF THE PREVIOUS SHEET. THE SHEET NUMBER AND COLOR WILL BE THE SAME AS THE SHEET NUMBER AND COLOR OF THE PREVIOUS SHEET.

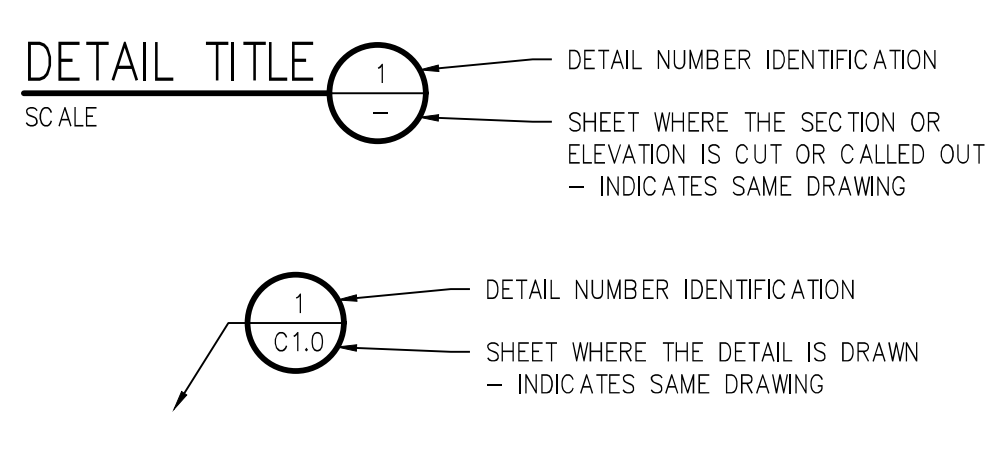
ABBREVIATIONS

AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL	INCLUDED
ABAN	ABANDON	ID	INSIDE DIAMETER
AC	ASPHALTIC CONCRETE PAVING	IN	INLET
ADDL	ADDITIONAL	INSUL	INSULATION
ADDM	ADDENDUM	INV	INVERT
ADJ	ADJUSTABLE	IRR	IRRIGATION
AL	ALUMINUM	JTS	JOINTS
ALT	ALTERNATE	KO	KNOCKOUT
AMT	AMOUNT	KPL	KICK PLATE
APPROX	APPROXIMATE	KWY	KEYWAY
ARCH	ARCHITECT(URAL)	L	LEFT OR LITER
ARV	AIR RELIEF VALVE	LSCAPE	LANDSCAPE(ING)
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LF	LINEAR FOOT
ASPH	ASPHALT	LP	LOW POINT OR LIGHT POLE
ASSY	ASSEMBLY	LT	LIGHT
ASYM	ASYMMETRICAL	LWL	LOW WATER LEVEL
AUTO	AUTOMATIC	MAINT	MAINTENANCE
AVG	AVERAGE	MAN	MANUAL
AWWA	AMERICAN WATER WORKS ASSOC.	MATL	MATERIAL
BC	BACK OF CURB	ME	MECHANICAL
BFV	BUTTERFLY VALVE	MECH	MECHANICAL, ELECTRICAL, PLUMBING (ARCH)
BC	BUILDING BLOCK	MFR	MANUFACTURER
BLDG	BUILDING	MH	MANHOLE
BLK	BENCH MARK	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BMP	BEST MANAGEMENT PRACTICE	MJ	MECHANICAL JOINT
BS	BACKSIGHT	N	NORTH
BOS	BOTTOM OF STEP	NA	NOT APPLICABLE
BOT	BOTTOM	NIC	NOT IN CONTRACT
BOBT	BASEMENT	NPT	NATIONAL PIPE THREAD
BVCE	BEGIN VERTICAL CURVE ELEVATION	NTS	NOT TO SCALE
BVCS	BEGIN VERTICAL CURVE STATION	OS	OFFSET
BW	BOTTOM OF WALL	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CCW	COUNTER CLOCKWISE	OPP	OPPOSITE
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	OPT	OPTIONAL
CIP	CAST IRON PIPE	PC	POINT OF CURVATURE
CJ	CONSTRUCTION JOINT	PCO	PRESSURE CLEAN OUT
CL	CENTER LINE OR CHAIN LINK	PCR	POINT OF CURVE RETURN
CLR	CLEAR	PI	POINT OF INTERSECTION
CMP	CORRUGATED METAL PIPE	PVI	POINT OF VERTICAL INTERSECTION
CMU	CONCRETE MASONRY UNIT	PL	PROPERTY LINE
CO	CLEANOUT	PE	POLYETHYLENE
CONC	CONCRETE	PFAB	PREFABRICATED
CONST	CONSTRUCTION	PREL	PRELIMINARY
CONT	CONTINUOUS(ACTION)	PREP	PREPARATION
COR	CORNER	PROP	PROPOSED
CR	CENTER	PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
CY	CUBIC YARDS	PSF	POUNDS PER SQUARE FOOT
DEMO	DEMOLITION	PSI	POUNDS PER SQUARE INCH
DET	DETAIL	PT	POINT OF TANGENCY
DIA	DIAMETER	PV	PLUG VALVE
DIAG	DIAGONAL	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
DIP	DUCTILE IRON PIPE	PWMT	PAVEMENT
DOM	DOMESTIC	QTY	QUANTITY
DOWN	DOWN	R	RIGHT
DR	DRAIN	RAD	RADIUS
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
DWL	DOWEL	RD	ROOF DRAIN
E	EAST	RE	REFERENCE
EA	EACH	RECT	RECTANGULAR
ECC	ECCENTRIC	REINF	REINFORCE (D) (ING) (MENT)
EJ	EXPANSION JOINT	REQD	REQUIRED
EL	ELEVATION	ROW	RIGHT OF WAY
ELB	ELBOW	SAN	SANITARY
ELEC	ELECTRICAL	SC	SAWCUT
ENGR	ENGINEER	SD	STORM DRAIN
EOP	EDGE OF PAVEMENT	SECT	SECTION
EQ	EQUAL	SPD	STANDARD PROCTOR DENSITY
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EQUIV	EQUIVALENT	SQ	SQUARE
ESMT	EASEMENT	SQ IN	SQUARE INCH
EST	ESTIMATE	SQ FT	SQUARE FOOT
EVCE	END VERTICAL CURVE ELEVATION	SQ YD	SQUARE YARD
EVCS	END VERTICAL CURVE STATION	SS	SANITARY SEWER
EW	EACH WAY	SS	STAINLESS STEEL
EXP	EXPANSION JOINT	STA	STATION
EXIST	EXISTING	STD	STANDARD
FND	FOUNDATION	STL	STEEL
FES	FLARED END SECTION	STRUCT	STRUCTURAL
FF	FINISH FLOOR	SVC	SERVICE
FG	FINISH GRADE	SWM	STORMWATER MANAGEMENT PLAN
FH	FIRE HYDRANT	SYM	SYMMETRICAL
FL	FLOW LINE	TB	THRUST BLOCK
FN	FENCE	TBC	TOP BACK OF CURB
FOC	FACE OF CONCRETE	TBM	TEMPORARY BENCH MARK
FPM	FEET PER MINUTE	TEMP	TEMPORARY
FPS	FEET PER SECOND	TG	FINISHED GRADE ADJACENT TO TOP OF WALL
FT	FEET	THK	THICK
FTG	FOOTING OR FITTING	TOB	TOP OF BANK
G	GAS	TOC	TOP OF CONCRETE OR TOP OF CURB
GA	GAUGE	TOS	TOP OF STEP
GAL	GALLON	TOT	TOTAL
GALV	GALVANIZED	TW	TOP OF WALL OR CAP OF WALL
GCO	GRADE CLEANOUT	TYP	TYPICAL
GIP	GALVANIZED IRON PIPE	UBC	UNIFORM BUILDING CODE
GND	GROUND	UGE	UNDERGROUND ELECTRIC
GPD	GALLONS PER DAY	UTL	UTILITY
GPM	GALLONS PER MINUTE	VERT	VERTICAL
GR	GRATE	VC	POINT OF VERTICAL CURVATURE
GRG	GRATING	VCP	VITRIFIED CLAY PIPE
GSP	GALVANIZED STEEL PIPE	W	WDE OR WIDTH
GV	GATE VALVE	W/	WITH
H	HIGH	W/O	WITHOUT
HB	HOSE BIB	WQV	WATER QUALITY CONTROL VOLUME
HE	HORIZONTAL ELLIPTICAL	WSE	WATER SURFACE ELEVATION
HDWL	HEADWALL	WW	WASTEWATER
HNDRL	HAND RAIL	X	SECT CROSS SECTION
HORIZ	HORIZONTAL	XFMR	ELECTRICAL TRANSFORMER
HP	HIGH POINT	YH	YARD HYDRANT
HR	HOUR		
HVAC	HEATING, VENTILATION, AIR CONDITIONING		
HWY	HIGHWAY		
HWL	HIGH WATER LINE		
HYD	HYDRANT		

DESIGN LEGEND

	BENCHMARK		FENCE
	MANHOLE		FLOW LINE OF DITCH OR WASH
	AREA DRAIN		SLOPE ARROW
	COMBINATION INLET		PROPOSED SPOT ELEVATION
	TYPE R INLET		EXIST SPOT ELEVATION
	TYPE 13 FIELD INLET		EXIST INDEX CONTOUR
	FLARED END SECTION W/ RIPRAP		EXIST INTERMEDIATE CONTOUR
	TEE W/ THRUST BLOCK		PROPOSED INDEX CONTOUR
	BEND W/ THRUST BLOCK		PROPOSED INTERMEDIATE CONTOUR
	END CAP W/ THRUST BLOCK		CURB AND GUTTER
	GATE VALVE		SPILL/CATCH CURB TRANSITION
	BUTTERFLY VALVE		SIGN W/ POST
	REDUCER/INCHREASER		CURB RAMP
	WATER METER		SIDEWALK CHASE
	FIRE HYDRANT		SIDEWALK
	STORM - 12" AND SMALLER		CONCRETE PAVING
	STORM - LARGER THAN 12"		HEAVY DUTY CONCRETE PAVING
	ROOF DRAIN		HEAVY DUTY ASPHALT PAVING
	TRENCH DRAIN		LIGHT DUTY ASPHALT PAVING
	UNDERDRAIN		GRAVEL
	SANITARY SEWER - 12" AND SMALLER		PROPOSED BUILDING
	SANITARY SEWER - LARGER THAN 12"		BUILDING ACCESS
	FORCE MAIN		RETAINING WALL
	WATER - 12" AND SMALLER		BOULDER/ROCK WALL
	WATER - LARGER THAN 12"		LIMITS OF SAWCUT
	NON POTABLE WATER		LIMITS OF WORK
	POTABLE WATER		EASEMENT LINE
	IRRIGATION - 12" AND SMALLER		PROPERTY LINE
	IRRIGATION - LARGER THAN 12"		ADJACENT PROPERTY LINE/ROW
	CABLE TV		MATCHLINE
	DRAIN		
	ELECTRIC		
	UNDERGROUND ELECTRIC		
	OVERHEAD ELECTRIC		
	TELEPHONE		
	FIBER OPTIC		
	FUEL		
	GAS		
	PVC PIPE (MISC)		

