

DEVELOPMENT PLANS

FOR



S. PARKER RD & STROH RD PARKER, DOUGLAS COUNTY, COLORADO TAX PARCELS: 234903104014

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

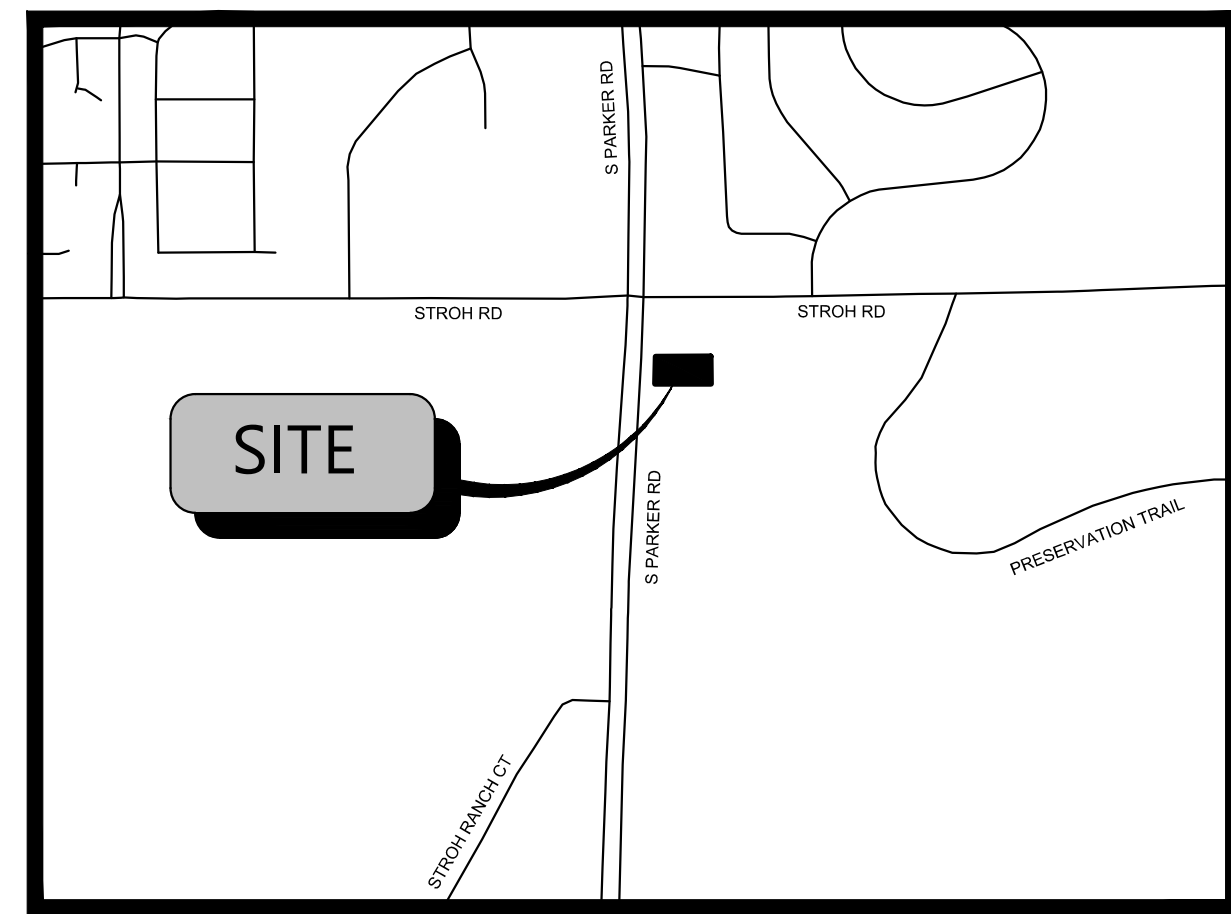
THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ACCEPTS FULL RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY MEMBER STRUCTURES, OR OF ANY OTHER PERSONS.
COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.356.8960

TOWN OF PARKER PLAN SET	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	TOWN GENERAL NOTES
C1.10	TOWN GENERAL NOTES
C1.20	GENERAL NOTES
C2.00	SITE PLAN
C2.10	PAVING AND STRIPING PLAN
C3.00	GRADING PLAN
C3.10	DRAINAGE PLAN
C3.20	INTERIM DAM
C3.30	POST-DEV DAM
C5.00	EROSION CONTROL PLAN
C7.00	DETAILS
C8.00	EROSION CONTROL DETAILS
C8.01	EROSION CONTROL DETAILS
C8.02	EROSION CONTROL NOTES



VICINITY MAP
N.T.S.

The Vicinity Map shall be at a scale of 1"=2,000' and include location and names of all aerial roadways within one mile of proposed construction. Include any major drainageways in this area. (Kinney Creek)



FEMA MAP
N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2015.



AERIAL MAP
N.T.S.

