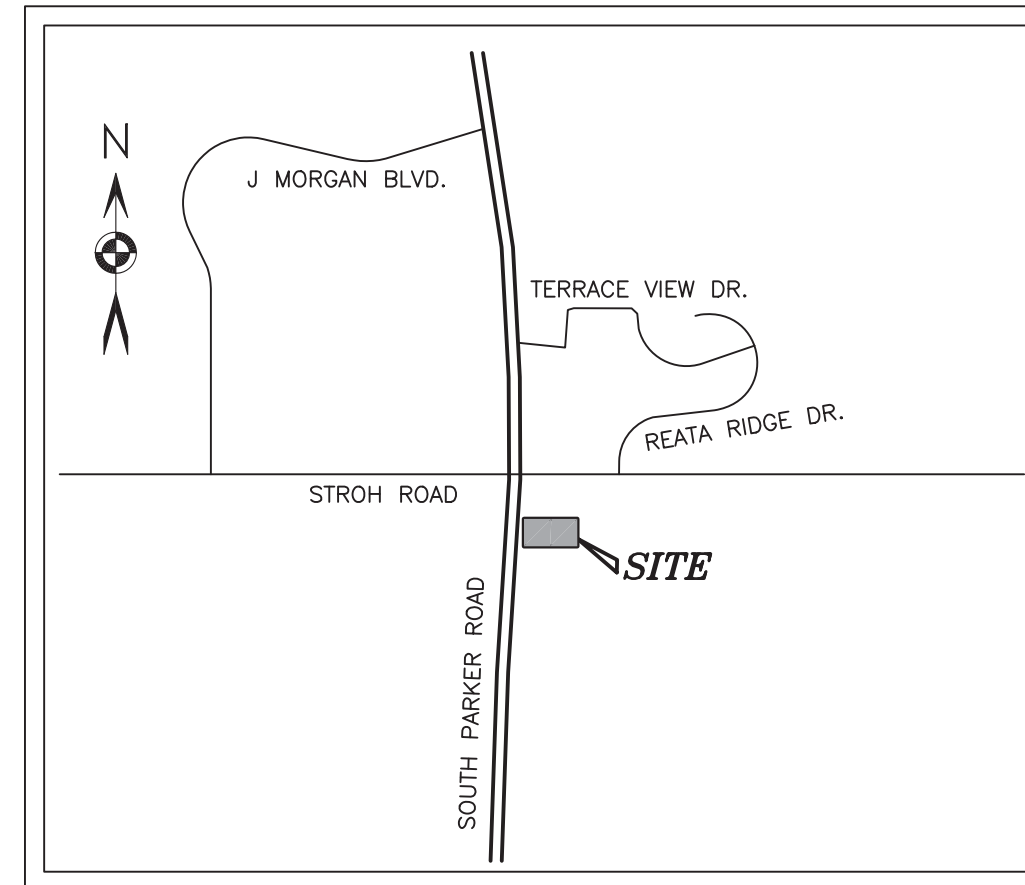


# ALTA/NSPS LAND TITLE SURVEY

A PORTION OF THE NORTHEAST QUARTER OF  
SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP  
(NOT TO SCALE)

### LEGAL DESCRIPTION

Lot 4A, Parker Pointe Subdivision Filing No. 1, Amendment No. 1 according to the plat as recorded July 31, 2024 at Reception No. 2024031650, County of Douglas, State of Colorado.

