

DEVELOPMENT PLANS

FOR



S. PARKER RD & STROH RD PARKER, DOUGLAS COUNTY, COLORADO TAX PARCELS: 234903104014

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

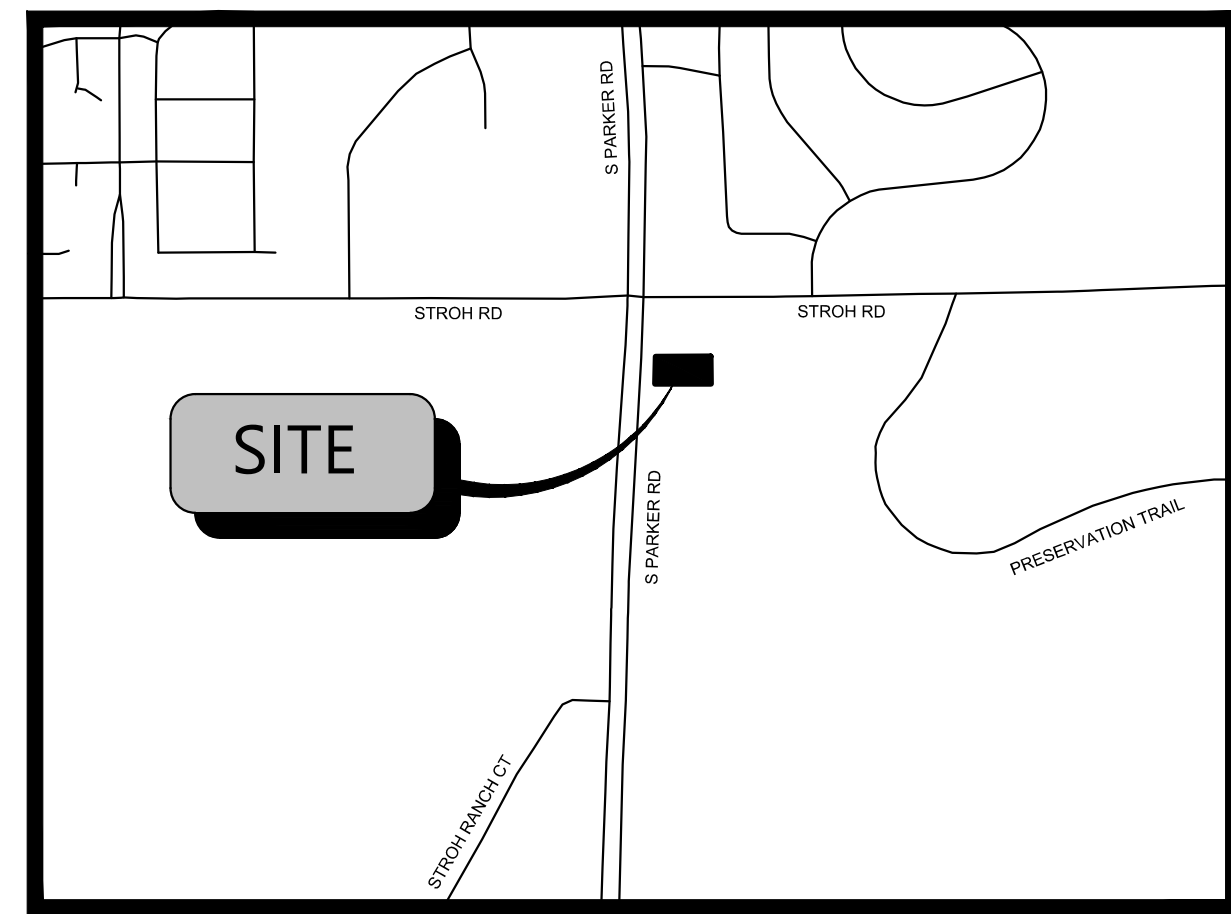
THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

811
Know what's below.
Call before you dig.
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NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.
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972.356.8960

TOWN OF PARKER PLAN SET	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	TOWN GENERAL NOTES
C1.10	TOWN GENERAL NOTES
C1.20	GENERAL NOTES
C2.00	SITE PLAN
C2.10	PAVING AND STRIPING PLAN
C3.00	GRADING PLAN
C3.10	DRAINAGE PLAN
C3.20	INTERIM DAM
C3.30	POST-DEV DAM
C5.00	EROSION CONTROL PLAN
C7.00	DETAILS
C8.00	EROSION CONTROL DETAILS
C8.01	EROSION CONTROL DETAILS
C8.02	EROSION CONTROL NOTES



VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.



AERIAL MAP
N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2015.

SUBMITTAL DATE

SUBMITTAL - 2024-12-09

PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THEY CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES, EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS, AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

LEGAL DESCRIPTION

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD:
6940 STROH ROAD, PARKER, CO

BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NADV88)

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

BLACK ROCK COFFEE BAR

TOTAL SITE AREA: 0.60 AC. / 25,933 SF.
DISTURBED AREA: 0.67 AC. / 29,406 SF.
ZONING: MODIFIED COMMERCIAL

DEVELOPMENT TEAM

OWNER DOUBLETREE VENTURES, LLC P.O. BOX 40326 DENVER, CO 80204 CONTACT: BRIAN ZUREK EMAIL: BRIAN@DOUBLETREEVENTURES.COM	CIVIL ENGINEER ATWELL, LLC 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND HILLS, TX 76180 PHONE: (###) ###-#### CONTACT: NICHOLAS SALAZAR EMAIL: NSALAZAR@ATWELL.COM	SURVEYOR BARRON LAND 2790 N. ACADEMY BLVD., SUITE 311 COLORADO SPRINGS, CO 80917 PHONE: (719) 360-6827 CONTACT: SPENCER BARRON	DEVELOPER BLACK ROCK COFFEE BAR 16307 NE CAMERON BLVD PORTLAND, OR 97230 PHONE: (541) 531-2149 CONTACT: TONY POLLOTTA
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GOVERNING AGENCIES AND UTILITY CONTACTS

WATER & WASTEWATER PARKER WATER AND SANITATION DISTRICT 13939 ANCESTRY DRIVE PARKER, CO 80134 PHONE: (303) 841-4627 EMAIL: RRAMSEY@PWSD.ORG CONTACT: ROBERT RAMSEY	STORM DRAINAGE PROVIDER TOWN OR PARKER PUBLIC WORKS 20120 E. MAIN STREET PARKER, CO 80138 CONTACT: CHRIS HUDSON	GAS PROVIDER XCEL ENERGY 1123 WEST 3RD AVE, DENVER, CO 80223 PHONE: (303) 571-3927 CONTACT: BUILDER'S CALL LINE (800) 628-1212 X3
ENGINEERING DEPARTMENT TOWN OF PARKER ENGINEERING & PUBLIC WORKS 20120 E. MAIN STREET PARKER, CO 80134 PHONE: (303) 841-4627 EMAIL: RRAMSEY@PWSD.ORG CONTACT: ROBERT RAMSEY	FIRE PROTECTION TOWN OF PARKER FIRE AND LIFE SAFETY 20120 E. MAIN STREET PARKER, CO 80138 PHONE: (303) 805-3169 CONTACT: RANDY CAPRA EMAIL: RCAPRA@PARKERONLINE.ORG	PHONE PROVIDER CENTURYLINK 9750 EAST COSTILLA AVE. ENGLEWOOD, CO 80112 PHONE: (720) 578-5142
	BUILDING PERMIT TOWN OR PARKING BUILDING DIVISION 20120 E. MAIN STREET PARKER, CO 80138 PHONE: (303) 841-1970 CONTACT: RANDY SALE EMAIL: RSALE@PARKERONLINE.ORG	ELECTRIC PROVIDER CORE ELECTRIC COOPERATIVE 5496 NORTH U.S. HIGHWAY 85 SEDALIA, CO 80135 PHONE: (303) 332-9540 CONTACT: BRUFF SHEA

PARKER WATER AND SANITATION PLAN SET

Sheet Number	Sheet Title
01	WATER AND SEWER COVER SHEET
02	WATER AND SEWER GENERAL NOTES
03	OVERALL UTILITY PLAN
04	WATER PLAN
05	SEWER PLAN AND PROFILE
06	WATER DETAILS
07	WATER DETAILS
08	SEWER DETAILS
09	SEWER DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE SPECIFICATIONS AND DETAILS
L2.01	IRRIGATION PLAN
L2.01	IRRIGATION SPECIFICATIONS AND DETAILS

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.
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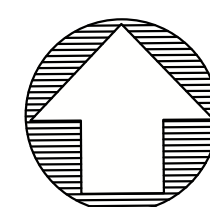
TOWN OF PARKER, DIRECTOR ENGINEERING DATE

BLACK ROCK COFFEE BAR
BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
COVER SHEET

DATE 2024-12-09
DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO: C0.00

FILE NAME: K:\24003198_001 - 0000 - 0000.dwg PLOT DATE: 12/10/2024 10:58 AM PLOT BY: n.s. 12/10/2024 10:58 AM PLOT SCALE: 1:1

CAD FILE: 24003198 - C000 COVER

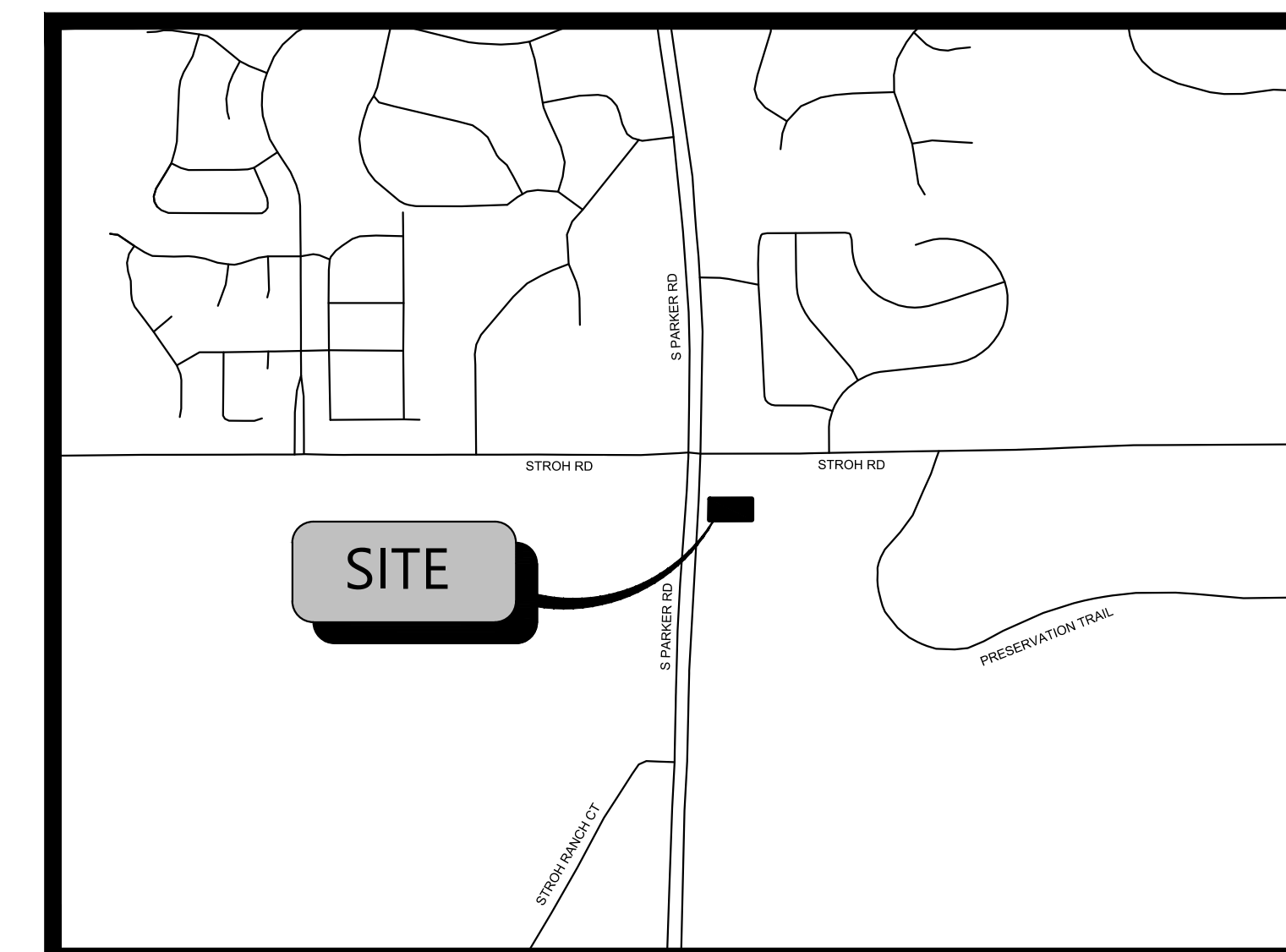


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VICINITY MAP
 N.T.S.

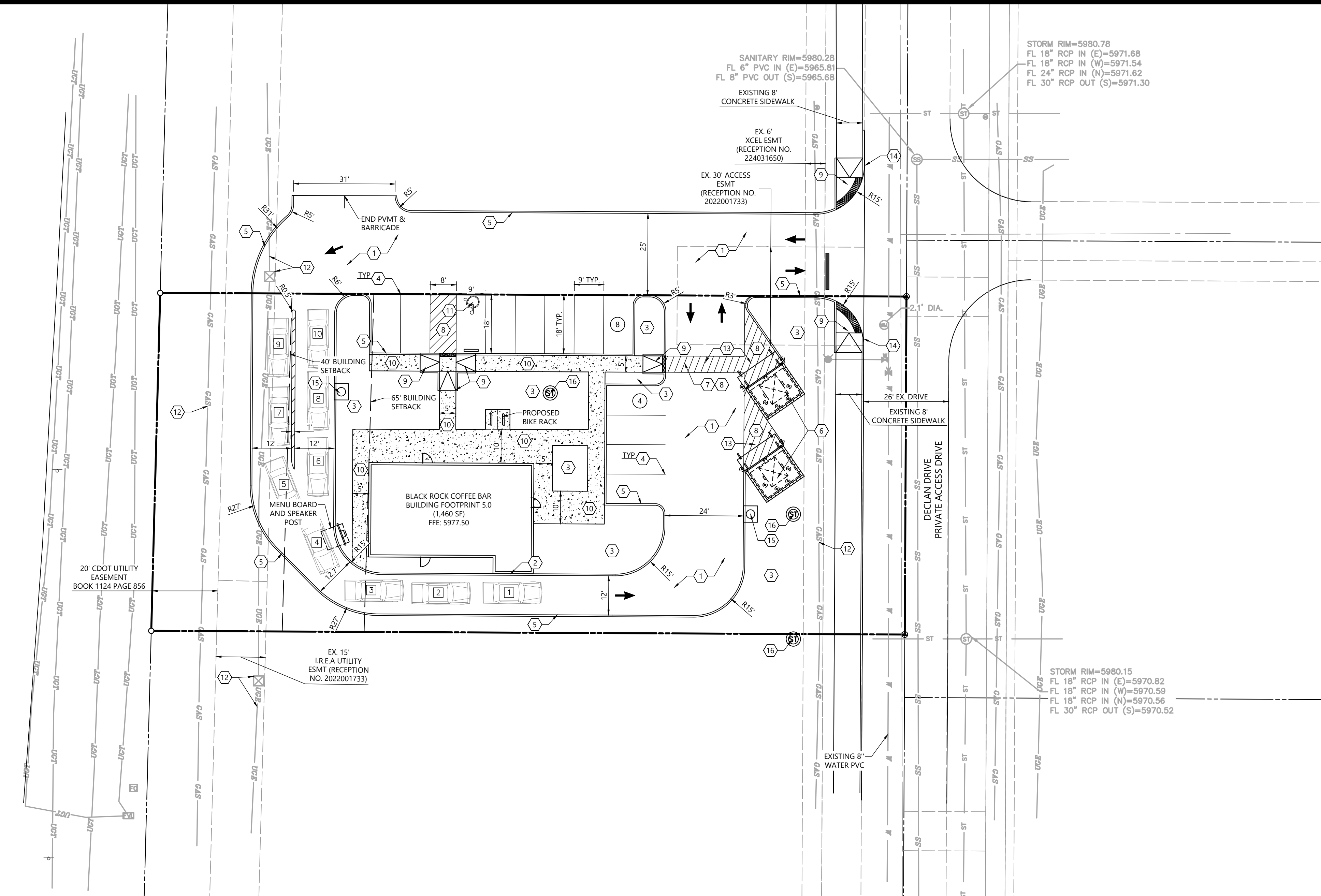
SITE AREA	
TOTAL PROPERTY AREA:	0.60 AC. / 25,933 SF
DISTURBED AREA:	0.67 AC. / 29,406 SF
IMPERVIOUS AREA:	0.40 AC. / 17,639 SF
PERVIOUS AREA:	0.19 AC. / 8,294 SF

ZONING CLASSIFICATION	
JURISDICTION:	CITY OF PARKER
ZONING:	MODIFIED COMMERCIAL
ADJACENT ZONING:	PLANNED DEVELOPMENT

BUILDING SETBACKS	
MIN BUILDING SETBACK:	40'
MAX BUILDING SETBACK:	65'
LANDSCAPE SETBACK:	10' ADJACENT TO PUBLIC OR PRIVATE ROADWAY
REAR BUILDING SETBACK:	25'

BUILDING SUMMARY	
PROPOSED BUILDING AREA:	1,460 SF
BUILDING HEIGHT LIMIT:	35'

PARKING SUMMARY	
PARKING REQUIREMENTS:	1 SPACE PER EACH 3 PERSONS OF RATED CAPACITY (EXCLUDING OUTDOOR SEATING)
TOTAL PARKING REQUIRED:	8 SPACES
PARKING PROVIDED:	12 SPACES (INCLUDING 1 ADA SPACE AND 10 STACKING SPACES)
CAR STACKING REQUIRED:	NO REQUIREMENTS; STACKING COUNTS TOWARDS PARKING REQUIREMENTS
BIKE SPACES REQUIREMENTS:	4 SPACES
TOTAL BIKE PARKING PROVIDED:	4 SPACES



SITE GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
- USE 3' RADII, UNLESS SHOWN OTHERWISE.
- THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: BARRON LAND. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
- ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
- ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- FOR WORK IN, OR ADJACENT TO, STREET RIGHT OF WAYS, CONTRACTOR SHALL ENSURE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR TO ERECT AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- ALL PARKING LOT LIGHTING MUST BE INSTALLED AND OPERATE SO AS NOT TO PRODUCE GLARE OR CAST DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE. LOW PRESSURE SODIUM LIGHTING IS PROHIBITED. ALL LIGHTING FIXTURES MUST BE RESTRICTED TO DOWN-LIGHT OR CUT-OFF TYPES.

LEGAL DESCRIPTION

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ADDRESS OF RECORD:
 6940 STROH ROAD, PARKER, CO

DEVELOPMENT TEAM

OWNER
 DOUBLETREE VENTURES, LLC
 P.O. BOX 40326
 DENVER, CO 80204
 CONTACT: BRIAN ZUREK
 EMAIL: BRIAN@DOUBLETREEVENTURES.COM

CIVIL ENGINEER
 ATWELL, LLC
 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND HILLS, TX 76180
 PHONE: (972) 638-8860
 CONTACT: CATHERINE ATCHLEY
 EMAIL: CATCHLEY@ATWELL.COM

SURVEYOR
 BARRON LAND
 2790 N. ACADEMY BLVD., SUITE 311
 COLORADO SPRINGS, CO 80917
 PHONE: (719) 360-6827
 CONTACT: SPENCER BARRON

DEVELOPER
 BLACK ROCK COFFEE BAR
 16307 NE CAMERON BLVD
 PORTLAND, OR 97230
 PHONE: (541) 531-2149
 CONTACT: TONY POLLOTTA

NOTE NUMBER

- INSTALL 2" AC PAVEMENT OVER 10" ABC
- PROPOSED PICK-UP WINDOW WITH COUNTER
- PROPOSED LANDSCAPE
- 4" WIDE PAINTED WHITE TRAFFIC STRIPE (SEE LENGTH THIS SHEET).
- CONSTRUCT 6" SINGLE CURB
- DUMPSTER ENCLOSURE
- INSTALL ADA CROSSWALK
- 4" WIDE PAINTED STRIPE @ 2' O.C. AND 45 DEGREES.
- CONSTRUCT DIRECTIONAL CURB RAMP PER PARKER STANDARD DETAIL #18.
- CONSTRUCT SIDEWALK PER PARKER STANDARD DETAIL #4
- ADA PARKING STALL WITH ADA SYMBOL AND REQUIRED PAINT.
- PROTECT EXISTING UTILITIES IN PLACE.
- INSTALL 3" CONCRETE OVER 14" ABC
- MATCH EXISTING ASPHALT ALONG DECLAN DRIVE PER PARKER STANDARD DETAIL #26
- INSTALL 5" CURB INLET
- PROPOSED STORM MANHOLE

CORRESPONDING DETAIL NUMBER (SEE DETAIL SHEETS)

- C700
- SEE ARCHITECTURAL PLANS FOR DETAILS
- SEE LANDSCAPE PLANS FOR DETAILS
-
-
-
-
-
- C700
- C700
-
-
- C700
- C700
- C700
- C700

SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- 6" CURB
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- # OF STACKING

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 BLACK ROCK COFFEE BAR
 SITE PLAN

DATE 2024-12-09

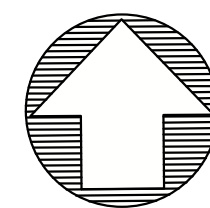
REVISIONS

SCALE: 1"=20'

DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: #
 SHEET NO. C2.00

CAD FILE: 24003198 - C20 SITE PLAN

FILE NAME: K:\24003198 - 800 - Parker - 6940 Stroth - 05_12_24 - 12/07/2024 10:58 AM - C20 SITE PLAN.dwg - 12/07/2024 10:58 AM - 12/07/2024 10:58 AM - FULL SCALE: 0 (24.00 X 36.00 INCHES) PLOT: _AUTOCAD_PLOT (GENERAL) PLOTNAME: C:\Users\k.sarwar\AppData\Local\Temp\120720241058\120720241058.dwg



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S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
 PAVING AND STRIPING PLAN

DATE 2024-12-09

REVISIONS

THE TOWN OF PARKER, DIRECTOR ENGINEERING DATE

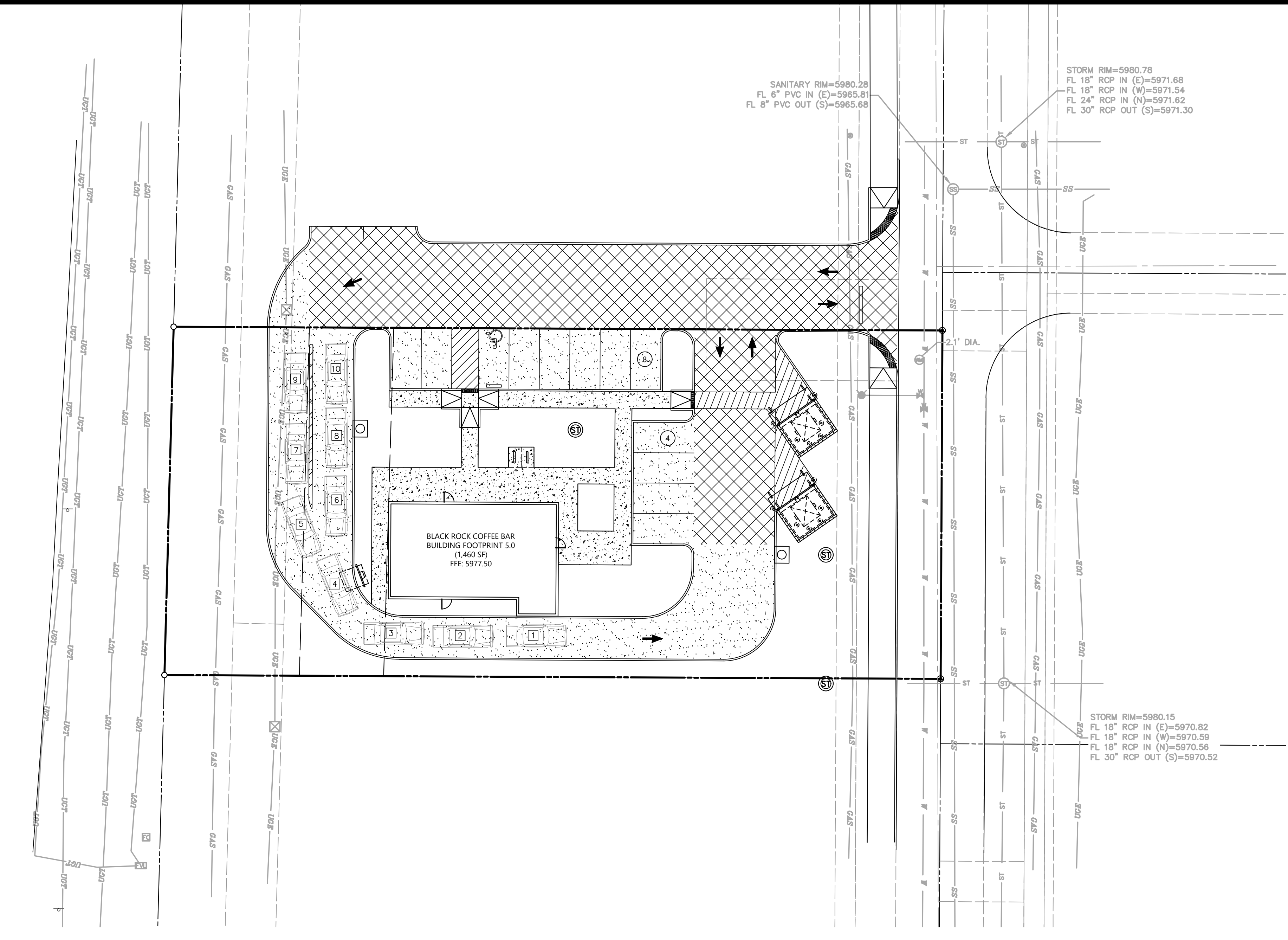
DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO. **C2.10**