PARKER WATER AND SANITATION PLAN SET	
Sheet Number	Sheet Title
01	WATER AND SEWER COVER SHEET
02	WATER AND SEWER GENERAL NOTES
03	OVERALL UTILITY PLAN
04	WATER PLAN
05	SEWER PLAN AND PROFILE
06	WATER DETAILS
07	WATER DETAILS
08	SEWER DETAILS
09	SEWER DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE SPECIFICATIONS AND DETAILS
L2.01	IRRIGATION PLAN
L2.01	IRRIGATION SPECIFICATIONS AND DETAILS

BLACK ROCK COFFEE BAR
TOTAL SITE AREA: 0.60 AC. / 25,933 SF.
DISTURBED AREA: 0.67 AC. / 29,406 SF.
ZONING: MODIFIED COMMERCIAL

DEVELOPMENT TEAM

OWNER	CIVIL ENGINEER	SURVEYOR	DEVELOPER
DOUBLETREE VENTURES, LLC P.O. BOX 40326 DENVER, CO 80204 CONTACT: BRIAN ZUREK EMAIL: BRIAN@DOUBLETREEVENTURES.COM	ATWELL, LLC 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND HILLS, TX 76180 PHONE: (###) ###-#### CONTACT: NICHOLAS SALAZAR EMAIL: NSALAZAR@ATWELL.COM	BARRON LAND 2790 N. ACADEMY BLVD., SUITE 311 COLORADO SPRINGS, CO 80917 PHONE: (719) 360-6827 CONTACT: SPENCER BARRON	BLACK ROCK COFFEE BAR 16307 NE CAMERON BLVD PORTLAND, OR 97230 PHONE: (541) 531-2149 CONTACT: TONY POLLOTTA

SUBMITTAL DATE

SUBMITTAL - 2024-12-09

PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THEY CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES. EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS, AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

LEGAL DESCRIPTION

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD:
6940 STROH ROAD, PARKER, CO

BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NADV88)

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

GOVERNING AGENCIES AND UTILITY CONTACTS

WATER & WASTEWATER

PARKER WATER AND SANITATION DISTRICT
13939 ANCESTRY DRIVE
PARKER, CO 80134
PHONE: (303) 841-4627
EMAIL: RRAMSEY@PWSD.ORG
CONTACT: ROBERT RAMSEY

~~STORM DRAINAGE PROVIDER~~

~~TOWN OF PARKER PUBLIC WORKS
20120 E. MAIN STREET
PARKER, CO 80138
CONTACT: CHRIS HUDSON~~

FIRE PROTECTION

TOWN OF PARKER FIRE AND LIFE SAFETY
20120 E. MAINSTREET
PARKER, CO 80138
PHONE: (303) 805-3169
CONTACT: RANDY CAPRA
EMAIL: RCAPRA@PARKERONLINE.ORG

ENGINEERING DEPARTMENT

TOWN OF PARKER ENGINEERING & PUBLIC WORKS
20120 E. MAINSTREET
PARKER, CO 80134
PHONE: (303) 841-4627 (303) 840 9546
EMAIL: RRAMSEY@PWSD.ORG ckudlauskas@parkerco.gov
CONTACT: ROBERT RAMSEY Charles kudlauskas

BUILDING PERMIT

TOWN OR PARKING BUILDING DIVISION
20120 E. MAINSTREET
PARKER, CO 80135
PHONE: (303) 841-1970
CONTACT: RANDY SALE
EMAIL: RSALE@PARKERONLINE.ORG

GAS PROVIDER

XCEL ENERGY
1123 WEST 3RD AVE,
DENVER, CO 80223
PHONE: (303) 571-3927
CONTACT: BUILDER'S CALL LINE
(800) 628-1212 X3

PHONE PROVIDER

CENTURYLINK
9750 EAST COSTILLA AVE.
ENGLEWOOD, CO 80112
PHONE: (720) 578-5142

ELECTRIC PROVIDER

CORE ELECTRIC COOPERATIVE
5496 NORTH U.S. HIGHWAY 85
SEDALIA, CO 80135
PHONE: (303) 332-9540
CONTACT: BRUFF SHEA

Please include the sight distance certification on the cover sheet from section 3.1.8 of the RDCCM.

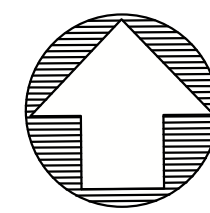
THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.
TOWN OF PARKER, DIRECTOR ENGINEERING DATE

BLACK ROCK COFFEE BAR
BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
COVER SHEET

DATE 2024-12-09

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO: C0.00



811
 Know what's below.
 Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INADEQUACIES OR INACCURACIES IN THE WORK OF ANY MEMBER STRUCTURE, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