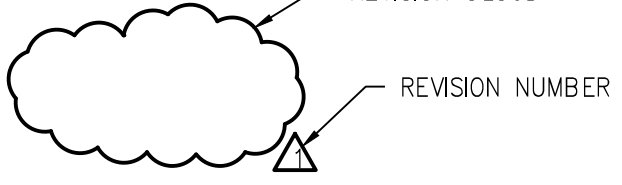
DETAIL TITLE



SECTION CALLOUT



DETAIL MARKER



SURVEY LEGEND

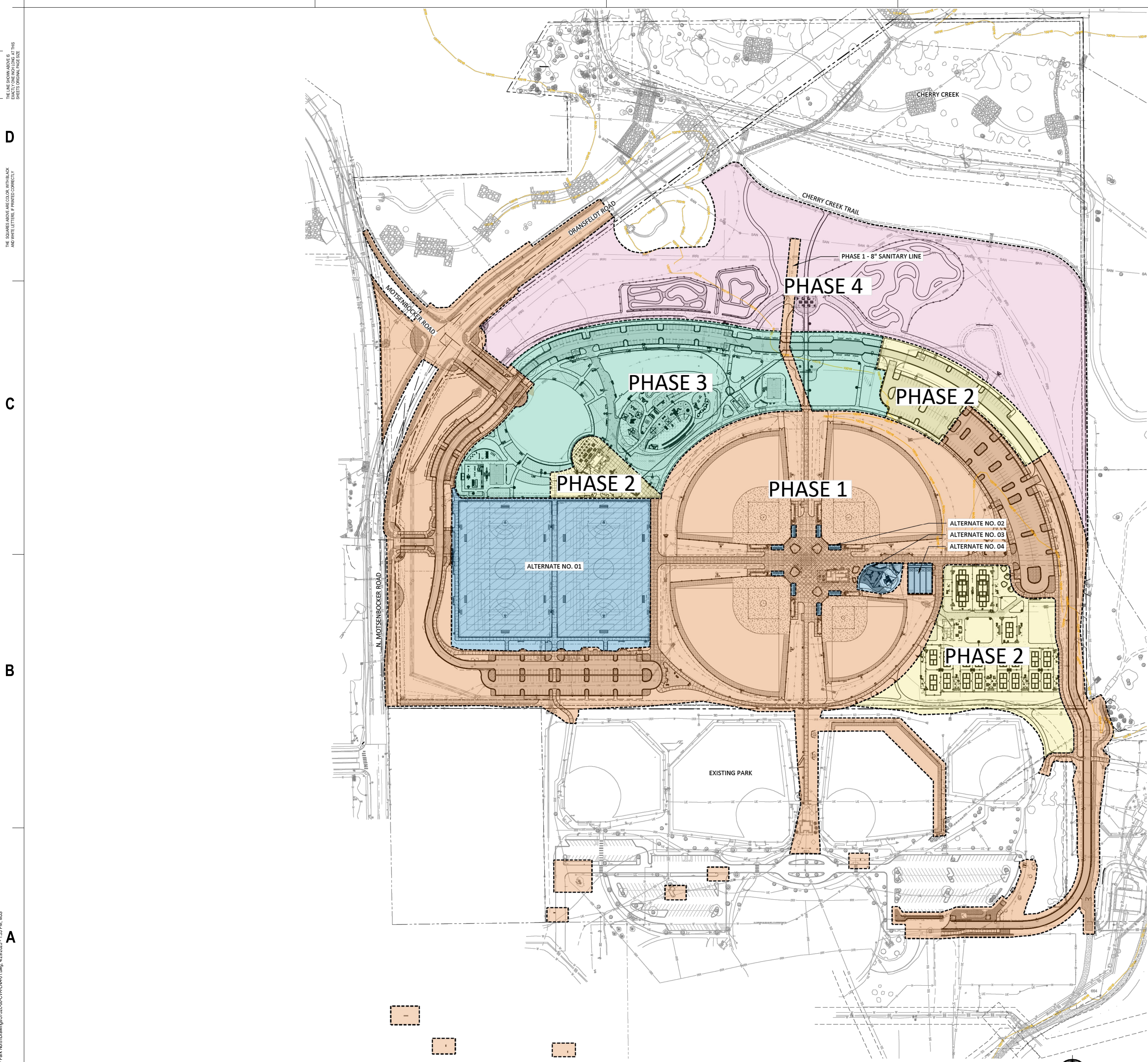
	WATER LINE		BENCHMARK AS DESCRIBED
	WATER VALVE		FOUND MONUMENT
	WATER METER		FOUND MONUMENT
	FIRE HYDRANT		TEST CP
	SANITARY SEWER LINE		UTILITY LOCATED FROM MAP
	SANITARY SEWER MANHOLE		AS MEASURED AT TIME OF SURVEY
	STORM DRAINAGE LINE		CALCULATED FROM RECORD AND AS MEASURED INFORMATION
	STORM DRAINAGE MANHOLE		PLAT
	CURB INLET		RECORDED
	UNDERGROUND ELECTRICAL LINE		MAILBOX
	OVERHEAD ELECTRICAL LINE		CONCRETE
	ELECTRICAL POLE		EDGE OF ASPHALT
	GUY WIRE		GRAVEL
	ELECTRICAL TRANSFORMER		FENCE
	ELECTRICAL RISER		GUARDRAIL
	ELECTRIC VAULT		SIGN
	LIGHT POLE		CONIFEROUS TREE (TRUNK DIAMETER/D RIP LINE RADIUS)
	DECORATIVE LIGHT		DECIDUOUS TREE (TRUNK DIAMETER/D RIP LINE RADIUS)
	FIBEROPTIC LINE		BOULDER
	TELEPHONE LINE		
	TELEPHONE RISER		
	GAS LINE		
	INDICATION OF ACCESS		
	BUILDING		

NOTE: SHADED ITEMS REPRESENT EXIST FEATURES

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF PARKER, PARKER WATER & SANITATION DISTRICT, COLORADO DEPARTMENT OF TRANSPORTATION, JURISDICTIONAL FIRE PROTECTION REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM MUNICIPALITY/UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC.), WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER(S). ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL SURFACE WORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x8" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. (SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, MILE HIGH FLOOD DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
- ADA COMPLIANCE: THE CROSS-SLOPE OF ALL WALKS MUST BE LESS THAN 1:48 (2.0%) PERPENDICULAR TO DIRECTION OF TRAVEL. RUNNING SLOPE OF ACCESSIBLE WALKS MUST BE NOT STEEPER THAN 1:20 (5.0%) IN DIRECTION OF TRAVEL. MAXIMUM GRADE OF ACCESSIBLE CURB RAMPS AND RAMPS IS 1:12 (8.3%). CURB RAMPS SHALL PROVIDE A LANDING AT THE TOP AND RAMP RUNS PROVIDE LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN AT A SLOPE NOT TO EXCEED 1:48. RAMP RUNS EXCEEDING SIX INCHES SHALL INCLUDE HANDRAILS. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK OF SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED. ALL RAMPS, STAIRS, EDGE PROTECTION, AND RAILINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. ACCESSIBLE CURB RAMPS SHALL CONFORM TO THE CDOT M-STANDARDS (SEE DETAIL M-608-1, ETC.). ACCESSIBLE FEATURE WITHIN THE PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED TO CONFORM TO THE LOCAL AUTHORITY HAVING JURISDICTION REQUIREMENTS.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.
- SURVEY INFORMATION:
 - BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY AZTEC CONSULTING INC. SEE TOPOGRAPHIC SURVEY FOR SALISBURY PARK DATED JUNE 01,2023. BENCHMARK: DOUGLAS COUNTY GIS MONUMENT NUMBER 1.085040 BEING A 3 - 1/4" ALUMINUM ALLOY CAP STAMPED "DOUGLAS COUNTY GIS 1.085040" LOCATED EAST OF THE BIKE PATH EAST OF RODEO CIRCLE, ABOUT 44' EAST OF THE SOUTHEAST CORNER OF 11666 RODEO CIRCLE. THE DATUM IS PER SURVEY. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - BASES OF BEARINGS: SEE PLANS.
 - HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:

CP-01	N609098.89	E204985.46	ELEV5870.51	SET NO. 5 X 18" REBAR W/ 1-1/4" GREEN PLASTIC CAP STAMPED "AZTEC LS 38691" AT SOUTHWEST PROPERTY CORNER
CP-02				



PHASING LEGEND

- PHASE 1 (BALLFIELDS, PARKING)
- PHASE 1 ALTERNATES (MULTIPURPOSE FIELDS, BLEACHER SHADE STRUCTURES, BALLFIELD PLAYGROUND, BATTING CAGES)
- PHASE 2 (SPORTS COURTS, PARKING)
- PHASE 3 (COMMUNITY HUB, FITNESS AREA, INCLUSIVE PLAYGROUND, PARKING)
- PHASE 4 (BIKE PARK, OVERLOOK PAVILION, PARKING)

hord | coplan | macht
 LANDSCAPE ARCHITECT / ARCHITECT
 1800 Wazee Street, Suite 450
 Denver, CO 80202
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER
 JVA Incorporated
 1675 Larmer Street, #550
 Denver, CO 80202
 p. 303.444.1961

ELECTRICAL ENGINEER
 Ackerman Engineering, Inc.
 3200 Foundry Street, #204
 Wheat Ridge, CO 80215
 p. 303.278.7297

IRRIGATION
 Avocet Irrigation
 11725 W. 56th Circle, Suite F-509
 Littleton, CO 80127
 p. 303.986.2175

MECHANICAL ENGINEER
 ENVISION Mechanical Engineers, Inc.
 3777 Grand Court, #500
 Englewood, CO 80112
 p. 303.688.0223

Town of Parker
**SALISBURY REGIONAL
 PARK - PHASE 1**
 11700 MOTZENBOCKER RD
 PARKER, CO 80134

ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 PLANNING
 INTERIOR DESIGN

DATE	DESCRIPTION

Project Number: 223072.00
 Sheet Issue Date: 2025-05-02
 Drawn By: AMF/KAM/MJS
 Checked By: WTP/CWK/CFG
 Key Map

Drawing
**OVERALL SITE AND PHASING
 PLAN**

C-004
 SITE PLAN SUBMITTAL

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS. ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.

REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

BY: _____ (DISTRICT REPRESENTATIVE)

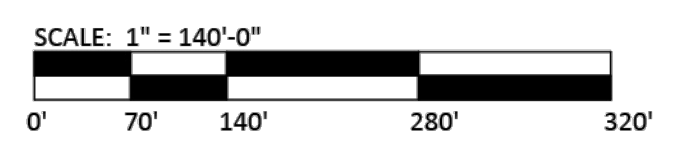
DATE: _____

APPROVED FOR CONSTRUCTION:
 PARKER WATER AND SANITATION DISTRICT

BY: _____ (DISTRICT ENGINEER)

DATE: _____

A1 OVERALL SITE AND PHASING PLAN
 1" = 140'-0"



Q:\37526 - Salisbury Park North\Drawings\37526-00-CYR\NA-01.dwg, 4/29/2025 - 1:53 PM, MJS

THE SQUARES HAVE AN AREA COLOR WITH BLACK AND WHITE LETTERS. IF PRINTED CORRECTLY, THE SQUARES SHOULD BE THE SAME SIZE.

D

C

B

A

1

2

3

4

5

Town of Parker
**SALISBURY REGIONAL
 PARK - PHASE 1**
 11700 MOTSENBOCKER RD
 PARKER, CO 80134

ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 PLANNING
 INTERIOR DESIGN

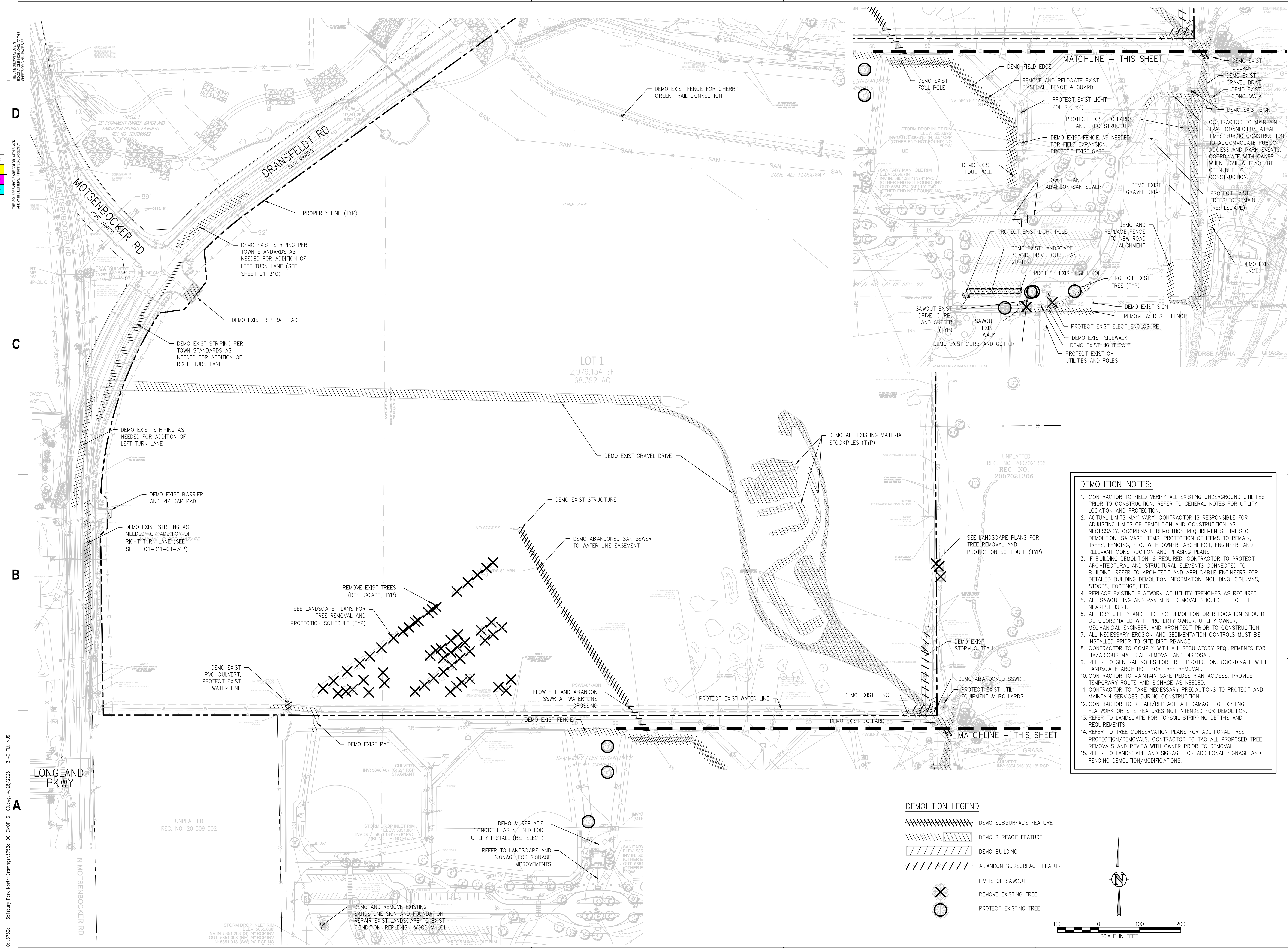
DATE	DESCRIPTION

Project Number: 223072.00
 Sheet Issue Date: 2025-05-02
 Drawn By: AMF/KAM/JMS
 Checked By: WTP/CWK/KCFG
 Key Map