Address of record:  
6940 Stroth Road, Parker, CO

### SURVEYOR'S NOTES

1. NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
2. Any person who knowingly removes, alters or defaces any public land survey monument or land boundary monument or accessory commits a class 2 misdemeanor pursuant to the Colorado Revised Statute 18-4-508.
3. The lineal units used in this drawing are U.S. Survey Feet. A U.S. Survey Foot is defined as 1200/3937 meters.
4. Any underground or above ground utilities shown hereon have been located from field survey information. Barron Land, LLC does not guaranty said underground utilities to be shown in their exact location and that said underground utilities are shown in their entirety. Barron Land, LLC did not physically enter any manholes or inlets to verify size and material. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
5. This survey does not constitute a title search by Barron Land, LLC to determine ownership, rights-of-way, or easements of record. For information regarding ownership, rights-of-way, and easements of record, Barron Land, LLC relied upon Title Commitment 100-N0035971-020-CN1, Amendment No. 3, with an effective date of October 23, 2024 as provided by Fidelity National Title.
6. This survey was performed in the field on October 29, 2024.
7. The overall subject parcel contains a calculated area of 23,631 square feet (0.543 acres) of land, more or less.
8. BASIS OF BEARINGS: Bearings are based upon the North line of the Northeast Quarter of Section 3, T7S, R66W of the 6th Principal Meridian, monumented on the East with a #6 rebar with 2" aluminum cap in monument box stamped "PLS 22561" and on the West with a #6 rebar with a 3.25" aluminum cap in monument box stamped "PLS 29761", and is assumed to bear S 89°59'29" W, a field measured distance of 2648.43 feet.
9. BENCHMARK STATEMENT: Elevations are based upon Douglas County GIS Secondary Control Monument "1.060032" (Elevation=5903.17 NAVD88).
10. The Federal Emergency Management Agency, Flood Insurance Rate Map No. 08035C0182G, effective date March 16, 2016, indicates this parcel of land to be located in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
12. There were no buildings on the subject parcel at the time of survey.
13. The nearest intersection to the subject parcel is 250'± Northwest from the Northwest property corner.
14. Per the preliminary due diligence report by Atwell, LLC, dated 5/15/2024, there is a 10' landscape setback on both side lot lines and the rear lot line. There is also a 40' minimum and a 65' maximum building setback line on the rear lot line.
15. Subject parcel has indirect access to Stroth Road via an access easement (Reception No. 2022001733).
16. There was no evidence of recent earth moving work or building construction at the time of survey.
17. There was no evidence of any changes in street Right-of-Way lines at the time of survey.

### SCHEDULE B-2 EXCEPTIONS

- Standard Table A, Schedule B-2 exception items 1, 2, 3, 4, 5, 6, 7, and 8 are not survey related matters and therefore were not researched, examined, or addressed hereon as part of this survey.
9. Undivided 1/2 interest in all oil, gas and other mineral rights as evidenced by the instrument set forth below, and any and all assignments thereof or interests therein:  
Recording Date: December 1, 1959  
Recording No.: Book 130 Page 294  
--NOT A SURVEY RELATED MATTER.
  10. Terms, conditions, provisions, agreements and obligations contained in the Organization of Cherry Creek Basin Authority as set forth below:  
Recording Date: May 6, 1988  
Recording No.: Book 790 at Page 718  
--NOT A SURVEY RELATED MATTER.
  11. Terms, conditions, provisions, agreements and obligations contained in the Rule and Order as set forth below:  
Recording Date: May 11, 1993  
Recording No.: Book 1124 Page 853  
--AFFECTS SUBJECT PARCEL AND IS SHOWN HEREON.
  12. Terms, conditions, provisions, agreements and obligations contained in the Attachment Agreement as set forth below:  
Recording Date: April 22, 1994  
Recording No.: Book 1193 Page 2144  
--MAY AFFECT SUBJECT PARCEL. NO POWER POLES WERE PRESENT ON SUBJECT PARCEL AT TIME OF SURVEY.
  13. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Intermountain Rural Electric Association  
Purpose: Underground Utilities  
Recording Date: May 3, 2016  
Recording No.: Reception No. 2016027205  
--AFFECTS SUBJECT PARCEL AND IS SHOWN HEREON.
  14. Restrictions as contained in Special Warranty Deed:  
Recording Date: September 12, 2017  
Recording No.: Reception No. 2017061897  
--AFFECTS SUBJECT PARCEL. NOTHING SHOWN HEREON.
  15. Terms, conditions, provisions, agreements and obligations contained in the Special Warranty Deed as set forth below:  
Recording Date: July 2, 2018  
Recording No.: Reception No. 2018039824  
And  
Recording No.: Reception No. 2018039825  
--NOT A SURVEY RELATED MATTER.
  16. Terms, conditions, provisions, agreements and obligations contained in the Ordinance 2.262 Series of 2018 regarding Annexation to the Town of Parker as set forth below:  
Recording Date: September 5, 2018  
Recording No.: Reception No. 2018054185  
--AFFECTS SUBJECT PARCEL. NOTHING SHOWN HEREON.
  17. Parker Point Annexation Map as set forth below:  
Recording Date: September 5, 2018  
Recording No.: Reception No. 2018054186  
--AFFECTS SUBJECT PARCEL. NOTHING SHOWN HEREON.
  18. Terms, conditions, provisions, agreements and obligations contained in the Zoning Ordinance No. 3.337, Series of 2018 as set forth below:  
Recording Date: September 5, 2018  
Recording No.: Reception No. 2018054187  
--AFFECTS SUBJECT PARCEL. NOTHING SHOWN HEREON.
- Zoning Map Parker Pointe as set forth below:  
Recording Date: September 5, 2018  
Recording No.: Reception No. 2018054188  
--AFFECTS SUBJECT PARCEL. NOTHING SHOWN HEREON.