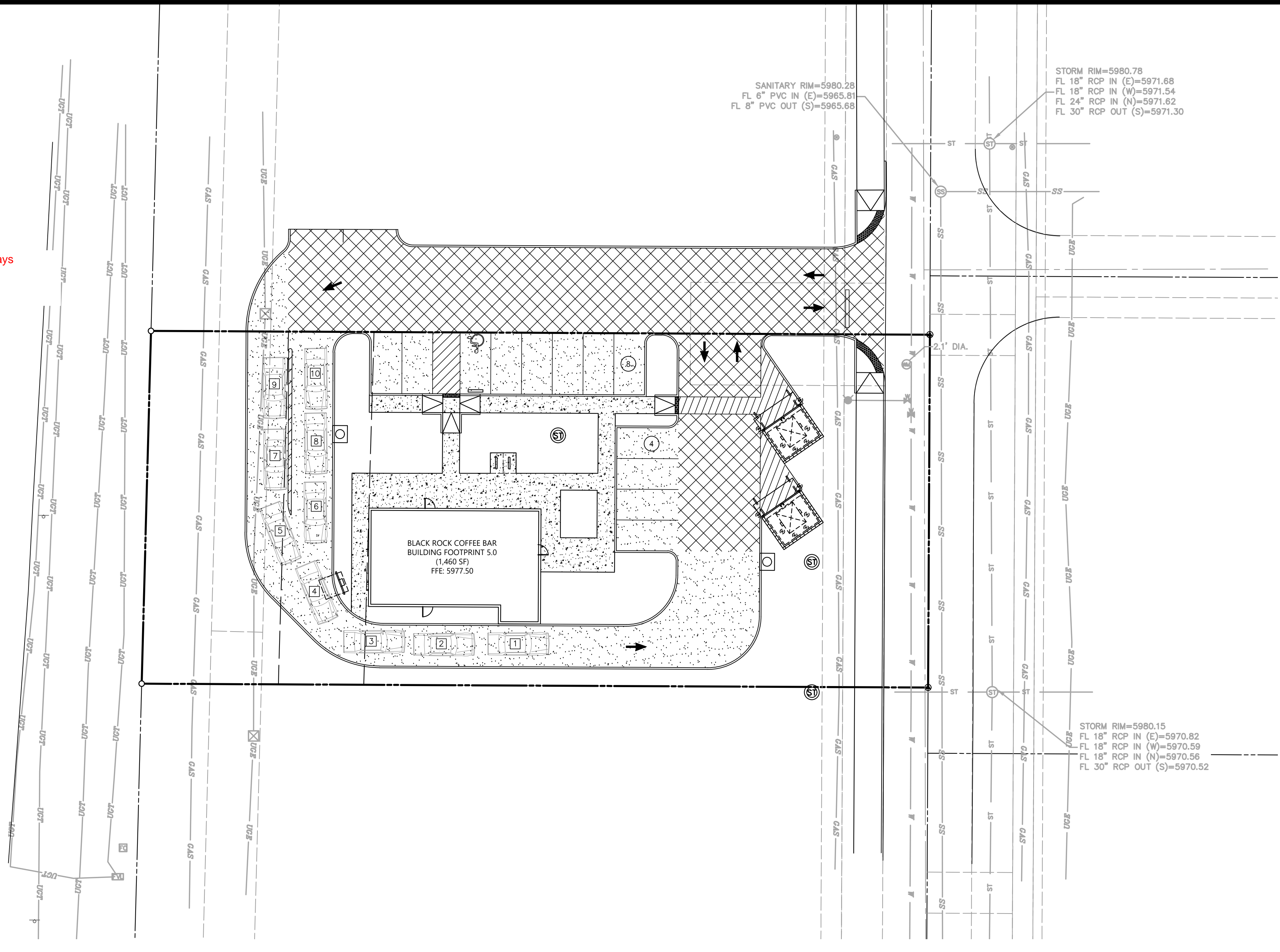
SITE GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
- USE 3" RADII, UNLESS SHOWN OTHERWISE.
- THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY DIAMONDBACK LAND SURVEYING.
- THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
- ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
- ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- FOR WORK IN, OR ADJACENT TO, STREET RIGHT OF WAYS, CONTRACTOR SHALL ENSURE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR TO ERECT AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- ALL PARKING LOT LIGHTING MUST BE INSTALLED AND OPERATE SO AS NOT TO PRODUCE GLARE OR CAST DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE. LOW PRESSURE SODIUM LIGHTING IS PROHIBITED. ALL LIGHTING FIXTURES MUST BE RESTRICTED TO DOWN-LIGHT OR CUT-OFF TYPES.

PAVING AND STRIPING LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED SETBACK LINE
- 6" CURB
- FIRE LANE
- PROPOSED SIDEWALK
- PR. WALKWAY STRIPING
- 2" AC PAVEMENT OVER 10" ABC
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- # OF STACKING
- EXISTING STORM LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING STORM MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED STORM MANHOLE
- PROPOSED 5' CURB INLET

Please show Labels for all Roadways throughout the plans. (TYP)



CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
 1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING _____ DATE _____

ATWELL
 866.850.4200 www.atwell-group.com
 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND HILLS, TX 76180
 972.356.9860

S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 BLACK ROCK COFFEE BAR
 PAVING AND STRIPING PLAN

DATE 2024-12-09

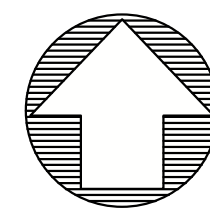
REVISIONS

0 10' 20'
 SCALE: 1"=20'

DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO. C2.10

FILE NAME: \\TOWNSHIP\GIS\PROJECTS\24003198 - C201 SITE PLAN\DWG\24003198 - C201 SITE PLAN.dwg
 PLOTTED BY: K. SARWAR
 DATE: 12/10/2024 10:50 AM
 PLOTTER: HP PLOTTER
 PLOT SCALE: 1"=20'

CAD FILE: 24003198 - C201 SITE PLAN



Know what's below. Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INADEQUATE OR UNSAFE WORKING CONDITIONS OR FOR THE SAFETY OF ANY PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
 866.850.4200 www.atwell-group.com
 9101 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND HILLS, TX 76180
 972.356.8960



BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 BLACK ROCK COFFEE BAR
 GRADING PLAN

