



Development Review Division

Community Development Department: Town Hall / 20120 East Mainstreet Parker, CO 80138 **Phone:** 303.841.2332 **Fax:** 303.841.3223

M E M O R A N D U M

TO: Khadeja Sarwar, Atwell, LLC
FROM: Amber Wood Hicken, Planner I
DATE: 7/21/25
SUBJECT: Parker Pointe, Black Rock Coffee, Site Plan
Review Comments 03

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Amber Wood Hicken

EMAIL: ahicken@parkerco.gov

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not send the application for referral without with this naming convention.

Example: "02" or "Second Submittal"

Site Plan and Project Details

1. Please see the attached redlines for all planning comments.

OUTSIDE REFERRAL AGENCY COMMENTS

The following reviews in eTRAKiT have "Advisory Comments" or "Revisions Required:"

- Construction plans – environmental
- Construction plans – civil
- Drainage report – civil
- IREA (CORE)
- Parker Water and Sanitation
- Site plan – civil

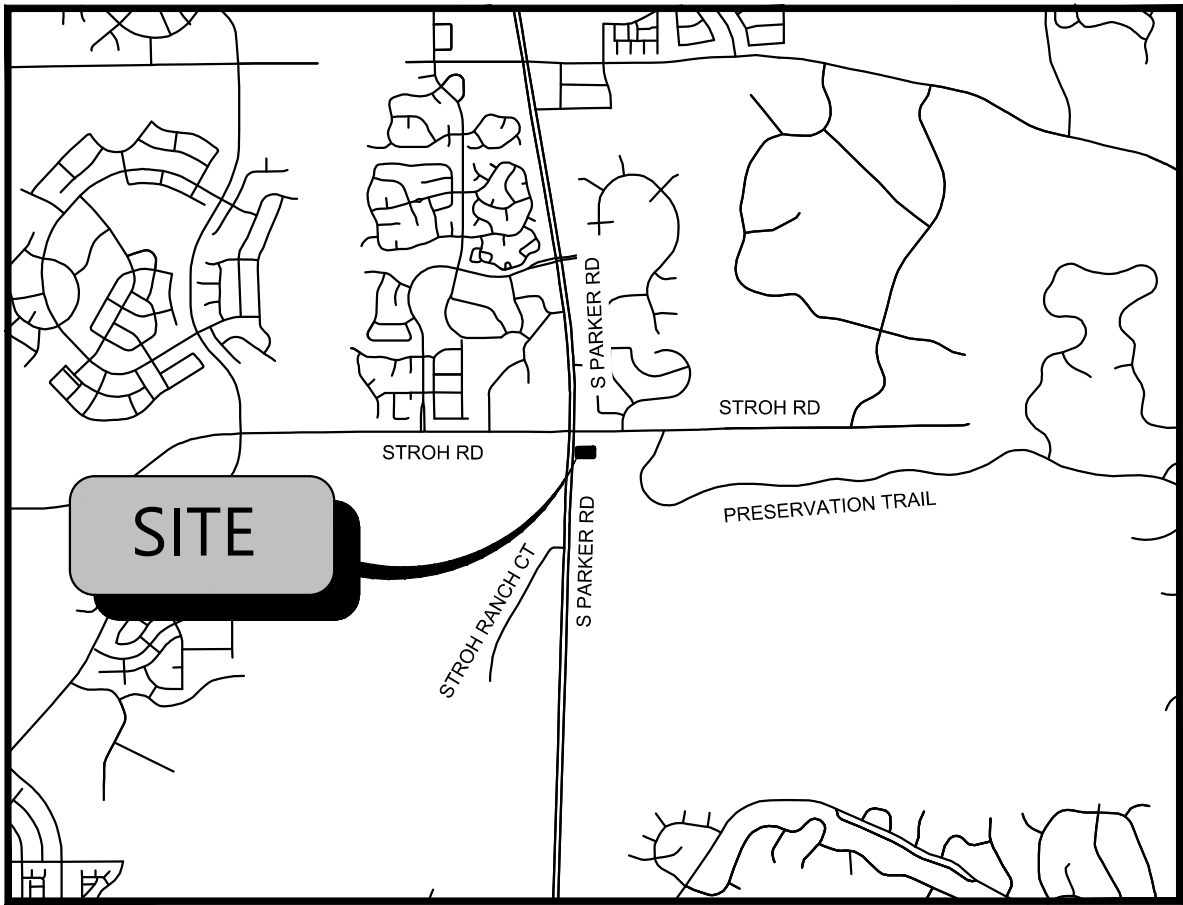
LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

SITE PLAN FOR



LOCATED AT S. PARKER RD & STROH RD
CITY OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO
TOTAL SITE ACREAGE: 0.60 AC

SITE AREA	
TOTAL PROPERTY AREA:	0.60 AC. / 25,933 SF.
DISTURBED AREA:	0.67 AC. / 29,406 SF.
IMPERVIOUS AREA:	0.40 AC. / 17,639 SF.
LANDSCAPED AREA:	0.19 AC. / 8,294 SF.
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF PARKER
ZONING:	MIXED-USE COMMUNITY
ADJACENT ZONING:	PLANNED DEVELOPMENT
PROPOSED USE:	COMMERCIAL RESTAURANT WITH DRIVE THRU
BUILDING SETBACKS	
MIN BUILDING SETBACK:	25'
MAX BUILDING SETBACK:	5' MIN.
SIDE BUILDING SETBACK:	10' MIN. ADJACENT TO STREET
REAR BUILDING SETBACK:	5' MIN. WITH ALLEY
REAR BUILDING SETBACK:	8' MIN. WITHOUT ALLEY
BUILDING SUMMARY	
PROPOSED BUILDING AREA:	1,495 SF
BUILDING HEIGHT LIMIT:	45'
PROPOSED NUMBER OF BUILDINGS:	1
PARKING SUMMARY	
PARKING REQUIREMENTS	1 SPACE PER EACH 4 PERSONS OF RATED CAPACITY (EXCLUDING OUTDOOR SEATING)
TOTAL PARKING REQUIRED	6 SPACES
PARKING PROVIDED	10 SPACES (INCLUDING 1 ADA SPACE AND 10 STACKING SPACES) ← 11?
BIKE SPACES REQUIREMENTS	4 SPACES
TOTAL BIKE PARKING PROVIDED	4 SPACES



VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2016.



AERIAL MAP
N.T.S.

BLACK ROCK COFFEE BAR

TOTAL SITE AREA: 0.60 AC. / 25,933 SF.
DISTURBED AREA: 0.67 AC. / 29,406 SF.
ZONING: MIXED-USE COMMUNITY (MC)

DEVELOPMENT TEAM

OWNER	CIVIL ENGINEER	SURVEYOR	DEVELOPER
DOUBLETREE VENTURES, LLC P.O. BOX 40326 DENVER, CO 80204 CONTACT: BRIAN ZUREK EMAIL: BRIAN@DOUBLETREEVENTURES.COM	ATWELL, LLC 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND HILLS, TX 76180 PHONE: (###) ###-#### CONTACT: NICHOLAS SALAZAR EMAIL: NSALAZAR@ATWELL.COM	BARRON LAND 2790 N. ACADEMY BLVD., SUITE 311 COLORADO SPRINGS, CO 80917 PHONE: (719) 360-6827 CONTACT: SPENCER BARRON	BLACK ROCK COFFEE BAR 16307 NE CAMERON BLVD PORTLAND, OR 97230 PHONE: (541) 531-2149 CONTACT: TONY POLLOTTA

GOVERNING AGENCIES AND UTILITY CONTACTS

WATER & WASTEWATER

PARKER WATER AND SANITATION DISTRICT
13939 ANCESTRY DRIVE
PARKER, CO 80134
PHONE: (303) 841-4627
EMAIL: RRAMSEY@PWSD.ORG
CONTACT: ROBERT RAMSEY

ENGINEERING DEPARTMENT

TOWN OF PARKER ENGINEERING & PUBLIC WORKS
20120 E. MAINSTREET
PARKER, CO 80134
PHONE: (303) 840-9546
EMAIL: CKUDLAUSKAS@PARKERCO.GOV
CONTACT: CHARLES KUDLAUSKAS

FIRE PROTECTION

TOWN OF PARKER FIRE AND LIFE SAFETY
20120 E. MAINSTREET
PARKER, CO 80138
PHONE: (303) 805-3169
CONTACT: RANDY CAPRA
EMAIL: RCAPRA@PARKERONLINE.ORG

BUILDING PERMIT

TOWN OR PARKING BUILDING DIVISION
20120 E. MAINSTREET
PARKER, CO 80138
PHONE: (303) 841-1970
CONTACT: RANDY SALE
EMAIL: RSALE@PARKERONLINE.ORG

GAS PROVIDER

XCEL ENERGY
1123 WEST 3RD AVE.
DENVER, CO 80223
PHONE: (303) 571-3927
CONTACT: BUILDER'S CALL LINE
(800) 628-1212 X3

PHONE PROVIDER

CENTURYLINK
9750 EAST COSTILLA AVE.
ENGLEWOOD, CO 80112
PHONE: (720) 578-5142

ELECTRIC PROVIDER

CORE ELECTRIC COOPERATIVE
5496 NORTH U.S. HIGHWAY 85
SEDALIA, CO 80135
PHONE: (303) 332-9540
CONTACT: BRUFF SHEA

PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THEY CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES, EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS, AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

LEGAL DESCRIPTION

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD:
6940 STROH ROAD, PARKER, CO

BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NAVD88)

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

TOWN OF PARKER PLAN SET

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.20	GENERAL NOTES
C2.00	SITE PLAN
SF-9	BICYCLE RACK
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE SPECIFICATION AND NOTES
L1.03	LANDSCAPE DETAILS
L2.01	IRRIGATION PLAN
L2.02	IRRIGATION SPECIFICATIONS AND DETAILS
P1	PHOTOMETRIC PLAN
P2	PHOTOMETRIC PLAN
P3	PHOTOMETRIC PLAN
A1.0	DUMPSTER ENCLOSURE PLAN AND ELEVATIONS
A6.0	EXTERIOR ELEVATION (B&W)
A6.0	EXTERIOR ELEVATION (COLOR)
A6.1	EXTERIOR ELEVATION (B&W)
A6.1	EXTERIOR ELEVATION (COLOR)

Know what's Below. Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.556.0660

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1

S. PARKER RD & STROH RD

PARKER

DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

BLACK ROCK COFFEE BAR

COVER SHEET

DATE: 2025-06-04

REVISIONS

DRAWN BY: K. SARWAR

CHECKED BY: N. SALAZAR

PROJECT MANAGER: N. SALAZAR

JOB #: 24003198

FILE CODE: ##

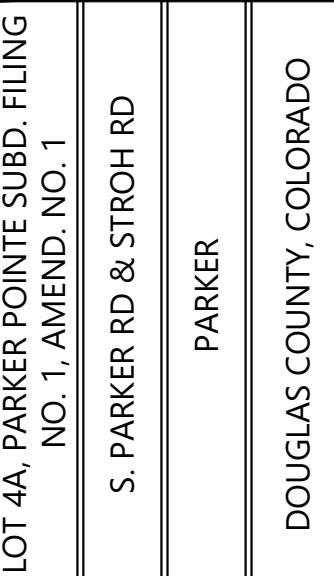
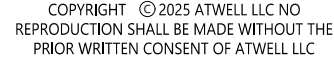
SHEET NO: C0.00

GENERAL NOTES

19. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARDS AND SPECIFICATIONS.

27. THE CONTRACTOR SHALL INSPECT AND REPAIR EXISTING DRAINAGE STRUCTURES AS NEEDED, AND CLEAN OUT EXISTING PIPES TO REMOVE ALL SILT AND DEBRIS.

h. SUBMIT TO THE ARCHITECT A COLOR AND TEXTURE SAMPLE OF THE BLOCK TO BE USED PRIOR TO INSTALLATION.



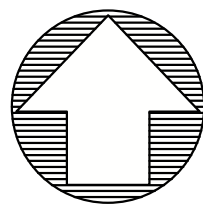
BLACK ROCK COFFEE BAR
135 DECLAN DRIVE
BLACK ⚡ ROCK ★ COFFEE BAR™
GENERAL NOTES

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. 6130

C1.20



811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE DEEMED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2022 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.356.0660

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR
SITE PLAN

DATE 2025-06-04

REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C2.00

SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- 6" CURB
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- # OF STACKING
- VEHICLE STACKING SPACE
- SIGN

CORRESPONDING DETAIL NUMBER (SEE DETAIL SHEETS)

NOTE NUMBER

- INSTALL 2" AC PAVEMENT OVER 10" AGGREGATE BASE (PER GEOTECH REPORT)
- PROPOSED PICK-UP WINDOW WITH COUNTER
- PROPOSED LANDSCAPE
- 4" WIDE PAINTED WHITE TRAFFIC STRIPE (SEE LENGTH THIS SHEET).
- CONSTRUCT 6" SINGLE CURB
- DUMPSTER ENCLOSURE
- INSTALL ADA CROSSWALK
- 4" WIDE PAINTED STRIPE @ 2" O.C. AND 45 DEGREES.
- CONSTRUCT DIRECTIONAL CURB RAMP PER PARKER STANDARD DETAIL #18.
- CONSTRUCT SIDEWALK PER PARKER STANDARD DETAIL #4
- ADA PARKING STALL WITH ADA SYMBOL AND REQUIRED PAINT.
- PROTECT EXISTING UTILITIES IN PLACE.
- INSTALL 3 1/2" AC OVER 10" AGGREGATE BASE (PER GEOTECH REPORT)
- MATCH EXISTING ASPHALT ALONG DECLAN DRIVE PER PARKER STANDARD DETAIL #26
- INSTALL 5" CURB INLET
- PROPOSED STORM MANHOLE
- EXISTING UTILITIES TO BE RELOCATED
- EXISTING 8" CONCRETE SIDEWALK
- RELOCATED TRANSFORMER
- 7" PORTLAND CEMENT CONCRETE OVER 8" AGGREGATE BASE (PER GEOTECH REPORT)
- PROPOSED SIGN "NO PARKING - FIRE LANE"

C700
SEE ARCHITECTURAL PLANS FOR DETAILS
SEE LANDSCAPE PLANS FOR DETAILS
-
-
-
-
C700
C700
-
C700
C700
C700
C700
-
-
-
C700
-

SANITARY RIM=5980.28
FL 6" PVC IN (E)=5965.81
FL 8" PVC OUT (S)=5965.68

STORM RIM=5980.78
FL 18" RCP IN (E)=5971.68
FL 18" RCP IN (W)=5971.54
FL 24" RCP IN (N)=5971.82
FL 30" RCP OUT (S)=5971.30

EX 6" XCEL ESMT
(RECEPTION NO. 224031650)

EX 30" ACCESS ESMT
(RECEPTION NO. 2022001733)

STORM RIM=5980.15
FL 18" RCP IN (E)=5970.82
FL 18" RCP IN (W)=5970.59
FL 18" RCP IN (N)=5970.56
FL 30" RCP OUT (S)=5970.52

EXISTING 8" WATER PVC

EX 15' I.R.A. UTILITY
ESMT (RECEPTION NO. 2022001733)

why is transformer being located off-site?

see CORE's comments - transformer location not approved.

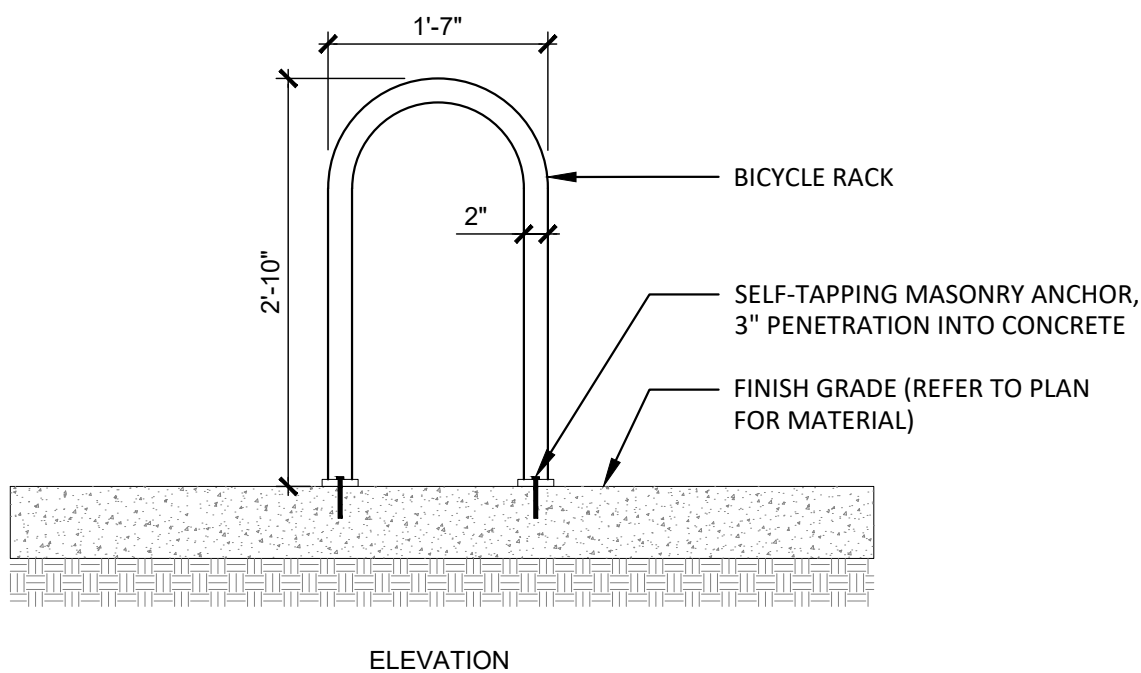
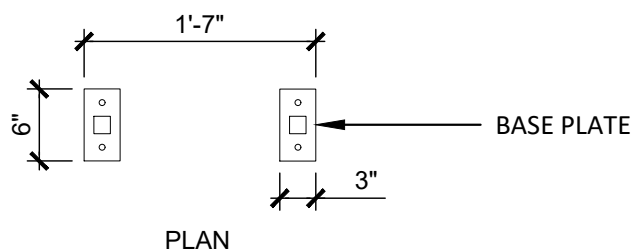
show actual setbacks from all property lines (not required setbacks)

label screen wall location on this sheet

SITE GENERAL NOTES:

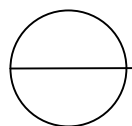
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
- USE 3' RADIUS, UNLESS SHOWN OTHERWISE.
- THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: BARRON LAND. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
- ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
- ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- FOR WORK IN, OR ADJACENT TO, STREET RIGHT OF WAYS, CONTRACTOR SHALL ENSURE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR TO ERECT AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- ALL PARKING LOT LIGHTING MUST BE INSTALLED AND OPERATE SO AS NOT TO PRODUCE GLARE OR CAST DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE. LOW PRESSURE SODIUM LIGHTING IS PROHIBITED. ALL LIGHTING FIXTURES MUST BE RESTRICTED TO DOWN-LIGHT OR CUT-OFF TYPES.

TOWN OF PARKER STANDARD DETAILS



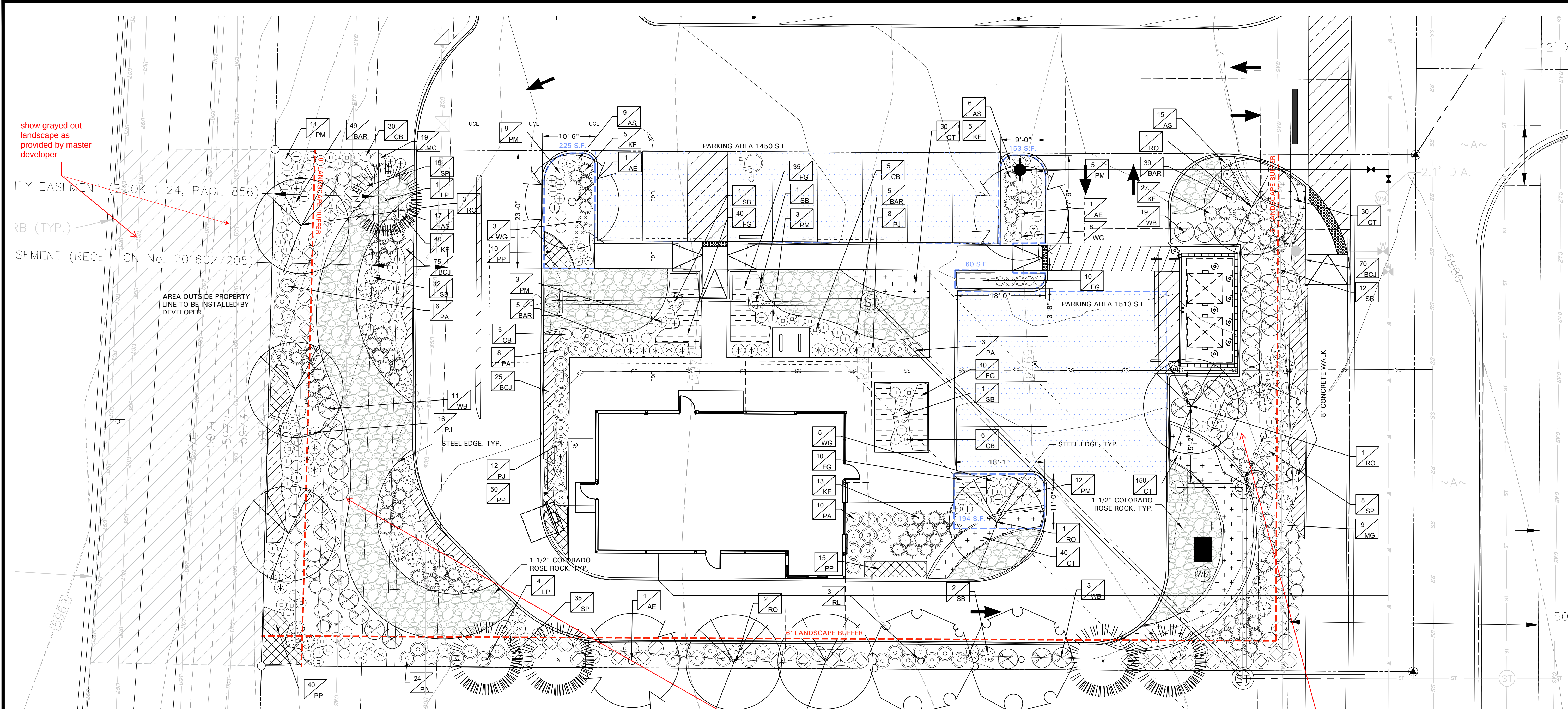
NOTES:

1. BASIS-OF-DESIGN: BIKE RACK (MADRAX U-200), SURFACE MOUNTED, COLOR: BLACK
2. FINAL LOCATION TO BE VERIFIED IN FIELD WITH OWNER AND DESIGN TEAM COORDINATE WITH OWNER ON EXACT LOCATION.
3. WHERE BICYCLE RACK SITS ON UNIT PAVING, MASONRY ANCHOR TO EXTEND THROUGH UNIT PAVING AND EMBED INTO C.I.P. CONCRETE FOOTING TO MIN. 3" DEPTH.



BICYCLE RACK

3/4" = 1'-0"



GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNERS CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOD

- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
- SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (1 1/4"). EXCLUDING TOP GROWTH AND THATCH.
- LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
- TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

HYDROMULCH

- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- COLORADO BLUE GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
- FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR APPROVED EQUAL.
- HYDROMULCH WITH COLORADO BLUE GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
- USE A WATER BASED EMULSION AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET.
- CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH COLORADO BLUE GRASS SEED THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS, WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING ANY WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED, LEAVE AREAS TO RECEIVE TOPSOIL 1" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING, NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. SHREDDED MULCH SHALL BE SHREDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MINIMUM 1400 WEEB BARRIER OR APPROVED EQUAL.
- CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

PLANS NOTED:

LANDSCAPE DESIGN FEATURES OF COMMERCIAL, MIXED-USE, INDUSTRIAL, AND MULTIPLE-FAMILY DEVELOPMENTS

- LANDSCAPE PLANTING MATERIALS SHALL GENERALLY BE LAYERED AGAINST A BUILDING OR EDGE TREATMENT FROM HIGH TO LOW IN HEIGHT SO THAT THE FULL CHARACTER OF THE PLANTS CAN BE APPRECIATED AND UTILIZED TO SHAPE EXTERIOR SPACES.
- TREE GRATES SHALL BE A MINIMUM OF FIVE (5) FEET BY EIGHT (8) FEET.
- UTILIZE LAWN AREAS ONLY WHERE ACTIVE RECREATION AND USAGE WILL OCCUR.
- PROVIDE A MINIMUM EIGHT (8) FOOT LANDSCAPE BUFFER BETWEEN PUBLIC WALKWAYS AND BUILDING EDGES EXCEPT AT BUILDING ENTRY AND EXIT POINTS.
- THE PLANTING STRIP BETWEEN THE BACK OF THE ROADWAY CURB AND THE SIDEWALK SHALL BE PLANTED WITH SHRUBS AND GROUNDCOVER OR LOW WATER USE TURF AND DESIGNED TO CREATE VISUAL INTEREST.
- THE SPACE BETWEEN THE PUBLIC REALM AND A BUILDING FACADE THAT DOES NOT HAVE AN ACTIVE USE SHALL BE DESIGNED WITH HIGHER STANDARDS OF LANDSCAPING AND STREETSCAPE TO CREATE AN ATTRACTIVE BUILDING FRONT AND STREET EDGE.
- SELECT NATURAL PLANT MATERIALS THAT TRANSITION BETWEEN NATURAL OPEN SPACES AND THE INTERNAL PROJECT LANDSCAPE MATERIAL.
- UTILIZE LANDSCAPING TO LOGICALLY SHAPE SPACES THAT CREATE AND FACILITATE CIRCULATION PATHS IN LOGICAL AND INTUITIVE PATTERNS. USE LANDSCAPING TO HELP GUIDE PEOPLE TO BUILDING ENTRY POINTS THROUGH HIGHER CONCENTRATION OF LANDSCAPE MATERIAL.

NO CHANGE TO THE APPROVED LANDSCAPE AND STREETSCAPE PLAN MAY OCCUR WITHOUT PRIOR APPROVAL FROM THE TOWN AND THE WATER SANITATION DISTRICT

IRRIGATION

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
- ROCK SHALL BE COLORADO ROSE ROCK, 1.5" IN DIAMETER, RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

GRAPHIC SCALE

Scale 1"=10'-0"

0 10 20 FEET

AMANDA W. RICHARDSON
1484
12/08/2020
Original Date of License
LICENSED LANDSCAPE ARCHITECT
STATE OF COLORADO

AWR

AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE PROVIDER SHALL BE DEEMED TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2025 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

24 HOUR EMERGENCY CONTACT

ATWELL
866.850.4200
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
www.atwell-group.com
972.556.6660

LOT 4A: PARKER POINT SUBD. FILING NO. 1. AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

PARKER

DOUGLAS COUNTY, COLORADO

LANDSCAPE PLAN

DATE: 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO: **L1.01**

SECTION 32 9200 - LANDSCAPE

PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

- A. ALL LANDSCAPE WORKING PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

1.2 REFERENCE DOCUMENTS

- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS.