### SCHEDULE B-2 EXCEPTIONS (CONTINUED)

19. Terms, conditions, provisions, agreements and obligations contained in the Annexation Agreement parker pointe Property as set forth below:  
Recording Date: September 5, 2018  
Recording No.: Reception No. 201854189  
--AFFECTS SUBJECT PARCEL. NOTHING SHOWN HEREON.
20. Terms, conditions, provisions, agreements and obligations contained in the Corrected order for inclusion (Parker Pointe) as set forth below:  
Recording Date: September 14, 2018  
Recording No.: Reception No. 2018056178  
--AFFECTS SUBJECT PARCEL. NOTHING SHOWN HEREON.
21. Terms, conditions, provisions, agreements and obligations contained in the 30-Foot Exclusive Easement Agreement as set forth below:  
Recording Date: May 29, 2019  
Recording No.: Reception No. 2019029512  
--DOES NOT AFFECT SUBJECT PARCEL. NOTHING SHOWN HEREON.
22. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Parker Water and Sanitation District  
Purpose: 30-Foot Exclusive Easement  
Recording Date: May 29, 2019  
Recording No.: Reception No. 2019029513  
--DOES NOT AFFECT SUBJECT PARCEL. NOTHING SHOWN HEREON.
23. Terms, conditions, provisions, agreements and obligations contained in the 50-Foot Exclusive Easement Agreement as set forth below:  
Recording Date: May 29, 2019  
Recording No.: Reception No. 2019029514  
--AFFECTS SUBJECT PARCEL AND IS SHOWN HEREON.
24. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Parker Water and Sanitation District  
Purpose: 30-Foot Exclusive Easement  
Recording Date: May 29, 2019  
Recording No.: Reception No. 2019029515  
--DOES NOT AFFECT SUBJECT PARCEL. NOTHING SHOWN HEREON.
25. Notes and Easements terms, conditions, provisions, agreements and obligations contained in the Plat for Parker Pointe Filing No. 1 as set forth below:  
Recording Date: January 7, 2022  
Recording No.: Reception No. 2022001733.  
--AFFECTS SUBJECT PARCEL AND EASEMENTS ARE SHOWN HEREON.
26. Terms, conditions, provisions, agreements and obligations contained in the Subdivision Agreement for Parker Pointe Filing No. 1 as set forth below:  
Recording Date: January 7, 2022  
Recording No.: Reception No. 2022001734.  
--NOT A SURVEY RELATED MATTER.
27. Notes and Easements terms, conditions, provisions, agreements and obligations contained in the Plat for Parker Pointe Subdivision Filing No. 1, Amendment No. 1 according to the plat as recorded July 31, 2024 at Reception No. 2024031650.  
--AFFECTS SUBJECT PARCEL AND EASEMENTS ARE SHOWN HEREON.

### SURVEYOR'S CERTIFICATION

To:  
1) Fidelity National Title  
2) Parker and Stroth, LLC, a Colorado limited liability company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8, 9, 11b, 13, 16, and 17 from Table A thereof.

The undersigned further certifies that the accompanying ALTA/NSPS Land Title Survey was surveyed and drawn by him or under his direct supervision and responsible charge, in accordance with the applicable standards of practice by surveyors in the State of Colorado, and based upon his professional knowledge, information, belief and opinion, accurately shows the described tract of land thereof, and complies with the requirements of Title 38 of the Colorado Revised Statutes, 1973, as amended. The above statement is not a guaranty or warranty, either expressed or implied.

