LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1
SITE PLAN FOR

BLACK ROCK COFFEE BAR™

LOCATED AT S. PARKER RD & STROH RD
CITY OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO
TOTAL SITE ACREAGE: 0.60 AC

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) – 1- 800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

ALL THE FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE

(NOTE - UNDERGROUND FILE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

SITE AREA

TOTAL PROPERTY AREA:	0.60 AC. / 25,933 SF.
DISTURBED AREA:	0.67 AC. / 29,406 SF.
IMPERVIOUS AREA:	0.40 AC. / 17,639 SF
PERVIOUS AREA:	0.19 AC. / 8,294 SF

ZONING CLASSIFICATION

JURISDICTION:	CITY OF PARKER
ZONING:	MODIFIED COMMERCIAL
ADJACENT ZONING:	PLANNED DEVELOPMENT
PROPOSED USE:	COMMERCIAL RESTAURANT WITH DRIVE THRU

BUILDING SETBACKS

MIN BUILDING SETBACK	40'
MAX BUILDING SETBACK	65'
LANDSCAPE SETBACK	10' ADJACENT TO PUBLIC OR PRIVATE ROADWAY
REAR BUILDING SETBACK	25'

BUILDING SUMMARY

PROPOSED BUILDING AREA:	1,460 SF
BUILDING HEIGHT LIMIT:	35'
PROPOSED NUMBER OF BUILDINGS:	1

PARKING SUMMARY

PARKING REQUIREMENTS	1 SPACE PER EACH 4 PERSONS OF RATED CAPACITY (EXCLUDING OUTDOOR SEATING)
TOTAL PARKING REQUIRED	6 SPACES
PARKING PROVIDED	12 SPACES (INCLUDING 1 ADA SPACE AND 10 STACKING SPACES)
CAR STACKING REQUIRED	NO REQUIREMENTS; STACKING COUNTS TOWARDS PARKING REQUIREMENTS
BIKE SPACES REQUIREMENTS	4 SPACES
TOTAL BIKE PARKING PROVIDED	4 SPACES

VICINITY MAP
N.T.S.

FEMA MAP
N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M.SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2016.

AERIAL MAP
N.T.S.

TOWN OF PARKER PLAN SET

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	TOWN GENERAL NOTES
C1.10	TOWN GENERAL NOTES
C1.20	GENERAL NOTES
C2.00	SITE PLAN
C2.10	PAVING AND STRIPING PLAN
C3.00	GRADING PLAN
C3.10	DRAINAGE PLAN
C3.20	INTERIM DAM
C3.30	POST-DEV DAM
C4.00	UTILITY PLAN
C5.00	INITIAL EROSION CONTROL PLAN
C5.10	INTERIM EROSION CONTROL PLAN
C5.20	FINAL EROSION CONTROL PLAN
C7.00	DETAILS
C8.00	EROSION CONTROL DETAILS
C8.01	EROSION CONTROL DETAILS
C8.02	EROSION CONTROL NOTES
EXHIBIT	AUTO TURN EXHIBIT
EXHIBIT	FIRE HOSE PROXIMITY EXHIBIT

BLACK ROCK COFFEE BAR
TOTAL SITE AREA: 0.60 AC. / 25,933 SF.
DISTURBED AREA: 0.67 AC./ 29,406 SF.
ZONING: MIXED-USE COMMUNITY (MC)

DEVELOPMENT TEAM

OWNER
DOUBLETREE VENTURES, LLC
P.O. BOX 40326
DENVER, CO 80204
CONTACT: BRIAN ZUREK
EMAIL: BRIAN@DOUBLETREEVENTURES.COM

CIVIL ENGINEER
ATWELL, LLC
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
PHONE: (###) ###-####
CONTACT: NICHOLAS SALAZAR
EMAIL: NSALAZAR@ATWELL.COM

SURVEYOR
BARRON LAND
2790 N. ACADEMY BLVD., SUITE 311
COLORADO SPRINGS, CO 80917
PHONE: (719) 360-6827
CONTACT: SPENCER BARRON

DEVELOPER
BLACK ROCK COFFEE BAR
16307 NE CAMERON BLVD
PORTLAND, OR 97230
PHONE: (541) 531-2149
CONTACT: TONY POLLOTTA

GOVERNING AGENCIES AND UTILITY CONTACTS

WATER & WASTEWATER
PARKER WATER AND SANITATION DISTRICT
13939 ANCESTRY DRIVE
PARKER, CO 80134
PHONE: (303) 841- 4627
EMAIL: RRAMSEY@PWSD.ORG
CONTACT: ROBERT RAMSEY

ENGINEERING DEPARTMENT
TOWN OF PARKER ENGINEERING & PUBLIC WORKS
20120 E. MAINSTREET
PARKER, CO 80134
PHONE: (303) 840- 9546
EMAIL: CKUDLAUSKAS@PARKERCO.GOV
CONTACT: CHARLES KUDLAUSKAS

FIRE PROTECTION
TOWN OF PARKER FIRE AND LIFE SAFETY
20120 E. MAINSTREET
PARKER, CO 80138
PHONE: (303) 805-3169
CONTACT: RANDY CAPRA
EMAIL: RCAPRA@PARKERONLINE.ORG

BUILDING PERMIT
TOWN OR PARKING BUILDING DIVISION
20120 E. MAINSTREET
PARKER, CO 80138
PHONE: (303) 841-1970
CONTACT: RANDY SALE
EMAIL: RSALE@PARKERONLINE.ORG

GAS PROVIDER
XCEL ENERGY
1123 WEST 3RD AVE,
DENVER, CO 80223
PHONE: (303) 571-3927
CONTACT: BUILDER'S CALL LINE
(800) 628-1212 X3

PHONE PROVIDER
CENTURYLINK
9750 EAST COSTILLA AVE.
ENGLEWOOD, CO 80112
PHONE: (720) 578-5142

ELECTRIC PROVIDER
CORE ELECTRIC COOPERATIVE
5496 NORTH U.S. HIGHWAY 85
SEDALIA, CO 80135
PHONE: (303) 332-9540
CONTACT: BRUFF SHEA

PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THE CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES, EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS. AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

LEGAL DESCRIPTION

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD:
6940 STROH ROAD, PARKER, CO

BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NADV88)

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED DEVELOPMENT, BLACK ROCK COFFEE OF PARKER, COLORADO, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO *POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.*

PROFESSIONAL ENGINEER'S SIGNATURE LICENCE NUMBER

PE STAMP:

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING DATE

811 Know what's below. Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
972.638.8860

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
COVER SHEET

DATE 2025-04-03

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C0.00

CAD FILE: 24003198 - C000 COVER - CIVIL CD SET

FILE NAME: \\TEXAS\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\24 PRODUCTION\24003198 - C000 COVER - CIVIL CD SET.dwg LAST SAVED BY: knarwar 4/3/2025 1:04 PM PLOTTED BY: Khadeja Sarwar 4/3/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB

TOWN OF PARKER DEPARTMENT OF ENGINEERING/PUBLIC WORKS

STANDARD CONSTRUCTION NOTES

These notes shall appear on the cover sheet. If a cover sheet has not been used they shall be put on every sheet of the submittal.

1. All materials and construction shall be in conformance with the latest edition of the Colorado Department of Transportation Standard Specifications for Road and Bridge Construction, the latest edition of the Town of Parker Roadway Design and Construction Criteria Manual, and the Town of Parker Storm Drainage and Environmental Criteria Manual.
2. All materials and workmanship shall be subject to inspection by the Town of Parker Public Works Department. The Town reserves the right to accept or reject any such materials and workmanship that does not conform to its standards and specifications.
3. A preconstruction meeting shall be scheduled a minimum of 48 hours and a maximum of 96 hours prior to the start of construction. A preconstruction meeting will not be scheduled until the grading permit and all other necessary permits have been obtained.
4. The Town Inspector shall be contacted a minimum of 24 hours prior to a necessary inspection. If a Town Inspector is not available after proper notice of construction activity has been provided, the permittee may commence work in the Town Inspector's absence. However, the Town of Parker reserves the right to reject the improvement if subsequent testing reveals an improper installation.
5. Location of existing utilities shall be verified by the contractor prior to actual construction in accordance with all state and local laws. The contractor shall field verify size and horizontal and vertical locations of existing facilities prior to construction, and notify the engineer of any discrepancies.
6. The contractor shall have one (1) signed copy of the plans, approved by the Town of Parker Director of Engineering/Public Works, and one (1) copy of the Roadway Design and Construction Criteria at the job site at all times.
7. A plan for traffic control during construction shall be submitted to the Town of Parker for acceptance with the Right-of-Way Use Permit application. A permit will not be issued without an approved traffic control plan for use during construction.
8. All trenches shall be adequately supported and the safety of workers provided for as required by the most recent Occupational Safety and Health Administration (OSHA) "Safety and Health Regulations for Construction."
9. Compaction of all trenches must be attained and compaction test results submitted to the Development Review Engineer in preliminary form prior to paving and in final form prior to probationary acceptance.
10. The contractor is responsible for implementing and maintaining erosion and sediment control measures at all times during construction. The plan may be modified as field conditions warrant with approval from the Town of Parker Public Works Department.
11. The contractor shall provide, erect and maintain proper traffic control devices until the site is open to traffic. The contractor shall submit a traffic control plan to the Town of Parker Public Works Department for approval prior to construction.
12. Plans are approved for period of 1 (one) year from the date shown on the Town of Parker signature block. Plans shall be resubmitted to the Town for approval after 1 year. The cost of the plan re-review and re-acceptance will be charged back to the developer including all time and expenses of the Town of Parker Public Works Department.
13. Repair of any damage to existing improvements or landscaping is the responsibility of the contractor. Such restoration may be required to be completed prior to acceptance of completed improvements.
14. All damaged existing curb, gutter, and sidewalk shall be repaired prior to acceptance of completed improvements.
15. All construction activities must comply with the State of Colorado permitting process for "Stormwater Discharges Associated with Construction Activity." For information, please contact Colorado Department of Heath, Water Quality Control Division, WQCD-PE-B2, 4300 Cherry Drive South, Denver, Colorado 80222-1530. Attention: Permits and Enforcement Section. Phone (303) 692-3500.
16. If dewatering is required, a state construction dewatering discharge permit is required for discharges to a storm sewer, channel, irrigation ditch, any street that is tributary to the aforementioned facilities, or any water of the United States.
17. All references to books, pages, maps, and reception number are public documents on file with the County Clerk and Recorder's Office.

ROADWAY NOTES

The following notes shall appear on the cover sheet of all submittals containing roadway plans. If a cover sheet has not been used, they shall be put on every sheet of the submittal containing roadway design.

1. Paving shall not commence until a soils report and pavement design is approved by the Town of Parker and subgrade compaction tests are submitted to and approved by the Town Inspector.
2. Standard Town of Parker Curb Ramps are to be constructed at all curb returns and at all "T" intersections in accordance with the latest Town of Parker standards
3. All stationing is based on centerline of roadways unless otherwise noted.
4. All elevations are on USGS DATUM with date. Range point or monument shall be shown on the construction plans.
5. Except where otherwise provided for in these plans and specifications, the Colorado Department of Highways Standard Specifications for Road and Bridge Construction, the Colorado Department of Highways M and S Standards, and the Town of Parker Roadway Design and Construction Criteria Manual, latest edition, shall apply.

STORM DRAINAGE INFRASTRUCTURE NOTES

1. All storm drainage improvements are subject to compliance with the Colorado Department of Transportation (CDOT) current edition of the Standard Specifications for Road and Bridge Construction, M & S Standards, and all standard special provisions currently used by CDOT, with the modifications set forth in the Town of Parker's Storm Drainage and Environmental Criteria Manual (SDECM), as amended.
2. The contractor shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8 CRS), the "Protection of Fishing Streams" Title 33, Article 5, CRS), the "Clean Water Act" (33 USC 1344), Cherry Creek Reservoir Control Regulation No. 72" (5 CCR 1002-72), the regulation promulgated, certification or permits issues, and the requirements presented in the SDECM Revision to Section 107 and the Construction BMP Plan. In the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal, or State agencies, the more restrictive laws, rules, or regulations shall apply.
3. Inspections: Construction shall not begin until a grading permit has been issued for the project. The contractor shall notify the Town of Parker Engineering Department (Public Works) to schedule inspections a minimum of 48 hours prior the construction of all drainage infrastructure (storm sewers, inlets, manholes, energy dissipaters, riprap, grouted boulders, detention pond outlet structures, forebays, trickle channels, etc). Failure to notify the engineering department for inspections may result in non-acceptance of the infrastructure by the Town. Urban Drainage and Flood Control District must also be notified in a similar manner for all maintenance eligible drainage infrastructures (consult with Stormwater Engineering Division).
4. Structural backfill (CDOT Class 1) shall be compacted to conform to CDOT Standard Specification 203.03. Structural backfill (CDOT Class 2) shall conform to CDOT Standard Specification 203.07. At the contractor's option, Structural Backfill (Squeegee) meeting the gradation requirements contained in Revision of Section 206 of the CDOT Standard Specifications as presented in the SDECM, may be substituted for Structure backfill (Class 1) or Class 2) for backfilling of culvert pipes, storm sewer pipes, manholes and inlet structures; however, the top 2 feet below subgrade elevation shall be the required embankment material.
5. All excavations shall meet OSHA requirements.
6. Testing: Probationary acceptance of storm drainage improvements will be contingent upon satisfactory testing results. In all cases where tests indicate compaction less than that required by Town specifications, additional compaction and tests will be required until the specifications are met. Frequency of testing will be as follows:
   - 1 test for subgrade and 1 test for backfill at every above ground appurtenance (manholes, inlets, etc)
   - 1 test every 200 LF of mainline trench every 1 foot of backfill lift and within 1 foot from all structures.
7. Allowable storm sewer conduit material within the Town of Parker shall be limited to Reinforced Concrete Pipe (RCP) conforming to CDOT Standard Specification 706.02.
8. All RCP joints shall be manufactured in accordance with ASTM C443. Rubber gaskets shall be used on all pipe joints conforming to ASTM C443. All RCP sections shall be joined in such a manner that the ends are fully entered and the inner surfaces are reasonable flush. Average joint gap that exceeds ½ inch shall be filled with an approved flexible plastic sealant.
9. Joint restraints and toe-walls, conforming to CDOT M&S Standard Plan No. M-601-11 shall be used on all RCP flared end section outfalls.
10. Epoxy coated rebar shall be used as reinforcing steel on all storm inlets and structures. Reference CDOT M&S Standard Plan No. M-604-10, 11, 12, and 13.
11. CDOT Class D concrete shall be used for all concrete drainage structures.
12. Pre-cast inlets and manhole bases shall not be used within the Town of Parker Right-of-way, with the exception of CDOT Type C and D inlets.
13. Two- (2) manhole access points are required on all Type "R" curb inlets greater than or equal to ten (10) feet in length as presented in CDOT M&S Standard Plan No. M-604-12.
14. All grouting (boulders, riprap) shall be in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
15. All boulders and riprap shall be selected and placed in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
16. Contractor shall refer to the Town of Parker's Construction Best Management Practices details and notes for all requirements relating to re-vegetation, sediment and erosion control requirements for construction activities.
17. Pipe bells shall not be cast into manhole bases or inlets.

DEMOLITION NOTES:

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

Know what's **below.** **Call** before you dig.

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LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™
TOWN GENERAL NOTES

DATE 2025-04-03

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C1.00

CAD FILE: 24003198 - C100 NOTES

FILE NAME: \\TXDAL\Civil\24003198 -BRC - Parker & Stroh -Parker CO_LD\04 PRODUCTION\24003198 - C100 NOTES.dwg LAST SAVED BY: nngo 12/6/2024 2:27 PM PLOTTED BY: Khadeja Sarwar 3/13/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

SIGNAGE AND STRIPING NOTES

In addition to the notes in the above section of these roadway standards, the following notes shall appear on the cover sheet of all submittals containing roadways. The following notes shall be on all signage and striping plans:

1. All traffic control devices shall conform to the most recent version of the federal Manual on Uniform Traffic Control Devices (MUTCD), Colorado Supplemental MUTCD, and the Town of Parker Roadway Design and Construction Criteria Manual. Further specifications and illustrations are located in the Colorado Department of Transportation (CDOT) M and S Standards.

2. A field inspection of location and installation of all signs and markings shall be performed by the Town of Parker.

3. The contractor installing signs shall be responsible for the locating and protecting of all underground utilities.

4. Type III (lighted) barricades shall be set at the ends of roadways separating finished (and/or accepted) and unfinished construction areas and shall be maintained by the contractor/developer. A "Road Closed Ahead" and "To Be Extended" warning signs shall be installed appropriately in advance of the Type III barricades.

5. Special care shall be taken in sign locations to ensure an unobstructed view of each sign.

6. Where stop sign control is appropriate, 36 inch stop signs shall be used for approaches to any roadway that is classified as a collector or greater.

7. A 7 foot minimum post length shall be maintained from the bottom of the sign panel to the ground. This requirement for vertical clearance is for all signs.

8. Delineation of roadways shall be as specified in the Colorado Department of Transportation M and S Standards.

9. Raised median island noses shall have R4-7 signs at each end and a 4"x12" high intensity yellow sign blank located midway between the R4-7 sign and finished grade on each post.

10. Signage and striping has been determined by information available at the time of review. Prior to the initiation of any warranty period, the Town of Parker reserves the right to require modifications to existing, or installation of, additional signage and/or pavement marking if it is determined that conditions warrant such modification according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the two-year warranty period for new construction. Additionally, all pavement markings shall not lift or peel during the first year after installation.

11. Diamond grade material shall be used on all stop signs and overhead signs. All other roadside traffic control devices shall use high intensity grade sheeting. No fluorescent yellow green sheeting shall be used unless specifically approved by the Town of Parker.

12. All street name signs shall be high intensity, extruded, green and white blades. Arterial and collector street name signs shall be 9 inch blades and have mixed case lettering. Local street name signs shall be 6 inches blades with mixed case lettering.

13. All layouts for internally illuminated street name signs shall be submitted to the Town for review and approval prior to fabrication.

14. All removed signs shall be returned to the Town of Parker.

15. Crosswalks: Shall be constructed using preformed thermo-plastic or an approved equal.

    Shall be Longitudinal 2 feet by 10 feet (Continental) type or other approved by the Town of Parker.

    Shall line up with handicap ramps.

    Shall be centered within lanes and placed on lane and curb lines so as to avoid vehicle wheel paths.

16. All pavement marking material (including words and symbols) shall be as follows:

    For Concrete Surface:
    Long line markings (channelization lines, skips, etc.) shall be epoxy paint.
    Other paint may be used for temporary application only when approved by the Town of Parker.