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS AND MATERIALS; SERVICES; EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:

1. PLANTING (TREES, SHRUBS, GRASSES)
1. BED PREP AND FERTILIZATION
2. NOTIFICATION OF SOURCES
4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
5. GUARANTEE

- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, 27 OCTOBER 1980 EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE (260.1) - PLANT MATERIAL.
B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE, 1942 EDITION OF STANDARDIZED PLANT NAMES.
C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOIL OR SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.
D. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOD SOIL.

1.7 SEQUENCING

- A. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE REGROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
B. NO TREES, GRASS, GROUND COVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD
G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR
H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
I. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAD WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
L. REAPPLY MULCH TO BARE AND THIN AREAS.
M. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE:

- A. TREES, SHRUBS, GROUND COVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR GROUPED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION.
E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE

OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.

- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL, AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE SHALL REJECT ANY MATERIALS HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PERIODS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
1. BALLED AND BURLAPPED B&B PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
B. DELIVERY
1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.
2. DELIVER ONLY PLANT MATERIALS IN ORIGINAL, UNOPENED CONTAINERS, UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE FROM BALL OR DESTRUCTION OF LEAVES.
5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMBS, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK, LISTED PLANT HEIGHTS ARE FROM TOP OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON THE DRAWINGS.
C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED. EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCODING AND/OR GRIDLING ROOTS, AND FREE FROM ANY OTHER ROOT DISEASE (SUCH AS SHOOT ROT).
J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS OR THOSE WITH LEADERS IF LEADERS ARE DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
L. TREES WITH DAMAGED OR CROOKED LEADERS, BRAK ABRASIONS, SUNKCALF, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE OR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEIOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLAS GRASS OR NUTGRASS SHALL BE REJECTED.
2. PHYSICAL PROPERTIES AS FOLLOWS:
a. CLAY - BETWEEN 7-27%
b. SILT - BETWEEN 15-25%
c. SAND - LESS THAN 52%
3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COARSE AND FINE TEXTURED MATERIAL.
C. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS; OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
F. ORGANIC FERTILIZER: PERLITLAD, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE SHALL BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING, DURAEDGE STEEL OR APPROVED EQUAL.
B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-523-0444)
D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, CLEAN WASHED RAIN SAND.
E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5"
F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED GRANITE.
G. ROCK - LOCALLY AVAILABLE NATIVE ROCK 1.5" IN DIAMETER.
H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT

HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
C. GRASS AREAS:
1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION

- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION IS COMPLETED.
B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND BALLS OF EARTH OR DESTRUCTION OF LEAVES.
C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLICK OR GLAZED.
F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN IT'S VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.
H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE CONTAINING PLANTS WILL USUALLY BE ROOT BOUND. IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".
I. DO NOT WRAP TREES.
J. DO NOT OVER PRUNE.
K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.
L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLANTING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.
M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.
Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER, WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PIT IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING PINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.
1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
3. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

- O. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGN PERIMETER requirements apply to all perimeters. include east, west
1. STAKE OUT LIMITS OF STEEL CURB OWNERS APPROVAL PRIOR TO INSTALLATION.
2. ALL STEEL CURBING SHALL BE FREE OF KINK BENDS.
3. TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT FINISHED GRADE.
4. STAKES ARE TO BE INSTALLED ON THE PLAN THE CURBING, AS OPPOSED TO THE GRASS SIDE.
5. DO NOT INSTALL STEEL EDGING ALONG SIDE CURBS.
6. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE MEETS SIDEWALKS OR CURBS.
7. STAKES ARE TO BE INSTALLED ON THE PLAN THE CURBING, AS OPPOSED TO THE GRASS SIDE.
8. DO NOT INSTALL STEEL EDGING ALONG SIDE CURBS.
9. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE MEETS SIDEWALKS OR CURBS.

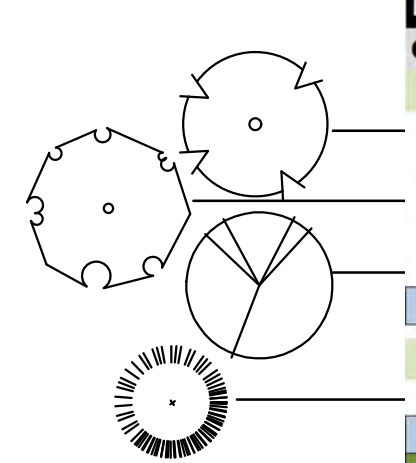
- P. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGN PERIMETER requirements apply to all perimeters. include east, west
1. STAKE OUT LIMITS OF STEEL CURB OWNERS APPROVAL PRIOR TO INSTALLATION.
2. ALL STEEL CURBING SHALL BE FREE OF KINK BENDS.
3. TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT FINISHED GRADE.
4. STAKES ARE TO BE INSTALLED ON THE PLAN THE CURBING, AS OPPOSED TO THE GRASS SIDE.
5. DO NOT INSTALL STEEL EDGING ALONG SIDE CURBS.
6. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE MEETS SIDEWALKS OR CURBS.

- Q. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGN PERIMETER requirements apply to all perimeters. include east, west
1. STAKE OUT LIMITS OF STEEL CURB OWNERS APPROVAL PRIOR TO INSTALLATION.
2. ALL STEEL CURBING SHALL BE FREE OF KINK BENDS.
3. TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT FINISHED GRADE.
4. STAKES ARE TO BE INSTALLED ON THE PLAN THE CURBING, AS OPPOSED TO THE GRASS SIDE.
5. DO NOT INSTALL STEEL EDGING ALONG SIDE CURBS.
6. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE MEETS SIDEWALKS OR CURBS.

- R. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGN PERIMETER requirements apply to all perimeters. include east, west
1. STAKE OUT LIMITS OF STEEL CURB OWNERS APPROVAL PRIOR TO INSTALLATION.
2. ALL STEEL CURBING SHALL BE FREE OF KINK BENDS.
3. TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT FINISHED GRADE.
4. STAKES ARE TO BE INSTALLED ON THE PLAN THE CURBING, AS OPPOSED TO THE GRASS SIDE.
5. DO NOT INSTALL STEEL EDGING ALONG SIDE CURBS.
6. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE MEETS SIDEWALKS OR CURBS.

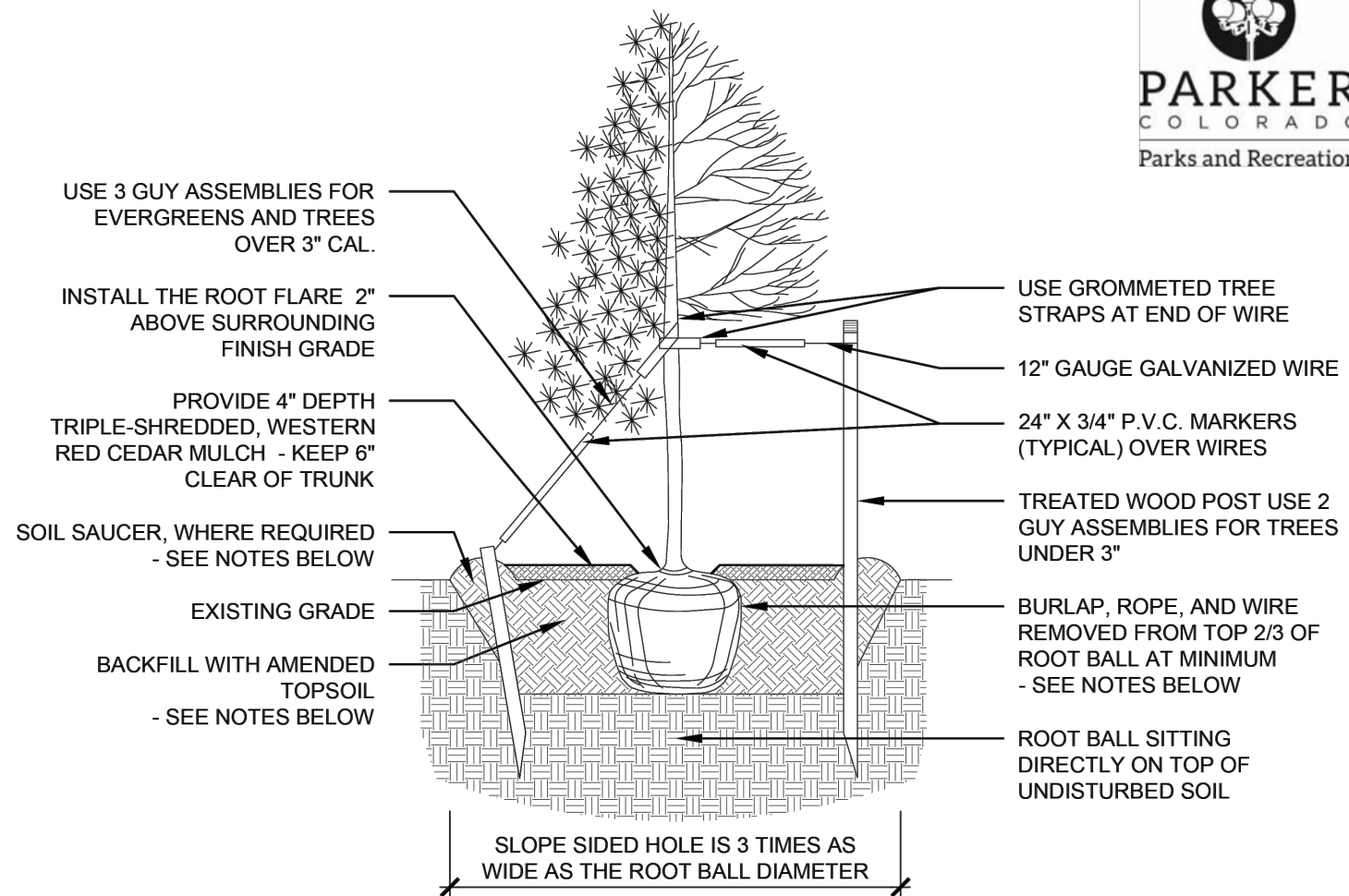
- S. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGN PERIMETER requirements apply to all perimeters. include east, west
1. STAKE OUT LIMITS OF STEEL CURB OWNERS APPROVAL PRIOR TO INSTALLATION.
2. ALL STEEL CURBING SHALL BE FREE OF KINK BENDS.
3. TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT FINISHED GRADE.
4. STAKES ARE TO BE INSTALLED ON THE PLAN THE CURBING, AS OPPOSED TO THE GRASS SIDE.
5. DO NOT INSTALL STEEL EDGING ALONG SIDE CURBS.
6. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE MEETS SIDEWALKS OR CURBS.

END OF SECTION



PLANT SCHEDULE							
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES	MATURE SIZE	YEARS TO MATURITY
DECIDUOUS TREES							
3	AE	Accolade Elm	<i>Ulmus 'Accolade'</i>	3" cal.	12' ht., 4' spread	60' ht x 40' w	10-15 years
3	RL	Redmond Linden	<i>Tilia americana 'Redmond'</i>	3" cal.	12' ht., 4' spread	60' ht x 40' w	20-30 years
8	RO	Northern Red Oak	<i>Quercus rubra</i>	3" cal.	12' ht., 5' spread	60' ht x 40' w	30-35 years
14	TOTAL DECIDUOUS TREES						
EVERGREEN TREES							
5	LP	Lacebark Pine	<i>Pinus bungeana</i>	3" cal.	12' ht., 5' spread	40' ht x 25' w	20-30 years
5	TOTAL EVERGREEN TREES						
19	TOTAL TREES						
DECIDUOUS SHRUBS							
98	BAR	Concord Barberry	<i>Berberis thunbergii 'Concorde'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 3' w	2-3 years
46	CB	Chokeberry	<i>Aronia melanocarpa 'UCONNAM165'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 4' w	2-3 years
29	SB	Spanish Gold Broom	<i>Cytisus purgan 'Spanish Gold'</i>	5 gal.	full, 24" sprd, 36" o.c.	4' ht x 5' w	2-3 years
63	SP	Snowmound Spirea	<i>Spiraea nipponica 'Snowmound'</i>	5 gal.	full, 24" sprd, 36" o.c.	5' ht x 8' w	2-3 years
236	TOTAL DECIDUOUS SHRUBS						
EVERGREEN SHRUBS							
51	PA	Panchito manzanita	<i>Arctostaphylos x coloradensis 'Panchito'</i>	5 gal.	full, 24" sprd, 36" o.c.	2.5' ht x 5' w	2-3 years
36	PJ	Pencil Point Juniper	<i>Juniperus communis 'Compressa'</i>	5 gal.	full, 20" spread, 30" o.c.	3' ht x 2' w	10 years
46	PM	Pine, Mugo, Teeny	<i>Pinus mugo 'Teeny'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 3' w	5-10 years
33	WB	Wichita Blue Juniper	<i>Juniperus scopulman 'Wichita Blue'</i>	5 gal.	full, 24" sprd, 42" o.c.	15' ht x 6' w	8-10 years
166	TOTAL EVERGREEN SHRUBS						
402	TOTAL SHRUBS						
ORNAMENTAL GRASSES							
135	FG	Fountain Grass	<i>Pennisetum orientale</i>	1 gal.	full, 18" o.c.	2' ht x 2' w	2 years
90	KF	Karl Foerster Feather Reed Grass	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	5 gal.	full, 24" spread, 36" o.c.	4' ht x 3' w	2 years
28	MG	Maiden Grass, Gold Bar	<i>Miscanthus sinensis 'Gold Bar'</i>	5 gal.	full, 20" spread, 30" o.c.	4' ht x 3' w	2 years
253	TOTAL ORNAMENTAL GRASSES						
PERENNIAL							
140	PP	Pikes Peak Purple Penstemon	<i>Penstemon x mexicali 'Pikes Peak Purple'</i>	1 gal.	full, 12" o.c.	1' ht x 1' w	2 years
EVERGREEN GROUNDCOVER							
47	AS	Angelina Sedum	<i>Sedum rupestre 'Angelina'</i>	1 gal.	full, 18" o.c.	6" ht x 24" w	3 years
170	BCJ	Blue Chip Juniper	<i>Juniperus horizontalis 'Blue Chip'</i>	1 gal.	full, 18" o.c.	1' ht x 8' w	5-10 years
250	CT	Creeping Thyme	<i>Thymus serpyllum</i>	1 gal.	full, 18" o.c.	6" ht x 18" w	3 years
16	WG	Wall Germander	<i>Teucrium chamaedrys</i>	1 gal.	full, 18" o.c.	18" ht x 24" w	3 years
623	TOTAL PERENNIAL AND EVERGREEN GROUNDCOVER						
876	TOTAL ORNAMENTAL GRASSES, PERENNIALS, EVERGREEN GROUNDCOVER						
GROUNDCOVER							
1 1/2" Colorado Rose Rock							

TOWN OF PARKER STANDARD DETAILS

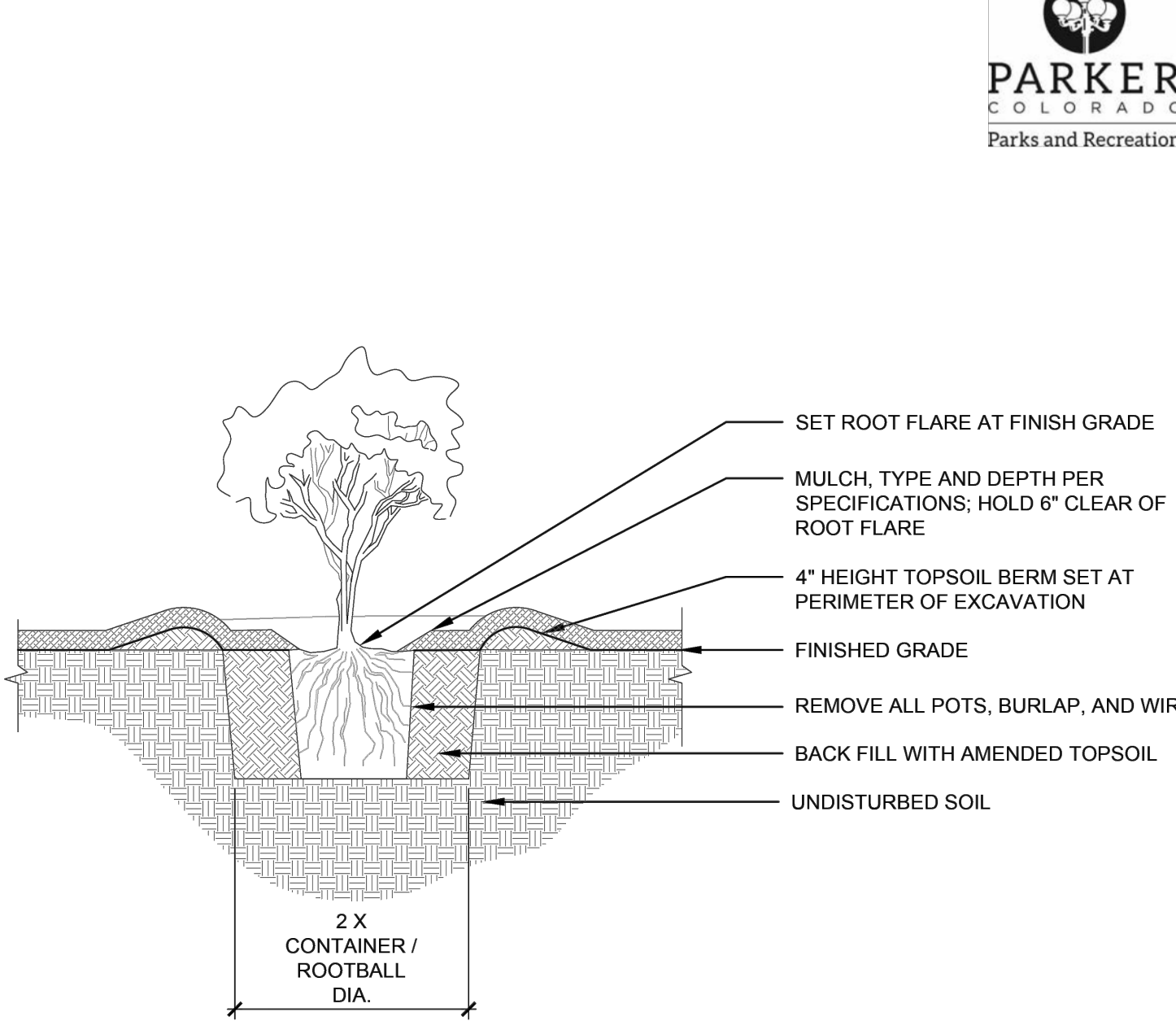


- NOTES:
1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES, MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL.
 2. BACKFILL SHALL CONSIST OF APPROVED ON-SITE TOPSOIL BLENDED W/ COMPOST AMENDMENT. IF ON-SITE TOPSOILS ARE NOT APPROVED FOR USE, BACKFILL W/ IMPORTED TOPSOIL BLENDED WITH COMPOST AMENDMENT. REFER TO SPECIFICATION SECTION 329113 FOR ADDITIONAL INFORMATION.
 3. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
 4. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
 5. FORM SOIL INTO A 6" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS. AWAY FROM TRUNK.
 6. STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
 7. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.
 8. RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

TREE PLANTING
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-3

TOWN OF PARKER STANDARD DETAILS

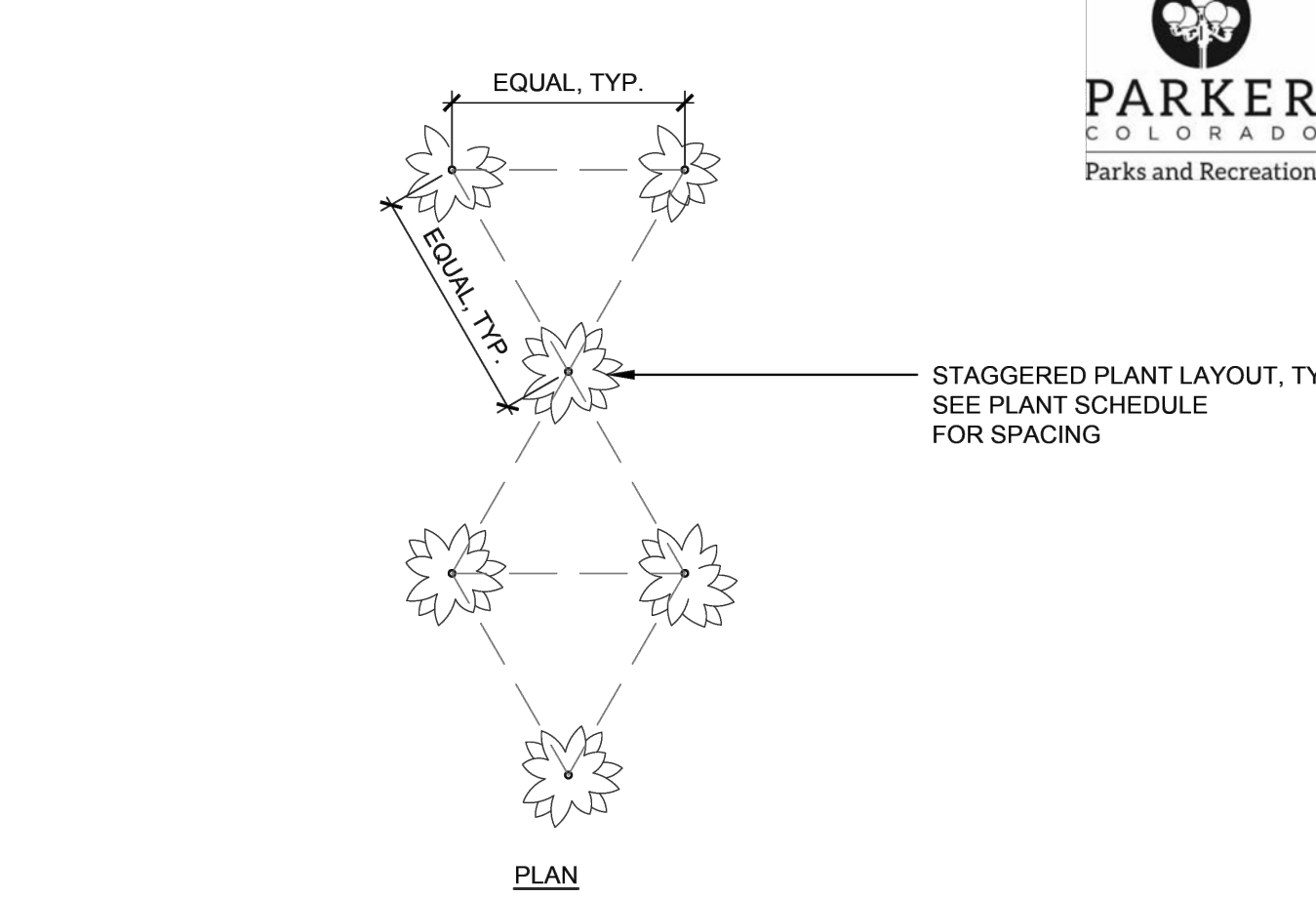


- NOTES:
1. PRUNE ALL DAMAGED, DISEASED OR WEAK LIMBS.
 2. CLEANLY PRUNE ALL DAMAGED ROOT ENDS.
 3. DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS.
 4. DEEP WATER AFTER PLANTING.

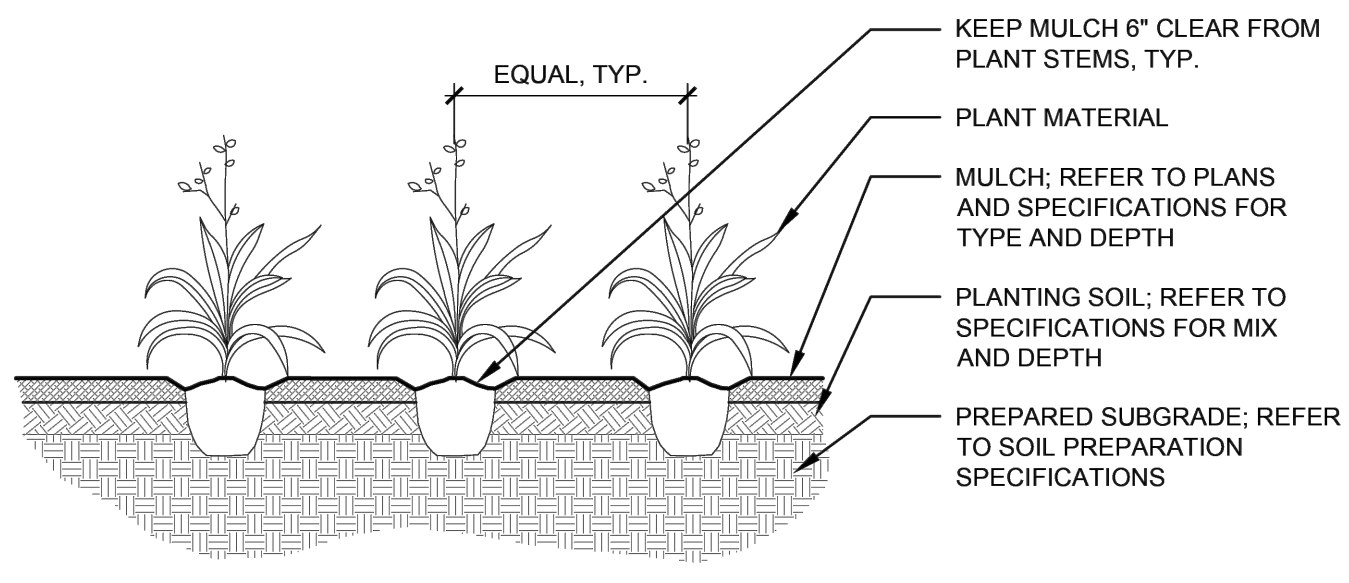
SHRUB PLANTING
1/2" = 1'-0"

DATE: MAY 2023 | DETAIL SD-5

TOWN OF PARKER STANDARD DETAILS



STAGGERED PLANT LAYOUT, TYP.
SEE PLANT SCHEDULE
FOR SPACING

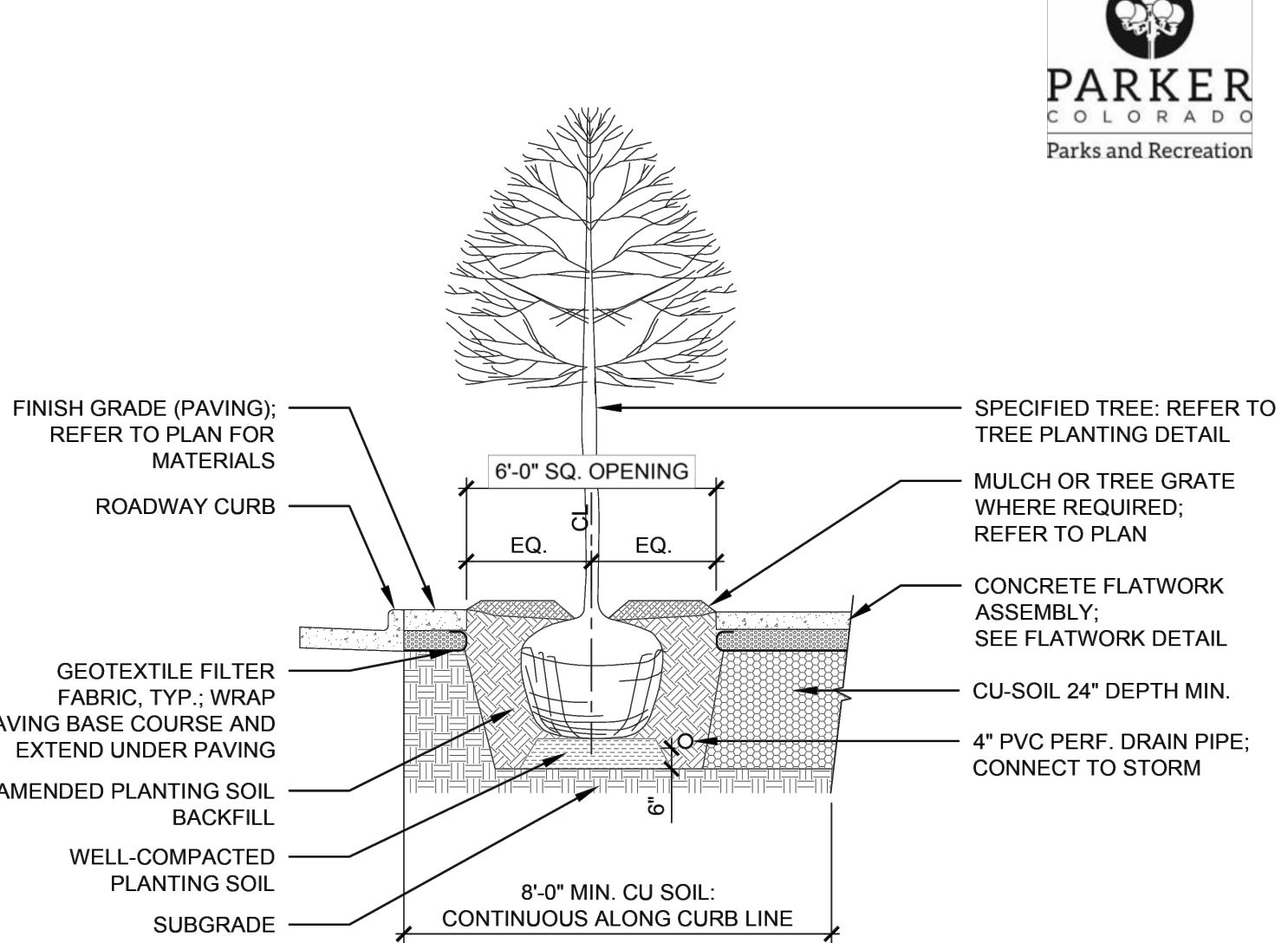


- NOTES:
1. WHEN BACKFILLING AROUND PLANTS, DO NOT ALLOW AIR POCKETS TO FORM.
 2. AFTER PLANTING, WATER THOROUGHLY.