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PAVING AND STRIPING LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED SETBACK LINE
- 6" CURB
- FIRE LANE
- PROPOSED SIDEWALK
- PR. WALKWAY STRIPING
- 2" AC PAVEMENT OVER 10" ABC
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- # OF STACKING
- EXISTING STORM LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING STORM MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED STORM MANHOLE
- PROPOSED 5' CURB INLET



SANITARY RIM=5980.29
 FL 6" PVC IN (E)=5965.61
 FL 8" PVC OUT (S)=5965.68

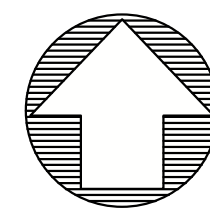
STORM RIM=5980.78
 FL 18" RCP IN (E)=5971.68
 FL 18" RCP IN (W)=5971.54
 FL 24" RCP IN (N)=5971.62
 FL 30" RCP OUT (S)=5971.30

STORM RIM=5980.15
 FL 18" RCP IN (E)=5970.82
 FL 18" RCP IN (W)=5970.59
 FL 18" RCP IN (N)=5970.56
 FL 30" RCP OUT (S)=5970.52

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 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

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 BLACK ROCK DEVELOPMENT COMPANY, LLC
 S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 BLACK ROCK COFFEE BAR
 GRADING PLAN

DATE 2024-12-09

REVISIONS

DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO. C300



SCALE: 1"=20'
 DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO. C300

GRADING LEGEND

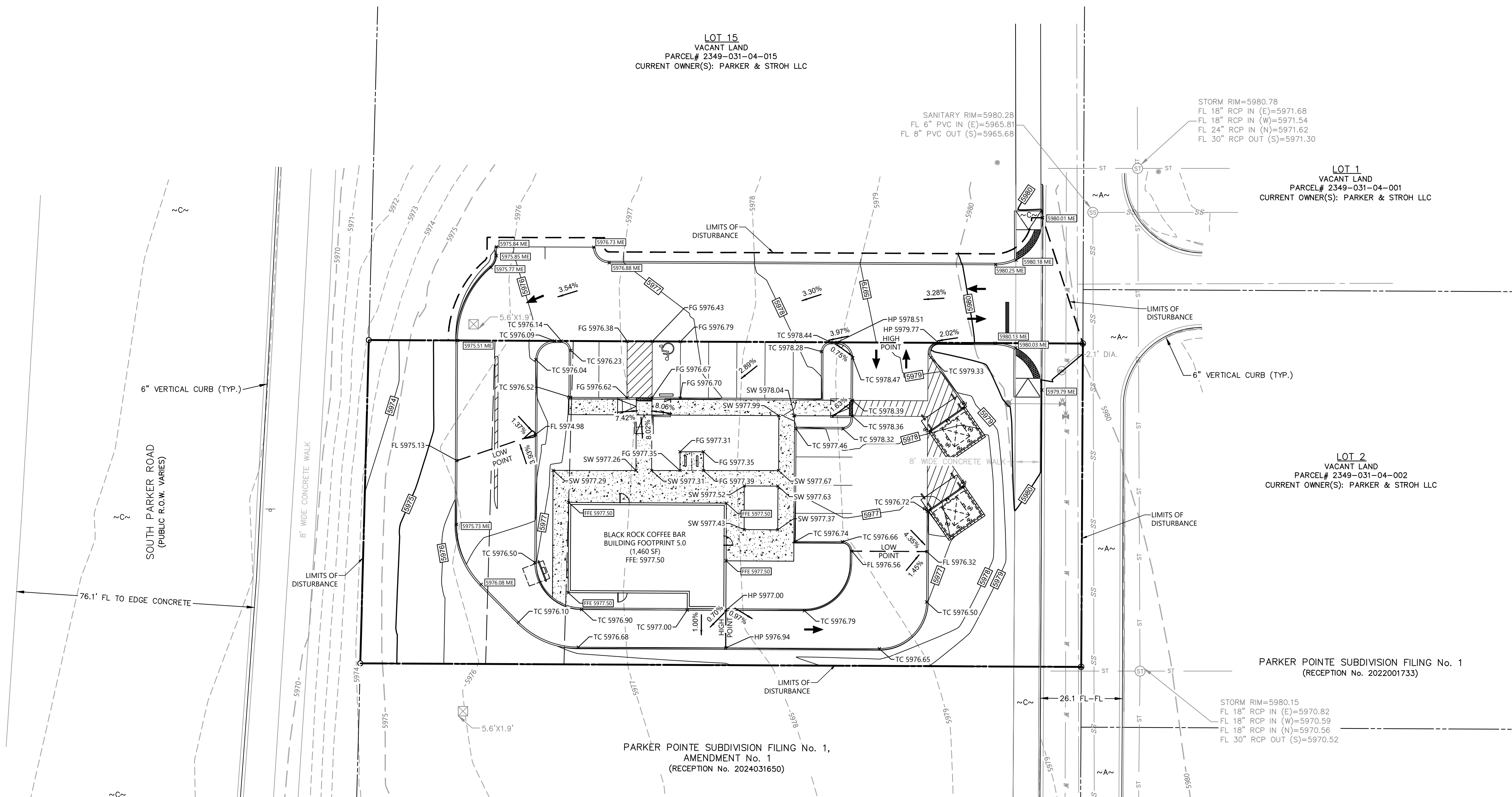
- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED SETBACK LINE
- 119 --- EXISTING MINOR CONTOURS
- 120 --- EXISTING MAJOR CONTOURS
- 119 --- PROPOSED MINOR CONTOUR
- 120 --- PROPOSED MAJOR CONTOUR
- ST --- EXISTING STORM LINE
- W --- EXISTING WATER LINE
- SS --- EXISTING SANITARY SEWER LINE
- ✕ FG 123.45 PROPOSED (PR) SPOT ELEV
- ME 123.45 PR. SPOT ELEV - MATCH EX. GRADE
- ✕ TC 123.45 PR. SPOT ELEV - TOP OF CURB
GUTTER/BOTTOM OF CURB = TC - 0.5'
- ✕ SW 123.45 PR. SPOT ELEV - SIDEWALK
- ✕ FL 123.45 PR. SPOT ELEV - FLOWLINE
- FE 123.45 FINISHED FLOOR ELEVATION
- ✕ HP 123.45 PR. SPOT ELEV - HIGH POINT
- 2% PROPOSED SLOPE ARROW
- ST EXISTING STORM MANHOLE
- SS EXISTING SANITARY SEWER MANHOLE
- WM EXISTING WATER METER
- WV EXISTING WATER VALVE
- FD EXISTING FIRE HYDRANT

ABBREVIATION LIST

- EG EXISTING GRADE
- TC TOP OF CURB
- FL FLOW LINE
- SW SIDEWALK
- ME MATCH EXISTING
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- HP HIGH POINT

EARTHWORK QUANTITIES

CUT	607
FILL	81
BALANCE (IMPORT)	526



GRADING NOTES:

1. GRADES SHOWN ARE PROPOSED FINISHED GRADES.
2. ALL PROPOSED GRADES AND SPOT ELEVATIONS INDICATE TOP OF PAVEMENT OR FACE/FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
3. THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY BARRON LAND.
4. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
6. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
9. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
10. ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
11. CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STATE, LOCAL, OR FEDERAL REQUIREMENTS.
12. REMOVE EXISTING TOPSOIL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PRIOR TO PLACEMENT OF ANY FILL MATERIAL.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEVADA STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
14. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.

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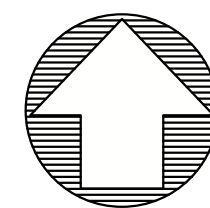
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BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NAD08)

FILE NAME: \\f001a1\cadd\24003198 - BCR - Parker & Stroh - 24003198 - PRODUCTION\24003198 - C300 GRADING PLAN.dwg LAST SAVED BY: msp 12/16/2024 1:52 PM PLOTTED BY: npsps 12/16/2024 14:26:46 PLOT FILE BEING 0 (2400 3 1600 SHEETS) PRINTED: 060 TO PLOT FILE PLOT STYLE: ATWELL.CPT

CAD FILE: 24003198 - C300 GRADING PLAN

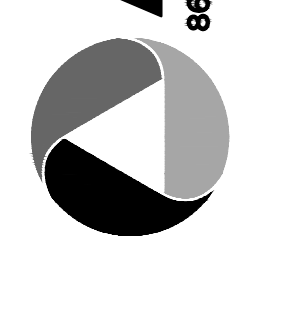


811
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S. PARKER RD & STROH RD
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 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
 INTERIM DAM

DATE 2024-12-09

REVISIONS

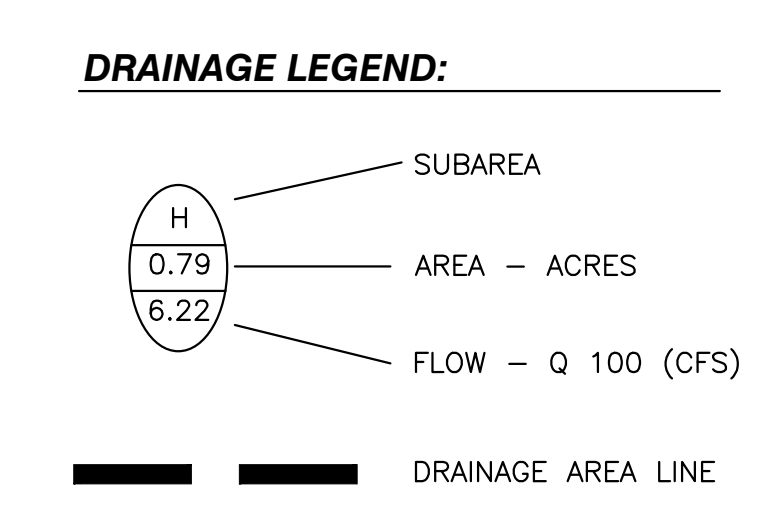
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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

DRAWN BY: K. SARWAR
 CHECKED BY: N. SALAZAR
 PROJECT MANAGER: N. SALAZAR
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO.

CAD FILE: 24003198 - C310 INTERIM DAM



- DRAINAGE NOTES:**
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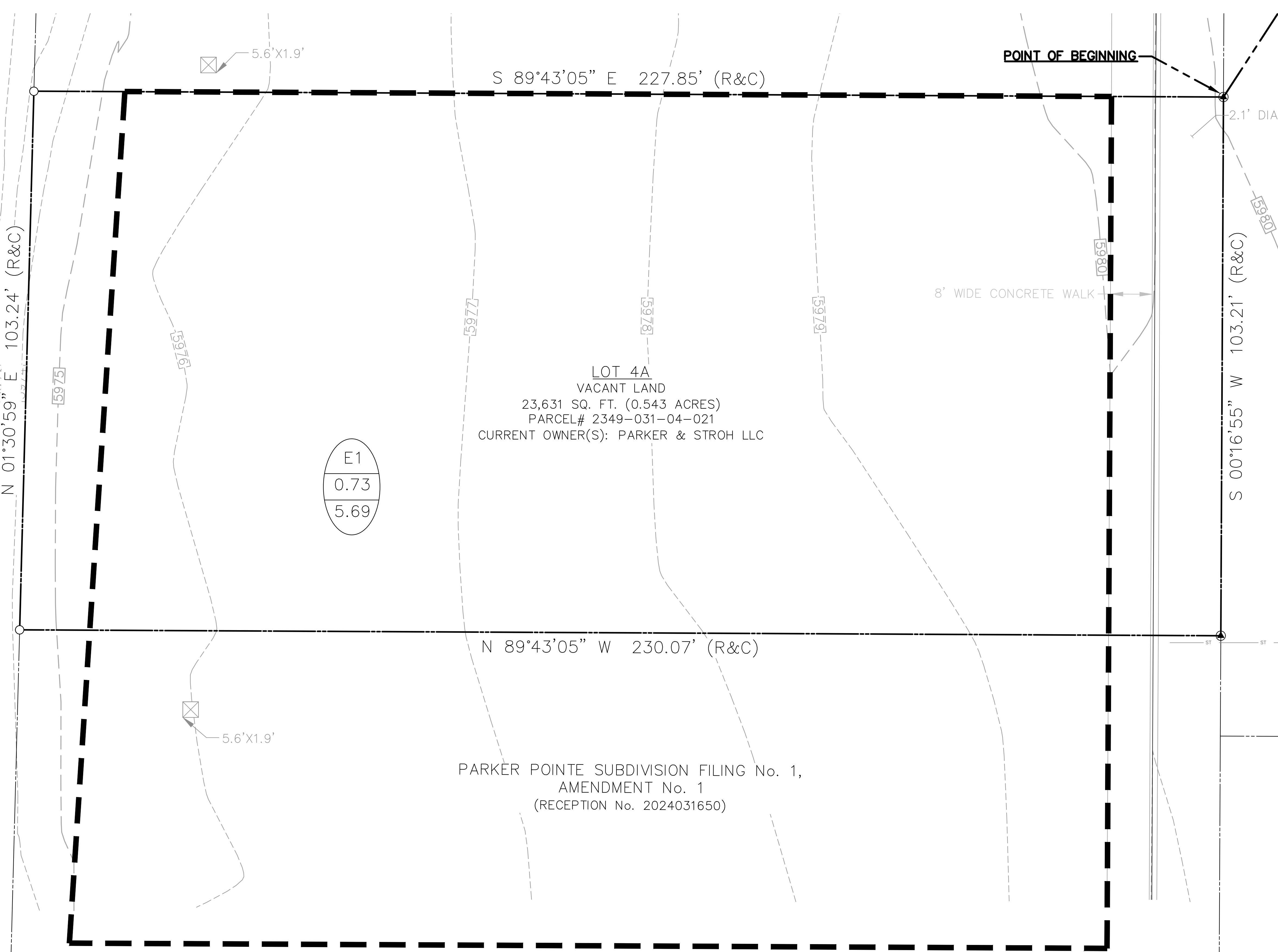
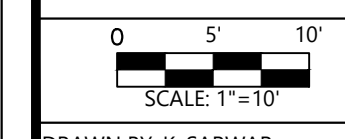
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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

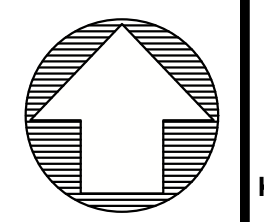


PRE-DEVELOPED DRAINAGE SUMMARY
 BRC - PARKER, COLORADO

DRAINAGE AREA	AREA (AC)	Tc (MIN)	C VALUE (100 yr)	I (100 yr) (in/hr)	Q (100 yr) (cfs)	REMARKS
E1	0.73	5.00	0.88	8.85	5.69	TO INTERIM SYSTEM
TOTALS	0.73				5.69	

1. INTENSITY VALUES, Tc, AND C VALUES UTILIED ARE THOSE FOUND IN THE MASTER DRAINAGE REPORT "MASTER DRAINAGE REPORT FOR PARKER POINTE JOB NO. 2015-015"

FILE NAME: \\fina\c310\c310\PROJ\2024\24003198 - C310 INTERIM DAM.dwg, LAST SAVED BY: msp 12/09/2024 2:08 PM, PLOTTED BY: msp 12/09/2024 2:08 PM, PLOTTER: HP DesignJet 2400, PLOT SCALE: 1"=10'



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DRAINAGE LEGEND:

- SUBAREA
- AREA - ACRES
- FLOW - Q 100 (CFS)
- DRAINAGE AREA LINE
- PROPOSED STORM MANHOLE
- PROPOSED 5' CURB INLET

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PRE-DEVELOPED DRAINAGE SUMMARY						
BRC - PARKER, COLORADO						
DRAINAGE AREA	AREA (AC)	Tc (MIN)	C-VALUE (100 yr)	I (100 yr) (in/hr)	Q (100 yr) (cfs)	REMARKS
D1	0.23	5.00	0.88	8.85	1.76	TO WEST CURB INLET
D2	0.12	5.00	0.88	8.85	0.92	TO EAST INLET
D3	0.20	5.00	0.70	8.85	1.23	BYPASS
D4	0.19	5.00	0.88	8.85	1.46	BYPASS ADJOINER
TOTALS	0.73				5.37	

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TOWN OF PARKER, DIRECTOR ENGINEERING _____ DATE _____

BLACK ROCK COFFEE BAR
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 S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 BLACK ROCK COFFEE BAR
 POST-DEV DAM

DATE 2024-12-09

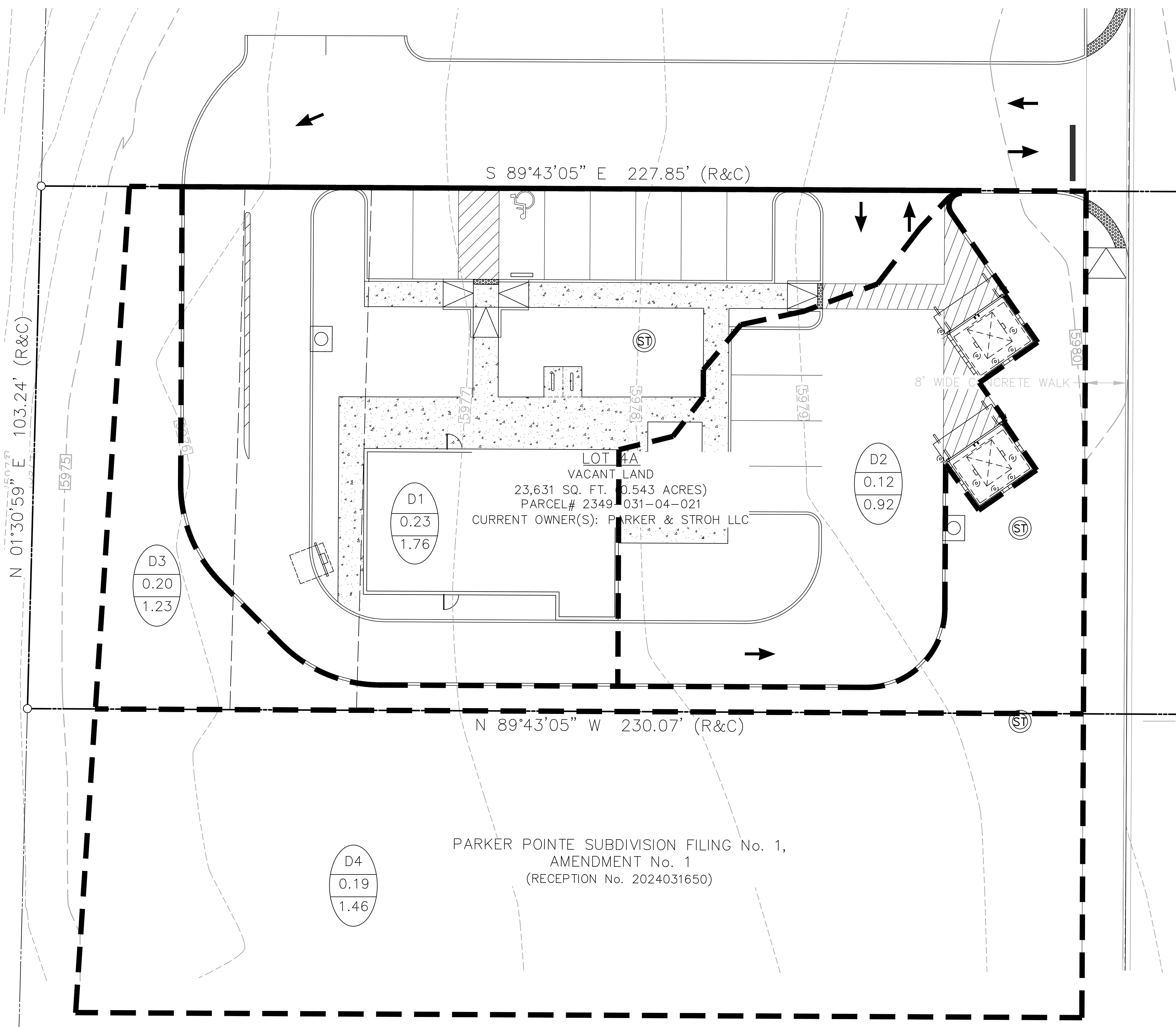
REVISIONS

DRAWN BY: K. SARWAR
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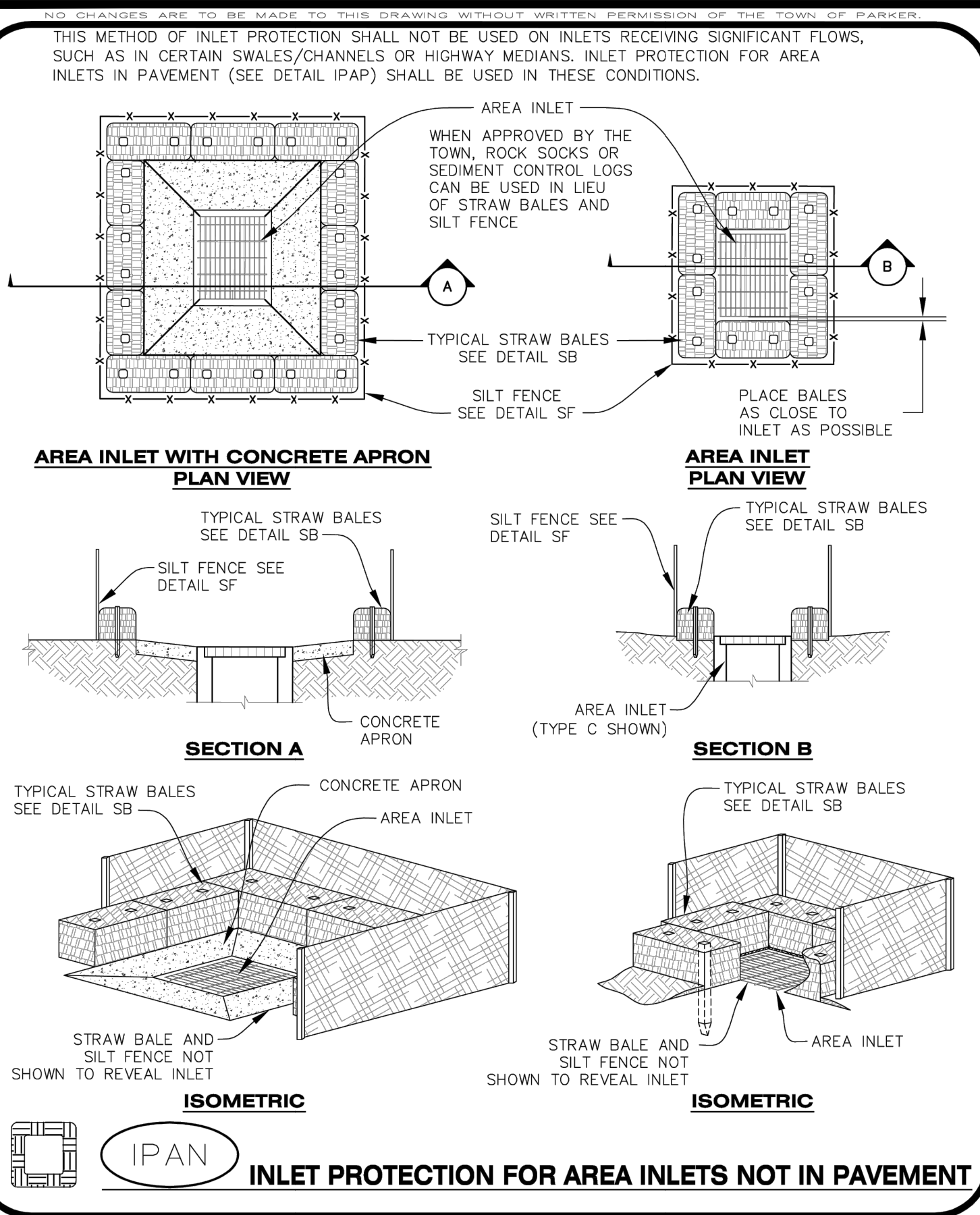
SCALE: 1"=10'

CAD FILE: 24003198 - C30 POST-DEV DAM

C3.30



FILE NAME: \\fiona\cadd\24003198 - BRC - Parker_C30\24003198 - C30 POST-DEV DAM.dwg LAST SAVED BY: nsp 12/9/2024 2:04 PM PLOTTED BY: nsp 12/9/2024 2:04 PM PLOTTED IN: nsp 12/9/2024 2:04 PM PLOTTED ON: 24x36 INCHES PLOT SCALE: 1/8"=1'-0"