    Words, symbols, and crosswalks/stop bars shall be methyl-mythacralate, preformed thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), or as specified.

    (Sand or water blast curing compound prior to installation of markings.)

    For Asphalt Surface:
    Long line markings (channelization lines, skips, etc.) shall be epoxy paint.
    Other paint may be used for temporary application only when approved by the Town of Parker.

    Words, symbols, and crosswalks/stop bars shall be hot applied thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), Methyl-Mythacralate, or as specified.

17. Inspection and approval of striping and crosswalk layout to be done by Town of Parker Development Review Engineer (call 303-840-9546) prior to application of final striping.

DEMOLITION NOTES:

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING DATE

811 Know what's **below.** **Call** before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™
TOWN GENERAL NOTES

DATE 2025-04-03

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C1.10

CAD FILE: 24003198 - C100 NOTES

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LOT4 PRODUCTION\24003198 - C100 NOTES.dwg LAST SAVED BY: nsaga 12/6/2024 2:27 PM PLOTTED BY: Rhodaja Sarwar 3/13/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

PROJECT GENERAL NOTES

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF IMPROVEMENTS SHALL MEET OR EXCEED THE CITY AND APPLICABLE UTILITY DISTRICT STANDARDS AND SPECIFICATIONS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS AND ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARDS AND SPECIFICATIONS. ALL REFERENCES TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARDS, UNLESS SPECIFICALLY STATED OTHERWISE.

2. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE PLANS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED, AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.

3. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY TO FURNISH SAFE WORKING CONDITIONS FOR THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL HEALTH AND SAFETY RULES AND REGULATIONS.

4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS AND TO COORDINATE SUCH RELOCATIONS WITH THE APPROPRIATE UTILITY PROVIDER AND ALL AFFECTED PARTIES.

5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY/DISTRICT TO OBTAIN TEMPORARY POWER, TELEPHONE, AND WATER SERVICE DURING CONSTRUCTION. ALL COST FOR TEMPORARY SERVICES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

6. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY AND ALL UTILITY COMPANIES/DISTRICTS INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.

7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WHETHER SHOWN OR NOT SHOWN ON THE PLANS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.

9. THE CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION FENCE PRIOR TO, AND THROUGHOUT CONSTRUCTION.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK AND INSPECTIONS AS REQUIRED BY THE CITY, STATE, OR LOCAL DISTRICTS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST ASSOCIATED WITH INSPECTION.

11. THE CONTRACTOR SHALL NOTIFY THE CITY AND LOCAL UTILITY COMPANIES/DISTRICTS AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.

12. THE CONTRACTOR SHALL NOTIFY THE CITY AND LOCAL UTILITY COMPANIES/DITRICTS AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.

14. INCLUDED IN THIS PACKAGE IS THE DEMOLITION AND DISPOSAL OF ALL EXISTING UTILITIES, SITE IMPROVEMENTS AND SITE FURNISHINGS NEEDED FOR CONSTRUCTION OF THE IMPROVEMENTS SHOWN IN THIS SET OF CONSTRUCTION DRAWINGS. ALL QUESTIONS IN REGARD TO DEMOLITION SHALL BE SUBMITTED TO THE OWNER IN WRITING PRIOR TO BID.

15. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTING ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
COORDINATES PROVIDED ON THE DRAWING SHALL BE VERIFIED. ANY WORK DONE INCORRECTLY BASED UPON THE PROVIDED COORDINATES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND FIXED AT HIS OWN EXPENSE.

16. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAMES TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE CITY OR UTILITY COMPANY/DISTIRCT STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.

17. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER FOR THE OWNER/DEVELOPER AND THE ENGINEER IMMEDIATELY.

18. BENCHMARK VERIFICATION: THE CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.

19. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARDS AND SPECIFICATIONS.

SITE/GRADING GENERAL NOTES

1. CONTOURS SHOWN REPRESENT FINISHED ELEVATIONS. ADJUSTMENT TO SUBGRADE FOR ALL STRUCTURES (IE PAVING, SIDEWALKS, SLABS, ETC) IS THE RESPONSIBILITY OF THE CONTRACTOR. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.

2. EXISTING SPOT ELEVATIONS AT MATCH POINTS WERE DERIVED FROM CONTOURS PROVIDED WITH THE SITE MAPPING AND ARE ANTICIPATED TO BE +/- AND SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION. ANY DEVIATION SHALL BE REPORTED TO THE ENGINEER.

3. PRIOR TO PLACING ANY CONCRETE CURB, GUTTER, PANS, AND ACCESSIBLE RAMPS, THE FORMWORK ELEVATIONS SHALL BE VERIFIED AND PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL. ANY WORK THAT DOES NOT COMPLY WITH THIS REQUIREMENT AND IS PLACED IN ERROR WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4. NO PROPOSED LANDSCAPED SLOPE SHALL EXCEED 3:1, OR AS SPECIFIED OTHERWISE BY LOCAL CODE.

5. CONTRACTOR SHALL REFER TO BUILDING ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS OF BUILDINGS AND APPURTENANCES. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT PREPARED SPECIFICALLY FOR THIS SITE.

6. ALL LANDSCAPED AREAS ARE TO BE CONDITIONED PER THE REQUIREMENTS OF THE LANDSCAPE PLANS. ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDED ACCORDING TO THE LANDSCAPE PLAN(S) AND GRADING, EROSION AND SEDIMENT CONTROL PLAN(S).

7. ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. CONTRACTOR SHALL NOTIFY ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DATA SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

8. ASPHALT GRADES SHALL NOT BE LESS THAN 1.00% IN THE DIRECTION OF FLOW; CURB AND GUTTER AND CONCRETE PAN GRADES SHALL NOT BE LESS THAN 0.50% IN THE DIRECTION OF FLOW. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. PAVEMENT OR CURBS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

9. HANDICAP PARKING STALLS SHALL BE PAINTED AND SIGNED IN ACCORDANCE WITH CURRENT ADA STANDARDS AND REGULATIONS.

10. HANDICAP RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS AND REGULATIONS.

11. THE FOLLOWING IS APPLICABLE TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT:

a. THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK OR PEDESTRIAN ACCESS ROUTE SHALL BE 2.0%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.

b. THE GRADE OF HANDICAP PARKING STALLS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. HANDICAP PARKING SHALL HAVE AN ACCESSIBLE ROUTE TO THE BUILDING ENTRY AS SHOWN ON THE DRAWINGS.

c. HANDICAP ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL GRADE OF 5.0%. ACCESSIBLE ROUTES EXCEEDING 5.0% SHALL BE CONSTRUCTED WITH RAMPS AND HAND RAILS HAVING A MAXIMUM SLOPE OF 8.33% FOR A MAXIMUM RISE OF 30 INCHES. A 5-FOOT BY 5-FOOT LANDING PAD (WITH A 2 PERCENT MAXIMUM SLOPE IN ANY DIRECTION) SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMP.

12. PRIOR TO PLACEMENT OF CURB AND PAVEMENT CONTRACTOR SHALL VERIFY COMPLIANCE WITH ADA STANDARDS.

13. IF DURING THE GRADING AND CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER FOR THE DEVELOPER/OWNER, THE ENGINEER, AND THE GEOTECHNICAL ENGINEER IMMEDIATELY.

14. ALL GRATES, MANHOLE RIMS, VALVE BOXES, VALVE COVERS, CLEANOUTS, AND VAULT OR BOX COVERS SHALL BE ADJUSTED TO "AS CONSTRUCTED" FINISHED GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.

15. ALL CONCRETE PAVEMENT, CONCRETE FLATWORK, CONCRETE STRUCTURES, AND CONCRETE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MATERIAL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED SPECIFICALLY FOR THIS SITE.

16. CONCRETE PAVEMENT JOINTS SHALL MEET THE REQUIREMENTS OF CDOT STANDARDS AND SPECIFICATIONS, AND CDOT STANDARD PLAN NO. M-412-1, UNLESS NOTED OTHERWISE.

17. ALL SIGNING AND STRIPING WILL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL CODES.

18. REFER TO ARCHITECTURAL PLANS FOR BUILDING SIGNAGE LOCATIONS.

19. CONTRACTOR SHALL COORDINATE SIGNAGE PERMIT, INSTALLATION, AND SPECIFICATIONS WITH OWNER AND SIGNAGE MANUFACTURER.

20. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH OWNER AND SIGNAGE MANUFACTURER, AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO THE OWNER FOR APPROVAL.

21. REFER TO THE SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS.

22. GRADES WITHIN ASPHALT PAVING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG CURBS. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

23. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL LANDSCAPED AND PAVED AREAS.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY EXISTING IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO STREET PAVEMENT, FENCES, SOD, LANDSCAPING, SPRINKLER SYSTEMS, AND UTILITIES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL LOCATION AND CONDITION.

25. IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER MODIFIED OR TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSE OUT.

26. THE CONTRACTOR SHALL PROTECT THE PROJECT BENCHMARK(S) THROUGHOUT CONSTRUCTION AND SET ADDITIONAL PROJECT BENCHMARKS AS NECESSARY TO MAINTAIN VERTICAL CONTROL THROUGHOUT THE DURATION OF THE PROJECT.

27. THE CONTRACTOR SHALL INSPECT AND REPAIR EXISTING DRAINAGE STRUCTURES AS NEEDED, AND CLEAN OUT EXISTING PIPES TO REMOVE ALL SILT AND DEBRIS.

MSE RETAINING WALL GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE FULL DESIGN AND CONSTRUCTION OF THE MSE RETAINING WALLS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND INDUSTRY STANDARDS AND SPECIFICATIONS.

2. THE ALIGNMENT OF THE MSE WALLS IS SHOWN ON THE PLANS AND ASSOCIATED PROFILES DEPICTING THE FINISHED GRADE AT THE TOP OF THE WALL (TOW) AND BOTTOM OF THE WALL (BOW) AND IS NOT INTENDED TO SHOW ANY PORTION OF THE WALL BELOW FINISHED GRADE. CHANGES IN THE TOP OF WALL ELEVATIONS SHALL BE ACHIEVED BY UNIFORMLY STEPPING THE WALL.

3. CONTRACTOR IS REQUIRED TO:

a. REVIEW THE GEOTECHNICAL REPORT FOR THE SITE AND VERIFY THE REPORT PROVIDES ALL INFORMATION REQUIRED FOR THE DESIGN OF THE WALL.

b. PROVIDE FULL DESIGN OF THE WALL INCLUDING DESIGN CALCULATIONS AND CONSTRUCTION DRAWINGS PREPARED BY A LICENSED ENGINEER TO BE SUBMITTED TO THE CITY FOR APPROVAL. THE DESIGN SHALL CONSIDER THE LONG TERM STRUCTURAL STABILITY OF THE WALL AND ADDRESS DRAINAGE BEHIND THE WALL.

c. OBTAIN ALL PERMITS REQUIRED FOR THE WORK.

d. VERIFY EXISTING AND PROPOSED ELEVATIONS AT TOP OF WALL.

e. PROVIDE ALL MATERIALS AND LABOR REQUIRED FOR CONSTRUCTION AND INSTALLATION OF THE WALL.

f. PROVIDE MATERIAL TESTING OF ALL MATERIALS USED FOR CONSTRUCTION OF WALLS.

g. DETAIL, PROVIDE, AND INSTALL A PEDESTRIAN GUARDRAIL ALONG THE TOP OF ALL WALLS INSTALLED. SUBMIT DETAILS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

h. SUBMIT TO THE ARCHITECT A COLOR AND TEXTURE SAMPLE OF THE BLOCK TO BE USED PRIOR TO INSTALLATION.

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TOWN OF PARKER, DIRECTOR ENGINEERING   DATE

Know what's below. Call before you dig.
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GENERAL NOTES

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REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
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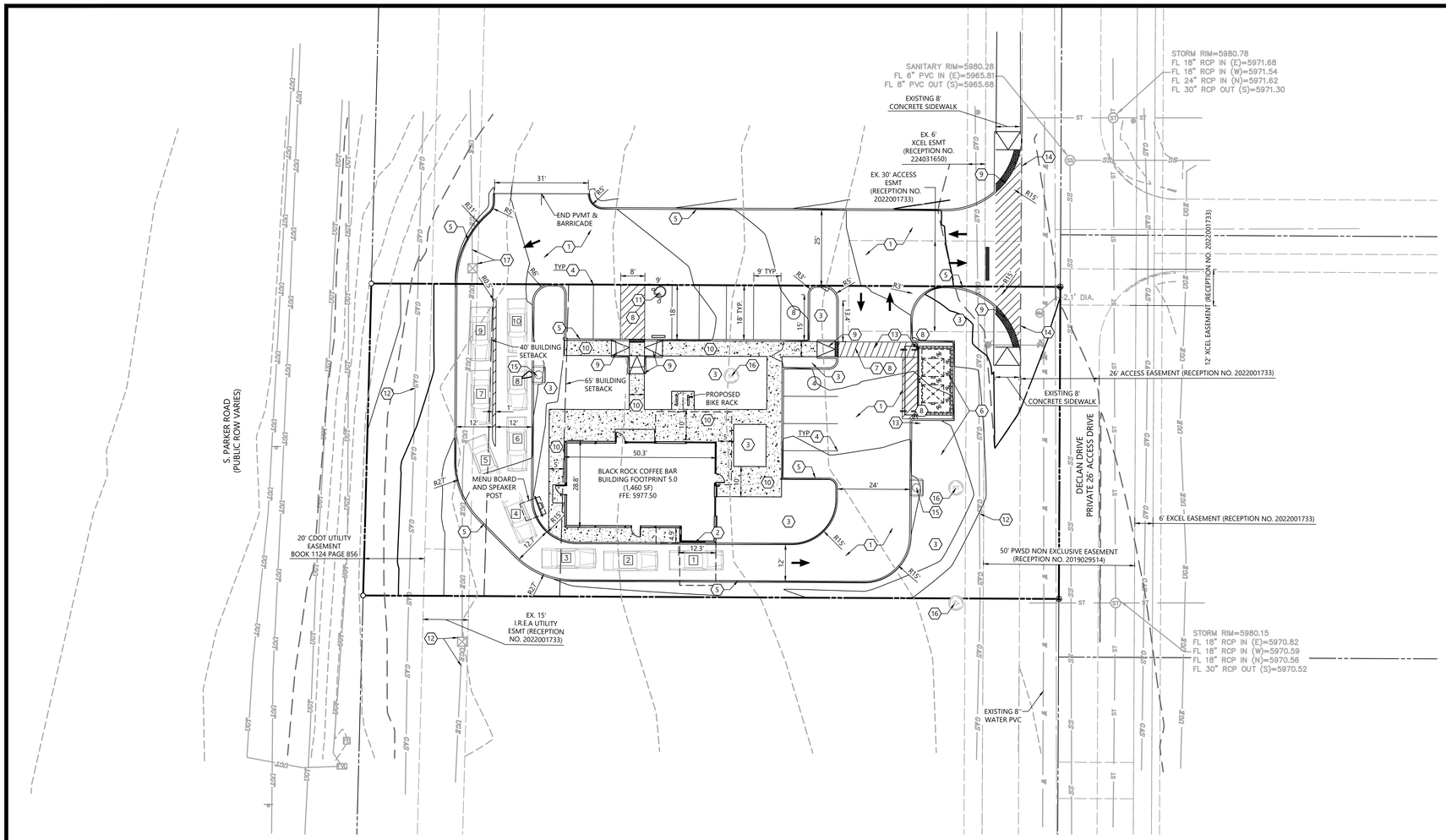

SITE AREA

TOTAL PROPERTY AREA:	0.60 AC. / 25,933 SF.
DISTURBED AREA:	0.67 AC. / 29,406 SF.
IMPERVIOUS AREA:	0.40 AC. / 17,639 SF
PERVIOUS AREA:	0.19 AC. / 8,294 SF

ZONING CLASSIFICATION

JURISDICTION:	CITY OF PARKER
ZONING:	MIXED-USE COMMUNITY
ADJACENT ZONING:	PLANNED DEVELOPMENT

REQUIRED BUILDING SUMMARY

MIN BUILDING SETBACK:	40'
MAX BUILDING SETBACK:	65'
LANDSCAPE SETBACK:	10' ADJACENT TO PUBLIC OR PRIVATE ROADWAY
REAR BUILDING SETBACK:	25'
BUILDING HEIGHT LIMIT:	35'

PROPOSED BUILDING SUMMARY

PROPOSED BUILDING AREA:	1,460 SF
PROPOSED BUILDING SETBACK:	65'

REQUIRED PARKING SUMMARY

PARKING REQUIREMENTS:	1 SPACE PER EACH 4 PERSONS OF RATED CAPACITY (EXCLUDING OUTDOOR SEATING)
TOTAL PARKING REQUIRED:	6 SPACES
CAR STACKING REQUIRED:	NO REQUIREMENTS; STACKING COUNTS TOWARDS PARKING REQUIREMENTS
BIKE SPACES REQUIREMENTS:	4 SPACES

PROPOSED PARKING SUMMARY

PARKING PROVIDED:	22 SPACES (INCLUDING 1 ADA SPACE AND 10 STACKING SPACES)
TOTAL BIKE PARKING PROVIDED:	4 SPACES

SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- 6" CURB
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- # OF STACKING

SITE GENERAL NOTES:

1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
2. USE 3' RADII, UNLESS SHOWN OTHERWISE.
3. THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: BARRON LAND. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
5. ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
6. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
9. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
10. ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
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13. ALL PARKING LOT LIGHTING MUST BE INSTALLED AND OPERATE SO AS NOT TO PRODUCE GLARE OR CAST DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE. LOW PRESSURE SODIUM LIGHTING IS PROHIBITED. ALL LIGHTING FIXTURES MUST BE RESTRICTED TO DOWN-LIGHT OR CUT-OFF TYPES.