PERENNIAL PLANTING
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-6

TOWN OF PARKER STANDARD DETAILS

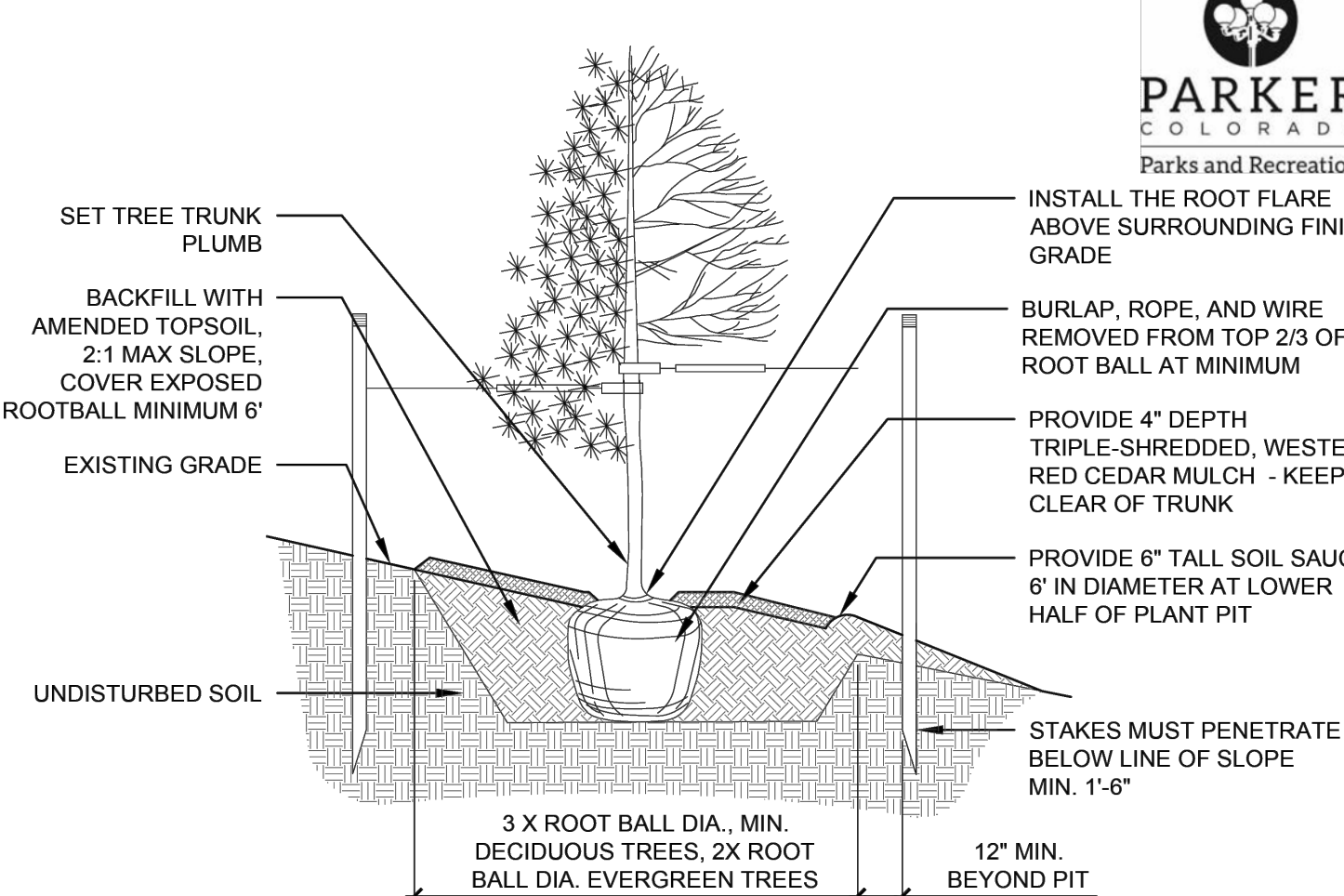


- NOTES:
1. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK.
 2. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
 3. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.
 4. RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

CU SOIL TREE PIT
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-2

TOWN OF PARKER STANDARD DETAILS



- NOTES:
1. THIS INSTALLATION SHALL APPLY TO ALL TREE TYPES AND SIZES PLANTED ON SLOPES 4:1 OF GREATER.
 2. EXCAVATE PLANTING HOLES WITH SLOPING SIDES, MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL.
 3. BACKFILL SHALL CONSIST OF APPROVED ON-SITE TOPSOIL BLENDED W/ COMPOST AMENDMENT. OF ON-SITE TOPSOILS ARE NOT APPROVED FOR USE, BACKFILL W/ IMPORTED TOPSOIL BLENDED WITH COMPOST AMENDMENT. REFER TO SPECIFICATION SECTION 329113 FOR ADDITIONAL INFORMATION.
 4. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
 5. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
 6. FORM SOIL INTO A 6" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS. AWAY FROM TRUNK.
 7. STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
 8. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.
 9. RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

TREE PLANTING ON SLOPE
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-4



AWR Designs, LLC
P.O. Box 1746
Alledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND
UTILITIES ARE SHOWN IN AN APPROXIMATE
WAY ONLY AND HAVE NOT BEEN
INDEPENDENTLY VERIFIED BY THE OWNER OR ITS
REPRESENTATIVE. THE CONTRACTOR SHALL
DETERMINE THE EXACT LOCATION OF ALL
EXISTING UTILITIES BEFORE COMMENCING
WORK, AND AGREES TO BE FULLY RESPONSIBLE
FOR ANY AND ALL DAMAGES WHICH MIGHT BE
OCCURRED BY THE CONTRACTOR'S FAILURE TO
EXACTLY LOCATE AND PRESERVE ANY AND ALL
UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE
RESPONSIBILITY OF THE CONTRACTOR. NEITHER
THE OWNER NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY RESPONSIBILITY FOR
SAFETY OF THE WORK OF PERSONS ENGAGED IN
THE WORK, OF ANY NEARBY STRUCTURES, OR OF
ANY OTHER PERSONS.

COPYRIGHT © 2025 ATWELL LLC NO
REPRODUCTION SHALL BE MADE WITHOUT THE
PRIOR WRITTEN CONSENT OF ATWELL LLC

24 HOUR
EMERGENCY CONTACT

ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.555.0560

LOT 4A, PARKER POINTE SUBD. FILING
NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
LANDSCAPE DETAILS

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

L1.03

811

Know what's Below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE CONTRACTOR SHALL BE DEEMED TO BE RESPONSIBLE FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2025 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

24 HOUR
EMERGENCY CONTACT

ATWELL

866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.555.6660

LOT 4A: PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

IRRIIGATION PLAN

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. L2.01

SLEEVING NOTES

1. PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFERENCE DRAWINGS FOR SLEEVE SIZE AND LOCATION.
2. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
3. INSTALLATION OF SLEEVES SHALL BE TWENTY-FOUR (24") BELOW TOP OF PAVEMENT OR FINISHED GRADE.
4. SLEEVES SHALL EXTEND ONE (1') FOOT BEYOND EDGE OF ALL PAVEMENT AND STAKED FOR LOCATION.
5. ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE, CAPPED ON BOTH ENDS AND SIZED AT LEAST TWO TIMES LARGER THAN THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
6. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE TWO (2") INCHES LONG AND ONE (1") APART.
7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND SHALL ALSO BE RESPONSIBLE FOR LOCATING ANY SLEEVE THAT CANNOT BE FOUND DURING THE INSTALLATION OF THE SYSTEM.
8. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN AS-BUILT DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION GENERAL NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE IRRIGATION DESIGNER OF SITE CONDITIONS OR ASSUME FULL RESPONSIBILITY FOR ANY AND ALL ON-SITE REVISIONS NECESSARY.
3. CONTRACTOR TO VERIFY DESIGN AND ITS INTENT TO PROVIDE FULL COVERAGE TO ALL NEW PLANTING MATERIAL.
4. NOTIFY IRRIGATION DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO BIDDING.
5. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE IRRIGATION INSTALLATION BEGINS.
6. IRRIGATION CONTRACTOR TO PROCURE ALL PERMITS, LICENSES AND GIVE ALL NECESSARY NOTICES THROUGHOUT THE DURATION OF THE PROJECT.
7. THE CONTRACTOR SHALL BE A REGISTERED LICENSED IRRIGATOR IN GOOD STANDING WITH STATE BOARDS AND REGULATORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PLANT MATERIAL UPON ACCEPTANCE AND THROUGH THE WARRANTY PERIOD FOR DAMAGE DUE TO IRRIGATION SYSTEM FAILURE.
9. ALL ASPECTS OF THE IRRIGATION INSTALLATION SHALL CONFORM WITH THE PROPER GOVERNING AUTHORITIES, CODES AND ORDINANCES.
10. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
11. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
12. ZONE VALVES SHALL NOT BE LOCATED WITHIN THREE (3') FEET OF ANY DRIVEWAY, TRAFFIC AISLE, ISLAND ETC. WHERE THEY WILL BE DAMAGED BY VEHICLES DRIVING OVER CURBS.
13. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
14. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
15. ELECTRICAL SPLICES SHOULD BE LOCATED AT EACH VALVE AND CONTROLLER ONLY.
16. PROVIDE A 3/4" BLOW DOWN DRAIN TEE TO ALLOW WATER TO BE BLOWN FROM THE IRRIGATION LINES/SYSTEM.
17. DISTURBED AREAS IN NEED OF TURF ESTABLISHMENT MAY EXIST BEYOND COVERAGE LIMITS OF THE PERMANENT IRRIGATION SYSTEM. IN THESE AREAS, CONTRACTOR TO DETERMINE A TEMPORARY MEANS TO ESTABLISH NECESSARY TURF. CONTRACTOR IS ENCOURAGED TO BEGIN TURF ESTABLISHMENT IMMEDIATELY UPON FINAL GRADE IN ACCORDANCE WITH AND TO SATISFY SWPPP.
18. PROVIDE WITH OWNER A COPY OF ALL INSTALLED EQUIPMENT AND LINES (AS BUILT PLANS).
19. PLACE COPY OF ZONE MAP WITH ALL ZONE VALVE LOCATIONS SHOWN AND APPROVED IRRIGATION PLAN IN PROTECTIVE JACKET IN MAIN CONTROL PANEL.

NOTE TO CONTRACTOR:
1. PLAN SHEETS DO NOT SHOW EXISTING AND PROPOSED UTILITIES FOR CLARITY ONLY. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO INSTALLATION. CONTRACTOR IS TO USE EXTREME CAUTION IN DIGGING AND TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES.

FLOW RANGE GPM	PIPE SIZE
0 - 8 GPM	3/4"
8 - 12 GPM	1"
12 - 22 GPM	1-1/4"
22 - 28 GPM	1-1/2"
28 + GPM	2"

IRRIGATION PROJECT NOTES

1. THE LOCATION OF MAINLINE AND VALVES ON THIS PLAN MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARITY ONLY. IRRIGATION ELEMENTS HAVE BEEN SHOWN ON THIS PLAN AS ACCURATELY AS POSSIBLE WITHOUT THE FORFEIT OF DESIGN CLARITY AND INTENT. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN PENVIOUS AREAS. ALL PIPE AND WIRES THAT CROSS UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES AS SPECIFIED.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE HUNTER EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. THE IRRIGATION SYSTEM FOR THIS SITE IS DESIGNED TO OPERATE WITH A PRESSURE OF SIXTY (60 PSI) POUNDS PER SQUARE INCH. SHOULD THE DESIGN PRESSURE FOR THE SYSTEM BE HIGHER THAN THE EXISTING PRESSURE, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE IRRIGATION DESIGNER IMMEDIATELY.
4. IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONTROLLER AND SENSORS WITH THE GENERAL CONTRACTOR AND OWNER. A 110 VOLT ELECTRICAL SERVICE TO POWER THE IRRIGATION CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AT THE LOCATION SHOWN ON THIS PLAN.
5. WATER SERVICE TAP, METER AND LEAD FOR THE IRRIGATION SYSTEM SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. SERVICE LINE AND METER SHALL BE SIZED AS NOTED ON THIS PLAN.
6. TYPE AND INSTALLATION OF THE WATER METER AND BACK FLOW PREVENTION DEVICE SHALL BE DETERMINED BY THE GOVERNING AUTHORITY. AN ISOLATION VALVE SHALL BE PROVIDED BETWEEN THE WATER METER AND BACK FLOW DEVICE.
7. ALL CALCULATIONS FOR THIS IRRIGATION SYSTEM ARE BASED ON PRODUCTS AND EQUIPMENT INFORMATION PROVIDED BY HUNTER. INSTALLATION OF THESE PRODUCTS SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS.
8. REFERENCE HUNTER GUIDELINES AND SPECIFICATIONS PRIOR TO INSTALLATION. CONFIRM REQUIREMENTS FOR CONTROLLERS, WATERPROOF CONNECTIONS, GROUNDING, SURGE PROTECTORS, DECODERS, VALVES, AND WIRING PRIOR TO INSTALLATION. HUNTER TECHNICAL SERVICES (760) 591-7383. WWW.HUNTERINDUSTRIES.COM
9. IRRIGATION REMOTE CONTROL VALVES SHALL BE 1" AND/OR 1.5" HUNTER ICV AS INDICATED. PRIOR TO ALL REMOTE CONTROL VALVES, INSTALL A NOMINALLY SIZED BALL VALVE WITHIN THE SAME BOX.
10. SIZE OF VALVES ARE AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN APPROVED BOXES WITH COVERS LARGE ENOUGH TO PERMIT MANUAL OPERATION. REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION, OWNERS MAY ELECT LOCKING BOXES ON A PROJECT BY PROJECT BASIS.
11. QUICK COUPLING VALVES SHALL BE HUNTER INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 1/2" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH TWO (2) HS-8HC COUPLERS WITH (2) HK-33 KEYS AND TWO (2) HS-0 HOSE SWIVELS AS PART OF THIS CONTRACT.
12. IRRIGATION SYSTEM AUTOMATIC CONTROLLER SHALL BE HUNTER PRO-C WITH RAIN AND FREEZE SENSORS. INSTALL PER MANUFACTURERS RECOMMENDATIONS. CONFIRM WIRING, GROUNDING AND SURGE PROTECTION REQUIREMENTS BEFORE INSTALLING.
13. ET/RAIN/FREEZE SENSOR TO BE HUNTER SOLAR SYNC SENSOR. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
14. DRIP IRRIGATION REMOTE CONTROL VALVES SHALL BE HUNTER IC2-101-LF-25 AS INDICATED. DRIP TUBING SHALL BE HUNTER HDL-06-12-CV.
15. INSTALL DRIP TUBING/LINES PER MANUFACTURERS RECOMMENDATIONS. USE PLD-LOC FITTINGS PLD-LOC 075, PLD-LOC 050, PLD-LOC ELB, PLD-LOC CPL, PLD-LOC CAP, PLD-LOC TEE, PLD-LOC OR USE FHS BARB FITTINGS PLD-075, PLD-050, PLD-ELB, PLD-CPL, PLD-CAP, PLD-TEE, PLD-075-TEE, PLD-BV. USE ECO-INDICATOR ECO-ID. USE LINE FLUSHING VALVE HUNTER AFB-B.
16. DRIP TUBING SHALL BE SPACED 18" APART IN SHRUB AREAS. REFER TO MANUFACTURERS RECOMMENDATIONS.
17. TREE BUBBLERS SHALL USE HUNTER PROS-06-PRS30 BODIES WITH HUNTER MULTI-STREAM BUBBLERS MODEL MSBN-50H NOZZLES.
18. ALL VALVE CONTROL WIRE SHALL BE SIZED PER MANUFACTURER GUIDELINES BY THE CONTRACTOR ACCORDING TO THE ACTUAL FIELD DISTANCE. ALL CONNECTIONS SHALL BE WATER-PROOF, KEPT TO A MINIMUM, AND LOCATED IN AN APPROVED BOX.

NOTE:
1. ENTIRE SYSTEM SHALL BE INSTALLED PER STATE STANDARDS, MANUFACTURER'S SPECIFICATIONS AND ALL CITY CODES.

2. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY. AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GROUND IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

3. VARIOUS AREAS ON PLAN ARE SHOWING SINGLE HEAD COVERAGE. IF OWNER SHOULD ELECT FOR FULL COVERAGE, CONTRACTOR TO PROCURE THE PROPER PERMITS AND BID ALTERNATE FOR THESE ADDITIONAL SPRAY HEADS, ZONES, AND CONTROLLER EXPANSION FOR THE SYSTEM.

4. IRRIGATION CONTRACTOR IS TO COORDINATE LOCATION AND PLACEMENT OF ALL IRRIGATION ITEMS WITH THE GENERAL CONTRACTOR/CONTRACTOR IS TO USE EXTREME CAUTION IN TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO IRRIGATION INSTALLATION.

5. IRRIGATION SPRAY NOZZLES TO BE ADJUSTED TO AVOID PAVEMENT, BUILDING, WALLS, FENCES, UTILITIES, EQUIPMENT, SIGNAGE, AND CALL BOX.

6. REFERENCE LANDSCAPE PLAN FOR LOCATION OF GRAVEL, STEEL EDGING AND ALL PROPOSED PLANT MATERIAL.

7. IN TURF AREAS (BOTH SOD AND HYDROMULCH AREAS) OUTSIDE OF IRRIGATION PERMANENT COVERAGE, CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL ESTABLISHED, TYP.

8. CONTRACTOR TO TAKE ALL NECESSARY MEASURES TO PREVENT WATER HAMMER AND SYSTEM COLLAPSE BY DISCHARGING AIR DURING STARTUP AND ALLOWING AIR TO ENTER DURING SHUTDOWN. INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM. FOR 3 INCH AND LARGER MAINLINE, INSTALL JOINT RESTRAINTS AT TURNS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

9. ALL MAINLINE PIPING 3 INCHES AND LARGER SHALL BE BELL AND GASKETED CLASS 200 PVC PIPE, SDR 21. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONTACT MANUFACTURER OR DISTRIBUTOR FOR PRODUCT DEMONSTRATION.

10. GROUP VALVES IN FIELD AS NECESSARY FOR MAINLINE SIZING. CENTER FEED LATERALS WHEN POSSIBLE.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987

CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
	MULTI-STREAM BUBBLERS	HUNTER	PROS-06-PRS30 W/ MSBN50H NOZZLES
	REMOTE CONTROL VALVE	HUNTER	ICV

SYMBOL	DESCRIPTION
	HUNTER - PRO-C CONTROLLER WITH RAIN AND FREEZE SENSORS
	HUNTER SOLAR SYNC ET/RAIN/FREEZE SENSOR
	ISOLATION VALVE
	LATERAL PIPING REFER TO PLAN CLASS 200 PVC
	MAINLINE PIPING REFER TO PLAN SCH. 40 PVC, SIZED AS SHOWN (INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM)
	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE
	CONTROL WIRING SLEEVE, 2\"/>
	VALVE STATION # (WHERE D = DRIP TUBING, S = SPRAY, R = ROTOR, T = TREE DRIP)
	VALVE SIZE GPM

NOTES:

1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PIPE.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATER TIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
4. MECHANICALLY AIR TAMP TO 95% PROCTOR.
5. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE TOP OF CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE 2" LONG AND 1" APART.

1 IRRIGATION PVC SLEEVES
N.T.S.

NOTE:

1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION. PRIOR TO BACKFLOW PREVENTER, INSTALL A NOMINALLY SIZED ISOLATION VALVE.

2 DOUBLE CHECK ASSEMBLY
N.T.S.

AWR
AWR Designs, LLC
P.O. Box 1746
Alledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589

Xref:\0 REFERENCE\24003198 - BORDER.dwg

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
- A. PROVIDE UNDERGROUND IRRIGATION SLEEVES AS INDICATED ON THE DRAWINGS.

- 1.2 RELATED WORK
- A. SECTION 32 8424 - IRRIGATION SYSTEM.

1.3 REFERENCE STANDARDS

- A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.

PART 2 - MATERIALS

2.1 GENERAL

- A. POLYVINYL CHLORIDE PIPE (PVC) - SCHEDULE 40 SHALL BE USED FOR ALL SLEEVING PURPOSES.
- B. PVC PIPES SHALL BE MARKED WITH SDR NUMBER, ASTM STANDARD NUMBER, AND THE NSF SEAL.
- C. SOLVENT SHALL BE USED AS RECOMMENDED BY MANUFACTURER TO MAKE SOLVENT WELDED JOINTS. PIPE AND FITTINGS SHOULD BE CLEANED BEFORE APPLYING SOLVENT.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. A MINIMUM OF TWENTY FOUR (24) INCHES COVER SHALL BE PROVIDED OVER THE TOP OF SLEEVE FROM FINISH GRADE.
- B. SLEEVES SHALL BE EXTENDED ONE (1) FOOT PAST THE EDGE OF PAVEMENT OF WALLS. INSTALL A NINETY DEGREE ELBOW ON EACH PIPE AND ADD ADDITIONAL LENGTH TO EXTEND ABOVE FINISH GRADE BY TWELVE (12) INCHES. CAP PIPE ENDS.