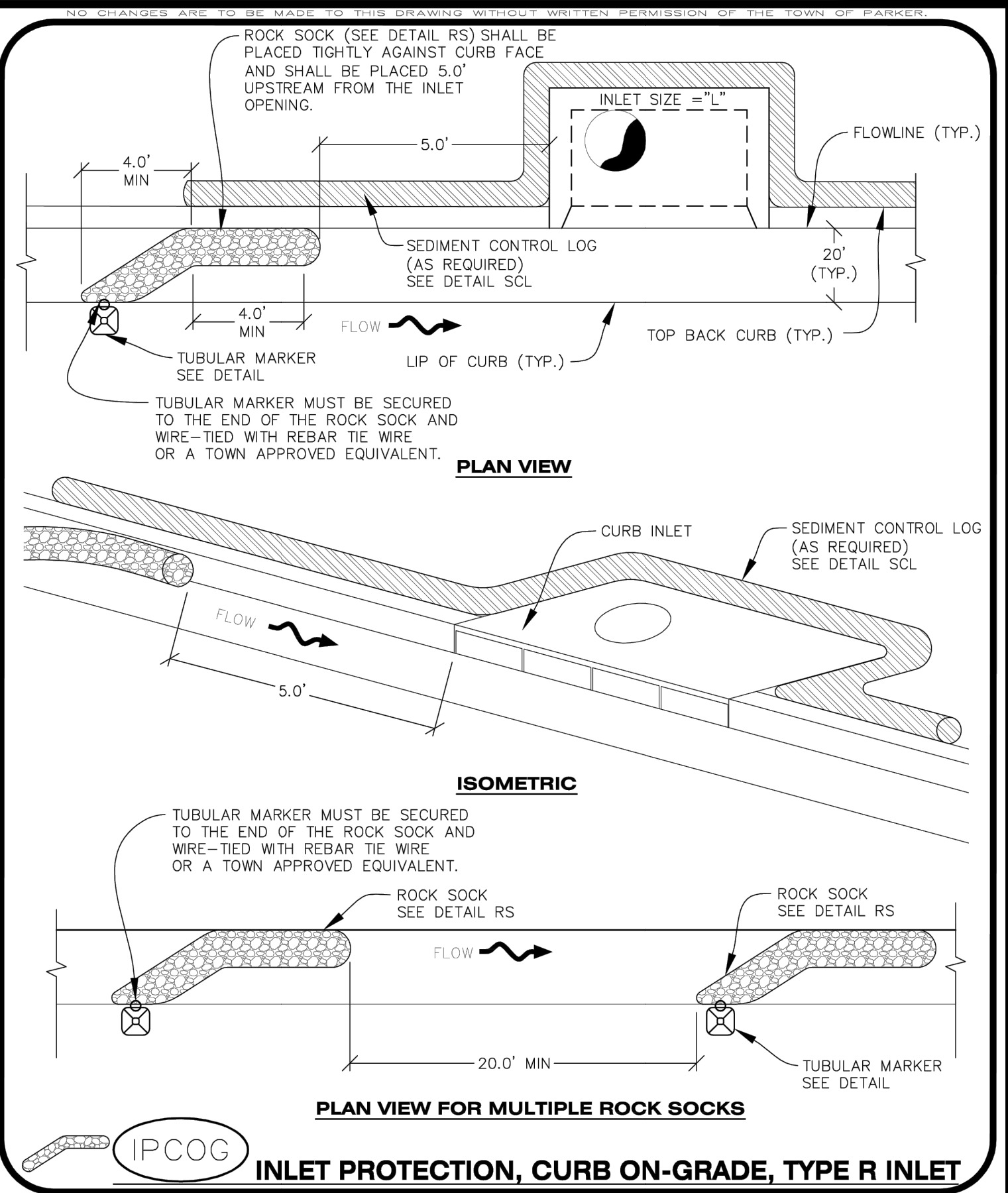
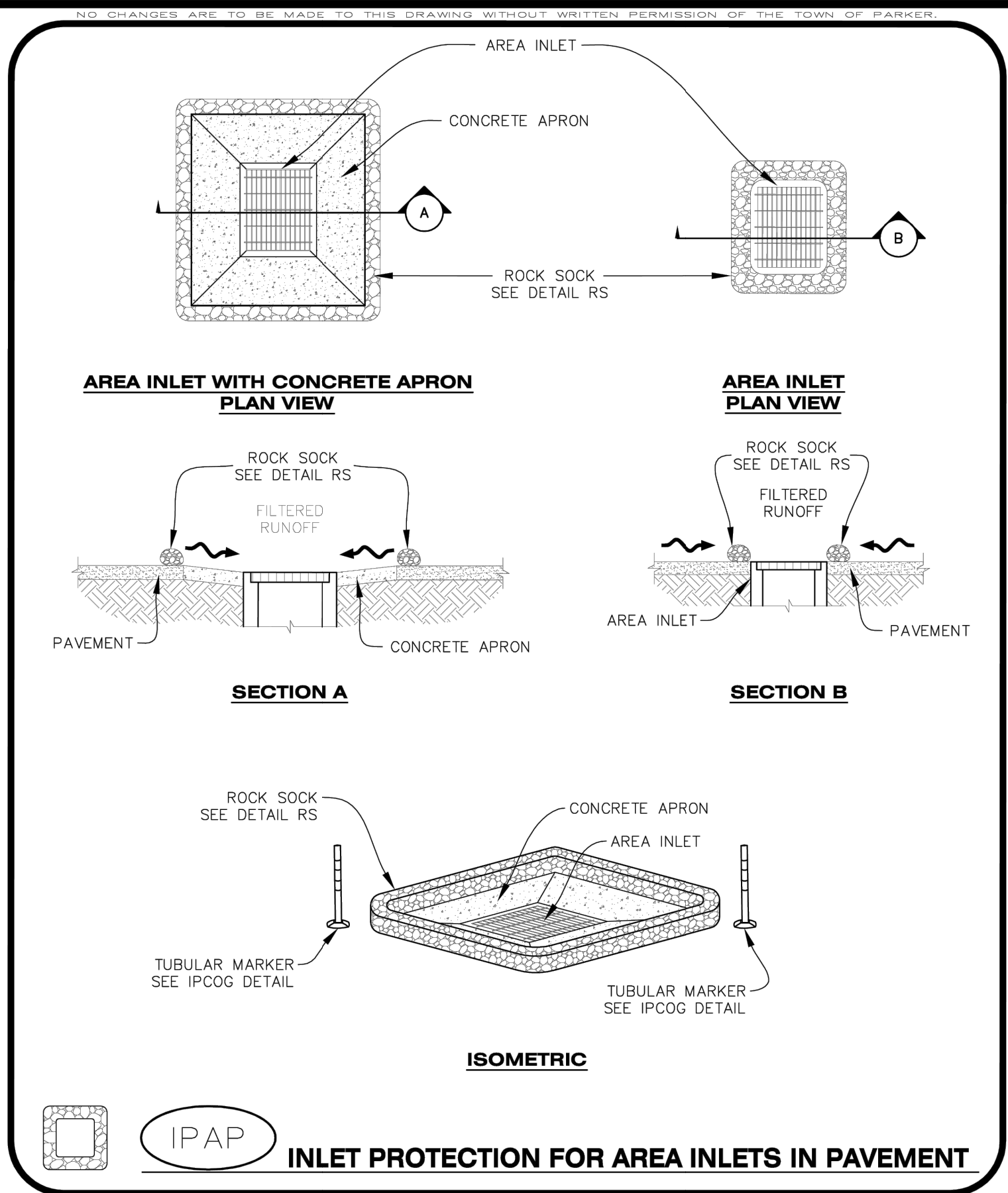


AREA INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPAN 1 OF 1 Oct. 2013

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

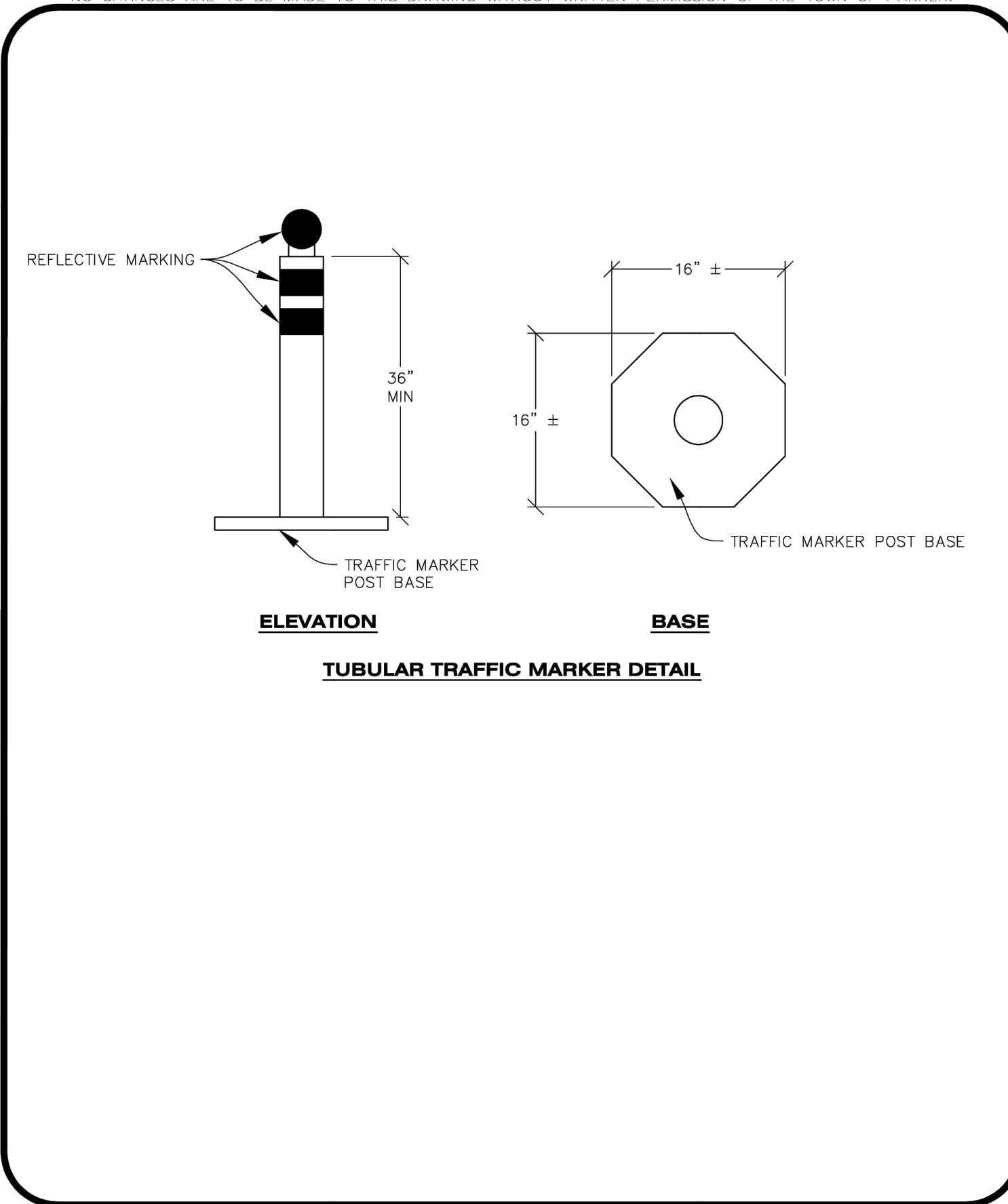
IPA 1 OF 1 Oct. 2013

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPAP 1 OF 1 Oct. 2013

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPCOG 1 OF 3 Oct. 2013

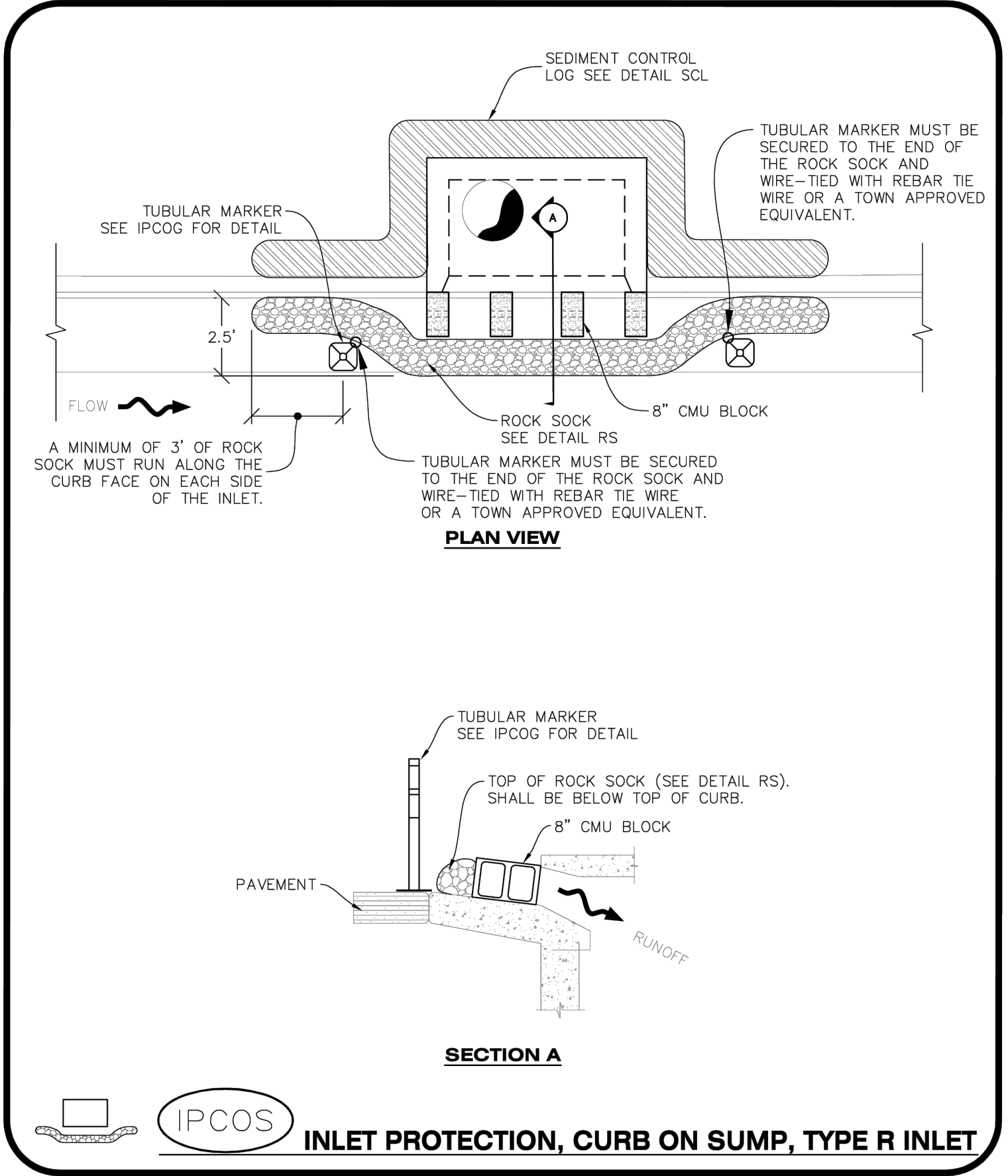


INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.



CURB INLET PROTECTION INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPCOG 2 OF 3 Oct. 2013

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPCOG 3 OF 3 Oct. 2013

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPCOS 1 OF 2 Oct. 2013

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPCOS 2 OF 2 Oct. 2013

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BLACK ROCK DEVELOPMENT COMPANY, LLC

BLACK ROCK COFFEE BAR

EROSION CONTROL DETAILS

S. PARKER RD & STROH RD

PARKER

DOUGLAS COUNTY, COLORADO

DATE: 2024-12-09

REVISIONS

DRAWN BY: K. SARWAR

CHECKED BY: N. SALAZAR

PROJECT MANAGER: N. SALAZAR

JOB #: 24003198

FILE CODE: ##

SHEET NO: C8.01

FILE NAME: K:\24003198 - 811 - Parker - 811 - 12/16/2024 - PRODUCTION\DETAILS\404 - C800 EROSION DETAILS.dwg LAST SAVED BY: npsr On: 12/16/2024 10:58 AM PLOTTED BY: npsr On: 12/16/2024 10:58 AM PLOTTER: HP DesignJet 2400 Plotter

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

1. GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
2. THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
3. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
4. THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
5. THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
6. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (o.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
7. THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
8. IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
9. AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
10. AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - (i) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (ii) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (iii) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 1 OF 4 Oct. 2015

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

11. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
12. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
13. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
14. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
15. ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
16. ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
17. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
18. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
19. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
20. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
21. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
22. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
23. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
24. A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 2 OF 4 Oct. 2015

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-B-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
27. VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
30. APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
31. GRADING SECURITY RELEASE REQUIREMENTS:
 - 1) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - C. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 3 OF 4 Oct. 2015

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- 2) NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
 - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - B. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - C. EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
 - D. THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
 - E. WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON THE SITE.
 - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - J. ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
 - (D) NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:**
- DEVELOPABLE PROPERTY** MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
- NONDEVELOPABLE PROPERTY** MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
 33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
 34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 4 OF 4 Oct. 2015

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Know what's below. Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ALL DAMAGES/WARRANTY CLAIMS FOR ANY AND ALL DAMAGES/WARRANTY CLAIMS WILL BE FORWARDED TO THE PARTY RESPONSIBLE FOR THE LOCATION AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE TOWN OF PARKER SHALL BE HELD LIABLE FOR ANY INJURY OR DAMAGE TO THE SAFETY OF THE WORK OR PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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BLACK ROCK COFFEE BAR
BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
EROSION CONTROL NOTES

S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

DATE: 2024-12-09

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO: **C8.02**

FILE NAME: K:\24003198 - BR - Parker - 800 - 12/07/2024 - 08:00 AM PLOTTED BY: npsr Date Plotted: 12/07/2024 08:00 AM PROJECT: 24003198 - CBMP EROSION DETAILS.dwg LAST SAVED: 12/07/2024 08:00 AM PLOTTED BY: npsr Date Plotted: 12/07/2024 08:00 AM PROJECT: 24003198 - CBMP EROSION DETAILS.dwg

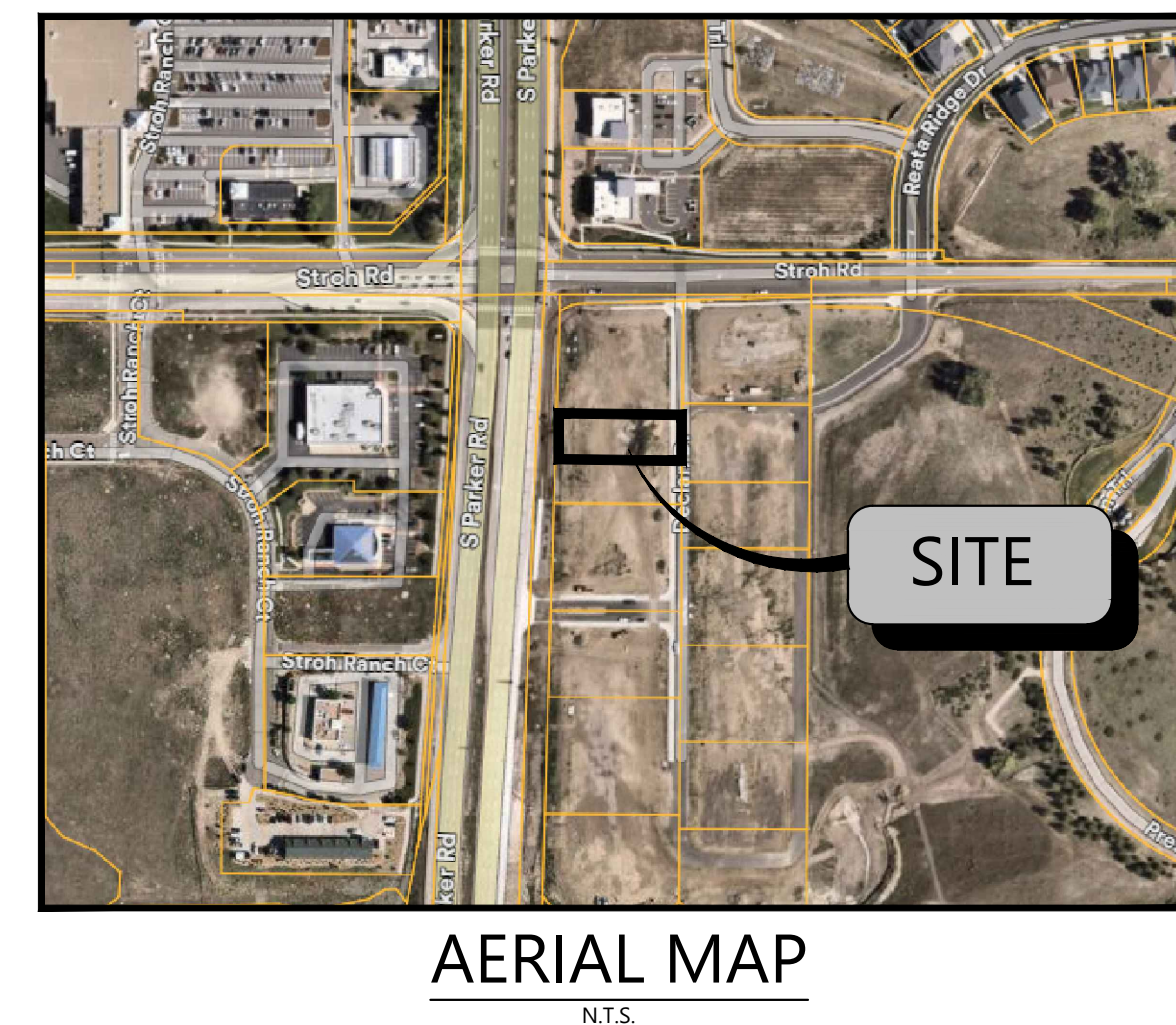
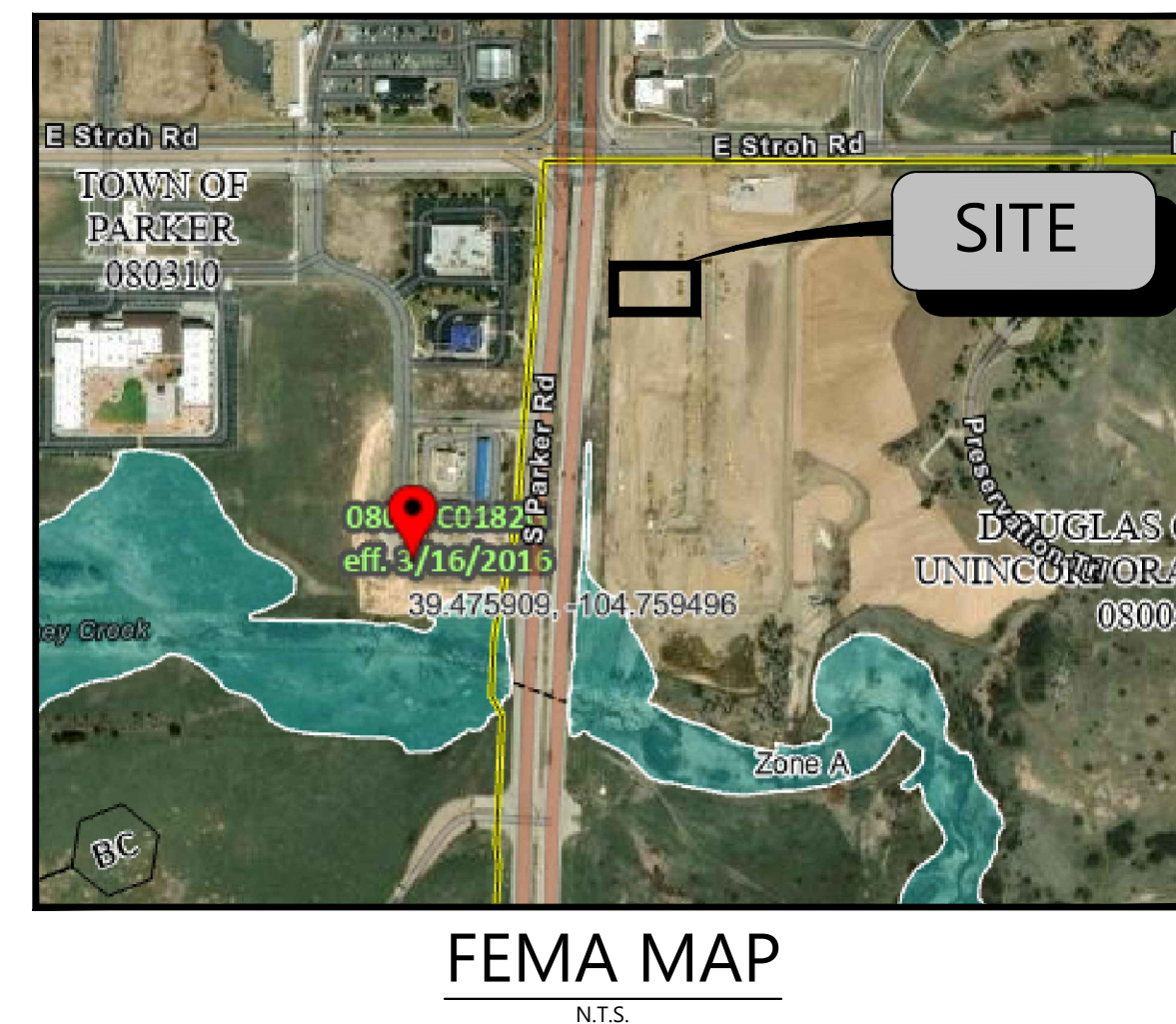
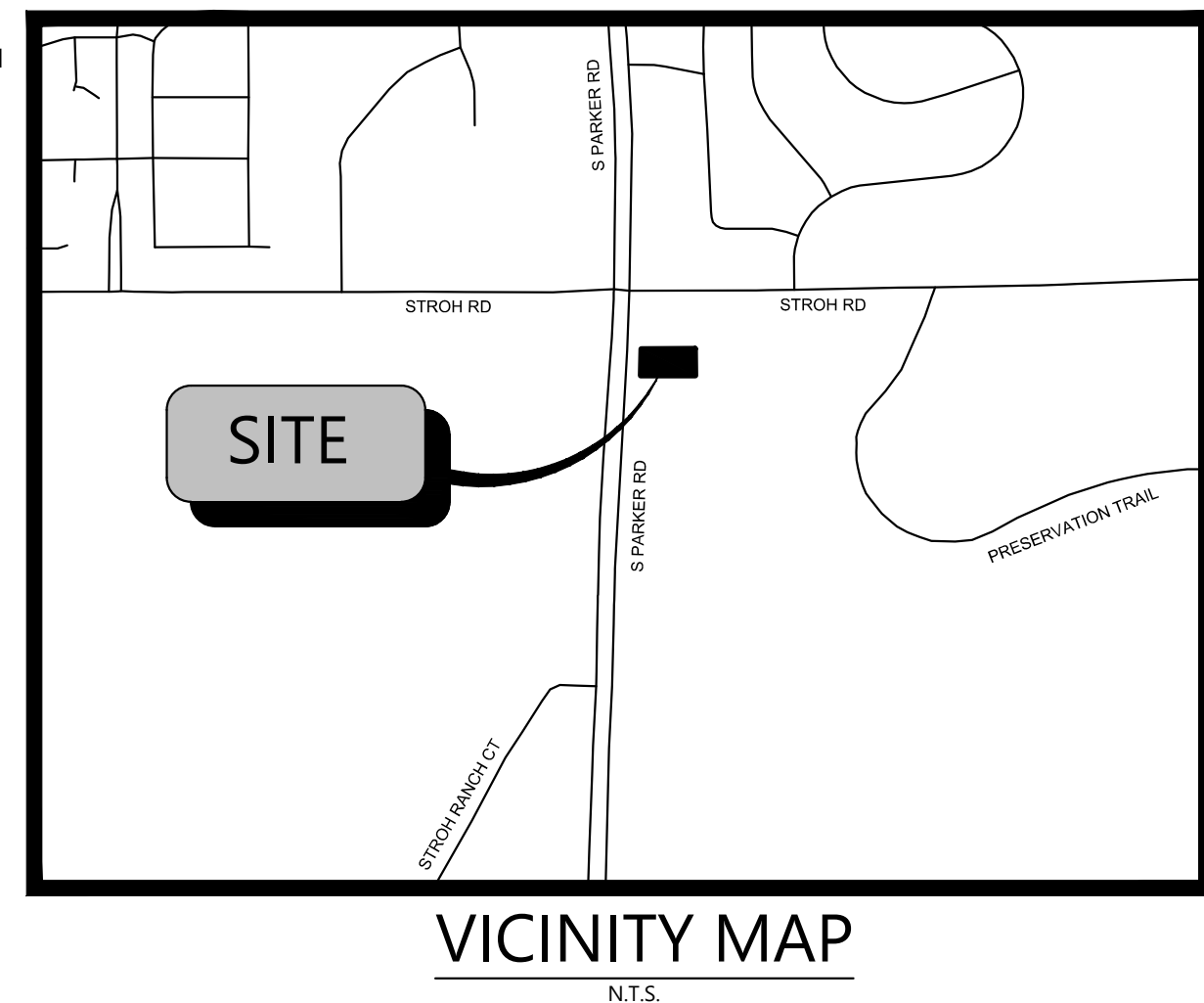
GENERAL NOTES:

- 1. TOPOGRAPHIC MAPPING AS OF 10/31/2024 PREPARED BY BARRON LAND, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN HE SHALL, AT HIS EXPENSE, HAVE NEW MAPPING PREPARED BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR ACCEPTANCE AND APPROVAL.
2. CONTRACTOR SHALL REFER TO THE GRADING, EROSION AND SEDIMENT CONTROL (GESC) PLAN FOR ADDITIONAL REQUIREMENTS. NO WORK SHALL OCCUR UNTIL THE BMPs DEPICTED ON THE GESC HAVE BEEN INSTALLED AND ARE APPROVED BY THE CITY. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
3. EXISTING CONTOURS ARE SHOWN AT 1-FOOT INTERVALS; PROPOSED OVERLOT CONTOURS ARE SHOWN AT 1-FOOT INTERVALS.
4. ALL EARTHWORK, GRADING, OVERLOT GRADING, BACKFILLING, FILLING, EXCAVATION, COMPACTION, PAVEMENT, AND FLATWORK SHALL BE IN CONFORMANCE WITH THE GEOTECHNICAL REPORT PREPARED BY UES. TITLED GEOTECHNICAL EXPLORATION REPORT, DATED FEBRUARY 21, 2024. THE CONTRACTOR IS REQUIRED TO HAVE A SIGNED AND SEALED COPY OF THE REPORT AT THE SITE AT ALL TIMES. DURING CONSTRUCTION, IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED, THE GEOTECHNICAL ENGINEER SHALL BE CONTACTED BY THE CONTRACTOR FOR RECOMMENDATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR:
a. VERIFYING ALL UTILITIES, WHETHER SHOWN OR NOT SHOWN, AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. ALL UTILITIES TO REMAIN (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE PROTECTED FROM DAMAGE AND ADJUSTED TO FINAL GRADE.
b. PREPARING ANY TRAFFIC CONTROL PLANS, AS MAY BE REQUIRED TO PERFORM THE WORK, AND PROVIDING ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION, AS REQUIRED FOR THE WORK. THE PLAN FOR TRAFFIC CONTROL SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO COMMENCING ANY WORK IN THE RIGHTS-OF-WAY.
c. OBTAINING ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK AND TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
d. KEEPING ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
e. COORDINATING PRIOR TO CONSTRUCTION WITH THE GEOTECHNICAL ENGINEER, THE CITY, AND UTILITY AND STORM WATER DISTRICT INSPECTORS TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS.
f. KEEPING TRACK OF ALL APPROVED DEVIATIONS FROM THE PLANS AND PROVIDING THE PROJECT ENGINEER WITH AS-BUILT DRAWINGS OF ALL IMPROVEMENTS REQUIRED FOR THE WORK.
g. COMPLYING WITH CITY GENERAL REQUIREMENTS, STANDARDS, AND SPECIFICATIONS.
h. PROVIDING AS-BUILT DRAWINGS OF CONSTRUCTED UTILITIES UPON COMPLETION OF THE WORK.

PARKER WATER AND SANITATION CONSTRUCTION PLANS FOR



S. PARKER RD & STROH RD PARKER, DOUGLAS COUNTY, COLORADO TAX PARCEL: 234903104014



NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2015.

UTILITY NOTES

- 1. ROADWAY DIMENSIONS ARE FROM FL-FL, 1-FOOT PAN IS PROPOSED ONSITE.
2. ALL UTILITY CONSTRUCTION SHALL CONFORM TO PARKER WATER AND SANITATION DISTRICT AND CRITERIA REFERENCE. LOCAL AGENCY INFRASTRUCTURE DESIGN AND CONSTRUCTION STANDARDS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE PARKER WATER AND SANITATION DISTRICT THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER PUBLIC WORKS AND PARKER WATER AND SANITATION DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES. EXISTING UTILITIES SHOWN ON THIS PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND DO NOT REFLECT A COMPLETE SURVEY OF EXISTING UTILITIES. CONTACT THE ENGINEER WITH DISCREPANCIES.
6. CONTRACTOR SHALL VERIFY THE STUB TIE IN ELEVATION PRIOR TO START OF CONSTRUCTION. THE ELEVATION OF THE STUB SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO SANITARY SEWER CONSTRUCTION.
7. SAWCUT OF EXISTING STREETS SHALL BE IN CONFORMANCE WITH TOWN STANDARDS. CUTS SHALL STRAIGHT WITH CLEAN EDGES. REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT RETURN ALONG EXISTING LINE AND GRADE.
8. THE OWNER AND OR THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR COORDINATION WITH EXISTING FRANCHISE UTILITIES TO INCLUDE COMCAST, XCEL, CENTURY LINK OR OWNERS OF EXISTING DRY UTILITY LINES.
9. EXISTING UTILITY SURFACE APPURTENANCES SHALL BE RAISED TO FINISHED GRADE, THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE LIDS, VALVE COVERS.
10. SITE SURVEY IS PROVIDED BY BARRON LAND DATED 10-31-2024.
11. THE CONTRACTOR SHALL HAVE AN APPROVED SET OF CONSTRUCTION PLANS ON SITE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE CONSTRUCTION, NOTIFYING AND SCHEDULING LOCAL AGENCIES INSPECTIONS.
12. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF FITTING TO CENTER OF FITTING STATIONING IS ALIGN DRIVE CENTERLINE AND CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
13. ELEVATIONS ARE FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.

Sheet List Table

Table with 2 columns: Sheet Number, Sheet Title. Rows include: 01 WATER AND SEWER COVER SHEET, 02 WATER AND SEWER GENERAL NOTES, 03 OVERALL UTILITY PLAN, 04 WATER PLAN, 05 SEWER PLAN AND PROFILE, 06 WATER DETAILS, 07 WATER DETAILS, 08 SEWER DETAILS, 09 SEWER DETAILS.

BLACK ROCK COFFEE BAR TOTAL SITE AREA: 0.60 AC. / 25,933 SF AC. ZONING: MODIFIED COMMERCIAL

DEVELOPMENT TEAM

Table listing roles: OWNER (DOUBLETREE VENTURES, LLC), CIVIL ENGINEER (ATWELL, LLC), SURVEYOR (BARRON LAND), DEVELOPER (BLACK ROCK COFFEE BAR), etc.

GOVERNING AGENCIES AND UTILITY CONTACTS

Table listing contacts for: WATER & WASTEWATER, ENGINEERING DEPARTMENT, STORM DRAINAGE PROVIDER, FIRE PROTECTION, GAS PROVIDER, PHONE PROVIDER, ELECTRIC PROVIDER.

PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THEY CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES. EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS. AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

LEGAL DESCRIPTION

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD: 6940 STROH ROAD, PARKER, CO

BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NAVD88)

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

PARKER WATER AND SANITATION DISTRICT

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT (303) 841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS.

ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION. REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

BY: (DISTRICT REPRESENTATIVE)

DATE:

APPROVED FOR CONSTRUCTION: PARKER WATER AND SANITATION DISTRICT BY: (DISTRICT ENGINEER)

DATE:

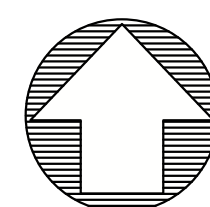
ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE

(NOTE- UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENT OF NFPA 24 WHEN SUBMITTING FOR REVIEW.

Vertical sidebar containing logos for 811, ATWELL, BLACK ROCK COFFEE BAR, BLACK ROCK DEVELOPMENT COMPANY, LLC, and project details like DATE: 2024-12-09, DRAWN BY: S. KIDD, SHEET NO: 01.

FILE NAME: K:\24003198 - BR - Parker - 05_10_24 PRODUCTION\UTILITY SHEET SET\24003198 - UTILITY COVER.dwg LAST SAVED BY: rramsey 12/10/2024 2:12 PM PLOTTED BY: rramsey 12/10/2024 2:12 PM PLOTTED IN: rramsey 12/10/2024 2:12 PM PLOTTED ON: 24003198 - UTILITY COVER.dwg



811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE REPRESENTATION. THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR. THE CONTRACTOR SHALL LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INJURIES OR DAMAGES TO PERSONS OR PROPERTY ARISING FROM THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.356.9860

BLACK ROCK COFFEE BAR
BLACK ROCK DEVELOPMENT COMPANY, LLC
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

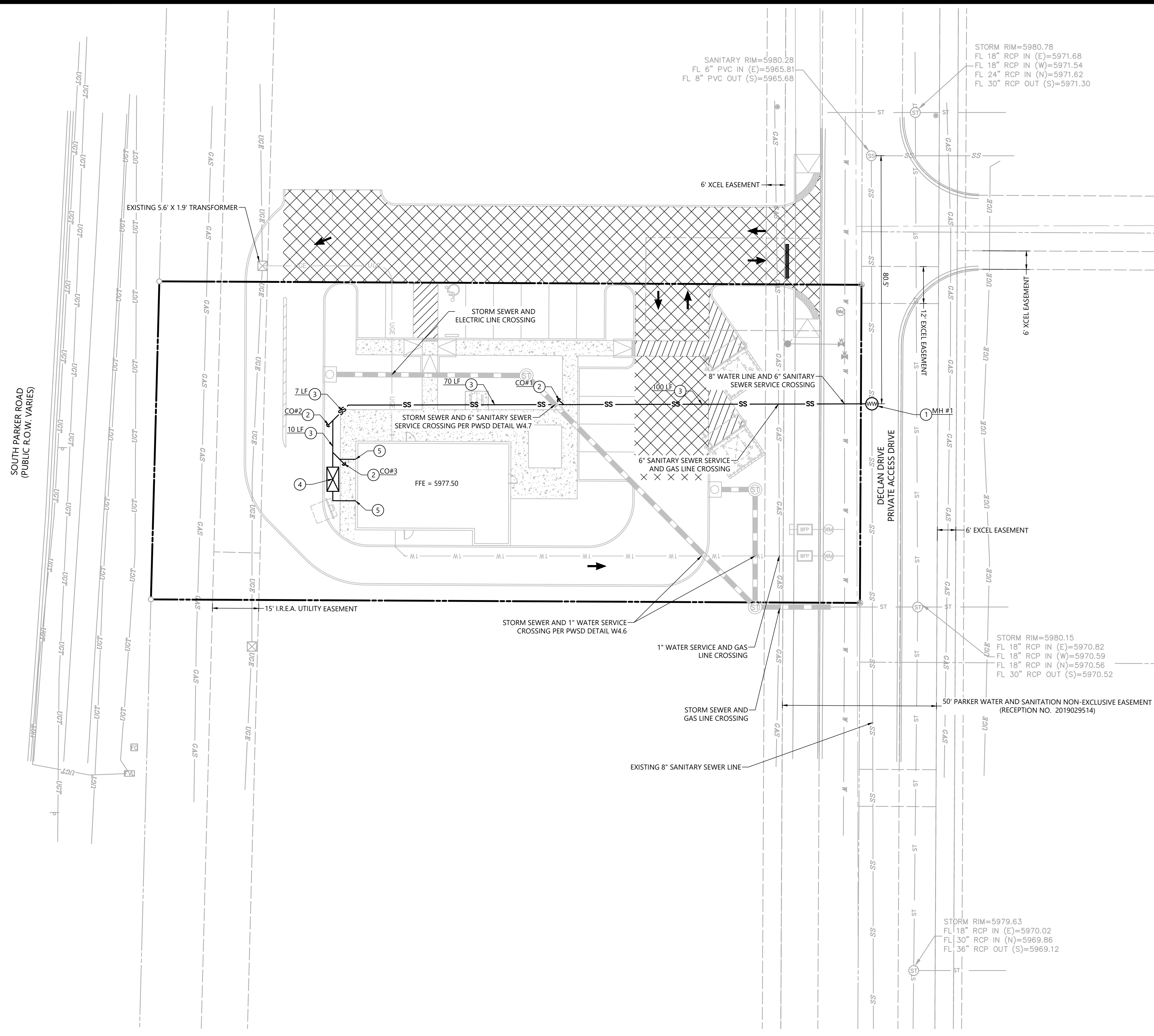
BLACK ROCK COFFEE BAR
BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
SEWER PLAN AND PROFILE

DATE 2024-12-09

REVISIONS

SCALE: 1"=20'

DRAWN BY: S. KIDD
CHECKED BY: C. ATCHLEY
PROJECT MANAGER: C. ATCHLEY
JOB #: 24003198
FILE CODE: ##
SHEET NO. 05



UTILITY NOTES

1. ALL UTILITY CONSTRUCTION SHALL CONFORM TO PARKER WATER AND SANITATION DISTRICT AND CRITERIA REFERENCE. LOCAL AGENCY INFRASTRUCTURE DESIGN AND CONSTRUCTION STANDARDS.
2. NOMINAL DEPTH OF WATER MAIN SHALL BE 4.5' FROM FINISHED GRADE TO TOP OF PIPE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE PARKER WATER AND SANITATION DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER PUBLIC WORKS AND PARKER WATER AND SANITATION DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES. EXISTING UTILITIES SHOWN ON THIS PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND DO NOT REFLECT A COMPLETE SURVEY OF EXISTING UTILITIES. CONTACT THE ENGINEER WITH DISCREPANCIES.
6. CONTRACTOR SHALL VERIFY THE STUB TIE IN ELEVATION PRIOR TO START OF CONSTRUCTION. THE ELEVATION OF THE STUB SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO SANITARY SEWER CONSTRUCTION.
7. SAWCUT OF EXISTING STREETS SHALL BE IN CONFORMANCE WITH TOWN STANDARDS. CUTS SHALL STRAIGHT WITH CLEAN EDGES. REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT RETURN ALONG EXISTING LINE AND GRADE.
8. THE OWNER AND OR THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR COORDINATION WITH EXISTING FRANCHISE UTILITIES TO INCLUDE COMCAST, XCEL, CENTURY LINK OR OWNERS OF EXISTING DRY UTILITY LINES.
9. EXISTING UTILITY SURFACE APPURTENANCES SHALL BE RAISED TO FINISHED GRADE, THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE LIDS, VALVE COVERS.

SANITARY SEWER QUANTITIES

DESCRIPTION	LEGEND	QUANTITY
SANITARY SEWER LINE (6-INCH)	SS	± 215 LF
SANITARY SEWER CLEAN OUT (CO)	CO	3 EACH
SANITARY SEWER MANHOLE (MH) (8-INCH)	MH	1 EACH
GREASE INTERCEPTOR REBAR PAVEMENT (ON-SITE)	GI	± 31 SF

SANITARY SEWER SERVICE NOTES

1. CONNECT TO EXISTING SANITARY SEWER SERVICE LINE AND INSTALL MH PER P.W.S.D. STD. DTLS WITH NECESSARY AND APPROPRIATE FITTINGS. CONTRACTOR TO VERIFY INVERTS PRIOR TO CONSTRUCTION.
2. INSTALL GAS/WATER TIGHT CLEANOUT PLUGS PER P.W.S.D. STD. DTLS. LENGTH PER PLAN.
3. INSTALL 6" PVC SDR-35 SEWER LINE BEDDING AND BACKFILL PER P.W.S.D. STD. DTLS.
4. INSTALL GREASE INTERCEPTOR PER P.W.S.D. STD. DTLS.
5. CONNECT TO BUILDING STUB. SEE ARCHITECTURAL PLANS FOR CONTINUATION.

FILE NAME: \\prod\c\proj\24003198 - BRC - Parker - Sewer - Plan and Profile.dwg LAST SAVED BY: sprog 12/02/2024 4:28 PM PLotted by: sprog 12/02/2024 4:28 PM PLOTTER: HP DesignJet 5000 Series PLOTTER: HP DesignJet 5000 Series PLOTTER: HP DesignJet 5000 Series

CAD FILE: 24003198 - UTILITY SEWER PLAN AND PROFILE

INSPECTION POLICY:

1. ALL SERVICE INSPECTIONS MUST BE SCHEDULED WITH THE DISTRICT OFFICE AT LEAST 24 HOURS IN ADVANCE OF THE REQUESTED INSPECTION.
2. IF THE CONTRACTOR IS NOT READY FOR INSPECTION WHEN THE INSPECTOR ARRIVES AT THE SITE, A RE-INSPECTION WILL HAVE TO BE SCHEDULED IN ACCORDANCE WITH NOTE 1 ABOVE AND A RE-INSPECTION FEE CHARGED.
3. SHOULD THE SERVICE LINES BE DAMAGED BY LATER CONSTRUCTION, AN INSPECTION OF THE REPAIR WILL BE REQUIRED IN ACCORDANCE WITH NOTES 1 AND 2 ABOVE.
4. THE CONTRACTOR SHALL LEAVE ALL PIPE AND FITTINGS EXPOSED FOR THE INSPECTOR TO OBSERVE. INSPECTORS WILL NOT ENTER ANY EXCAVATIONS TO CHECK MATERIALS. THE TOP LAYER OF BEDDING CAN BE ADDED AFTER THE INSPECTION HAS BEEN COMPLETED.
5. ALL EXCAVATIONS SHALL BE IN ACCORDANCE WITH OSHA STANDARDS.
6. LOTS WITHOUT BUILDING ADDRESSES OR LOT AND BLOCK NUMBERS BEFORE DISTRICT INSPECTION OR METER SET WILL FAIL AUTOMATICALLY.
7. CONTRACTOR MUST BE PRESENT AT TIME OF INSPECTION UNLESS COORDINATED WITH DISTRICT INSPECTOR.

INSTALLATION NOTES:

SEWER

1. ACCEPTABLE PIPE MATERIALS ARE TO BE SDR 35 PVC PIPE, ABS PIPE AND PVC SCHD 40 PIPE. APPROVED BEDDING IS TO BE SQUEEGEE.
2. NO-HUB CLAMPS SHALL BE USED TO JOIN 2 MALE PIPE ENDS WITH A MAXIMUM DEFLECTION OF 3".
3. MINIMUM GRADE SHALL BE 2%.
4. INSTALLATION SHALL INCLUDE NO MORE THAN 3 BENDS. 90° BENDS ARE NOT ALLOWED. SOLVENT WELDED PIPE WILL NOT BE ALLOWED.
5. CLEAN-OUTS SHALL BE INSTALLED AT 100' INTERVALS AND EVERY CHANGE IN DIRECTION. CLEAN-OUTS ARE NOT REQUIRED FOR SERVICES LESS THAN 100' UNLESS THERE ARE CHANGES IN DIRECTION. PROVIDE DUAL CLEAN-OUT WITHIN 5 FEET OF FOUNDATION.
6. STRESSING OF THE PIPE BETWEEN FITTINGS WILL NOT BE ALLOWED.
7. SEWER SERVICE LINE SHALL NOT BE LOCATED UNDER CONCRETE SURFACE.
8. ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:
"X" FOR SANITARY SEWER SERVICE
"V" FOR WATER SERVICES

