



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Khadeja Sarwar, Atwell, LLC
FROM: Amber Wood Hicken, Planner I
DATE: 4/9/25
SUBJECT: Parker Pointe, Black Rock Coffee, Site Plan
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Amber Wood Hicken

EMAIL: ahicken@parkerco.gov

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not send the application for referral without with this naming convention.
Example: "02" or "Second Submittal"

Site Plan and Project Details

- 1. Please see the attached redlines for all planning comments.**

OUTSIDE REFERRAL AGENCY COMMENTS

The following reviews in eTRAKiT have "Advisory Comments" or "Revisions Required:"

- Construction plans – environmental
- Construction plans – civil
- Drainage report – civil
- Fire life safety
- IREA (CORE)
- Parker Water and Sanitation
- Site plan – civil
- Traffic impact study – civil

TOWN OF PARKER DEPARTMENT OF ENGINEERING/PUBLIC WORKS

STANDARD CONSTRUCTION NOTES

These notes shall appear on the cover sheet. If a cover sheet has not been used they shall be put on every sheet of the submittal.

- All materials and construction shall be in conformance with the latest edition of the Colorado Department of Transportation Standard Specifications for Road and Bridge Construction, the latest edition of the Town of Parker Roadway Design and Construction Criteria Manual, and the Town of Parker Storm Drainage and Environmental Criteria Manual.
- All materials and workmanship shall be subject to inspection by the Town of Parker Public Works Department. The Town reserves the right to accept or reject any such materials and workmanship that does not conform to its standards and specifications.
- A preconstruction meeting shall be scheduled a minimum of 48 hours and a maximum of 96 hours prior to the start of construction. A preconstruction meeting will not be scheduled until the grading permit and all other necessary permits have been obtained.
- The Town Inspector shall be contacted a minimum of 24 hours prior to a necessary inspection. If a Town Inspector is not available after proper notice of construction activity has been provided, the permittee may commence work in the Town Inspector's absence. However, the Town of Parker reserves the right to reject the improvement if subsequent testing reveals an improper installation.
- Location of existing utilities shall be verified by the contractor prior to actual construction in accordance with all state and local laws. The contractor shall field verify size and horizontal and vertical locations of existing facilities prior to construction, and notify the engineer of any discrepancies.
- The contractor shall have one (1) signed copy of the plans, approved by the Town of Parker Director of Engineering/Public Works, and one (1) copy of the Roadway Design and Construction Criteria at the job site at all times.
- A plan for traffic control during construction shall be submitted to the Town of Parker for acceptance with the Right-of-Way Use Permit application. A permit will not be issued without an approved traffic control plan for use during construction.
- All trenches shall be adequately supported and the safety of workers provided for as required by the most recent Occupational Safety and Health Administration (OSHA) "Safety and Health Regulations for Construction."
- Compaction of all trenches must be attained and compaction test results submitted to the Development Review Engineer in preliminary form prior to paving and in final form prior to probationary acceptance.

- The contractor is responsible for implementing and maintaining erosion and sediment control measures at all times during construction. The plan may be modified as field conditions warrant with approval from the Town of Parker Public Works Department.
- The contractor shall provide, erect and maintain proper traffic control devices until the site is open to traffic. The contractor shall submit a traffic control plan to the Town of Parker Public Works Department for approval prior to construction.
- Plans are approved for period of 1 (one) year from the date shown on the Town of Parker signature block. Plans shall be resubmitted to the Town for approval after 1 year. The cost of the plan re-review and re-acceptance will be charged back to the developer including all time and expenses of the Town of Parker Public Works Department.
- Repair of any damage to existing improvements or landscaping is the responsibility of the contractor. Such restoration may be required to be completed prior to acceptance of completed improvements.
- All damaged existing curb, gutter, and sidewalk shall be repaired prior to acceptance of completed improvements.
- All construction activities must comply with the State of Colorado permitting process for "Stormwater Discharges Associated with Construction Activity." For information, please contact Colorado Department of Health, Water Quality Control Division, WQCD-PE-B2, 4300 Cherry Drive South, Denver, Colorado 80222-1530. Attention: Permits and Enforcement Section. Phone (303) 692-3500.
- If dewatering is required, a state construction dewatering discharge permit is required for discharges to a storm sewer, channel, irrigation ditch, any street that is tributary to the aforementioned facilities, or any water of the United States.
- All references to books, pages, maps, and reception number are public documents on file with the County Clerk and Recorder's Office.

ROADWAY NOTES

The following notes shall appear on the cover sheet of all submittals containing roadway plans. If a cover sheet has not been used, they shall be put on every sheet of the submittal containing roadway design.

- Paving shall not commence until a soils report and pavement design is approved by the Town of Parker and subgrade compaction tests are submitted to and approved by the Town Inspector.
- Standard Town of Parker Curb Ramps are to be constructed at all curb returns and at all "T" intersections in accordance with the latest Town of Parker standards
- All stationing is based on centerline of roadways unless otherwise noted.
- All elevations are on USGS DATUM with date. Range point or monument shall be shown on the construction plans.
- Except where otherwise provided for in these plans and specifications, the Colorado Department of Highways Standard Specifications for Road and Bridge Construction, the Colorado Department of Highways M and S Standards, and the Town of Parker Roadway Design and Construction Criteria Manual, latest edition, shall apply.

STORM DRAINAGE INFRASTRUCTURE NOTES

- All storm drainage improvements are subject to compliance with the Colorado Department of Transportation (CDOT) current edition of the Standard Specifications for Road and Bridge Construction, M & S Standards, and all standard special provisions currently used by CDOT, with the modifications set forth in the Town of Parker's Storm Drainage and Environmental Criteria Manual (SDECM), as amended.
- The contractor shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8 CRS), the "Protection of Fishing Streams" Title 33, Article 5, CRS), the "Clean Water Act" (33 USC 1344), Cherry Creek Reservoir Control Regulation No. 72" (5 CCR 1002-72), the regulation promulgated, certification or permits issues, and the requirements presented in the SDECM Revision to Section 107 and the Construction BMP Plan. In the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal, or State agencies, the more restrictive laws, rules, or regulations shall apply.
- Inspections: Construction shall not begin until a grading permit has been issued for the project. The contractor shall notify the Town of Parker Engineering Department (Public Works) to schedule inspections a minimum of 48 hours prior to the construction of all drainage infrastructure (storm sewers, inlets, manholes, energy dissipaters, riprap, grouted boulders, detention pond outlet structures, forebays, trickle channels, etc). Failure to notify the engineering department for inspections may result in non-acceptance of the infrastructure by the Town. Urban Drainage and Flood Control District must also be notified in a similar manner for all maintenance eligible drainage infrastructures (consult with Stormwater Engineering Division).
- Structural backfill (CDOT Class 1) shall be compacted to conform to CDOT Standard Specification 203.03. Structural backfill (CDOT Class 2) shall conform to CDOT Standard Specification 203.07. At the contractor's option, Structural Backfill (Squeegee) meeting the gradation requirements contained in Revision of Section 206 of the CDOT Standard Specifications as presented in the SDECM, may be substituted for Structure backfill (Class 1) or Class 2) for backfilling of culvert pipes, storm sewer pipes, manholes and inlet structures; however, the top 2 feet below subgrade elevation shall be the required embankment material.
- All excavations shall meet OSHA requirements.
- Testing: Probationary acceptance of storm drainage improvements will be contingent upon satisfactory testing results. In all cases where tests indicate compaction less than that required by Town specifications, additional compaction and tests will be required until the specifications are met. Frequency of testing will be as follows:
 - 1 test for subgrade and 1 test for backfill at every above ground appurtenance (manholes, inlets, etc)
 - 1 test every 200 LF of mainline trench every 1 foot of backfill lift and within 1 foot from all structures.

- Allowable storm sewer conduit material within the Town of Parker shall be limited to Reinforced Concrete Pipe (RCP) conforming to CDOT Standard Specification 706.02.
- All RCP joints shall be manufactured in accordance with ASTM C443. Rubber gaskets shall be used on all pipe joints conforming to ASTM C443. All RCP sections shall be joined in such a manner that the ends are fully entered and the inner surfaces are reasonable flush. Average joint gap that exceeds 1/2 inch shall be filled with an approved flexible plastic sealant.
- Joint restraints and toe-walls, conforming to CDOT M&S Standard Plan No. M-601-11 shall be used on all RCP flared end section outfalls.
- Epoxy coated rebar shall be used as reinforcing steel on all storm inlets and structures. Reference CDOT M&S Standard Plan No. M-604-10, 11, 12, and 13.
- CDOT Class D concrete shall be used for all concrete drainage structures.
- Pre-cast inlets and manhole bases shall not be used within the Town of Parker Right-of-way, with the exception of CDOT Type C and D inlets.
- Two- (2) manhole access points are required on all Type "R" curb inlets greater than or equal to ten (10) feet in length as presented in CDOT M&S Standard Plan No. M-604-12.
- All grouting (boulders, riprap) shall be in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- All boulders and riprap shall be selected and placed in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- Contractor shall refer to the Town of Parker's Construction Best Management Practices details and notes for all requirements relating to re-vegetation, sediment and erosion control requirements for construction activities.
- Pipe bells shall not be cast into manhole bases or inlets.

remove this sheet.
construction details not
needed in site plan

DEMOLITION NOTES:

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORTS, FINAL DEVELOPMENT PLANS, SPECIAL REVIEWS, GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING DATE



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY PERSONS OR PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.



LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR
TOWN GENERAL NOTES

DATE 2025-04-03

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

C1.00

FILE NAME: \\TOWN\CAD\24003198 - 0100 NOTES.dwg LAST SAVED BY: nsp 12/17/2024 2:27 PM PLT/DWG BY: nsp DATE PLOT: 4/2/2025 PLOTTER: HP DesignJet Z6800 PLOT FILE: 24003198 - 0100 NOTES.dwg PLOT STYLE: ATWELL.PST

CAD FILE: 24003198 - 0100 NOTES

SIGNAGE AND STRIPING NOTES

In addition to the notes in the above section of these roadway standards, the following notes shall appear on the cover sheet of all submittals containing roadways. The following notes shall be on all signage and striping plans:

- All traffic control devices shall conform to the most recent version of the federal Manual on Uniform Traffic Control Devices (MUTCD), Colorado Supplemental MUTCD, and the Town of Parker Roadway Design and Construction Criteria Manual. Further specifications and illustrations are located in the Colorado Department of Transportation (CDOT) M and S Standards.
- A field inspection of location and installation of all signs and markings shall be performed by the Town of Parker.
- The contractor installing signs shall be responsible for the locating and protecting of all underground utilities.
- Type III (lighted) barricades shall be set at the ends of roadways separating finished (and/or accepted) and unfinished construction areas and shall be maintained by the contractor/developer. A "Road Closed Ahead" and "To Be Extended" warning signs shall be installed appropriately in advance of the Type III barricades.
- Special care shall be taken in sign locations to ensure an unobstructed view of each sign.
- Where stop sign control is appropriate, 36 inch stop signs shall be used for approaches to any roadway that is classified as a collector or greater.
- A 7 foot minimum post length shall be maintained from the bottom of the sign panel to the ground. This requirement for vertical clearance is for all signs.
- Delineation of roadways shall be as specified in the Colorado Department of Transportation M and S Standards.
- Raised median island noses shall have R4-7 signs at each end and a 4"x12" high intensity yellow sign blank located midway between the R4-7 sign and finished grade on each post.
- Signage and striping has been determined by information available at the time of review. Prior to the initiation of any warranty period, the Town of Parker reserves the right to require modifications to existing, or installation of, additional signage and/or pavement marking if it is determined that conditions warrant such modification according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the two-year warranty period for new construction. Additionally, all pavement markings shall not lift or peel during the first year after installation.
- Diamond grade material shall be used on all stop signs and overhead signs. All other roadside traffic control devices shall use high intensity grade sheeting. No fluorescent yellow green sheeting shall be used unless specifically approved by the Town of Parker.

- All street name signs shall be high intensity, extruded, green and white blades. Arterial and collector street name signs shall be 9 inch blades and have mixed case lettering. Local street name signs shall be 6 inches blades with mixed case lettering.
- All layouts for internally illuminated street name signs shall be submitted to the Town for review and approval prior to fabrication.
- All removed signs shall be returned to the Town of Parker.
- Crosswalks: Shall be constructed using preformed thermo-plastic or an approved equal.
 - Shall be Longitudinal 2 feet by 10 feet (Continental) type or other approved by the Town of Parker.
 - Shall line up with handicap ramps.
 - Shall be centered within lanes and placed on lane and curb lines so as to avoid vehicle wheel paths.
- All pavement marking material (including words and symbols) shall be as follows:

For Concrete Surface:
Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.

Words, symbols, and crosswalks/stop bars shall be methyl-mythacralate, preformed thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), or as specified.

(Sand or water blast curing compound prior to installation of markings.)

For Asphalt Surface:
Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.

Words, symbols, and crosswalks/stop bars shall be hot applied thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), Methyl-Mythacralate, or as specified.

- Inspection and approval of striping and crosswalk layout to be done by Town of Parker Development Review Engineer (call 303-840-9546) prior to application of final striping.

remove this sheet.
construction details not
needed in site plan

DEMOLITION NOTES:

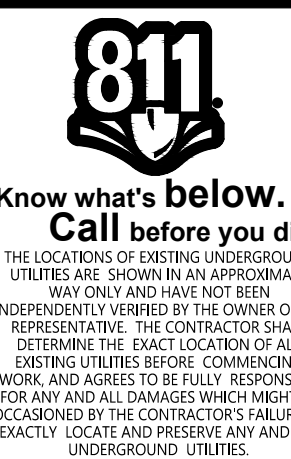
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING _____ DATE _____

remove



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INJURIES OR DAMAGES TO THE WORK OR PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.



LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR
TOWN GENERAL NOTES

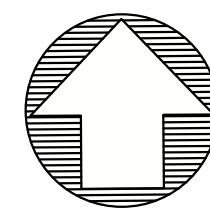
DATE 2025-04-03

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C1.10

FILE NAME: \\TOWN\CAD\CAD\PRODUCTION\24003198 - C100 NOTES.dwg LAST SAVED BY: nsp 12/17/2024 2:27 PM PLOTTED BY: kshah04 Server: 4/2/2025 10:58:42 AM 11.00 x 16.00 inches PLOT STYLE: ATWELL.ctb

CAD FILE: 24003198 - C100 NOTES



Know what's below. Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INJURY OR DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.
 COPYRIGHT © 2025 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
 866.850.4200 www.atwell-group.com
 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND HILLS, TX 76180
 972.266.9860



LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1
 S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR
 SITE PLAN

DATE: 2025-04-03

REVISIONS

SCALE: 1"=20'

DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO: C2.00

SITE AREA	
TOTAL PROPERTY AREA:	0.60 AC. / 25,933 SF.
DISTURBED AREA:	0.67 AC. / 29,406 SF.
IMPERVIOUS AREA:	0.40 AC. / 17,639 SF.
PERVIOUS AREA:	0.19 AC. / 8,294 SF.
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF PARKER
ZONING:	MIXED-USE COMMUNITY
ADJACENT ZONING:	PLANNED DEVELOPMENT
REQUIRED BUILDING SUMMARY	
MIN BUILDING SETBACK:	40'
MAX BUILDING SETBACK:	65'
LANDSCAPE SETBACK:	10' ADJACENT TO PUBLIC OR PRIVATE ROADWAY
REAR BUILDING SETBACK:	25'
BUILDING HEIGHT LIMIT:	35'
PROPOSED BUILDING SUMMARY	
PROPOSED BUILDING AREA:	1,460 SF
PROPOSED BUILDING SETBACK:	65'
REQUIRED PARKING SUMMARY	
PARKING REQUIREMENTS:	1 SPACE PER EACH 4 PERSONS OF RATED CAPACITY (EXCLUDING OUTDOOR SEATING)
TOTAL PARKING REQUIRED:	6 SPACES
CAR STACKING REQUIRED:	NO REQUIREMENTS; STACKING COUNTS TOWARDS PARKING REQUIREMENTS
BIKE SPACES REQUIREMENTS:	4 SPACES
PROPOSED PARKING SUMMARY	
PARKING PROVIDED:	22 SPACES (INCLUDING 1 ADA SPACE AND 10 STACKING SPACES)
TOTAL BIKE PARKING PROVIDED:	4 SPACES

SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- 6" CURB
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- # OF STACKING

remove. site data table only needed on cover sheet - avoid inconsistencies.

locate trash enclosure in southeast corner away from site entrance

show all of sidewalk here

show vehicle stacking spaces (must be 11'x20')

what is this & where will it be relocated? (17-existing utilities to be relocated)

show building setbacks from all property lines

show transformer location

show bicycle service station

SITE GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
- USE 3' RADIUS, UNLESS SHOWN OTHERWISE.
- THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: BARRON LAND. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
- ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
- ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- FOR WORK IN, OR ADJACENT TO, STREET RIGHT OF WAYS, CONTRACTOR SHALL ENSURE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR TO ERECT AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- ALL PARKING LOT LIGHTING MUST BE INSTALLED AND OPERATE SO AS NOT TO PRODUCE GLARE OR CAST DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE. LOW PRESSURE SODIUM LIGHTING IS PROHIBITED. ALL LIGHTING FIXTURES MUST BE RESTRICTED TO DOWN-LIGHT OR CUT-OFF TYPES.

NOTE NUMBER

- INSTALL 2" AC PAVEMENT OVER 10" ABC
- PROPOSED PICK-UP WINDOW WITH COUNTER
- PROPOSED LANDSCAPE
- 4" WIDE PAINTED WHITE TRAFFIC STRIPE (SEE LENGTH THIS SHEET)
- CONSTRUCT 6" SINGLE CURB
- DUMPSTER ENCLOSURE
- INSTALL ADA CROSSWALK
- 4" WIDE PAINTED STRIPE @ 2" O.C. AND 45 DEGREES.
- CONSTRUCT DIRECTIONAL CURB RAMP PER PARKER STANDARD DETAIL #18.
- CONSTRUCT SIDEWALK PER PARKER STANDARD DETAIL #4
- ADA PARKING STALL WITH ADA SYMBOL AND REQUIRED PAINT.
- PROTECT EXISTING UTILITIES IN PLACE.
- INSTALL 3" CONCRETE OVER 14" ABC
- MATCH EXISTING ASPHALT ALONG DECLAN DRIVE PER PARKER STANDARD DETAIL #26
- INSTALL 5" CURB INLET
- PROPOSED STORM MANHOLE
- EXITING UTILITIES TO BE RELOCATED

CORRESPONDING DETAIL NUMBER (SEE DETAIL SHEETS)

- C700
- SEE ARCHITECTURAL PLANS FOR DETAILS
- SEE LANDSCAPE PLANS FOR DETAILS
-
-
-
-
-
- C700
- C700
-
-
- C700
- C700
- C700
-

remove

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

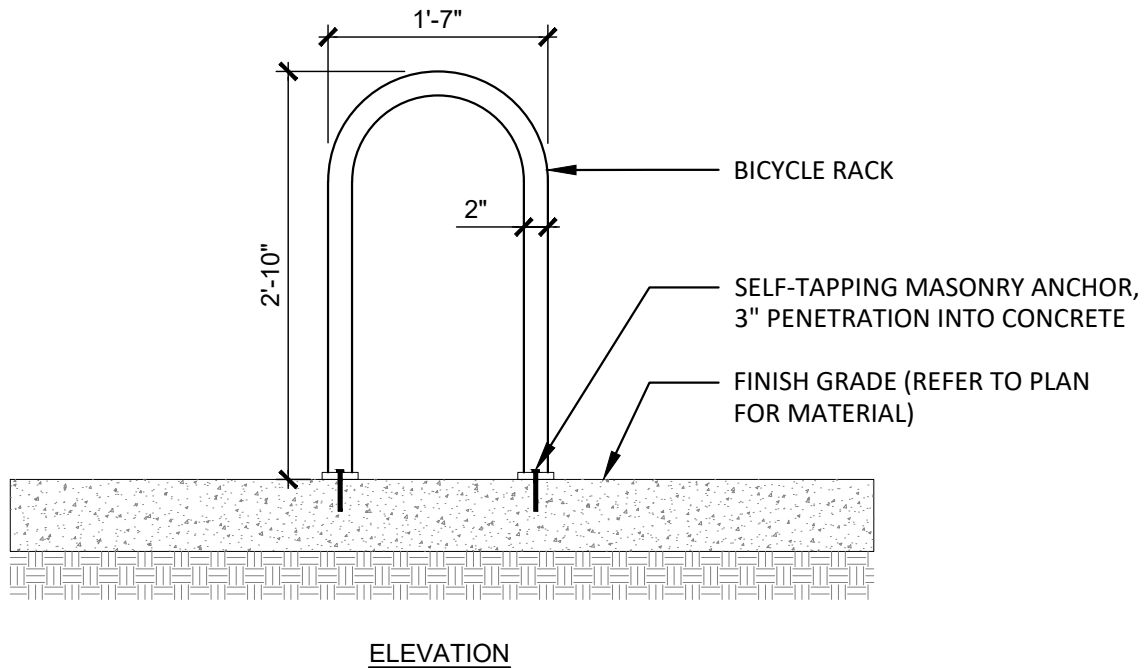
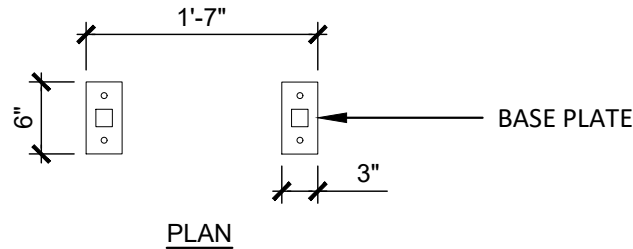
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING DATE

TOWN OF PARKER STANDARD DETAILS

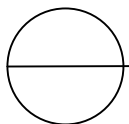


PARKER
COLORADO
Parks and Recreation



NOTES:

1. BASIS-OF-DESIGN: BIKE RACK (MADRAX U-200), SURFACE MOUNTED, COLOR: BLACK
2. FINAL LOCATION TO BE VERIFIED IN FIELD WITH OWNER AND DESIGN TEAM COORDINATE WITH OWNER ON EXACT LOCATION.
3. WHERE BICYCLE RACK SITS ON UNIT PAVING, MASONRY ANCHOR TO EXTEND THROUGH UNIT PAVING AND EMBED INTO C.I.P. CONCRETE FOOTING TO MIN. 3" DEPTH.



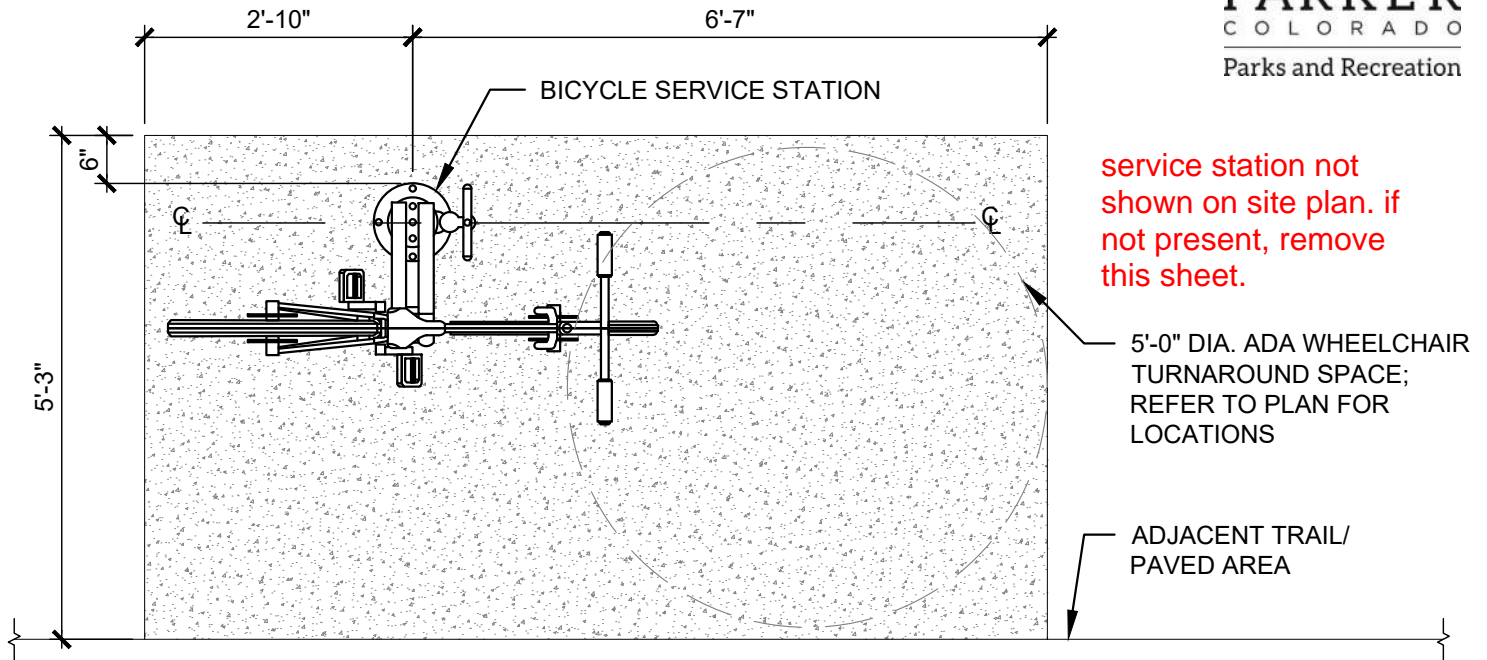
BICYCLE RACK

3/4" = 1'-0"

TOWN OF PARKER STANDARD DETAILS



PARKER
COLORADO
Parks and Recreation



PLAN

NOTES:

1. BASIS-OF-DESIGN:

FIXIT-H: SURFACE MOUNT, POWDER COATED, GREEN RAL 6016,
COLOR: GREEN STYLE: FT
CONFIGURATION: EPX

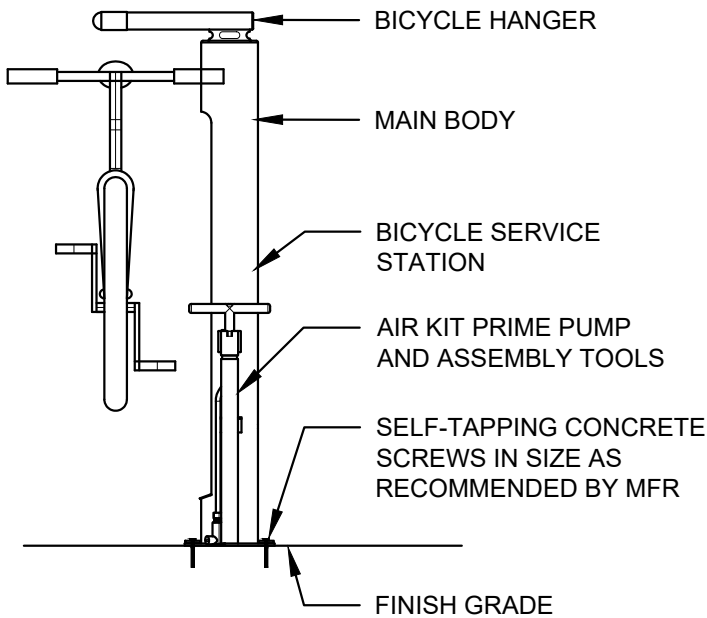
AIR KIT PRIME: FIXIT MOUNT, REV. B, POWDER COATED, GREEN RAL 6016
SIZE: FX REV B COLOR: GREEN
CONFIGURATION: EPX

ASSEMBLY TOOLS: TAMPER-RESISTANT TOOLS FOR INSTALLATION
AIR KIT PRIME FX, A SIZE: AK PR FX A.