3.2 BACKFILL

- A. BACKFILL SHALL BE PLACED OVER SLEEVES IN SIX (6) INCH LIFTS. SOIL SHALL BE TAMPED INTO PLACE, TAKING CARE TO NOT DAMAGE SLEEVE.
- B. REPAIR ANY DAMAGE FROM IMPROPER COMPACTION.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

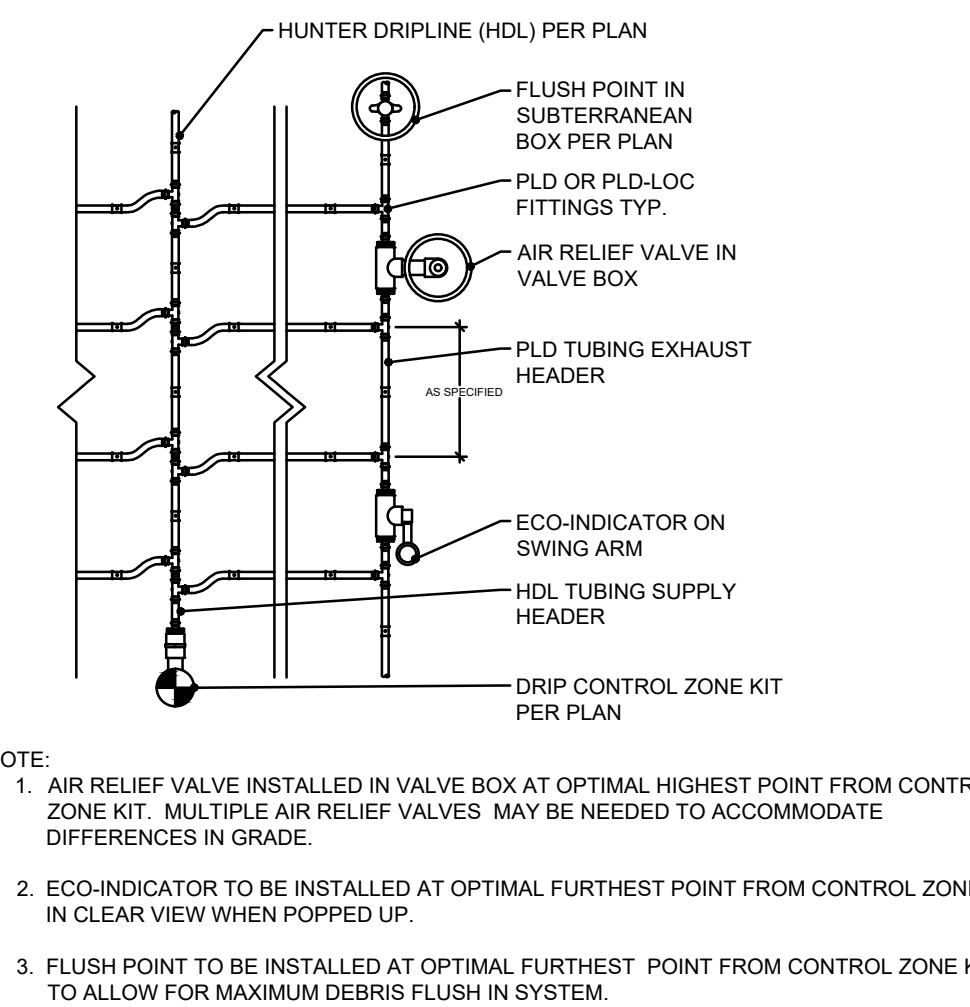
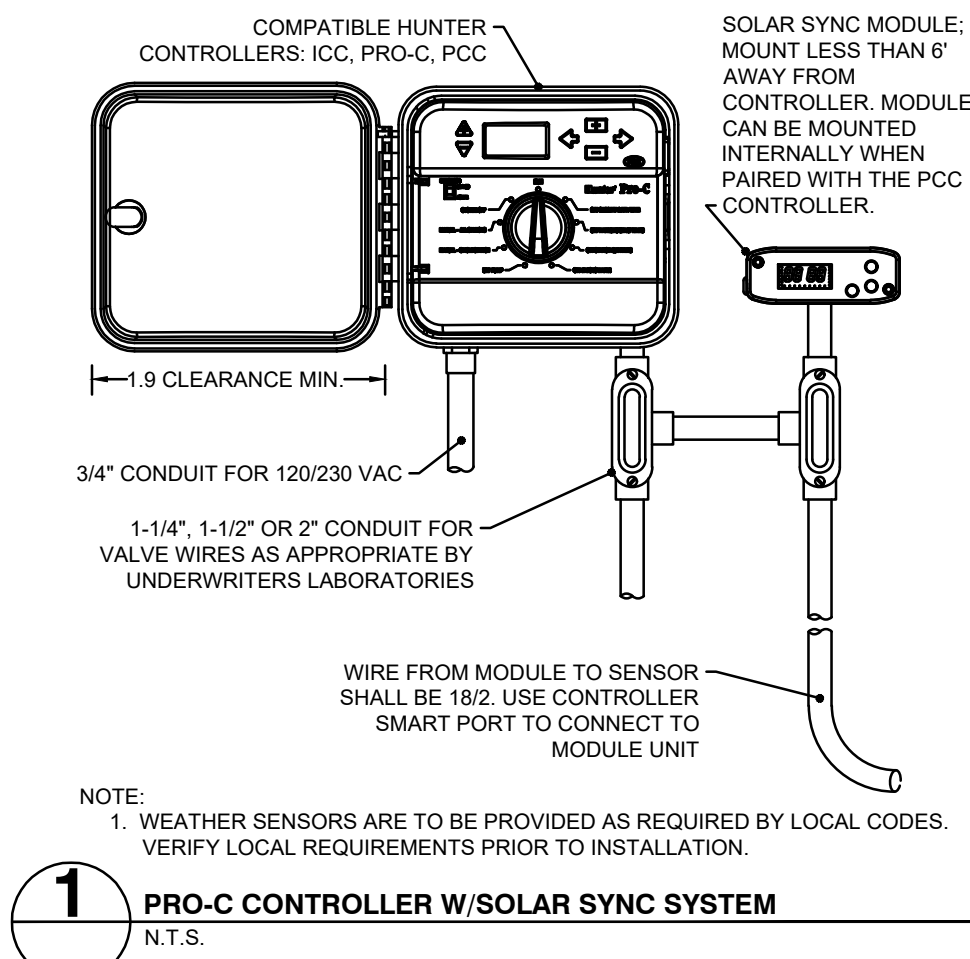
PART 1 - GENERAL

1.1 DESCRIPTION

- A. PROVIDE A COMPLETE IRRIGATION SYSTEM INSTALLATION AS DETAILED AND SPECIFIED. THIS SHALL INCLUDE FURNISHING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE COMPLETE INSTALLATION. WORK INCLUDES:
- a. TRENCHING
- b. BACKFILL
- c. AUTOMATIC CONTROLLED SYSTEM
- d. AS BUILT DRAWINGS
- B. SLEEVING AS SHOWN SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
- C. METER AND POWER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

1.2 RELATED WORK

- C. REFERENCE IRRIGATION PLANS FOR CONTROLLER, HEAD AND ALL VALVE LOCATIONS.
- D. REFERENCE LANDSCAPE PLANS, NOTES, DETAILS FOR ADDITIONAL REQUIREMENTS.
- E. SECTION 32 9300 - LANDSCAPE
- F. SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVE AND UTILITY CONDUITS



1.3 REFERENCE STANDARDS

- A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.

1.4 QUALITY ASSURANCE AND REQUIREMENTS

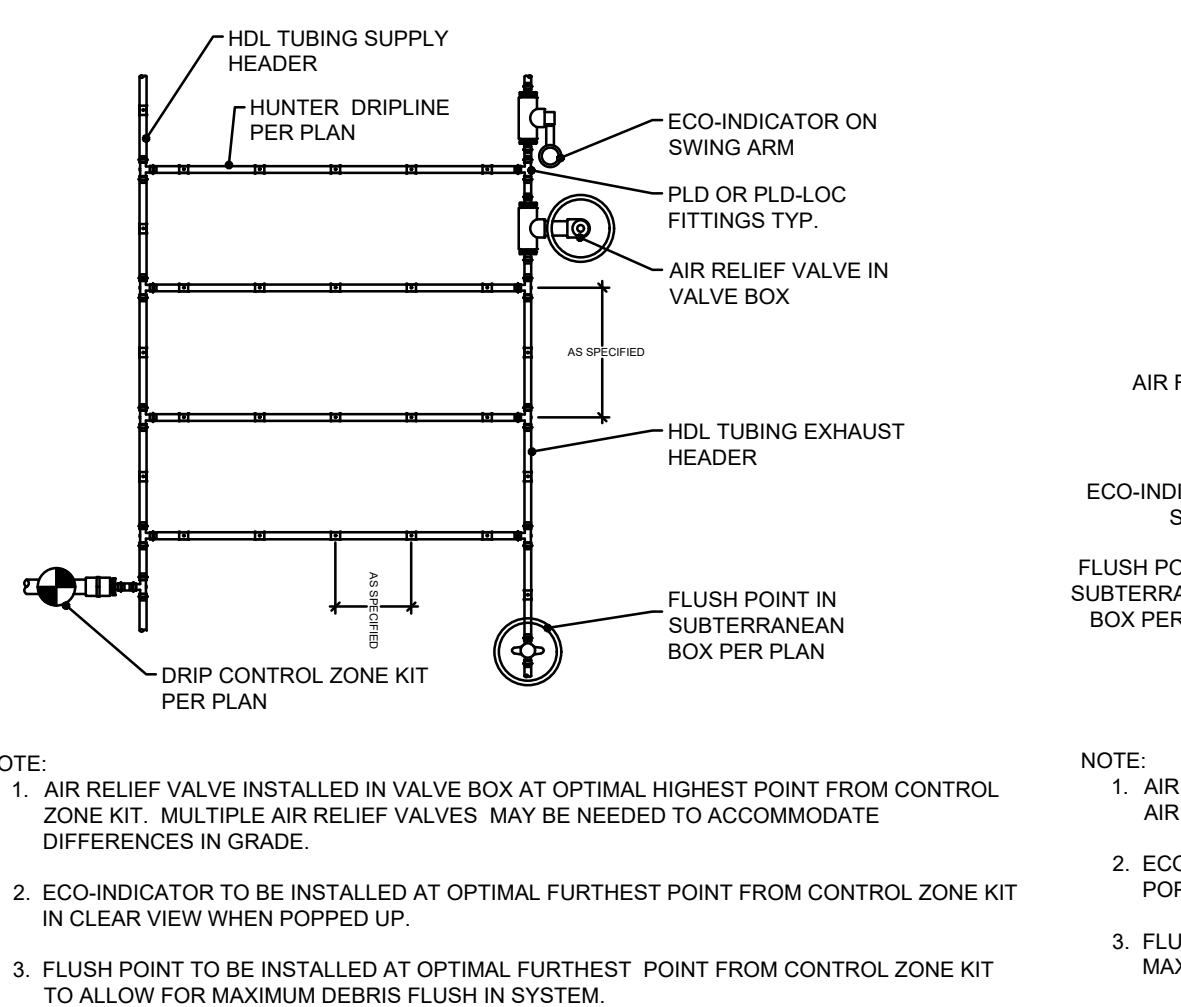
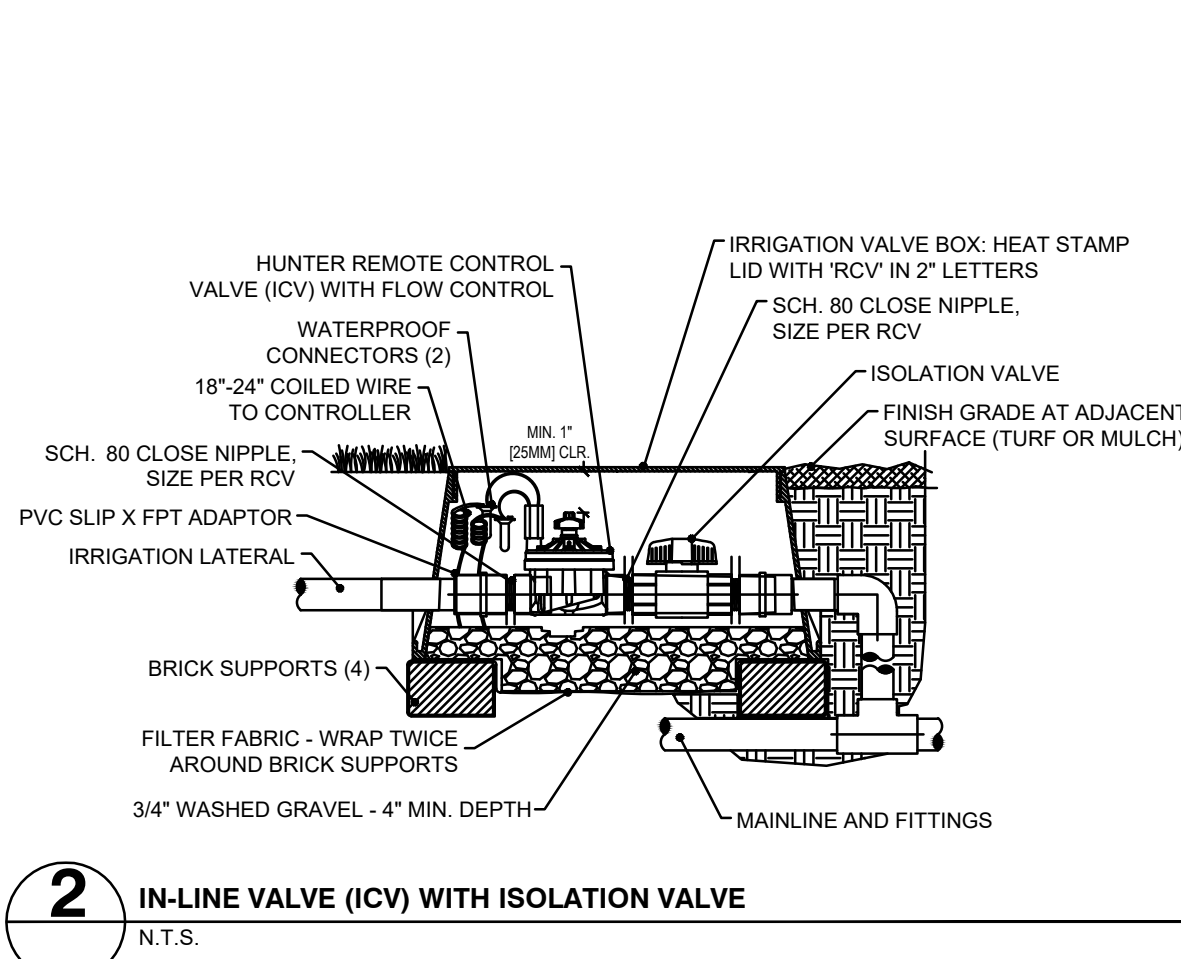
- A. PERMITS AND FEES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY AND ALL OBSERVATIONS AS REQUIRED.
- B. MANUFACTURER'S DIRECTIONS: MANUFACTURER'S DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.
- C. ORDINANCES, CODES, AND REGULATIONS: ALL LOCAL, MUNICIPAL AND STATE LAWS, AND RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. ANYTHING CONTAINED IN THESE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES AND REGULATIONS AND REQUIREMENTS OF THE SAME.
- D. HOWEVER, WHEN THESE SPECIFICATIONS AND DRAWINGS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES AND REGULATIONS, THESE SPECIFICATIONS AND DRAWINGS SHALL TAKE PRECEDENCE.

1.5 SCHEDULE OF MATERIALS

- A. MATERIALS LIST:
- a. ALL EQUIPMENT MANUFACTURERS AND MODEL NUMBERS SHALL BE AS NOTED ON THE PLANS.
- b. THE CONTRACTOR SHALL FURNISH THE ARTICLES, EQUIPMENT, MATERIALS, OR PROCESSES SPECIFIED BY NAME IN THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- c. A COMPLETE MATERIAL LIST OF EQUIPMENT SHALL BE SUBMITTED BEFORE PERFORMING ANY WORK. SUBMITTAL SHOULD INCLUDE ALL MANUFACTURERS' SPECIFICATIONS AND LITERATURE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- d. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT MAY BE REJECTED.
- e. APPROVAL OF ANY ITEM, ALTERNATE OR SUBSTITUTE INDICATES ONLY THAT THE PRODUCT OR PRODUCTS APPARENTLY MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS ON THE BASIS OF THE INFORMATION OR SAMPLES SUBMITTED.
- f. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.

1.6 RECORD AND AS BUILT DRAWINGS/SUBMITTALS

- A. CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE AND COMPLETE "AS-BUILT" RECORD SET OF PRINTS.
- B. CONTRACTOR SHOULD USE ALL SYMBOLS AND NOTATIONS CONSISTENT WITH THE ORIGINAL DRAWINGS.
- C. IN "AS-BUILT" DRAWINGS, CONTRACTOR SHALL LOCATE:
- a. CONNECTION TO EXISTING WATER LINES
- b. CONNECTION TO ELECTRICAL POWER
- c. GATE VALVES
- d. ROUTING OF SPRINKLER PRESSURE LINES
- e. SPRINKLER CONTROL VALVES
- f. QUICK COUPLING VALVES
- g. OTHER RELATED EQUIPMENT
- D. SUBMIT COMPLETED TRACINGS PRIOR TO FINAL ACCEPTANCE. DATE AND SIGN ALL DRAWINGS.
- E. EQUIPMENT TO BE FURNISHED:



a. SUPPLY AS PART OF THIS CONTRACT THE FOLLOWING TOOLS:

- i. QUICK COUPLING KEYS, THREE (3) WITH BOILER DRAINS ATTACHED USING BRASS REDUCER.
- ii. THREE (3) KEYS FOR EACH AUTOMATIC CONTROLLER
- b. THE ABOVE MENTIONED EQUIPMENT SHALL BE TURNED OVER TO THE OWNER AT THE CONCLUSION OF THE PROJECT.
- F. THE IRRIGATION CONTRACTOR SHOULD DEMONSTRATE THAT THE FINAL INSTALLED SYSTEM WILL OPERATE ACCORDING TO THE INTENT OF THE DESIGNED AND SPECIFIED SYSTEM. IRRIGATION CONTRACTOR SHALL GUARANTEE 100% COVERAGE TO ALL AREAS TO BE IRRIGATION.

1.5 MAINTENANCE AND GUARANTEE

- A. MAINTENANCE AND WORKMANSHIP SHALL BE GUARANTEED FULLY FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE.
- B. PROVIDE MAINTENANCE OF SYSTEM, CLEANING AND ADJUSTMENT OF THE HEADS, FOR ONE (1) YEAR AFTER COMPLETION OF INSTALLATION.
- C. GUARANTEE IS LIMITED TO REPAIR AND REPLACEMENT OF DEFECTIVE MATERIALS AND WORKMANSHIP, INCLUDING THE REPAIR OF BACKFILL SETTLEMENT.

1.6 TESTING

- A. PERFORM TESTING REQUIRED WITH OTHER TRADES INCLUDING EARTHWORK, PAVING, PLUMBING, ETC. TO AVOID CUTTING, PATCHING OR BORING.
- B. WATER PRESSURE SHOULD BE FOUND PRIOR TO STARTING CONSTRUCTION. DETERMINE/CONFIRM THAT STATIC WATER PRESSURE IS MORE THAN THE WATER PRESSURE NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY. IF STATIC PRESSURE IS LESS THAN THE DESIGN PRESSURE NEEDED, DO NOT START WORK UNTIL THE LANDSCAPE ARCHITECT IS NOTIFIED.

1.7 COORDINATION

- A. COORDINATE INSTALLATION OF ALL PRODUCTS, INCLUDING EARTHWORK, PAVING AND PLUMBING.
- B. COORDINATE TO ENSURE THAT ELECTRICAL POWER SOURCE IS IN PLACE.
- C. COORDINATE INSTALLATION WITH WORK SPECIFIED IN OTHER SECTIONS.
- D. COORDINATE WITH THE LANDSCAPE CONTRACTOR TO ENSURE PLANT MATERIAL IS UNIFORMLY WATERED IN ACCORDANCE WITH INTENT SHOWN ON DRAWINGS.

PART 2 - PRODUCTS

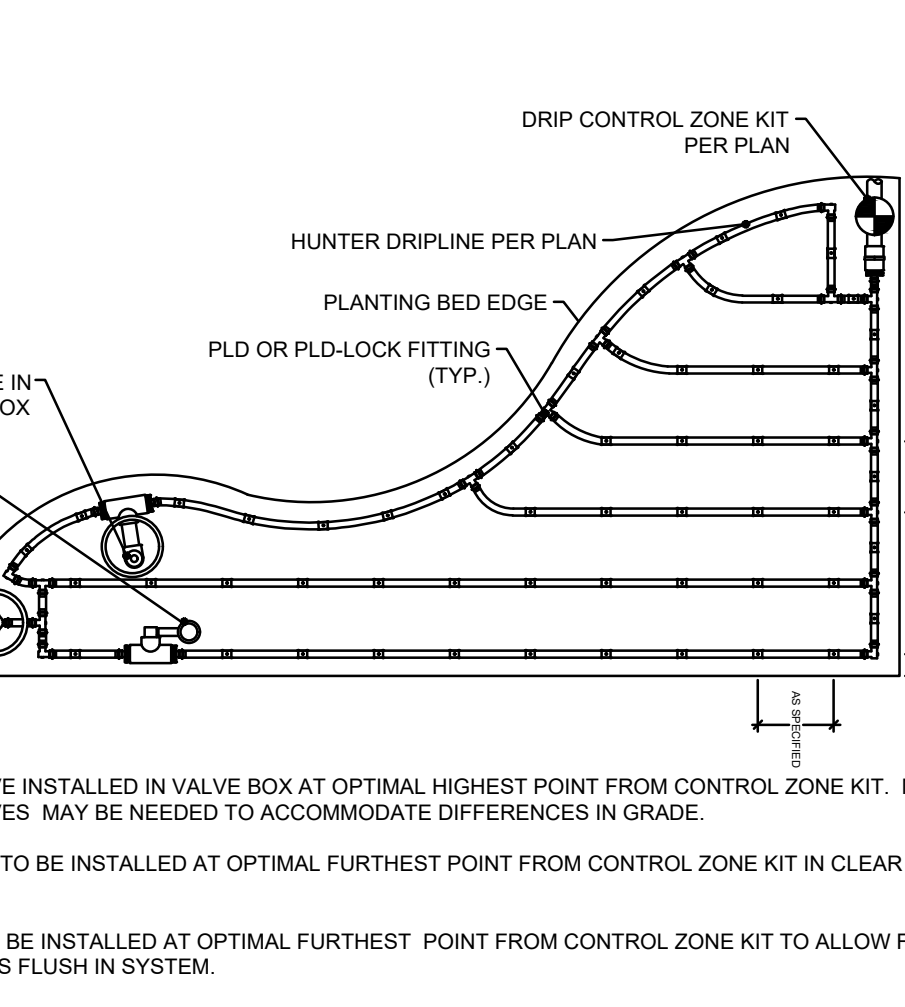
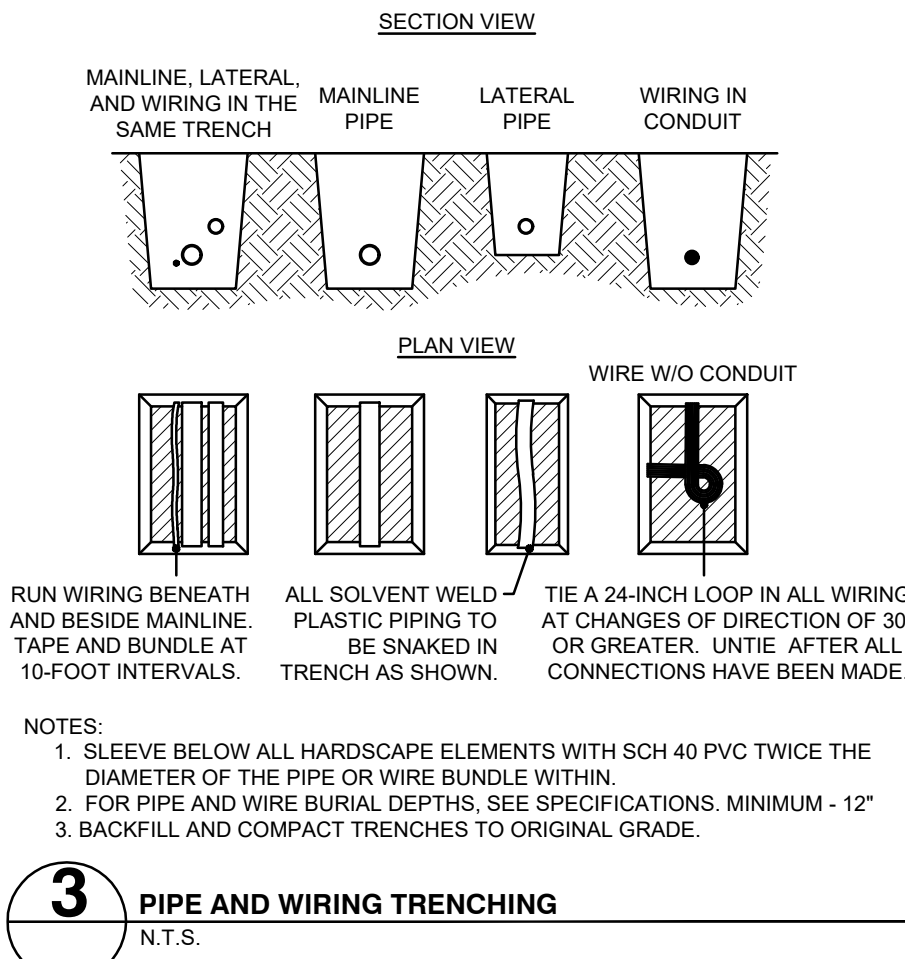
2.1 MATERIALS

- B. REFER TO CONSTRUCTION DRAWINGS AND NOTES.
- C. SPRINKLER HEADS IN LAWN AREAS AS SPECIFIED ON PLAN
- D. PVC PIPE: CLASS 200 SPR 21
- E. COPPER TUBING (FOR CITY CONNECTIONS): TYPE "M"
- F. 24V WIRE - SIZE 14, TYPE UF
- G. ELECTRIC VALVES TO BE ALL PLASTIC CONSTRUCTION AS INDICATED ON PLANS.
- H. REFER TO DRAWING FOR BACKFLOW PREVENTION LOCATION - COORDINATE EXACT LOCATION WITH THE GENERAL CONTRACTOR.

PART 3 - EXECUTION

3.1 INSPECTION

- A. SITE CONDITIONS:
- a. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZE DIMENSIONS.
- b. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY ANY OF HIS OPERATIONS OR NEGLECT.
- c. COORDINATE INSTALLATION OF IRRIGATION MATERIALS, INCLUDING PIPE, SO THERE SHALL BE NO



INTERFERENCE WITH UTILITIES OR OTHER CONSTRUCTION DIFFICULTY IN PLANTING TREES, SHRUBS, AND GROUNDCOVERS. COORDINATE WORK WITH OTHER SITE CONTRACTORS.