DATE 2024-12-09

REVISIONS

REVISIONS

DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO. C300

GRADING LEGEND

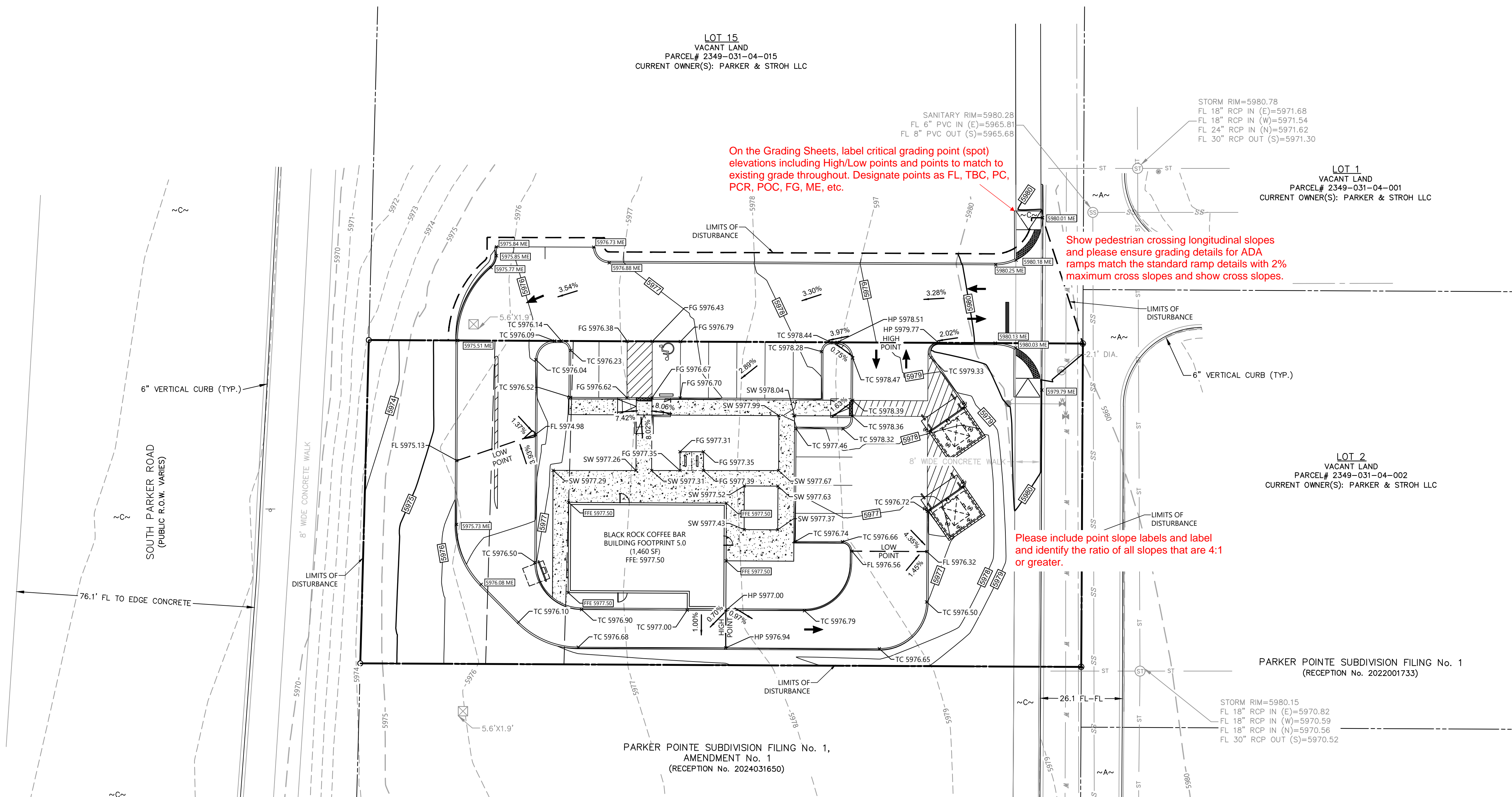
- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED SETBACK LINE
- 119 --- EXISTING MINOR CONTOURS
- 120 --- EXISTING MAJOR CONTOURS
- 119 --- PROPOSED MINOR CONTOUR
- 120 --- PROPOSED MAJOR CONTOUR
- ST --- EXISTING STORM LINE
- W --- EXISTING WATER LINE
- SS --- EXISTING SANITARY SEWER LINE
- ME 123.45 PROPOSED (PR.) SPOT ELEV
- ME 123.45 PR. SPOT ELEV - MATCH EX. GRADE
- TC 123.45 PR. SPOT ELEV - TOP OF CURB
GUTTER/BOTTOM OF CURB = TC - 0.5'
- SW 123.45 PR. SPOT ELEV - SIDEWALK
- FL 123.45 PR. SPOT ELEV - FLOWLINE
- FE 123.45 FINISHED FLOOR ELEVATION
- HP 123.45 PR. SPOT ELEV - HIGH POINT
- 2% PROPOSED SLOPE ARROW
- ST EXISTING STORM MANHOLE
- SS EXISTING SANITARY SEWER MANHOLE
- WM EXISTING WATER METER
- WV EXISTING WATER VALVE
- FD EXISTING FIRE HYDRANT

EARTHWORK QUANTITIES

CUT	607
FILL	81
BALANCE (IMPORT)	526

ABBREVIATION LIST

- EG EXISTING GRADE
- TC TOP OF CURB
- FL FLOW LINE
- SW SIDEWALK
- ME MATCH EXISTING
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- HP HIGH POINT



CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
 1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

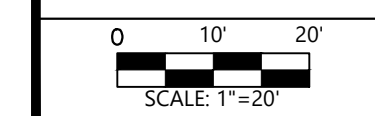
CAUTION: NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

GRADING NOTES:

- GRADES SHOWN ARE PROPOSED FINISHED GRADES.
- ALL PROPOSED GRADES AND SPOT ELEVATIONS INDICATE TOP OF PAVEMENT OR FACE/FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY BARRON LAND.
- THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
- ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STATE, LOCAL, OR FEDERAL REQUIREMENTS.
- REMOVE EXISTING TOPSOIL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PRIOR TO PLACEMENT OF ANY FILL MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEVADA STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
- DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.