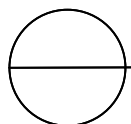
2. WHERE BICYCLE REPAIR STATION SITS ON UNIT PAVING, SELF-TAPPING CONCRETE SCREWS TO EXTEND THROUGH UNIT PAVING AND EMBED INTO C.I.P. CONCRETE FOOTING TO MIN. 3" DEPTH.

3. ADA COMPLIANT WHEELCHAIR ACCESS SHALL BE PROVIDED AS INDICATED ON THE PLANS. DETAIL PROVIDED FOR GENERAL INTENT AND CONFIGURATIONS MAY VARY BASED ON SITE CONDITIONS AND RELATIONSHIPS OF ADJACENT PAVING AND SITE PROGRAM.

4. PAD THICKNESS 4" PER PLANS AND FLATWORK DETAIL.



FRONT ELEVATION



BICYCLE SERVICE STATION

1/2" = 1'-0"

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

- 1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.
 - A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING
- 1.2 REFERENCE DOCUMENTS
 - A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS
- 1.3 SCOPE OF WORK / DESCRIPTION OF WORK
 - A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISORS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
 1. PLANTING (TREES, SHRUBS, GRASSES)
 1. BED PREP AND FERTILIZATION
 3. NOTIFICATION OF SOURCES
 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
 - B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTION AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK
- 1.4 REFERENCES
 - A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN 1980 EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE (2001) - PLANT MATERIAL
 - B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE: 1942 EDITION OF STANDARDIZED PLANT NAMES.
 - C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
- B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOIL SHOULD BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK ON TREES AND PLANTS.
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOIL SOD.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOVING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. ON ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
- E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
- G. REMOVE DIVING AND STAKING MATERIALS AFTER ONE YEAR.
- H. ALL LANDSCAPE AREAS AND GRASS MOVED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
- I. REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AS REQUIRED.
- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- L. REAPPLY MULCH TO BARE AND THIN AREAS.
- M. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 3/12" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE:

- A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR PLANTED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE

OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.
- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LEAV OF THE SPECIFIED PLANT.
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
- G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REPLACED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
 1. BALLED AND BURLAPPED 88B PLANTS; DIO AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
- B. DELIVERY
 1. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
 2. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DESTRUCTION DURING DELIVERY AND WHILE STORED ON SITE.
 3. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
 4. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
 5. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESTRUCTION OF LEAVES.
 6. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
 7. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
 8. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
 9. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS INDICATED IF SHOWN AND CALLED FOR ON BOTH, THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
- H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCODING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DISEASES (SUCH AS SHAPED ROOTS).
- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS. TRUNKS SHALL BE FREE FROM BARK ABRASIONS, LIPS, TRENCHES, CRACKS, OR OTHER DEFECTS.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNCALF, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE OR TRUNK UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- N. MULTITRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
- O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
 1. FRIBABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEIOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLAS GRASSES OR NUTGRASS SHALL BE REJECTED.
- B. PHYSICAL PROPERTIES AS FOLLOWS:
 - a. CLAY - BETWEEN 7-27%
 - b. SILT - BETWEEN 15-25%
 - c. SAND - LESS THAN 52%
 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
- C. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
- D. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COARSE AND FINE TEXTURED MATERIAL.
- E. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS; OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
- F. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
- G. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
- H. ORGANIC FERTILIZER: FERTILIZER, SUSTANE, OR GREEN SEEN OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- I. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS, NITROGEN SOURCE TO BE A MINIMUM 18% AND RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICROINUTRIENTS.
- J. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING, DURAEDEG STEEL OR APPROVED EQUAL.
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
- C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-523-0444)
- D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BAY-BURN SAND.
- E. GRAVEL: WASHED NATIVE PEA GRAVEL GRADED 1" TO 1 1/2"
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BARK.
- G. ROCK - LOCALLY AVAILABLE NATIVE ROCK 1.5" IN DIAMETER.
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT

HERBICIDES SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
 1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS TO ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS:
 1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.

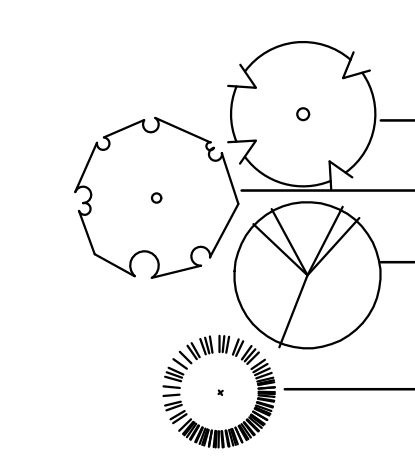
3.2 INSTALLATION

- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL CONSTRUCTION OF THE LANDSCAPE IS SUBSTANTIALLY ACCOMPLISHED.
- B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF 18" PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SMOOTH OR GLAZED.
- F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDE. THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN IT'S VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
- G. BEFORE WATERING THE HOLE WITH WATER IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAINLESS PIPE PER TREE IF THE PERCOLATION TEST FAILS.
- H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOILD ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".
- I. DO NOT WRAP TREES.
- J. DO NOT OVER PRUNE.
- K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.
- L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.
- M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
- O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.
- Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCEPT FOR THAT TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER, WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE CONTRACTOR AND SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.
 1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
 2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 3. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

3.3 CLEANUP AND ACCEPTANCE

- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF EACH WORK DAY.
- B. REPAIR RUTS, HOLES AND SCARS IN GROUND SURFACES.
- C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROTECT THE SITE FROM UNAUTHORIZED PERSONS AND SUFFICIENT FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- E. WHENEVER THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. THE MAINTENANCE PERIOD WILL BE FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

END OF SECTION



PLANT SCHEDULE							
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES	MATURE SIZE	YEARS TO MATURITY
DECIDUOUS TREES							
3	AE	Accolade Elm	<i>Ulmus 'Accolade'</i>	3" cal.	12' ht., 4' spread	60' ht x 40' w	10-15 years
5	RL	Redmond Linden	<i>Tilia americana 'Redmond'</i>	3" cal.	12' ht., 4' spread	60' ht x 40' w	20-30 years
7	RO	Northern Red Oak	<i>Quercus rubra</i>	3" cal.	12' ht., 5' spread	60' ht x 40' w	30-35 years
15	TOTAL DECIDUOUS TREES						
EVERGREEN TREES							
5	LP	Lacebark Pine	<i>Pinus bungeana</i>	3" cal.	12' ht., 5' spread	40' ht x 25' w	20-30 years
5	TOTAL EVERGREEN TREES						
5	TOTAL TREES						
DECIDUOUS SHRUBS							
59	BAR	Concord Barberrry	<i>Berberis thunbergii 'Concorde'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 3' w	2-3 years
22	CB	Chokeberry	<i>Aronia melanocarpa 'UCONNAM165'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 4' w	2-3 years
14	SB	Spanish Gold Broom	<i>Cytisus purgan 'Spanish Gold'</i>	5 gal.	full, 24" sprd, 36" o.c.	4' ht x 3' w	2-3 years
49	SP	Snowmound Spirea	<i>Spiraea nipponica 'Snowmound'</i>	5 gal.	full, 24" sprd, 36" o.c.	5' ht x 8' w	2-3 years
144	TOTAL DECIDUOUS SHRUBS						
EVERGREEN SHRUBS							
52	PA	Panchito manzanita	<i>Arctostaphylos x colarodensis 'Panchito'</i>	5 gal.	full, 24" sprd, 36" o.c.	2.5' ht x 5' w	2-3 years
20	PJ	Pencil Point Juniper	<i>Juniperus communis 'Compressa'</i>	5 gal.	full, 20" spread, 30" o.c.	3' ht x 2' w	10 years
21	PM	Pine, Mugo, Teeny	<i>Pinus mugo 'Teeny'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 3' w	5-10 years
27	WB	Wichita Blue Juniper	<i>Juniperus scopulman 'Wichita Blue'</i>	5 gal.	full, 24" sprd, 42" o.c.	15' ht x 6' w	8-10 years
120	TOTAL EVERGREEN SHRUBS						
264	TOTAL SHRUBS						
ORNAMENTAL GRASSES							
115	FG	Fountain Grass	<i>Pennisetum orientale</i>	1 gal.	full, 18" o.c.	2' ht x 2' w	2 years
26	MG	Maiden Grass, Gold Bar	<i>Miscanthus sinensis 'Gold Bar'</i>	5 gal.	full, 20" spread, 30" o.c.	4' ht x 3' w	2 years
141	TOTAL ORNAMENTAL GRASSES						
PERENNIAL							
115	PP	Pikes Peak Purple Penstemon	<i>Penstemon x mexicali 'Pikes Peak Purple'</i>	1 gal.	full, 12" o.c.	1' ht x 1' w	2 years
EVERGREEN GROUNDCOVER							
230	BCJ	Blue Chip Juniper	<i>Juniperus horizontalis 'Blue Chip'</i>	1 gal.	full, 18" o.c.	1' ht x 8' w	5-10 years
345	TOTAL PERENNIAL AND EVERGREEN GROUNDCOVER						
486	TOTAL ORNAMENTAL GRASSES, PERENNIALS, EVERGREEN GROUNDCOVER						
GROUNDCOVER							
Colorado Blue Grass Sod							
1 1/2" Colorado Rose Rock							

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

include irrigation plan in this site plan set

show max turf grass allowed and provided in table (15% max of required landscaped area), note that turf grass is not permitted in site perimeter landscaping.

previous staff comment may have been a typo - 15% required

provide percentage as well as square footage

these number should reflect totals in the planting schedule for trees & shrubs

site perimeter (P1) applies to east, south, and west property lines, show that tree/shrub AND buffer requirements are met.

no evergreen requirements apply in P1 site perimeter landscaping

remove, no enhanced requirements exist.

25%-50% (min and max apply)

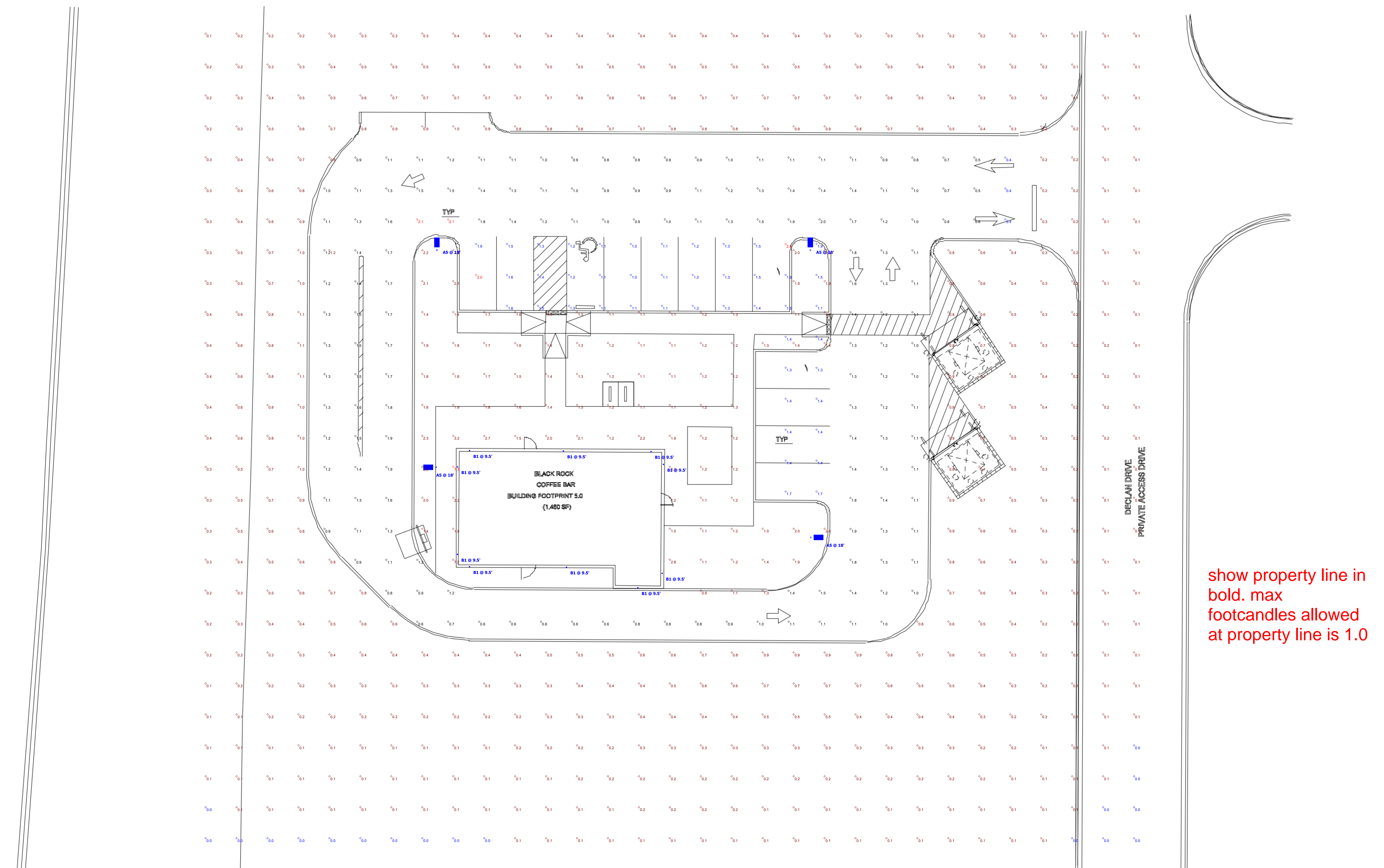
table needs to be revised, see "parking lot interior landscaping" in Section 13.08.090(f) for requirements.