The field work was completed on: October 29, 2024  
Date of Plat or Map: October 31, 2024



Spencer J. Barron  
State of Colorado Professional Land Surveyor No. 38141  
For and on behalf of Barron Land, LLC

DATE: 10/31/2024 REVISIONS			
No.	Remarks	Date	By

**BARRON LAND**

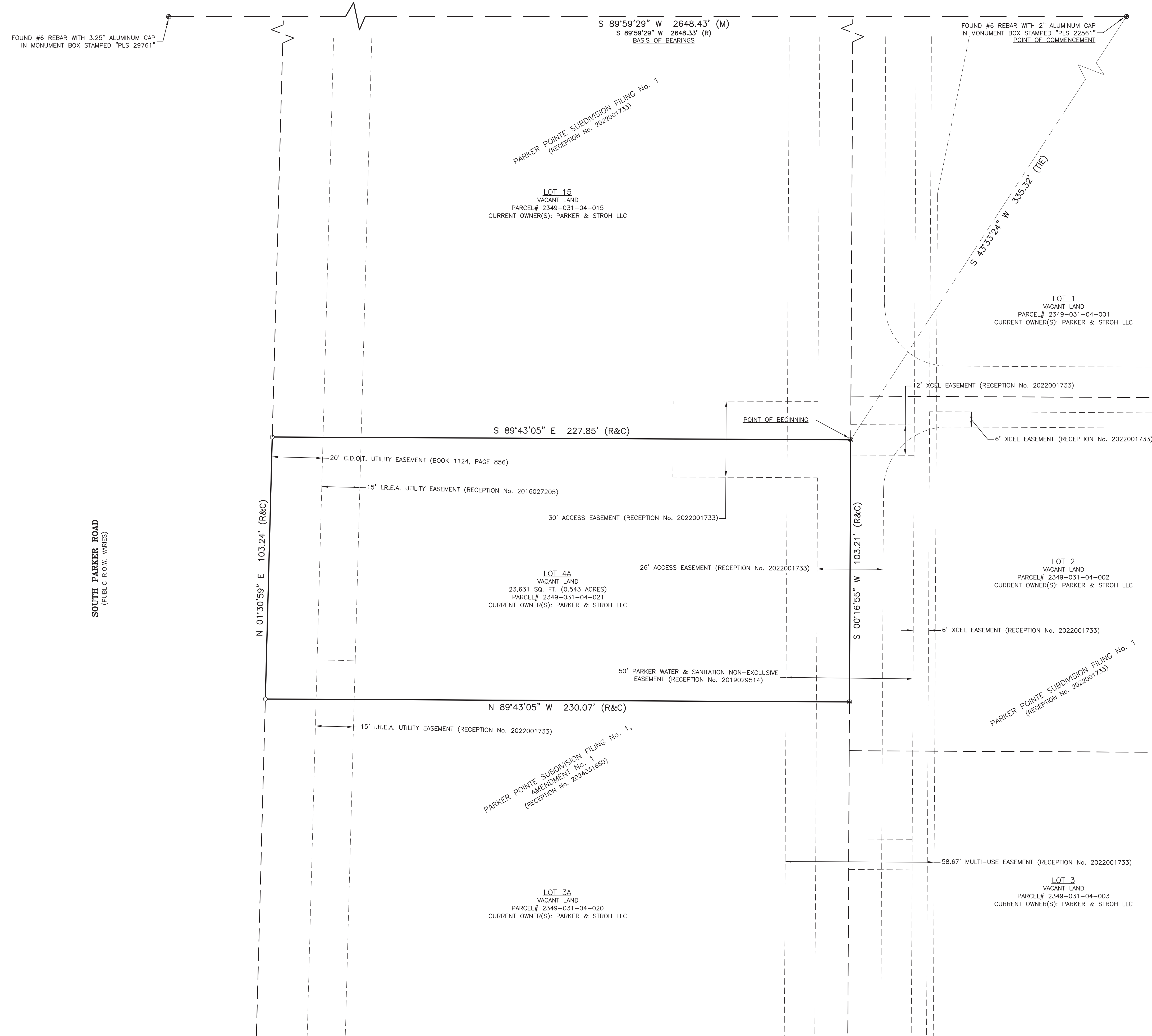
BOUNDARY & MAPPING & SURVEYING & CONSTRUCTION  
2790 N. Academy Blvd., Suite 311 P: 719.360.6827  
Colorado Springs, CO 80917 F: 719.466.6527  
www.BARRONLAND.com