Drawing
**PHASE 1 DEMOLITION
 PLAN**

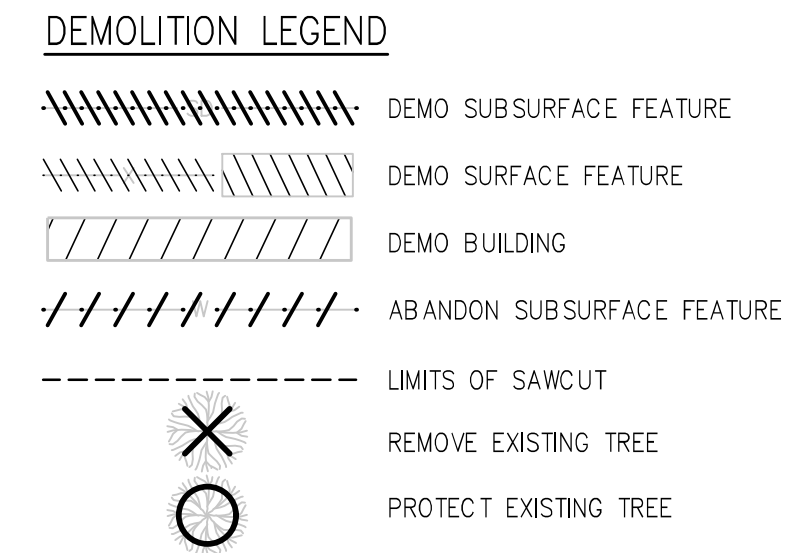
C1-020

SITE PLAN SUBMITTAL



DEMOLITION NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- ACTUAL LIMITS MAY VARY. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING LIMITS OF DEMOLITION AND CONSTRUCTION AS NECESSARY. COORDINATE DEMOLITION REQUIREMENTS, LIMITS OF DEMOLITION, SALVAGE ITEMS, PROTECTION OF ITEMS TO REMAIN, TREES, FENCING, ETC., WITH OWNER, ARCHITECT, ENGINEER, AND RELEVANT CONSTRUCTION AND PHASING PLANS.
- IF BUILDING DEMOLITION IS REQUIRED, CONTRACTOR TO PROTECT ARCHITECTURAL AND STRUCTURAL ELEMENTS CONNECTED TO BUILDING. REFER TO ARCHITECT AND APPLICABLE ENGINEERS FOR DETAILED BUILDING DEMOLITION INFORMATION INCLUDING, COLUMNS, STOODS, FOOTINGS, ETC.
- REPLACE EXISTING FLATWORK AT UTILITY TRENCHES AS REQUIRED.
- ALL SAWCUTTING AND PAVEMENT REMOVAL SHOULD BE TO THE NEAREST JOINT.
- ALL DRY UTILITY AND ELECTRIC DEMOLITION OR RELOCATION SHOULD BE COORDINATED WITH PROPERTY OWNER, UTILITY OWNER, MECHANICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION.
- ALL NECESSARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO SITE DISTURBANCE.
- CONTRACTOR TO COMPLY WITH ALL REGULATORY REQUIREMENTS FOR HAZARDOUS MATERIAL REMOVAL AND DISPOSAL.
- REFER TO GENERAL NOTES FOR TREE PROTECTION. COORDINATE WITH LANDSCAPE ARCHITECT FOR TREE REMOVAL.
- CONTRACTOR TO MAINTAIN SAFE PEDESTRIAN ACCESS. PROVIDE TEMPORARY ROUTE AND SIGNAGE AS NEEDED.
- CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN SERVICES DURING CONSTRUCTION.
- CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING FLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.
- REFER TO LANDSCAPE FOR TOPSOIL STRIPPING DEPTHS AND REQUIREMENTS
- REFER TO TREE CONSERVATION PLANS FOR ADDITIONAL TREE PROTECTION/REMOVALS. CONTRACTOR TO TAG ALL PROPOSED TREE REMOVALS AND REVIEW WITH OWNER PRIOR TO REMOVAL.
- REFER TO LANDSCAPE AND SIGNAGE FOR ADDITIONAL SIGNAGE AND FENCING DEMOLITION/MODIFICATIONS.



THE LINE SHOWN ABOVE IS IN COLOR WITH BLACK AND WHITE LETTERS PRINTED CORRECTLY. SHEETS ORDINAL PAGE SIZE. THE SQUARES ARE COLOR WITH BLACK AND WHITE LETTERS PRINTED CORRECTLY. SHEETS ORDINAL PAGE SIZE.

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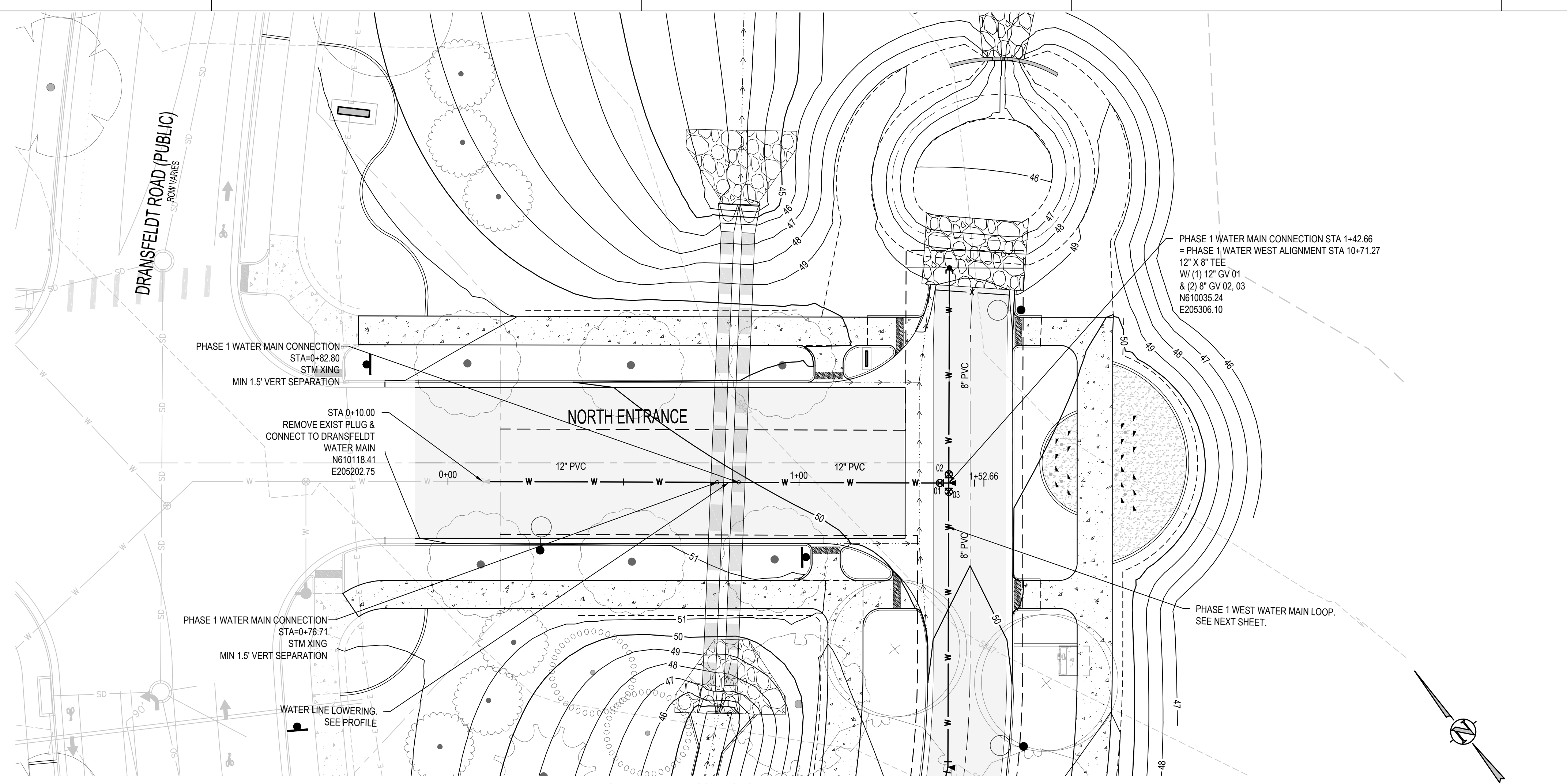
THE SQUARES HAVE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.
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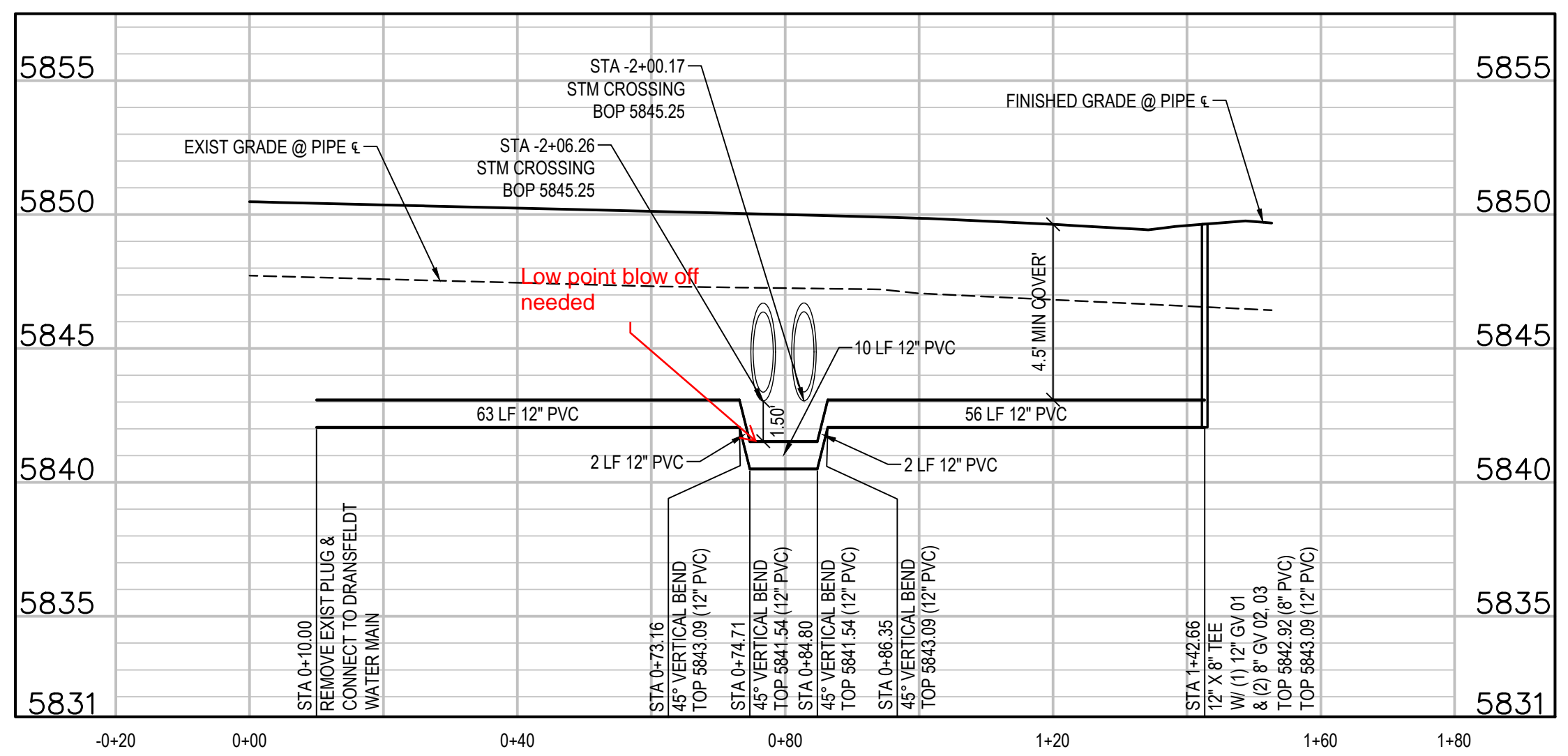
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PHASE 1 WATER MAIN CONNECTION PLAN
 SCALE: 1" = 20'