- 10% of parking lot area allocated to landscape islands - list all landscape islands, show dimensions, how many trees/shrubs on each

remove

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1919 BEFORE YOU DIG, GRAVE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

EVERGREEN TREE REQUIREMENT - OVERALL SITE				MIN. EVERGREEN REQ.			
MIN.	PROVIDED	SURPLUS/DEFICIT	% PROVIDED	MIN.	PROVIDED	SURPLUS/DEFICIT	% PROVIDED
17	4	0	25%	4	5	1	125%



Black Rock Coffee Bar Parker Colorado

show property line in bold. max footcandles allowed at property line is 1.0

Schedule	Symbol	Label	QTY	Manufacturer	Model	Description	Number Lenses	Lamp Output	LLF	Input Power	Polar Plot
A5	◇		4	OPTIC LED LIGHTING	04A1-080-30-5	LED AREA SERIES LARGE SERIES 3000K HS SNIG TYPE 5 MOUNTED @ 18° AFG	1	10330	0.9	80	
B1	○		10	SP Lighting	4427-XX-13-XX	LED ARCHITECTURAL SQUARE CYLINDER DOWNLIGHT MOUNTED @ 9.5° AFG	1	911	0.9	13.3	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive Lane @ 0' AFG	◇	1.2 fc	2.1 fc	0.4 fc	5.3:1	3.0:1
Parking @ 0' AFG	◇	1.4 fc	2.0 fc	1.0 fc	2.0:1	1.4:1
Site @ 0' AFG	◇	0.6 fc	7.3 fc	0.0 fc	N/A	N/A

Plan View



Catalog: _____
Project: _____
Type: A5

Area Series (Small)

The OLA1 Small Series is a stylish aerodynamic area luminaire that fits within today's accepted design form factors. Excellent optical performance is achieved with Nichia brand LED's and engineered discrete optics. LED life is assured through efficient thermal coupling and dissipation via a durable, pressure die cast, low-copper alloy, aluminum housing. Engineered to last, all gaskets are anti-UV, anti-aging with no harmful out-gassing. All models come standard with a universal pole mount bracket or an optional wall surface box. Luminaires are available with a number of options including alternate CCT choices, finishes, photocells and occupancy sensors.



FEATURES

- LED Brand: Nichia
- Color Temperatures: 4000K & 5000K (Other CCT's are available upon request)
- CRI: 70
- Lumen Maintenance: L70 = 50,000 hours
- Full Cutoff (meets IDA criteria)
- Operating Temperature: -40 °C (-40 °F) to 40 °C (104 °F)
- Durable All Aluminum Pressure Die Cast Housing
- Powder Coat Finish
- Salt Fog Tested to 2500 hours / per ASTM B117
- IP65 Rated (wet listed / NEMA IEC 60529)
- Mounting: Universal Round or Square Pole, Wall Surface Box

ELECTRICAL SPECIFICATIONS

- Power Input: 120-277V (347-480V Optional)
- Power Factor: > 0.95
- THD: < 15%
- Surge Protection: 20 kV
- Control Options: 0-10V Dimming standard (Photocell and Occupancy Sensors Optional)

TESTS & CERTIFICATIONS

- ETL (UL 1598, UL 8750, NEMA C82.77)
- CSA (C22.2 No.250.0)
- RoHS Compliant
- Design Lights Consortium (Premium)
- 3G Vibration tested (ANSI C136.31)



WARRANTY

- Up to 10-Year Warranty (parts or replacement)

PERFORMANCE SPECIFICATIONS

Distribution	Model / Wattage	Lumens		Bug Rating		
		4000K	5000K	B	U	G
Type 2	OLA1-080	10,801	10,960	3 *	0	1
	OLA1-120	15,840	16,200	3 *	0	2
	OLA1-150	19,800	20,250	3 *	0	2
Type 3	OLA1-080	11,600	11,760	2 *	0	2
	OLA1-120	16,561	16,920	3 *	0	2
	OLA1-150	20,549	21,000	3 *	0	2
Type 3L	OLA1-080	10,799	10,960	3 *	0	3
	OLA1-120	15,960	16,199	3 *	0	3
	OLA1-150	19,800	20,249	4 *	0	3
Type 3R	OLA1-080	10,799	10,960	3 *	0	3
	OLA1-120	15,960	16,198	3 *	0	3
	OLA1-150	19,800	20,250	4 *	0	3
Type 4	OLA1-080	10,596	10,794	2 *	0	2
	OLA1-120	15,472	15,712	2 *	0	2
	OLA1-150	19,046	19,349	3 *	0	2
Type 4L	OLA1-080	10,800	10,960	3 *	0	3
	OLA1-120	16,080	16,320	3 *	0	3
	OLA1-150	19,800	20,250	4 *	0	4
Type 4R	OLA1-080	10,800	10,960	3 *	0	3
	OLA1-120	16,080	16,320	3 *	0	3
	OLA1-150	19,781	20,250	4 *	0	4
Type 5	OLA1-080	10,032	10,185	4	0	3
	OLA1-120	15,049	15,278	4	0	3
	OLA1-150	18,811	19,097	5	0	4

* Backlight = 1 when BC (Backlight Control System) is applied.

Voltage (V)	Current (A)		
	80W	120W	150W
120	0.67	1.00	1.25
208	0.38	0.58	0.72
240	0.33	0.50	0.63
277	0.29	0.43	0.54
347	0.23	0.35	0.43
480	0.17	0.25	0.31



Area Series (Small)



ORDERING INFORMATION

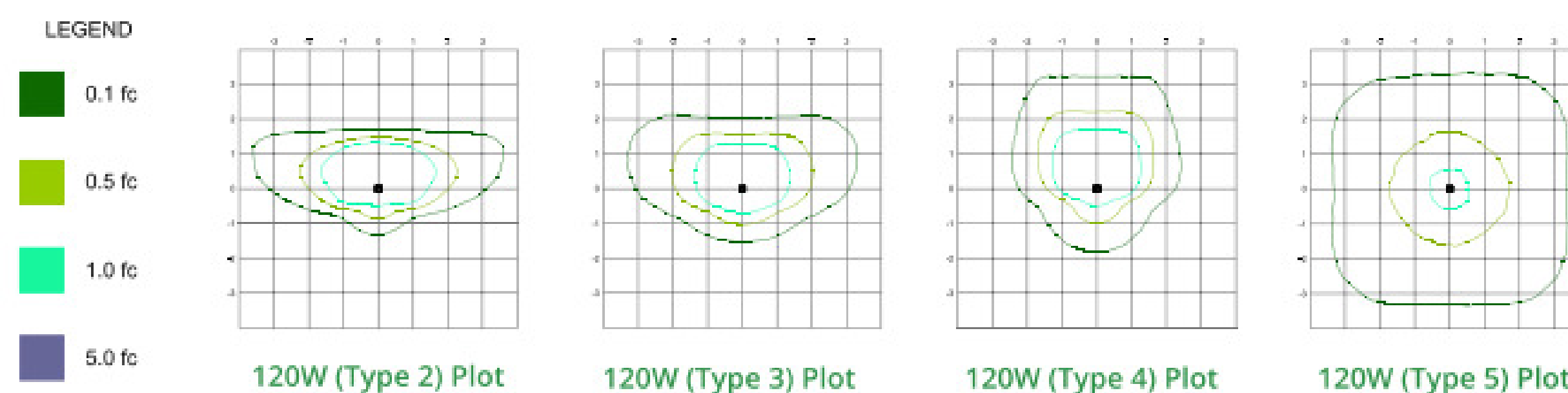
EXAMPLE: OLA1-120-UNVL-50-4-SQ-BZ-PR-TL12

SERIES	WATTAGE	VOLTAGE	COLOR TEMP	DISTRIBUTION	MOUNTING	FINISH	CONTROLS / OPTIONS
OLA1 = Optec LED Area Light	080 = 80W 120 = 120W 150 = 150W	UNVL = 120-277V UNVH = 347-480V	30 = 3000K 40 = 4000K 50 = 5000K	2 = Type 2 3 = Type 3 3L = Type 3 Left 3R = Type 3 Right 4 = Type 4 4L = Type 4 Left 4R = Type 4 Right 5 = Type 5	SQ = Square Pole ¹ RD = Round Pole ¹ WM = Wall Mount ^{1,2} TA = Tenon Adapter ¹ LK = Leveling Kit ³	WH = White BZ = Dark Bronze BL = Black NA = Natural Aluminum GM = Graphic Metallic CF = Custom Finish	OSWS = Occupancy Sensor (WattStopper) PR3 = Photocell Receptacle 3-pin PR5 = Photocell Receptacle 5-pin PR7 = Photocell Receptacle 7-pin WCS = Wireless Control (Synapse) ⁵ BCS = Backlight Control System SF = Single Fuse (120V, 277V, 347V) DF = Double Fuse (220V, 240V, 480V) TLSC = Twist Lock Shorting Cap 924 = UL924 Relay TL12 = Twist Lock Photocell 120V ⁶ TL24 = Twist Lock Photocell 240V ⁶ TL27 = Twist Lock Photocell 277V ⁶ TL28 = Twist Lock Photocell 208V ⁶ TL34 = Twist Lock Photocell 347V ⁶ TL48 = Twist Lock Photocell 480V ⁶ HS House Side Shield

- 1 - For details, reference accessory data sheet.
- 2 - WM option requires SQ pole mount bracket (ordering example: SQ-WM)
- 3 - Leveling kit adjusts up by 5 degrees or down by 5 degrees
- 4 - OSWS = For Wattstopper PIR sensor information and options contact factory
- 5 - WCS = For Synapse wireless controls information and options contact factory for details
- 6 - Photocell default = Fail in "ON" mode (unless otherwise specified)

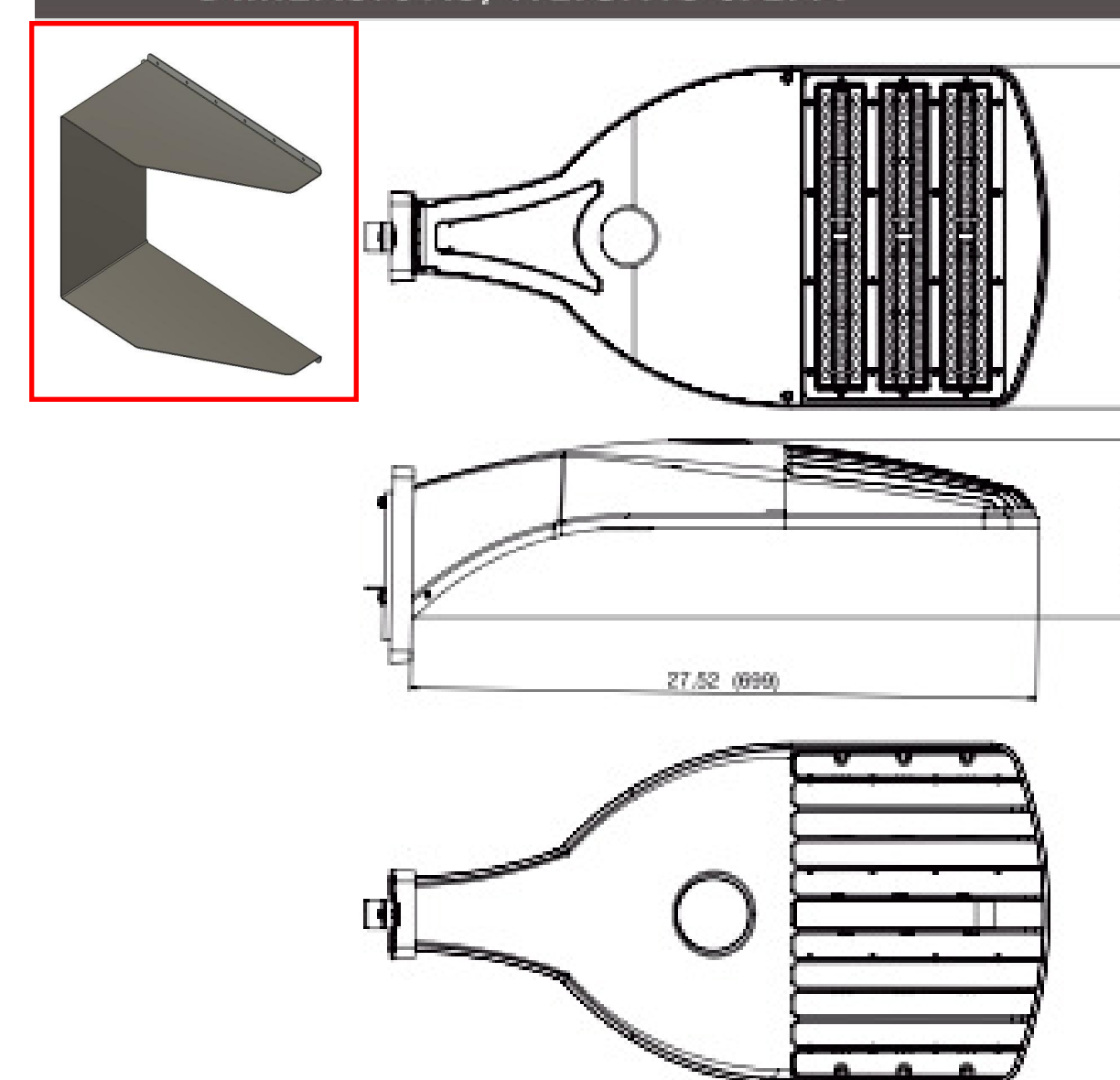
PHOTOMETRIC PERFORMANCE

Isofootcandle plots = OLA1 120W model in 5000K CCT @ 30' mounting height. Distances are in units of mounting height.