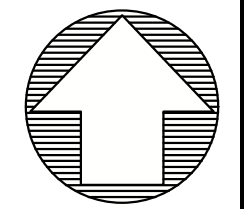
BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NAD08)



FILE NAME: \\f001a1\cadd\24003198 - BCC - Parker & Stroh - Parker_C300_Grading_Plan.dwg LAST SAVED BY: msp 12/16/2024 1:52 PM PLOTTED BY: npsgr 12/16/2024 14:26:46.4636 FILE BEING PLOTTED: 12/16/2024 14:26:46.4636

CAD FILE: 24003198 - C300 GRADING PLAN



Know what's below. Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ACCEPTS FULL RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INJURY OR DAMAGE TO PERSONS OR PROPERTY OF ANY KIND OR FOR THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
 866.850.4200 www.atwell-group.com
 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND HILLS, TX 76180
 972.956.9560

S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
 DRAINAGE PLAN

DATE	2024-12-09
REVISIONS	
DRAWN BY	K. SARWAR
CHECKED BY	N. SALAZAR
PROJECT MANAGER	N. SALAZAR
JOB #	24003198
FILE CODE	##
SHEET NO.	C3.10

DRAINAGE PLAN LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT
- PROPOSED SETBACK LINE
- 119 EXISTING MINOR CONTOURS
- 120 EXISTING MAJOR CONTOURS
- 119 PROPOSED MINOR CONTOUR
- 120 PROPOSED MAJOR CONTOUR
- ST EXISTING STORM LINE
- PROPOSED STORM LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- × 1234 PROPOSED SPOT ELEV
- 2% SLOPE ARROW
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING WATER METER
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING FIRE HYDRANT

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CAUTION: NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING _____ DATE _____

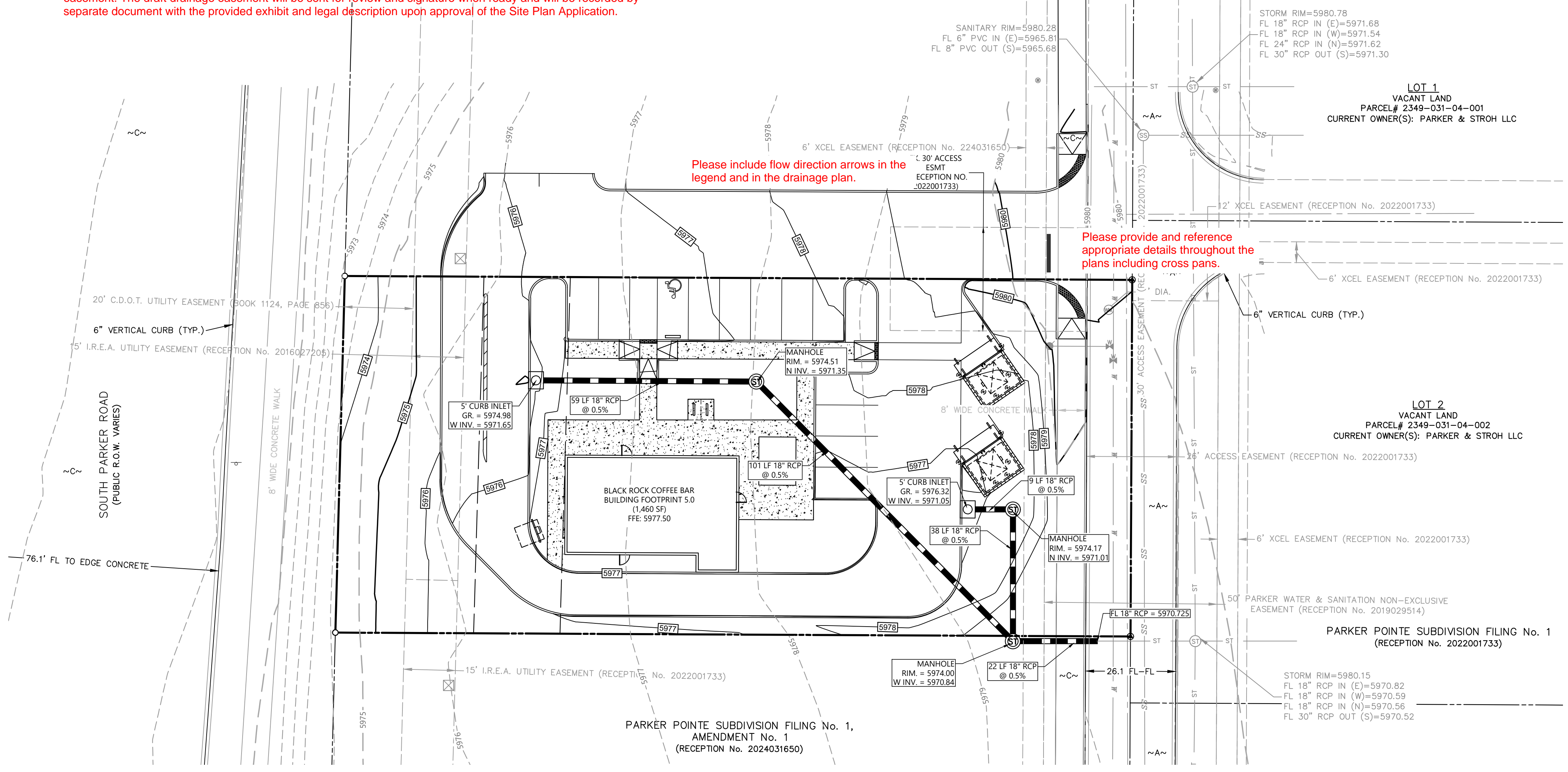
Drainage easements granting the Town legal access to all stormwater facilities located outside the public right-of-way is a requirement to ensure proper construction and maintenance (excluding landscaping and roof drains). Easements by separate document may be necessary when drainage facilities are proposed to be constructed on previously platted parcels. Please see Table 2.8 of the SDECM for proposed easement requirements. Please show existing and proposed drainage easements. Please provide a legal description and exhibit for the proposed easement in future submittals and name of authorized signatory for drafting of the easement. The draft drainage easement will be sent for review and signature when ready and will be recorded by separate document with the provided exhibit and legal description upon approval of the Site Plan Application.