NOTE NUMBER		CORRESPONDING DETAIL NUMBER (SEE DETAIL SHEETS)
1	INSTALL 2" AC PAVEMENT OVER 10" ABC	C700
2	PROPOSED PICK-UP WINDOW WITH COUNTER	SEE ARCHITECTURAL PLANS FOR DETAILS
3	PROPOSED LANDSCAPE	SEE LANDSCAPE PLANS FOR DETAILS
4	4" WIDE PAINTED WHITE TRAFFIC STRIPE (SEE LENGTH THIS SHEET).	-
5	CONSTRUCT 6" SINGLE CURB	-
6	DUMPSTER ENCLOSURE	-
7	INSTALL ADA CROSSWALK	-
8	4" WIDE PAINTED STRIPE @ 2' O.C. AND 45 DEGREES.	-
9	CONSTRUCT DIRECTIONAL CURB RAMP PER PARKER STANDARD DETAIL #18.	C700
10	CONSTRUCT SIDEWALK PER PARKER STANDARD DETAIL #4	C700
11	ADA PARKING STALL WITH ADA SYMBOL AND REQUIRED PAINT.	-
12	PROTECT EXISTING UTILITIES IN PLACE.	-
13	INSTALL 3" CONCRETE OVER 14" ABC	C700
14	MATCH EXISTING ASPHALT ALONG DECLAN DRIVE PER PARKER STANDARD DETAIL #26	C700
15	INSTALL 5' CURB INLET	C700
16	PROPOSED STORM MANHOLE	C700
17	EXITING UTILITIES TO BE RELOCATED	-

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

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S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™
SITE PLAN

DATE 2025-04-03

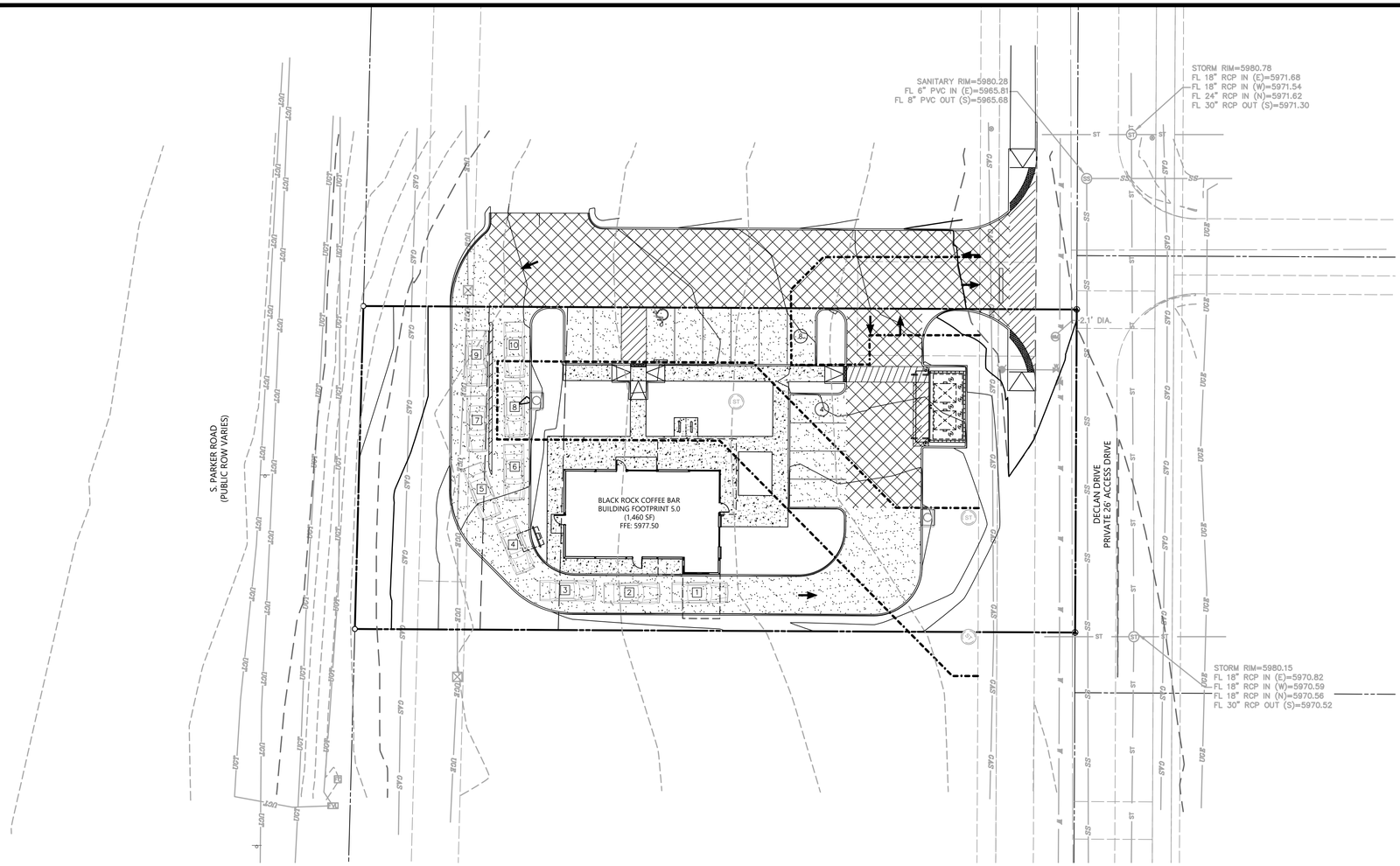
REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C2.00

CAD FILE: 24003198 - C200 SITE PLAN

FILE NAME: \\FSCAS\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LPO\4 PRODUCTION\24003198 - C200 SITE PLAN.dwg LAST SAVED BY: ksarwar 3/13/2025 5:13 PM PLOTTED BY: Kristopher Sarwar 3/14/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB



SITE GENERAL NOTES:

1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
2. USE 3' RADII, UNLESS SHOWN OTHERWISE.
3. THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: DIAMONDBACK LAND SURVEYING.
4. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
6. ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
7. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
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PAVING AND STRIPING LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED SETBACK LINE
- 6" CURB
- FIRE LANE
- PROPOSED SIDEWALK
- PR. WALKWAY STRIPING
- 2" AC PAVEMENT OVER 10" ABC
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- # OF STACKING
- ST — EXISTING STORM LINE
- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- GAS — EXISTING GAS LINE
- UGE — EXISTING UNDERGROUND ELECTRIC LINE
- UGT — EXISTING UNDERGROUND TELEPHONE LINE
- ST — EXISTING STORM MANHOLE
- SS — EXISTING SANITARY SEWER MANHOLE
- WM — EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- ST — PROPOSED STORM MANHOLE
- PROPOSED 5' CURB INLET

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DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR
PAVING AND STRIPING PLAN

DATE 2025-04-03

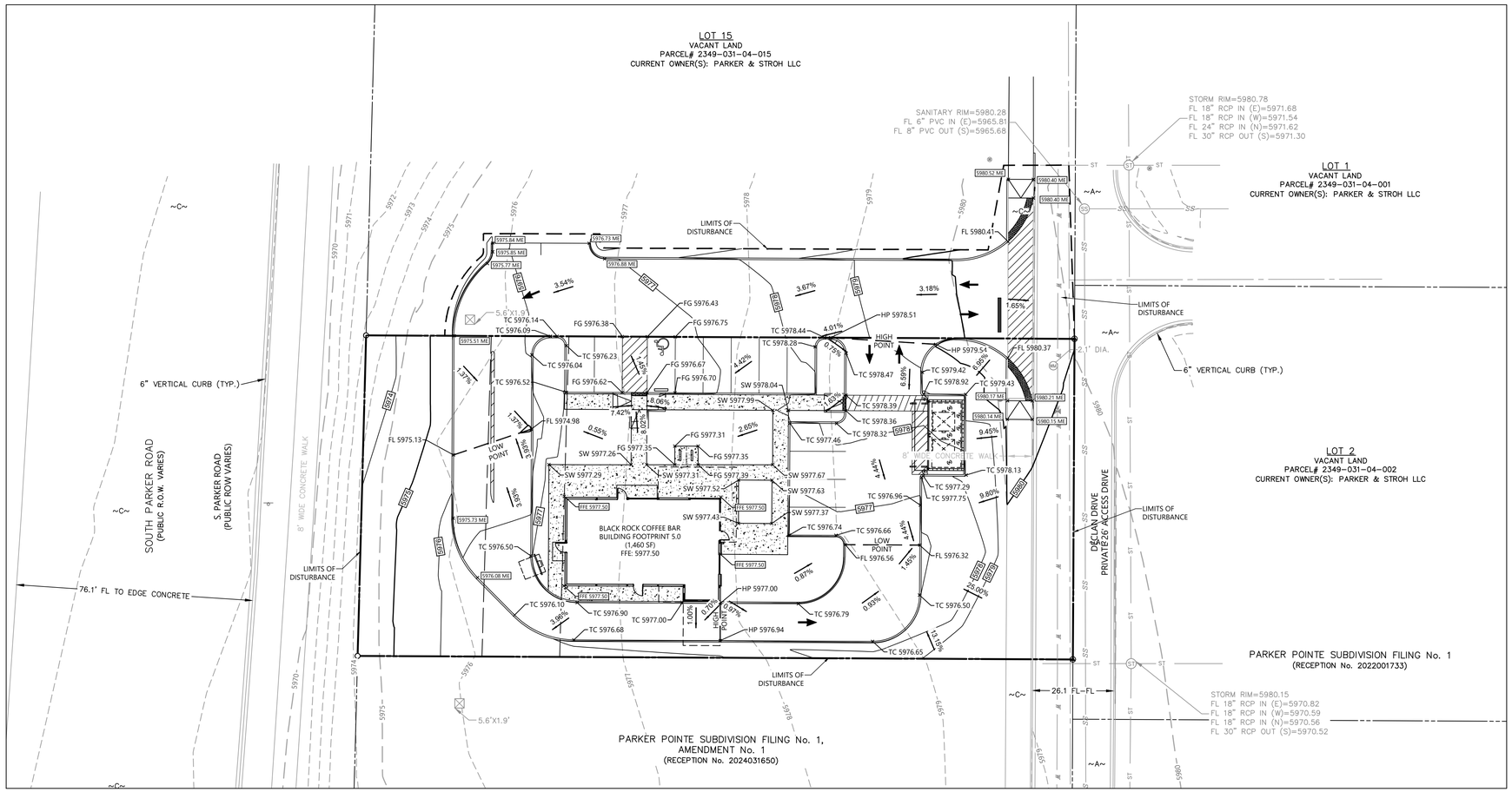
REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C2.10

CAD FILE: 24003198 - C200 SITE PLAN

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\04 PRODUCTION\24003198 - C200 SITE PLAN.dwg LAST SAVED BY: ksarwar 3/14/2025 5:13 PM PLOTTED BY: Kristopher Sarwar 3/14/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB



GRADING LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED SETBACK LINE
- 119 EXISTING MINOR CONTOURS
- 120 EXISTING MAJOR CONTOURS
- 119 PROPOSED MINOR CONTOUR
- 120 PROPOSED MAJOR CONTOUR
- ST EXISTING STORM LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- FG 123.45 PROPOSED (PR.) SPOT ELEV
- ME 123.45 PR. SPOT ELEV - MATCH EX. GRADE
- TC: 123.45 PR. SPOT ELEV - TOP OF CURB GUTTER/BOTTOM OF CURB = TC - 0.5'
- SW: 123.45 PR. SPOT ELEV - SIDEWALK
- FL: 123.45 PR. SPOT ELEV - FLOWLINE
- FFE 123.45 FINISHED FLOOR ELEVATION
- HP: 123.45 PR. SPOT ELEV - HIGH POINT
- 2% PROPOSED SLOPE ARROW
- ST EXISTING STORM MANHOLE
- SS EXISTING SANITARY SEWER MANHOLE
- WM EXISTING WATER METER
- WV EXISTING WATER VALVE
- EXISTING FIRE HYDRANT

ABBREVIATION LIST

EG	EXISTING GRADE
TC	TOP OF CURB
FL	FLOW LINE
SW	SIDEWALK
ME	MATCH EXISTING
FG	FINISH GRADE
FFE	FINISH FLOOR ELEVATION
HP	HIGH POINT

EARTHWORK QUANTITIES

CUT	607
FILL	81
BALANCE (IMPORT)	526

GRADING NOTES:

1. GRADES SHOWN ARE PROPOSED FINISHED GRADES.
2. ALL PROPOSED GRADES AND SPOT ELEVATIONS INDICATE TOP OF PAVEMENT OR FACE/FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
3. THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY BARRON LAND.
4. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
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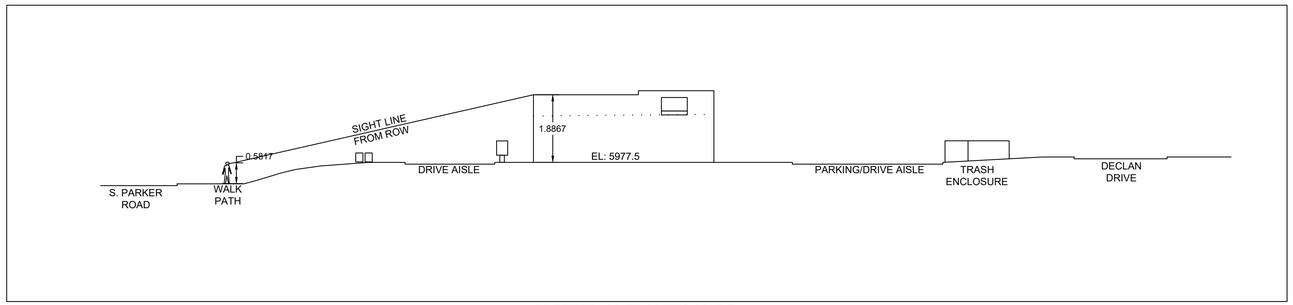
12. REMOVE EXISTING TOPSOIL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PRIOR TO PLACEMENT OF ANY FILL MATERIAL.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEVADA STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
14. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.

BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NADV88)



SITE SECTION

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13135 DECLAN DRIVE
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GRADING PLAN

DATE 2025-04-03

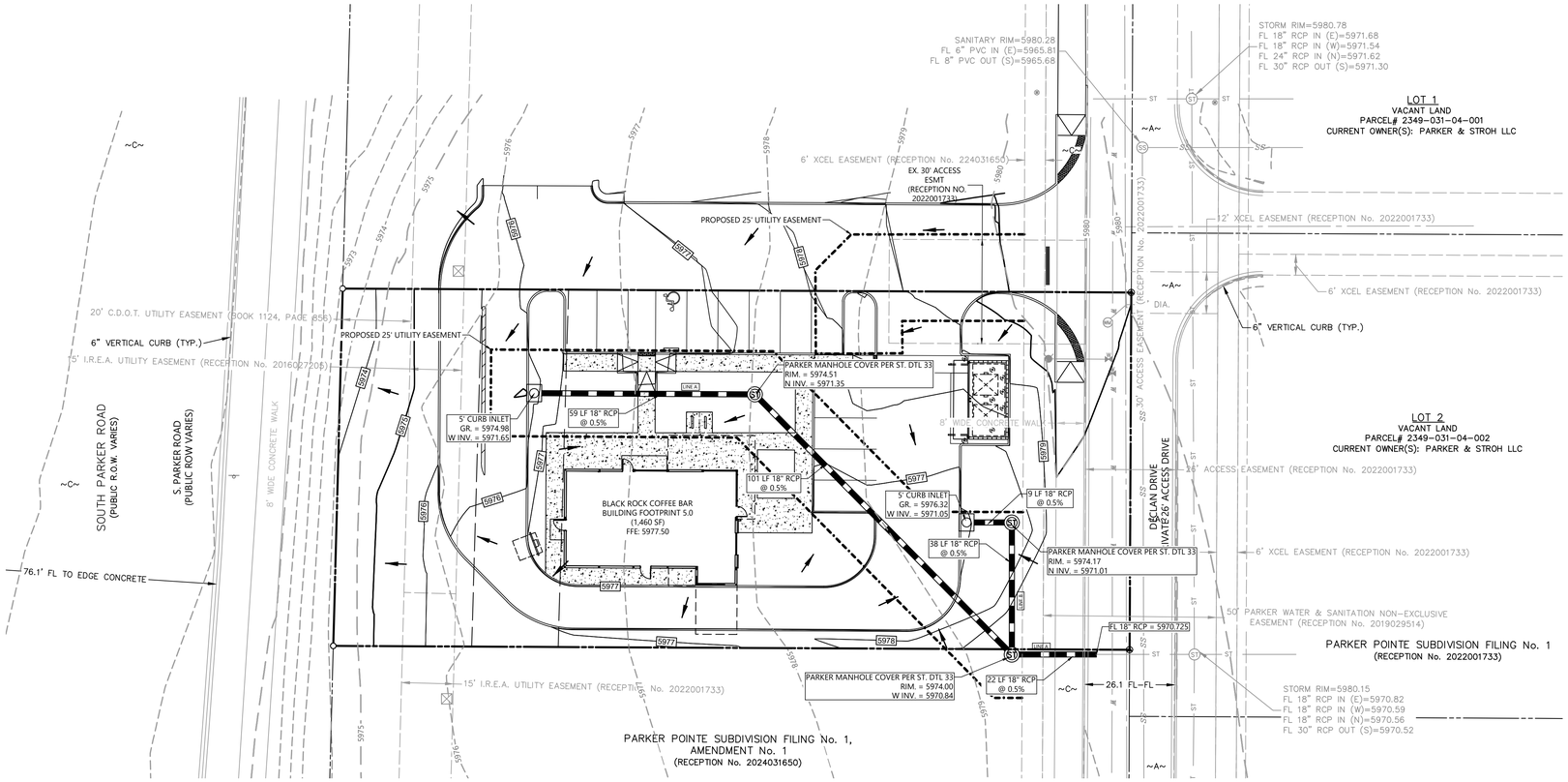
REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C300

CAD FILE: 24003198 - C300 GRADING PLAN

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LOT4A PRODUCTION\24003198 - C300 GRADING PLAN.dwg LAST SAVED BY: nsanz 3/18/2025 4:35 PM PLOTTED BY: Khodap Sarwar 3/18/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB



DRAINAGE PLAN LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT
- PROPOSED SETBACK LINE
- 119 EXISTING MINOR CONTOURS
- 120 EXISTING MAJOR CONTOURS
- 119 PROPOSED MINOR CONTOUR
- 120 PROPOSED MAJOR CONTOUR
- ST EXISTING STORM LINE
- PROPOSED STORM LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- x123.4 PROPOSED SPOT ELEV
- 2% SLOPE ARROW
- ST EXISTING STORM MANHOLE
- SS EXISTING SANITARY SEWER MANHOLE
- WM EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- FLOW DIRECTION ARROWS