PARKER WATER & SANITATION DISTRICT
DISTRICT POLICIES & INSTALLATION NOTES FOR SEWER SERVICES

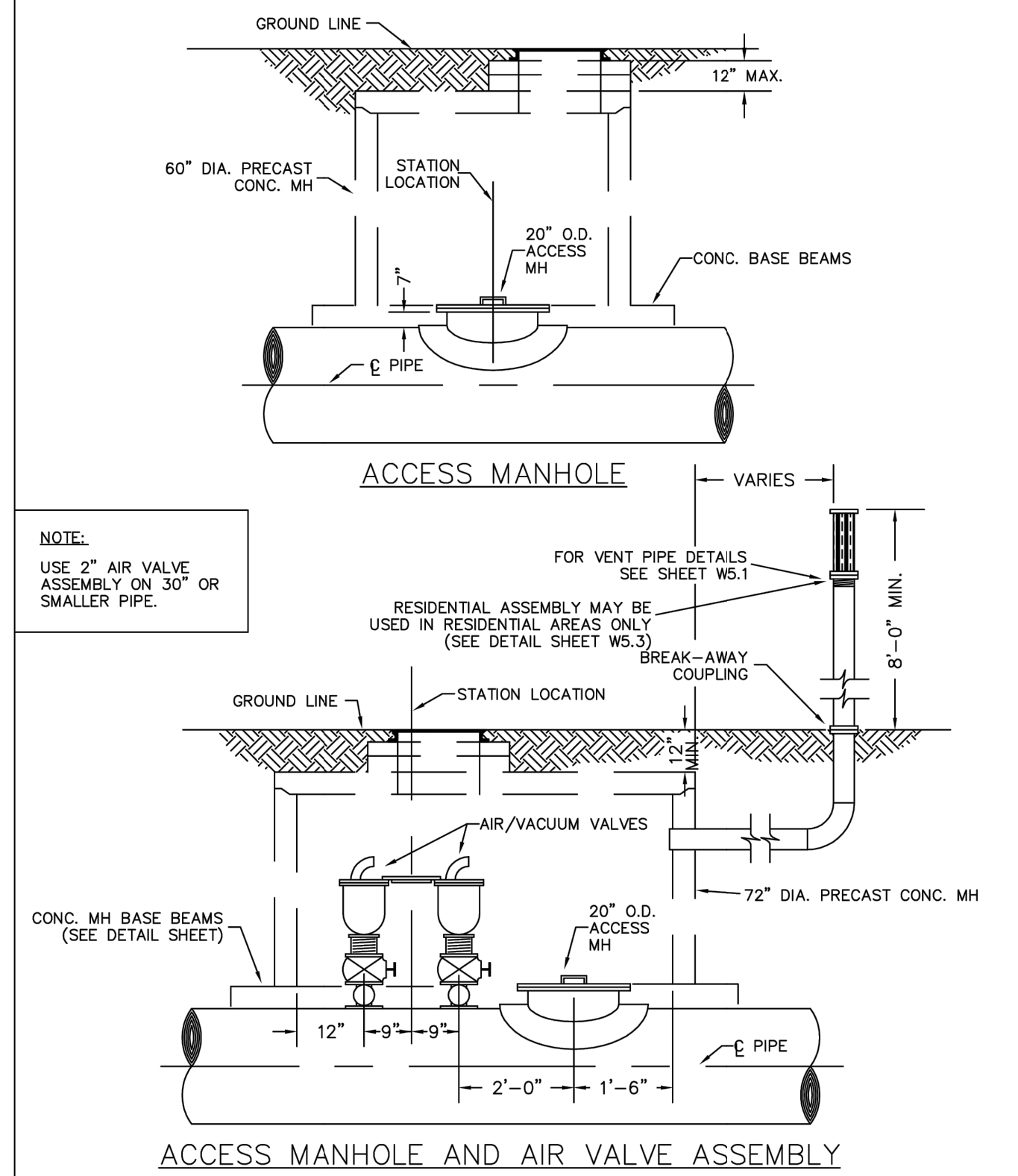
SCALE: NONE DATE: 2/96

APPROVED: PVR 01/02 10/16
1/08 1/16

DIRECTOR OF ENGINEERING

SHEET 51.1

2016 REVISION



PARKER WATER & SANITATION DISTRICT
ACCESS MANHOLE ASSEMBLY

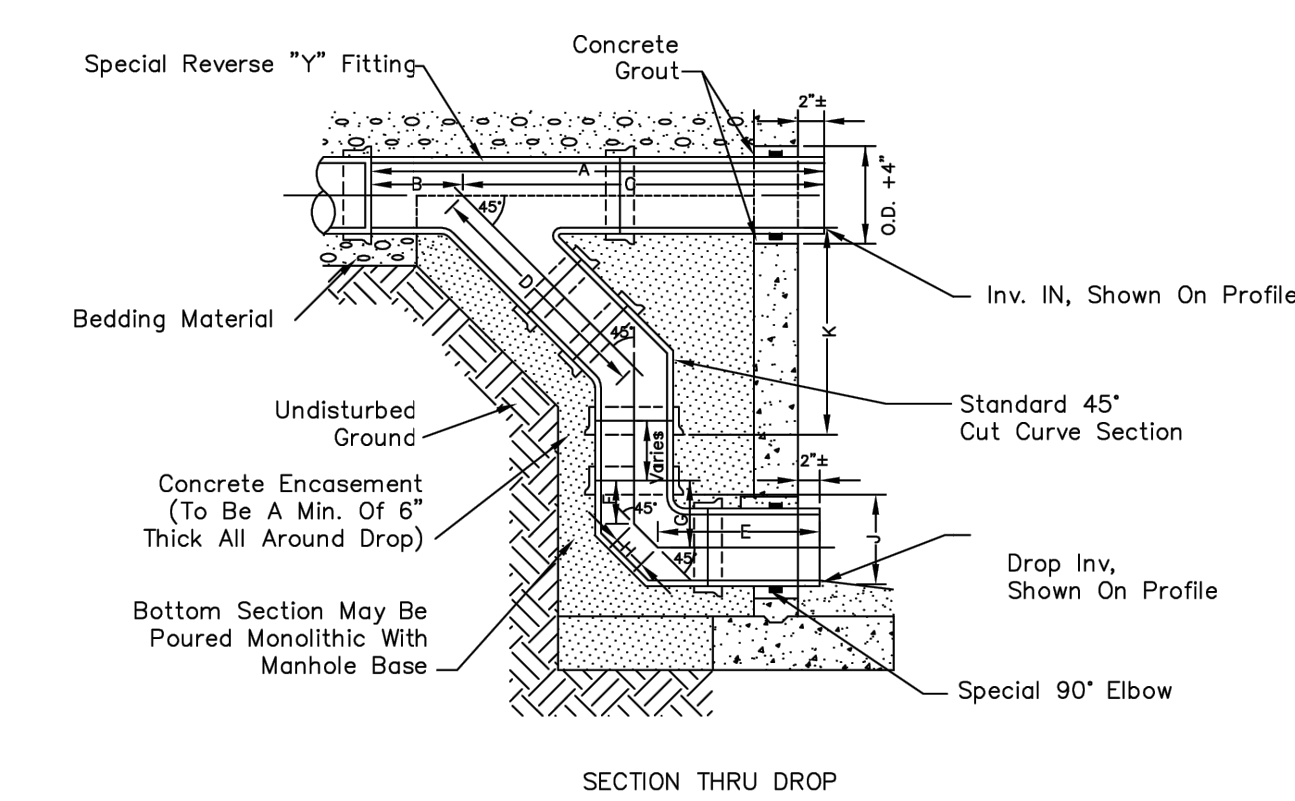
SCALE: NONE DATE: 2/96

APPROVED: PVR 4/01 10/16
1/16 10/16

DIRECTOR OF ENGINEERING

SHEET W3.20

2016 REVISION



SECTION THRU DROP

PIPE I.D.	A	B	C	D	E	F	G	H	J	K	J+K
8"	60"	26"	34"	18"	21"	4 1/2"	6"	4 3/8"	12"	15 7/8"	27 7/8"
10"	60"	26"	34"	18"	21"	5 1/2"	6"	5 1/8"	12"	16 1/2"	28 1/2"
12"	60"	26"	34"	18"	21"	6 1/2"	6"	6 1/8"	12"	17 1/4"	29 1/4"
14"	60"	26"	34"	18"	21"	7 1/2"	6"	7 1/8"	12"	18 1/4"	30 1/4"
16"	60"	26"	34"	18"	21"	8 1/2"	6"	8 1/8"	12"	19 1/4"	31 1/4"

- NOTES:**
1. Vit Clay Pipe & fittings (A.S.T.M. C-700) shown, details similar for all other pipe.
 2. Diameter of drop shall not be less than the line pipe diameter.
 3. For 18" diameter and larger, outside drop detail shall be a special design.
 4. Manhole shall be coated using bituminous mastic (ramneck) or plastic sealing compound.

OUTSIDE DROP MANHOLE CONSTRUCTION

PARKER WATER & SANITATION DISTRICT
OUTSIDE DROP MANHOLE CONSTRUCTION

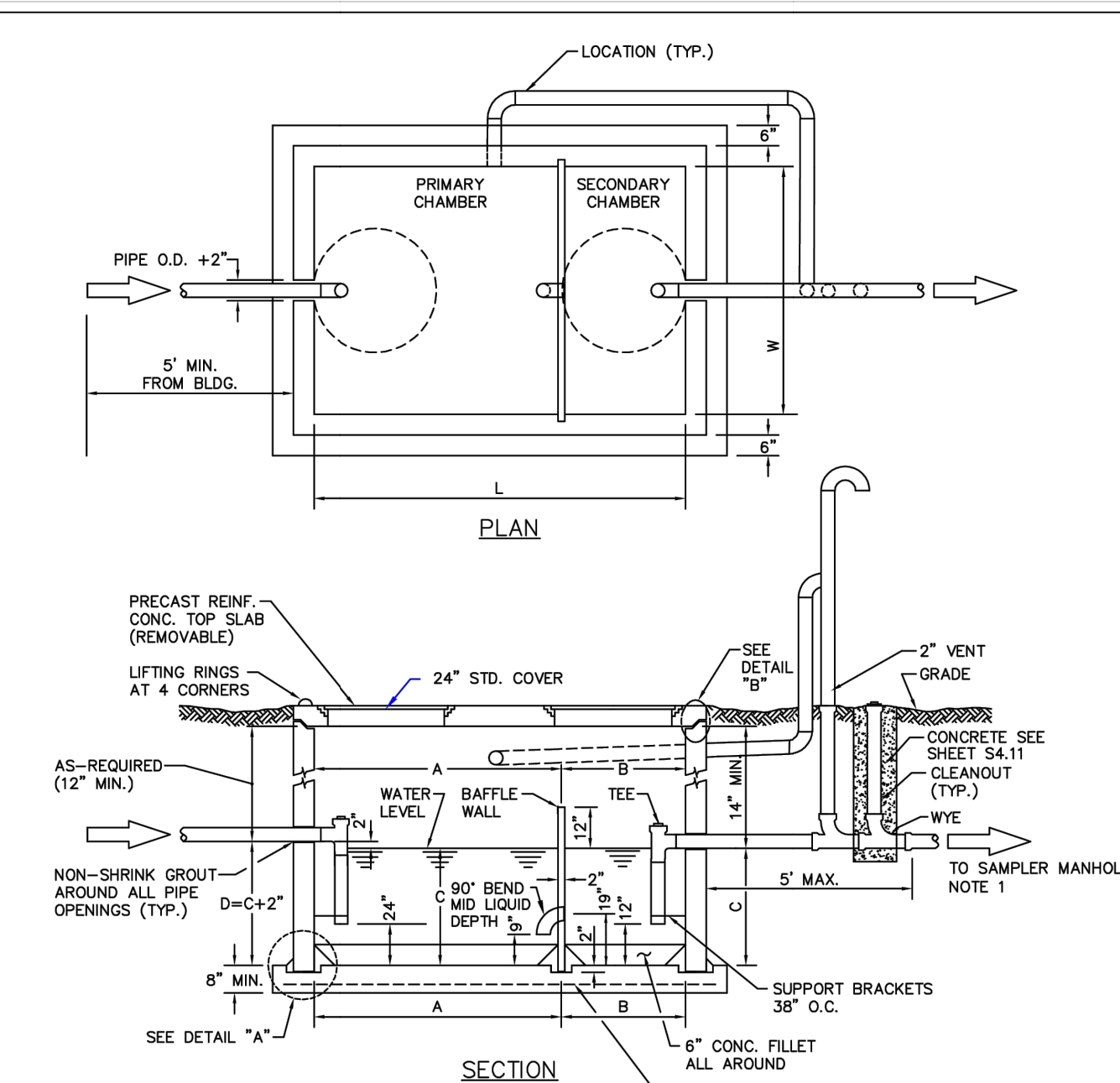
SCALE: NONE DATE: 2/96

APPROVED: PVR 01/18 10/16

DIRECTOR OF ENGINEERING

SHEET 53.8

2016 REVISION



CAPACITY CHART

TOTAL WATER CAP. APPROX. (GALLONS)	GREASE CAP. APPROX. (CU. FT.)	DIMENSIONS (INCHES)					
		W	L	A	B	C	D
1190	61	72	96	64	32	40	42
1600	84	72	144	96	48	40	42
1840	103	72	144	96	48	46	48
2080	117	72	144	96	48	52	54
2560	150	72	144	96	48	64	68
3040	183	72	144	96	48	76	78
3280	202	72	144	96	48	82	84
3520	216	72	144	96	48	88	90

TOP OF VAULT BELOW FINISHED GRADE OR AT GRADE. IF BELOW GRADE, RING AND COVER SHALL BE ADJUSTED TO FINAL GRADE USING A MINIMUM OF 4" GRADE RINGS AND A MAXIMUM OF 12" GRADE RINGS. FOR DEPTHS OVER 12" A MAN HOLE BARREL SECTION WILL BE REQUIRED WITH A FLAT TOP FOR DEPTHS OF 4' OR LESS AND AN ECCENTRIC CONE TOP FOR DEPTHS GREATER THAN 4'

PARKER WATER & SANITATION DISTRICT
COMMERCIAL GREASE INTERCEPTOR

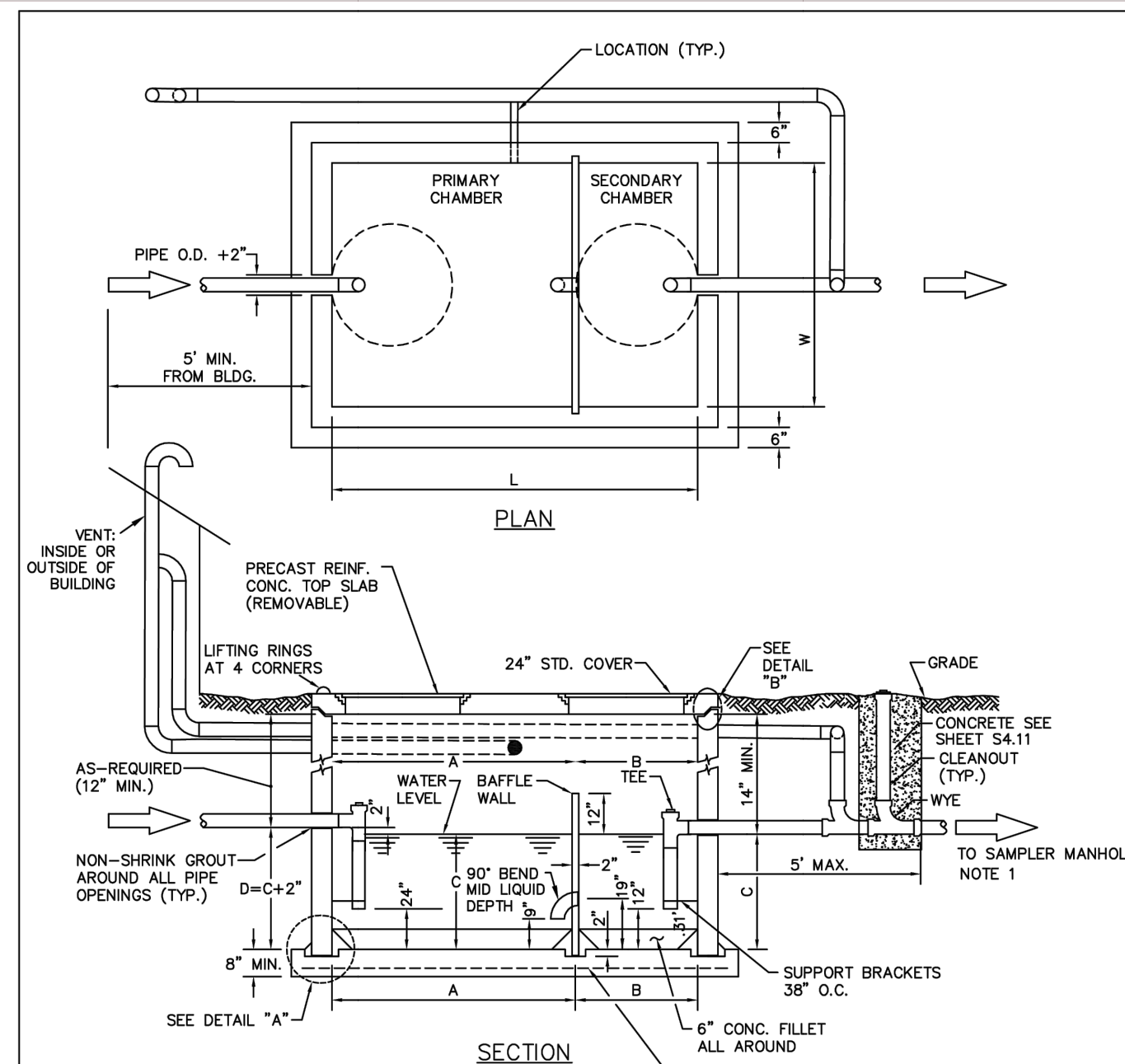
SCALE: NONE DATE: 2/96

APPROVED: PVR 2/00 01/02 01/16 10/16

DIRECTOR OF ENGINEERING

SHEET 51.2

2016 REVISION



CAPACITY CHART

TOTAL WATER CAP. APPROX. (GALLONS)	GREASE CAP. APPROX. (CU. FT.)	DIMENSIONS (INCHES)					
		W	L	A	B	C	D
1190	61	72	96	64	32	40	42
1600	84	72	144	96	48	40	42
1840	103	72	144	96	48	46	48
2080	117	72	144	96	48	52	54
2560	150	72	144	96	48	64	68
3040	183	72	144	96	48	76	78
3280	202	72	144	96	48	82	84
3520	216	72	144	96	48	88	90

TOP OF VAULT BELOW FINISHED GRADE OR AT GRADE. IF BELOW GRADE, RING AND COVER SHALL BE ADJUSTED TO FINAL GRADE USING A MINIMUM OF 4" GRADE RINGS AND A MAXIMUM OF 12" GRADE RINGS. FOR DEPTHS OVER 12" A MAN HOLE BARREL SECTION WILL BE REQUIRED WITH A FLAT TOP FOR DEPTHS OF 4' OR LESS AND AN ECCENTRIC CONE TOP FOR DEPTHS GREATER THAN 4'

PARKER WATER & SANITATION DISTRICT
COMMERCIAL GREASE INTERCEPTOR

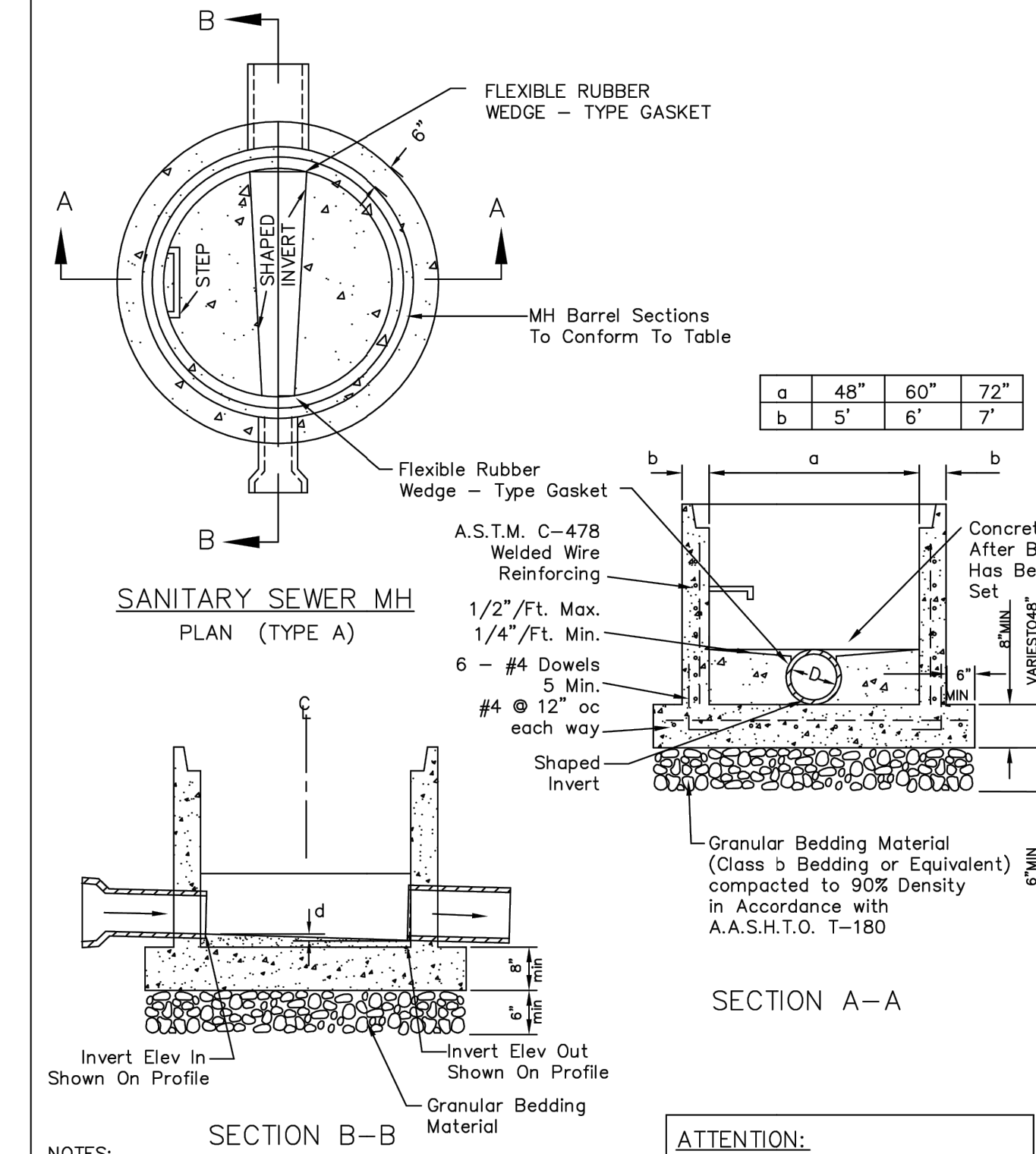
SCALE: NONE DATE: 2/96

APPROVED: PVR 01/02 01/16 10/16

DIRECTOR OF ENGINEERING

SHEET 55.2

2016 REVISION



NOTES:

1. Base slab shall be cast monolithically with the bottom riser section.
2. All pipe openings shall be formed with an approved flexible rubber wedge - type gasket conforming to A.S.T.M. C-443 which shall be capable of providing a water - tight joint with zero leakage around the installed pipe(s).
3. Manhole steps installed in bottom riser section shall conform to PWSD Standards and Specifications.
4. Shipping joint on manhole barrel riser shall conform to PWSD Standards and Specifications. Manhole barrel min. diameter shall conform to table. Precast barrel sections to conform to A.S.T.M. C-478. All dead-end manholes shall be stubbed thru at 0.40% minimum slope.
5. Grouted flow channels and inverts shall conform to PWSD Standards and Specifications. Manhole barrel min. diameter shall conform to table. Precast barrel sections to conform to A.S.T.M. C-478. All dead-end manholes shall be stubbed thru at 0.40% minimum slope.
6. Stub outs shall extend 2'-0" min past manhole O.D. and be satisfactory plugs.
7. Invert drop thru Manhole (if > 18" outside drop min req'd)

ATTENTION:
NOT TO BE USED WITHOUT EXPRESS PERMISSION OF DISTRICT ENGINEER.

PARKER WATER & SANITATION DISTRICT
PRECAST MANHOLE BASE DETAIL

SCALE: NONE DATE: 2/96

APPROVED: PVR 01/02 10/16

DIRECTOR OF ENGINEERING

SHEET 53.4

2016 REVISION

811

Know what's Below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDIVIDUALLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR. THE CONTRACTOR SHALL LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
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NORTH RICHLAND HILLS, TX 76180
972.356.9860

PARKER

S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR

BLACK ROCK DEVELOPMENT COMPANY, LLC
BLACK ROCK COFFEE BAR
SEWER DETAILS

DATE: 2024-12-09

REVISIONS:

DRAWN BY: S. KIDD
CHECKED BY: C. ATCHLEY
PROJECT MANAGER: C. ATCHLEY
JOB #: 24003198
FILE CODE: ##
SHEET NO. **08**

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811
Know what's Below. Call before you dig.
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24 HOUR EMERGENCY CONTACT

ATWELL
 866.850.4200 www.atwell-group.com
 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHLAND, TEXAS 76180
 FIRM (LOCAL) F-12342

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

LANDSCAPE PLAN

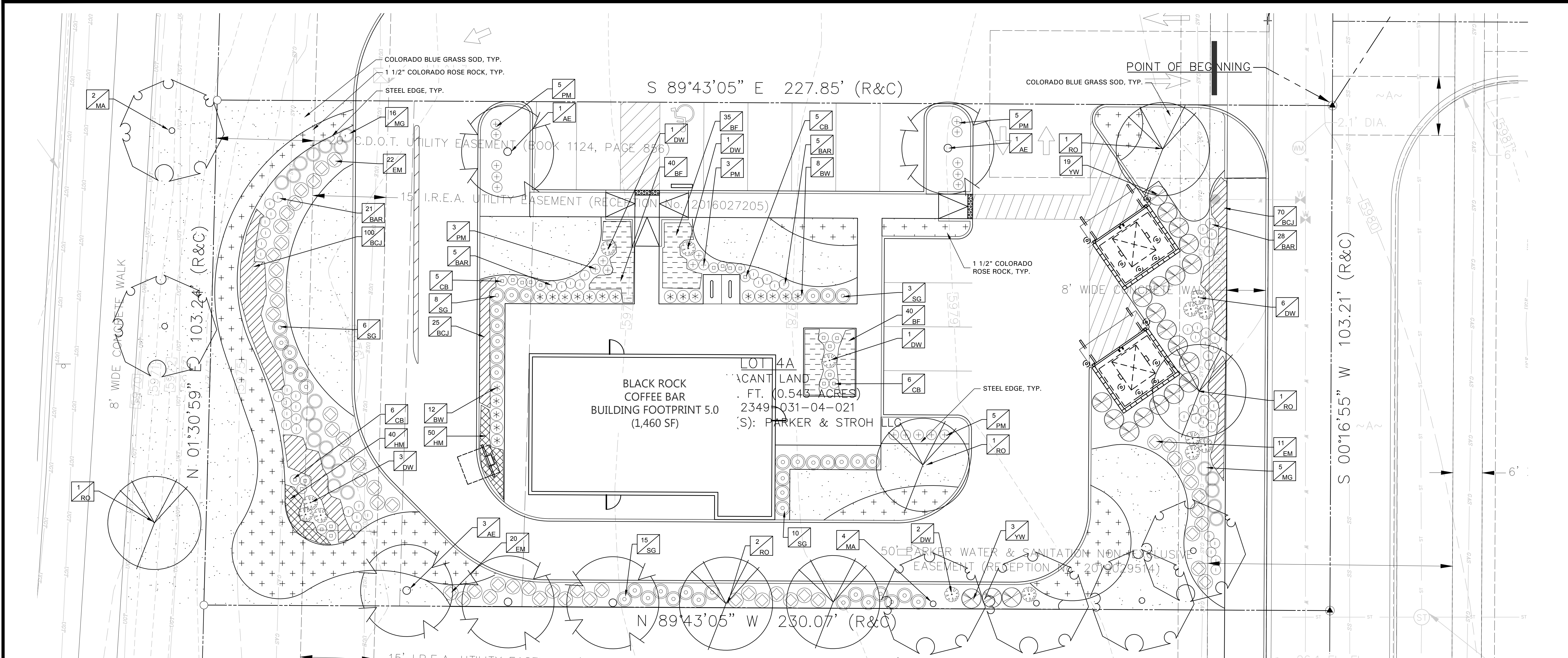
DATE: 2024-11-11

REVISIONS

AMANDA W. RICHARDSON
 1484
 12/08/2020
 Original Date of Licensure
 STATE OF COLORADO
 LICENSED LANDSCAPE ARCHITECT

DRAWN BY: K. SARWAR, S. KIDD
 CHECKED BY: C. ATCHLEY
 PROJECT MANAGER: C. ATCHLEY
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO.