Published luminaire photometric testing performed to IESNA-79-08 standards

DIMENSIONS, WEIGHTS & EPA



Wattage	80W	120W	150W
Length (inches / mm)	27.52 / 699	27.52 / 699	27.52 / 699
Width (inches / mm)	14.8 / 376	14.8 / 376	14.8 / 376
Height (inches / mm)	7.83 / 199	7.83 / 199	7.83 / 199
Weight (lbs / kg)	19.4 / 8.8	19.4 / 8.9	20 / 9.1

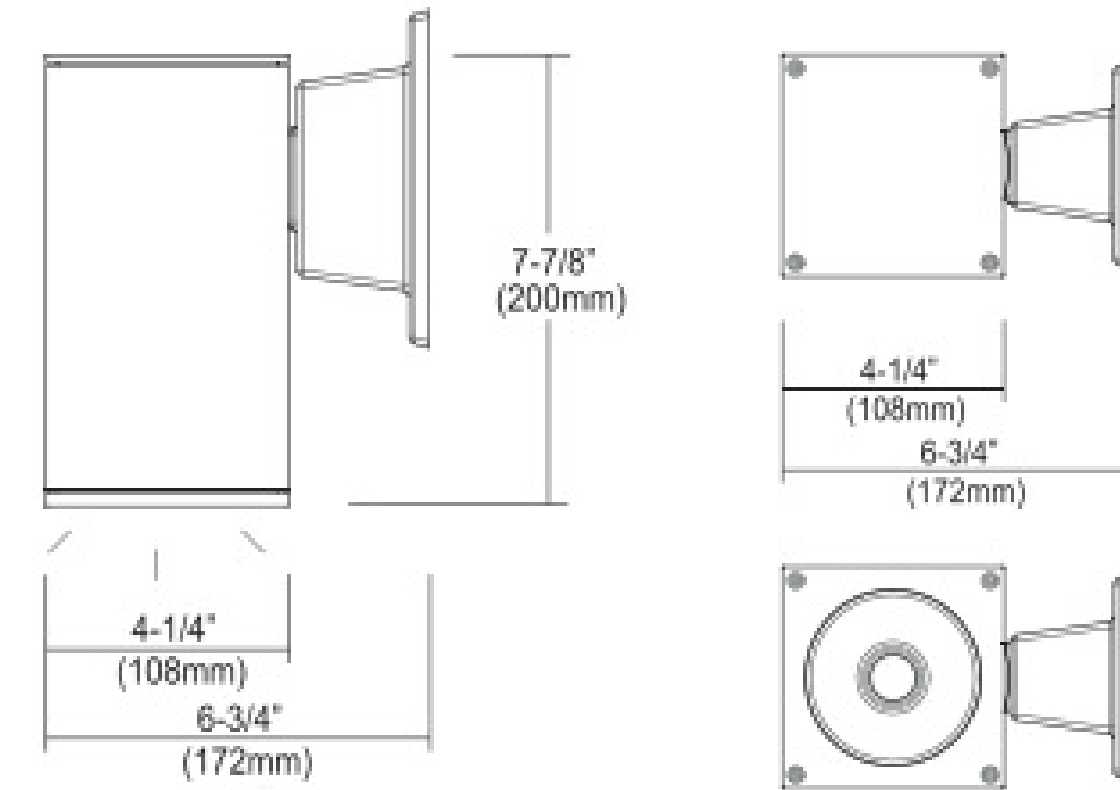
Wattage	Effective Projected Area (EPA) in ft ²				
	2	3	4	5	6
80	0.96	1.92	1.81	2.77	3.63
120	0.96	1.92	1.81	2.77	3.63
150	0.96	1.92	1.81	2.77	3.63

4427

120V

Catalog #:		Type	B1
Project:		Date	
Prepared by:			

4" LED Architectural Square Cylinder Downlight



4" LED Square Downlight

DESCRIPTION

The Outdoor LED Cylinder Family features wet location rated wall mount style cylinders with down light and up & down light options. Choose from energy efficient 13W, 17W, or 27W AC modules, with finishes available in black, brushed nickel, or oil-rubbed bronze. Features Triac dimming down to 5%, using most standard dimmers. Utilizes AC circuit on board technology for cooler operating temperature and extended lifetime.

DESIGN FEATURES

Construction

- Aluminum die-cast with powder coat finish

Electrical

- 120V Direct AC operation with DOB
- Triac dimming down to 5%
- Various wattages of modules available
- Cooler operating temperature without driver
- Operating temperature: -31°F (-35°C) to 122°F (50°C)
- Stable driving current prevents inrush damage to circuit switches and modules
- Available in 80CRI, 3000K & 4000K

Installation

- Easy surface mounting for simple installation using anchors and screws
- J-box mountable

Lens

- Clear acrylic lens protects LEDs while allowing for optimum lumen output
- 37° beam angle

Finish

- Black, brushed aluminum or oil-rubbed bronze

Certifications

- cCSAus for wet location
- 5 year limited warranty
- Wet location rated



4427

120V

Specification & Ordering

Model #	Dimensions (H x W x D)	Watt	Lumens (delivered)	Lumens (source)	Color Temp
4427	7-7/8" x 4-1/4" x 6-3/4"	13W	845lm	1280lm	3K 3000K
		17W	1105lm	1710lm	4K 4000K
		27W	1755lm	2570lm	

ORDERING

Example: 4427BK-13-3K

Model #	Finish	Watts	CCT
4427			
4427	BK : Black BA : Brushed Aluminum OB : Oil-rubbed Bronze	-13 : 13W -17 : 17W -27 : 27W	-3K : 3000 K -4K : 4000 K

4" LED Square Downlight

TEL: 800.937.6925 | Fax: 800.207.9509 | www.rplighting.com

Specifications and dimensions subject to change without notice.



TEL: 800.937.6925 | Fax: 800.207.9509 | www.rplighting.com

Specifications and dimensions subject to change without notice.

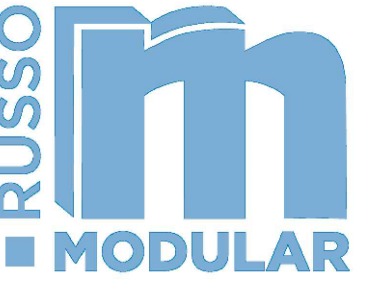


FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR BLACK ORE MATTE FINISH
2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY TO MATCH APPROVED DEVELOPMENT 'ONYX'
3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE TO MATCH 'LIGHT OAK' BY PAC-CLAD ON DEVELOPMENT PALETTE
FLASHING, COLUMNS AND CANOPY				
4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	COLOR BLACK ORE MATTE
6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR ONXY TO MATCH APPROVED DEVELOPMENT PALETTE

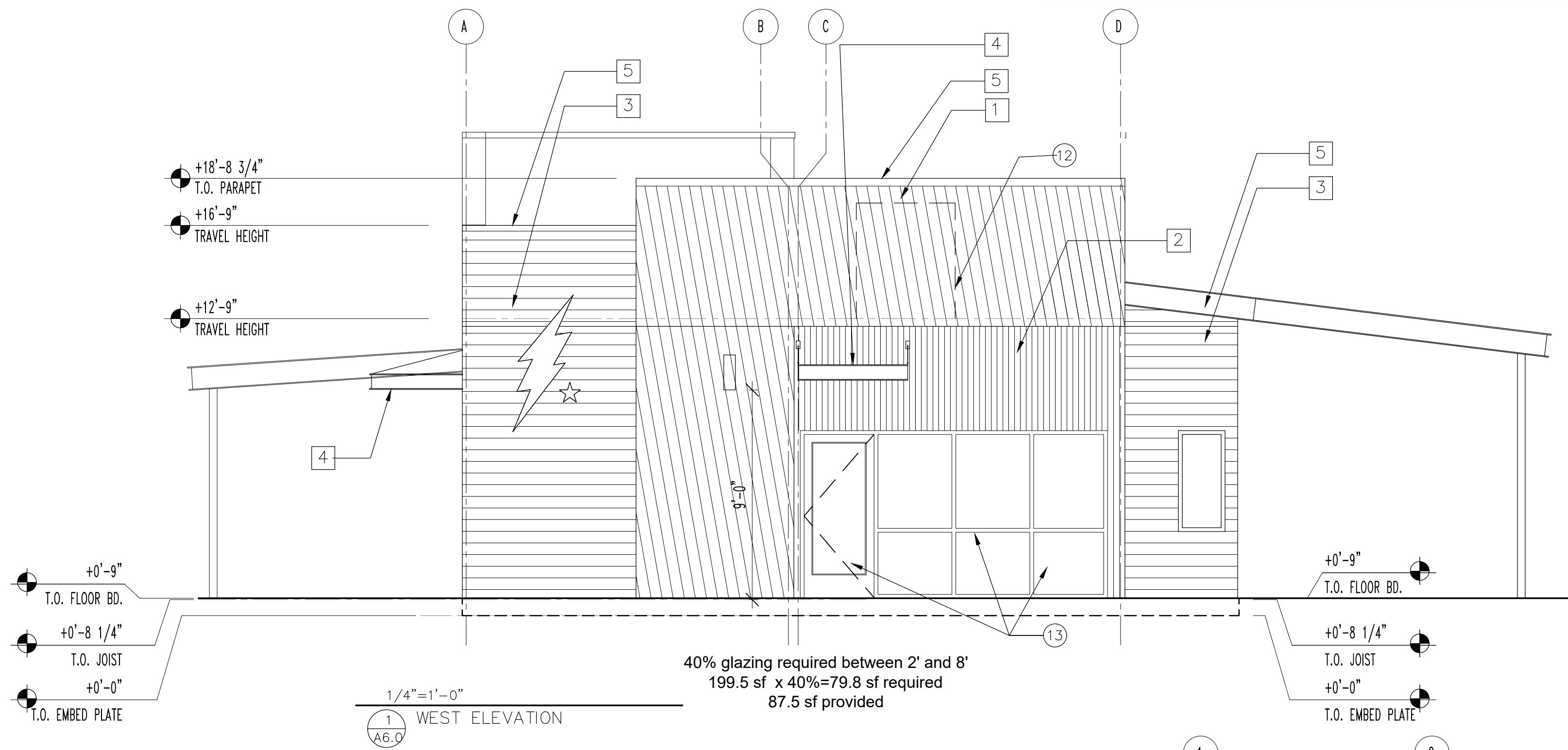
KEY NOTES

1. FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
2. STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
4. DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5. SIGNAGE. UNDER SEPARATED SUBMITTAL.
6. 48" W X 12" D SERVICE COUNTER AR 34" AFF. DOWNSPOUT DAYLIGHT.
7. EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7). CAP FLASHING.
8. AWNING CORRUGATED METAL PANEL.
9. RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
10. SCREENED ROOFTOP MECHANICAL.
11. GLAZING AT DOOR AND THIS ENTIRE STOREFRONT TO BE SPANDREL GLASS