PHASE 1 WATER MAIN CONNECTION PROFILE
 SCALE: 1" = 20' HORIZ
 1" = 5' VERT

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ELECTRICAL ENGINEER
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 p. 303.278.7297

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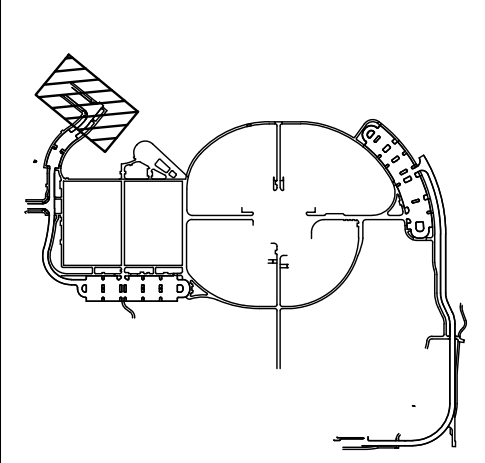
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Town of Parker
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 PARKER, CO 80134

ARCHITECTURE
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 PLANNING
 INTERIOR DESIGN

DATE	DESCRIPTION

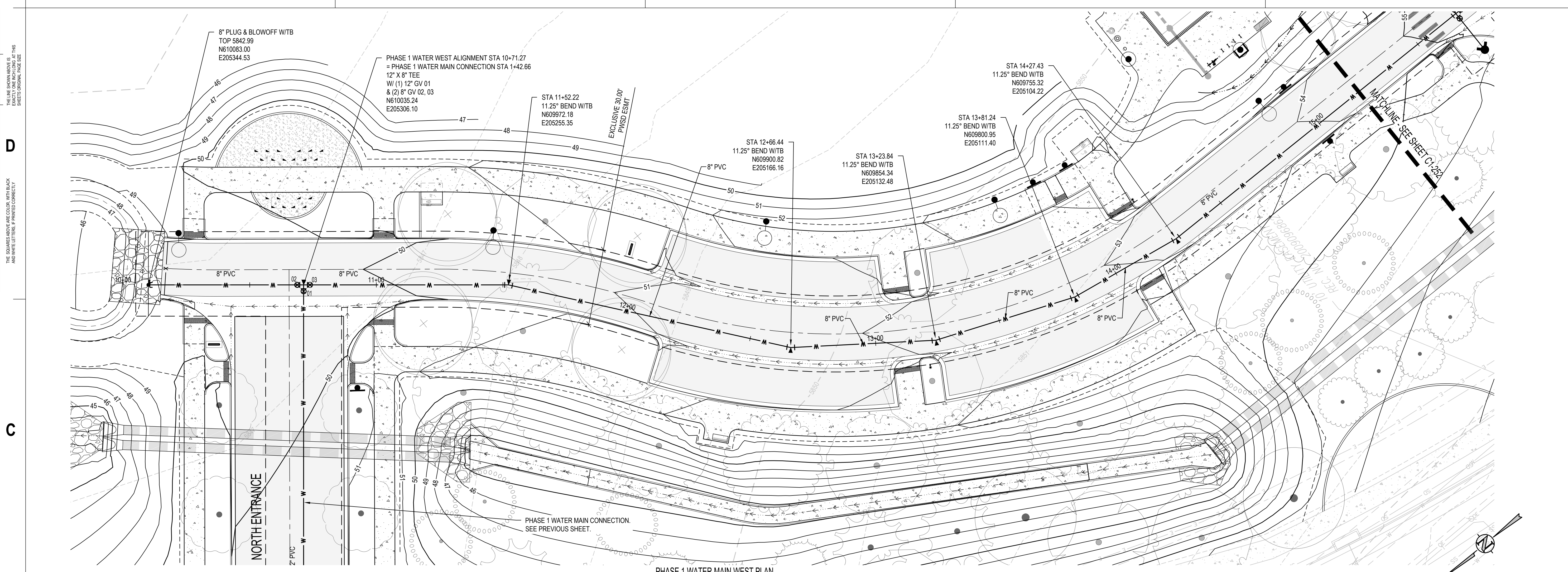
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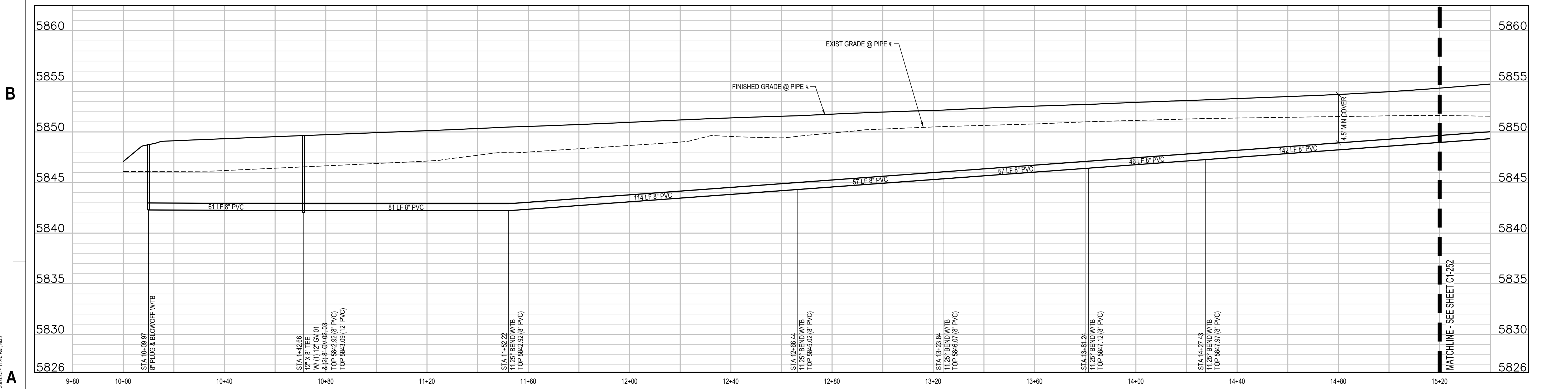
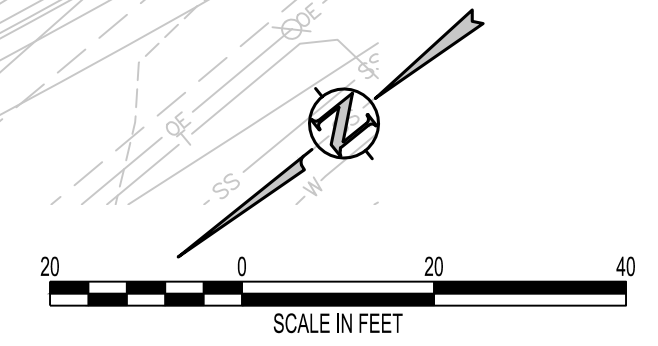
Drawing
**PHASE 1 WATER MAIN
 PLAN & PROFILE**

C1-250

SITE PLAN SUBMITTAL



PHASE 1 WATER MAIN WEST PLAN
SCALE: 1" = 20'



PHASE 1 WATER MAIN WEST PROFILE
SCALE: 1" = 20' HORIZ
1" = 5' VERT

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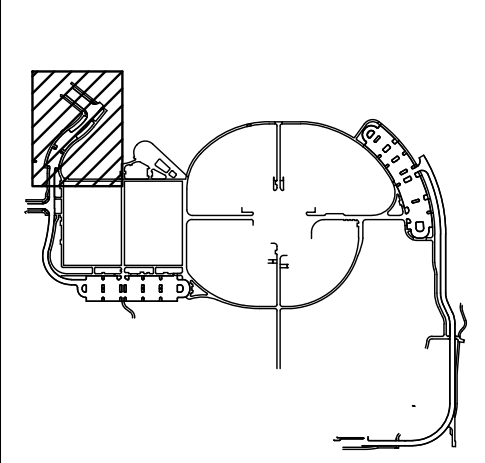
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ARCHITECTURE
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Drawing
**PHASE 1 WATER MAIN
 PLAN & PROFILE**