Please include flow direction arrows in the legend and in the drainage plan.

Please provide and reference appropriate details throughout the plans including cross pans.

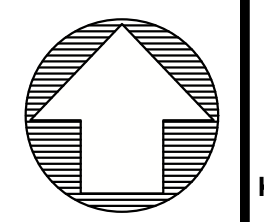
Please provide proposed drainage infrastructure profiles and include HGL's for minor and major storm on drainage profiles.

Include and reference Standard Detail 33 from the RDCCM in the plans.



FILE NAME: \\TOWN\info\24003198 - 0310 DRAINAGE PLAN.dwg - 0310 DRAINAGE PLAN.dwg LAST SAVED BY: map 12/9/2024 2:58 PM EXPLD BY: map 12/9/2024 2:58 PM CHECKED BY: map 12/9/2024 2:58 PM PLOT FILE: ATWELL278

CAD FILE: 24003198 - 0310 DRAINAGE PLAN



811
 Know what's below.
 Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTS OR INJURIES TO PERSONS OR PROPERTY ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
 866.850.4200 www.atwell-group.com
 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND HILLS, TX 76180
 972.266.8660

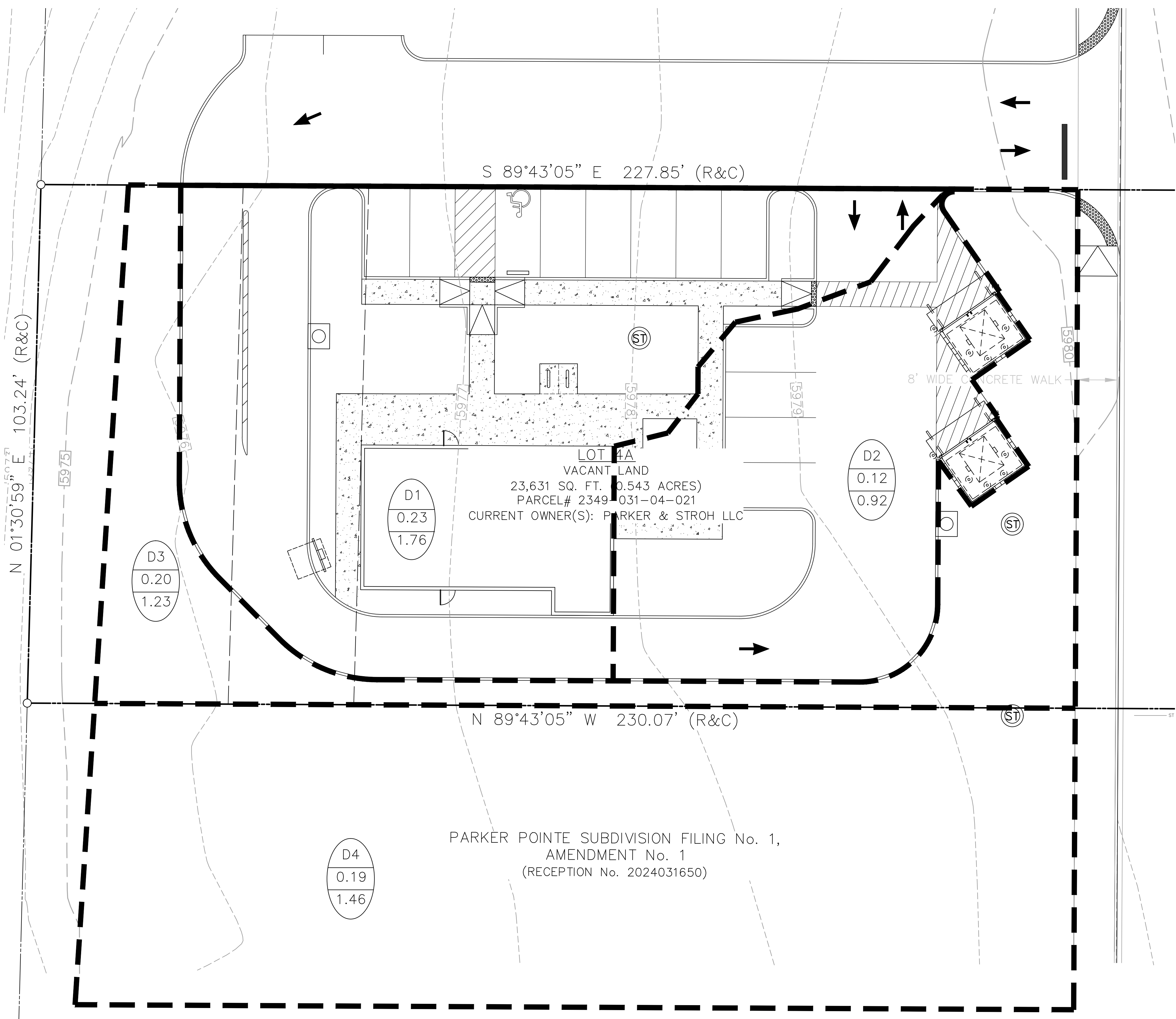
S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 BLACK ROCK COFFEE BAR
 POST-DEV DAM

DATE 2024-12-09

REVISIONS

SCALE: 1"=10'
 DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO. C3.30



'5 \$, 1 \$ * (/ (* (1 ' .