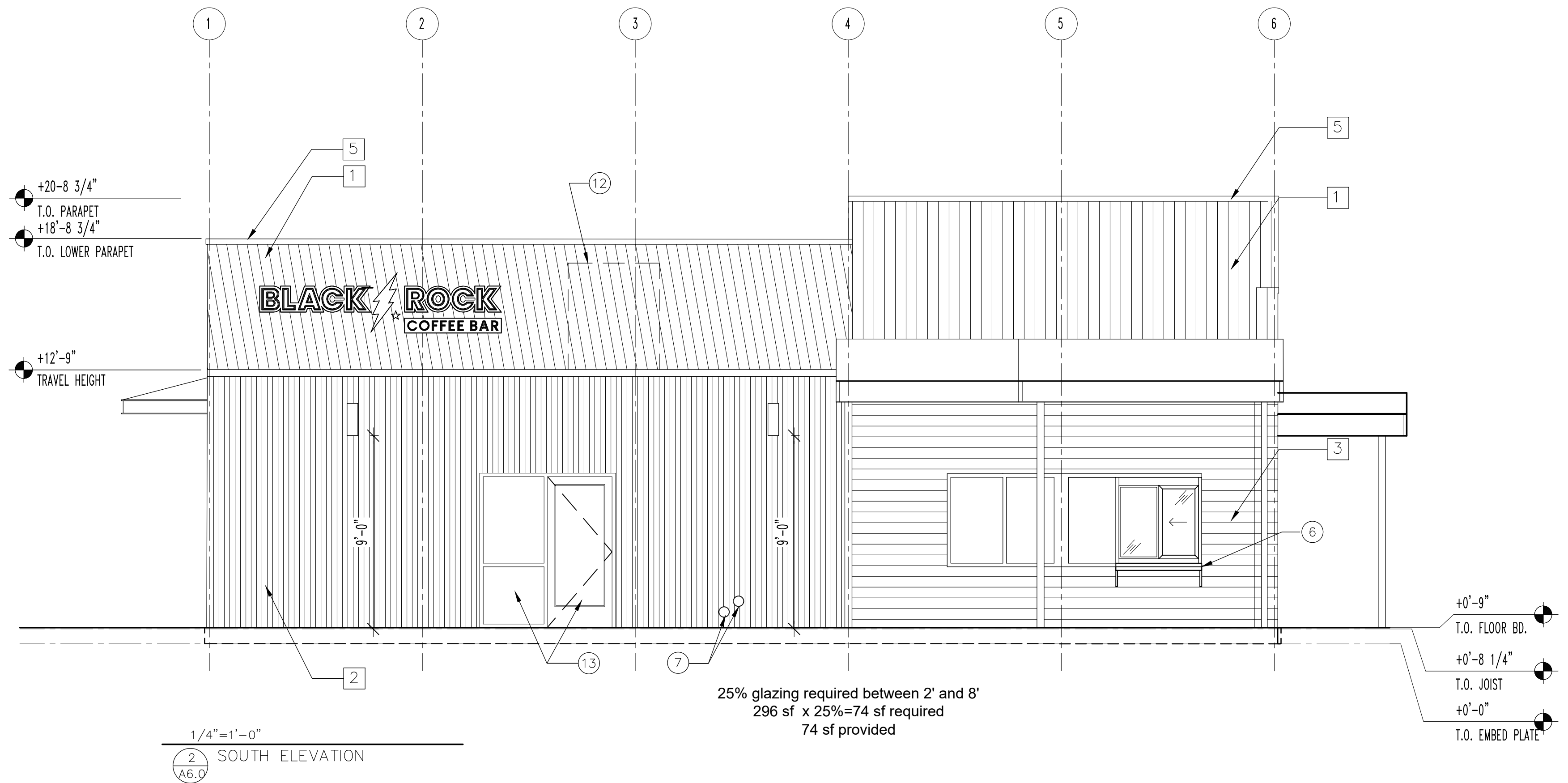


3836 W BUCKEYE RD
BUILDING C
PHOENIX, AZ 85009
623-328-5196

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.



SIGNS WILL BE REVIEWED FOR COMPLIANCE AND APPROVED THROUGH THE SIGNAGE PERMIT PROCESS



BLACK ROCK COFFEE
MODULAR BUILDING



NOT FOR
CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

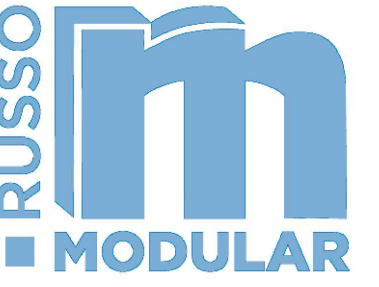
A6.0

FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR BLACK ORE MATTE FINISH
2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY TO MATCH APPROVED DEVELOPMENT 'ONYX'
3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE TO MATCH 'LIGHT OAK' BY PAC-CLAD ON DEVELOPMENT PALETTE
FLASHING, COLUMNS AND CANOPY				
4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	COLOR BLACK ORE MATTE
6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR ONYX TO MATCH APPROVED DEVELOPMENT PALETTE

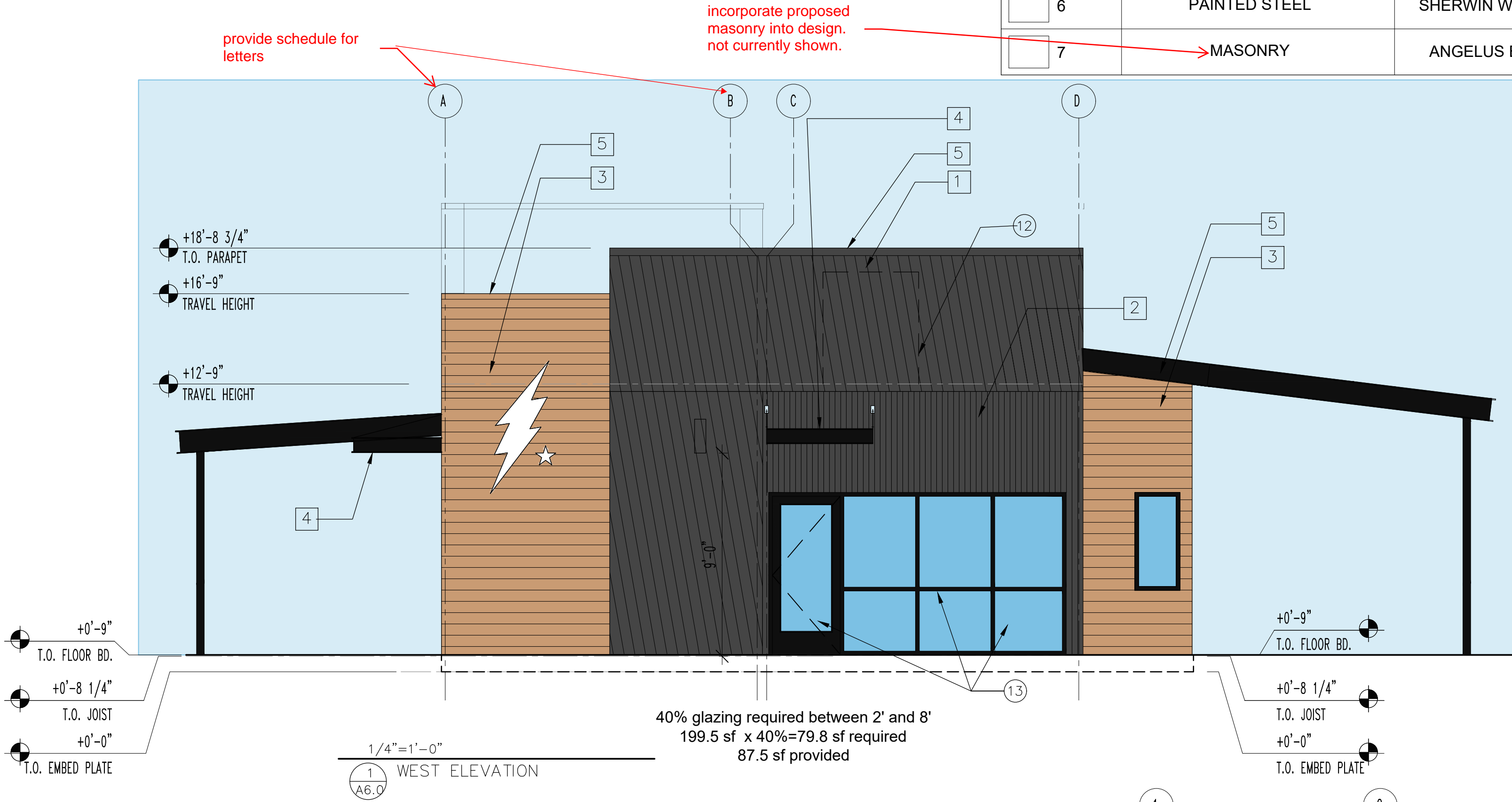
KEY NOTES

1. FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
2. STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
4. DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5. SIGNAGE. UNDER SEPARATED SUBMITTAL.
6. 48" W X 12" D SERVICE COUNTER AR 34" AFF. DOWNSPOUT DAYLIGHT.
7. EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7), CAP FLASHING.
8. AWNING CORRUGATED METAL PANEL.
9. RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
10. SCREENED ROOFTOP MECHANICAL.
11. GLAZING AT DOOR AND THIS ENTIRE STOREFRONT TO BE SPANDREL GLASS



3836 W BUCKEYE RD
BUILDING C
PHOENIX, AZ 85009
623-328-5196

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.



incorporate proposed masonry into design. not currently shown.

provide schedule for letters

will this be sand castle or light oak? list one

will this be charcoal gray or onyx? list one

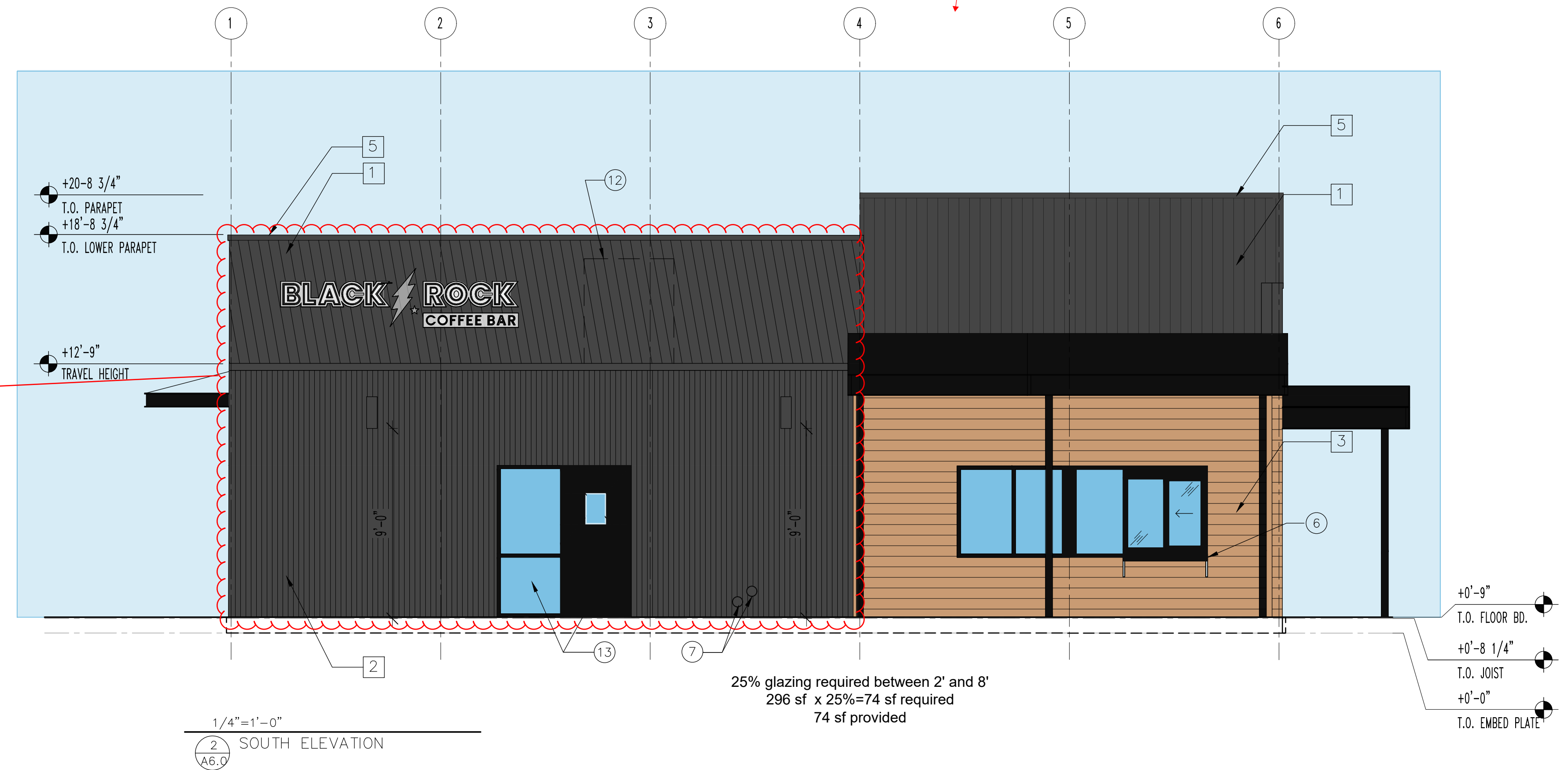
spandrel glass is not permitted per Development Design Standards

SIGNS WILL BE REVIEWED FOR COMPLIANCE AND APPROVED THROUGH THE SIGNAGE PERMIT PROCESS

architecture needs to be enhanced, especially on west side facing parker road. only two materials used on entire building - add more materials, possible corner feature on parker road, etc.

please review commercial design standards in Development Design Standards document

this area especially needs to be broken up. all black.