C1-251

SITE PLAN SUBMITTAL

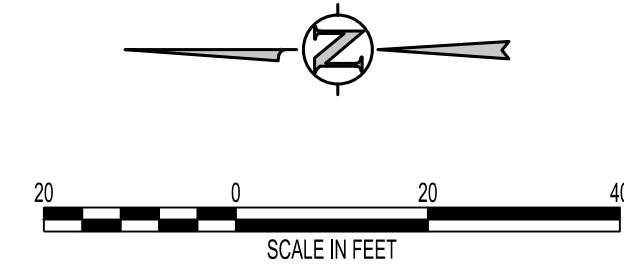
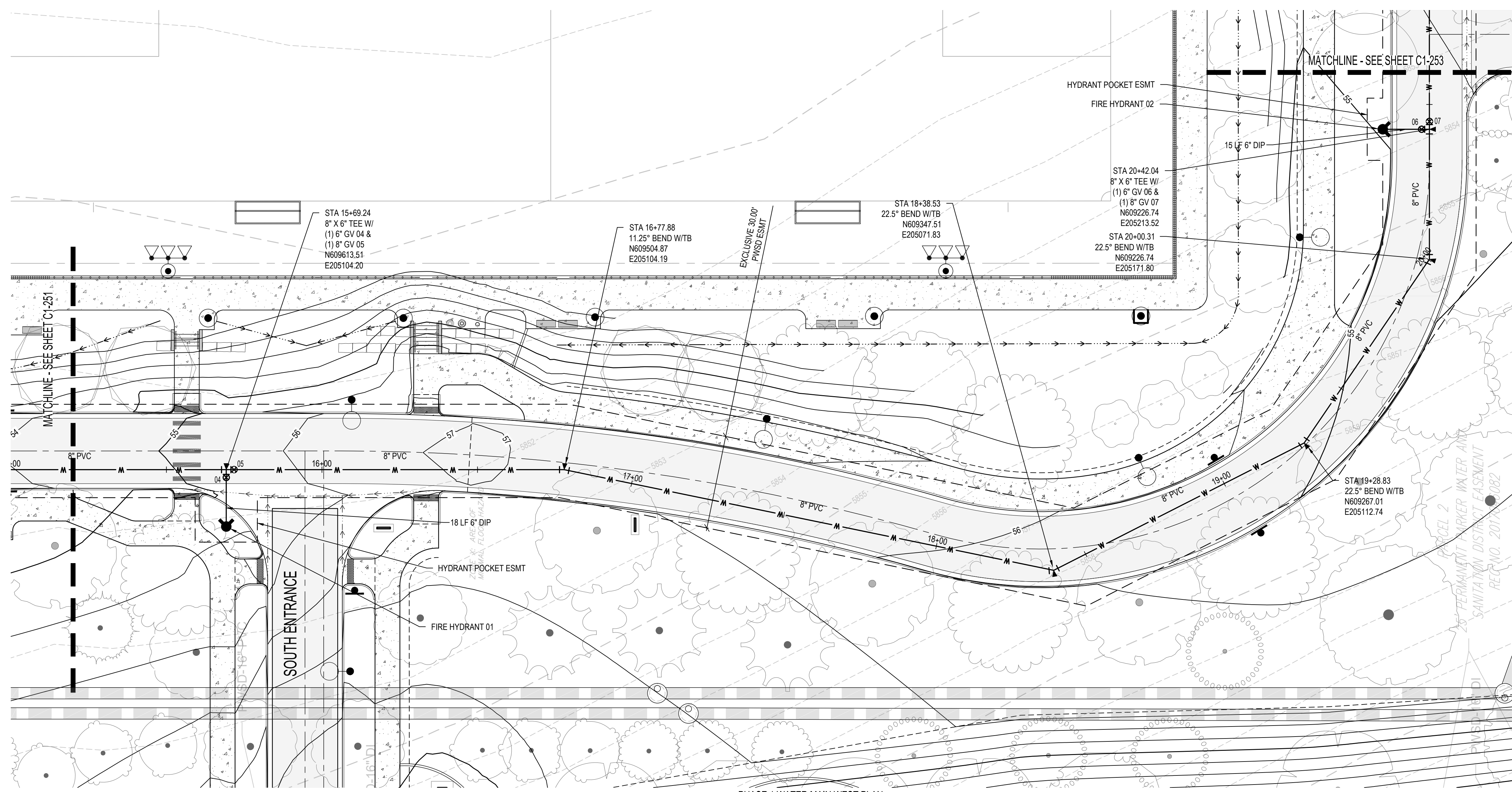
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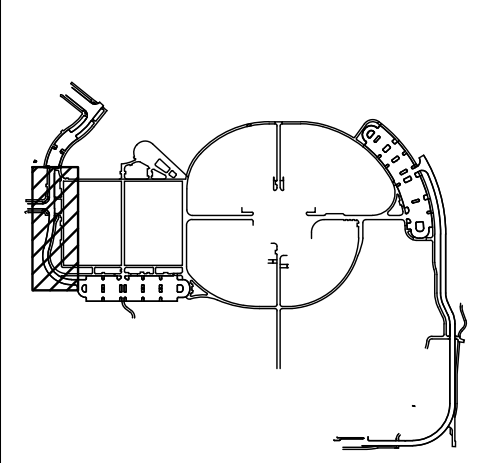
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Town of Parker
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ARCHITECTURE
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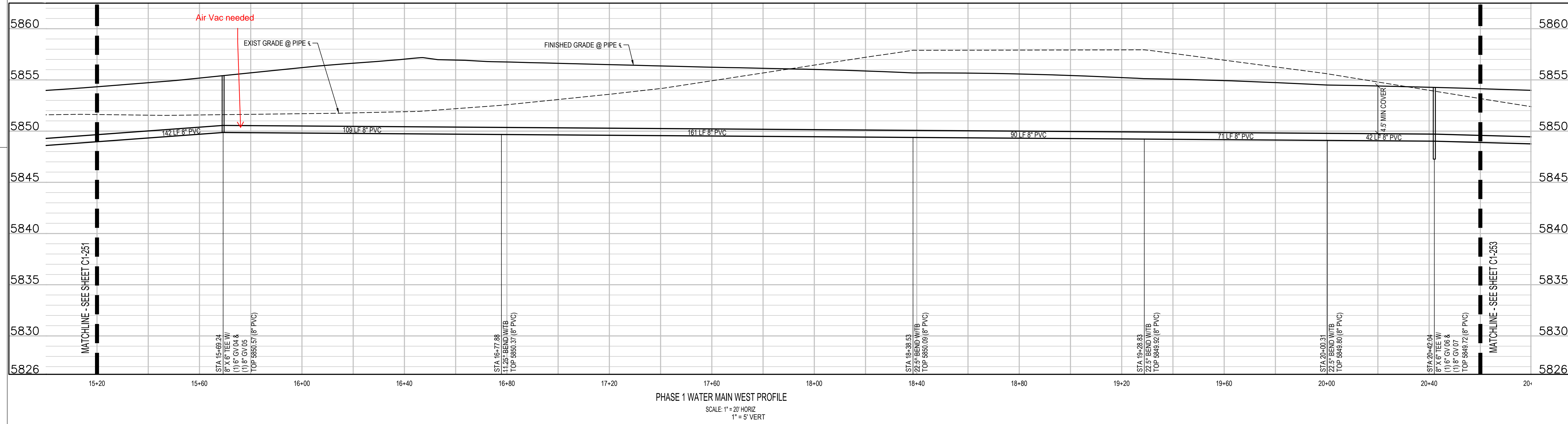
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Drawing
**PHASE 1 WATER MAIN
 PLAN & PROFILE**

C1-252

SITE PLAN SUBMITTAL



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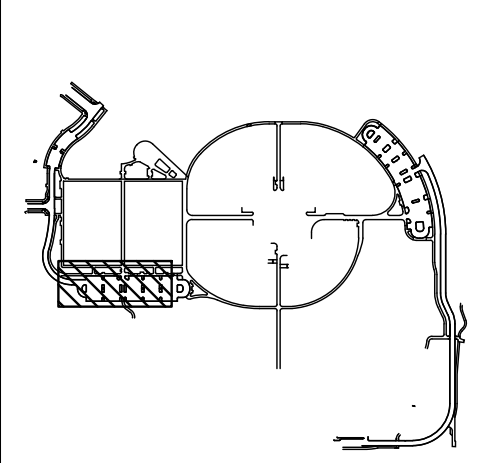
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Town of Parker
**SALISBURY REGIONAL
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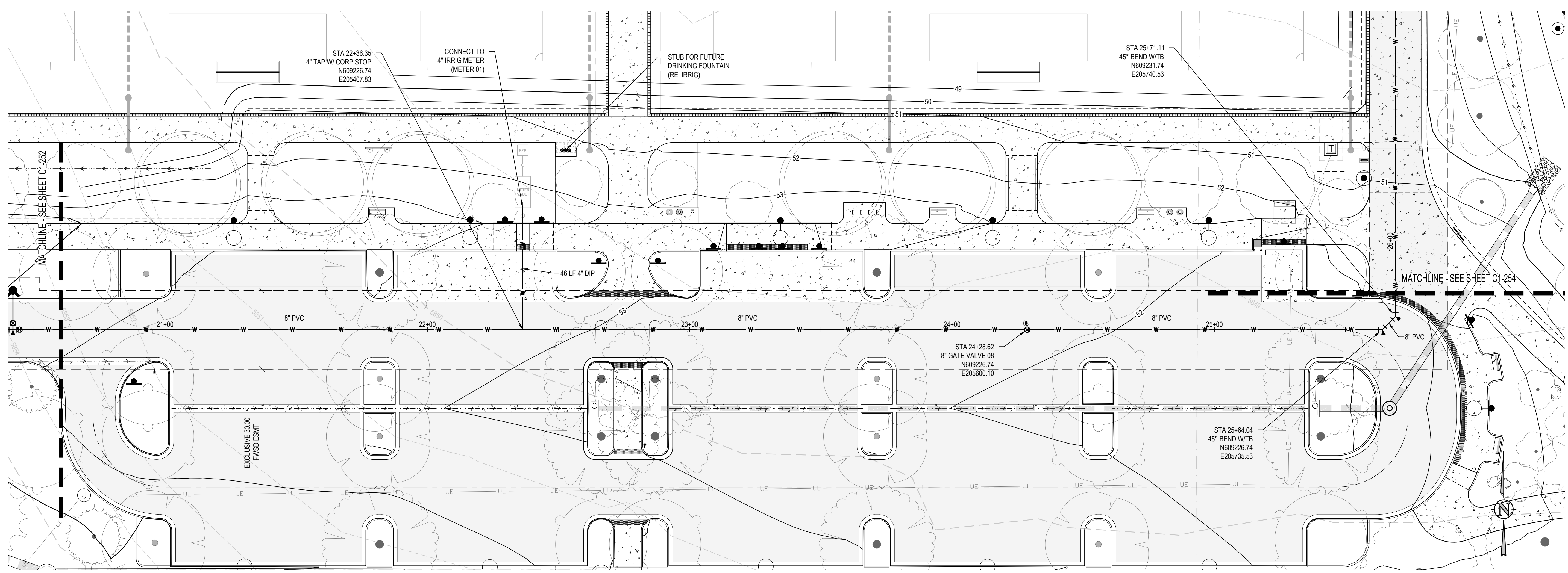
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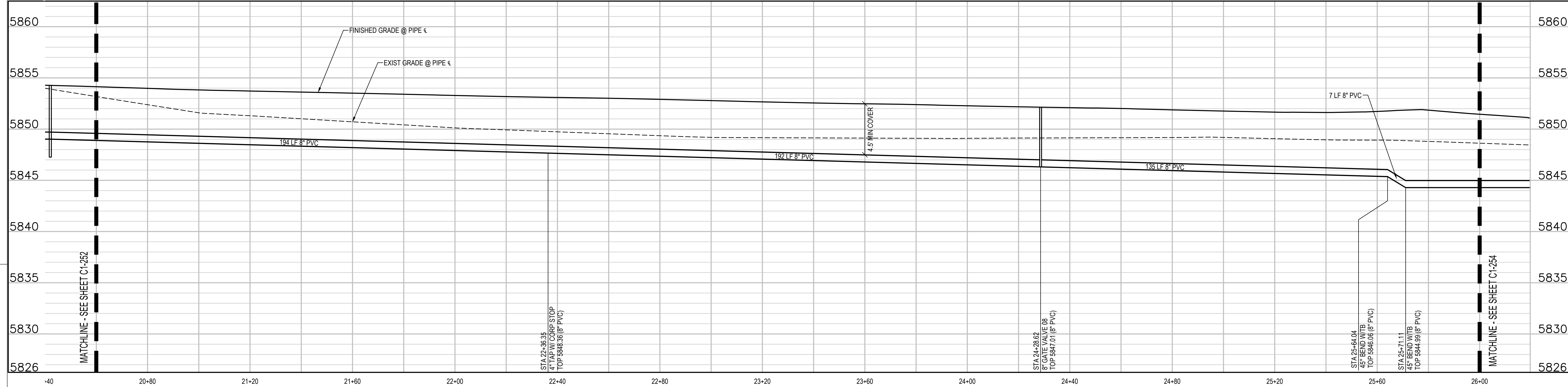
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Drawing
**PHASE 1 WATER MAIN
 PLAN & PROFILE**
C1-253
 SITE PLAN SUBMITTAL



PHASE 1 WATER MAIN WEST PLAN
 SCALE: 1" = 20'