- SUBAREA
- AREA - ACRES
- FLOW - Q 100 (CFS)
- DRAINAGE AREA LINE
- PROPOSED STORM MANHOLE
- PROPOSED 5' CURB INLET

'5 \$, 1 \$ * (1 2 7 (6 .

1. THE DEVELOPER, THROUGH HIS ENGINEER OR AUTHORIZED REPRESENTATIVE, SHALL ACQUIRE ALL REQUIRED NATIONWIDE PERMITS, SUCH AS CWA 401, 402 AND/OR 404 PERMITS, AS APPROPRIATE, FROM THE USEPA, AND/OR USACE.
2. TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
3. TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM SURVEY AS PROVIDED BY BARRON LAND.

PRE-DEVELOPED DRAINAGE SUMMARY						
BRC - PARKER, COLORADO						
DRAINAGE AREA	AREA (AC)	Tc (MIN)	C-VALUE (100 yr)	I (100 yr) (in/hr)	Q (100 yr) (cfs)	REMARKS
D1	0.23	5.00	0.88	8.85	1.76	TO WEST CURB INLET
D2	0.12	5.00	0.88	8.85	0.92	TO EAST INLET
D3	0.20	5.00	0.70	8.85	1.23	BYPASS
D4	0.19	5.00	0.88	8.85	1.46	BYPASS ADJOINER
TOTALS	0.73				5.37	

CALL UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

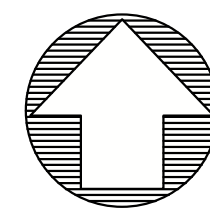
CAUTION: NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING _____ DATE _____

FILE NAME: \\PDR\DATA\DWG\24003198 - BRC - Parker_C3.30.dwg; PLOT DATE: 12/9/2024; PLOT TIME: 10:10:00 AM; PLOT USER: K. SARWAR; PLOT DEVICE: HP DesignJet 500; PLOT SCALE: 1"=10'; PLOT SHEET: 1 OF 1; PLOT STATUS: SUCCESS



Know what's below. Call before you dig.
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ACCEPTS FULL RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2024 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
 866.850.4200 www.atwell-group.com
 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND, HILLS, TX 76180
 972.356.9860

S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
 EROSION CONTROL PLAN

DATE 2024-12-09

REVISIONS

DRAWN BY: K. SARWAR

CHECKED BY: N. SALAZAR

PROJECT MANAGER: N. SALAZAR

JOB #: 24003198

FILE CODE: ##

SHEET NO.

0 10' 20'
 SCALE: 1"=20'

C5.00

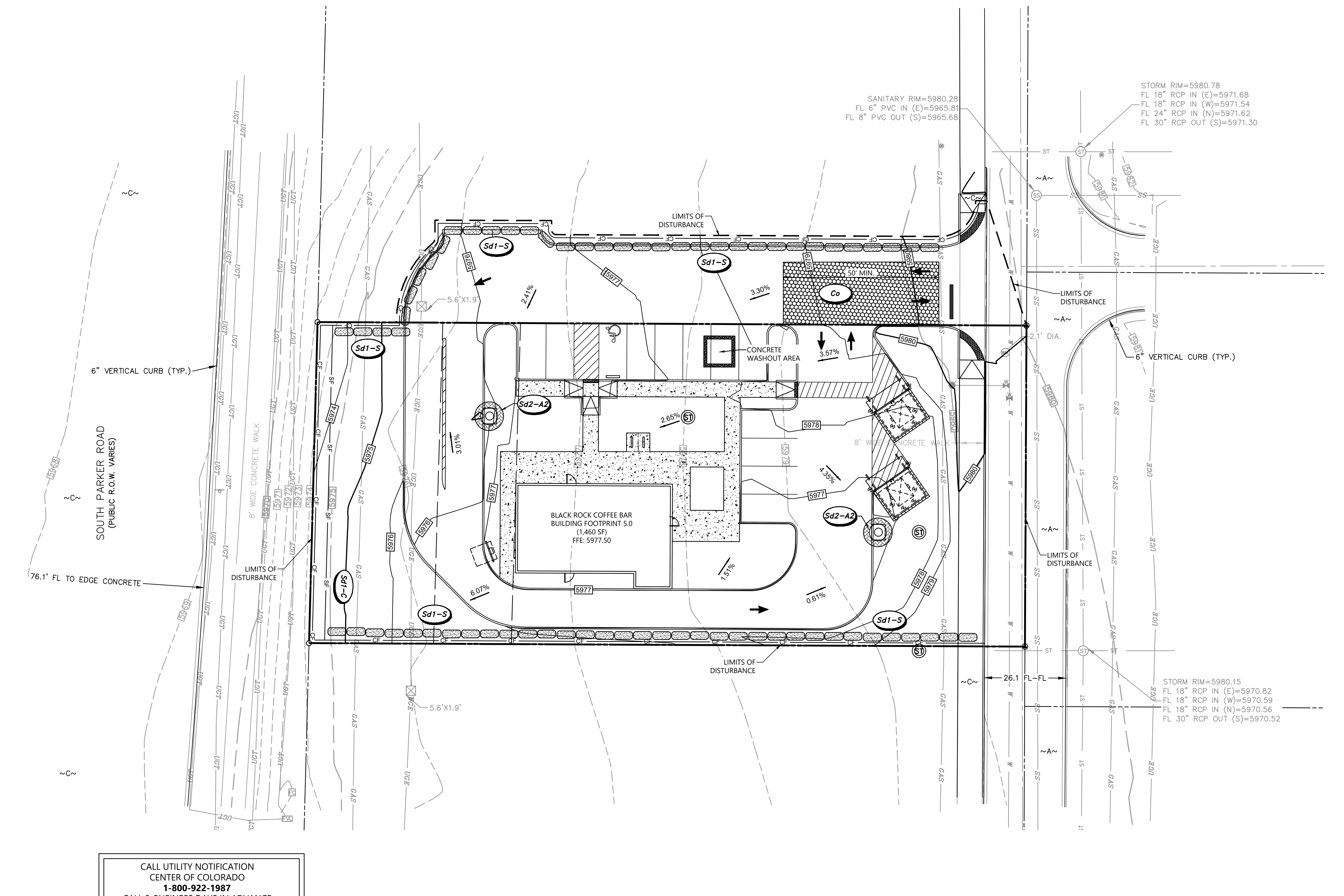
GRADING EROSION AND SEDIMENT CONTROL NOTES