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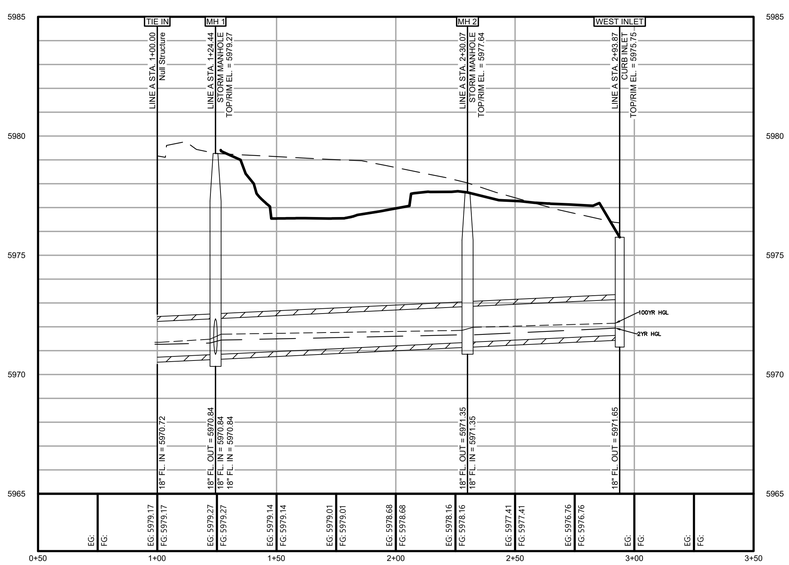
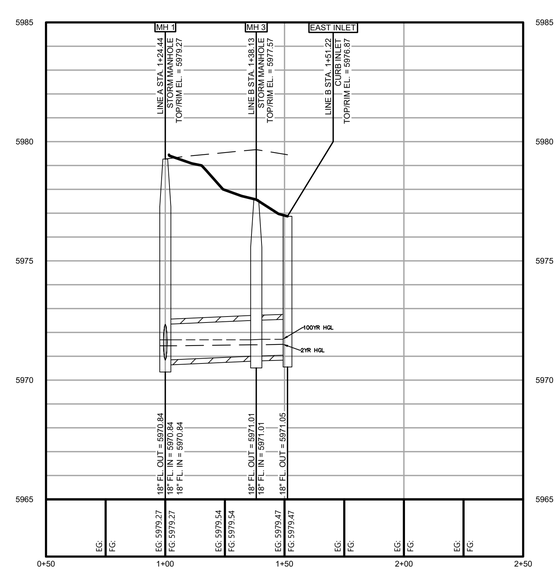


LINE A PROFILE

HORZ SCALE: 1"=30'
VERT SCALE: 1"=3'



LINE B PROFILE

HORZ SCALE: 1"=30'
VERT SCALE: 1"=3'

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S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR
DRAINAGE PLAN

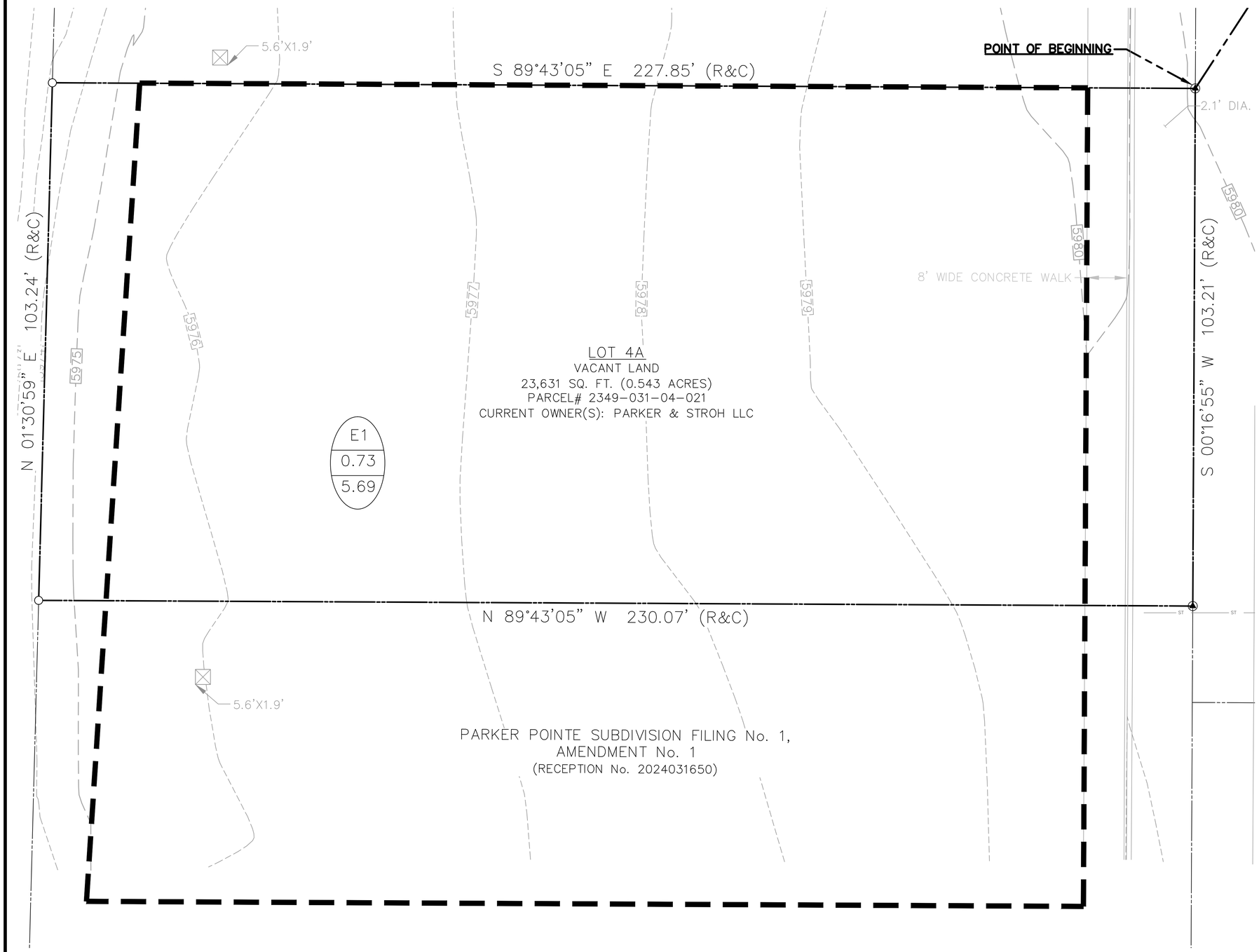
DATE 2025-04-03

REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C3.10

CAD FILE: 24003198 - C310 DRAINAGE PLAN



DRAINAGE LEGEND:

H
0.79
6.22

SUBAREA

AREA – ACRES

FLOW – Q 100 (CFS)

DRAINAGE AREA LINE

DRAINAGE NOTES:

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2. TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
3. TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM SURVEY AS PROVIDED BY BARRON LAND.

CALL UTILITY NOTIFICATION
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1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

CAUTION: NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

PRE-DEVELOPED DRAINAGE SUMMARY
BRC - PARKER, COLORADO

DRAINAGE AREA	AREA (AC)	Tc (MIN)	C-VALUE	I (2 yr) (in/hr)	Q (2yr) (cfs)	I (100 yr) (in/hr)	Q (100 yr) (cfs)	REMARKS
E1	0.73	5.00	0.05	3.41	0.12	9.53	0.35	TO INTERIM SYSTEM
TOTALS	0.73						0.35	

1. INTENSITY VALUES, TC, AND C VALUES UTILIED ARE THOSE FOUND IN THE MASTER DRAINAGE REPORT "MASTER DRAINAGE REPORT FOR PARKER POINTE JOB NO. 2015–015"

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

811
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LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™
INTERIM DAM

DATE 2025-04-03

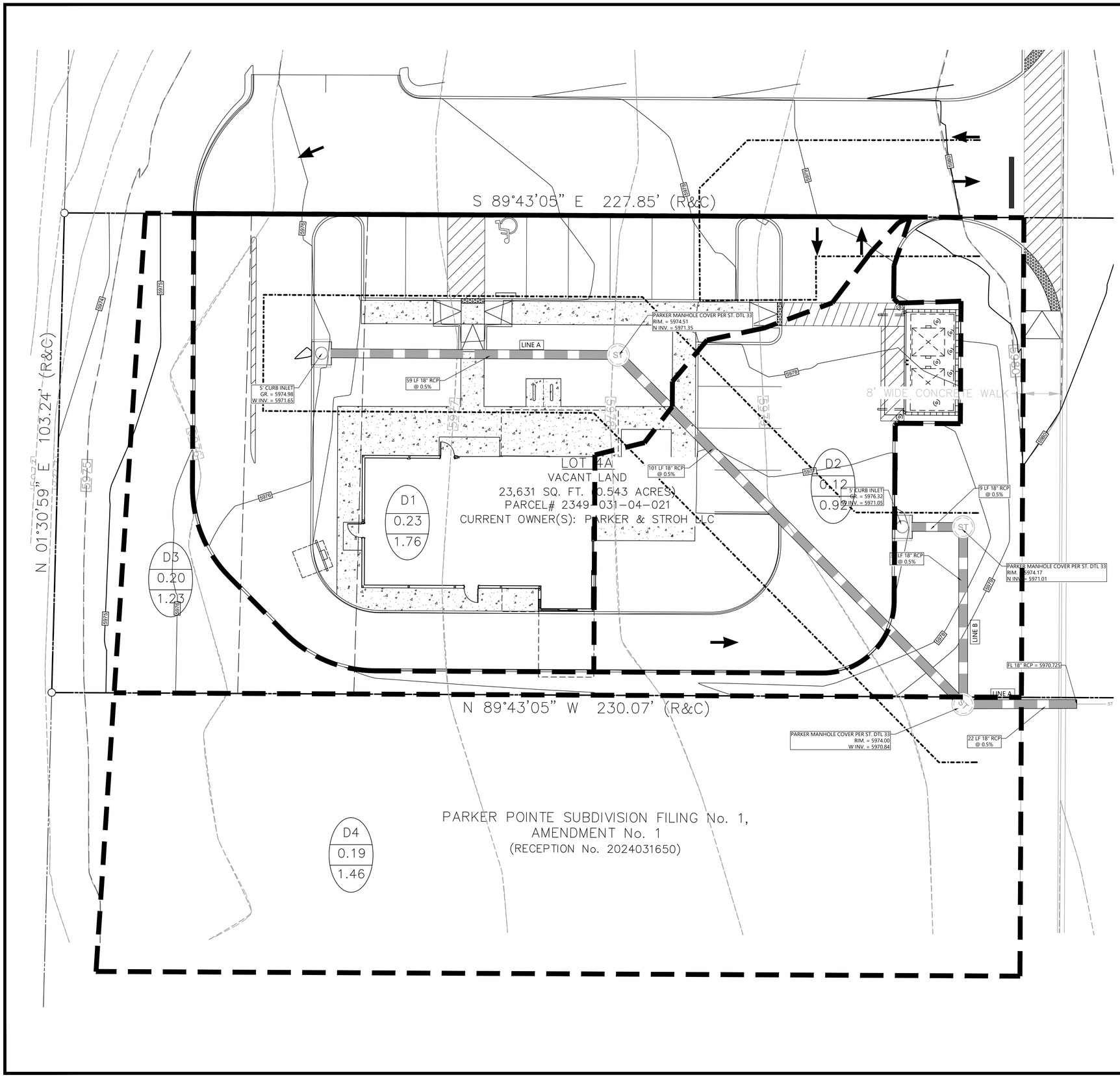
REVISIONS

0 5' 10'
SCALE: 1" = 10'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C3.20

CAD FILE: 24003198 - C310 INTERIM DAM

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\04 PRODUCTION\24003198 - C310 INTERIM DAM.dwg LAST SAVED BY: kserwar 3/18/2025 11:03 AM PLOTTED BY: Prodap Server 3/18/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB



DRAINAGE LEGEND:

- H / 0.79 / 6.22 — SUBAREA; AREA – ACRES; FLOW – Q 100 (CFS)
- DRAINAGE AREA LINE
- (ST) PROPOSED STORM MANHOLE
- PROPOSED 5' CURB INLET

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BRC - PARKER, COLORADO

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D1	0.23	5.00	0.80	3.41	0.62	9.53	1.73	TO WEST CURB INLET
D2	0.12	5.00	0.80	3.41	0.32	9.53	0.90	TO EAST INLET
D3	0.20	5.00	0.05	3.41	0.03	9.53	0.09	BYPASS
D4	0.19	5.00	0.05	3.41	0.03	9.53	0.09	BYPASS ADJOINER
TOTALS	0.73				1.00		2.81	

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

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S. PARKER RD & STROH RD

PARKER

DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

BLACK ROCK COFFEE BAR™

POST-DEV DAM

DATE 2025-04-03

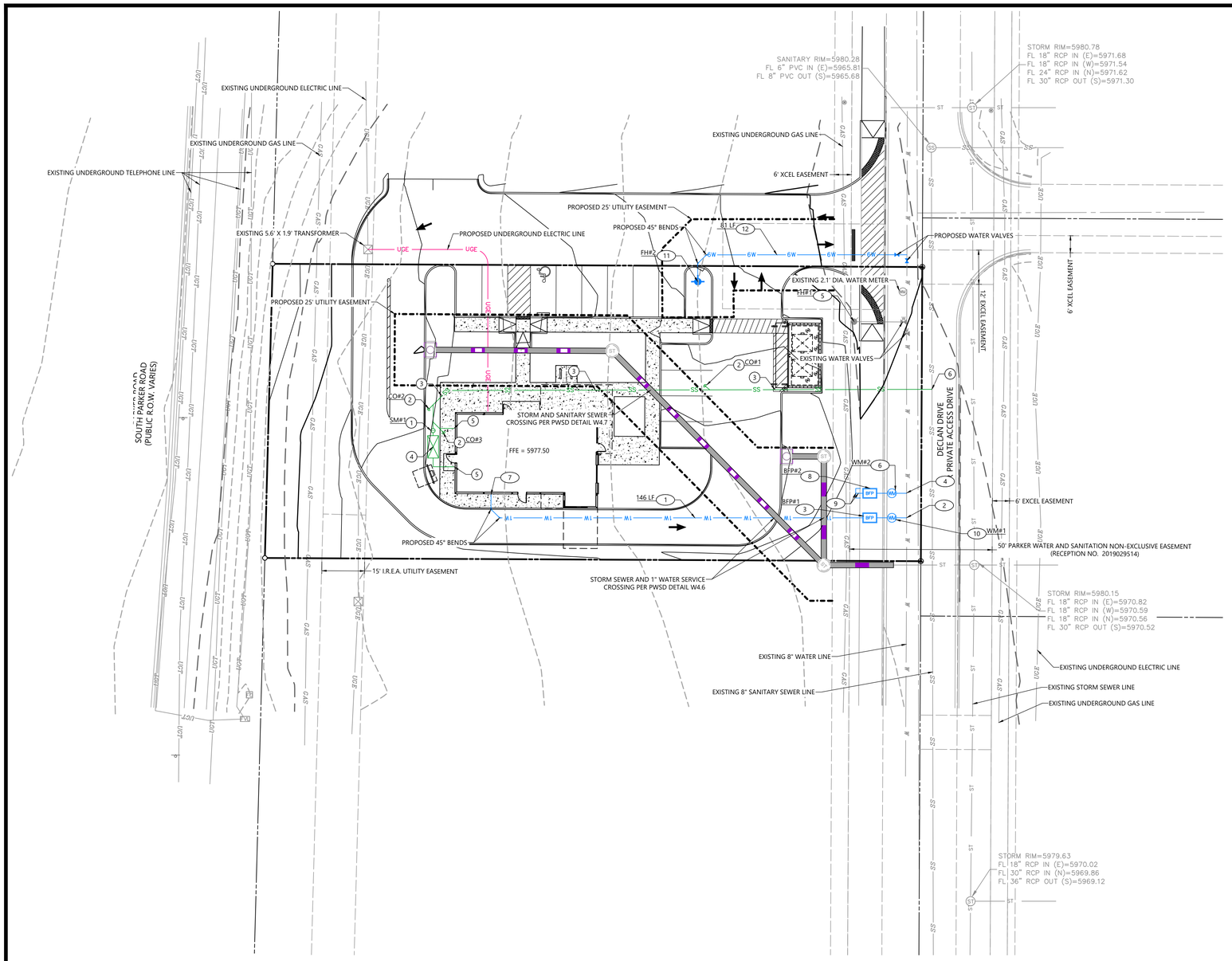
REVISIONS

0 5' 10'
SCALE: 1" = 10'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C3.30

CAD FILE: 24003198 - C3D POST-DEV DAM

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LOT4 PRODUCTION\24003198 - C3D POST-DEV DAM.dwg LAST SAVED BY: kSarwar 3/18/2025 4:08 PM PLOTTED BY: Khadeja Sarwar 3/18/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB



UTILITY NOTES

1. ALL UTILITY CONSTRUCTION SHALL CONFORM TO PARKER WATER AND SANITATION DISTRICT AND CRITERIA REFERENCE. LOCAL AGENCY INFRASTRUCTURE DESIGN AND CONSTRUCTION STANDARDS.
2. NOMINAL DEPTH OF WATER MAIN SHALL BE 4.5' FROM FINISHED GRADE TO TOP OF PIPE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE PARKER WATER AND SANITATION DISTRICT THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER PUBLIC WORKS AND PARKER WATER AND SANITATION DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES. EXISTING UTILITIES SHOWN ON THIS PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND DO NOT REFLECT A COMPLETE SURVEY OF EXISTING UTILITIES. CONTACT THE ENGINEER WITH DISCREPANCIES.
6. CONTRACTOR SHALL VERIFY THE STUB TIE IN ELEVATION PRIOR TO START OF CONSTRUCTION. THE ELEVATION OF THE STUB SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO SANITARY SEWER CONSTRUCTION.
7. SAWCUT OF EXISTING STREETS SHALL BE IN CONFORMANCE WITH TOWN STANDARDS. CUTS SHALL STRAIGHT WITH CLEAN EDGES. REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT RETURN ALONG EXISTING LINE AND GRADE.
8. THE OWNER AND OR THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR COORDINATION WITH EXISTING FRANCHISE UTILITIES TO INCLUDE COMCAST, XCEL, CENTURY LINK OR OWNERS OF EXISTING DRY UTILITY LINES.
9. EXISTING UTILITY SURFACE APPURTENANCES SHALL BE RAISED TO FINISHED GRADE, THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE LIDS, VALVE COVERS.

UTILITY LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING ROAD CENTERLINE
- SS — SEWER LINE
- 1W — DOMESTIC 1" WATER LINE
- STORM SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- GREASE TRAP
- STORM MANHOLE
- STORM CURB INLET
- WATER METER
- WATER BEND 45°
- WATER BACK FLOW PREVENTER

WATER SERVICE NOTES

NOTE - ALL POLY LINES FOR WATER SHOULD BE PEX AND SHOULD UTILIZE PROTEX FITTINGS

NOTE - ALL WATER SHALL BE INSTALLED PER PARKER WATER AND SANITATION STANDARDS, SPECIFICATIONS AND STANDARD PRODUCTS LIST.