L1.01



- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION
 - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR
 - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPILLS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION
 - CONTRACTOR SHALL MAINTAIN LAWN AREAS UNTIL FINAL ACCEPTANCE
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOLID SOD:**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN
 - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (1+1/4") EXCLUDING TOP GROWTH AND THATCH
 - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY
 - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.
- HYDROMULCH:**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION
 - COLORADO BLUE GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS
 - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWEY" OR EQUAL
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE TERRO-TACK ONE, AS MANUFACTURED BY GROVERS, INC OR APPROVED EQUAL
 - HYDROMULCH WITH COLORADO BLUE GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY REGULAR MAINTENANCE FOR OPTIMUM MOISTURE FOR SEED APPLICATION
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVERSEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH COLORADO BLUE GRASS SEED THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS
 - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE. PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
 - EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
 - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
 - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
 - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE UNIT PRICINGS OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.
- IRRIGATION:**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.
- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.
- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/16" X 4 X 18" DARK GREEN DURABLE/EDGE STEEL. LANDSCAPE ARCHITECT HAS NOTED OTHERS ON PLANS/DETAILS.
 - ROCK SHALL BE COLORADO ROSE ROCK, 1.5" IN DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

LANDSCAPE TABULATIONS for Parker, CO

SITE AREA	
1. 15% of the developed area shall be landscaped.	
2. 75% of the required landscape shall be living material.	
Site: 0.543 acres; 23,653 s.f.	
REQUIRED	PROVIDED
3548 s.f. (15%)	10,580 s.f. (44.7%)
2681 s.f. (75%)	9,039 s.f.

STREETSCAPE

1. 8' shall be provided from the back of curb to the walk.
2. One tree shall be provided for every 40 l.f. of frontage, uniformly spaced. Evergreen trees are prohibited. A minimum of 3' species shall be selected.
3. Streetscape shall consist of 75% living plant material.

S. Parker Road - 103 l.f.	
REQUIRED	PROVIDED
8' width	8' width
2.5 trees	3 trees

S. Parker Road - 103 l.f.

S. Parker Road - 103 l.f.	
REQUIRED	PROVIDED
8' width	8' width
2.5 trees	3 trees

PARKING LOT INTERIOR

1. At least 10% of the lot covered by parking shall be allocated to the landscape islands.
2. Each island shall contain one tree and 5 shrubs for every 162 square feet required.

Parking area: 3625 s.f.	
REQUIRED	PROVIDED
363 s.f. (10%)	495 s.f.
2 trees	3 trees
10 shrubs	15 shrubs

SITE PERIMETER

1. Site perimeter shall be provided to create a landscape edge.
2. P1 Minor Perimeter - 6' width required, 1 tree per 30 l.f., 5 shrubs per 30 linear feet.

South side: 230 l.f.	
REQUIRED	PROVIDED
6' width	6' width
8 trees	8 trees
40 shrubs	40 shrubs

SITE INTERIOR

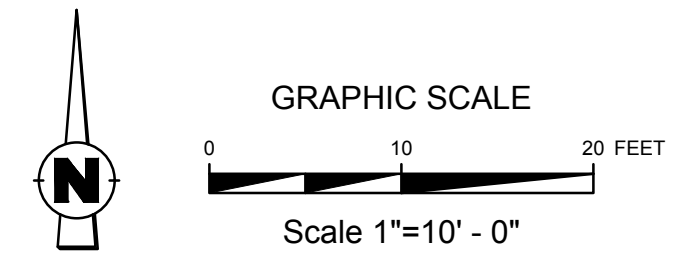
1. Site interior is required to break up the visual massing of large wall areas.

REQUIRED		PROVIDED	
foundation planting		foundation planting	

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
5	AE	Allee Elm	<i>Ulmus parvifolia 'Emer II'</i>	3" cal.	12' ht., 4' spread
6	MA	Celebration Maple	<i>Acer x freemanii 'celtam'</i>	3" cal.	12' ht., 4' spread
6	RO	Red Oak	<i>Quercus rubrum</i>	3" cal.	12' ht., 5' spread
SHRUBS					
59	BAR	Concord Barberry	<i>Berberis thunbergii 'Concorde'</i>	5 gal.	full, 20" sprd, 24" o.c.
20	BW	Boxwood, Green Velvet	<i>Buxus 'Green Velvet'</i>	5 gal.	full, 20" spread, 30" o.c.
22	CB	Chokeberry	<i>Aronia melanocarpa 'UCONNAM165'</i>	5 gal.	full, 20" sprd, 24" o.c.
14	DW	Artic Fire Dogwood	<i>Cornus stolonifera 'Farrow'</i>	5 gal.	full, 24" sprd, 36" o.c.
53	EM	Euonymus Manhattan	<i>Euonymus kiautschovicus 'Manhattan'</i>	5 gal.	full, 24" sprd, 36" o.c.
21	MG	Maiden Grass, Gold Bar	<i>Miscanthus sinensis 'Gold Bar'</i>	5 gal.	full, 20" spread, 30" o.c.
21	PM	Pine, Mugo, Valley Cushion	<i>Pinus mugo 'Valley Cushion'</i>	5 gal.	full, 20" sprd, 24" o.c.
42	SG	Globe Spruce	<i>Picea pungens 'Globoosa'</i>	5 gal.	full, 24" sprd, 36" o.c.
22	YW	Yew Hicks Upright	<i>Taxus x media 'Hicksii'</i>	5 gal.	full, 24" sprd, 42" o.c.
GROUNDCOVER/VINES/GRASS					
195	BCJ	Blue Chip Juniper	<i>Juniperus horizontalis 'Blue Chip'</i>	1 gal.	full, 18" o.c.
115	BF	Blue Fescue, Beyond Blue	<i>Festuca ovata (cinerea) glauca 'Casca111'</i>	1 gal.	full, 18" o.c.
90	HM	Hummingbird Mint	<i>Monardella macrantha 'Marian Sampson'</i>	1 gal.	full, 12" o.c.
		Colorado Blue Grass Sod			
		1 1/2" Colorado Rose Rock			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



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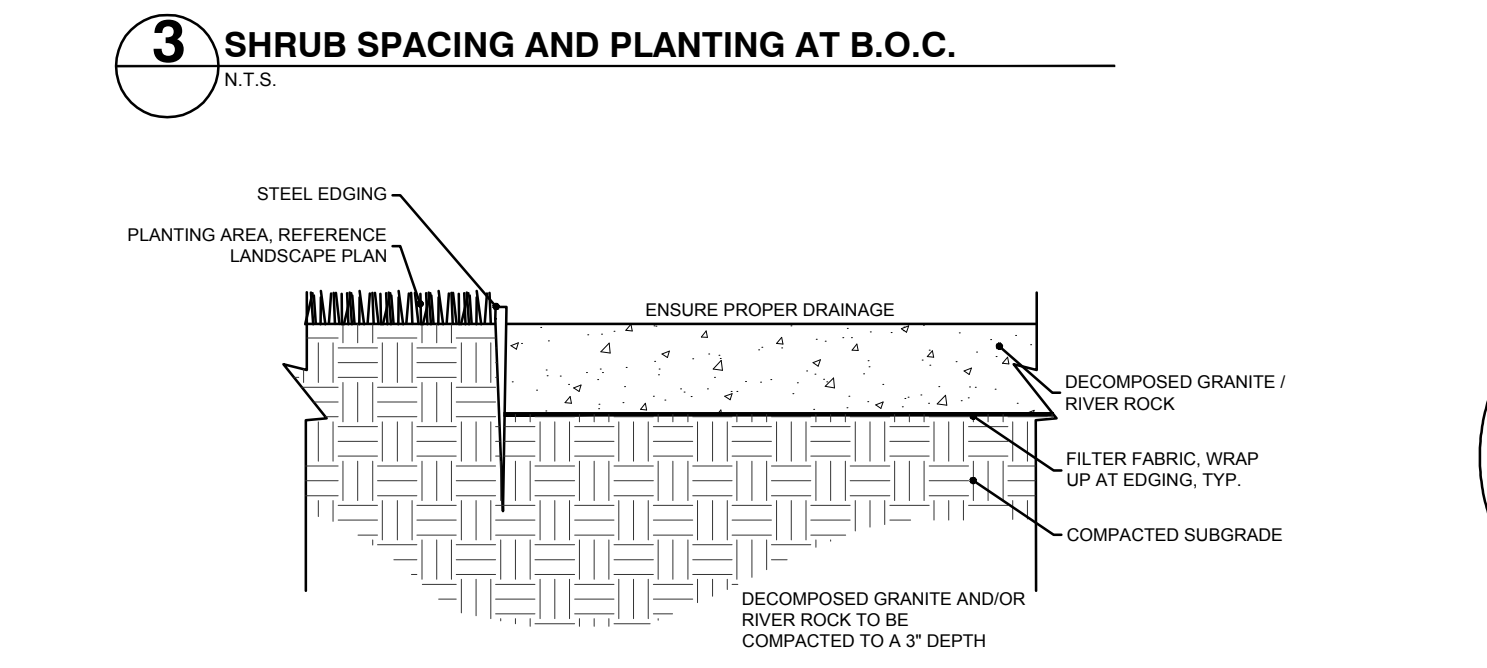
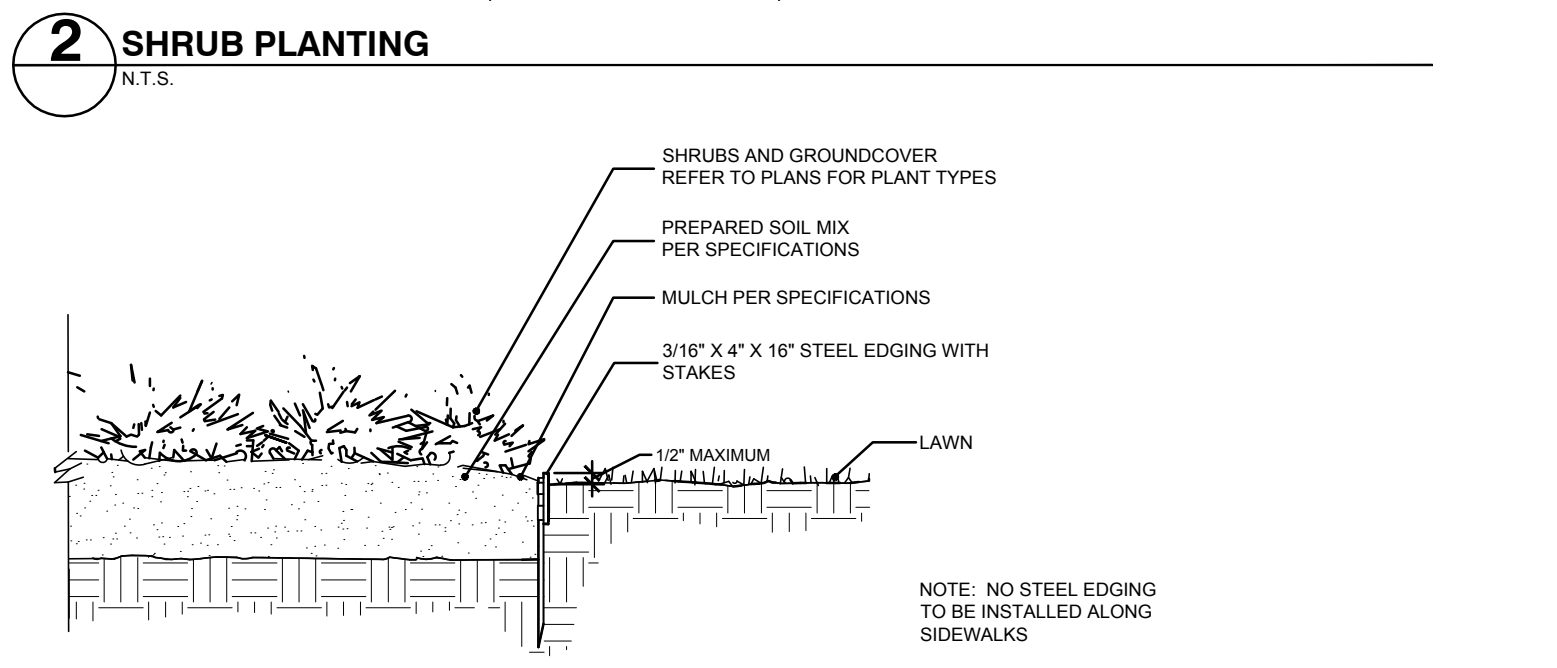
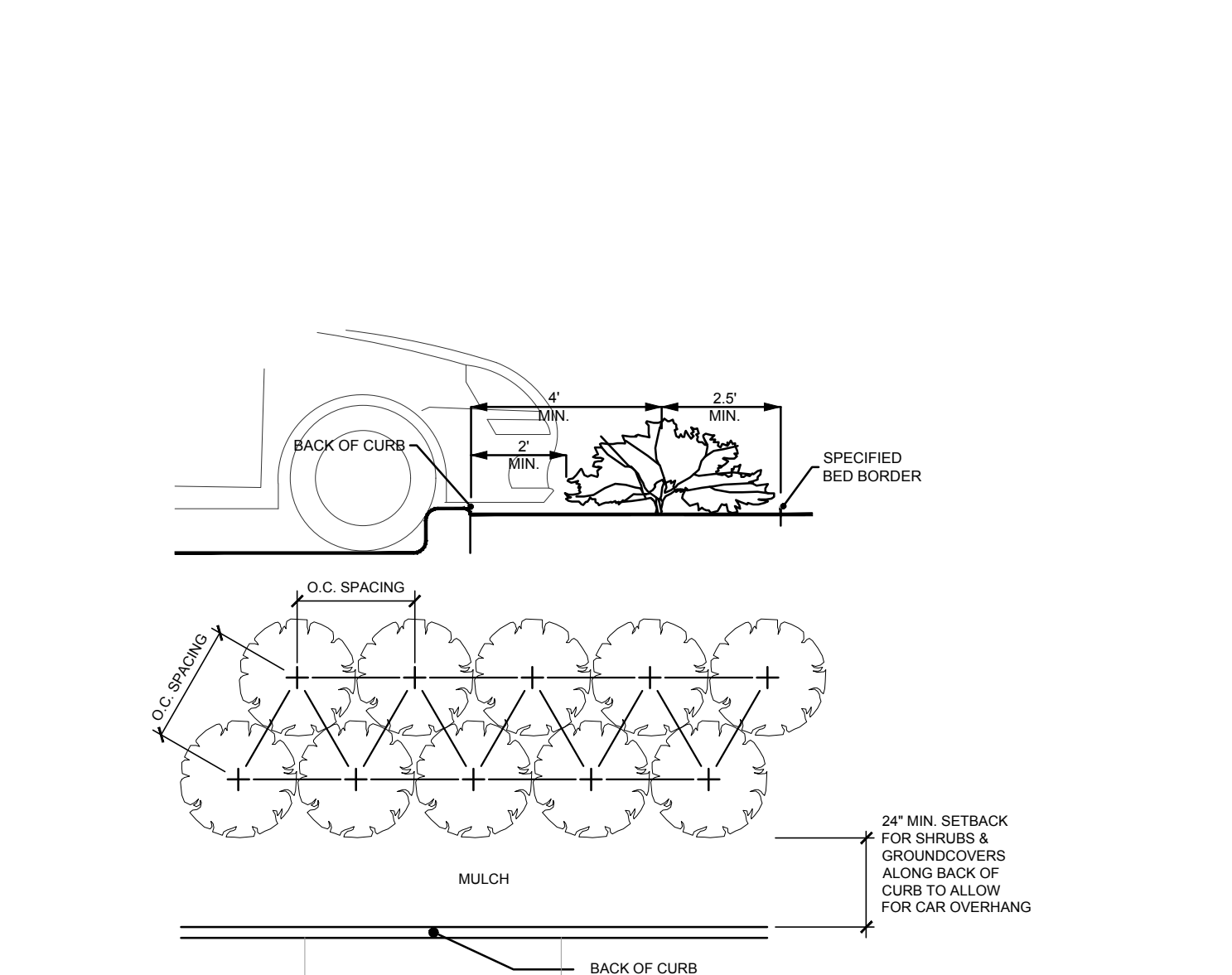
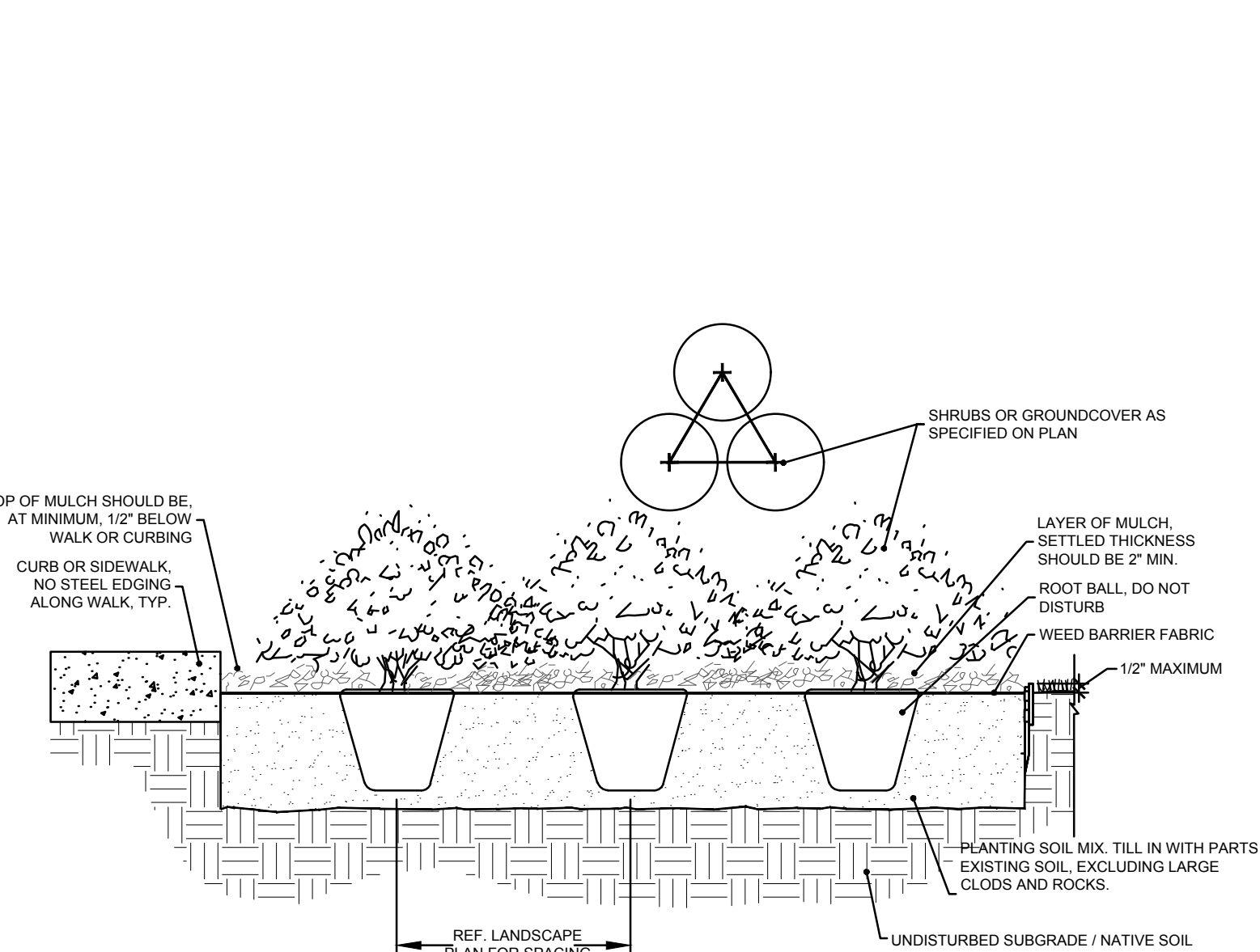
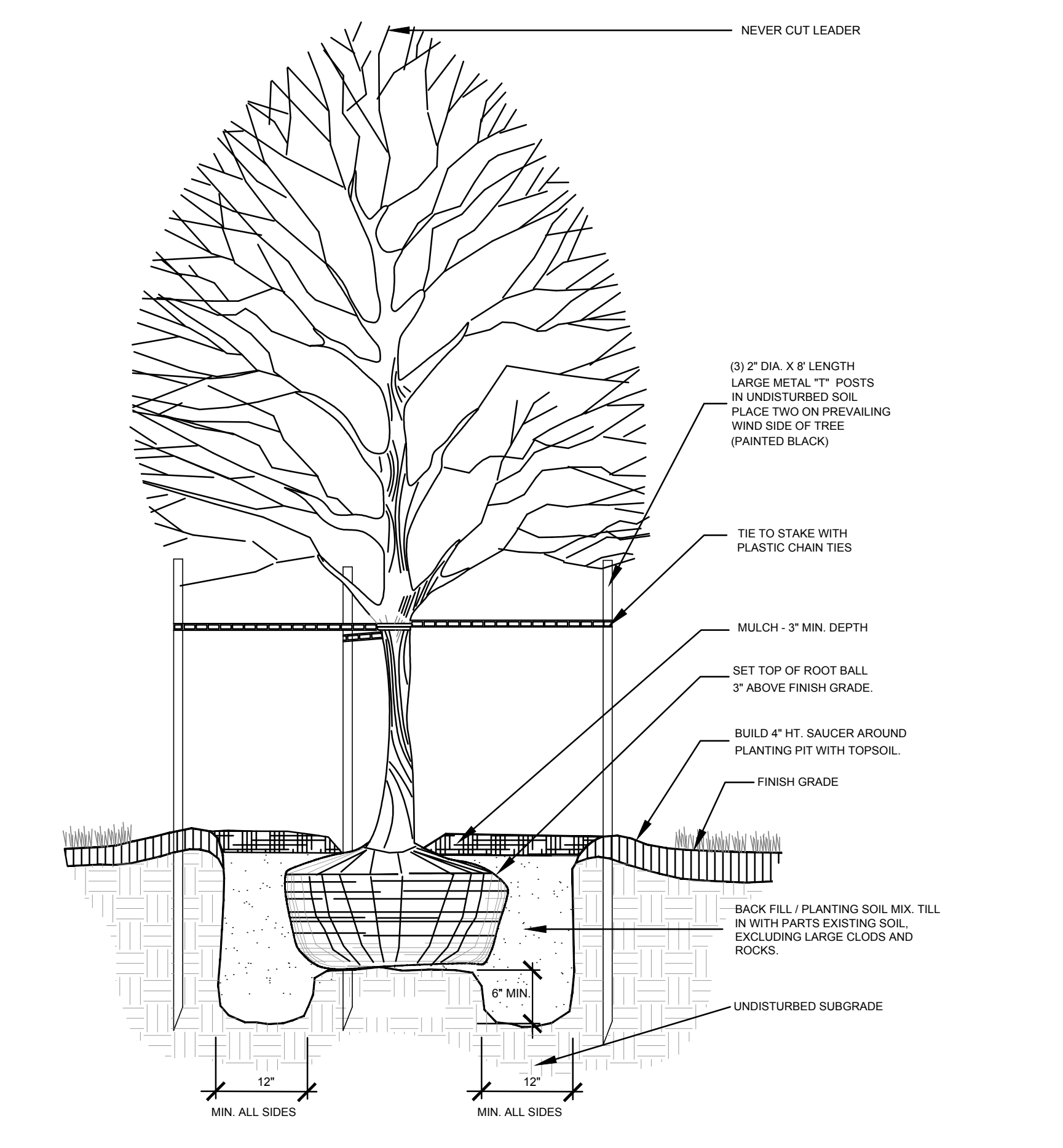
- SECTION 32 9300 - LANDSCAPE
PART 1 - GENERAL
- 1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING
- 1.2 REFERENCE DOCUMENTS
- REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS
- 1.3 SCOPE OF WORK / DESCRIPTION OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
 - PLANTING (TREES, SHRUBS, GRASSES)
 - BED PREP AND FERTILIZATION
 - NOTIFICATION OF SOURCES
 - WATER AND MAINTENANCE UNTIL ACCEPTANCE
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK
- 1.4 REFERENCES
- AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, 27 OCTOBER 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z60.1) - PLANT MATERIAL
 - AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE, 1942 EDITION OF STANDARDIZED PLANT NAMES
 - TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS
- 1.5 SUBMITTALS
- PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER'S REPRESENTATIVE BEFORE USE.
 - SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
 - BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.
- 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING
- GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
 - ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
 - STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.
- 1.7 SEQUENCING
- INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD.
 - WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.
- 1.8 MAINTENANCE AND GUARANTEE
- MAINTENANCE:
- THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
 - NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
 - MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
 - A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE

- SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
- NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
 - REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
 - REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR.
 - ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
 - REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
 - COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - SHOULD SEEDED AND/OR SOODED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANTS AT THE END OF THE MAINTENANCE PERIOD.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SOODED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESOODED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SOODED TURF SHALL BE NEATLY MOWED.
- GUARANTEE:
- TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
 - PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
 - PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
 - WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND REINSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION.
 - THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
 - THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
 - ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.
- 1.9 QUALITY ASSURANCE
- COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
 - EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
 - MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

- DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.
 - DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS, IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE SUBSTITUTED.
 - AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
 - OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS WHICH FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.
- 1.10 PRODUCT DELIVERY, STORAGE AND HANDLING
- PREPARATION:
 - BALLED AND BURLAPPED B&B PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
 - CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
 - DELIVERY
 - DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.
 - DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
 - CLAY - BETWEEN 17-27%
 - SILT - BETWEEN 15-25%
 - SAND - LESS THAN 52%
 - ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
 - IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
 - ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.
 - PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
 - SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
 - MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
 - ORGANIC FERTILIZER: FERTILIZED, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
 - COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SOLU OR LIF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
 - PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED FINE BARK OR OTHER APPROVED ORGANIC MATERIAL.
- 2.3 MISCELLANEOUS MATERIALS
- STEEL EDGING SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING, DURAREDE STEEL OR APPROVED EQUAL.
 - TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
 - FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-823-9444)
 - SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.
 - GRAVEL, WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5"
 - DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE.
 - ROCK - LOCALLY AVAILABLE NATIVE ROCK 1.5" IN DIAMETER
 - PRE-EMERGENT HERBICIDES - ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTS OR TURF ON WHICH TO BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES.