BLACK ROCK COFFEE
MODULAR BUILDING



NOT FOR CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

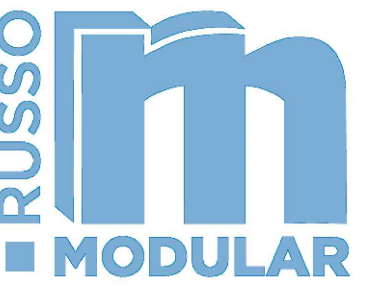
A6.0

FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR BLACK ORE MATTE FINISH
2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY TO MATCH APPROVED DEVELOPMENT 'ONYX'
3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE TO MATCH 'LIGHT OAK' BY PAC-CLAD ON DEVELOPMENT PALETTE
FLASHING, COLUMNS AND CANOPY				
4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	COLOR BLACK ORE MATTE
6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR ONXY TO MATCH APPROVED DEVELOPMENT PALETTE

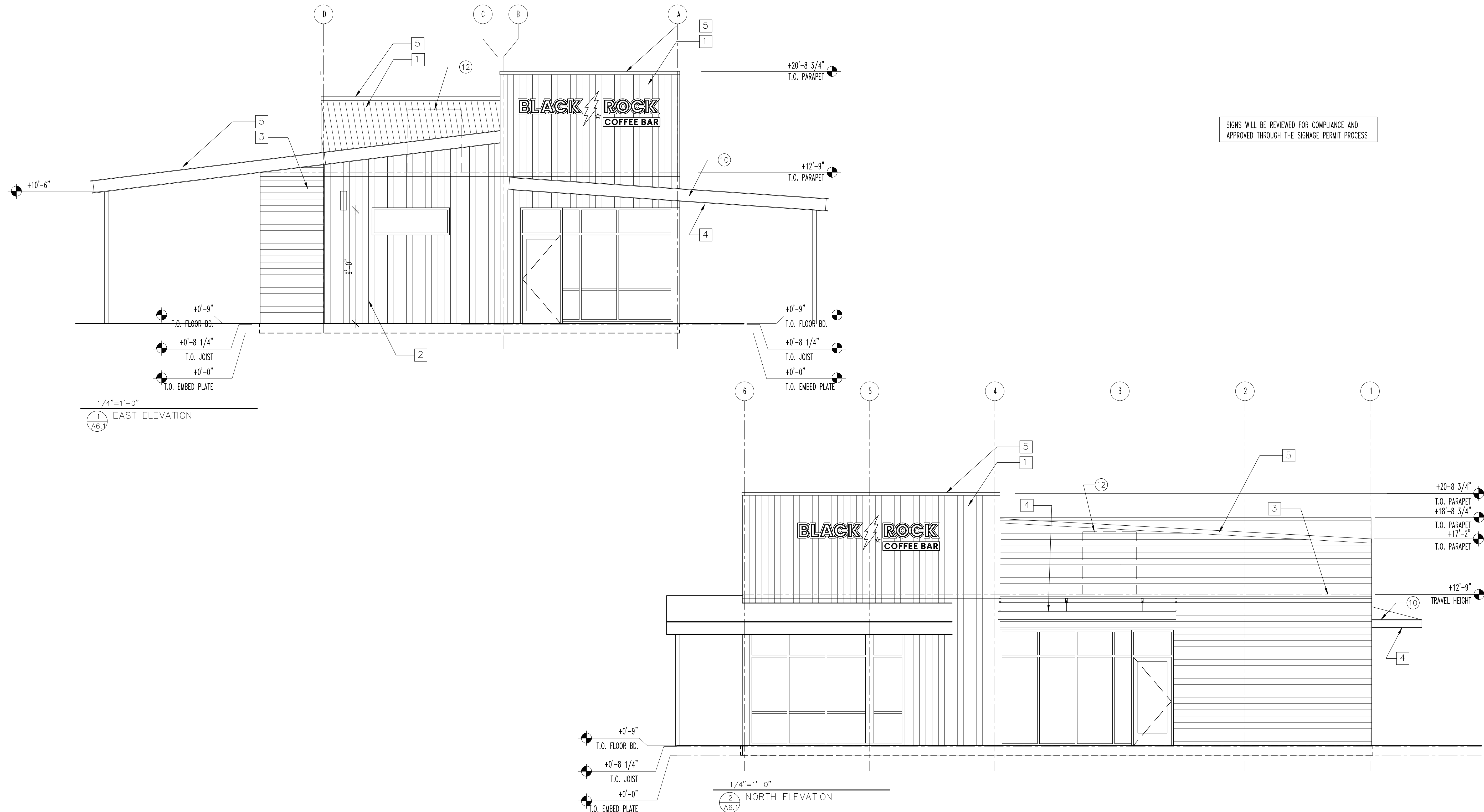
KEY NOTES

1. FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
2. STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
4. DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5. SIGNAGE. UNDER SEPARATED SUBMITTAL.
6. 48" W X 12" D SERVICE COUNTER AR 34" AFF.
7. DOWNSPOUT DAYLIGHT.
8. EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7), CAP FLASHING.
9. AWNING CORRUGATED METAL PANEL.
10. RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
11. SCREENED ROOFTOP MECHANICAL.
12. ELECTRICAL METER AND DISCONNECT.
13. SCREEN WALL.



3836 W BUCKEYE RD
BUILDING C
PHOENIX, AZ 85009
623-328-5196

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.



BLACK ROCK COFFEE
MODULAR BUILDING



NOT FOR
CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

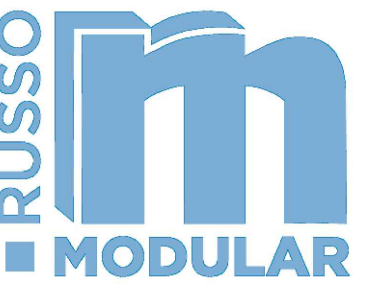
A6.1

FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR BLACK ORE MATTE FINISH
2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY TO MATCH APPROVED DEVELOPMENT 'ONYX'
3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE TO MATCH 'LIGHT OAK' BY PAC-CLAD ON DEVELOPMENT PALETTE
FLASHING, COLUMNS AND CANOPY				
4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	COLOR BLACK ORE MATTE
6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR ONXY TO MATCH APPROVED DEVELOPMENT PALETTE

KEY NOTES

1. FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
2. STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
4. DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5. SIGNAGE. UNDER SEPARATED SUBMITTAL.
6. 48" W X 12" D SERVICE COUNTER AR 34" AFF. DOWNSPOUT DAYLIGHT.
7. EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7), CAP FLASHING.
8. AWNING CORRUGATED METAL PANEL.
9. RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
10. SCREENED ROOFTOP MECHANICAL ELECTRICAL METER AND DISCONNECT
11. SCREEN WALL



3836 W BUCKEYE RD
PHOENIX, AZ 85009
623-328-5196

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.



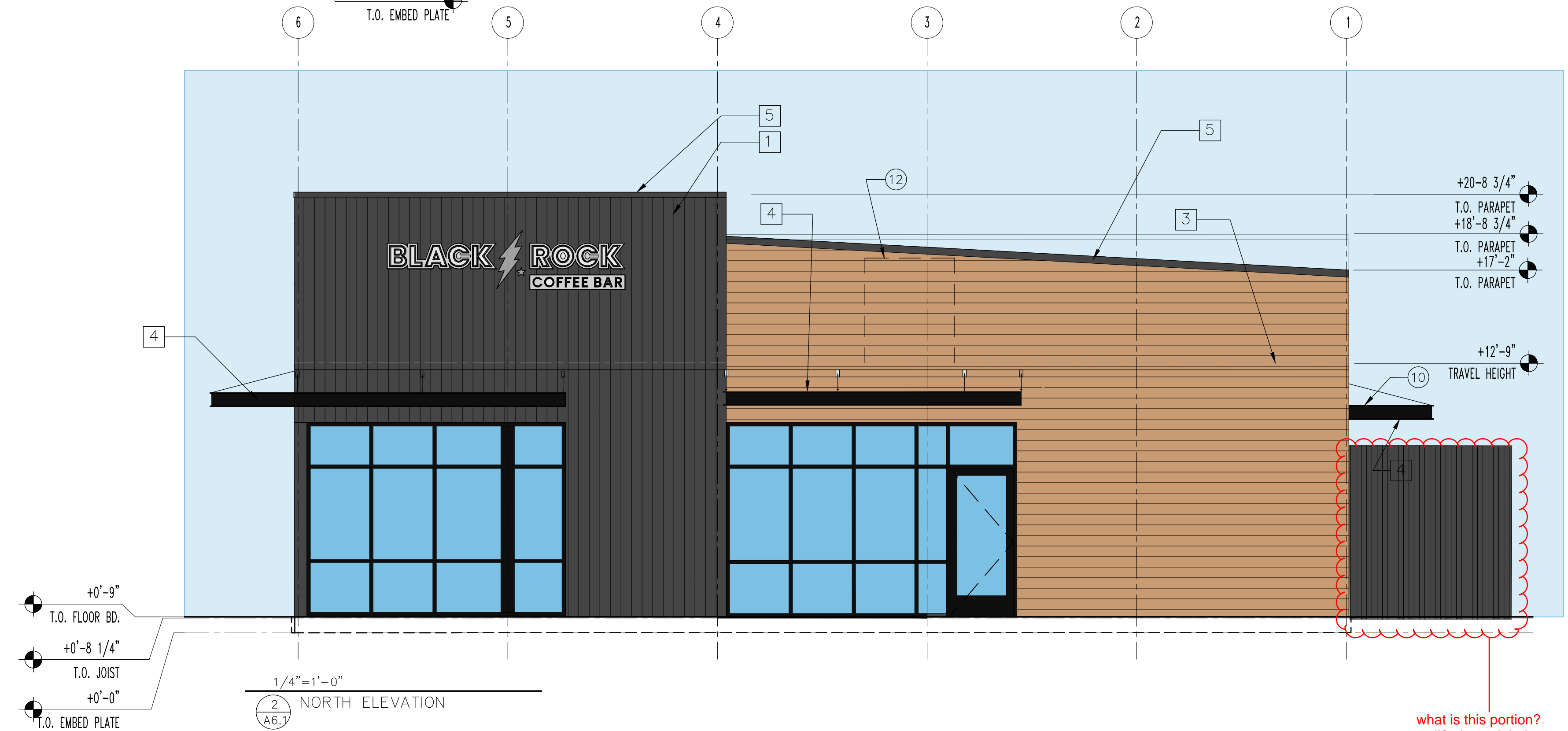
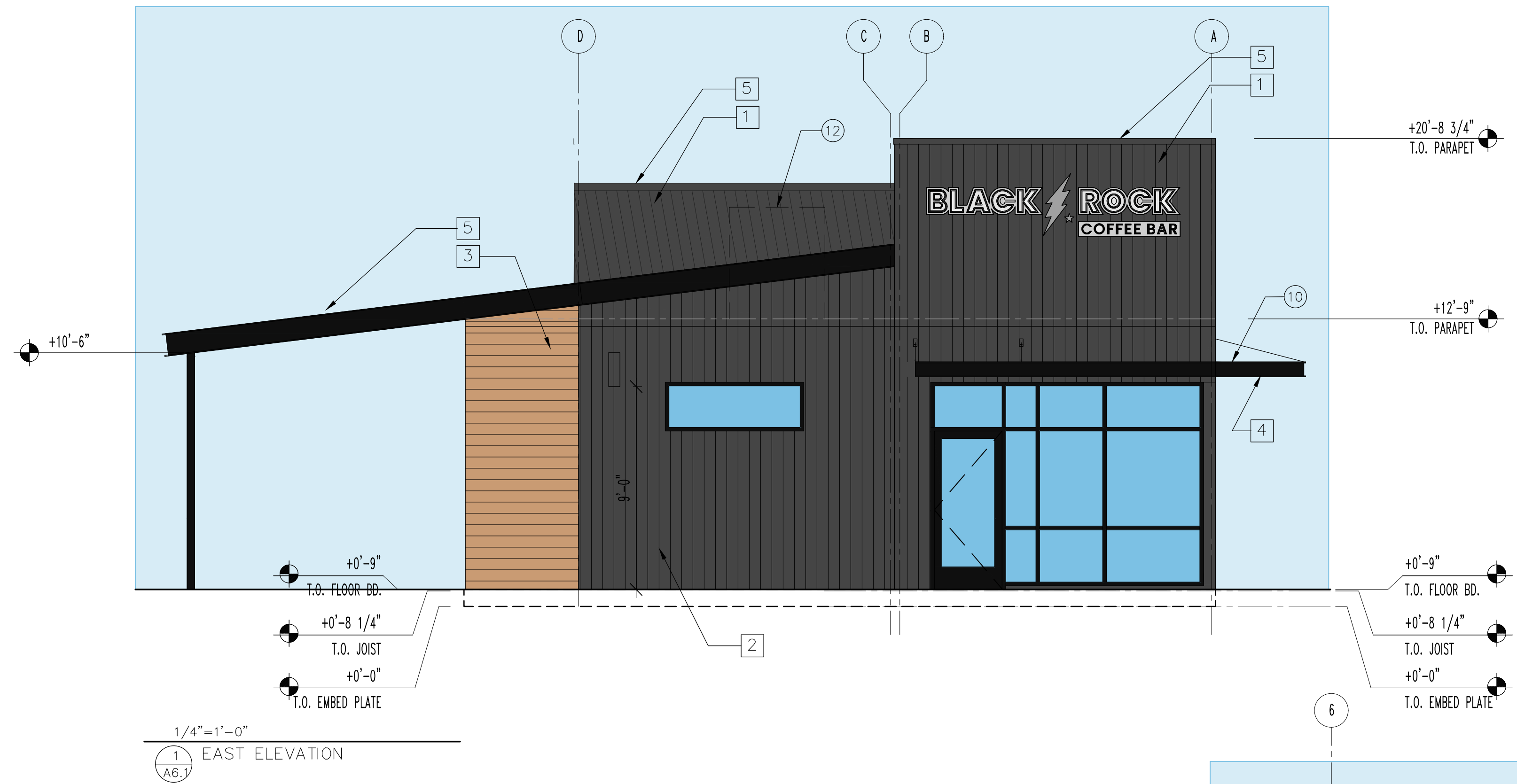
#13 electric meter not shown. please show on elevations, add note that it will be painted to match adjacent wall

#14 screen wall not shown. this should be shown on elevations and site plan.