1. INSTALL 1- 1" COPPER SERVICE LINE, LENGTH PER PLAN
2. INSTALL 1- 1" WATER SERVICE INSTALLATION ON EXISTING 8" WATER MAIN PER P.W.S.D. STD. DTL W1.2 WITH RESTRAINT JOINTS
3. INSTALL 1- 1" BACKFLOW PREVENTER PER P.W.S.D. STD. DTL W5.9
4. INSTALL ¾" WATER SERVICE INSTALLATION ON EXISTING WATER MAIN PER PER P.W.S.D. STD. DTLS. WITH RESTRAINT JOINTS
5. EXISTING FIRE HYDRANT ASSEMBLY
6. INSTALL ¾" LANDSCAPE METER WITH STEEL METER BOX COVER PER P.W.S.D. STD. DTL W5.9
7. CONNECT TO BUILDING STUB. SEE ARCHITECTURAL PLANS FOR CONTINUATION
8. INSTALL 1" LANDSCAPE BACKFLOW PREVENTER PER P.W.S.D. STD. DTLS W5.9 WITH A ¾" TO 1" REDUCER BETWEEN THE METER AND BACKFLOW
9. INSTALL ¾" SCH 80 PVC WATERLINE AND WATER PLUG PPER P.W.S.D. STD. DTLS.
10. INSTALL 1- 1" WATER METER WITH STEEL METER BOX COVER PER P.W.S.D. STD. DTLS.
11. PROPOSED FIRE HYDRANT ASSEMBLY
12. 6" SCH 80 PVC WATERLINE, LENGTH PER PLAN

SANITARY SEWER SERVICE NOTES

1. SAMPLING MANHOLE PER P.W.S.D. STD. DTL S5.3
2. INSTALL GAS/WATER TIGHT CLEANOUT PLUGS PER P.W.S.D. STD. DTL S4.12
3. INSTALL 6" PVC SDR-35 SEWER LINE.BEDDING AND BACKFILL PER P.W.S.D. STD. DTL S4.1
4. INSTALL GREASE INTERCEPTOR PER P.W.S.D. STD. DTLS S5.1 & S5.2
5. CONNECT TO BUILDING STUB. SEE ARCHITECTURAL PLANS FOR CONTINUATION
6. CONNECT TO EXISTING SANITARY SEWER LINE

ALL THE FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE

(NOTE - UNDERGROUND FILE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

ENGINEERING REVIEW BLOCK

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

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S. PARKER RD & STROH RD

PARKER

DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

BLACK ROCK COFFEE BAR™

OVERALL UTILITY PLAN

DATE 2025-04-03

REVISIONS

SCALE: 1"=20'

DRAWN BY: K. SARWAR

CHECKED BY: N. SALAZAR

PROJECT MANAGER: N. SALAZAR

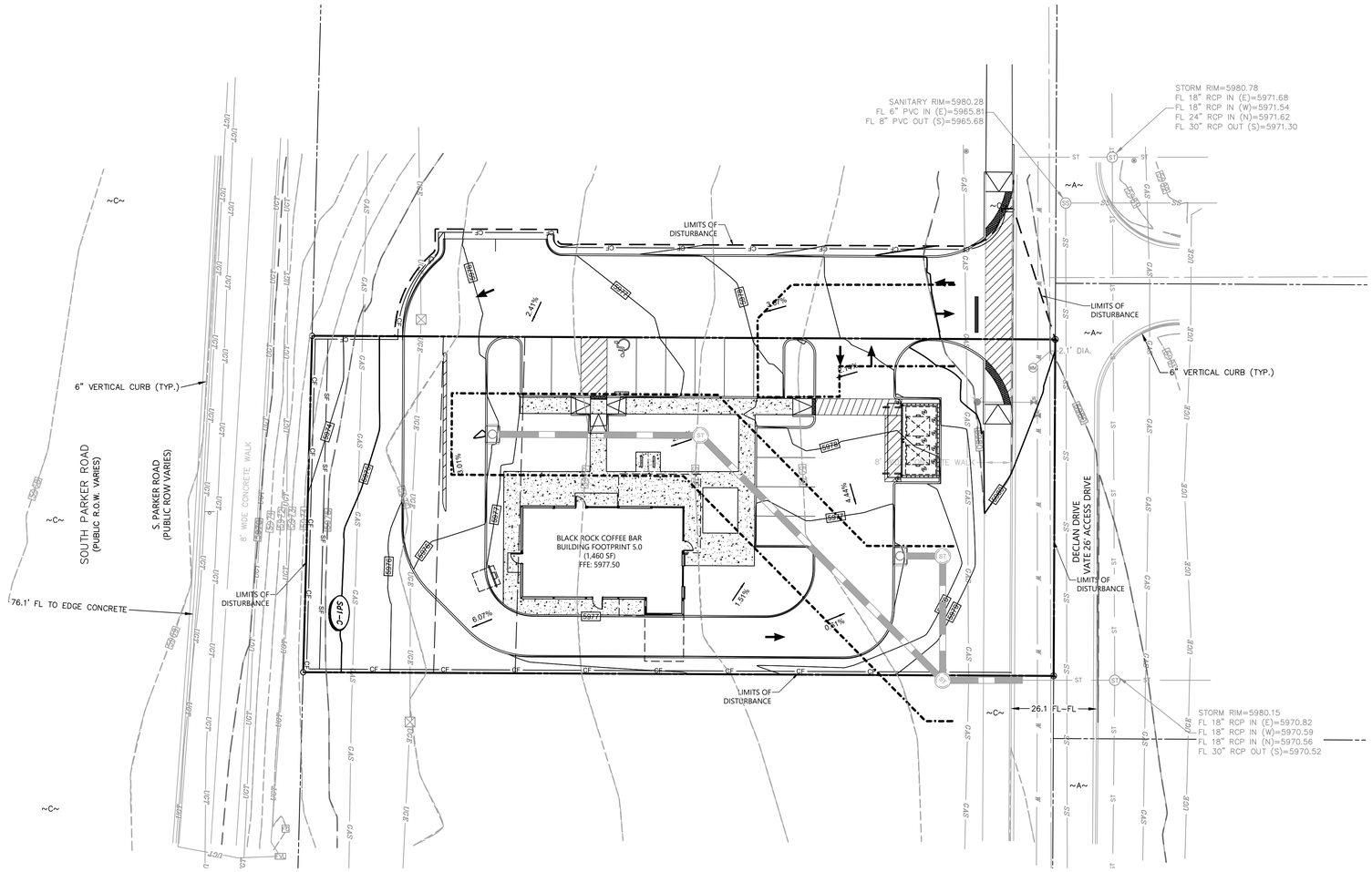
JOB #: 24003198

FILE CODE: ##

SHEET NO. C4.00

CAD FILE: 24003198 - OVERALL UTILITY PLAN

FILE NAME: \\YUMA\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\24 PRODUCTION\24003198 - OVERALL UTILITY PLAN.dwg LAST SAVED BY: akad 2/24/2025 3:38 PM PLOTTED BY: Hodap Server 3/18/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL-CTB



EROSION LEGEND

	EXISTING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	PROPOSED SETBACK LINE
119	EXISTING MINOR CONTOURS
120	EXISTING MAJOR CONTOURS
119	PROPOSED MINOR CONTOUR
120	PROPOSED MAJOR CONTOUR
Sd1-C	SEDIMENT BARRIER SILT FENCE (TYPE C) — SF —
	CONSTRUCTION FENCE — CF —
	FLOW ARROW PROPOSED 2%
ST	EXISTING STORM LINE
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE
GAS	EXISTING GAS LINE
UGE	EXISTING UNDERGROUND ELECTRIC LINE
UGT	EXISTING UNDERGROUND TELEPHONE LINE
ST	EXISTING STORM MANHOLE
SS	EXISTING SANITARY SEWER MANHOLE
WM	EXISTING WATER METER
W	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
ST	PROPOSED STORM MANHOLE
	PROPOSED 5' CURB INLET

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GRADING EROSION AND SEDIMENT CONTROL NOTES

1. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMITS FROM THE LOCAL AND STATE AGENCIES PRIOR TO THE START OF CONSTRUCTION.
2. BMPS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS HEREIN AND THE LOCAL AGENCIES STANDARDS DETAILS. IF A DETAIL IS NOT PROVIDED FOR A PLANNED OR NEEDED BMP REFERENCE LOCAL AGENCY STANDARDS. IF THE DETAIL IS NOT AVAILABLE REFERENCE URBAN DRAINAGE AND FLOOD CONTROL DISTRICTS STANDARD DETAILS.
3. THESE PLANS DO NOT REFLECT ALL BMPS THAT MAY BE NEEDED FOR SITE EROSION AND SEDIMENT CONTROL DUE TO FIELD CHANGES NOT ANTICIPATED IN THE DESIGN OF THE PLAN. CONTRACTOR SHALL INSTALL ADDITIONAL BMPS AS NEEDED TO MAINTAIN SITE STABILIZATION AND MITIGATE ANY SEDIMENT TRANSPORT OFF SITE OR TO THE ADJACENT STORM SYSTEM OR ADJACENT PROPERTY.
4. ALTERNATE BMPS MAY BE USED FROM THOSE SHOWN HEREON. CONTACT ENGINEER AND LOCAL AGENCY INSPECTOR WITH PROPOSED CHANGES.
5. GUIDELINES WITH THE LOCAL AGENCY PERMIT AND STANDARDS AND SPECIFICATIONS SHALL BE FOLLOW AND MAINTAINED.
6. AN APPROVED COPY OF THE EROSION AND SEDIMENT CONTROL PLAN AND STORMWATER MANAGEMENT PLAN SHALL BE KEPT ON SITE AT ALL ITEMS.
7. LOCATION OF BMPS MAY VARY FROM THOSE SHOWN HEREON SUE TO PROGRESS AND PHASING OF CONSTRUCTION ACTIVITIES.
8. SITE BMPS SHALL BE MAINTAINED AND REPAIRED IF DAMAGED IMMEDIATELY. SITE INSPECTIONS SHALL OCCUR EVERY 7-DAYS, AND WITHIN 24-HOURS OF ANY PRECIPITATION EVENT.
9. AREAS LABELED "PS" AND "SM" SHALL BE STABILIZED PER LANDSCAPE PLAN IF SEASON ALLOWS FOR PLANTING AND IF POSSIBLE WITHIN 14 DAYS OF DISTURBANCE, DISTURBED SOIL SHOULD BE STABILIZED TO PREVENT EROSION.

TOWN OF PARKER NOTES

1. ALL SILT FENCE MUST BE INSTALLED ON 5-FOOT CENTERS.
2. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND ECS.
3. THE TRUE LOCATION OF THE PTP MAY BE DETERMINED BY THE TOWN AND ECS.
4. PLACE SCL IMMEDIATELY BEHIND CURB AND SIDEWALK DOWN GRADIENT OF DISTURBED AREAS. USE 12" LOGS.
5. IF SF IS NOT INSTALLED ON THE BACK OF CURB, ECB MAY BE NECESSARY IN THE GAP.
6. ALL SOILED STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVE AISLES, ETC., MUST BE THOROUGHLY CLEANED BY 5 PM EACH WORK DAY AND DURING THE DAY WHEN LEVEL OF SOIL EXCEEDS A LOW LEVEL AS DETERMINED BY THE TOWNS INSPECTOR.
7. LOT PROTECTION IS REQUIRED ON ALL COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.
8. THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
9. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
10. LOT PROTECTION (LP) IS REQUIRED ON RESIDENTIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

811
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S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™
INITIAL EROSION CONTROL PLAN

DATE 2025-04-03

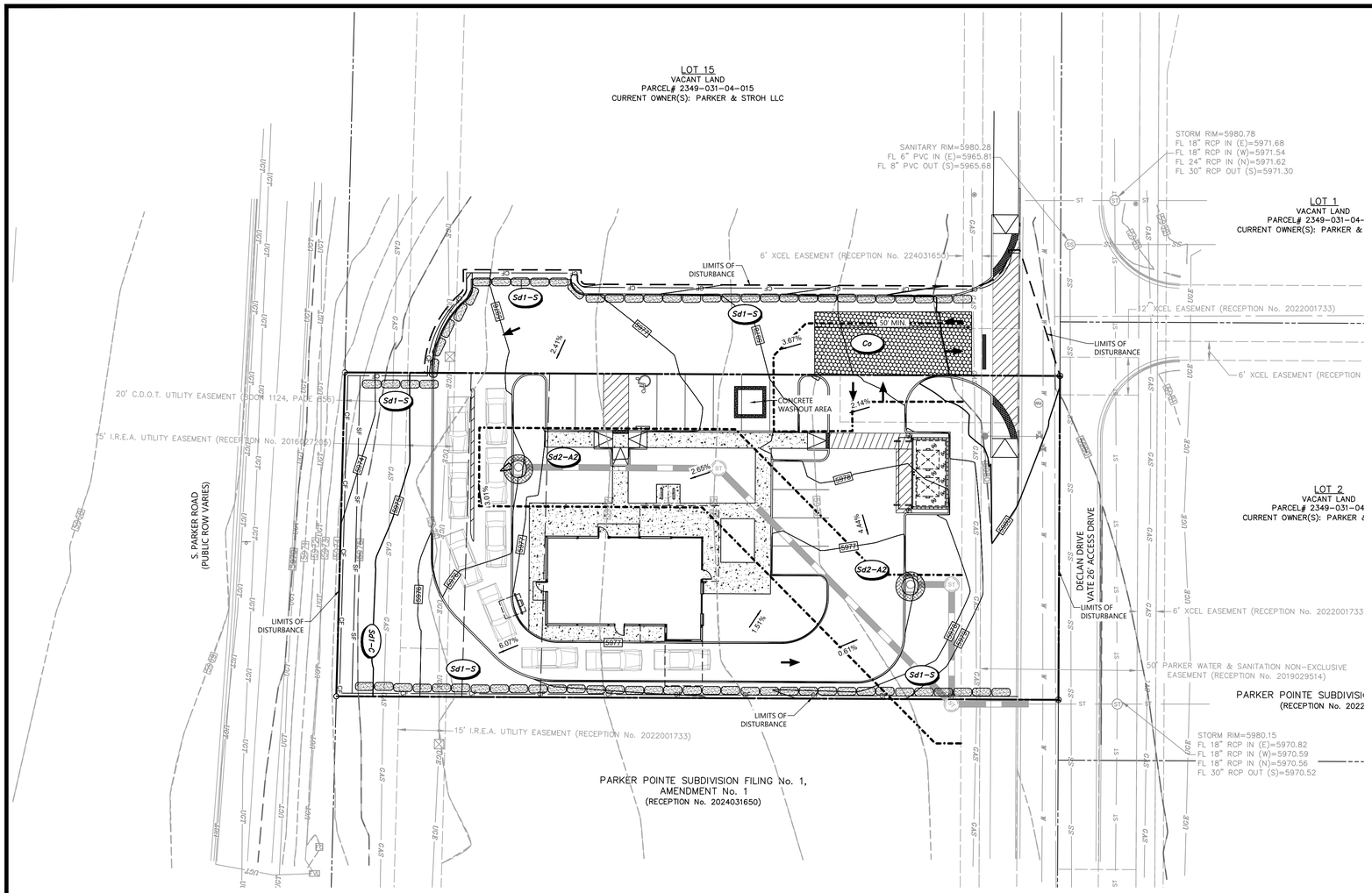
REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C5.00

CAD FILE: 24003198 - C500 EROSION PHASE 1

FILE NAME: \\TEXAS\Civil\24003198 - BBC - Parker & Stroh - Parker CO_LD\24 PRODUCTION\24003198 - C500 EROSION PHASE 1.dwg LAST SAVED BY: akidd 3/12/2025 1:00 PM PLOTTED BY: Khadeja Sarwar 3/14/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



EROSION LEGEND

	EXISTING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	PROPOSED SETBACK LINE
119	EXISTING MINOR CONTOURS
120	EXISTING MAJOR CONTOURS
119	PROPOSED MINOR CONTOUR
120	PROPOSED MAJOR CONTOUR
Co	CONSTRUCTION EXIT
Sd1-C	SEDIMENT BARRIER SILT FENCE (TYPE C) — SF
Sd2-A2	TEMPORARY INLET SEDIMENT TRAP (ALTERNATE BAG)
Sd1-S	SEDIMENT BARRIER (SAND BAGS)
	CONCRETE WASHOUT
	CONSTRUCTION FENCE — CF
	FLOW ARROW PROPOSED — 2%
ST	EXISTING STORM LINE
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE
GAS	EXISTING GAS LINE
UGE	EXISTING UNDERGROUND ELECTRIC LINE
UGT	EXISTING UNDERGROUND TELEPHONE LINE
ST	EXISTING STORM MANHOLE
SS	EXISTING SANITARY SEWER MANHOLE
WM	EXISTING WATER METER
W	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
ST	PROPOSED STORM MANHOLE
	PROPOSED 5' CURB INLET

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GRADING EROSION AND SEDIMENT CONTROL NOTES

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TOWN OF PARKER, DIRECTOR ENGINEERING — DATE

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13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™