3.2 PREPARATION

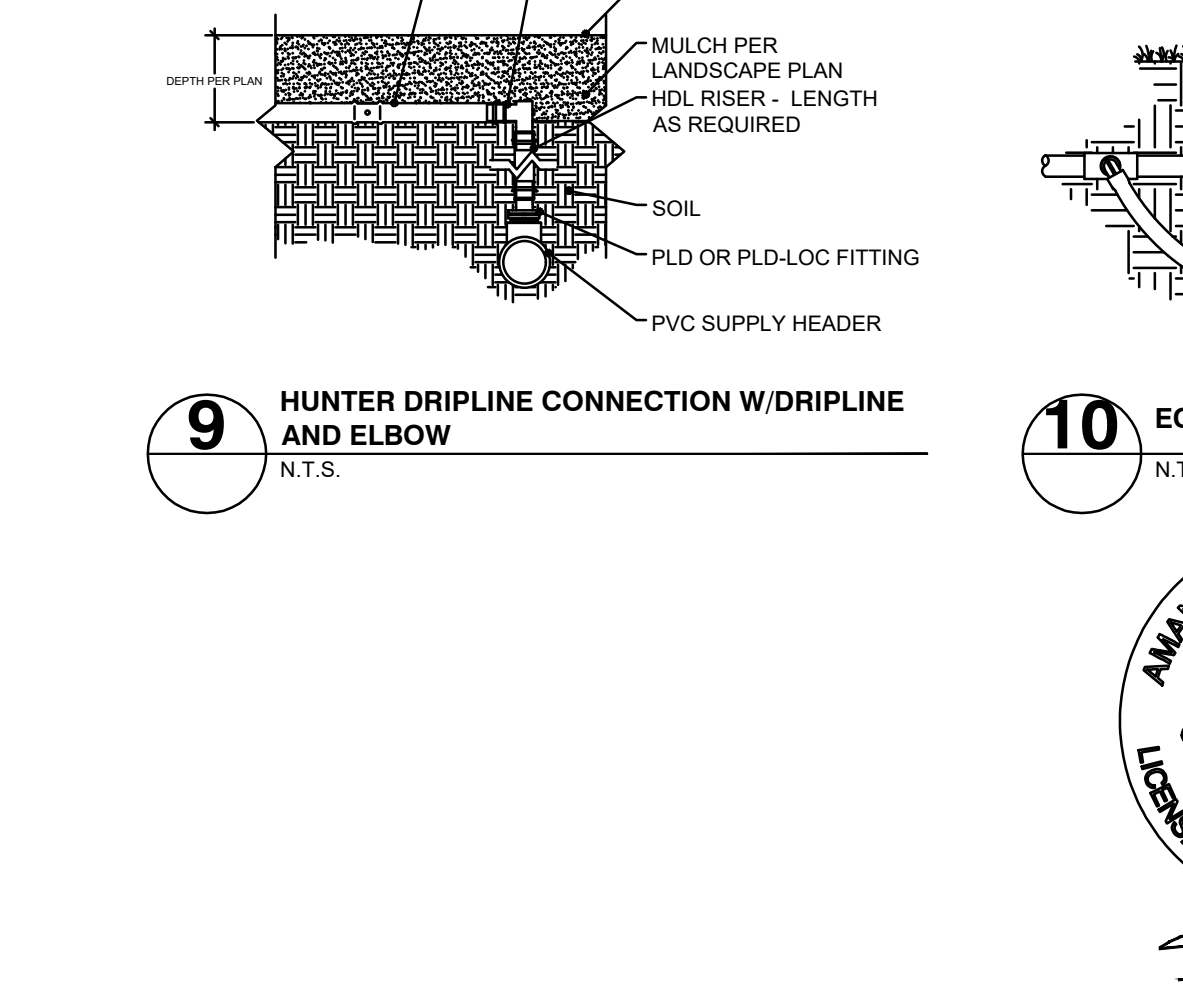
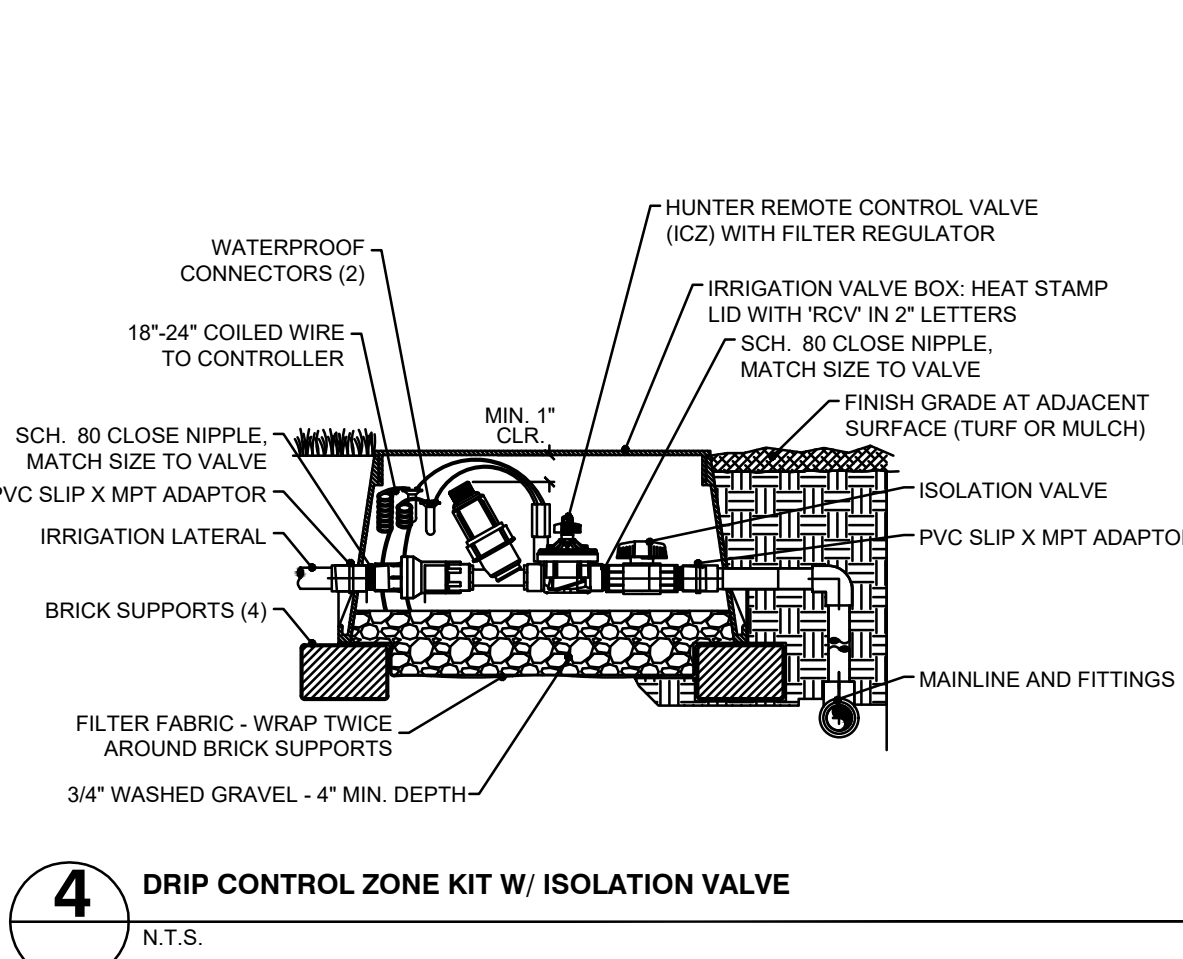
A. PHYSICAL LAYOUT:

- a. PIPING AND HEAD LAYOUT AS SHOWN ON PLANS IS SCHEMATIC ONLY. ALL PIPES TO BE INSTALLED DIRECTLY BEHIND CURBS, WALLS AND WALLS WHEREVER POSSIBLE.
- b. PRIOR TO INSTALLATION CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LINES, ROUTING AND LOCATION OF SPRINKLER HEADS.
- c. ALL LAYOUTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- B. WATER SUPPLY:
- a. IRRIGATION SYSTEM SHALL BE CONNECTED TO WATER SUPPLY POINTS OF CONNECTION AS INDICATED ON THE DRAWINGS.
- b. CONNECTIONS SHOULD BE MADE AT APPROXIMATE LOCATIONS AS SHOWN ON DRAWINGS. CONTRACTOR SHALL VERIFY IN FIELD AND BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.

3.3 INSTALLATION

A. TRENCHING

- a. DIG TRENCHES STRAIGHT 6" WIDE WITH NEAR VERTICAL SIDE AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. REMOVE LUMBER, RUBBISH, LARGE ROCKS ETC. FROM TRENCHES. LAY PIPE TO AN EVEN GRADE - WITH A FIRM, UNIFORM BEARING FOR ENTIRE LENGTH OF PIPE.
- b. REMOVE FOREIGN MATTER OR DIRT FROM INSIDE OF PIPE BEFORE WELDING AND KEEP PIPING CLEAN BY ANY MEANS POSSIBLE DURING AND AFTER LAYING OF PIPE.
- c. PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF COVER FOR ALL PRESSURE SUPPLY LINES.
- d. PROVIDE A MINIMUM OF TWELVE (12) INCHES OF COVER FOR ALL NON-PRESSURE LINES.
- e. PROVIDE A MINIMUM COVER OF EIGHTEEN (18) INCHES FOR ALL CONTROL WIRING.
- f. NO MACHINE TRENCHING, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT, SHALL BE DONE WITHIN DRIP LINE OF EXISTING TREES. TRENCHING SHOULD BE DONE BY HAND, TUNNELING OR BORING OR OTHER METHODS APPROVED BY THE LANDSCAPE ARCHITECT. IT SHOULD BE UNDERSTOOD THAT PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND TREES AND SHRUBS IN SUCH A MANNER TO AVOID DAMAGE TO PLANTS.
- B. BACKFILL:
- a. TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. TRENCHES SHALL BE CAREFULLY BACKFILLED WITH THE EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS, FREE FROM LARGE CLODS, STONES OR STICKS.
- b. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING OR OTHER CONSTRUCTION ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT THE COST TO THE OWNER.
- C. TRENCHING AND BACKFILL UNDER PAVING:
- a. ALL IRRIGATION MAIN LINE AND LATERAL LINES OR WIRING LOCATED UNDER AREAS WHERE PAVING, ASPHALTIC PAVING, OR CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES OF ADEQUATE SIZE. SEE SECTION 32 8423.
- D. ASSEMBLIES:
- a. INSTALL ALL ASSEMBLIES SPECIFIED HEREIN IN ACCORDANCE WITH RESPECTIVE DETAILS. IN ABSENCE OF DETAIL DRAWINGS OR SPECIFICATIONS, PERFORM SUCH WORK IN ACCORDANCE WITH BEST STANDARD PRACTICES OR MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE LANDSCAPE ARCHITECT.
- b. MAKE SOLVENT WELDED JOINTS USING ONLY THE SOLVENT RECOMMENDED BY THE MANUFACTURER. PIPES AND FITTINGS SHOULD BE CLEANED OF ALL DIRT AND DUST AND MOISTENED



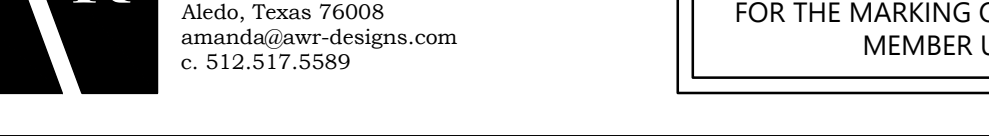
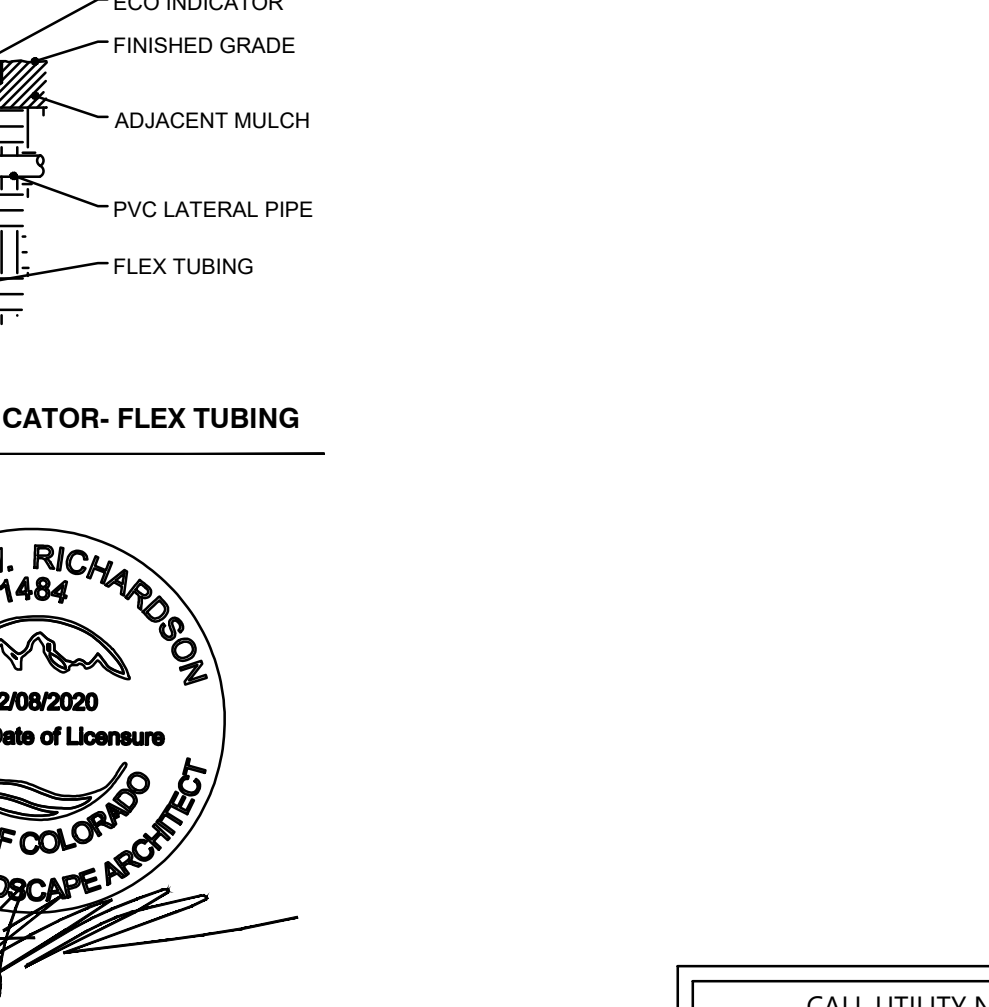
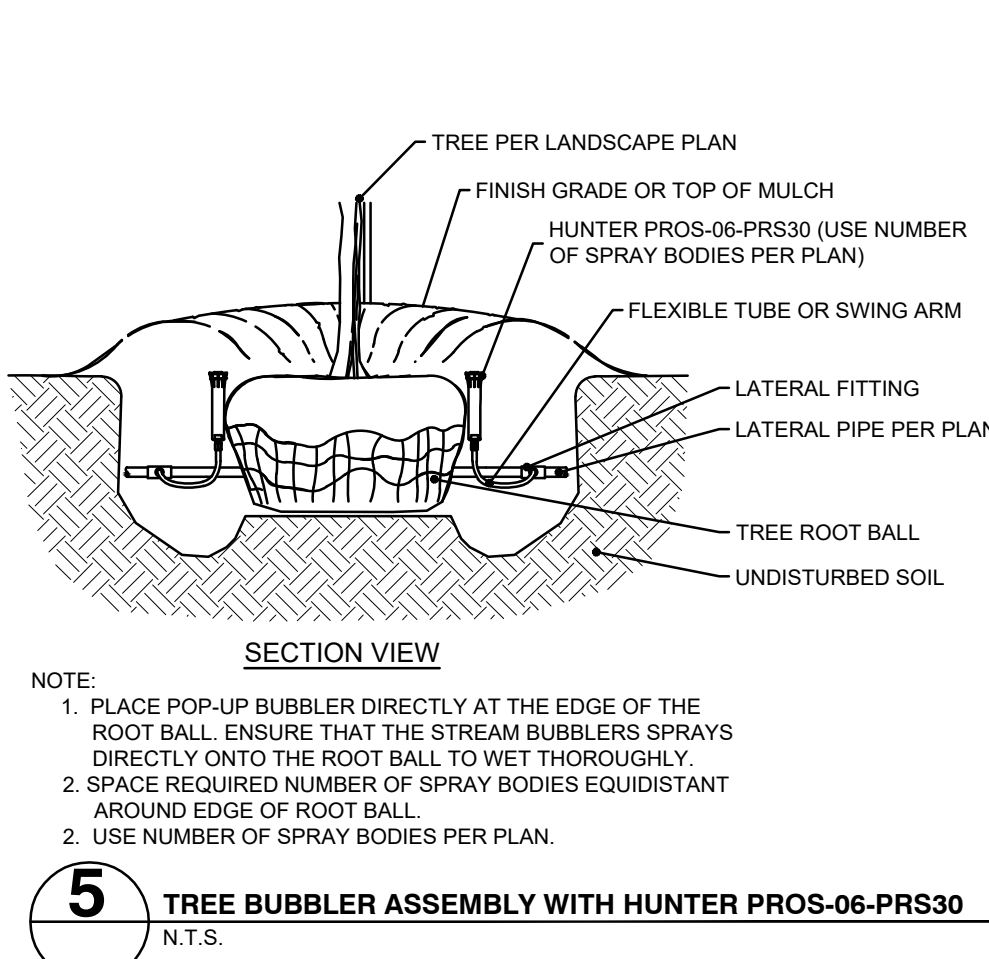
BEFORE APPLYING SOLVENT.

- C. ON PVC TO METAL CONNECTIONS, THE CONTRACTOR SHALL WORK METAL CONNECTIONS FIRST. USE NON HARDENING PIPE DOPE OR TEFLOON TAPE ON THREADED PVC ADAPTERS INTO WHICH PIPE MAY BE WELDED. LIGHT WRENCH PRESSURE IS ALL THAT IS REQUIRED, USE THREADED PVC ADAPTERS INTO WHICH THE PIPE MAY BE WELDED.
- E. LINE CLEARANCE: ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER AND FROM OTHER TRADES. PARALLEL LINES SHALL NOT BE DIRECTLY INSTALLED ONE OVER THE OTHER.
- F. WIRING: SUPPLY WIRE FROM THE AUTOMATIC CONTROLLER TO ALL THE VALVES. A SEPARATE WIRE IS REQUIRED TO EACH ELECTRIC VALVE. A COMMON NEUTRAL WIRE IS ALSO REQUIRED FROM EACH CONTROL TO EACH OF THE VALVES. BUNDLE MULTIPLE WIRES AND TAPE THEM TOGETHER AT TEN FOOT INTERVALS. EXPANSION COILS OF TEN INCHES SHALL BE INSTALLED APPROXIMATELY EVERY 100 FEET. MAKE ALL SPLICES WATERPROOF.
- G. AUTOMATIC CONTROLLER: INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. REMOVE CONTROL VALVES SHALL BE CONNECTED TO CONTROLLER IN NUMERICAL SEQUENCE AS SHOWN ON THE DRAWINGS. EACH REMOVE CONTROL VALVE SHALL BE WIRED TO ONE STATION OF THE CONTROLLER.
- H. REMOTE CONTROL VALVES:
- a. INSTALL WHERE SHOWN ON DRAWINGS AND DETAILS. VALVES SHALL BE SIZED ACCORDING TO THE DRAWINGS.
- b. INSTALL IN A LEVEL POSITION IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.
- c. WHEN GROUPED TOGETHER, ALLOW AT LEAST TWELVE (12) INCHES BETWEEN VALVES. INSTALL EACH REMOTE CONTROL VALVE IN A SEPARATE VALVE BOX. EACH VALVE NUMBER AND ITS CONTROLLER LETTER SHALL BE STENCILED INSIDE VALVE BOX TOP WITH EXTERIOR PAINT.
- I. FLUSHING OF SYSTEM:
- a. AFTER ALL NEW SPRINKLER PIPE LINES AND RISERS ARE IN PLACE AND CONNECTED, ALL NECESSARY WORK HAS BEEN COMPLETED, AND PRIOR TO INSTALLATION OF SPRINKLER HEADS, THE CONTROL VALVES SHALL BE OPENED AND A FULL HEAD OF WATER USED TO FLUSH OUT THE SYSTEM.
- b. SPRINKLER HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN ACCOMPLISHED.
- J. SPRINKLER HEADS:
- a. INSTALL HEADS AS DESIGNED ON THE DRAWINGS. MAKE APPROPRIATE ADJUSTMENTS TO HEAD LAYOUT TO ACCOMMODATE FOR ACTUAL FIELD CONDITIONS.
- b. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON THE DRAWINGS. IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.
- c. ALL SPRINKLERS TO ATTACH TO LATERAL LINES WITH FLEXIBLE CONNECTORS. REFERENCE DETAILS ON DRAWINGS.

3.4 TESTING

- A. THE CONTRACTOR SHALL TEST SPRINKLER MAIN FOR TWELVE TO FOURTEEN HOURS UNDER NORMAL PRESSURE. IF LEAKS ARE PRESENT, REPLACE JOINT OR JOINS AND REPEAT TEST.
- B. A COMPLETE TEST SHALL BE MADE PRIOR TO BACKFILLING. BACKFILLING MATERIALS MAY BE PLACED IN TRENCHES IN LIFTS TO ENSURE STABILITY OF THE LINE UNDER THE PRESSURE OF BACKFILL. IN EACH CASE, LEAVE FITTINGS AND COUPLINGS OPEN TO VISUALLY INSPECT FOR FULL PERIOD OF TEST.
- C. WHEN SYSTEM IS COMPLETE, A COVERAGE TEST SHALL BE PERFORMED IN THE PRESENCE OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. IT SHALL BE DETERMINED IF THE WATER COVERAGE FOR ALL PLANTING AREAS IS COMPLETE AND ADEQUATE. FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE.
- D. UPON COMPLETION OF EACH PHASE OF WORK, THE ENTIRE SYSTEM SHOULD BE TESTED AND ADJUSTED TO MEET SITE REQUIREMENTS.

END OF SECTION



811

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE PROVIDER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

24 HOUR
EMERGENCY CONTACT

ATWELL

866.850.4200 www.atwell-group.com

9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.555.9580

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

DATE 2025-05-20

REVISIONS

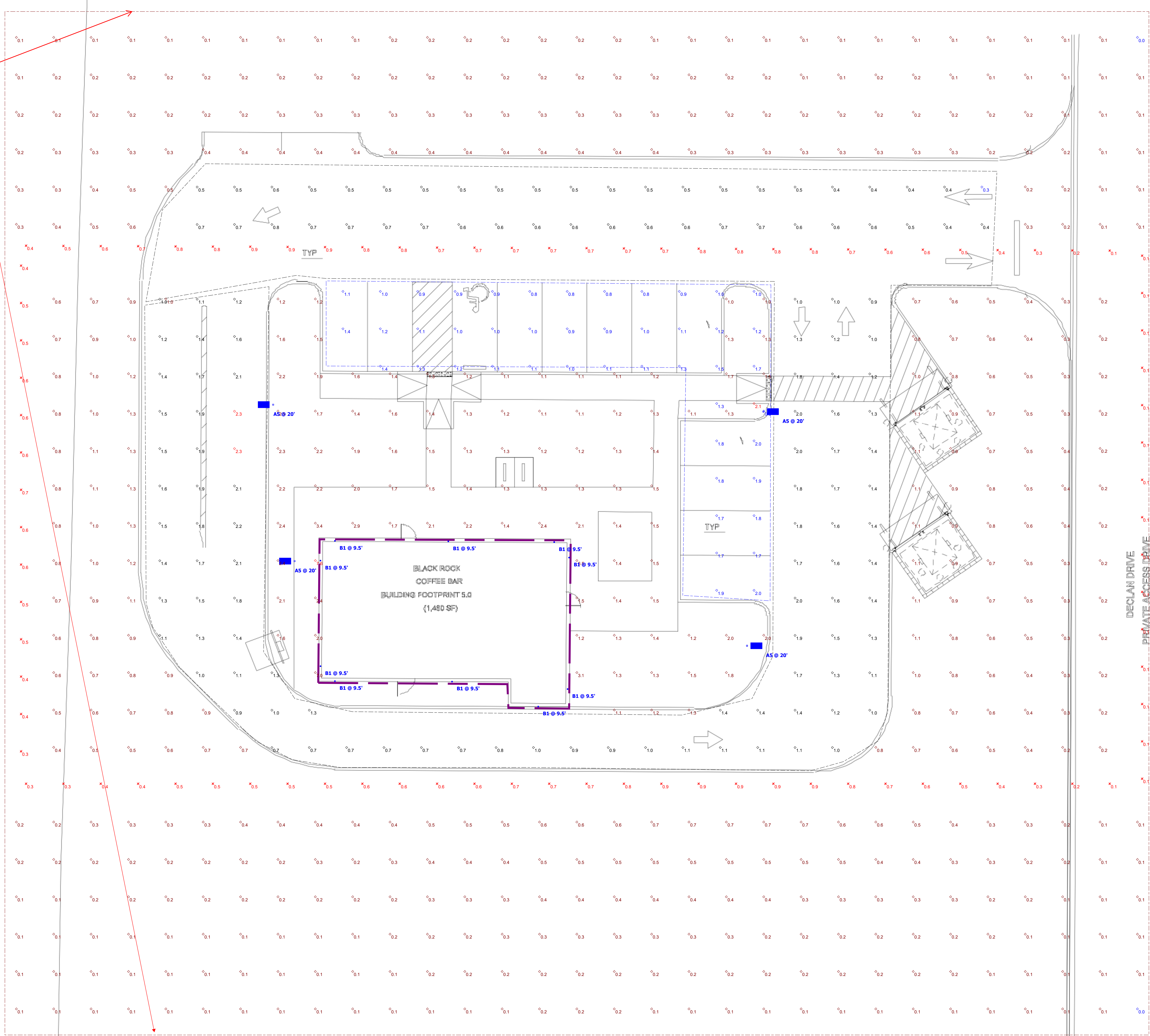
DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

LOT 4A PARKER POINT SUBD. FILING
NO. 1 - AMEND. NO. 1

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

property line
locations are
not accurate



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive Lane @ 0' AFG	◇	1.1 fc	2.3 fc	0.3 fc	7.7:1	3.7:1
Parking @ 0' AFG	◇	1.3 fc	2.1 fc	0.8 fc	2.6:1	1.6:1
Site @ 0' AFG	◇	0.6 fc	7.6 fc	0.0 fc	N/A	N/A
Property Line	✗	0.5 fc	0.9 fc	0.1 fc	9.0:1	5.0:1

Lighting of parking lots and drive aisles shall have a uniformity ratio of six to one (6:1) (maximum to minimum).

Plan View
Scale - 1" = 10ft

Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
A5	□	4	OPTIC LED LIGHTING	DLA1-080-30-S	LED AREA SERIES LARGE DOWN 3000K TYPE S MOUNTED AT 20' AFG	1	10130	0.9	80		Max: 3959cd
B1	○	10	RP Lighting	#427-XX-13-XX	LED ARCHITECTURAL SQUARE CYLINDER DOWNLIGHT MOUNTED @ 9'-6" AFG	1	911	0.3	13.3		Max: 1766cd



Model:
Project:
Type:

Area Series (Small)

The OLA1 Small Series is a stylish aerodynamic area luminaire that fits within today's accepted design form factors. Excellent optical performance is achieved with Nichia brand LED's and engineered discrete optics. LED life is assured through efficient thermal coupling and dissipation via a durable, pressure die cast, low-copper alloy, aluminum housing. Engineered to last, all gaskets are anti-UV, anti-aging with no harmful out-gassing. All models come standard with a universal pole mount bracket or an optional wall surface box. Luminaires are available with a number of options including alternate CCT choices, finishes, photocells and occupancy sensors.