SIGNS WILL BE REVIEWED FOR COMPLIANCE AND APPROVED THROUGH THE SIGNAGE PERMIT PROCESS

architecture needs to be enhanced. only two materials used on entire building - add more materials, possible corner feature on parker road, etc.

please review commercial design standards in Development Design Standards document



BLACK ROCK COFFEE
MODULAR BUILDING



NOT FOR CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

A6.1

what is this portion? wall? please label, show on all relevant elevations.



Project Reviews Town of Parker

Project Number: SP24-128

Description: Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop

Applied: **12/9/2024**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: ,

Status: **UNDER REVIEW 2**

Applicant: **Atwell LLC**

Parent Project: **SUB23-016**

Owner: **Brad Willett**

Contractor: **<NONE>**

Details:

The applicant, Black Rock Coffee, is proposing a Site Plan for a coffee shop with a drive through. The site is located southeast of the intersection of Parker Road and Stroh Road.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
-----------	---------------	----------	------	---------	--------	---------

Review Group: ALL

12/18/2024	12/30/2024	12/30/2024	COMPLETENESS REVIEW	Julia Duncan	COMPLETED	
------------	------------	------------	---------------------	--------------	-----------	--

Notes:

From: Duncan, Julia <jduncan@parkerco.gov>
 Sent: Monday, December 30, 2024 11:33 AM
 To: Nicholas Salazar <nsalazar@atwell.com>
 Cc: Khadeja Sarwar <ksarwar@atwell.com>; Catey Atchley <catchley@atwell.com>; Carlos Casas <ccasas@atwell.com>; Samantha Villegas <svillegas@atwell.com>; Sophia Kidd <skidd@atwell.com>
 Subject: Re: SP24-128 - Parker Pointe Coffee

Good Morning Nick,

I have deemed the submittal complete for submittal requirements. However, we will need fees paid prior to sending out on referral. I am waiting for Engineering staff to add those fees and will keep you posted. Can you please let me know if you will be paying with a credit card or by check?

Sincerely,

Julia

Review Group: AUTO

12/9/2024			ENGINEERING ADMINISTRATIVE	Tom Williams		
-----------	--	--	----------------------------	--------------	--	--

Notes:

12/9/2024	12/30/2024	12/23/2024	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
-----------	------------	------------	------------------------------	---------------	-----------	--

Notes:

Review Group: SP 2ND 15



PARKER
C O L O R A D O

Project Reviews Town of Parker



3/19/2025	4/2/2025	4/9/2025	CONST PLANS - ENVIRONMENTAL 15	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
-----------	----------	----------	--------------------------------	---------------	--------------------	-----------------------------------



PARKER
COLORADO

Project Reviews Town of Parker

Notes:

SP24-128 Parker Point, Black Rock Coffee – 2nd Environmental Review, 4-1-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (All Erosion Control Plan Sheets)

1. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.
2. Please provide and use Parker's complete Legend of Keys/Symbols to correspond to the Parker's 31 CBMP Details on the Erosion Control plan sheets.
3. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker's CBMP Legend, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
4. Initial Erosion Control Plan Sheet: Only show the Initial CBMPs, Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with Inlet Protection outside of the site. Initial sheet should show the site as it currently exists, a dirt lot. Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project. Interim sheet should show the parking lot/driveway and building layout with the proposed stormwater. Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established. Final sheet would show the layout of the completed site.
5. Please add a callout/label on all properties adjacent to the project stating: "NO WORK SHALL OCCUR IN THIS AREA". These areas must be shaded for easy identification.

INITIAL CBMP PLANS

6. Initial Erosion Control Plan Sheet: Only show the Initial CBMPs, Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with Inlet Protection outside of the site. Initial sheet should show the site as it currently exists, a dirt lot. Silt Fence Perimeter Control is required for the entire site.
7. Please show existing grading contours and provide arrows to indicate the direction of stormwater flow after removing all proposed construction diagrams (buildings and parking lot/sidewalks).
8. Please show Inlet Protection on the existing inlet located to the south of the site on the Declan Drive.

INTERIM CBMP PLANS

9. Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project. Interim sheet should show the parking lot/driveway and building layout with the proposed stormwater.
10. Please show Inlet Protection on the existing inlet located to the south of the site on the Declan Drive.
11. Please remove the roadway striping arrows from the plan sheet to avoid confusion with the stormwater flow arrows.
12. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
13. Parker does not allow the use of sandbags, you must use SCL or SF.

FINAL CBMP PLANS

14. Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established. Final sheet would show the layout of the completed site identifying the native grass areas and the landscaped areas.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

https://drive.google.com/file/d/1oE5TRyFktV-bdRygdUwIqhwaf3eQJxzs/view?usp=drive_link

CBMP Details

<http://parkeronline.org/532/Construction-Best-Management-Practices>

Erosion Control CBMP Checklist (See Appendix D)

Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)



PARKER
COLORADO

Project Reviews Town of Parker



3/19/2025	4/4/2025	4/9/2025	CONSTRUCTION PLANS - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
3/19/2025	4/4/2025	4/9/2025	DRAINAGE REPORT - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
3/19/2025	3/26/2025	4/9/2025	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: There are issues that require attention; see response letter and address all issues when resubmitting.						
3/19/2025	4/8/2025	4/9/2025	IREA 15	Brooks Kaufman	DENIED	Provide transformer and Metering locations
Notes: The applicant didn't address CORE's previous comments to provide the transformer and metering locations. The locations will be required to meet CORE's clearance requirements and the Town's approval. The applicant will be required to relocate CORE's existing facilities prior to the start of construction.						
3/19/2025	4/4/2025	4/9/2025	SITE PLAN - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
3/19/2025	4/9/2025	4/9/2025	SITE PLAN 15	Amber Wood Hicken	REVISIONS REQUIRED	
Notes: See planning comments 02						
3/19/2025	4/4/2025	4/9/2025	TRAFFIC IMPACT STUDY - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
4/4/2025	4/7/2025	4/25/2025	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See response
Notes:						
Review Group: SP 2ND 15 ADD						
3/19/2025	4/9/2025	4/9/2025	PARKER WATER AND SANITATION DISTRICT 15	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes: Please see uploaded red lined plans, review letter, and 22 foot hydrant easement. Please feel free to reach out with any questions you may have.						



PARKER
COLORADO

Project Reviews Town of Parker



Review Group: SP GRP 10

1/3/2025	1/15/2025	2/3/2025	BUILDING 10	Randy Capra	ADVISORY COMMENTS	01 REVIEW 20
----------	-----------	----------	-------------	-------------	-------------------	--------------

Notes:
Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2025. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. Note – for projects received after December 31, 2024, all projects will be required to meet the requirements of the 2023 NEC. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.
Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

1/3/2025		2/3/2025	CENTURYLINK COMMUNICATIONS 10	CenturyLink		01 REVIEW 20
----------	--	----------	-------------------------------	-------------	--	--------------

Notes:

1/3/2025	1/6/2025	2/3/2025	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 10	Val Endyk	ADVISORY COMMENTS	See Notes
----------	----------	----------	---	-----------	-------------------	-----------

Notes:
The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP24-128, Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.
If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

1/3/2025		2/3/2025	COMCAST 10	Butch Buster		01 REVIEW 20
----------	--	----------	------------	--------------	--	--------------

Notes:



PARKER
COLORADO

Project Reviews Town of Parker



1/3/2025	2/3/2025	2/3/2025	CONST PLANS - ENVIRONMENTAL 10	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
----------	----------	----------	--------------------------------	---------------	--------------------	-----------------------------------

Notes:

SP24-128 Parker Point, Black Rock Coffee – 1st Environmental Review, 2-3-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS

1. Please note: Civil Plans must include multiple Erosion Control Plan Sheets referencing the Initial, Interim and Final phases of the project.
 Initial Erosion Control Plan Sheet: Only show the Initial CBMPs (Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, Inlet Protection, and existing stormwater utilities).
 Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project.
 Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established.

2. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.

(These Notes Required on ALL EROSION CONTROL PLAN SHEETS, Initial, Interim and Final)

3. Please add a general note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.

4. Please add a general note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.

5. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON RESIDENTIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.”

6. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”

7. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.

8. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.

9. Please add a general note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:
https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive_link

Stormwater/Storm Drainage and Environmental Criteria Manual
 Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

Roadway Design/Construction Criteria Manual
 Roadway-Design--Construction-Criteria-Manual (parkerco.gov)

Erosion Control CBMP Checklist (See Appendix D)
 Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

1/3/2025	2/4/2025	2/3/2025	CONSTRUCTION PLANS - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
----------	----------	----------	-------------------------------	--------------------	--------------------	---------------------------------

Notes:

1/3/2025	2/3/2025	2/3/2025	DOUGLAS COUNTY ASSESSORS OFFICE 10	Marian Woodward	NO COMMENT	01 REVIEW 20
----------	----------	----------	------------------------------------	-----------------	------------	--------------

Notes:



PARKER
COLORADO

Project Reviews Town of Parker



1/3/2025	1/6/2025	2/3/2025	DOUGLAS COUNTY ENGINEERING DIVISION 10	DC Referrals	NOT APPLICABLE	01 REVIEW 20
Notes: N/A						
1/3/2025	1/24/2025	2/3/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 10	DC Referrals	ADVISORY COMMENTS	01 REVIEW 20
Notes: See the attached Referral Comment Report.						
1/3/2025		2/3/2025	DOUGLAS COUNTY SCHOOL DISTRICT RE1 10	Shavon Caldwell		01 REVIEW 20
Notes:						
1/3/2025	2/4/2025	2/3/2025	DRAINAGE REPORT - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
1/3/2025	1/15/2025	2/3/2025	FIRE LIFE SAFETY 10	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: See response letter named "SP24-128 Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop [1] Fire Life Safety Response Ltr 011525" and address all comments... as well as providing a written response to the letter provided.						
1/3/2025	1/31/2025	2/3/2025	IREA 10	Brooks Kaufman	REVISIONS REQUIRED	01 REVIEW 20
Notes: The applicant will be required to provide the transformer and metering locations; meet CORE's clearance requirements and the Town of Parker requirements. CORE has existing cubical that will be required to be relocated prior to issuing grading permit. Grade may not change +/- 6 inches within CORE's existing 15-foot easement. CORE will require additional easement by separate document at electric design for electric facilities. The applicant will be required to provide parking lot lighting plan, parking lot lights may not encroach into utility easements or CORE easement.						
1/3/2025	2/4/2025	2/3/2025	PLAT - CIVIL 10	Charles Kudlauskas	NOT APPLICABLE	01 REVIEW 20
Notes:						
1/3/2025		2/3/2025	POLICE 10	Greg Epp		01 REVIEW 20
Notes:						
1/3/2025		2/3/2025	PSCO RESIDENTIAL SUBDIVISIONS 10	Xcel Energy		01 REVIEW 20
Notes:						



PARKER
COLORADO

Project Reviews Town of Parker



1/3/2025	1/28/2025	2/3/2025	PUBLIC SERVICE COMPANY OF COLORADO 10	Donna George	COMPLETED	please see attached
----------	-----------	----------	---------------------------------------	--------------	-----------	---------------------

Notes:
please see attached

1/3/2025	1/31/2025	2/3/2025	SITE PLAN - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
----------	-----------	----------	----------------------	--------------------	--------------------	--------------------

Notes:

1/3/2025	2/4/2025	2/3/2025	SITE PLAN 10	Julia Duncan	REVISIONS REQUIRED	01 REVIEW 20
----------	----------	----------	--------------	--------------	--------------------	--------------

Notes:

From: Duncan, Julia <jduncan@parkerco.gov>
 Sent: Tuesday, February 4, 2025 4:55 PM
 To: nsalazar@atwell.com <nsalazar@atwell.com>; tony@br.coffee <tony@br.coffee>; Brad@wildercolorado.com <Brad@wildercolorado.com>
 Subject: SP24-128 STAFF COMMENTS REVIEW 01

Good Morning,

Staff has completed the review for SP24-128. Attached are the Planning Division's comments and redlines for the first round of review. A copy of these documents are also available in the project file in eTRAKiT. Please note, all other reviews referenced within the comment letter can be found in eTRAKiT. If you would like to schedule time to discuss these comments in detail, please email me and we will get something on the calendar. If you prefer to address the comments and resubmit, please email me when your resubmittal is made so that I can send the information out for the next review cycle. Please let me know if you have any questions.

Sincerely,

Julia

1/3/2025	1/31/2025	2/3/2025	TRAFFIC IMPACT STUDY - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
----------	-----------	----------	---------------------------------	--------------------	--------------------	---------------------------------

Notes:

1/3/2025		2/3/2025	URBAN DRAINAGE AND FLOOD CONTROL 10	UDFCD		01 REVIEW 20
----------	--	----------	-------------------------------------	-------	--	--------------

Notes:



PARKER
COLORADO



Project Reviews Town of Parker

Review Group: SP GRP 10 ADD

1/3/2025	2/3/2025	2/3/2025	PARKER WATER AND SANITATION DISTRICT 10	Robert Ramsey	REVISIONS REQUIRED	see notes
----------	----------	----------	--	---------------	-----------------------	-----------

Notes:

- Please see red lined plans.
- Please provide fixture count worksheet.
- Please provide an Address for the building.
- Please provide irrigation and Landscape plans.
- Please feel free to reach out with any questions you may have.