- PART 3 - EXECUTION
- 3.1 PREPARATION
- LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
 - ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
 - PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - GRADES AREAS:
 - BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN. THEN WATERED THOROUGHLY.
- 3.2 INSTALLATION
- MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORY ACCOMPLISHED.
 - PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF B & B PLANTS SHALL BE KEPT COVERED WITH MULCH OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
 - POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
 - NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
 - EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLICK OR GLAZED.
 - SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
 - PERCOLATION TEST: - FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.
 - BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DIG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POKETS. REMOVE THE BURLAP FROM THE TOP 1/3 OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".
 - DO NOT WRAP TREES.
 - DO NOT OVER PRUNE.
 - REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.
 - REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.
 - REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
 - PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
 - MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
 - ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.

- OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER WHERE LOCATIONS CANNOT BE CHANGED. THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3) FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
 - TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
 - PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING CLASSES' PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.
 - DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
 - PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.
- STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.
- ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS.
 - TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE.
 - STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.
 - DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS.
 - CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS.
- 3.3 CLEANUP AND ACCEPTANCE
- CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF EACH WORK DAY.
 - REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.
 - ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
 - UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTANCE.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN REINSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.



811 Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN ON AN APPROXIMATE PLAN AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING FOR ANY AND ALL DAMAGE WHICH MAY OCCUR BY THE CONTRACTOR'S NEGLIGENCE OR OMISSIONS. THE CONTRACTOR SHALL ALSO PRESERVE ANY EXISTING UTILITIES TO REMAIN.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE OWNER NOR THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE OR INJURY TO PERSONS OR PROPERTY OF ANY KIND RESULTING FROM ANY OTHER PERSONS.

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24 HOUR EMERGENCY CONTACT

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BLACK ROCK COFFEE BAR

BLACK ROCK DEVELOPMENT COMPANY, LLC

S. PARKER RD & STROH RD

PARKER

DOUGLAS COUNTY, COLORADO

LANDSCAPE SPECIFICATIONS AND DETAILS

DATE 2024-11-11

REVISIONS

DRAWN BY: K. SARWAR, S. KIDD
CHECKED BY: C. ATCHLEY
PROJECT MANAGER: C. ATCHLEY
JOB #: 24003198
FILE CODE: ##
SHEET NO. L1.02

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
10a	SPRAYS WITH PRO ADJ. NOZZLES	HUNTER	PROS-04-PRS30 (SEE PLAN FOR RADIUS)
R20	NOT SHOWN		
25R	NOT SHOWN		
↕	MULTI-STREAM BUBBLERS	HUNTER	PROS-06-PRS30 w/ MSN50H NOZZLES
⊙	REMOTE CONTROL VALVE	HUNTER	ICV
⊞	1" DOUBLE CHECK ASSEMBLY	FEBCO	850 SERIES
▨	HDL DRIFLINE	HUNTER	HDL-06-12-CV
⊕	LINE FLUSHING VALVE	HUNTER	AFV-B
⊖	PRESSURE OPERATOR INDICATOR	HUNTER	ECO-ID
⊕	DRIP CONTROL VALVE	HUNTER	ICZ-101-LF-40

SYMBOL	DESCRIPTION	MANUFACTURER	CLASS
⊕	1" IRRIGATION METER		
⊞	HUNTER - PRO-C-12 STATION - PC-1200 WITH RAIN AND FREEZE SENSORS		
⊞	ISOLATION VALVE		
→	LATERAL PIPING REFER TO PLAN		CLASS 200 PVC
→	MAINLINE PIPING REFER TO PLAN	SCH. 40 PVC, SIZED AS SHOWN	
=====	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE		
=====	CONTROL WIRING SLEEVE, 2" SCH. 40 PVC		
D1	VALVE STATION # (WHERE D = DRIP TUBING, S = SPRAY, R = ROTOR, T = TREE DRIP)		
1"	VALVE SIZE		
8.8	GPM		

NOTE:
 1. ENTIRE SYSTEM SHALL BE INSTALLED PER STATE STANDARDS, MANUFACTURERS SPECIFICATIONS AND ALL CITY CODES.
 2. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE GROUND IRRIGATION EQUIPMENT WITH THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
 3. VARIOUS AREAS ON PLAN ARE SHOWING SINGLE HEAD COVERAGE. IF OWNER SHOULD ELECT FOR FULL COVERAGE, CONTRACTOR TO PROCURE THE PROPER PERMITS AND BID ALTERNATE FOR THESE ADDITIONAL SPRAY HEADS, ZONES, AND CONTROLLER EXPANSION FOR THE SYSTEM.
 4. IRRIGATION CONTRACTOR IS TO COORDINATE LOCATION AND PLACEMENT OF ALL IRRIGATION ITEMS WITH THE GENERAL CONTRACTOR. CONTRACTOR IS TO USE EXTREME CAUTION IN TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO IRRIGATION INSTALLATION.
 5. IRRIGATION SPRAY NOZZLES TO BE ADJUSTED TO AVOID PAVEMENT, BUILDING, WALLS, FENCES, UTILITIES, EQUIPMENT, SIGNAGE, AND CALL BOX.
 6. REFERENCE LANDSCAPE PLAN FOR LOCATION OF GRAVEL, STEEL EDGING AND ALL PROPOSED PLANT MATERIAL.
 7. IN TURF AREAS (BOTH SOO AND HYDROMULCH AREAS) OUTSIDE OF IRRIGATION PERMANENT COVERAGE, CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL ESTABLISHED, TYP.
 8. CONTRACTOR TO TAKE ALL NECESSARY MEASURES TO PREVENT WATER HAMMER AND SYSTEM COLLAPSE BY DISCHARGING AIR DURING STARTUP AND ALLOWING AIR TO ENTER DURING SHUTDOWN. INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM. FOR 3 INCH AND LARGER MAINLINE, INSTALL JOINT RESTRAINTS AT TURNS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 9. ALL MAINLINE PIPING 3 INCHES AND LARGER SHALL BE BELL AND GASKETED CLASS 200 PVC PIPE. SOO 21. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONTACT MANUFACTURE OR DISTRIBUTOR FOR PRODUCT DEMONSTRATION.
 10. GROUP VALVES IN FIELD AS NECESSARY FOR MAINLINE SIZING. CENTER FEED LATERALS WHEN POSSIBLE.

NOTE TO CONTRACTOR:
 1. PLAN SHEETS DO NOT SHOW EXISTING AND PROPOSED UTILITIES FOR CLARITY ONLY. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO INSTALLATION. CONTRACTOR IS TO USE EXTREME CAUTION IN DIGGING AND TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES.

SUGGESTED LATERAL PIPE SIZE, CLASS 200 PVC

FLOW RANGE GPM	PIPE SIZE
0 - 8 GPM	3/4"
8 - 12 GPM	1"
12 - 22 GPM	1-1/4"
22 - 28 GPM	1-1/2"
28 + GPM	2"

SLEEVING NOTES

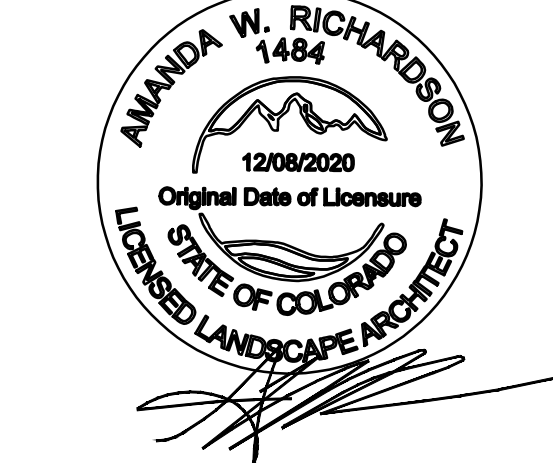
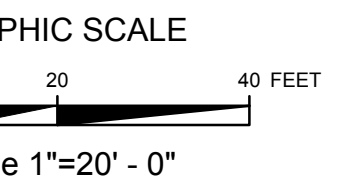
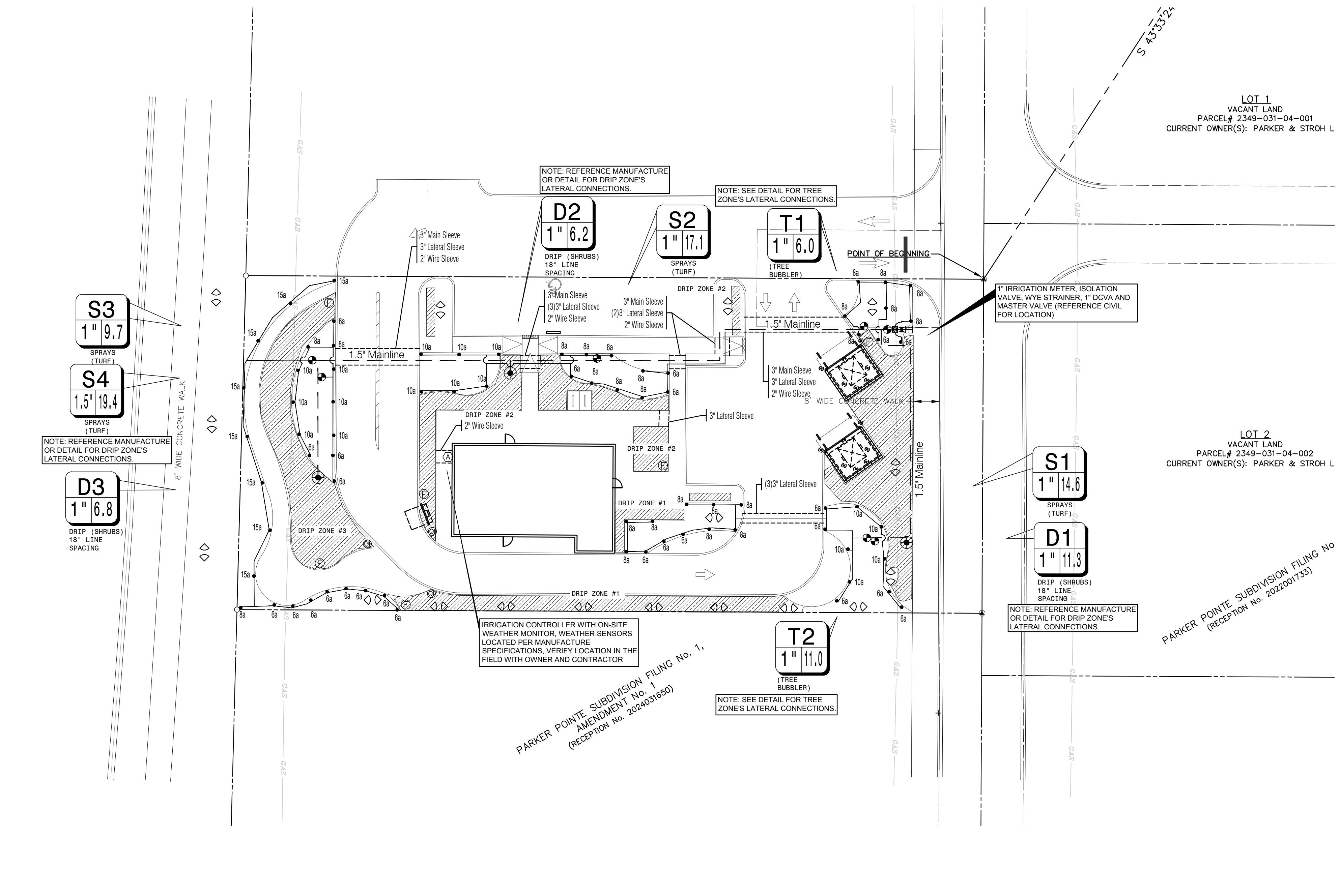
1. PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFERENCE DRAWINGS FOR SLEEVE SIZE AND LOCATION.
2. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
3. INSTALLATION OF SLEEVES SHALL BE TWENTY (20) FEET BELOW TOP OF PAVEMENT OR FINISHED GRADE.
4. SLEEVES SHALL EXTEND ONE (1) FOOT BEYOND EDGE OF ALL PAVEMENT AND STAKED FOR LOCATION.
5. ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE, CAPPED ON BOTH ENDS AND SIZED AT LEAST TWO TIMES LARGER THAN THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
6. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE TWO (2) INCHES LONG AND ONE (1) INCH APART.
7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND SHALL ALSO BE RESPONSIBLE FOR LOCATING ANY SLEEVE THAT CANNOT BE FOUND DURING THE INSTALLATION OF THE SYSTEM.
8. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN AS-BUILT DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION GENERAL NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLAN AND SPECIFICATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE IRRIGATION DESIGNER OF SITE CONDITIONS OR ASSUME FULL RESPONSIBILITY FOR ANY AND ALL SITE REVISIONS NECESSARY.
3. CONTRACTOR TO VERIFY DESIGN AND ITS INTENT TO PROVIDE FULL COVERAGE TO ALL NEW PLANTING MATERIAL.
4. NOTIFY IRRIGATION DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO BIDDING.
5. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE IRRIGATION INSTALLATION BEGINS.
6. IRRIGATION CONTRACTOR TO PROCURE ALL PERMITS, LICENSES AND GIVE ALL NECESSARY NOTICES THROUGHOUT THE DURATION OF THE PROJECT.
7. THE CONTRACTOR SHALL BE A REGISTERED LICENSED IRRIGATOR IN GOOD STANDING WITH STATE BOARDS AND REGULATORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PLANT MATERIAL UPON ACCEPTANCE AND THROUGH THE WARRANTY PERIOD FOR DAMAGE DUE TO IRRIGATION SYSTEM FAILURE.
9. ALL ASPECTS OF THE IRRIGATION INSTALLATION SHALL CONFORM WITH THE PROPER GOVERNING AUTHORITIES, CODES AND ORDINANCES.
10. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
11. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
12. ZONE VALVES SHALL NOT BE LOCATED WITHIN THREE (3) FEET OF ANY DRIVEWAY, TRAFFIC AISLE, ISLAND ETC. WHERE THEY WILL BE DAMAGED BY VEHICLES DRIVING OVER CURBS.
13. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
14. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5) FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
15. ELECTRICAL SPLICES SHOULD BE LOCATED AT EACH VALVE AND CONTROLLER ONLY.
16. PROVIDE A 3/4" BLOW DOWN DRAIN TEE TO ALLOW WATER TO BE BLOWN FROM THE IRRIGATION LINES SYSTEM.
17. DISTURBED AREAS IN NEED OF TURF ESTABLISHMENT MAY EXIST BEYOND COVERAGE LIMITS OF THE PERMANENT IRRIGATION SYSTEM. IN THESE AREAS, CONTRACTOR TO DETERMINE A TEMPORARY MEANS TO ESTABLISH NECESSARY TURF. CONTRACTOR IS ENCOURAGED TO BEGIN TURF ESTABLISHMENT IMMEDIATELY UPON FINAL GRADE IN ACCORDANCE WITH AND TO SATISFY SWPPP.
18. PROVIDE WITH OWNER A COPY OF ALL INSTALLED EQUIPMENT AND LINES (AS BUILT PLANS).
19. PLACE COPY OF ZONE MAP WITH ALL ZONE VALVE LOCATIONS SHOWN AND APPROVED IRRIGATION PLAN IN PROTECTIVE JACKET IN MAIN CONTROL PANEL.

IRRIGATION PROJECT NOTES

1. THE LOCATION OF MAINLINE AND VALVES ON THIS PLAN MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARITY ONLY. IRRIGATION ELEMENTS HAVE BEEN SHOWN ON THIS PLAN AS ACCURATELY AS POSSIBLE WITHOUT THE FORTUIT OF DESIGN CLARITY AND INTENT. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN PAVED AREAS. ALL PIPES AND WIRES THAT CROSS UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES AS SPECIFIED.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE HUNTER EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. THE IRRIGATION SYSTEM FOR THIS SITE IS DESIGNED TO OPERATE WITH A PRESSURE OF SIXTY FIVE (65 PSI) POUNDS PER SQUARE INCH. SHOULD THE DESIGN PRESSURE FOR THE SYSTEM BE HIGHER THAN THE EXISTING PRESSURE, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE IRRIGATION DESIGNER IMMEDIATELY.
4. IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONTROLLER AND SENSORS WITH THE GENERAL CONTRACTOR AND OWNER. A 110 VOLT ELECTRICAL SERVICE TO POWER THE IRRIGATION CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AT THE LOCATION SHOWN ON THIS PLAN.
5. WATER SERVICE TAP, METER AND LEAD FOR THE IRRIGATION SYSTEM SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. SERVICE LINE AND METER SHALL BE SIZED AS NOTED ON THIS PLAN.
6. TYPE AND INSTALLATION OF THE WATER METER AND BACK FLOW PREVENTION DEVICE SHALL BE DETERMINED BY THE GOVERNING AUTHORITY. AN ISOLATION VALVE SHALL BE PROVIDED BETWEEN THE WATER METER AND BACK FLOW DEVICE.
7. ALL CALCULATIONS FOR THIS IRRIGATION SYSTEM ARE BASED ON PRODUCTS AND EQUIPMENT INFORMATION PROVIDED BY HUNTER. INSTALLATION OF THESE PRODUCTS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS.
8. REFERENCE HUNTER GUIDELINES AND SPECIFICATIONS PRIOR TO INSTALLATION. CONFIRM REQUIREMENTS FOR CONTROLLER, WATERPROOF CONNECTIONS, GROUNDING, SURGE PROTECTORS, SENSORS, VALVES AND WIRING PRIOR TO INSTALLATION. HUNTER TECHNICAL SERVICES (760) 591-7383. WWW.HUNTERINDUSTRIES.COM
9. SPRAY HEADS LOCATED IN TURF AREAS SHALL BE HUNTER PROS-04-PRS30 SPRAY BODIES WITH PRO ADJUSTABLE NOZZLES, FIXED ARC NOZZLES, AND STRIP PATTERN NOZZLES. SEE RADIUS AS INDICATED ON THE PLAN.
10. IRRIGATION REMOTE CONTROL VALVES SHALL BE 1" AND/OR 1.5" HUNTER ICZ AS INDICATED. PRIOR TO ALL REMOTE CONTROL VALVES, INSTALL A NOMINALLY SIZED BALL VALVE WITH THE SAME BOX.
11. SIZE OF VALVES ARE AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN APPROVED BOXES WITH COVERS LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION. OWNERS MAY ELECT LOCKING BOXES ON A PROJECT BY PROJECT BASIS.
12. QUICK COUPLING VALVES SHALL BE HUNTER INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 1/2" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH TWO (2) HO-3-NC COUPLERS WITH (2) HK-3S KEYS AND TWO (2) HS-0 HOSE SWIVELS AS PART OF THIS CONTRACT.
13. IRRIGATION SYSTEM AUTOMATIC CONTROLLER SHALL BE HUNTER PRO-C-12 STATION - PC-1200 WITH RAIN AND FREEZE SENSORS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONFIRM WIRING, GROUNDING AND SURGE PROTECTION REQUIREMENTS BEFORE INSTALLING.
14. DRIP IRRIGATION REMOTE CONTROL VALVES SHALL BE HUNTER ICZ-101-LF-40 AS INDICATED. DRIP TUBING SHALL BE HUNTER HDL-06-12-CV.
15. INSTALL DRIP TUBING/LINES PER MANUFACTURER'S RECOMMENDATIONS. USE PLD-LOC FITTINGS PLD-LOC 075, PLD-LOC 050, PLD-LOC ELB, PLD-LOC CPL, PLD-LOC CAP, PLD-LOC TEE, PLD-LOC OR USE FHS BARB FITTINGS PLD-075, PLD-050, PLD-ELB, PLD-CPL, PLD-CAP, PLD-TEE, PLD-075-TREE, PLD-BV. USE ECO-INDICATOR ECO-ID. USE LINE FLUSHING VALVE HUNTER AFV-B.
16. DRIP TUBING SHALL BE SPACED 18" APART IN SHRUB AREAS. REFER TO MANUFACTURER'S RECOMMENDATIONS.
17. TREE BUBBLERS SHALL USE HUNTER PROS-06-PRS30 BODIES WITH HUNTER MULTI-STREAM BUBBLERS MODEL MSN50H NOZZLES.
18. ALL VALVE CONTROL WIRE SHALL BE SIZED PER MANUFACTURER GUIDES BY THE CONTRACTOR ACCORDING TO THE ACTUAL FIELD DISTANCE. ALL CONNECTIONS SHALL BE WATER-PROOF, KEPT TO A MINIMUM, AND LOCATED IN AN APPROVED BOX.



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811
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NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY INJURIES OR DAMAGE TO PERSONS OR PROPERTY OF ANY NATURE OCCURRING OR OF ANY OTHER PERSONS.

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 9001 AIRPORT FREEWAY, SUITE 660
 NORTH RICHMOND, TEXAS 75480
 FIRM (LOCAL) F-12342

BLACK ROCK COFFEE BAR
 BLACK ROCK DEVELOPMENT COMPANY, LLC
 IRRIGATION PLAN

S. PARKER RD & STROH RD
 PARKER
 DOUGLAS COUNTY, COLORADO

DATE 2024-11-11

REVISIONS

DRAWN BY: K. SARWAR, S. KIDD
 CHECKED BY: C. ATCHLEY
 PROJECT MANAGER: C. ATCHLEY
 JOB #: 24003198
 FILE CODE: ##
 SHEET NO. L2.01

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
1.2 RELATED WORK
1.3 REFERENCE STANDARDS

PART 2 - MATERIALS

- 2.1 GENERAL
A. POLYVINYL CHLORIDE PIPE (PVC) - SCHEDULE 40 SHALL BE USED FOR ALL SLEEVING PURPOSES.

PART 3 - EXECUTION

- 3.1 INSTALLATION
3.2 BACKFILL

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

- 1.1 DESCRIPTION
1.2 RELATED WORK
1.3 REFERENCE STANDARDS

E. SECTION 32 9300 - LANDSCAPE

F. SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVE AND UTILITY CONDUITS

- 1.3 REFERENCE STANDARDS
1.4 QUALITY ASSURANCE AND REQUIREMENTS

PART 2 - MATERIALS

- 2.1 GENERAL
A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.

PART 3 - EXECUTION

- 3.1 INSTALLATION
3.2 BACKFILL

e. SPRINKLER CONTROL VALVES

f. QUICK COUPLING VALVES

- g. OTHER RELATED EQUIPMENT
D. SUBMIT COMPLETED TRACINGS PRIOR TO FINAL ACCEPTANCE. DATE AND SIGN ALL DRAWINGS.
E. EQUIPMENT TO BE FURNISHED:

3.2 PREPARATION

- A. PHYSICAL LAYOUT:
B. PIPING AND HEAD LAYOUT AS SHOWN ON PLANS IS SCHEMATIC ONLY.

3.3 INSTALLATION

- A. TRENCHING
B. REMOVE FOREIGN MATTER OR DIRT FROM INSIDE OF PIPE BEFORE WELDING AND KEEP PIPING CLEAN BY ANY MEANS POSSIBLE DURING AND AFTER LAYING OF PIPE.