FEATURES

- LED Brand: Nichia
- Color Temperatures: 4000K & 5000K (Other CCT's are available upon request)
- CRI: 70
- Lumen Maintenance: L70 = 50,000 hours
- Full Cutoff (meets IDA criteria)
- Operating Temperature: -40 °C (-40 °F) to 40 °C (104 °F)
- Durable All Aluminum Pressure Die Cast Housing
- Powder Coat Finish
- Salt Fog Tested to 2500 hours / per ASTM B117
- IP65 Rated (wet listed / NEMA IEC 60529)
- Mounting: Universal Round or Square Pole, Wall Surface Box

ELECTRICAL SPECIFICATIONS

- Power Input: 120-277V (347-480V Optional)
- Power Factor: > 0.95
- THD: < 15%
- Surge Protection: 20 kV
- Control Options: 0-10V Dimming standard (Photocell and Occupancy Sensors Optional)

TESTS & CERTIFICATIONS

- ETL (UL 1598, UL 8750, NEMA C82.77)
- CSA (C22.2 No.250.0)
- RoHS Compliant
- Design Lights Consortium (Premium)
- 3G Vibration tested (ANSI C136.31)



WARRANTY

- Up to 10-Year Warranty (parts or replacement)

PERFORMANCE SPECIFICATIONS

Distribution	Model / Wattage	Lumens		Buy Rating		
		4000K	5000K	B	U	G
Type 2	OLA1-080	10,801	10,960	3 *	0	1
	OLA1-120	15,840	16,200	3 *	0	2
	OLA1-150	19,800	20,250	3 *	0	2
Type 3	OLA1-080	11,600	11,760	2 *	0	2
	OLA1-120	16,561	16,920	3 *	0	2
	OLA1-150	20,549	21,000	3 *	0	2
Type 3L	OLA1-080	10,799	10,960	3 *	0	3
	OLA1-120	15,960	16,199	3 *	0	3
	OLA1-150	19,800	20,249	4 *	0	3
Type 3R	OLA1-080	10,799	10,960	3 *	0	3
	OLA1-120	15,960	16,198	3 *	0	3
	OLA1-150	19,800	20,250	4 *	0	3
Type 4	OLA1-080	10,596	10,794	2 *	0	2
	OLA1-120	15,472	15,712	2 *	0	2
	OLA1-150	19,046	19,349	3 *	0	2
Type 4L	OLA1-080	10,800	10,960	3 *	0	3
	OLA1-120	16,080	16,320	3 *	0	3
	OLA1-150	19,800	20,250	4 *	0	4
Type 4R	OLA1-080	10,800	10,960	3 *	0	3
	OLA1-120	16,080	16,320	3 *	0	3
	OLA1-150	19,781	20,250	4 *	0	4
Type 5	OLA1-080	10,032	10,185	4	0	3
	OLA1-120	15,049	15,278	4	0	3
	OLA1-150	18,811	19,097	5	0	4

* Backlight = 1 when BC (Backlight Control System) is applied.

Voltage (V)	Current (A)		
	80W	120W	150W
120	0.67	1.00	1.25
208	0.38	0.58	0.72
240	0.33	0.50	0.63
277	0.29	0.43	0.54
347	0.23	0.35	0.43
480	0.17	0.25	0.31



Area Series (Small)

ORDERING INFORMATION

EXAMPLE: OLA1-120-UNVL-50-4-SQ-BZ-PR-TL12

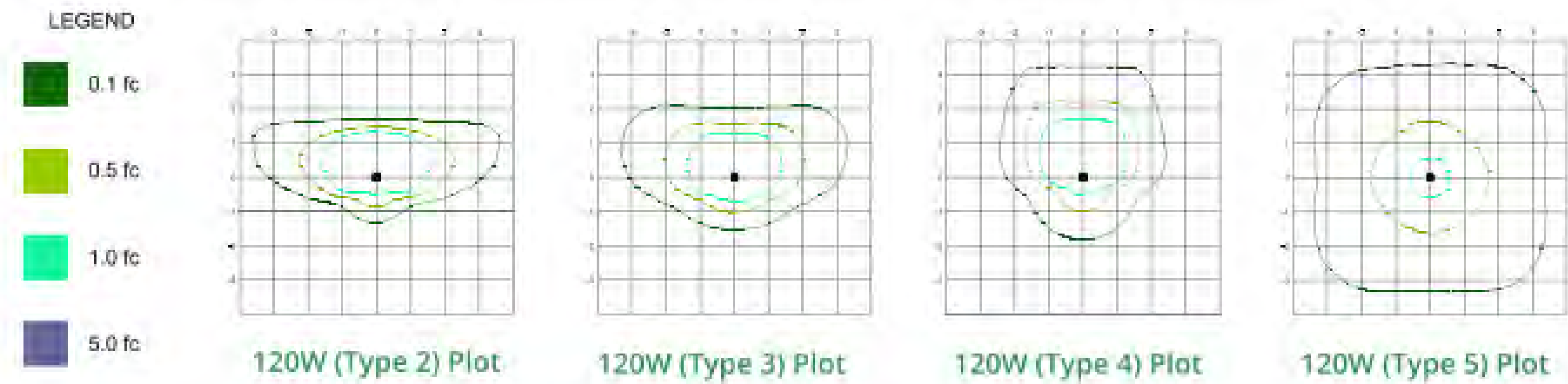
SERIES	WATTAGE	VOLTAGE	COLOR TEMP	DISTRIBUTION	MOUNTING	FINISH	CONTROLS / OPTIONS
OLA1 = Optec LED Area Light	080 = 80W 120 = 120W 150 = 150W	UNVL = 120-277V UNVH = 347-480V	30 = 3000K 40 = 4000K 50 = 5000K	2 = Type 2 3 = Type 3 3L = Type 3 Left 3R = Type 3 Right 4 = Type 4 4L = Type 4 Left 4R = Type 4 Right 5 = Type 5	SQ = Square Pole ¹ RD = Round Pole ¹ WM = Wall Mount ^{1,2} TA = Tenon Adapter ¹ LK = Leveling Kit ³	WH = White BZ = Dark Bronze BL = Black NA = Natural Aluminum GM = Graphic Metallic CF = Custom Finish	OSWS = Occupancy Sensor (WattStopper) PR3 = Photocell Receptacle 3-pin PR5 = Photocell Receptacle 5-pin PR7 = Photocell Receptacle 7-pin WCS = Wireless Control (Synapse) ⁴ BCS = Backlight Control System SF = Single Fuse (120V, 277V, 347V) DF = Double Fuse (220V, 240V, 480V) TLSC = Twist Lock Shorting Cap 924 = UL924 Relay TL12 = Twist Lock Photocell 120V ⁵ TL24 = Twist Lock Photocell 240V ⁵ TL27 = Twist Lock Photocell 277V ⁵ TL28 = Twist Lock Photocell 208V ⁵ TL34 = Twist Lock Photocell 347V ⁵ TL48 = Twist Lock Photocell 480V ⁵

indicate selections as done on previous plans, include color selection, height of freestanding poles must also be indicated here or in table on previous sheet.

- 1 - For details, reference accessory data sheet.
- 2 - WM option requires SQ pole mount bracket (ordering example: SQ-WM).
- 3 - Leveling kit adjusts up to 5 degrees on down to 5 degrees.
- 4 - OSWS = For Wattstopper PIR sensor information and options contact factory.
- 5 - WCS = for Synapse wireless controls information and options contact factory for details.
- 6 - Photocell default = Call in "DM" mode (unless otherwise specified).

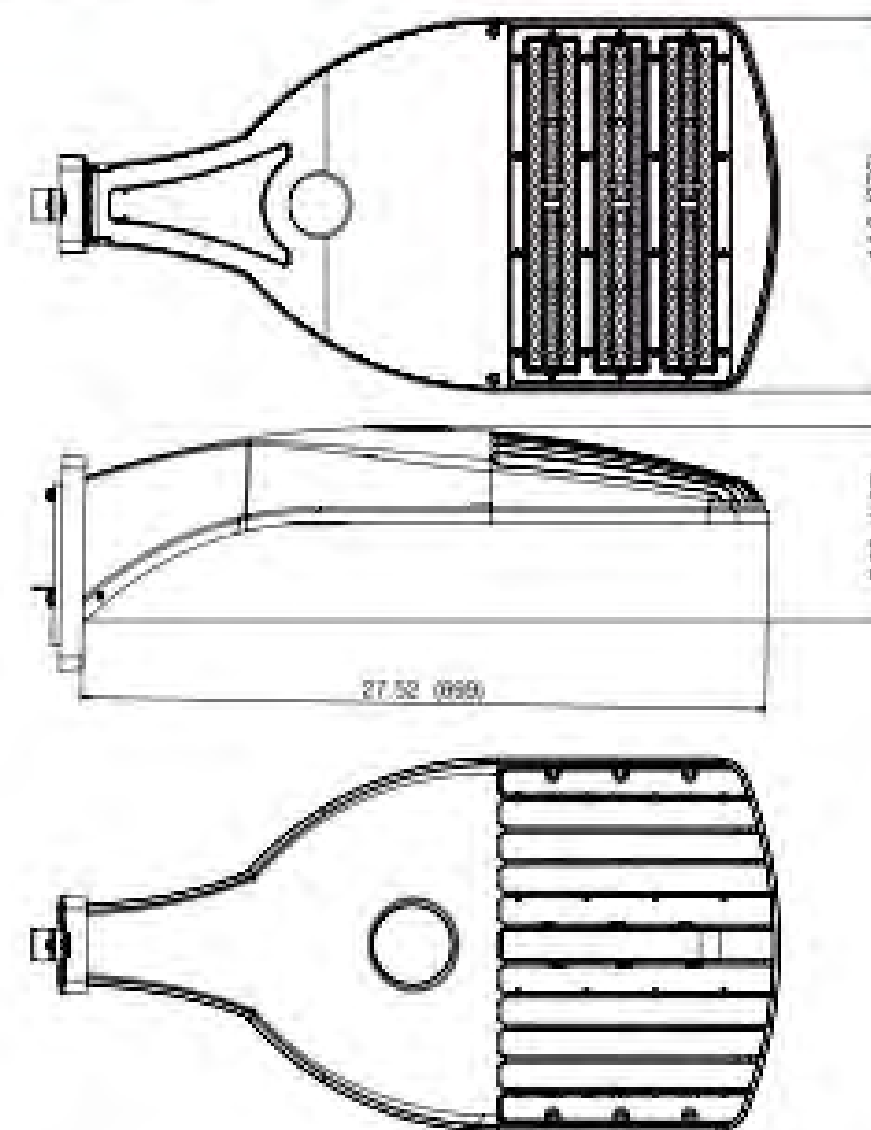
PHOTOMETRIC PERFORMANCE

Isofootcandle plots = OLA1 120W model in 5000K CCT @ 30° mounting height. Distances are in units of mounting height.



Published luminaire photometric testing performed to IESNA-79-08 standards

DIMENSIONS, WEIGHTS & EPA



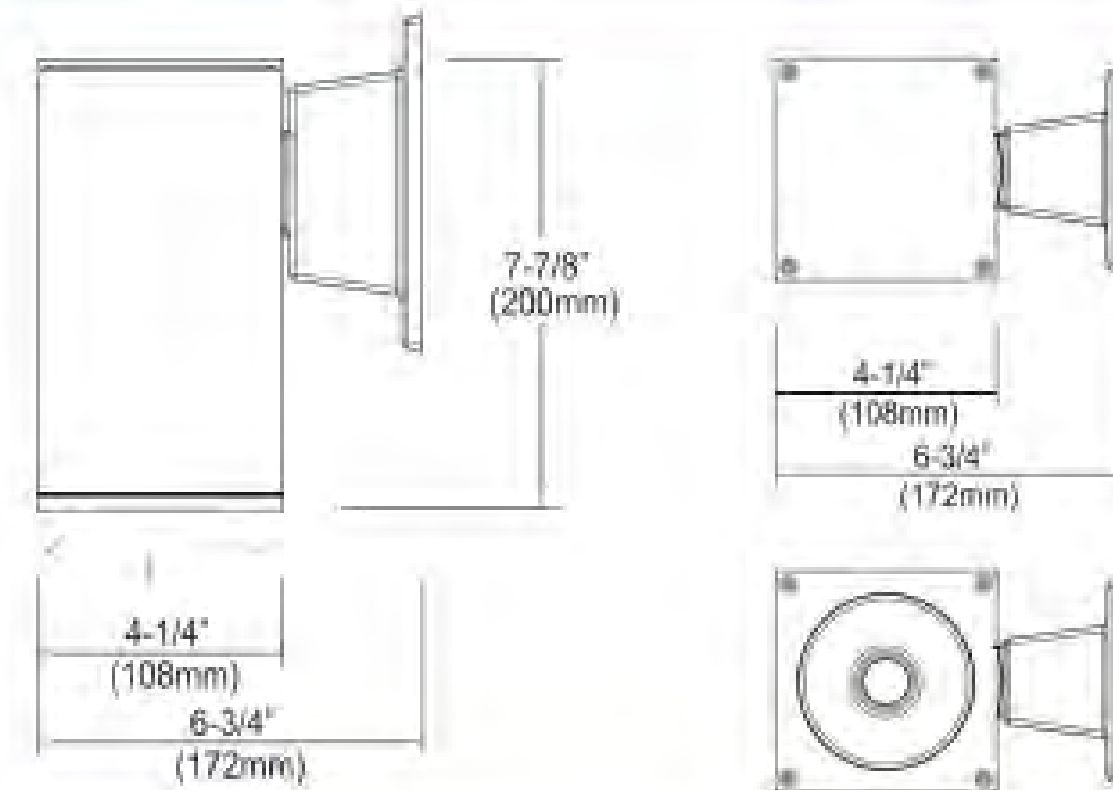
Wattage	80W	120W	150W
Length (inches / mm)	27.52 / 699	27.52 / 699	27.52 / 699
Width (inches / mm)	14.8 / 376	14.8 / 376	14.8 / 376
Height (inches / mm)	7.83 / 199	7.83 / 199	7.83 / 199
Weight (lbs / kg)	19.4 / 8.8	19.4 / 8.9	20 / 9.1

Wattage	Effective Projected Area (EPA) in ft ²				
80	0.96	1.92	1.81	2.77	3.63
120	0.96	1.92	1.81	2.77	3.63
150	0.96	1.92	1.81	2.77	3.63

4427
120V

Catalog #:		Type
Project:		Date
Prepared by:		

4" LED Architectural Square Cylinder Downlight



4" LED Square Downlight

DESCRIPTION

The Outdoor LED Cylinder Family features wet location rated wall mount style cylinders with down light and up & down light options. Choose from energy efficient 13W, 17W, or 27W AC modules, with finishes available in black, brushed nickel, or oil-rubbed bronze. Features Triac dimming down to 5%, using most standard dimmers. Utilizes AC circuit on board technology for cooler operating temperature and extended lifetime.

DESIGN FEATURES

Construction

- Aluminum die-cast with powder coat finish

Electrical

- 120V Direct AC operation with DOB
- Triac dimming down to 5%
- Various wattages of modules available
- Cooler operating temperature without driver
- Operating temperature: -31°F (-35°C) to 122°F (50°C)
- Stable driving current prevents inrush damage to circuit switches and modules
- Available in 80CRI, 3000K & 4000K

Installation

- Easy surface mounting for simple installation using anchors and screws
- J-box mountable

Lens

- Clear acrylic lens protects LEDs while allowing for optimum lumen output
- 37° beam angle

Finish

- Black, brushed aluminum or oil-rubbed bronze

Certifications

- cCSAus for wet location
- 5 year limited warranty
- Wet location rated



TEL: 800.937.6925 | Fax: 800.207.9509 | www.rplighting.com

Specifications and dimensions subject to change without notice.



4427
120V

Specification & Ordering

Model #	Dimensions (H x W x D)	Watt	Lumens <i>(delivered)</i>	Lumens <i>(source)</i>	Color Temp
4427	7-7/8" x 4-1/4" x 6-3/4"	13W	845lm	1280lm	3K 3000K
		17W	1105lm	1710lm	4K 4000K
		27W	1755lm	2570lm	

ORDERING

Example: 4427BK-13-3K

Model #	Finish	Watts	CCT
4427			
4427	BK : Black	-13 : 13W	-3K : 3000 K
	BA : Brushed Aluminum	-17 : 17W	-4K : 4000 K
	OB : Oil-rubbed Bronze	-27 : 27W	

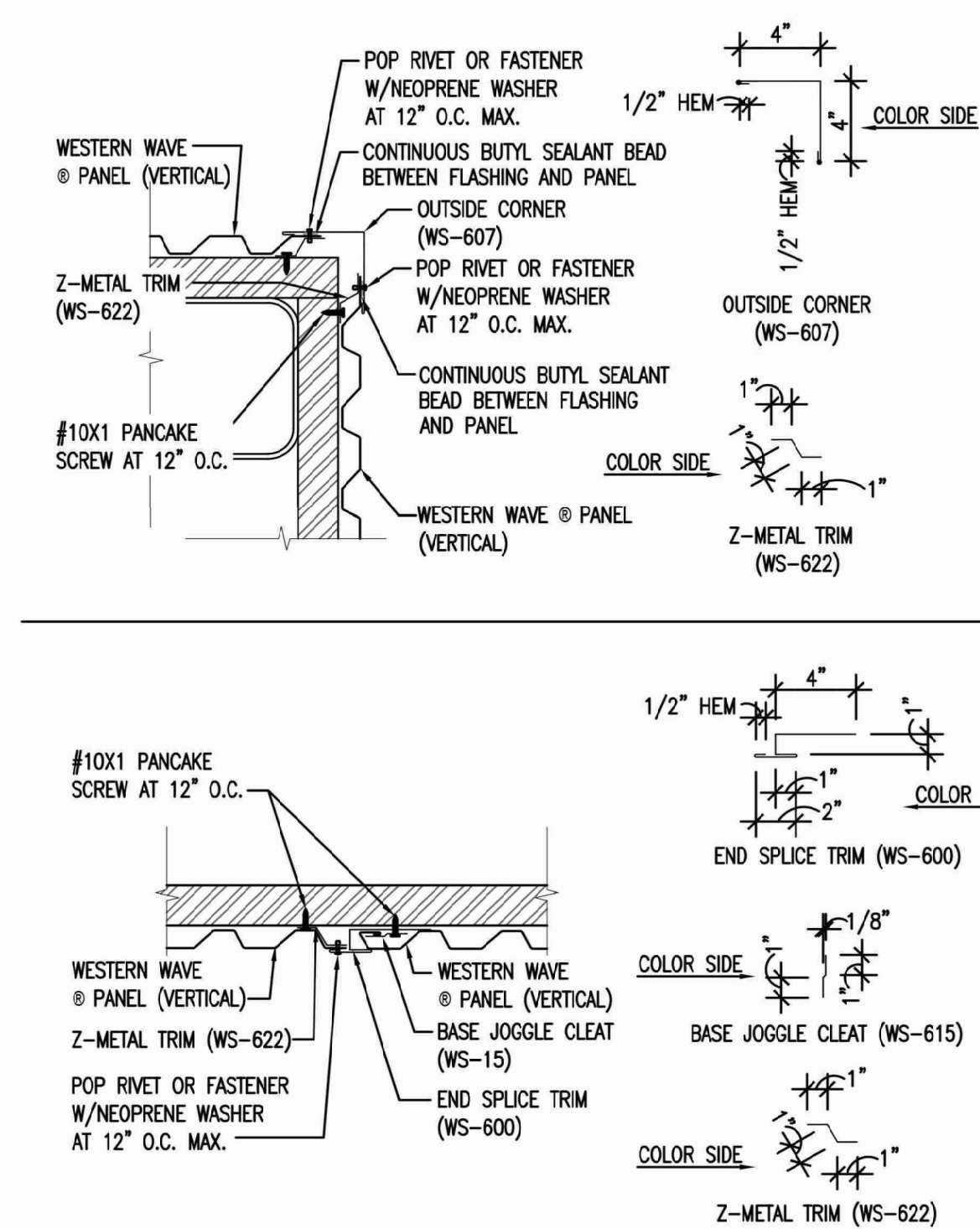
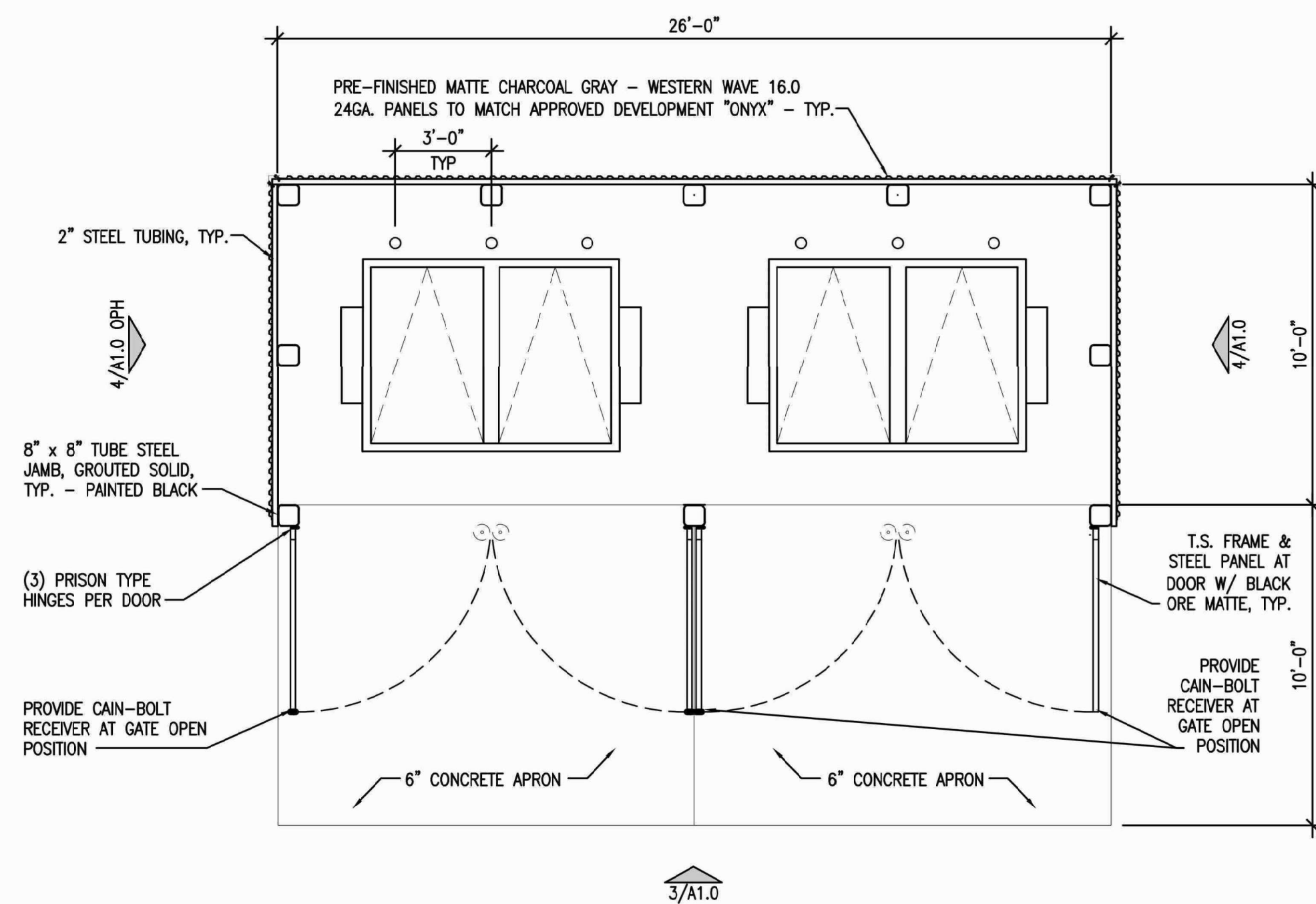
indicate selections as
done on previous
plans, include color
selection.

4" LED Square Downlight

TEL: 800.937.6925 | Fax: 800.207.9509 | www.rplighting.com

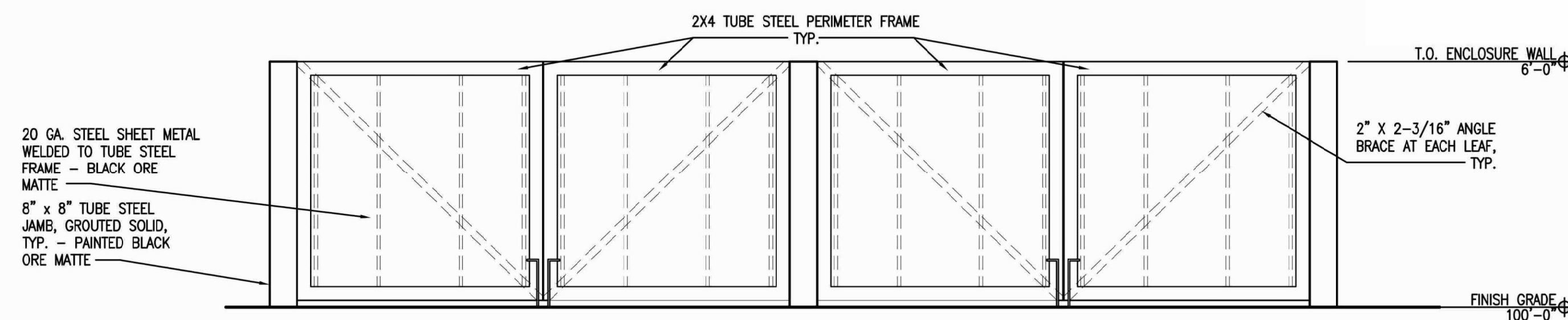
Specifications and dimensions subject to change without notice.