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMITS FROM THE LOCAL AND STATE AGENCIES PRIOR TO THE START OF CONSTRUCTION.
- BMPs SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS HEREIN AND THE LOCAL AGENCIES STANDARDS DETAILS. IF A DETAIL IS NOT PROVIDED FOR A PLANNED OR NEEDED BMP REFERENCE LOCAL AGENCY STANDARDS. IF THE DETAIL IS NOT AVAILABLE REFERENCE URBAN DRAINAGE AND FLOOD CONTROL DISTRICTS STANDARD DETAILS.
- THESE PLANS DO NOT REFLECT ALL BMPs THAT MAY BE NEEDED FOR SITE EROSION AND SEDIMENT CONTROL DUE TO FIELD CHANGES NOT ANTICIPATED IN THE DESIGN OF THE PLAN. CONTRACTOR SHALL INSTALL ADDITIONAL BMPs AS NEEDED TO MAINTAIN SITE STABILIZATION AND MITIGATE ANY SEDIMENT TRANSPORT OFF SITE OR TO THE ADJACENT STORM SYSTEM OR ADJACENT PROPERTY.
- ALTERNATE BMPs MAY BE USED FROM THOSE SHOWN HEREON. CONTACT ENGINEER AND LOCAL AGENCY INSPECTOR WITH PROPOSED CHANGES.
- GUIDELINES WITH THE LOCAL AGENCY PERMIT AND STANDARDS AND SPECIFICATIONS SHALL BE FOLLOWED AND MAINTAINED.
- AN APPROVED COPY OF THE EROSION AND SEDIMENT CONTROL PLAN AND STORMWATER MANAGEMENT PLAN SHALL BE KEPT ON SITE AT ALL TIMES.
- LOCATION OF BMPs MAY VARY FROM THOSE SHOWN HEREON DUE TO PROGRESS AND PHASING OF CONSTRUCTION ACTIVITIES.
- SITE BMPs SHALL BE MAINTAINED AND REPAIRED IF DAMAGED IMMEDIATELY. SITE INSPECTIONS SHALL OCCUR EVERY 7-DAYS, AND WITHIN 24-HOURS OF ANY PRECIPITATION EVENT.
- AREAS LABELED "PS" AND "SM" SHALL BE STABILIZED PER LANDSCAPE PLAN IF SEASON ALLOWS FOR PLANTING AND IF POSSIBLE WITHIN 14 DAYS OF DISTURBANCE. DISTURBED SOIL SHOULD BE STABILIZED TO PREVENT EROSION.

TOWN OF PARKER NOTES

- ALL SILT FENCE MUST BE INSTALLED ON 5-FOOT CENTERS.
- THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND ECS.
- THE TRUE LOCATION OF THE PTM MAY BE DETERMINED BY THE TOWN AND ECS.
- PLACE SCL IMMEDIATELY BETWEEN CURB AND SIDEWALK DOWN GRADIENT OF DISTURBED AREAS. USE 12" LOGS.
- IF SF IS NOT INSTALLED ON THE BACK OF CURB, ECB MAY BE NECESSARY IN THE GAP.
- ALL SOILED STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVE AISLES, ETC., MUST BE THOROUGHLY CLEANED BY 5 PM EACH WORK DAY AND DURING THE DAY WHEN LEVEL OF SOIL EXCEEDS A LOW LEVEL AS DETERMINED BY THE TOWNS INSPECTOR.
- LOT PROTECTION IS REQUIRED ON ALL COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.

EROSION LEGEND		
	EXISTING PROPERTY LINE	
	EXISTING ROAD CENTERLINE	
	PROPOSED SETBACK LINE	
	EXISTING MINOR CONTOURS	
	EXISTING MAJOR CONTOURS	
	PROPOSED MINOR CONTOUR	
	PROPOSED MAJOR CONTOUR	
	CONSTRUCTION EXIT	
	SEDIMENT BARRIER SILT FENCE (TYPE C)	
	TEMPORARY INLET SEDIMENT TRAP (ALTERNATE BAG)	
	CONCRETE WASHOUT	
	CONSTRUCTION FENCE	
	FLOW ARROW PROPOSED	
	EXISTING STORM LINE	
	EXISTING WATER LINE	
	EXISTING SANITARY SEWER LINE	
	EXISTING GAS LINE	
	EXISTING UNDERGROUND ELECTRIC LINE	
	EXISTING UNDERGROUND TELEPHONE LINE	
	EXISTING STORM MANHOLE	
	EXISTING SANITARY SEWER MANHOLE	
	EXISTING WATER METER	
	EXISTING WATER VALVE	
	EXISTING FIRE HYDRANT	
	PROPOSED STORM MANHOLE	
	PROPOSED 5' CURB INLET	



CALL UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CAUTION: NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING DATE