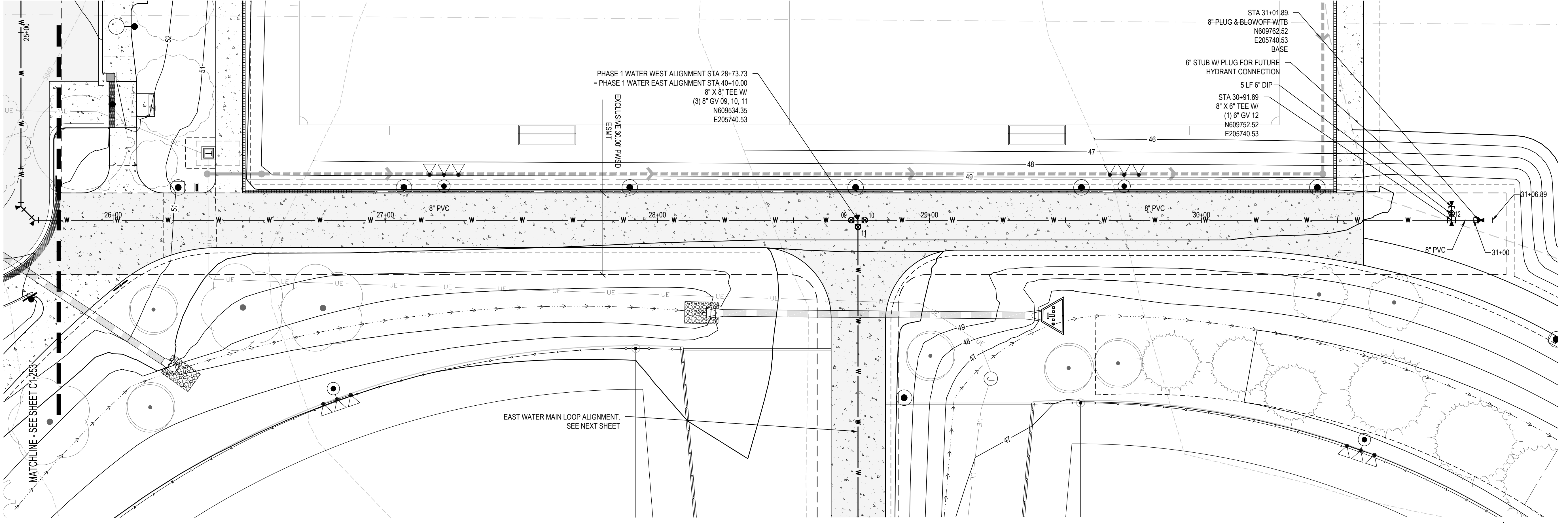


PHASE 1 WATER MAIN WEST PROFILE
 SCALE: 1" = 20' HORIZ
 1" = 5' VERT

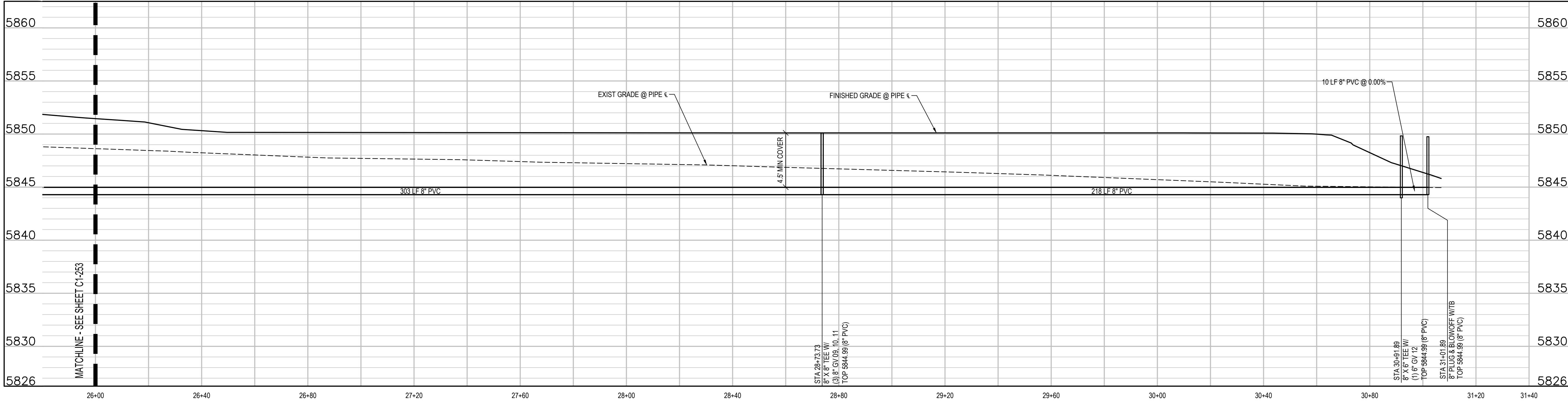
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THE SQUARES AND COLORS WITH BLACK AND WHITE LETTERS PRINTED CORRECTLY
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PHASE 1 WATER MAIN WEST PLAN
SCALE: 1" = 20'



PHASE 1 WATER MAIN WEST PROFILE
SCALE: 1" = 20' HORIZ
1" = 5' VERT

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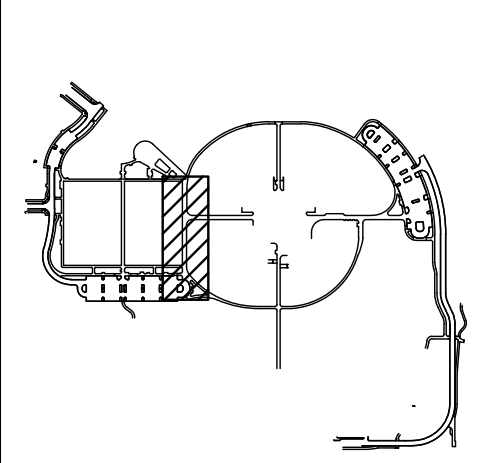
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Town of Parker
**SALISBURY REGIONAL
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 11700 MOTSENBOCKER RD
 PARKER, CO 80134

ARCHITECTURE
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DATE	DESCRIPTION

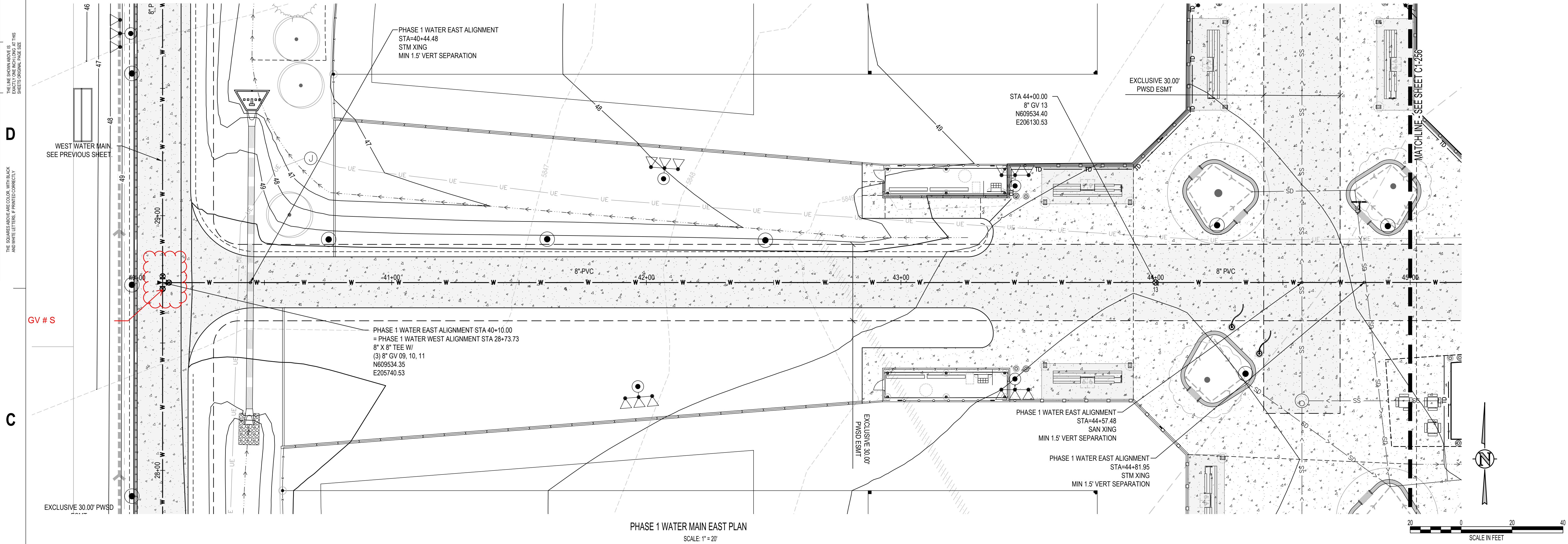
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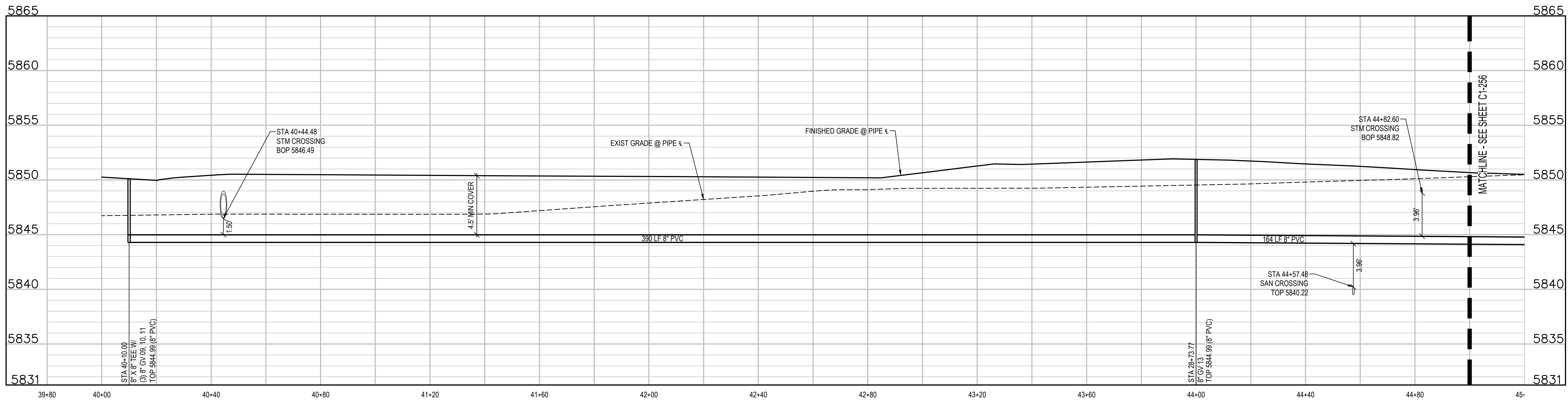
Drawing
 PHASE 1 WATER MAIN
 PLAN & PROFILE

C1-254

SITE PLAN SUBMITTAL



PHASE 1 WATER MAIN EAST PLAN
SCALE: 1" = 20'



PHASE 1 WATER MAIN EAST PROFILE
SCALE: 1" = 20' HORIZ
1" = 5' VERT

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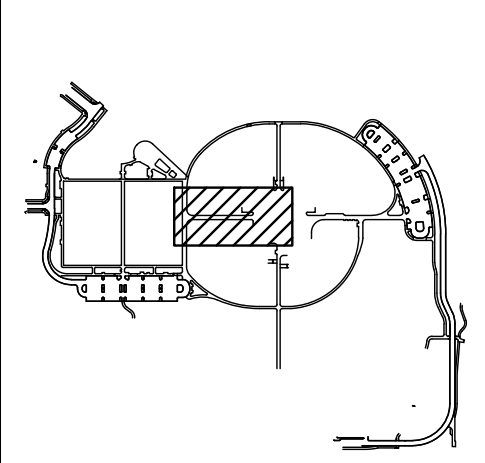
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Town of Parker
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ARCHITECTURE
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DATE	DESCRIPTION

Project Number: 223072.00
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Drawing
**PHASE 1 WATER MAIN
 PLAN & PROFILE**