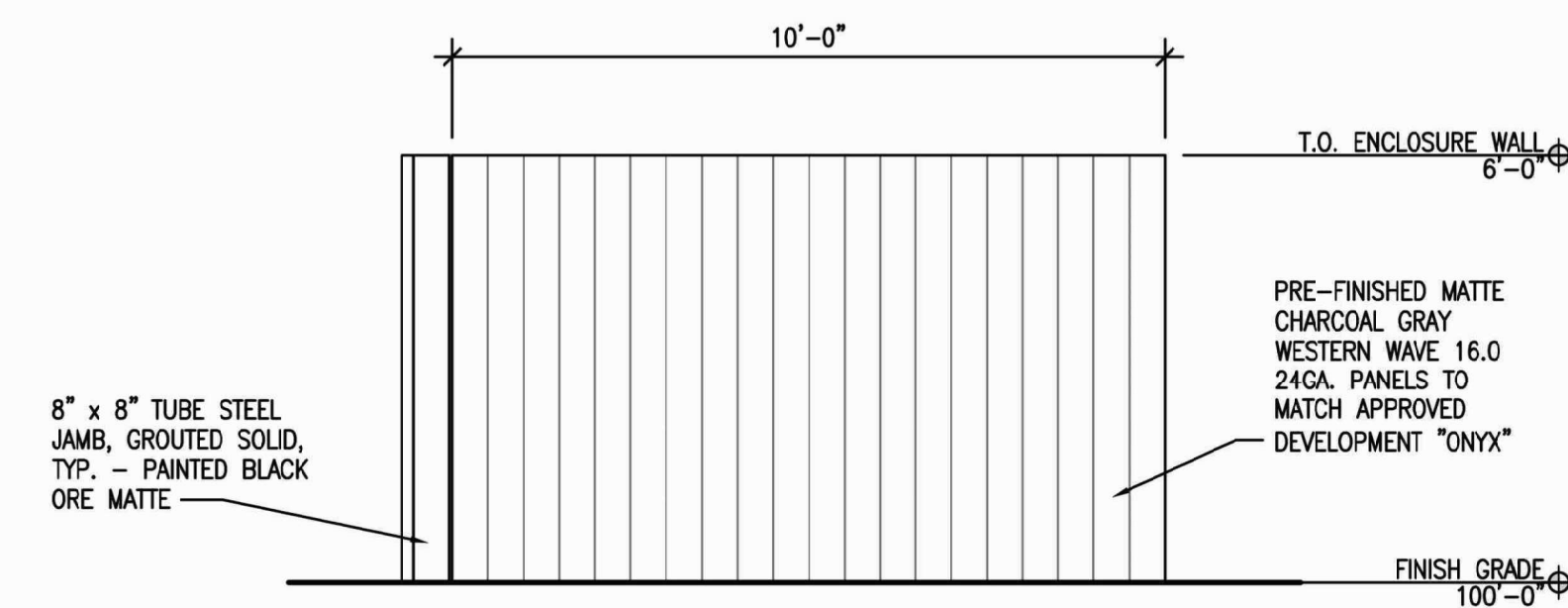


DUMPSTER ENCLOSURE PLAN
1/4"=1'-0"

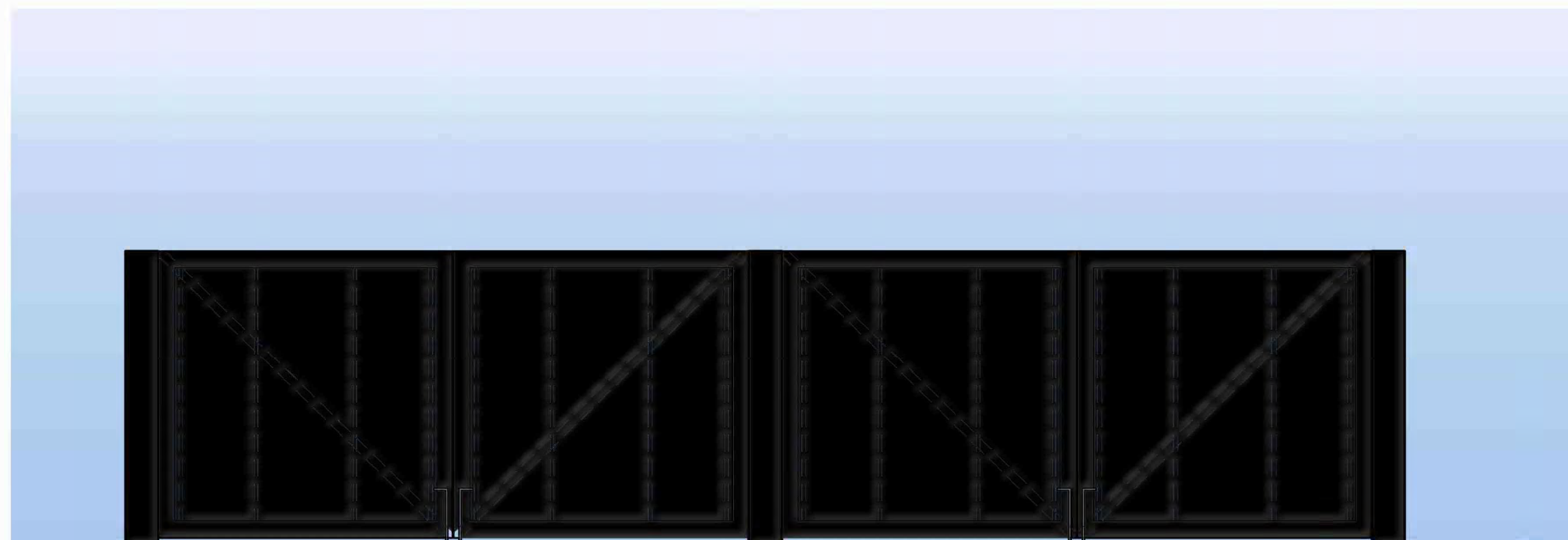
DUMPSTER ENCLOSURE DETAIL
1'-1/2"=1'-0"



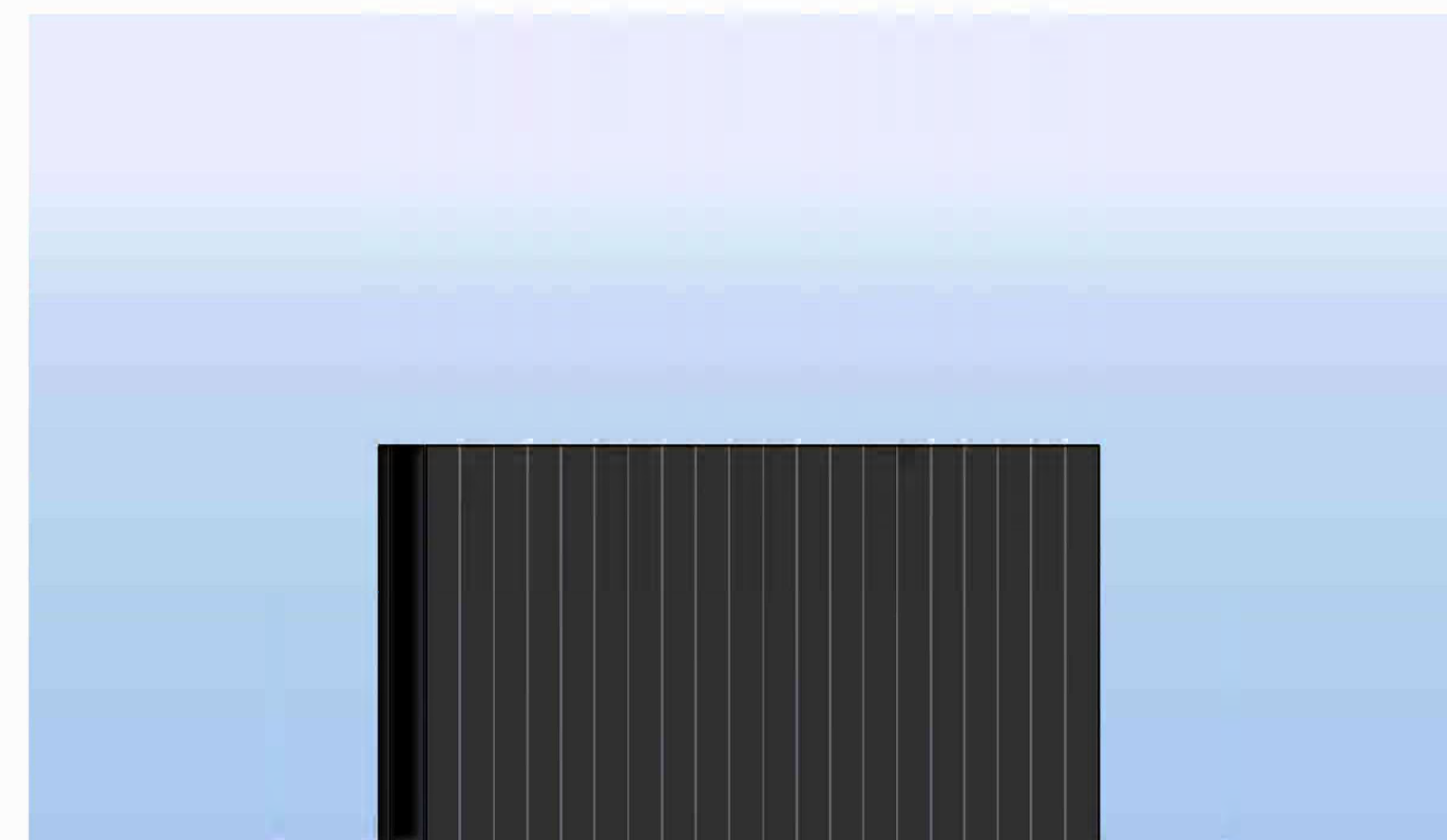
DUMPSTER ENCLOSURE ELEVATION
3/8"=1'-0"



DUMPSTER ENCLOSURE ELEVATION
3/8"=1'-0"



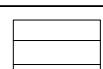
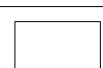
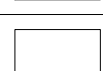
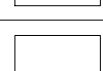
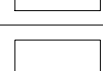
DUMPSTER ENCLOSURE COLOR ELEVATION
1/4"=1'-0"



DUMPSTER ENCLOSURE COLOR ELEVATION
1/4"=1'-0"

[illegible]

FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
 1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR SILVER ZINC MATTE FINISH
 2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY
 3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE
FLASHING, COLUMNS AND CANOPY				
 4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
 5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	SILVER ZINC MATTE
 6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
 7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR - NATURAL GRAY FINISH - BURNISHED

- KEY NOTES ○
- FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
 - STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
 - DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - SIGNAGE. UNDER SEPARATED SUBMITTAL.
 - 48" W X 12" D SERVICE COUNTER AR 34" AFF.
 - DOWNSPOUT DAYLIGHT.
 - EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7).
 - CAP FLASHING.
 - AWNING CORRUGATED METAL PANEL.
 - RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - SCREENED ROOFTOP MECHANICAL
 - GLAZING AT DOOR AND THIS ENTIRE STOREFRONT TO BE DARK TINTED GLASS
 - SCREEN WALL
 - WALL MOUNTED ELECTRIC METER AND DISCONNECT TO BE PAINTED TO MATCH SURROUNDING WALL COLOR.



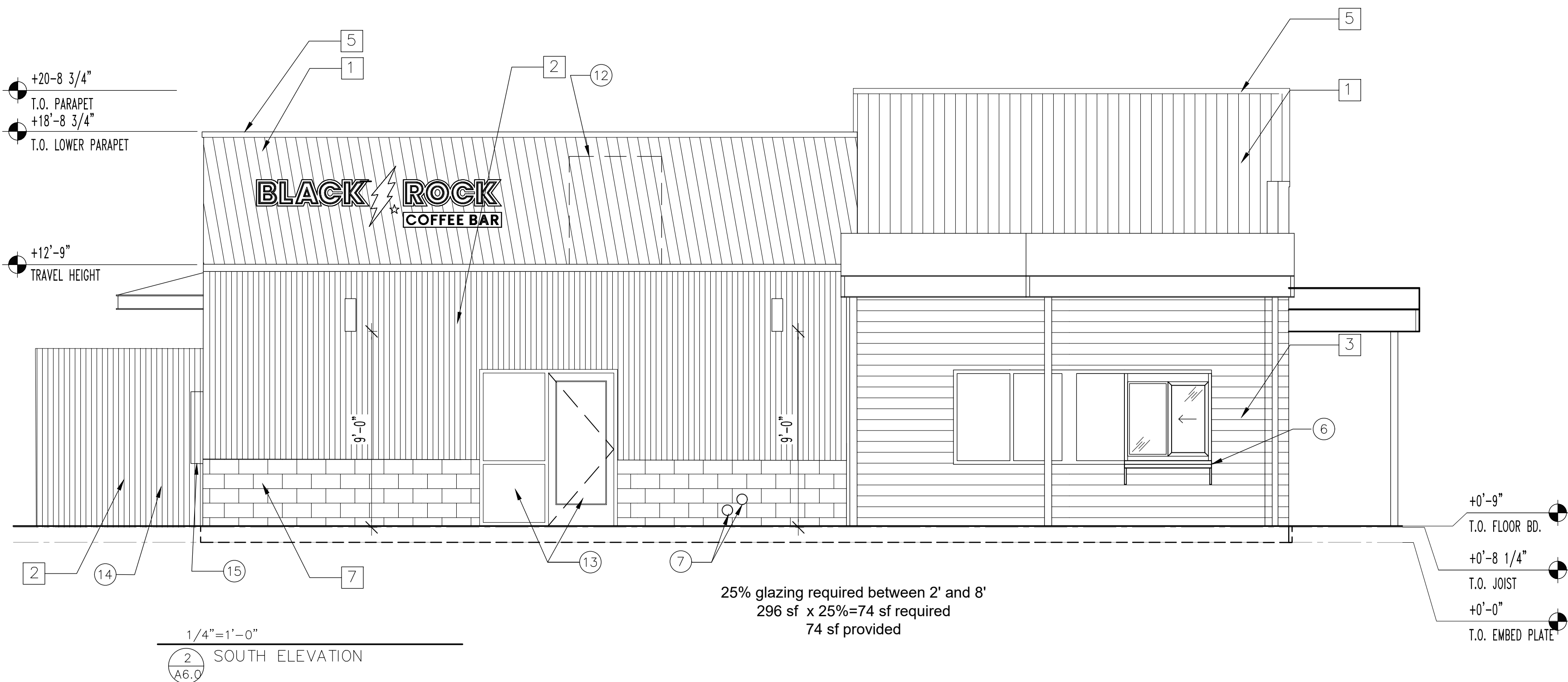
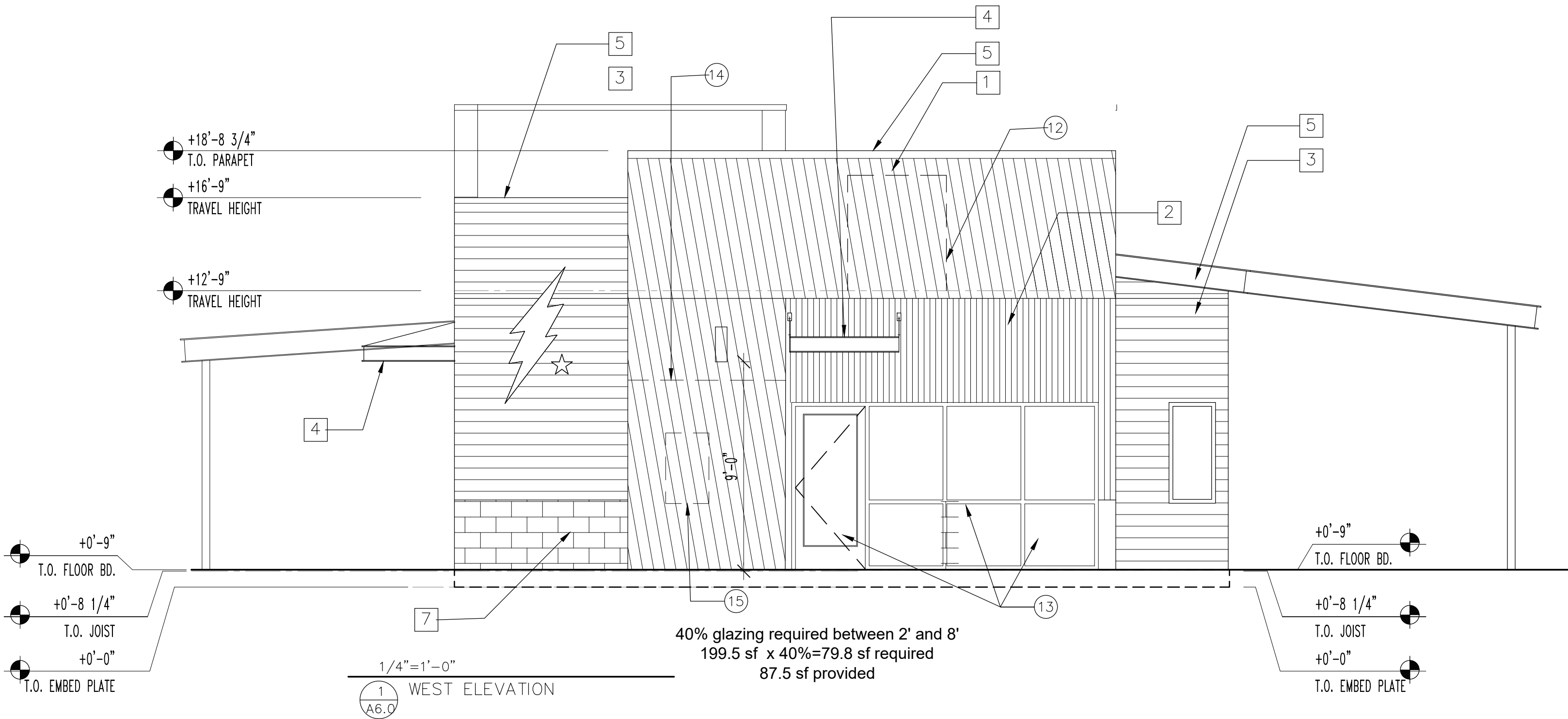
3836 W BUCKEYE RD
BUILDING C
PHOENIX, AZ 85009
623-328-5196

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.
THIS DRAWING IS ONLY FOR USE IN CONNECTION WITH THIS PROJECT AND SHALL NOT BE USED FOR OTHER LOCATIONS. COPYRIGHT 2025.



add #15 to all elevation sheets. #13 on some sheets lists electrical equipment

SIGNS WILL BE REVIEWED FOR COMPLIANCE AND APPROVED THROUGH THE SIGNAGE PERMIT PROCESS



BLACK ROCK COFFEE
MODULAR BUILDING

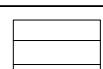
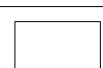
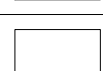
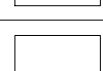
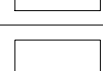


NOT FOR
CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

A6.0

FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
 1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR SILVER ZINC MATTE FINISH
 2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY
 3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE
FLASHING, COLUMNS AND CANOPY				
 4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
 5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	COLOR SILVER ZINC MATTE
 6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
 7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR ONXY TO MATCH APPROVED DEVELOPMENT PALETTE

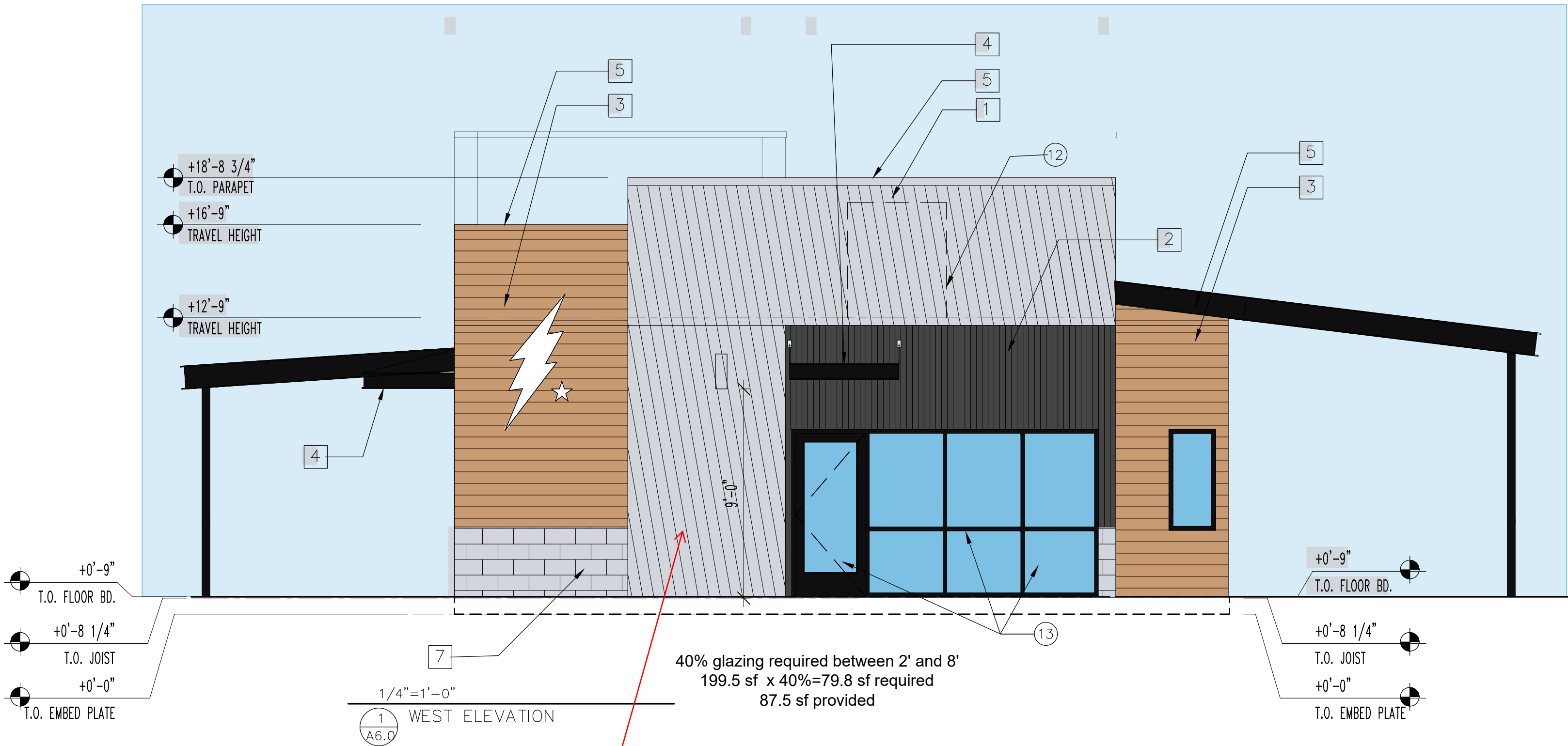
- KEY NOTES
- FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
 - STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
 - DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - SIGNAGE. UNDER SEPARATED SUBMITTAL.
 - 48" W X 12" D SERVICE COUNTER AR 34" AFF. DOWNSPOUT DAYLIGHT.
 - EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7), CAP FLASHING.
 - AWNING CORRUGATED METAL PANEL.
 - RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - SCREENED ROOFTOP MECHANICAL GLAZING AT DOOR AND THIS ENTIRE STOREFRONT TO BE DARK TINTED GLASS SCREEN WALL



3836 W BUCKEYE RD
BUILDING C
PHOENIX, AZ 85009
623-328-5196

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.

THIS DRAWING IS ONLY FOR USE IN CONNECTION WITH THIS PROJECT AND SHALL NOT BE USED FOR OTHER LOCATIONS. COPYRIGHT 2025.



shown as gray in drawings

SIGNS WILL BE REVIEWED FOR COMPLIANCE AND APPROVED THROUGH THE SIGNAGE PERMIT PROCESS



BLACK ROCK COFFEE
MODULAR BUILDING

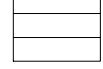


NOT FOR
CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

A6.0

FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
 1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR SILVER ZINC MATTE FINISH
 2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY
 3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE
FLASHING, COLUMNS AND CANOPY				
 4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
 5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	COLOR SILVER ZINC MATTE
 6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
 7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR - NATURAL GRAY FINISH - BURNISHED

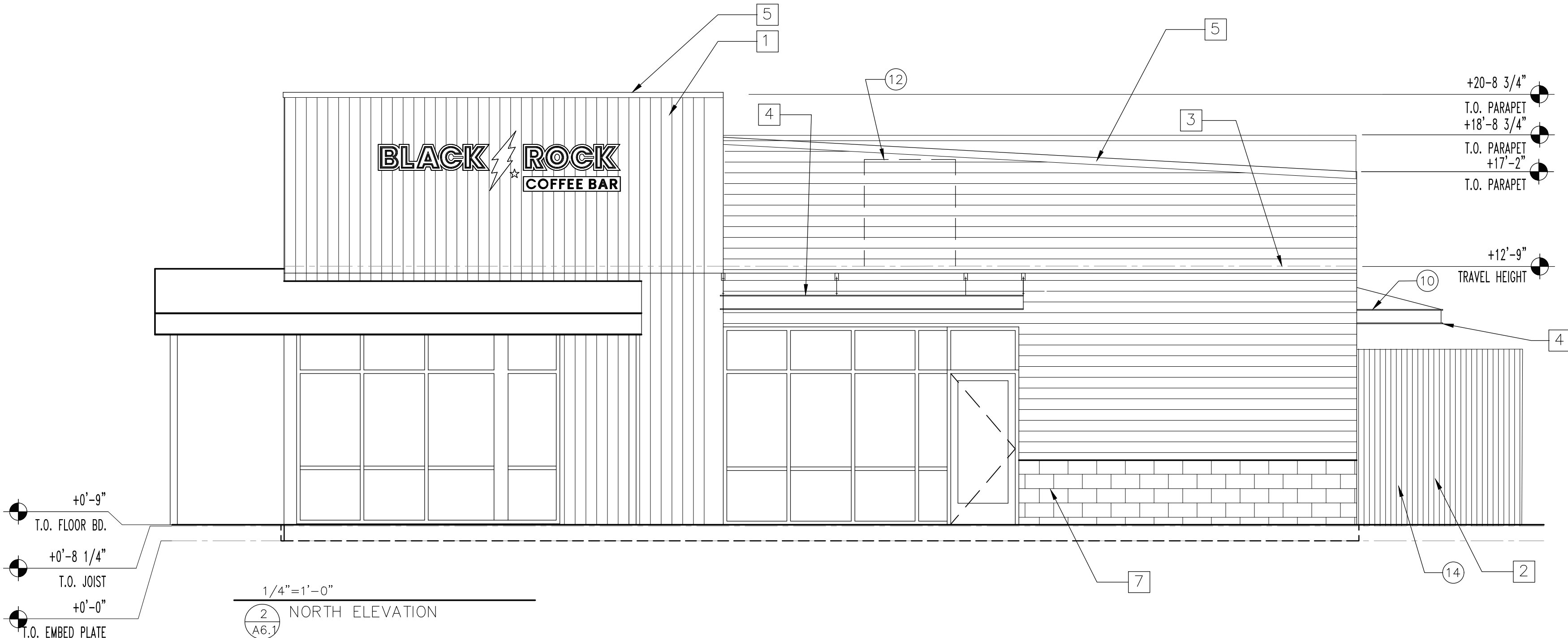
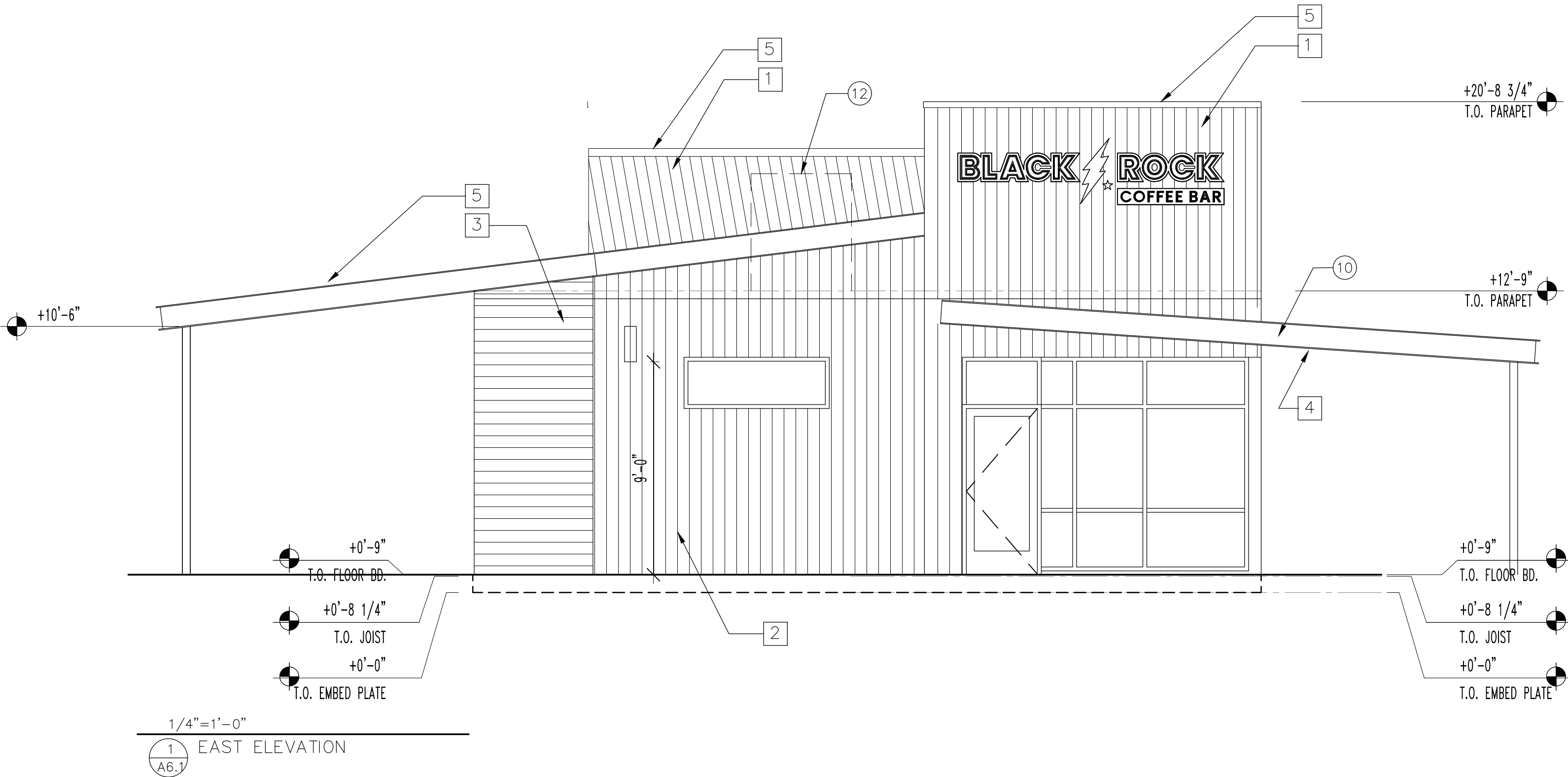
- KEY NOTES
- FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
 - STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
 - DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - SIGNAGE. UNDER SEPARATED SUBMITTAL.
 - 48" W X 12" D SERVICE COUNTER AR 34" AFF.
 - DOWNSPOUT DAYLIGHT.
 - EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7).
 - CAP FLASHING.
 - AWNING CORRUGATED METAL PANEL.
 - RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - SCREENED ROOFTOP MECHANICAL
 - ELECTRICAL METER AND DISCONNECT
 - SCREEN WALL



3836 W BUCKEYE RD
BUILDING C
PHOENIX, AZ 85009
623-328-5196

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.