PART 2 - PRODUCTS

2.1 MATERIALS

- B. REFER TO CONSTRUCTION DRAWINGS AND NOTES.
C. SPRINKLER HEADS IN LAWN AREAS AS SPECIFIED ON PLAN
D. PVC PIPE: CLASS 200 SPR 21
E. COPPER TUBING (FOR CITY CONNECTIONS): TYPE "M"
F. 24V WIRE - SIZE 14, TYPE UF
G. ELECTRICAL VALVES TO BE ALL PLASTIC CONSTRUCTION AS INDICATED ON PLANS.

3.1 INSPECTION:

- A. SITE CONDITIONS:
a. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZE DIMENSIONS.

3.2 PREPARATION

- A. PHYSICAL LAYOUT:
a. PIPING AND HEAD LAYOUT AS SHOWN ON PLANS IS SCHEMATIC ONLY.

3.3 INSTALLATION

- A. TRENCHING
a. DIG TRENCHES STRAIGHT 6" WIDE WITH NEAR VERTICAL SIDE AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH.

CONSTRUCTION ARE NECESSARY. THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT THE COST TO THE OWNER.

C. TRENCHING AND BACKFILL UNDER PAVING:

- a. ALL IRRIGATION MAIN LINE AND LATERAL LINES OR WIRING LOCATED UNDER AREAS WHERE PAVING, ASPHALTIC PAVING, OR CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES OF ADEQUATE SIZE. SEE SECTION 32 8423.
D. ASSEMBLIES

3.4 TESTING

- A. THE CONTRACTOR SHALL TEST SPRINKLER MAIN FOR TWELVE TO FOURTEEN HOURS UNDER NORMAL PRESSURE. IF LEAKS ARE PRESENT, REPLACE JOINT OR JOINS AND REPEAT TEST.
B. A COMPLETE TEST SHALL BE MADE PRIOR TO BACKFILLING. BACKFILLING MATERIALS MAY BE PLACED IN TRENCHES IN LIFTS TO ENSURE STABILITY OF THE LINE UNDER THE PRESSURE OF BACKFILL. IN EACH CASE, LEAVE FITTINGS AND COUPLINGS OPEN TO VISUALLY INSPECT FOR FULL PERIOD OF SYSTEM.

RECOMMENDED BY THE MANUFACTURER.

- A. ALL SPRINKLERS TO ATTACH TO LATERAL LINES WITH FLEXIBLE CONNECTORS. REFERENCE DETAILS ON DRAWINGS.
B. WHEN SYSTEM IS COMPLETE, A COVERAGE TEST SHALL BE PERFORMED IN THE PRESENCE OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. IT SHALL BE DETERMINED IF THE WATER COVERAGE FOR ALL PLANTING AREAS IS COMPLETE AND ADEQUATE. FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE.
D. UPON COMPLETION OF EACH PHASE OF WORK, THE ENTIRE SYSTEM SHOULD BE TESTED AND ADJUSTED TO MEET SITE REQUIREMENTS. END OF SECTION

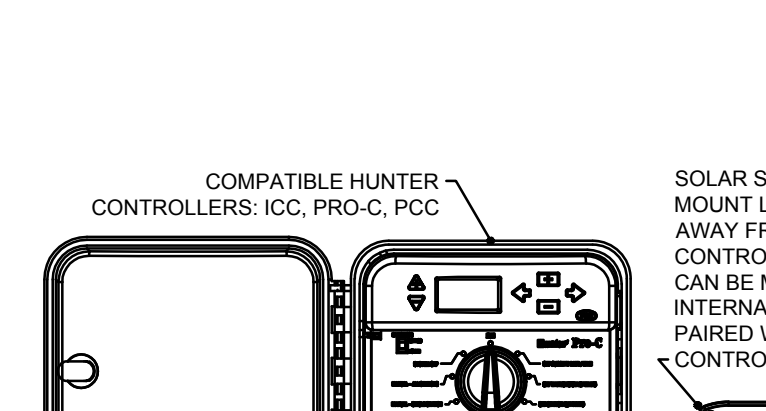
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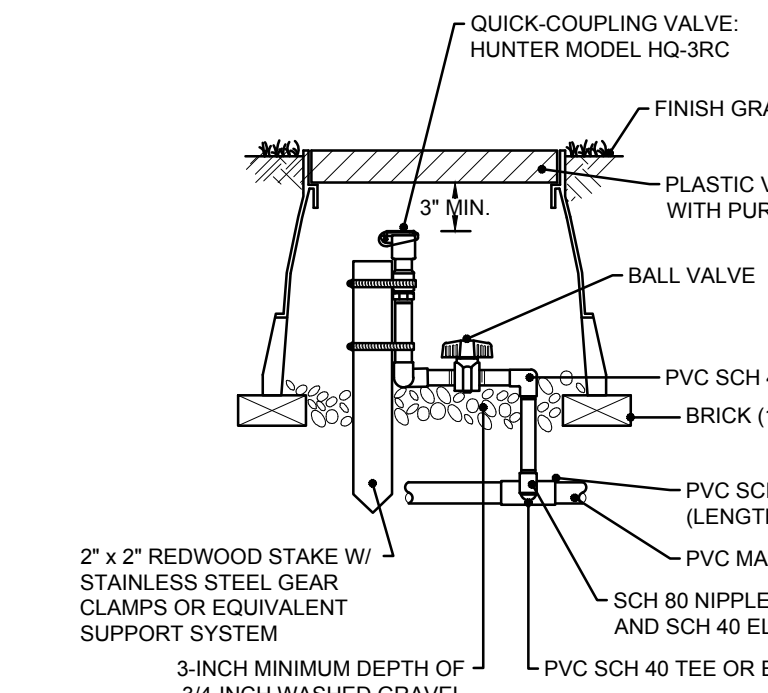
BLACK ROCK DEVELOPMENT COMPANY, LLC

S. PARKER RD & STROH RD PARKER COLORADO

BLACK ROCK DEVELOPMENT COMPANY, LLC IRRIGATION SPECIFICATIONS AND DETAILS

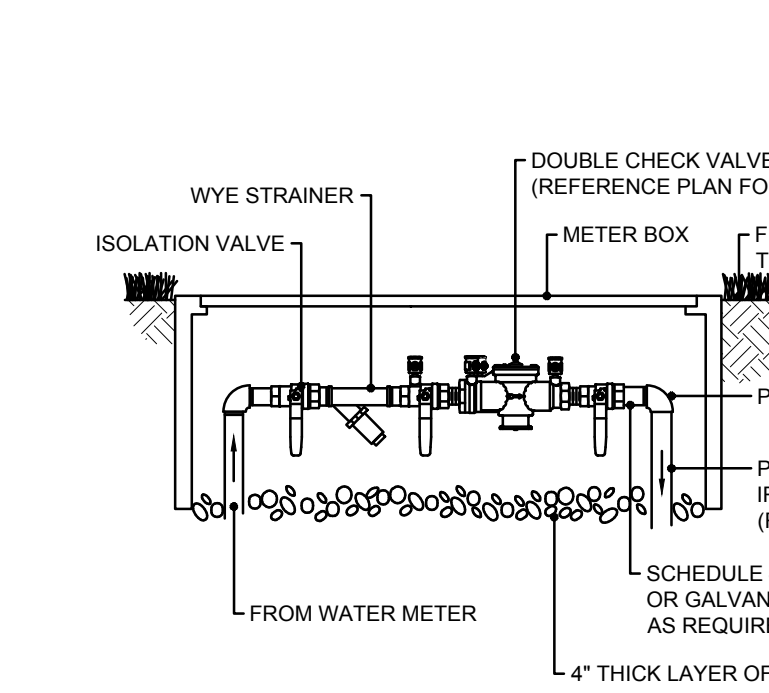
DATE 2024-11-11

AWR AWR Designs, LLC P.O. Box 1746 Aledo, Texas 76608 amanda@awr-designs.com c. 512.517.5589



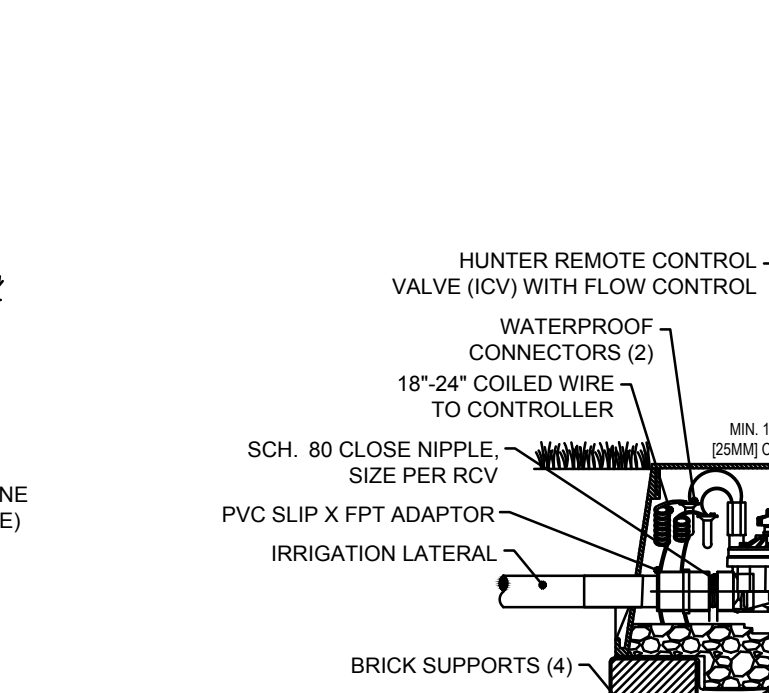
- NOTE:
1. FURNISH NOMINALLY SIZED BALL VALVE WITHIN SAME BOX AND PRIOR TO MAINLINE TEE.
2. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

2 QUICK COUPLING VALVE N.T.S.



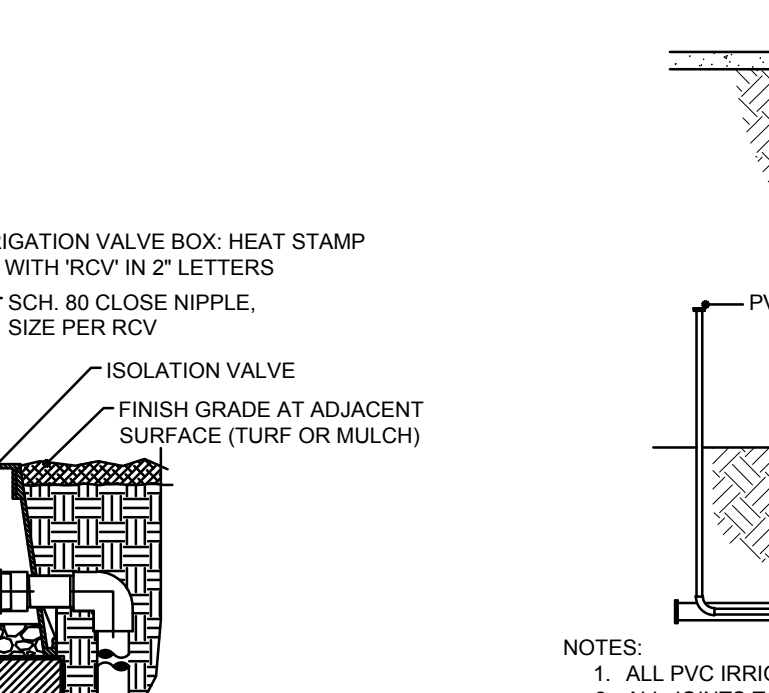
- NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION. PRIOR TO BACKFLOW PREVENTER, INSTALL A NOMINALLY SIZED ISOLATION VALVE.

3 DOUBLE CHECK ASSEMBLY N.T.S.



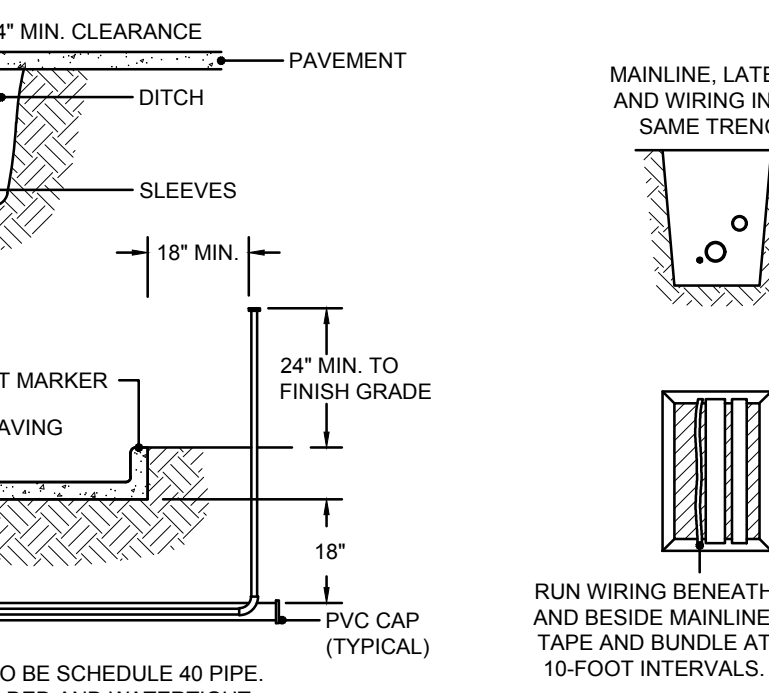
- NOTE:
1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PIPE
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
4. MECHANICALLY TAMP TO 95% PROCTOR.
5. SLEEVE LOCATIONS SHALL BE MARKED ON THE TOP OF CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE 2\"/>

4 IN-LINE VALVE (ICV) WITH ISOLATION VALVE N.T.S.



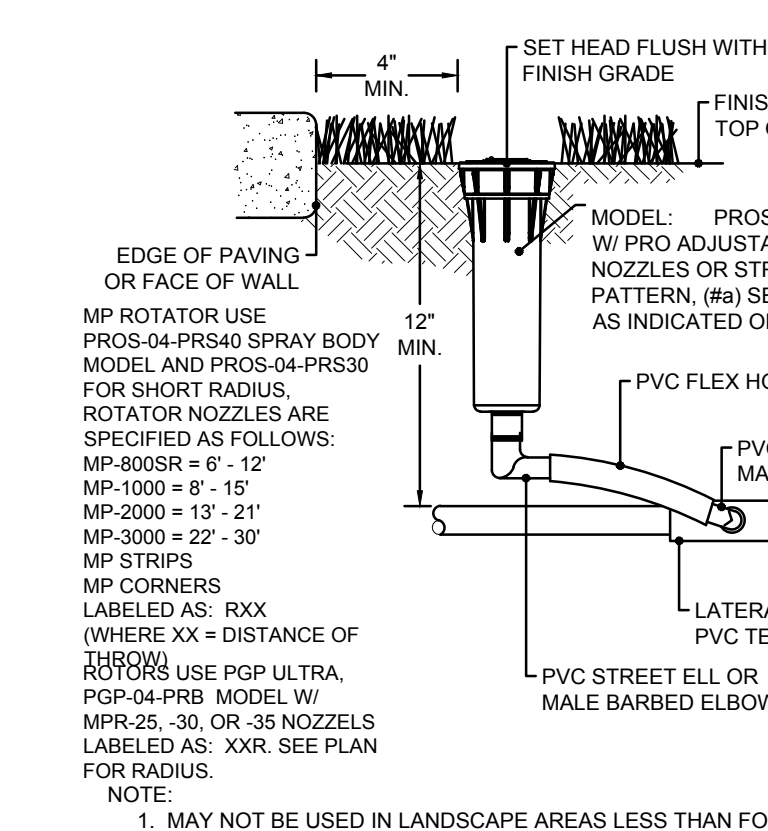
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5 IRRIGATION PVC SLEEVES N.T.S.



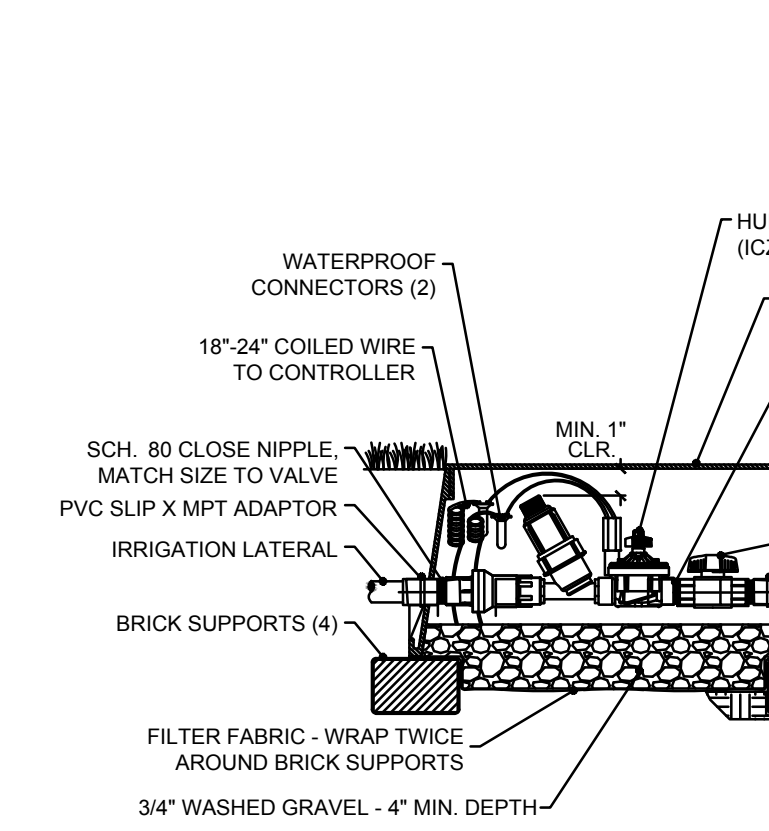
- NOTE:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH 40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN
2. FOR PIPE AND WIRE BURIAL DEPTHS, SEE SPECIFICATIONS. MINIMUM - 12"
3. BACKFILL AND COMPACT TRENCHES TO ORIGINAL GRADE.

6 PIPE AND WIRING TRENCHING N.T.S.



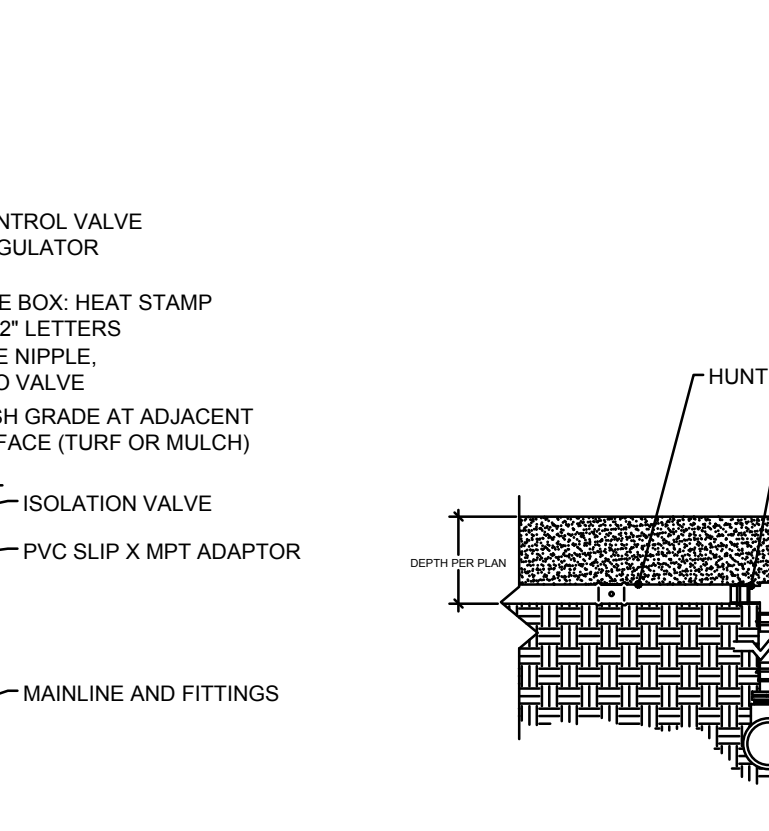
- NOTE:
1. MAY NOT BE USED IN LANDSCAPE AREAS LESS THAN FORTY-EIGHT INCHES (48") IN LENGTH OR WIDTH.

7 POP-UP SPRAY BODY OR POP-UP ROTOR N.T.S.



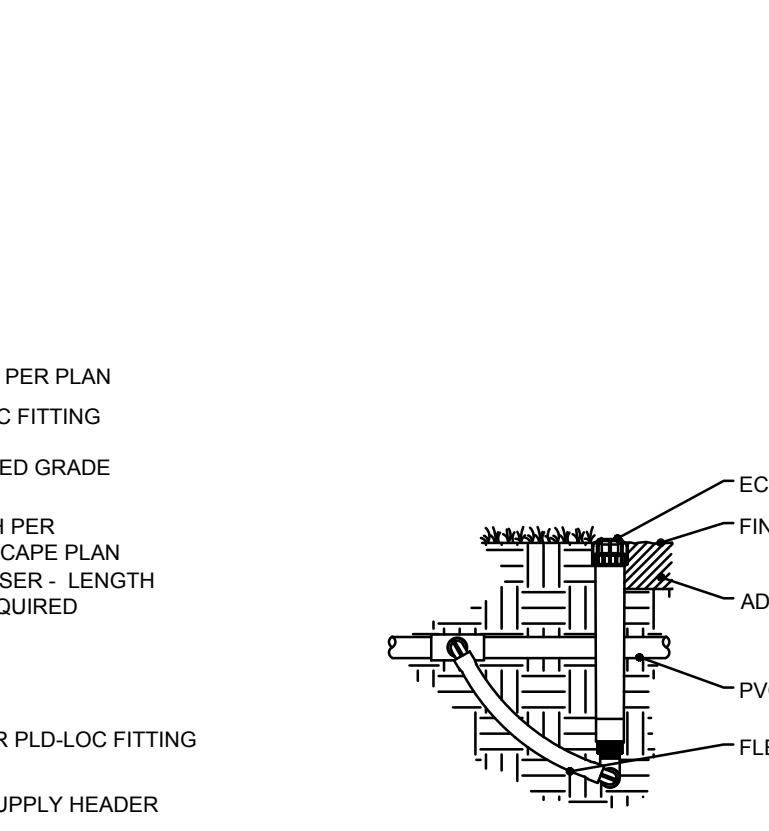
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8 DRIP CONTROL ZONE KIT W/ ISOLATION VALVE N.T.S.



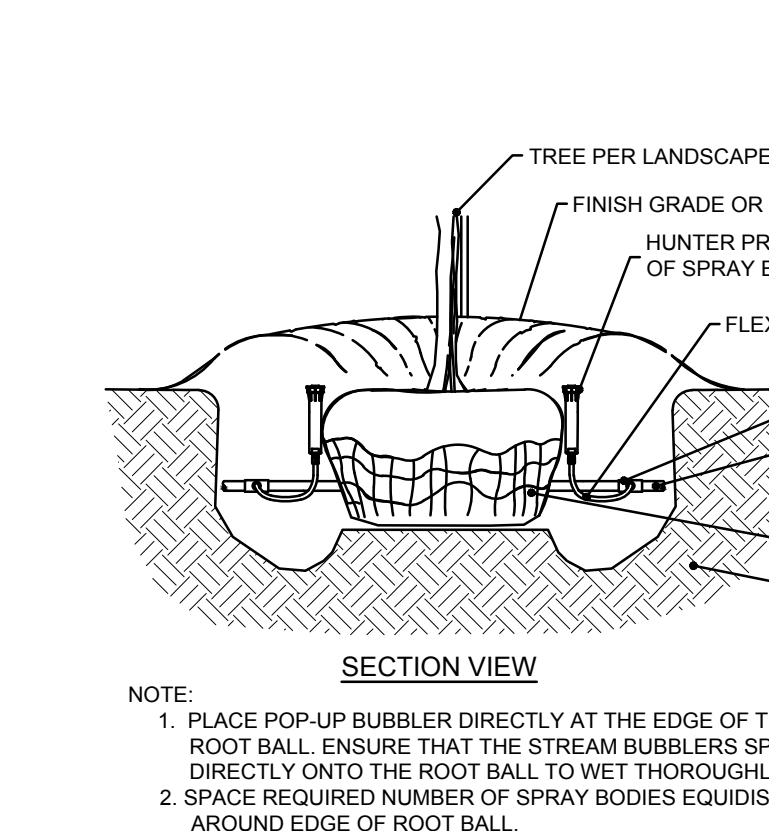
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9 HUNTER DRIPLINE CONNECTION W/DRIPLINE AND ELBOW N.T.S.



- NOTE:
1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PIPE
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
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5. SLEEVE LOCATIONS SHALL BE MARKED ON THE TOP OF CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE 2\"/>

10 ECO INDICATOR - FLEX TUBING N.T.S.



- NOTE:
1. PLACE POP-UP BUBBLER DIRECTLY AT THE EDGE OF THE ROOT BALL. ENSURE THAT THE STREAM BUBBLERS SPRAYS DIRECTLY ONTO THE ROOT BALL TO WET THOROUGHLY.
2. SPACE REQUIRED NUMBER OF SPRAY BODIES EQUIDISTANT AROUND EDGE OF ROOT BALL.
3. USE NUMBER OF SPRAY BODIES PER PLAN.

11 TREE BUBBLER ASSEMBLY WITH HUNTER PROS-06-PRS30 N.T.S.

AMANDA W. RICHARDSON 1484 Original Date of Licensure 12/08/2020 LICENSED LANDSCAPE ARCHITECT

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