PROJECT No.: 24-049 SHEET 1 OF 3

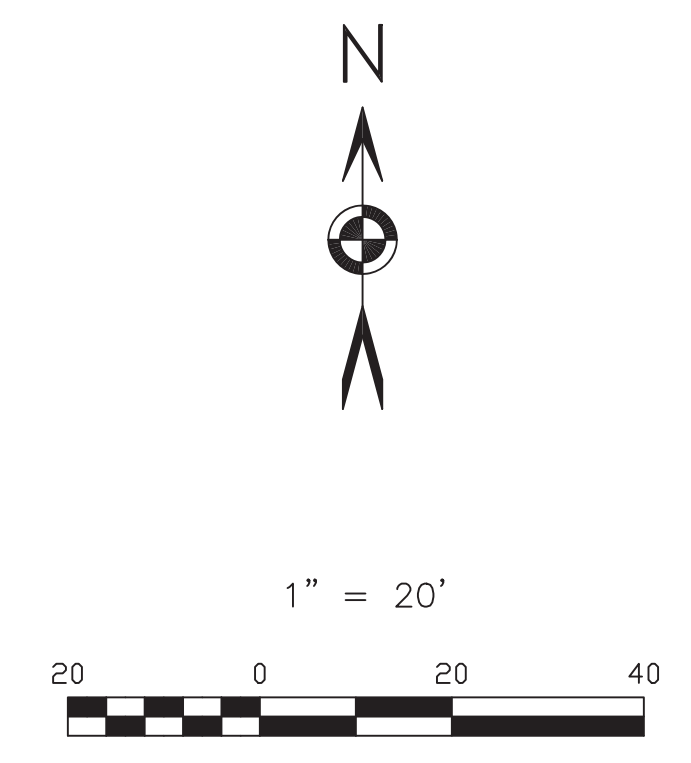
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A PORTION OF THE NORTHEAST QUARTER OF  
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## BOUNDARY AND EASEMENTS DETAIL



SOUTH PARKER ROAD  
(PUBLIC R.O.W. VARIES)



### LEGEND

- ⊕ FOUND PUBLIC LAND SURVEY SYSTEM MONUMENTS AS NOTED HEREON
- SET No. 5 REBAR AND 1.25" ORANGE PLASTIC CAP STAMPED "PLS 38141"
- ⊙ SET NAIL AND 1" BRASS TAG STAMPED "PLS 38141"
- (M) FIELD-MEASURED DIMENSIONS
- (R) RECORD DIMENSIONS
- (C) CALCULATED DIMENSIONS
- SUBJECT PARCEL LINE(S)
- - - - - ADJACENT PARCEL LINE(S)
- - - - - EASEMENT LINE(S)



DATE: 10/31/2024		REVISIONS	
No.	Remarks	Date	By

**BARRON LAND**

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PROJECT No.: 24-049 SHEET 2 OF 3