INTERIM EROSION CONTROL PLAN

DATE 2025-04-03

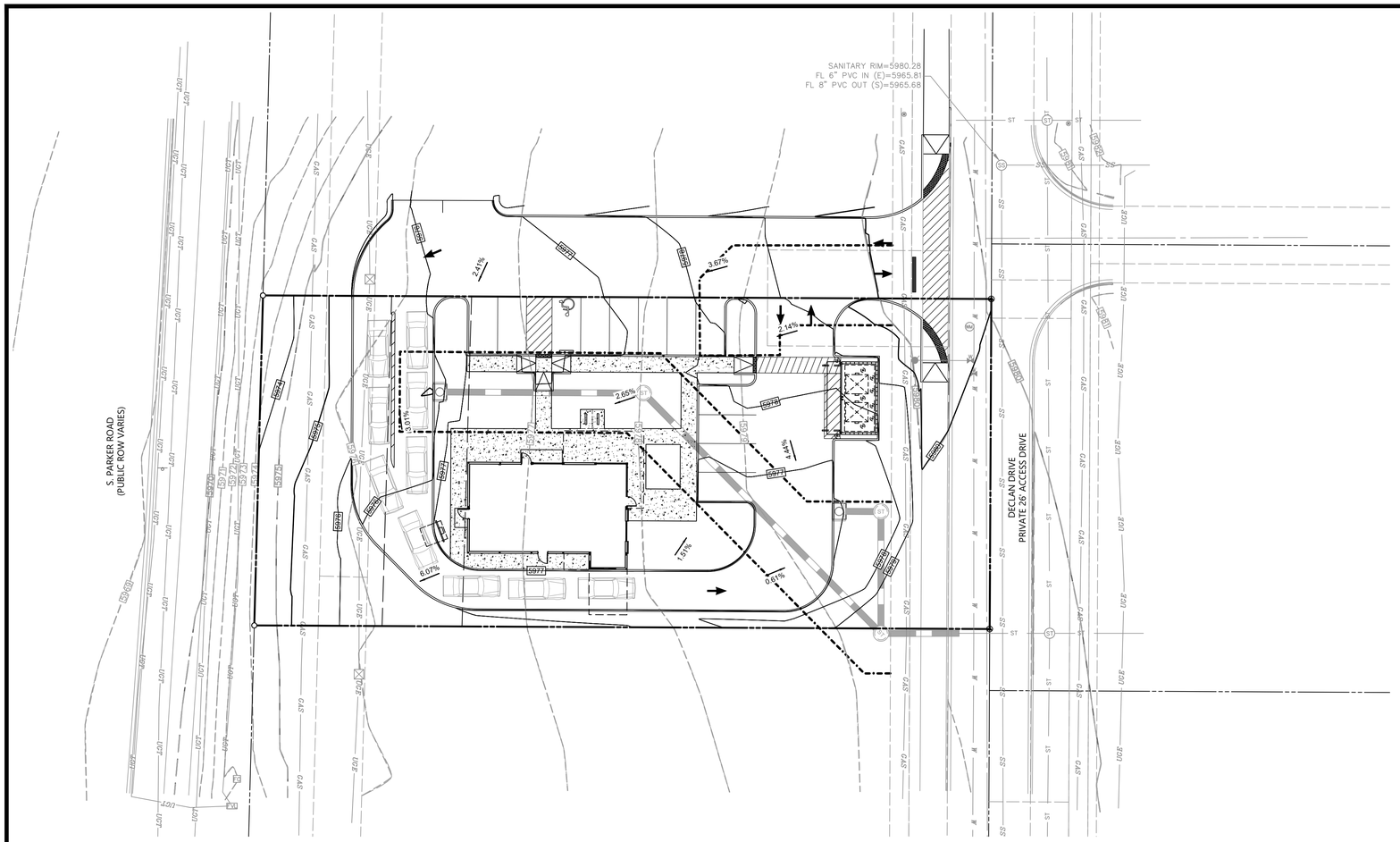
REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C5.10

CAD FILE: 24003198 - C510 EROSION PHASE 2

FILE NAME: \\TXDAL\CIVIL\24003198 - BRC - Parker & Stroh - Parker CO_LO\4 PRODUCTION\24003198 - C510 EROSION PHASE 2.dwg LAST SAVED BY: akbd 2/12/2025 1:00 PM PLOTTED BY: Khodge Server 3/18/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



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SS	EXISTING SANITARY SEWER MANHOLE
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BLACK ROCK COFFEE BAR
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FINAL EROSION CONTROL PLAN

DATE 2025-04-03

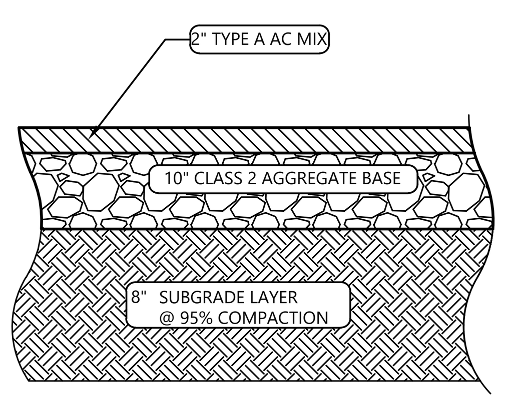
REVISIONS

0 10' 20'
SCALE: 1"=20'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C5.20

CAD FILE: 24003198 - C520 EROSION PHASE 3

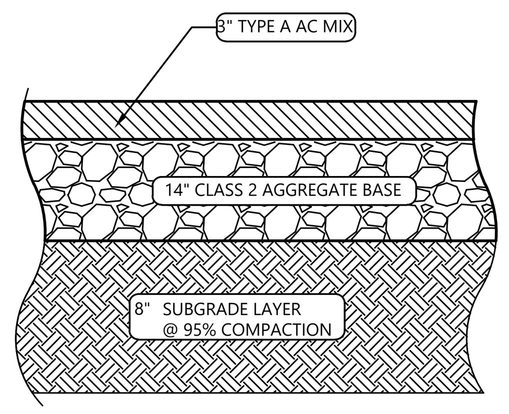
FILE NAME: \\FSDATA\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LP\24 PRODUCTION\24003198 - C520 EROSION PHASE 3.dwg LAST SAVED BY: kserwar 3/14/2025 2:12 PM PLOTTED BY: Rodwig Server 3/14/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR PROPOSED BLACK ROCK COFFEE AT E. PARKER ROAD, BY UES, DATED FEBRUARY 21, 2024. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.

2" AC OVER 10" ABC PAVEMENT SPECIFATION

N.T.S.



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6" AC OVER 4" ABC PAVING SPECIFICATION

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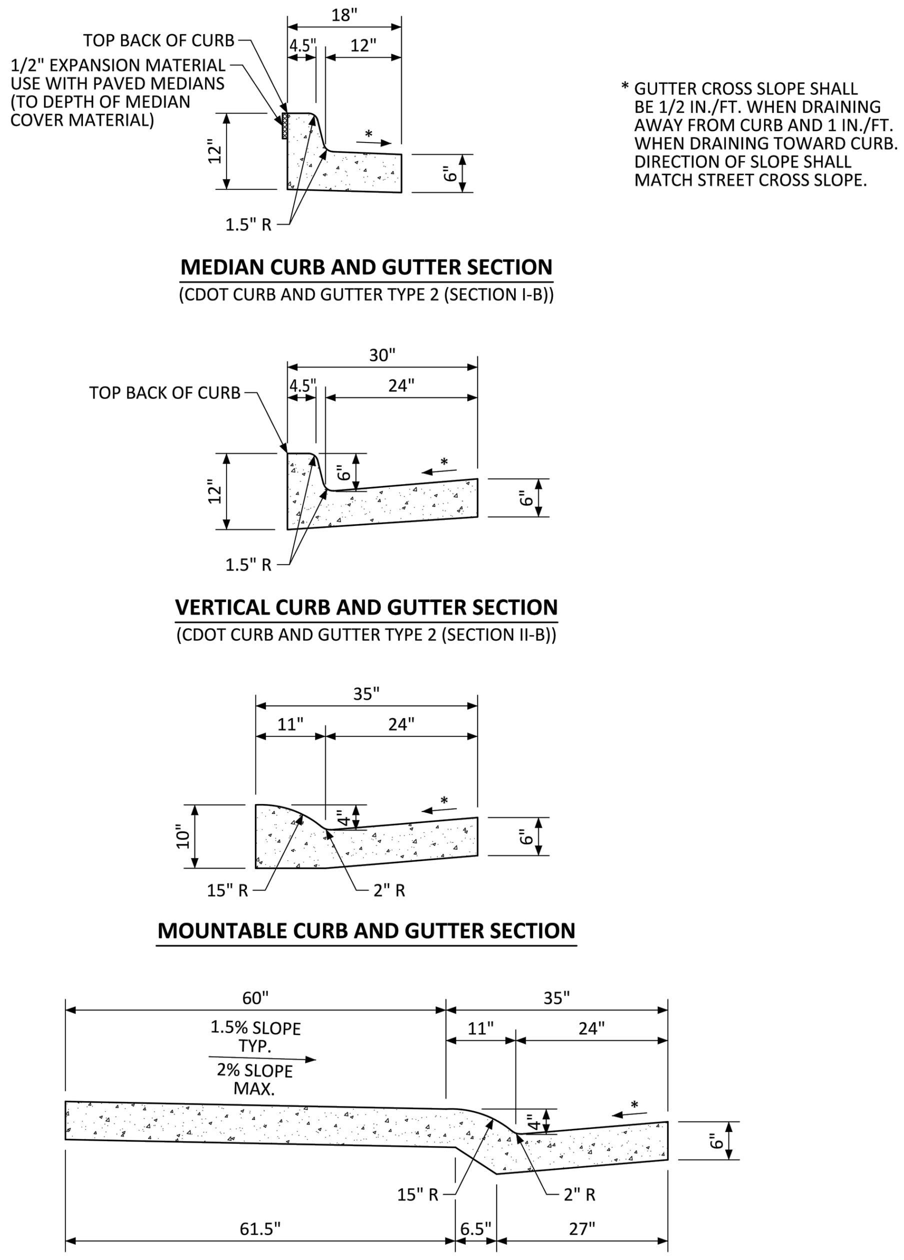


MEDIAN CURB AND GUTTER SECTION
(CDOT CURB AND GUTTER TYPE 2 (SECTION I-B))

VERTICAL CURB AND GUTTER SECTION
(CDOT CURB AND GUTTER TYPE 2 (SECTION II-B))

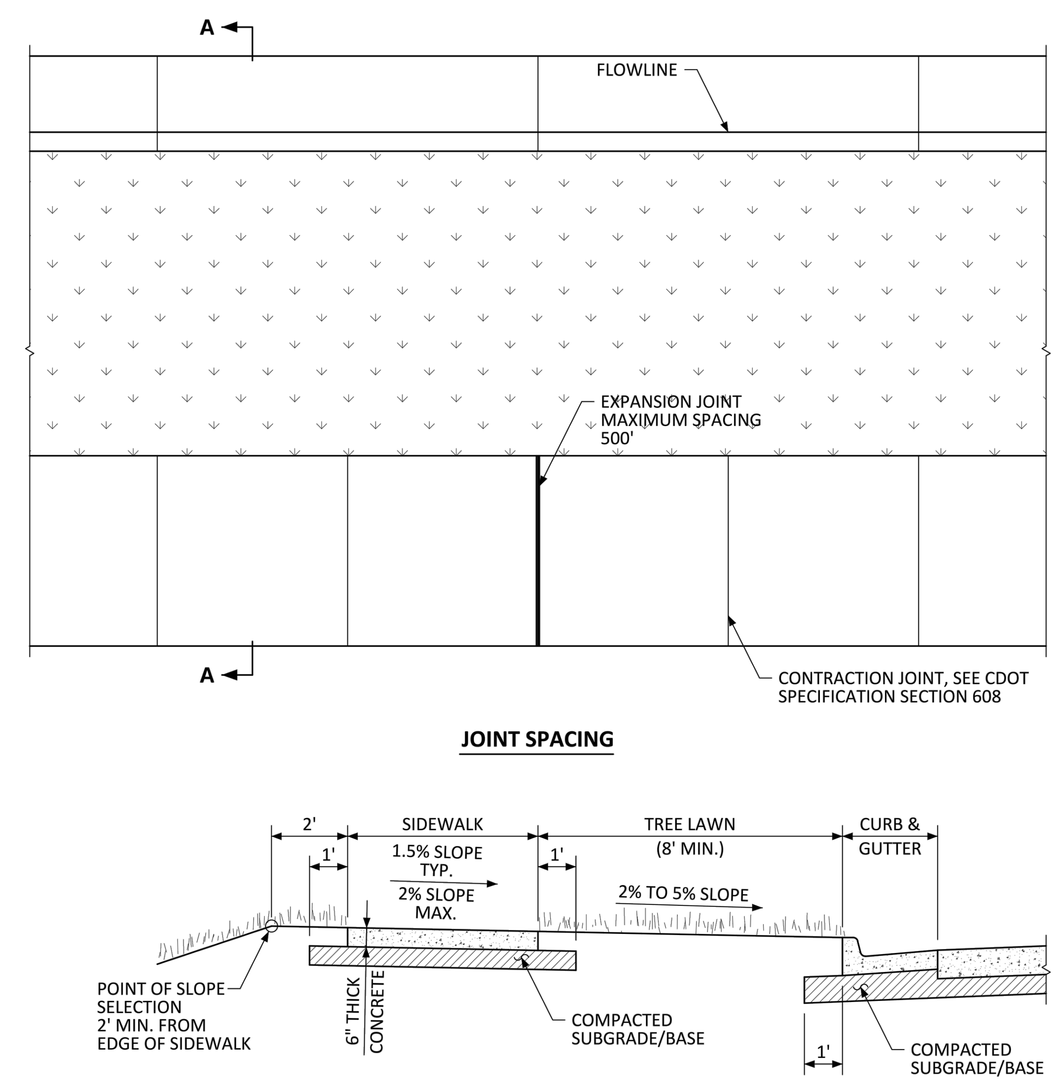
MOUNTABLE CURB AND GUTTER SECTION

MONOLITHIC COMBINATION CURB, GUTTER AND SIDEWALK SECTION

* GUTTER CROSS SLOPE SHALL BE 1/2 IN./FT. WHEN DRAINING AWAY FROM CURB AND 1 IN./FT. WHEN DRAINING TOWARD CURB. DIRECTION OF SLOPE SHALL MATCH STREET CROSS SLOPE.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

PARKER COLORADO	CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL	DATE NOVEMBER 2020	DETAIL 3 1 OF 1



JOINT SPACING

SECTION A-A

GENERAL NOTES

1. CONTRACTION JOINTS ON CONCRETE TRAILS SHALL BE SAWCUT.

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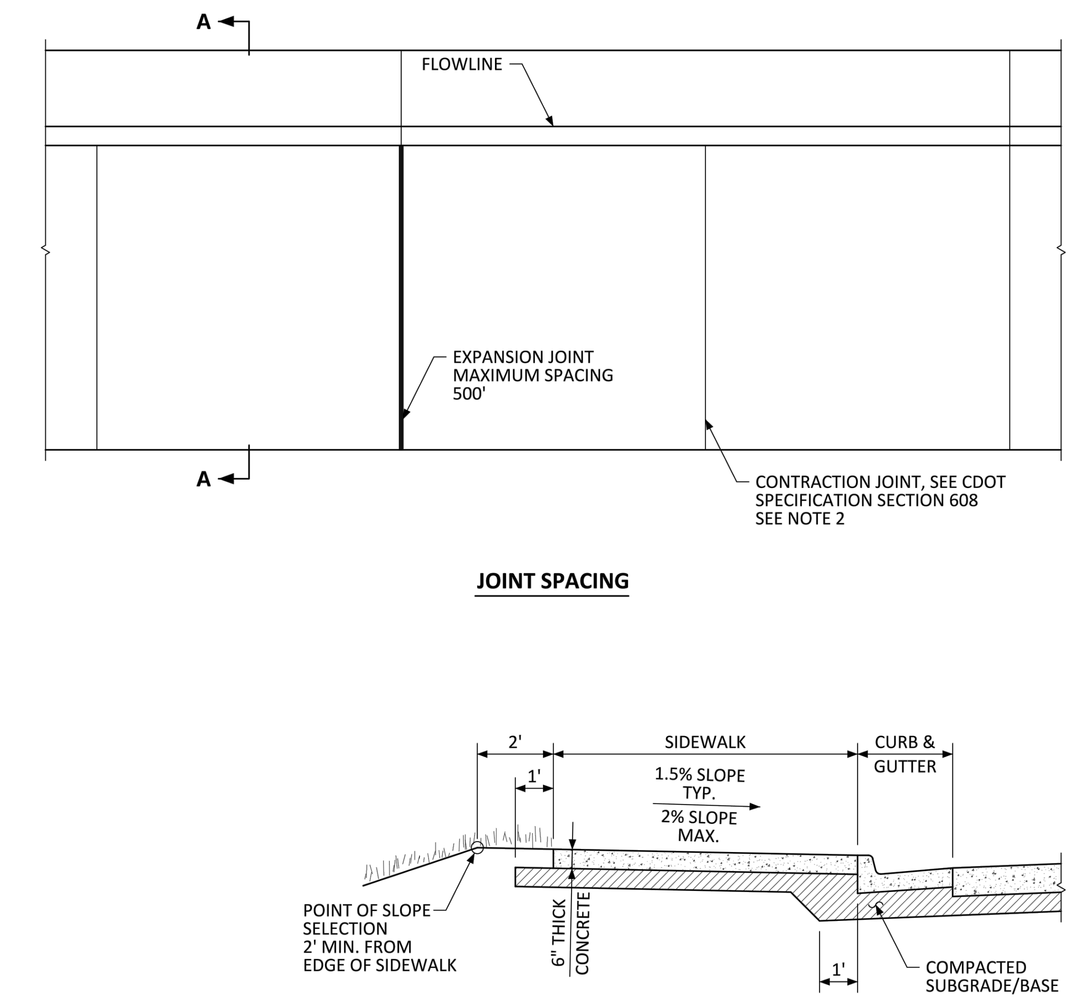
PARKER COLORADO	DETACHED SIDEWALK STANDARD DETAIL	DATE NOVEMBER 2020	DETAIL 4 1 OF 2



JOINT SPACING

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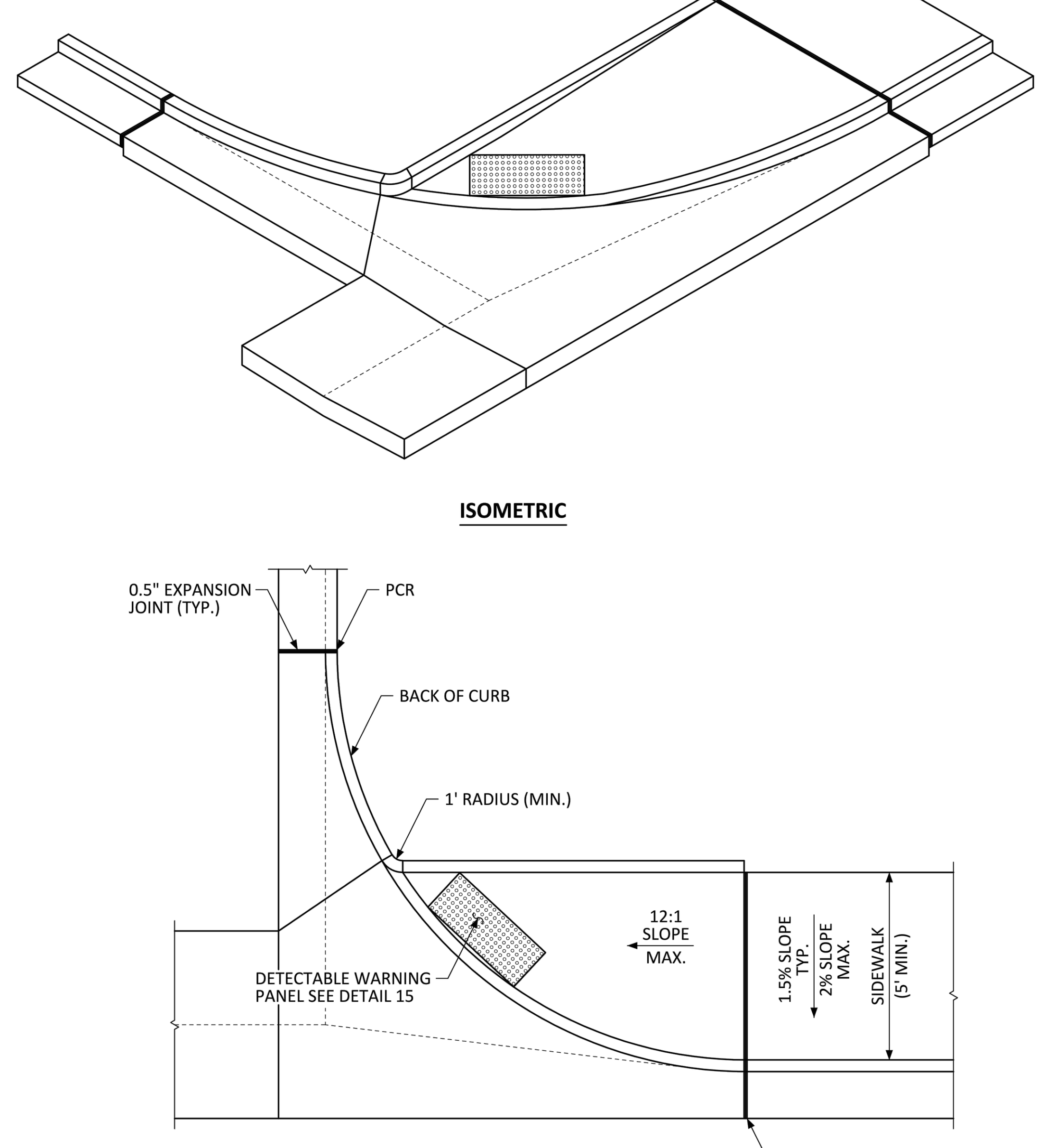
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