THIS DRAWING IS ONLY FOR USE IN CONNECTION WITH THIS PROJECT AND SHALL NOT BE USED FOR OTHER LOCATIONS. COPYRIGHT 2025.



BLACK ROCK COFFEE
MODULAR BUILDING

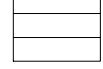


NOT FOR
CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

A6.1

FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
 1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	PREFINISHED COLOR SILVER ZINC MATTE FINISH
 2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	PREFINISHED MATTE CHARCOAL GRAY
 3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 9 1/4" WIDE	PRE-FINISHED SAND CASTLE
FLASHING, COLUMNS AND CANOPY				
 4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH DEVELOPMENT METAL AWNINGS	SW4026 SLATE GRAY
 5	PAINTED STEEL	WESTERN STATES	PREFINISHED PARAPET CAP	COLOR SILVER ZINC MATTE
 6	PAINTED STEEL	SHERWIN WILLIAMS	PREFINISHED PARAPET CAP	COLOR MATTE CHARCOAL GRAY
 7	MASONRY	ANGELUS BLOCK	SMOOTH FACE	COLOR ONXY TO MATCH APPROVED DEVELOPMENT PALETTE

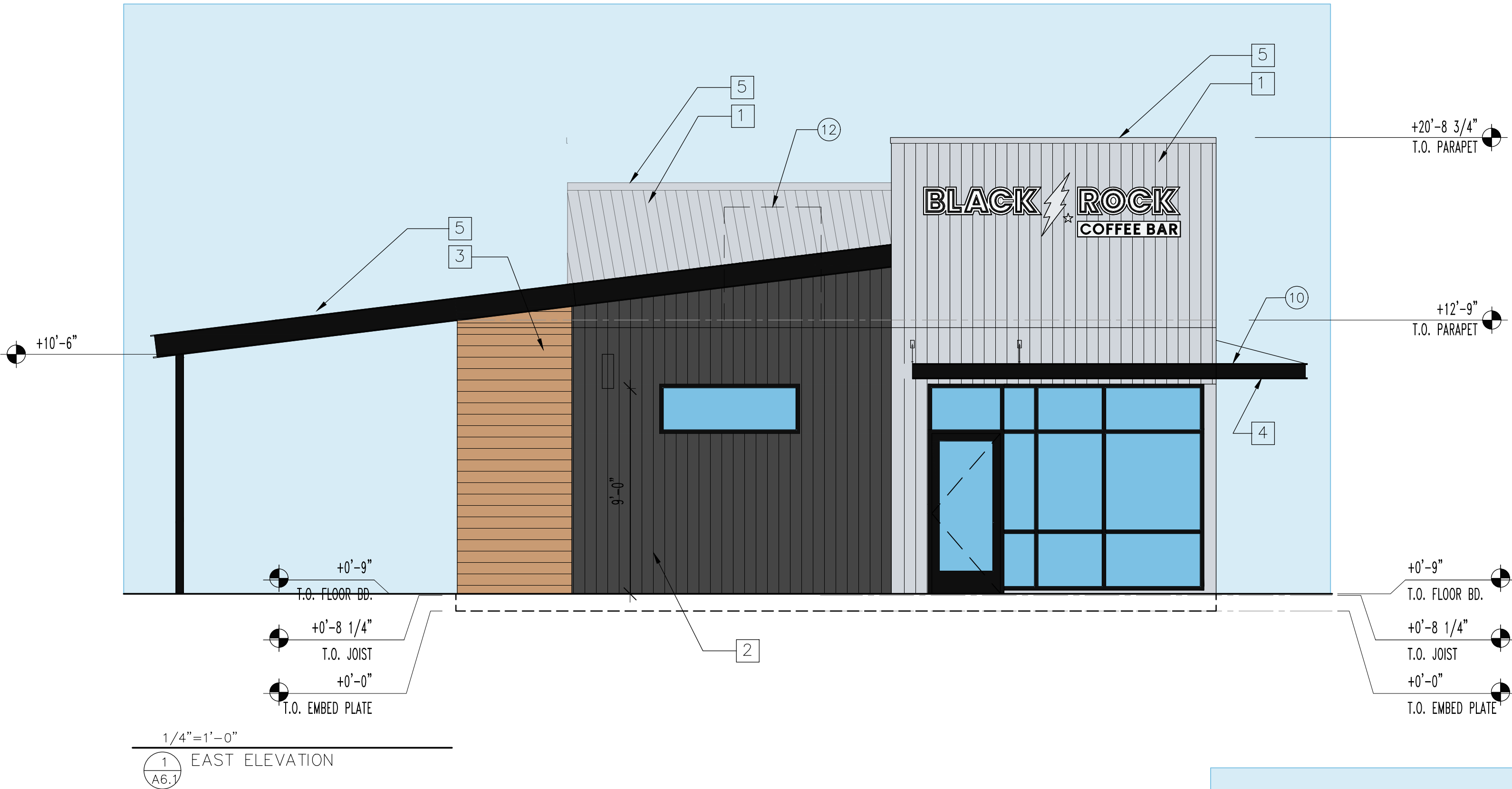
- KEY NOTES
- FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
 - STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
 - DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - SIGNAGE. UNDER SEPARATED SUBMITTAL.
 - 48" W X 12" D SERVICE COUNTER AR 34" AFF.
 - DOWNSPOUT DAYLIGHT.
 - EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7), CAP FLASHING.
 - AWNING CORRUGATED METAL PANEL.
 - RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - SCREENED ROOFTOP MECHANICAL
 - ELECTRICAL METER AND DISCONNECT
 - SCREEN WALL



3836 W BUCKEYE RD
BUILDING C
PHOENIX, AZ 85009
623-328-5196

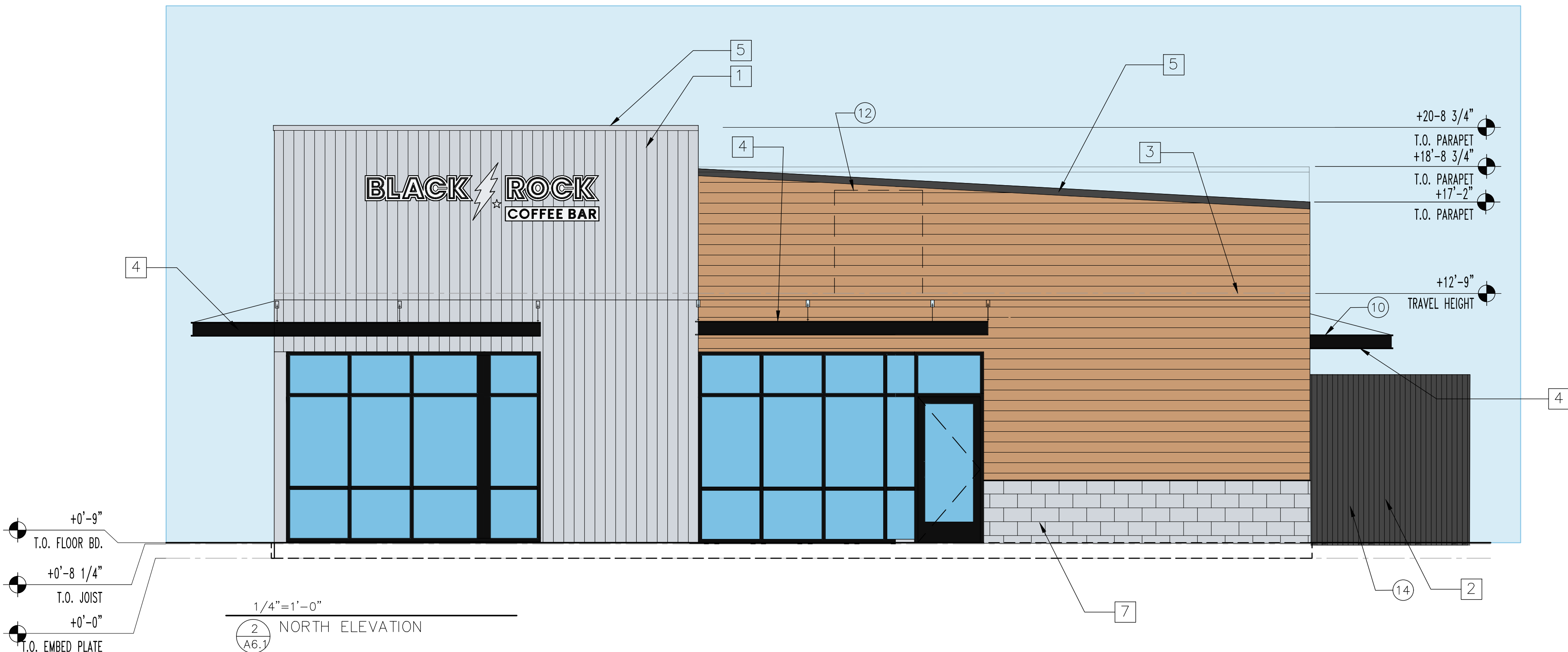
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF RUSSO LLC. UNAUTHORIZED USE OF REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.

THIS DRAWING IS ONLY FOR USE IN CONNECTION WITH THIS PROJECT AND SHALL NOT BE USED FOR OTHER LOCATIONS. COPYRIGHT 2025.



show transparency calculations
for these facades

east - 25%
north - 40%



BLACK ROCK COFFEE
MODULAR BUILDING



NOT FOR
CONSTRUCTION

CONTROL # 001
JOB NUMBER:
DATE: 2-4-25
CONTENTS:
EXTERIOR ELEVATIONS

A6.1



Project Number: SP24-128

Description: Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop

Applied: 12/9/2024

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: ,

Status: UNDER REVIEW 3

Applicant: Atwell LLC

Parent Project: SUB23-016

Owner: Brad Willett

Contractor: <NONE>

Details:

The applicant, Black Rock Coffee, is proposing a Site Plan for a coffee shop with a drive through. The site is located southeast of the intersection of Parker Road and Stroh Road.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
-----------	---------------	----------	------	---------	--------	---------

Review Group: ALL

12/18/2024	12/30/2024	12/30/2024	COMPLETENESS REVIEW	Julia Duncan	COMPLETED	
------------	------------	------------	---------------------	--------------	-----------	--

Notes:

From: Duncan, Julia <jduncan@parkerco.gov>
Sent: Monday, December 30, 2024 11:33 AM
To: Nicholas Salazar <nsalazar@atwell.com>
Cc: Khadeja Sarwar <ksarwar@atwell.com>; Catey Atchley <catchley@atwell.com>; Carlos Casas <ccasas@atwell.com>; Samantha Villegas <svillegas@atwell.com>; Sophia Kidd <skidd@atwell.com>
Subject: Re: SP24-128 - Parker Pointe Coffee

Good Morning Nick,

I have deemed the submittal complete for submittal requirements. However, we will need fees paid prior to sending out on referral. I am waiting for Engineering staff to add those fees and will keep you posted. Can you please let me know if you will be paying with a credit card or by check?

Sincerely,

Julia

7/21/2025		8/4/2025	MAGELLAN PIPELINE 10	Clara Lucero		
-----------	--	----------	----------------------	--------------	--	--

Notes:

7/21/2025		8/4/2025	CDOT ACCESS 10	CDOT Referrals		
-----------	--	----------	----------------	----------------	--	--

Notes:

7/21/2025		8/4/2025	CDOT REGION 1 10	CDOT Referrals		
-----------	--	----------	------------------	----------------	--	--

Notes:

Review Group: AUTO						
12/9/2024			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
12/9/2024	12/30/2024	12/23/2024	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						
Review Group: SP 2ND 15						

3/19/2025	4/2/2025	4/9/2025	CONST PLANS - ENVIRONMENTAL 15	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
-----------	----------	----------	--------------------------------	---------------	--------------------	-----------------------------------



PARKER
COLORADO

Project Reviews Town of Parker

Notes:

SP24-128 Parker Point, Black Rock Coffee – 2nd Environmental Review, 4-1-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (All Erosion Control Plan Sheets)

1. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.
2. Please provide and use Parker's complete Legend of Keys/Symbols to correspond to the Parker's 31 CBMP Details on the Erosion Control plan sheets.
3. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker's CBMP Legend, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
4. Initial Erosion Control Plan Sheet: Only show the Initial CBMPs, Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with Inlet Protection outside of the site. Initial sheet should show the site as it currently exists, a dirt lot. Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project. Interim sheet should show the parking lot/driveway and building layout with the proposed stormwater. Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established. Final sheet would show the layout of the completed site.
5. Please add a callout/label on all properties adjacent to the project stating: "NO WORK SHALL OCCUR IN THIS AREA". These areas must be shaded for easy identification.

INITIAL CBMP PLANS

6. Initial Erosion Control Plan Sheet: Only show the Initial CBMPs, Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with Inlet Protection outside of the site. Initial sheet should show the site as it currently exists, a dirt lot. Silt Fence Perimeter Control is required for the entire site.
7. Please show existing grading contours and provide arrows to indicate the direction of stormwater flow after removing all proposed construction diagrams (buildings and parking lot/sidewalks).
8. Please show Inlet Protection on the existing inlet located to the south of the site on the Declan Drive.

INTERIM CBMP PLANS

9. Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project. Interim sheet should show the parking lot/driveway and building layout with the proposed stormwater.
10. Please show Inlet Protection on the existing inlet located to the south of the site on the Declan Drive.
11. Please remove the roadway striping arrows from the plan sheet to avoid confusion with the stormwater flow arrows.
12. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
13. Parker does not allow the use of sandbags, you must use SCL or SF.

FINAL CBMP PLANS

14. Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established. Final sheet would show the layout of the completed site identifying the native grass areas and the landscaped areas.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwlqhwaf3eQJxzs/view?usp=drive_link

CBMP Details

<http://parkeronline.org/532/Construction-Best-Management-Practices>

Erosion Control CBMP Checklist (See Appendix D)

Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)



PARKER
COLORADO

Project Reviews Town of Parker



3/19/2025	4/4/2025	4/9/2025	CONSTRUCTION PLANS - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
3/19/2025	4/4/2025	4/9/2025	DRAINAGE REPORT - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
3/19/2025	3/26/2025	4/9/2025	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See Notes
Notes:						
There are issues that require attention; see response letter and address all issues when resubmitting.						
3/19/2025	4/8/2025	4/9/2025	IREA 15	Brooks Kaufman	DENIED	Provide transformer and Metering locations
Notes:						
The applicant didn't address CORE's previous comments to provide the transformer and metering locations. The locations will be required to meet CORE's clearance requirements and the Town's approval.						
The applicant will be required to relocate CORE's existing facilities prior to the start of construction.						
3/19/2025	4/4/2025	4/9/2025	SITE PLAN - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
3/19/2025	4/9/2025	4/9/2025	SITE PLAN 15	Amber Wood Hicken	REVISIONS REQUIRED	
Notes:						
See planning comments 02						
3/19/2025	4/4/2025	4/9/2025	TRAFFIC IMPACT STUDY - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
4/4/2025	4/7/2025	4/25/2025	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See response
Notes:						
Review Group: SP 2ND 15 ADD						
3/19/2025	4/9/2025	4/9/2025	PARKER WATER AND SANITATION DISTRICT 15	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes:						
Please see uploaded red lined plans, review letter, and 22 foot hydrant easement.						
Please feel free to reach out with any questions you may have.						



PARKER
COLORADO

Project Reviews Town of Parker



Review Group: SP GRP 10

1/3/2025	1/15/2025	2/3/2025	BUILDING 10	Randy Capra	ADVISORY COMMENTS	01 REVIEW 20
----------	-----------	----------	-------------	-------------	----------------------	--------------

Notes:

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2025. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. Note – for projects received after December 31, 2024, all projects will be required to meet the requirements of the 2023 NEC. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

1/3/2025		2/3/2025	CENTURYLINK COMMUNICATIONS 10	CenturyLink		01 REVIEW 20
----------	--	----------	----------------------------------	-------------	--	--------------

Notes:

1/3/2025	1/6/2025	2/3/2025	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 10	Val Endyk	ADVISORY COMMENTS	See Notes
----------	----------	----------	---	-----------	----------------------	-----------

Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP24-128, Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

1/3/2025		2/3/2025	COMCAST 10	Butch Buster		01 REVIEW 20
----------	--	----------	------------	--------------	--	--------------

Notes:



PARKER
COLORADO

Project Reviews Town of Parker



1/3/2025	2/3/2025	2/3/2025	CONST PLANS - ENVIRONMENTAL 10	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
----------	----------	----------	--------------------------------	---------------	--------------------	-----------------------------------

Notes:

SP24-128 Parker Point, Black Rock Coffee – 1st Environmental Review, 2-3-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS

1. Please note: Civil Plans must include multiple Erosion Control Plan Sheets referencing the Initial, Interim and Final phases of the project.
Initial Erosion Control Plan Sheet: Only show the Initial CBMPs (Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, Inlet Protection, and existing stormwater utilities).
Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project.
Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established.
2. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.

(These Notes Required on ALL EROSION CONTROL PLAN SHEETS, Initial, Interim and Final)

3. Please add a general note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.
4. Please add a general note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
5. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON RESIDENTIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.”
6. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”
7. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
8. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
9. Please add a general note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive_link

Stormwater/Storm Drainage and Environmental Criteria Manual
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

Roadway Design/Construction Criteria Manual
Roadway-Design--Construction-Criteria-Manual (parkerco.gov)

Erosion Control CBMP Checklist (See Appendix D)
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

1/3/2025	2/4/2025	2/3/2025	CONSTRUCTION PLANS - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
----------	----------	----------	-------------------------------	--------------------	--------------------	---------------------------------

Notes:

1/3/2025	2/3/2025	2/3/2025	DOUGLAS COUNTY ASSESSORS OFFICE 10	Marian Woodward	NO COMMENT	01 REVIEW 20
----------	----------	----------	------------------------------------	-----------------	------------	--------------

Notes:



PARKER
COLORADO

Project Reviews Town of Parker



1/3/2025	1/6/2025	2/3/2025	DOUGLAS COUNTY ENGINEERING DIVISION 10	DC Referrals	NOT APPLICABLE	01 REVIEW 20
Notes: N/A						
1/3/2025	1/24/2025	2/3/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 10	DC Referrals	ADVISORY COMMENTS	01 REVIEW 20
Notes: See the attached Referral Comment Report.						
1/3/2025		2/3/2025	DOUGLAS COUNTY SCHOOL DISTRICT RE1 10	Shavon Caldwell		01 REVIEW 20
Notes:						
1/3/2025	2/4/2025	2/3/2025	DRAINAGE REPORT - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
1/3/2025	1/15/2025	2/3/2025	FIRE LIFE SAFETY 10	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: See response letter named "SP24-128 Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop [1] Fire Life Safety Response Ltr 011525" and address all comments... as well as providing a written response to the letter provided.						
1/3/2025	1/31/2025	2/3/2025	IREA 10	Brooks Kaufman	REVISIONS REQUIRED	01 REVIEW 20
Notes: The applicant will be required to provide the transformer and metering locations; meet CORE's clearance requirements and the Town of Parker requirements. CORE has existing cubical that will be required to be relocated prior to issuing grading permit. Grade may not change +/- 6 inches within CORE's existing 15-foot easement. CORE will require additional easement by separate document at electric design for electric facilities. The applicant will be required to provide parking lot lighting plan, parking lot lights may not encroach into utility easements or CORE easement.						
1/3/2025	2/4/2025	2/3/2025	PLAT - CIVIL 10	Charles Kudlauskas	NOT APPLICABLE	01 REVIEW 20
Notes:						
1/3/2025		2/3/2025	POLICE 10	Greg Epp		01 REVIEW 20
Notes:						
1/3/2025		2/3/2025	PSCO RESIDENTIAL SUBDIVISIONS 10	Xcel Energy		01 REVIEW 20
Notes:						



PARKER
COLORADO

Project Reviews Town of Parker



1/3/2025	1/28/2025	2/3/2025	PUBLIC SERVICE COMPANY OF COLORADO 10	Donna George	COMPLETED	please see attached
Notes: please see attached						
1/3/2025	1/31/2025	2/3/2025	SITE PLAN - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
1/3/2025	2/4/2025	2/3/2025	SITE PLAN 10	Julia Duncan	REVISIONS REQUIRED	01 REVIEW 20
Notes: From: Duncan, Julia <jduncan@parkerco.gov> Sent: Tuesday, February 4, 2025 4:55 PM To: nsalazar@atwell.com <nsalazar@atwell.com>; tony@br.coffee <tony@br.coffee>; Brad@wildercolorado.com <Brad@wildercolorado.com> Subject: SP24-128 STAFF COMMENTS REVIEW 01 Good Morning, Staff has completed the review for SP24-128. Attached are the Planning Division's comments and redlines for the first round of review. A copy of these documents are also available in the project file in eTRAKiT. Please note, all other reviews referenced within the comment letter can be found in eTRAKiT. If you would like to schedule time to discuss these comments in detail, please email me and we will get something on the calendar. If you prefer to address the comments and resubmit, please email me when your resubmittal is made so that I can send the information out for the next review cycle. Please let me know if you have any questions. Sincerely, Julia						
1/3/2025	1/31/2025	2/3/2025	TRAFFIC IMPACT STUDY - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
1/3/2025		2/3/2025	URBAN DRAINAGE AND FLOOD CONTROL 10	UDFCD		01 REVIEW 20
Notes:						



PARKER
COLORADO

Project Reviews Town of Parker



7/8/2025	7/21/2025	7/21/2025	CONST PLANS - ENVIRONMENTAL 10	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
----------	-----------	-----------	--------------------------------	---------------	--------------------	-----------------------------------

Notes:

SP24-128 Parker Point, Black Rock Coffee – 3rd Environmental Review, 7-21-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (All Erosion Control Plan Sheets)

1. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker's CBMP Legend, General Notes & CBMP Details (in Alphabetical Order). Keys/Symbols (1st) SHOWN TWICE, General Notes (2nd) IS MISSING. See link below for layout and use.
2. Please add a callout/label on all properties adjacent to the project stating: "NO WORK SHALL OCCUR IN THIS AREA". These areas must be shaded for easy identification.

INITIAL CBMP PLANS

3. Please show construction fence along the south side of the VTC to ensure use of the entire 50-foot pad.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

https://drive.google.com/file/d/1oE5TRyFktV-bdRygdUwIqhWaf3eQJxzs/view?usp=drive_link

7/8/2025	7/21/2025	7/21/2025	CONSTRUCTION PLANS - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
----------	-----------	-----------	-------------------------------	--------------------	--------------------	--------------------

Notes:

Please address minor comments to the Construction Plans. See attached memo.

7/8/2025	7/21/2025	7/21/2025	DRAINAGE REPORT - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
----------	-----------	-----------	----------------------------	--------------------	--------------------	--------------------

Notes:

Please address minor comments to the Drainage Report. See attached memo.

7/8/2025	7/9/2025	7/21/2025	FIRE LIFE SAFETY 10	Randy Capra	APPROVED	
----------	----------	-----------	---------------------	-------------	----------	--

Notes:

7/8/2025	7/18/2025	7/21/2025	IREA 10	Brooks Kaufman	DENIED	CORE & Town approval transformer and meter locations
----------	-----------	-----------	---------	----------------	--------	--

Notes:

Update site plan proposed relocate of transformer is not a transformer but a cubical (junction) and will be required to prior to grading permit. The applicant responses are not sufficient for CORE or the town to approve.

Transformer and metering location will be required to be final on next review to meet CORE's and Town's requirements.

7/8/2025		7/21/2025	SITE PLAN 10	Amber Wood Hicken		
----------	--	-----------	--------------	-------------------	--	--

Notes:



PARKER
COLORADO

Project Reviews Town of Parker



7/8/2025	7/21/2025	7/21/2025	TRAFFIC IMPACT STUDY - CIVIL 10	Charles Kudlauskas	COMPLETED	
Notes:						
7/21/2025	7/21/2025	8/4/2025	SITE PLAN - CIVIL 10	Charles Kudlauskas	COMPLETED	
Notes:						
Review Group: SP GRP 10 ADD						
1/3/2025	2/3/2025	2/3/2025	PARKER WATER AND SANITATION DISTRICT 10	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes: Please see red lined plans. Please provide fixture count worksheet. Please provide an Address for the building. Please provide irrigation and Landscape plans. Please feel free to reach out with any questions you may have.						
7/8/2025	7/21/2025	7/21/2025	PARKER WATER AND SANITATION DISTRICT 10	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes: Please note PWSD needs the following documents to complete this project. Signed PWSD plans from South Metro fire. Engineering review fees and Irrigation review fees. Tap fee invoice to be paid in full. PWSD original 20 foot Hydrant Easement agreement.						