# ALTA/NSPS LAND TITLE SURVEY

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## TOPOGRAPHIC DETAIL

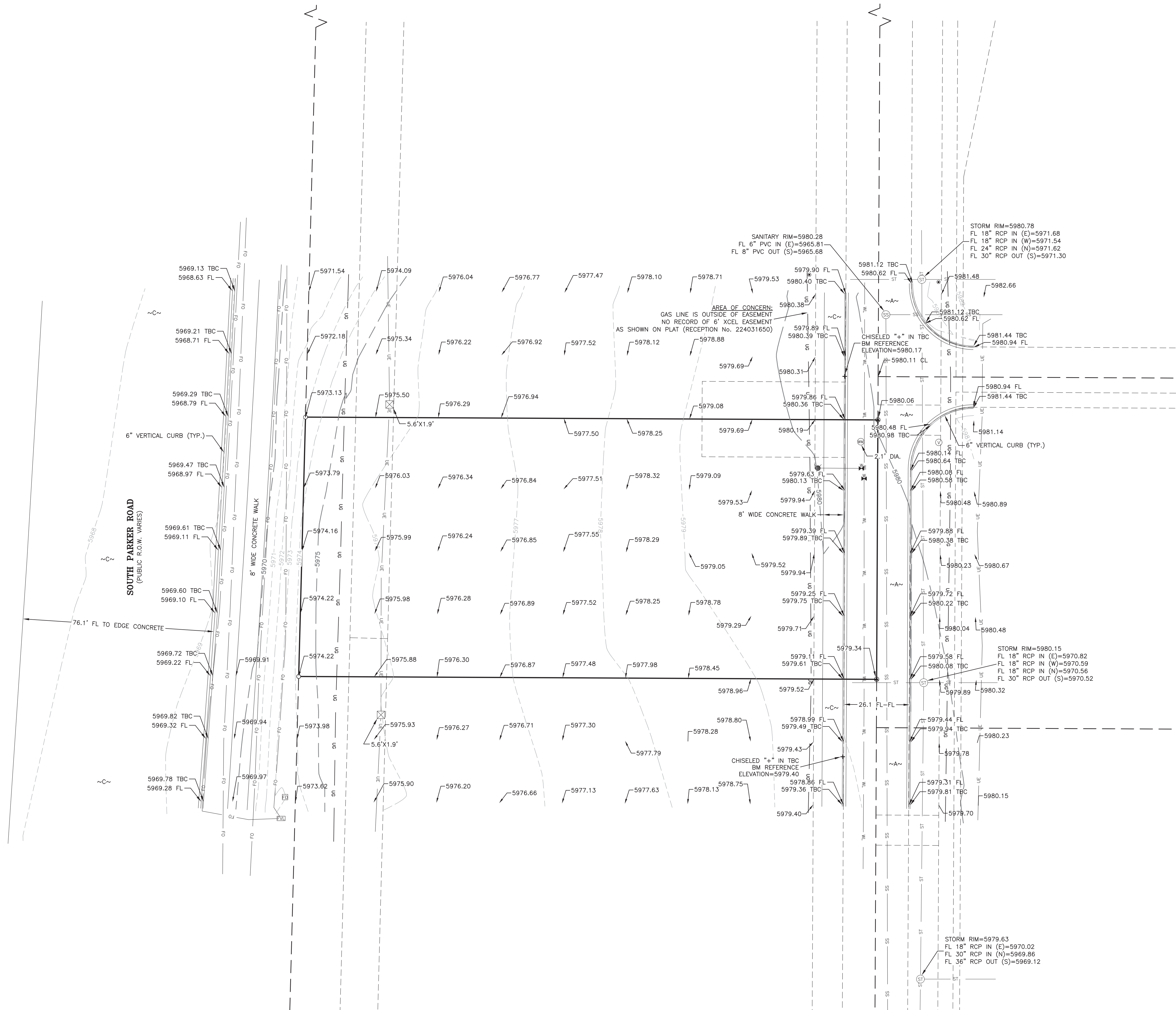


1" = 20'



### LEGEND

- + FOUND CROSS-CUT BENCHMARK
- SET NO. 5 REBAR AND ORANGE PLASTIC CAP STAMPED "PLS 38141"
- SET NAIL AND BRASS TAG STAMPED "PLS 38141"
- ~A~ ASPHALT SURFACE
- ~C~ CONCRETE SURFACE
- FL FLOW LINE
- TBC TOP/BACK OF CURB
- ROW RIGHT-OF-WAY
- ⊠ ELECTRICAL TRANSFORMER
- ⊞ FIBER OPTIC PEDESTAL
- ⊞ FIBER OPTIC VAULT
- ⊞ SANITARY SEWER MANHOLE
- ⊞ STORM SEWER MANHOLE
- ⊞ TRAFFIC SIGN
- ⊞ VENT PIPE
- ⊞ WATER HYDRANT
- ⊞ WATER METER
- ⊞ WATER STOP-BOX
- ⊞ WATER VALVE
- SUBJECT PARCEL LINE(S)
- - - ADJACENT PARCEL LINE(S)
- - - EASEMENT LINE(S)
- UE UNDERGROUND ELECTRICAL LINE(S)
- FO UNDERGROUND FIBER OPTIC LINE(S)
- UG UNDERGROUND GAS LINE(S)
- SS UNDERGROUND SANITARY SEWER LINE(S)
- ST UNDERGROUND STORM SEWER LINE(S)
- WL UNDERGROUND WATERMAIN LINE(S)



DATE: 10/31/2024		REVISIONS	
No.	Remarks	Date	By

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PROJECT No.: 24-049 SHEET 3 OF 3