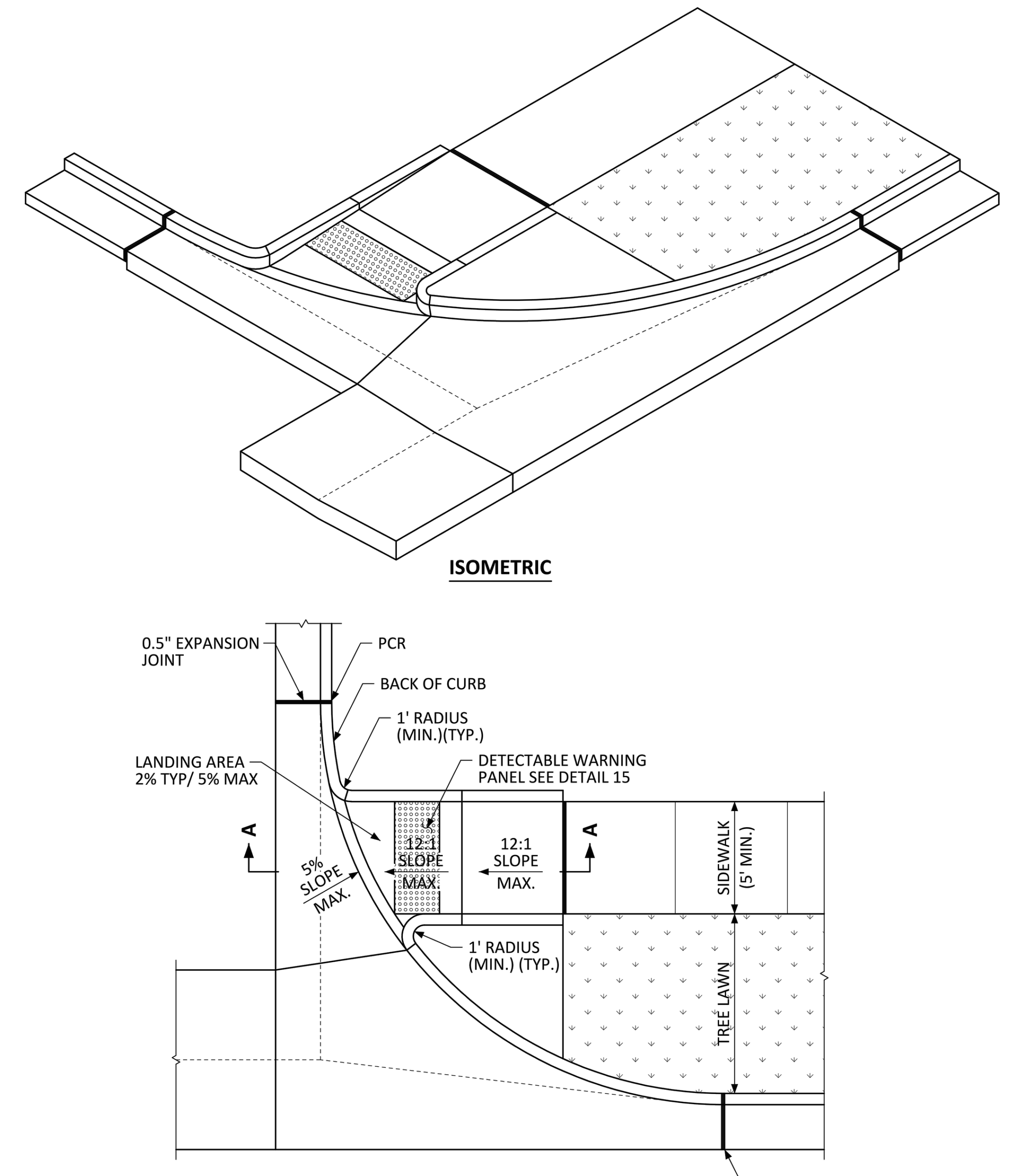
PARKER COLORADO	ATTACHED SIDEWALK STANDARD DETAIL	DATE NOVEMBER 2020	DETAIL 4 2 OF 2



DIRECTIONAL CURB RAMP WITHIN RADIUS
(ATTACHED SIDEWALK)

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

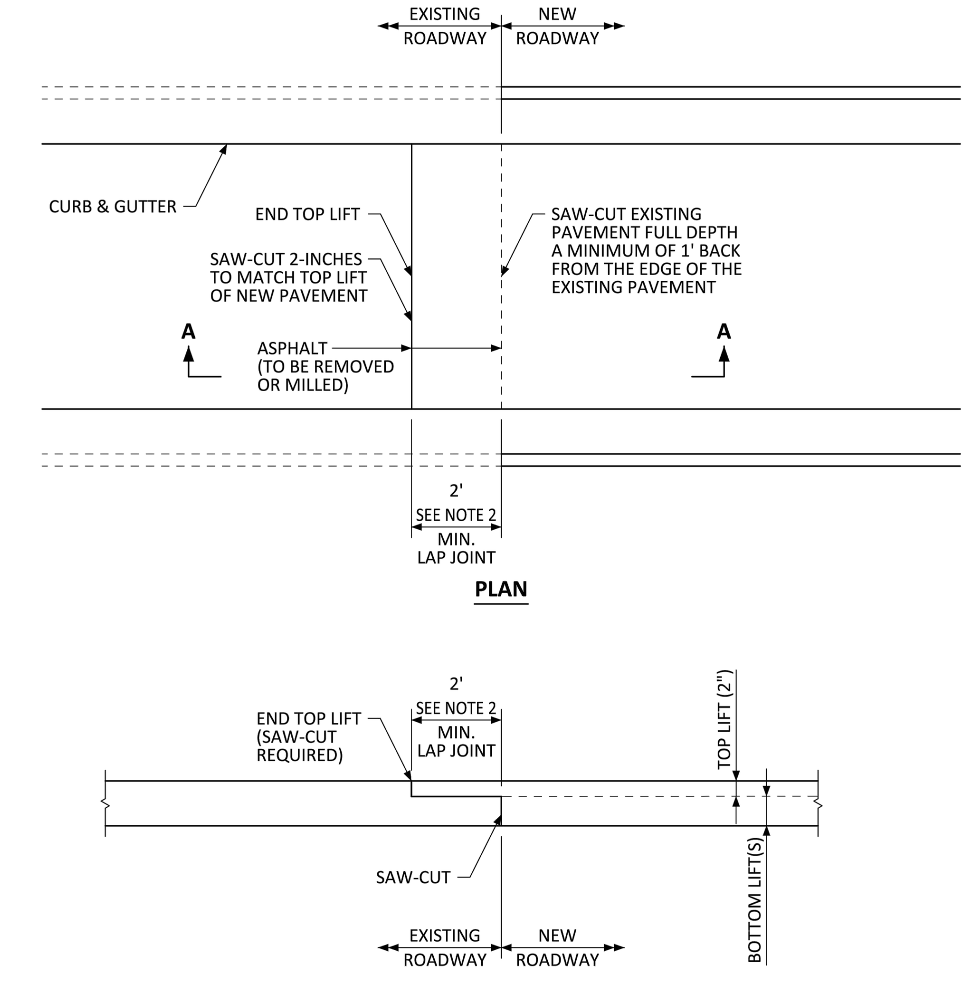
PARKER COLORADO	DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL	DATE NOVEMBER 2020	DETAIL 18 1 OF 2



DIRECTIONAL CURB RAMP WITHIN RADIUS
(DETACHED SIDEWALK)

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

PARKER COLORADO	DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL	DATE NOVEMBER 2020	DETAIL 18 2 OF 2



PLAN

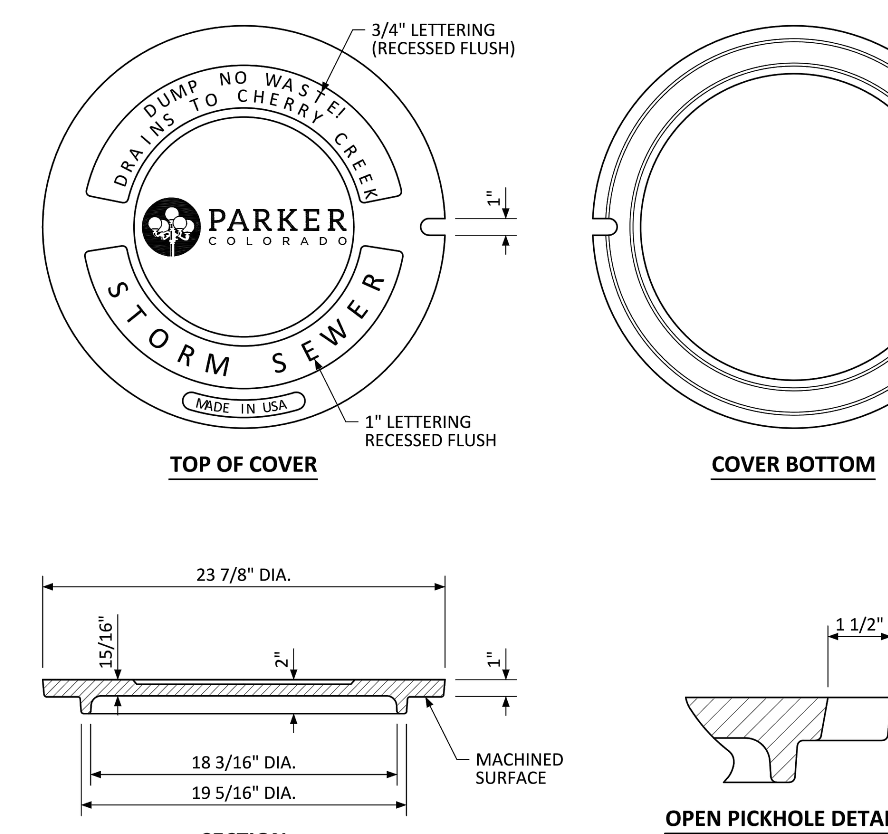
SECTION A-A

GENERAL NOTES

1. SAW-CUT EXISTING PAVEMENT FULL DEPTH TO PROVIDE A VERTICAL EDGE PRIOR TO PLACEMENT OF NEW ASPHALT AND SAW-CUT THE LAP JOINT 2-INCHES DEEP AT THE LAP JOINT DISTANCE.
2. THIS DETAIL APPLIES TO BOTH TRANSVERSE (WITH A 2-FOOT MIN. LAP JOINT) AND LONGITUDINAL (WITH A 1-FOOT MIN. LAP JOINT) ASPHALT JOINTS BETWEEN EXISTING AND NEW PAVEMENT.
3. SPECIFICATIONS AND ILLUSTRATIONS FOR CONCRETE PAVEMENT JOINTS ARE LOCATED IN CDOT'S M&S STANDARD PLANS AND CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. TEMPORARY ASPHALT RAMPS PLACED AT A 20:1 MAX. SLOPE SHALL BE REMOVED OR MILLED PRIOR TO PLACING FINAL ASPHALT.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

PARKER COLORADO	ASPHALT CONNECTION BETWEEN EXISTING AND NEW PAVEMENT STANDARD DETAIL	DATE NOVEMBER 2020	DETAIL 26 1 OF 1



GENERAL NOTES

1. LOAD RATING - HEAVY DUTY.
2. COATING - UNDIPPED.
3. ESTIMATED WEIGHT - 112 LBS.
4. MATERIAL SPECIFICATION - GRAY IRON ASTM A48 CL35B.
5. FOR USE ON ALL PRIVATE AND PUBLIC STORM SEWER.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

PARKER COLORADO	MANHOLE COVER STANDARD DETAIL	DATE NOVEMBER 2020	DETAIL 33 1 OF 1

811 Know what's **below.** **Call** before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™
DETAILS

DATE 2025-04-03

REVISIONS

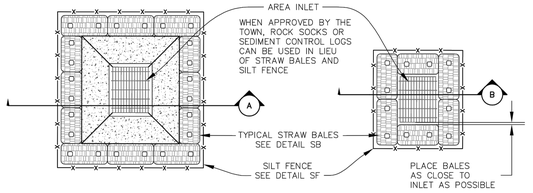
DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C7.00

CAD FILE: 24003198 - C700 DETAILS

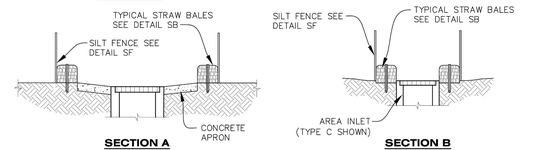
FILE NAME: \\TXDAL\Civil\24003198 -BRC -Parker & Stroh -Parker CO_LD\04 PRODUCTION\24003198 - C700 DETAILS.dwg LAST SAVED BY: skidd 2/20/2025 4:10 PM PLOTTED BY: Khadeja Sarwar 3/18/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

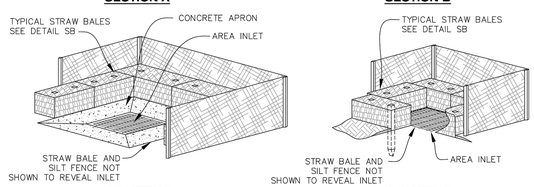
THIS METHOD OF INLET PROTECTION SHALL NOT BE USED ON INLETS RECEIVING SIGNIFICANT FLOWS, SUCH AS IN CERTAIN SWALES/CHANNELS OR HIGHWAY MEDIANS. INLET PROTECTION FOR AREA INLETS IN PAVEMENT (SEE DETAIL IPAP) SHALL BE USED IN THESE CONDITIONS.



AREA INLET WITH CONCRETE APRON PLAN VIEW | **AREA INLET PLAN VIEW**



SECTION A | **SECTION B**



ISOMETRIC | **ISOMETRIC**

IPAN **INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT**

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPAN 1 OF 1 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

AREA INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPA 1 OF 1 Oct. 2013

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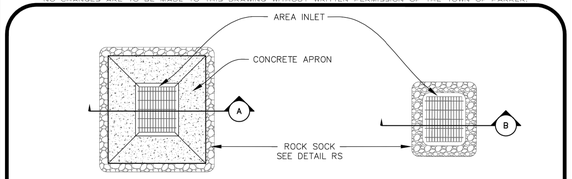
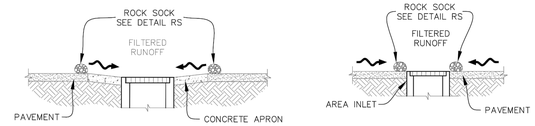
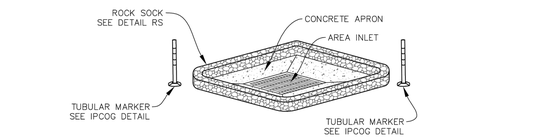


AREA INLET WITH CONCRETE APRON PLAN VIEW | **AREA INLET PLAN VIEW**



SECTION A | **SECTION B**

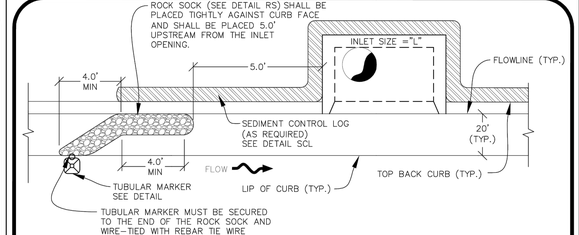


ISOMETRIC

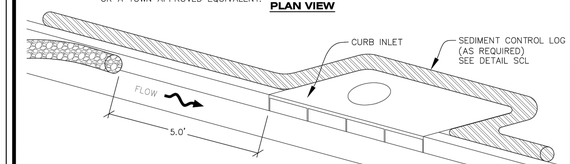
IPAP **INLET PROTECTION FOR AREA INLETS IN PAVEMENT**

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPAP 1 OF 1 Oct. 2013

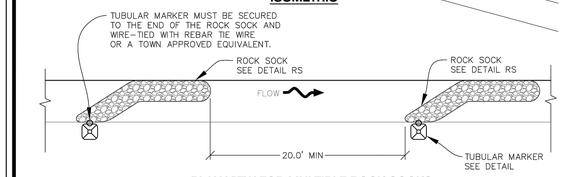
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



PLAN VIEW



ISOMETRIC

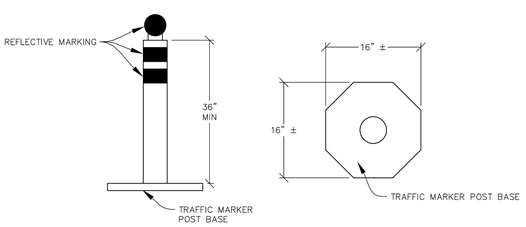


PLAN VIEW FOR MULTIPLE ROCK SOCKS

IPCOG **INLET PROTECTION, CURB ON-GRADE, TYPE R INLET**

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPCOG 1 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



ELEVATION | **BASE**

TUBULAR TRAFFIC MARKER DETAIL

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPCOG 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
5. ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
6. TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPCOG 3 OF 3 Oct. 2013

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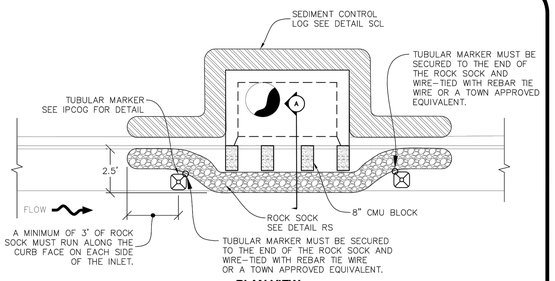
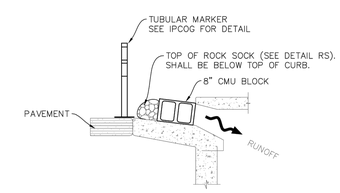


PLAN VIEW



SECTION A

IPCOS **INLET PROTECTION, CURB ON SUMP, TYPE R INLET**

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPCOS 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CURB INLET PROTECTION INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
5. ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
6. TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

Town of Parker COLORADO | CBMP | CONSTRUCTION BEST MANAGEMENT PRACTICES | IPCOS 2 OF 2 Oct. 2013

811 Know what's below. Call before you dig.

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LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™
EROSION CONTROL DETAILS

DATE 2025-04-03

REVISIONS

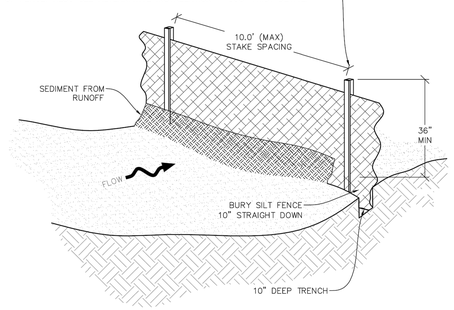
DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C8.01

CAD FILE: 24003198 - CB00 EROSION DETAILS

FILE NAME: \\TXNAS\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\24 PRODUCTION\24003198 - CB00 EROSION DETAILS.dwg LAST SAVED BY: nsgs 12/4/2024 4:03 PM PLOTTED BY: Khadeja Sarwar 3/11/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

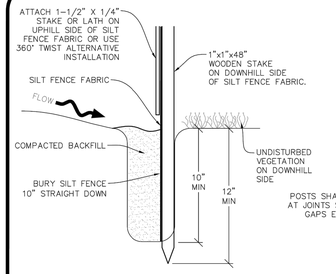
A MIN. OF 1"x1"x48" WOODEN STAKES SHALL BE PLACED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC. A 1-1/2" X 1/4" STAKE OR LATH SHALL BE STAPLED OR NAILED TO THE 48" STAKE ON THE UPHILL SIDE OF THE FABRIC SUCH THAT IT IS FLUSH AGAINST THE FABRIC AND STAKE. LENGTH OF STAKE IS DEPENDENT UPON HEIGHT OF FENCE. ALSO SEE ALTERNATIVE INSTALLATION – 360° TWIST DETAIL.