C1-255

SITE PLAN SUBMITTAL

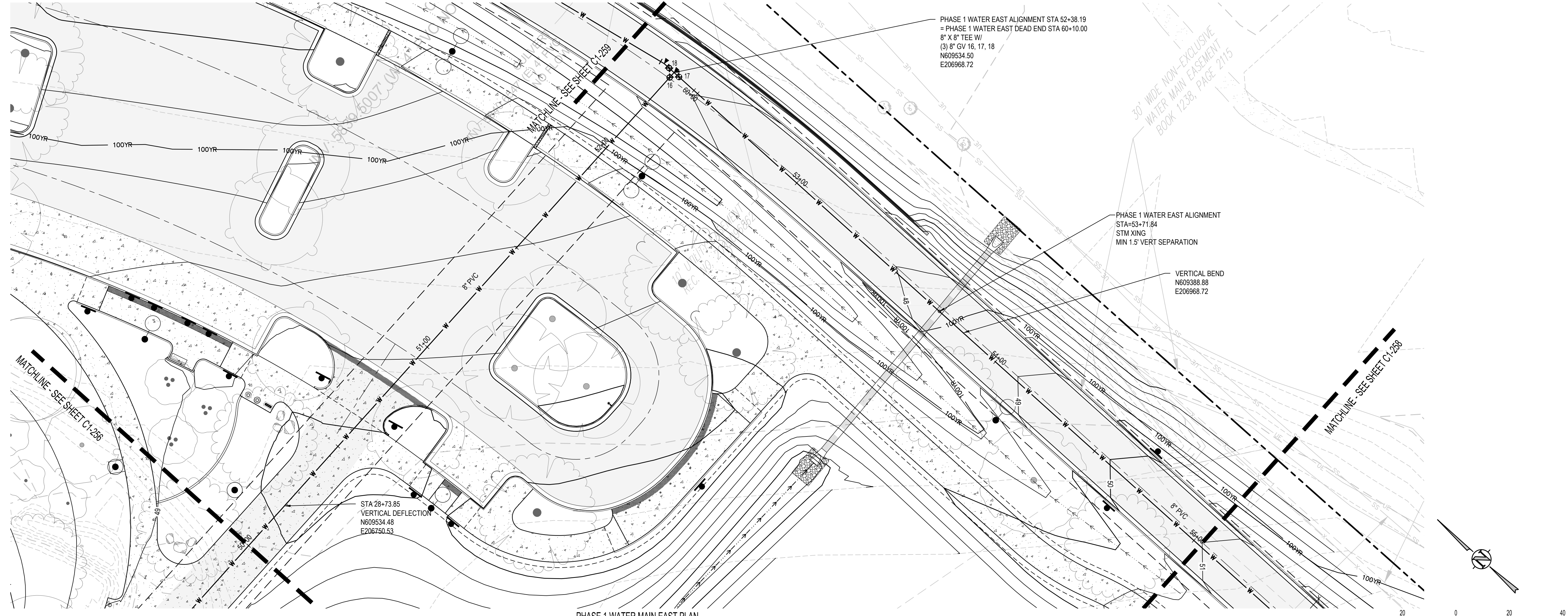
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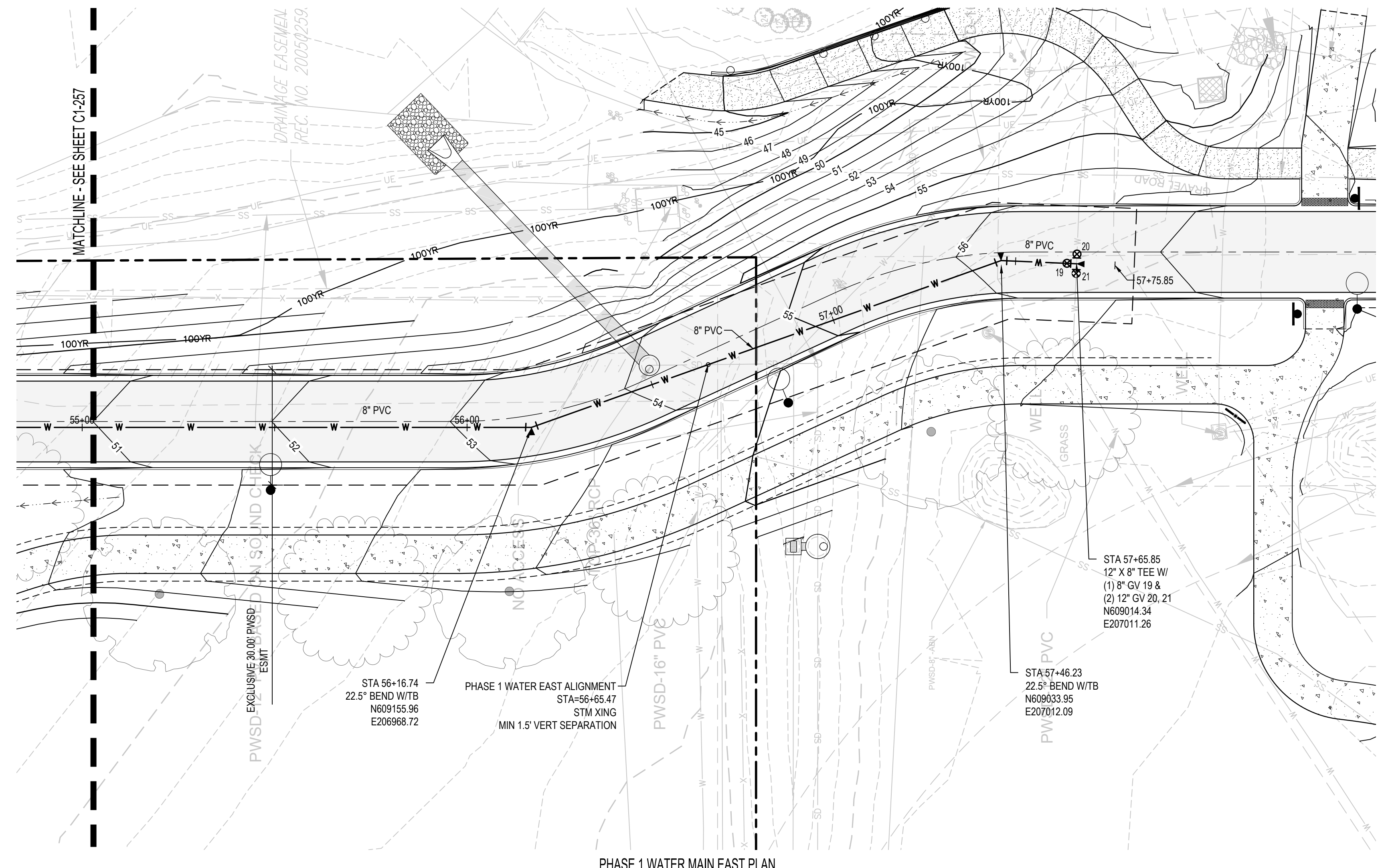
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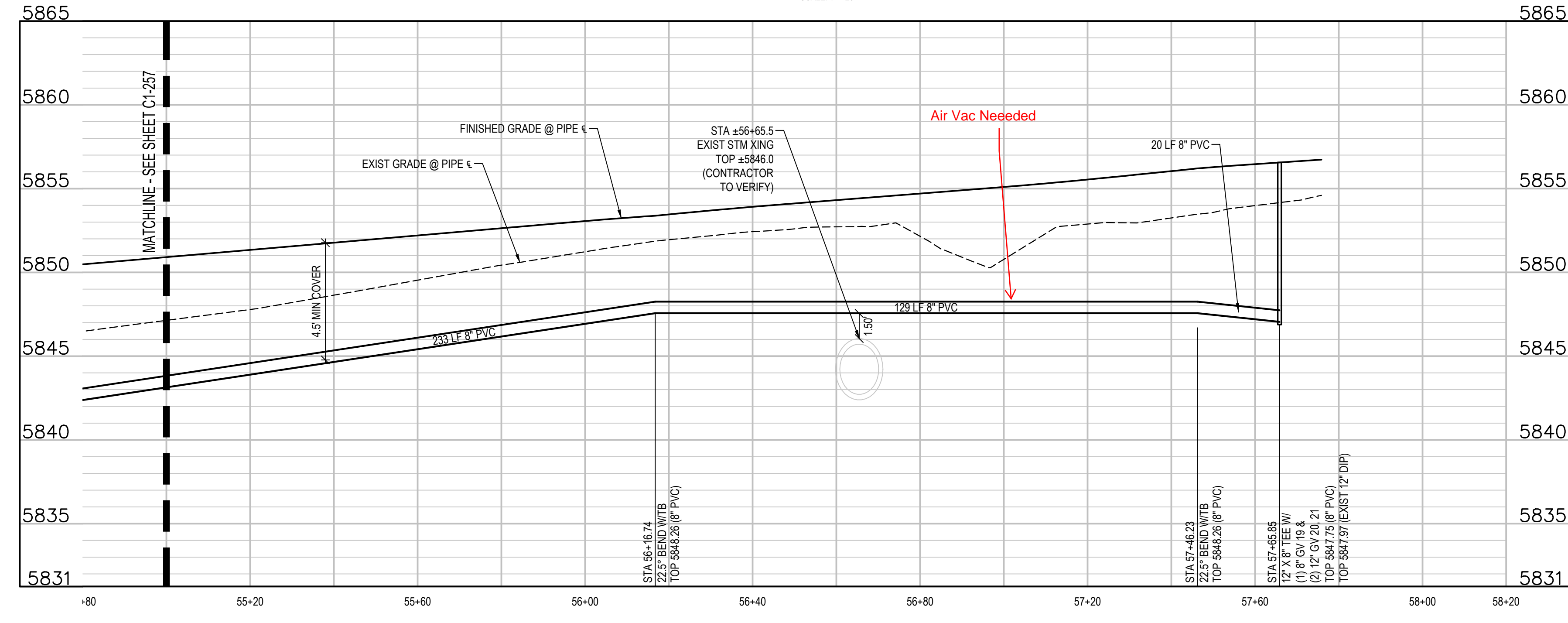
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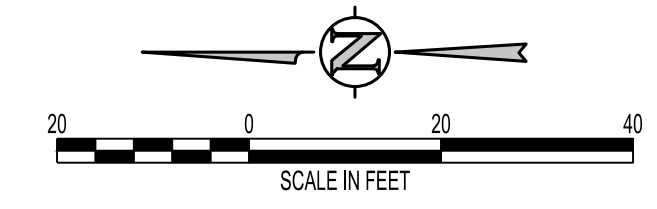
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 THE SQUARES HAVE COLOR WITH BLACK AND WHITE LETTERS. PRINTED CORRECTLY.
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PHASE 1 WATER MAIN EAST PLAN
SCALE: 1" = 20'



PHASE 1 WATER MAIN EAST PROFILE
SCALE: 1" = 20' HORIZ
1" = 5' VERT



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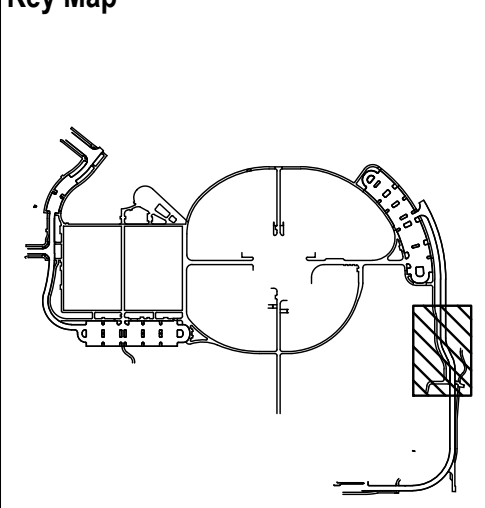
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 INTERIOR DESIGN

DATE	DESCRIPTION

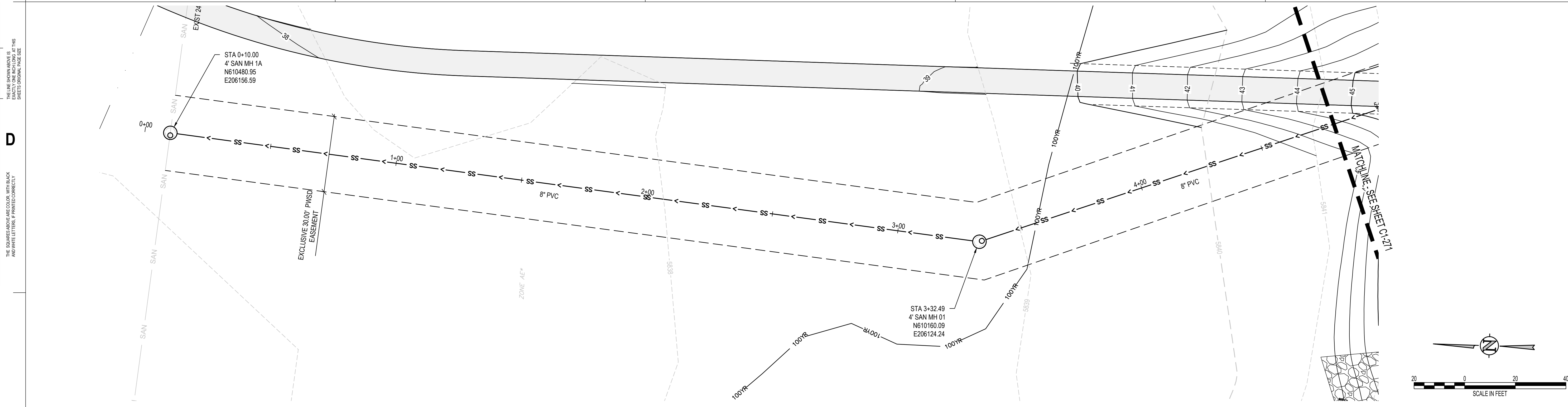
Project Number: 223072.00
 Sheet Issue Date: 2025-05-02
 Drawn By: AMF/KAM/MJS
 Checked By: WTP/CWK/CFG



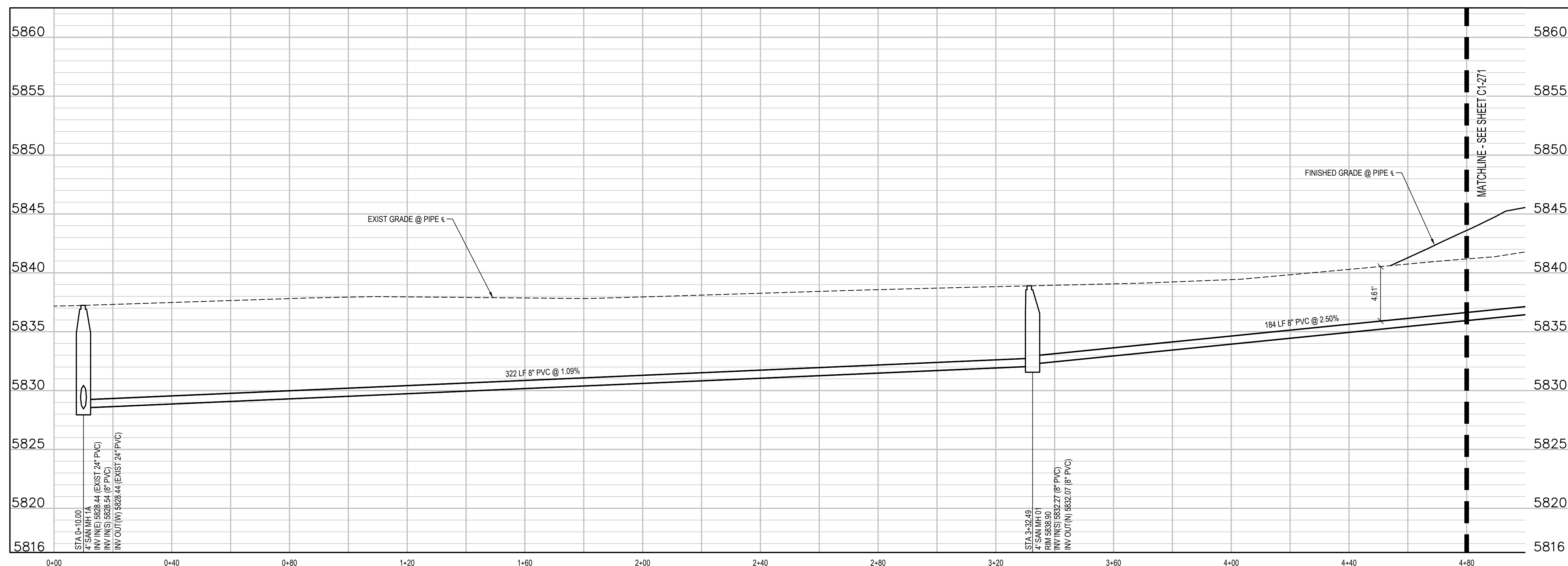
Drawing
**PHASE 1 WATER MAIN
 PLAN & PROFILE**

C1-258

SITE PLAN SUBMITTAL



PHASE 1 SANITARY MAIN PLAN
SCALE: 1" = 20'



PHASE 1 SANITARY MAIN PROFILE
SCALE: 1" = 20' HORIZ
1" = 5' VERT

- UTILITY NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
 2. CONTRACTOR TO POTHOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
 3. ALL DRY UTILITY AND ELECTRIC DESIGNS ARE PROVIDED BY OTHERS AND SHOWN FOR REFERENCE ONLY. SEE MEP PLANS AND SPECIFICATIONS AND COORDINATE WITH ALL UTILITY OWNERS AS NEEDED.
 4. CONTRACTOR TO MARK ALL UTILITY STUBS WITH MARKERS.
 5. DESIGN AND CONSTRUCTION MUST COMPLY WITH PWSD UTILITY NOTES.

hord | coplan | macht
 LANDSCAPE ARCHITECT / ARCHITECT
 1800 Wazee Street, Suite 450
 Denver, CO 80202
 p. 303.607.0977

CIVIL ENGINEER / STRUCTURAL ENGINEER
 JVA Incorporated
 1675 Larmer Street, #650
 Denver, CO 80202
 p. 303.444.1991

ELECTRICAL ENGINEER
 Ackerman Engineering, Inc.
 3300 Youngfield Street, #204
 Wheat Ridge, CO 80215
 p. 303.278.7297

IRRIGATION
 Avocet Irrigation
 11701 W. Ken-Caryl Ave., Suite F-509
 Littleton, CO 80127
 p. 303.986.2175

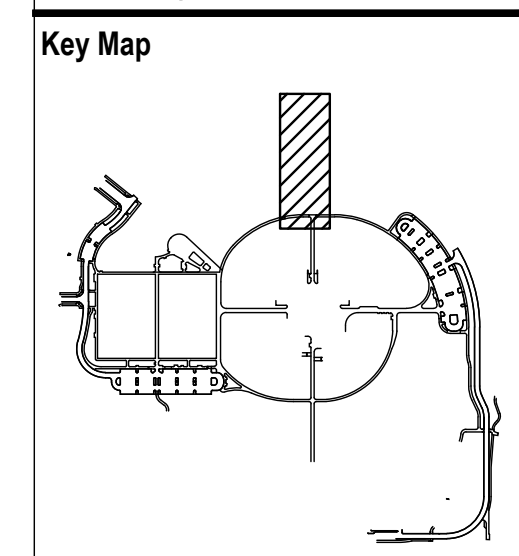
MECHANICAL ENGINEER
 ENVISION Mechanical Engineers, Inc.
 3777 Regent Court, #600
 Englewood, CO 80112
 p. 303.688.0223

Town of Parker
**SALISBURY REGIONAL
 PARK - PHASE 1**
 11700 MOTSENBOCKER RD
 PARKER, CO 80134

ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 PLANNING
 INTERIOR DESIGN

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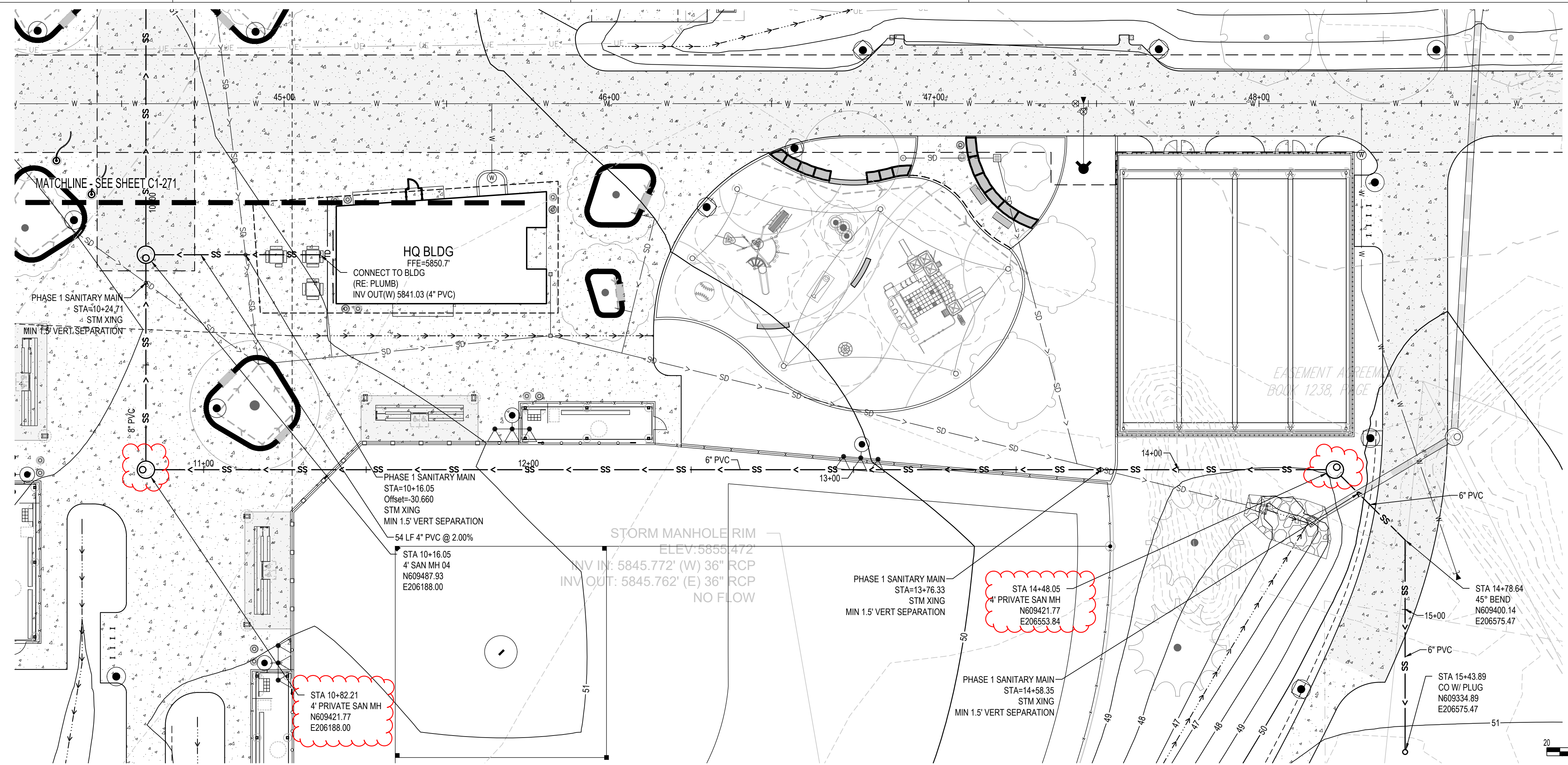


Drawing
 PHASE 1 SANITARY
 SEWER PLAN & PROFILE

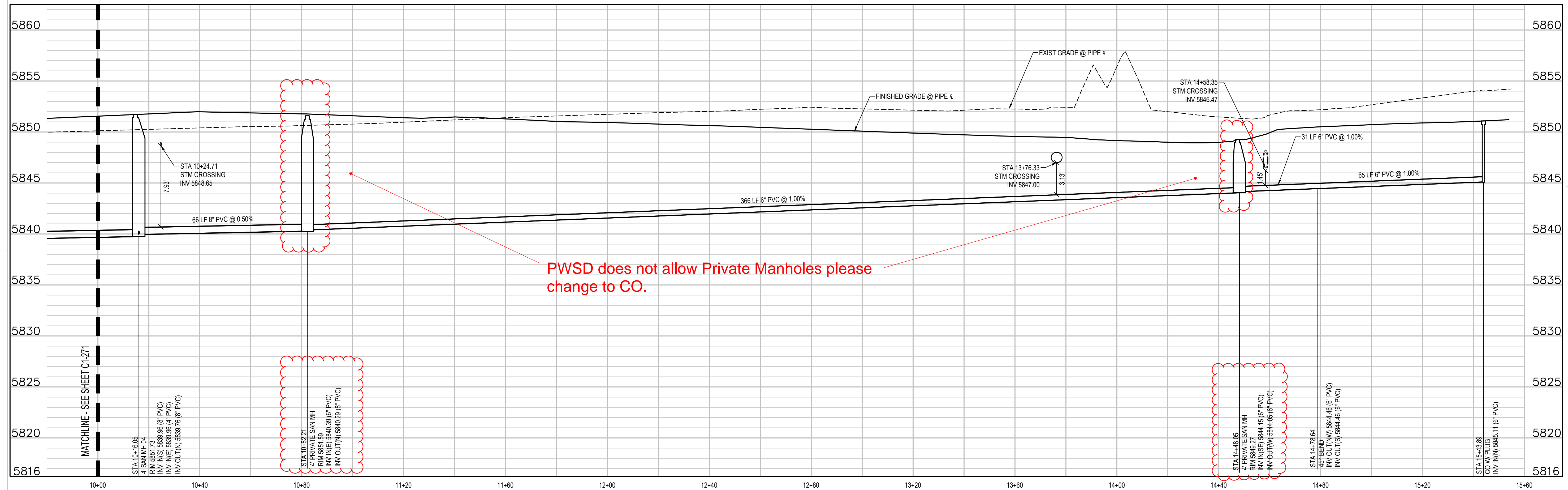
C1-270

SITE PLAN SUBMITTAL

- UTILITY NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
 2. CONTRACTOR TO POTHOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
 3. ALL DRY UTILITY AND ELECTRIC DESIGNS ARE PROVIDED BY OTHERS AND SHOWN FOR REFERENCE ONLY. SEE MEP PLANS AND SPECIFICATIONS AND COORDINATE WITH ALL UTILITY OWNERS AS NEEDED.
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PHASE 1 SANITARY MAIN PLAN
SCALE: 1" = 20'



PHASE 1 SANITARY MAIN PROFILE
SCALE: 1" = 20' HORIZ
1" = 5' VERT

PWSD does not allow Private Manholes please change to CO.

hord | coplan | macht
 LANDSCAPE ARCHITECT / ARCHITECT
 1800 Wazee Street, Suite 450
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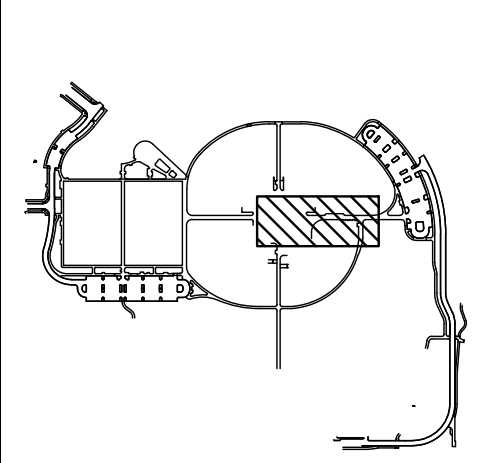
MECHANICAL ENGINEER
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Town of Parker
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 PARK - PHASE 1**
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ARCHITECTURE
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Drawing
**PHASE 1 SANITARY
 SEWER PLAN & PROFILE**

C1-272

SITE PLAN SUBMITTAL