—x——x— SF **SILT FENCE**

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | SF 1 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



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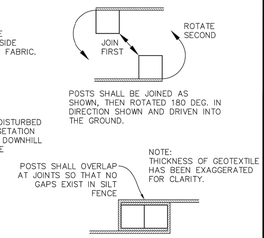
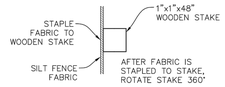
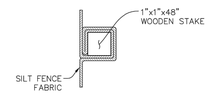


JOINT SECTIONS



STEP 1



STEP 2

ALTERNATIVE INSTALLATION - 360° TWIST

—x——x— SF **SILT FENCE**

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | SF 2 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SILT FENCE INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
2. ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
3. A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
4. A 10" DEEP ANCHOR SLIT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
5. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
6. ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
7. THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
8. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRADIENT SIDE OF THE SILT FENCE.
9. STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x¼"x24".
10. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
11. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH. ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
12. SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:

PROPERTIES	TEST METHOD	MANDATORY REQUIREMENTS
GRAB TENSILE STRENGTH	ASTM D 4632	≥ 124 LBS
MULLEN BURST STRENGTH	ASTM D 3786	≥ 300 PSI
PUNCTURE STRENGTH	ASTM D 4833	≥ 60 LBS
TRAPEZOID TEAR STRENGTH	ASTM D 4533	≥ 65 LBS
UV RESISTANCE	ASTM D 4355	≥ 80% AT 500 HOURS OF UV EXPOSURE
FLOW RATE	ASTM D 4491	≥ 10 GAL/MIN/FT2

13. AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
14. SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
15. SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | SF 3 OF 4 Oct. 2013

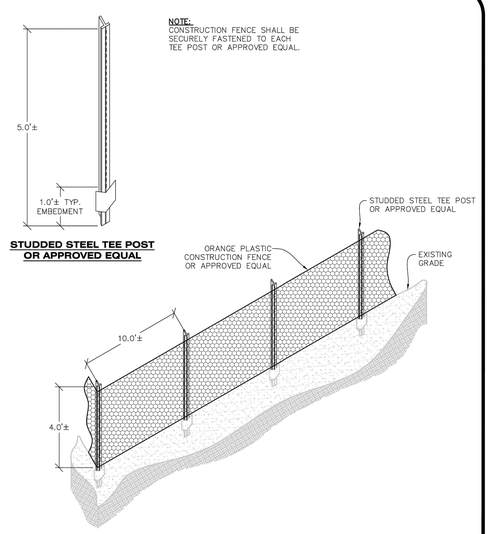
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SILT FENCE INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
3. SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
4. SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
5. WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | SF 4 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



CF **CONSTRUCTION FENCE**

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | CF 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CONSTRUCTION FENCE INSTALLATION NOTES

1. THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
2. CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | CF 2 OF 2 Oct. 2013

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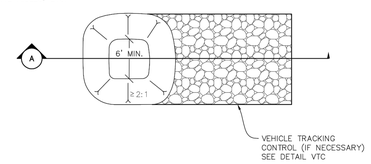
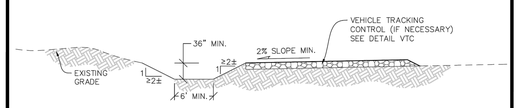
NOTE:
A VTC PAD IS NOT NECESSARY IF THERE IS ANOTHER VTC PAD IN BETWEEN THE CWA AND ROADWAY, PARKING LOT, DRIVE AISLES, ETC.



PLAN VIEW



SECTION A

CWA **CONCRETE WASHOUT AREA**

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | CWA 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CONCRETE WASHOUT AREA INSTALLATION NOTES

1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

town of Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | CWA 2 OF 2 Oct. 2013

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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NORTH RICHLAND HILLS, TX 76180
972.638.8860

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1

S. PARKER RD & STROH RD

PARKER

DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

BLACK ROCK COFFEE BAR™

EROSION CONTROL DETAILS

DATE 2025-04-03

REVISIONS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C8.00

CAD FILE: 24003198 - C800 EROSION DETAILS

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\4 PRODUCTION\24003198 - C800 EROSION DETAILS.dwg LAST SAVED BY: nsap 12/6/2024 4:03 PM PLOTTED BY: Khadeja Sarwar 3/13/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

1. GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.

2. THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.

3. ALL EROSION AND SEDIMENT CONTROL BMPS SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.

4. THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.

5. THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPS) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.

6. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a, CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.

7. THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.

8. IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPS ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPS AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.

9. AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.

10. AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:

    (I) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.

    (II) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.

    (III) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

Town of Parker COLORADO | CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES | GEN NOTES 1 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

11. ANY EROSION AND SEDIMENT CONTROL BMPS THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

12. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.

13. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.

14. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.

15. ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.

16. ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.

17. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

18. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.

19. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.

20. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.

21. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.

22. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.

23. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.

24. A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPS MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

Town of Parker COLORADO | CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES | GEN NOTES 2 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.

26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.

27. VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.

28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.

29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.

30. APPLICABLE CONSTRUCTION BMPS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.

31. GRADING SECURITY RELEASE REQUIREMENTS:

    1) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).

        A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
        B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
        C. ALL CBMPS HAVE BEEN PROPERLY REMOVED FROM THE SITE.
        D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
        E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
        F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
        G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
        H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
        I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED

    FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

Town of Parker COLORADO | CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES | GEN NOTES 3 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

    2) NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J OR ITEMS I AND J (BELOW).

        A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
        B. ALL CBMPS HAVE BEEN PROPERLY REMOVED FROM THE SITE.
        C. EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
        D. THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
        E. WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
        F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
        G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
        H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
        I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
        J. ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.

    (D) NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.

DEFINITIONS:

DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.

NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.

32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.

33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS ($499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.

34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

Town of Parker COLORADO | CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES | GEN NOTES 4 OF 4 Oct. 2013

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1 | S. PARKER RD & STROH RD | PARKER | DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR
13135 DECLAN DRIVE
BLACK ROCK COFFEE BAR™

EROSION CONTROL NOTES

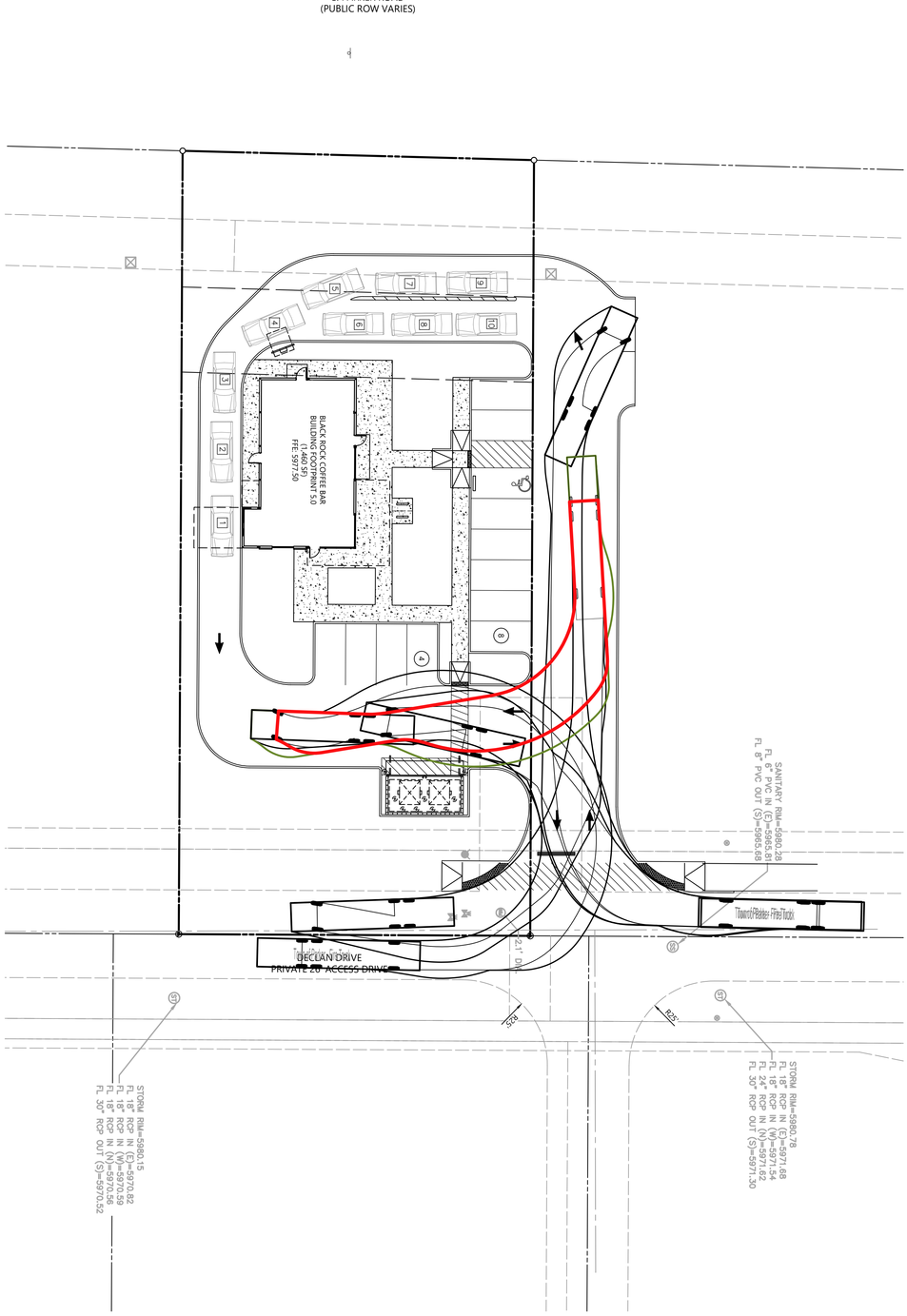
DATE 2025-04-03

REVISIONS

CAD FILE: 24003198 - C800 EROSION DETAILS

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO. C8.02

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\24 PRODUCTION\24003198 - C800 EROSION DETAILS.dwg LAST SAVED BY: rsopp 12/4/2024 4:03 PM PLOTTED BY: Khadeja Sarwar 3/13/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



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THE CONTRACTOR SHALL VERIFY ALL PLANS, EASEMENTS AND SITE CONDITIONS IN THE FIELD AND REPORT ANY ERRORS, INCONSISTENCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS IMMEDIATELY. FAILURE TO DO SO WILL CAUSE THE CONTRACTOR TO BEAR ALL RESPONSIBILITY FOR THE COST OF REMEDIATION.

CONTRACTOR SHALL ERECT AND MAINTAIN ALL NECESSARY BARRICADES, SIGNS, AND OTHER WARNING DEVICES TO PROTECT THE PUBLIC DURING CONSTRUCTION.

CONTRACTOR'S SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS.

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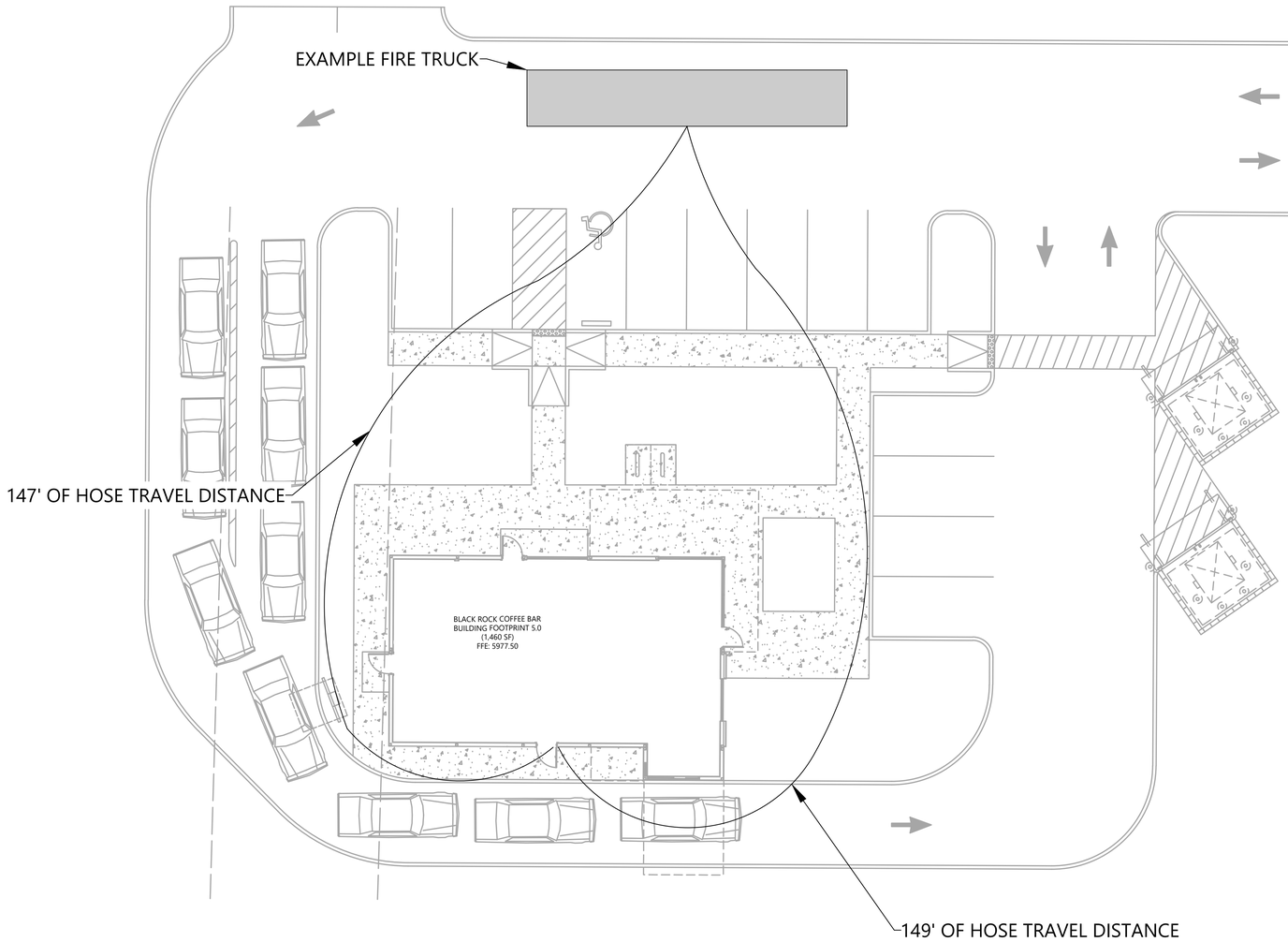
DATE 2025-04-03	BLACK ROCK COFFEE BAR	LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1	ATWELL 866.850.4200 www.atwell-group.com 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND HILLS, TX 76180 972.638.8860
	13135 DECLAN DRIVE	S. PARKER RD & STROH RD	
	BLACK ROCK COFFEE BAR	PARKER	
	AUTO TURN EXHIBIT	DOUGLAS COUNTY, COLORADO	

REVISIONS

SCALE: 1"=20'

DRAWN BY: K SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.



SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- 6" CURB
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP

DECLAN DRIVE
PRIVATE 26' ACCESS DRIVE

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PARKER

DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR

13135 DECLAN DRIVE

BLACK ROCK COFFEE BAR™

FIRE HOSE PROXIMITY EXHIBIT

DATE 2025-04-03

REVISIONS

0 5' 10'
SCALE: 1" = 10'

DRAWN BY: K. SARWAR
CHECKED BY: N. SALAZAR
PROJECT MANAGER: N. SALAZAR
JOB #: 24003198
FILE CODE: ##
SHEET NO.

CAD FILE: FIRE HOSE PROXIMITY EXHIBIT

FILE NAME: \\TXDAL\Civil\24003198 - BRC - Parker & Stroh - Parker CO_LD\LD EXHIBITS\FIRE HOSE PROXIMITY EXHIBIT.dwg LAST SAVED BY: skbd 3/21/2025 10:26 AM PLOTTED BY: Sophie Kbd 3/21/2025 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB