

# LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

## SITE PLAN FOR

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

ALL THE FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

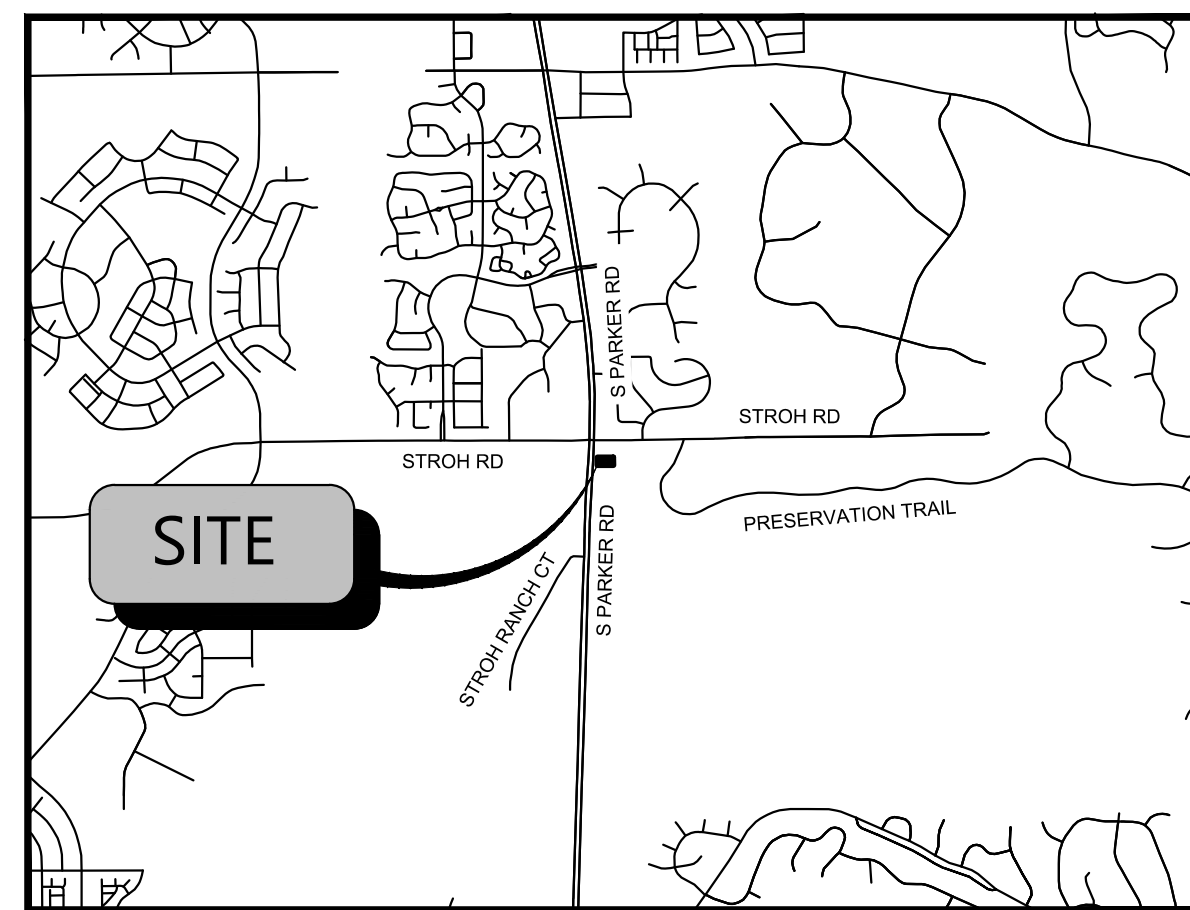
FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

(NOTE - UNDERGROUND FILE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)



LOCATED AT S. PARKER RD & STROH RD  
CITY OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO  
TOTAL SITE ACREAGE: 0.60 AC

SITE AREA	
TOTAL PROPERTY AREA:	0.60 AC / 25,933 SF.
DISTURBED AREA:	0.67 AC / 29,406 SF.
IMPERVIOUS AREA:	0.40 AC / 17,639 SF.
LANDSCAPED AREA:	0.19 AC / 8,294 SF.
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF PARKER
ZONING:	MIXED-USE COMMUNITY
ADJACENT ZONING:	PLANNED DEVELOPMENT
PROPOSED USE:	COMMERCIAL RESTAURANT WITH DRIVE THRU
BUILDING SETBACKS	
<b>REQUIRED BUILDING SETBACK</b>	
FRONT MIN BUILDING SETBACK	25'
FRONT MAX BUILDING SETBACK	NONE
SIDE MIN BUILDING SETBACK	5' (NON-RESIDENTIAL)
SIDE MIN BUILDING SETBACK	10' (ADJACENT TO STREET)
REAR BUILDING SETBACK	5' MIN. WITH ALLEY
REAR BUILDING SETBACK	8' MIN. WITHOUT ALLEY
<b>PROVIDED BUILDING SETBACK</b>	
FRONT (W) BUILDING SETBACK	65.2'
SIDE (S) BUILDING SETBACK	18'
SIDE (N) BUILDING SETBACK	51.5'
REAR (E) BUILDING SETBACK	113.5'
BUILDING SUMMARY	
PROPOSED BUILDING AREA:	1,495 SF
REQUIRED BUILDING HEIGHT LIMIT:	45'
PROVIDED BUILDING HEIGHT:	~20'
PROPOSED NUMBER OF BUILDINGS:	1
PARKING SUMMARY	
<b>PARKING REQUIREMENTS</b>	
1 SPACE PER EACH 4 PERSONS OF RATED CAPACITY OF 37 PEOPLE (EXCLUDING OUTDOOR SEATING)	
TOTAL PARKING REQUIRED	10 SPACES
PARKING PROVIDED	12 SPACES (INCLUDING 1 ADA SPACE)
DRIVE-THROUGH STACKING PROVIDED	10 STACKING SPACES
BIKE SPACES REQUIREMENTS	1 REQUIRED - 10% OF VEHICLE SPACES PROVIDED
TOTAL BIKE PARKING PROVIDED	4 SPACES



VICINITY MAP  
N.T.S.



FEMA MAP  
N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2016.



AERIAL MAP  
N.T.S.

TOWN OF PARKER PLAN SET	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	TOWN GENERAL NOTES
C1.10	TOWN GENERAL NOTES
C1.20	GENERAL NOTES
C2.00	SITE PLAN
C2.10	PAVING AND STRIPING PLAN
C3.00	GRADING PLAN
C3.10	DRAINAGE PLAN
C3.20	INTERIM DAM
C3.30	POST-DEV DAM
C4.00	UTILITY PLAN
C5.00	INITIAL EROSION CONTROL PLAN
C5.10	INTERIM EROSION CONTROL PLAN
C5.20	FINAL EROSION CONTROL PLAN
C7.00	DETAILS
C8.00	EROSION CONTROL DETAILS
C8.01	EROSION CONTROL DETAILS
C8.02	EROSION CONTROL DETAILS
C8.03	EROSION CONTROL DETAILS
C8.04	EROSION CONTROL DETAILS
C8.05	EROSION CONTROL DETAILS
C8.06	EROSION CONTROL DETAILS
C8.07	EROSION CONTROL DETAILS
C8.08	EROSION CONTROL DETAILS
C8.09	EROSION CONTROL DETAILS
EXHIBIT	AUTO TURN EXHIBIT
EXHIBIT	FIRE HOSE PROXIMITY EXHIBIT

**BLACK ROCK COFFEE BAR**  
TOTAL SITE AREA: 0.60 AC / 25,933 SF.  
DISTURBED AREA: 0.67 AC / 29,406 SF.  
ZONING: MIXED-USE COMMUNITY (MC)

### DEVELOPMENT TEAM

OWNER	CIVIL ENGINEER	SURVEYOR	DEVELOPER
DOUBLETREE VENTURES, LLC P.O. BOX 40326 DENVER, CO 80204 CONTACT: BRIAN ZUREK EMAIL: BRIAN@DOUBLETREEVENTURES.COM	ATWELL, LLC 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND HILLS, TX 76180 PHONE: (###) ###-#### CONTACT: NICHOLAS SALAZAR EMAIL: NSALAZAR@ATWELL.COM	BARRON LAND 2790 N. ACADEMY BLVD., SUITE 311 COLORADO SPRINGS, CO 80917 PHONE: (719) 360-6827 CONTACT: SPENCER BARRON	BLACK ROCK COFFEE BAR 16307 NE CAMERON BLVD PORTLAND, OR 97230 PHONE: (541) 531-2149 CONTACT: TONY POLLOTTA

### GOVERNING AGENCIES AND UTILITY CONTACTS

WATER & WASTEWATER	FIRE PROTECTION	GAS PROVIDER
PARKER WATER AND SANITATION DISTRICT 13939 ANCESTRY DRIVE PARKER, CO 80134 PHONE: (303) 841-4627 EMAIL: RRAMSEY@PWSD.ORG CONTACT: ROBERT RAMSEY	TOWN OF PARKER FIRE AND LIFE SAFETY 20120 E. MAINSTREET PARKER, CO 80138 PHONE: (303) 805-3169 CONTACT: RANDY CAPRA EMAIL: RCAPRA@PARKERONLINE.ORG	XCEL ENERGY 1123 WEST 3RD AVE, DENVER, CO 80223 PHONE: (303) 571-3927 CONTACT: BUILDER'S CALL LINE (800) 628-1212 X3
ENGINEERING DEPARTMENT	BUILDING PERMIT	PHONE PROVIDER
TOWN OF PARKER ENGINEERING & PUBLIC WORKS 20120 E. MAINSTREET PARKER, CO 80134 PHONE: (303) 840-9546 EMAIL: CKUDLAUSKAS@PARKERCO.GOV CONTACT: CHARLES KUDLAUSKAS	TOWN OR PARKING BUILDING DIVISION 20120 E. MAINSTREET PARKER, CO 80138 PHONE: (303) 841-1970 CONTACT: RANDY SALE EMAIL: RSALE@PARKERONLINE.ORG	CENTURYLINK 9750 EAST COSTILLA AVE. ENGLEWOOD, CO 80112 PHONE: (720) 578-5142
	ELECTRIC PROVIDER	
	CORE ELECTRIC COOPERATIVE 5496 NORTH U.S. HIGHWAY 85 SEDALIA, CO 80135 PHONE: (303) 332-9540 CONTACT: BRUFF SHEA	

### PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THEY CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES, EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS, AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

### LEGAL DESCRIPTION

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD:  
6940 STROH ROAD, PARKER, CO

### BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NAVD88)

### BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED DEVELOPMENT, BLACK ROCK COFFEE OF PARKER, COLORADO, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

PROFESSIONAL ENGINEER'S SIGNATURE \_\_\_\_\_ LICENCE NUMBER \_\_\_\_\_

PE STAMP:

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORTS, FINAL DEVELOPMENT PLANS, SPECIAL REVIEWS, GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

**811**  
Know what's below.  
Call before you dig.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY PERSONS OR PROPERTY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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**ATWELL**  
866.850.4200 www.atwell-group.com  
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NORTH RICHLAND HILLS, TX 76180  
972.956.9860

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
13135 DECLAN DRIVE  
BLACK ROCK COFFEE BAR  
COVER SHEET

DATE 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. C0.00

**TOWN OF PARKER DEPARTMENT OF ENGINEERING/PUBLIC WORKS**

**STANDARD CONSTRUCTION NOTES**

These notes shall appear on the cover sheet. If a cover sheet has not been used they shall be put on every sheet of the submittal.

- All materials and construction shall be in conformance with the latest edition of the Colorado Department of Transportation Standard Specifications for Road and Bridge Construction, the latest edition of the Town of Parker Roadway Design and Construction Criteria Manual, and the Town of Parker Storm Drainage and Environmental Criteria Manual.
- All materials and workmanship shall be subject to inspection by the Town of Parker Public Works Department. The Town reserves the right to accept or reject any such materials and workmanship that does not conform to its standards and specifications.
- A preconstruction meeting shall be scheduled a minimum of 48 hours and a maximum of 96 hours prior to the start of construction. A preconstruction meeting will not be scheduled until the grading permit and all other necessary permits have been obtained.
- The Town Inspector shall be contacted a minimum of 24 hours prior to a necessary inspection. If a Town Inspector is not available after proper notice of construction activity has been provided, the permittee may commence work in the Town Inspector's absence. However, the Town of Parker reserves the right to reject the improvement if subsequent testing reveals an improper installation.
- Location of existing utilities shall be verified by the contractor prior to actual construction in accordance with all state and local laws. The contractor shall field verify size and horizontal and vertical locations of existing facilities prior to construction, and notify the engineer of any discrepancies.
- The contractor shall have one (1) signed copy of the plans, approved by the Town of Parker Director of Engineering/Public Works, and one (1) copy of the Roadway Design and Construction Criteria at the job site at all times.
- A plan for traffic control during construction shall be submitted to the Town of Parker for acceptance with the Right-of-Way Use Permit application. A permit will not be issued without an approved traffic control plan for use during construction.
- All trenches shall be adequately supported and the safety of workers provided for as required by the most recent Occupational Safety and Health Administration (OSHA) "Safety and Health Regulations for Construction."
- Compaction of all trenches must be attained and compaction test results submitted to the Development Review Engineer in preliminary form prior to paving and in final form prior to probationary acceptance.

- The contractor is responsible for implementing and maintaining erosion and sediment control measures at all times during construction. The plan may be modified as field conditions warrant with approval from the Town of Parker Public Works Department.
- The contractor shall provide, erect and maintain proper traffic control devices until the site is open to traffic. The contractor shall submit a traffic control plan to the Town of Parker Public Works Department for approval prior to construction.
- Plans are approved for period of 1 (one) year from the date shown on the Town of Parker signature block. Plans shall be resubmitted to the Town for approval after 1 year. The cost of the plan re-review and re-acceptance will be charged back to the developer including all time and expenses of the Town of Parker Public Works Department.
- Repair of any damage to existing improvements or landscaping is the responsibility of the contractor. Such restoration may be required to be completed prior to acceptance of completed improvements.
- All damaged existing curb, gutter, and sidewalk shall be repaired prior to acceptance of completed improvements.
- All construction activities must comply with the State of Colorado permitting process for "Stormwater Discharges Associated with Construction Activity." For information, please contact Colorado Department of Health, Water Quality Control Division, WQCD-PE-B2, 4300 Cherry Drive South, Denver, Colorado 80222-1530. Attention: Permits and Enforcement Section. Phone (303) 692-3500.
- If dewatering is required, a state construction dewatering discharge permit is required for discharges to a storm sewer, channel, irrigation ditch, any street that is tributary to the aforementioned facilities, or any water of the United States.
- All references to books, pages, maps, and reception number are public documents on file with the County Clerk and Recorder's Office.

**ROADWAY NOTES**

The following notes shall appear on the cover sheet of all submittals containing roadway plans. If a cover sheet has not been used, they shall be put on every sheet of the submittal containing roadway design.

- Paving shall not commence until a soils report and pavement design is approved by the Town of Parker and subgrade compaction tests are submitted to and approved by the Town Inspector.
- Standard Town of Parker Curb Ramps are to be constructed at all curb returns and at all "T" intersections in accordance with the latest Town of Parker standards
- All stationing is based on centerline of roadways unless otherwise noted.
- All elevations are on USGS DATUM with date. Range point or monument shall be shown on the construction plans.
- Except where otherwise provided for in these plans and specifications, the Colorado Department of Highways Standard Specifications for Road and Bridge Construction, the Colorado Department of Highways M and S Standards, and the Town of Parker Roadway Design and Construction Criteria Manual, latest edition, shall apply.

**STORM DRAINAGE INFRASTRUCTURE NOTES**

- All storm drainage improvements are subject to compliance with the Colorado Department of Transportation (CDOT) current edition of the Standard Specifications for Road and Bridge Construction, M & S Standards, and all standard special provisions currently used by CDOT, with the modifications set forth in the Town of Parker's Storm Drainage and Environmental Criteria Manual (SDECM), as amended.
- The contractor shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8 CRS), the "Protection of Fishing Streams" Title 33, Article 5, CRS), the "Clean Water Act" (33 USC 1344), Cherry Creek Reservoir Control Regulation No. 72" (5 CCR 1002-72), the regulation promulgated, certification or permits issues, and the requirements presented in the SDECM Revision to Section 107 and the Construction BMP Plan. In the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal, or State agencies, the more restrictive laws, rules, or regulations shall apply.
- Inspections: Construction shall not begin until a grading permit has been issued for the project. The contractor shall notify the Town of Parker Engineering Department (Public Works) to schedule inspections a minimum of 48 hours prior to the construction of all drainage infrastructure (storm sewers, inlets, manholes, energy dissipaters, riprap, grouted boulders, detention pond outlet structures, forebays, trickle channels, etc). Failure to notify the engineering department for inspections may result in non-acceptance of the infrastructure by the Town. Urban Drainage and Flood Control District must also be notified in a similar manner for all maintenance eligible drainage infrastructures (consult with Stormwater Engineering Division).
- Structural backfill (CDOT Class 1) shall be compacted to conform to CDOT Standard Specification 203.03. Structural backfill (CDOT Class 2) shall conform to CDOT Standard Specification 203.07. At the contractor's option, Structural Backfill (Squeegee) meeting the gradation requirements contained in Revision of Section 206 of the CDOT Standard Specifications as presented in the SDECM, may be substituted for Structure backfill (Class 1) or Class 2) for backfilling of culvert pipes, storm sewer pipes, manholes and inlet structures; however, the top 2 feet below subgrade elevation shall be the required embankment material.
- All excavations shall meet OSHA requirements.
- Testing: Probationary acceptance of storm drainage improvements will be contingent upon satisfactory testing results. In all cases where tests indicate compaction less than that required by Town specifications, additional compaction and tests will be required until the specifications are met. Frequency of testing will be as follows:
  - 1 test for subgrade and 1 test for backfill at every above ground appurtenance (manholes, inlets, etc)
  - 1 test every 200 LF of mainline trench every 1 foot of backfill lift and within 1 foot from all structures.

- Allowable storm sewer conduit material within the Town of Parker shall be limited to Reinforced Concrete Pipe (RCP) conforming to CDOT Standard Specification 706.02.
- All RCP joints shall be manufactured in accordance with ASTM C443. Rubber gaskets shall be used on all pipe joints conforming to ASTM C443. All RCP sections shall be joined in such a manner that the ends are fully entered and the inner surfaces are reasonable flush. Average joint gap that exceeds 1/2 inch shall be filled with an approved flexible plastic sealant.
- Joint restraints and toe-walls, conforming to CDOT M&S Standard Plan No. M-601-11 shall be used on all RCP flared end section outfalls.
- Epoxy coated rebar shall be used as reinforcing steel on all storm inlets and structures. Reference CDOT M&S Standard Plan No. M-604-10, 11, 12, and 13.
- CDOT Class D concrete shall be used for all concrete drainage structures.
- Pre-cast inlets and manhole bases shall not be used within the Town of Parker Right-of-way, with the exception of CDOT Type C and D inlets.
- Two- (2) manhole access points are required on all Type "R" curb inlets greater than or equal to ten (10) feet in length as presented in CDOT M&S Standard Plan No. M-604-12.
- All grouting (boulders, riprap) shall be in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- All boulders and riprap shall be selected and placed in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- Contractor shall refer to the Town of Parker's Construction Best Management Practices details and notes for all requirements relating to re-vegetation, sediment and erosion control requirements for construction activities.
- Pipe bells shall not be cast into manhole bases or inlets.

**DEMOLITION NOTES:**

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

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**ATWELL**  
866.850.4200 www.atwell-group.com  
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NORTH RICHLAND HILLS, TX 76180  
972.356.9860

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
13135 DECLAN DRIVE  
BLACK ROCK COFFEE BAR  
TOWN GENERAL NOTES

DATE 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. C1.00

FILE NAME: \\FDATA\CDM\REV\24003198 - BEC - Parker\CDM\REV\24003198 - C100 NOTES.dwg LAST SAVED BY: harshep@parker.com 9/14/2025 4:55 PM PLOTTED BY: harshep@parker.com 9/14/2025 PARKER-8630 FULL BLEED @ 24x36 IN. MISC CHECKS (NONE) - AUTOCAD PDF (GENERAL\_DOCUMENTATION) PLOT STYLE: ANDLCT.rvt

CAD FILE: 24003198 - C100 NOTES

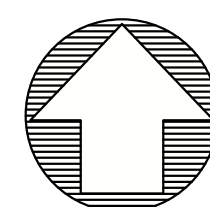












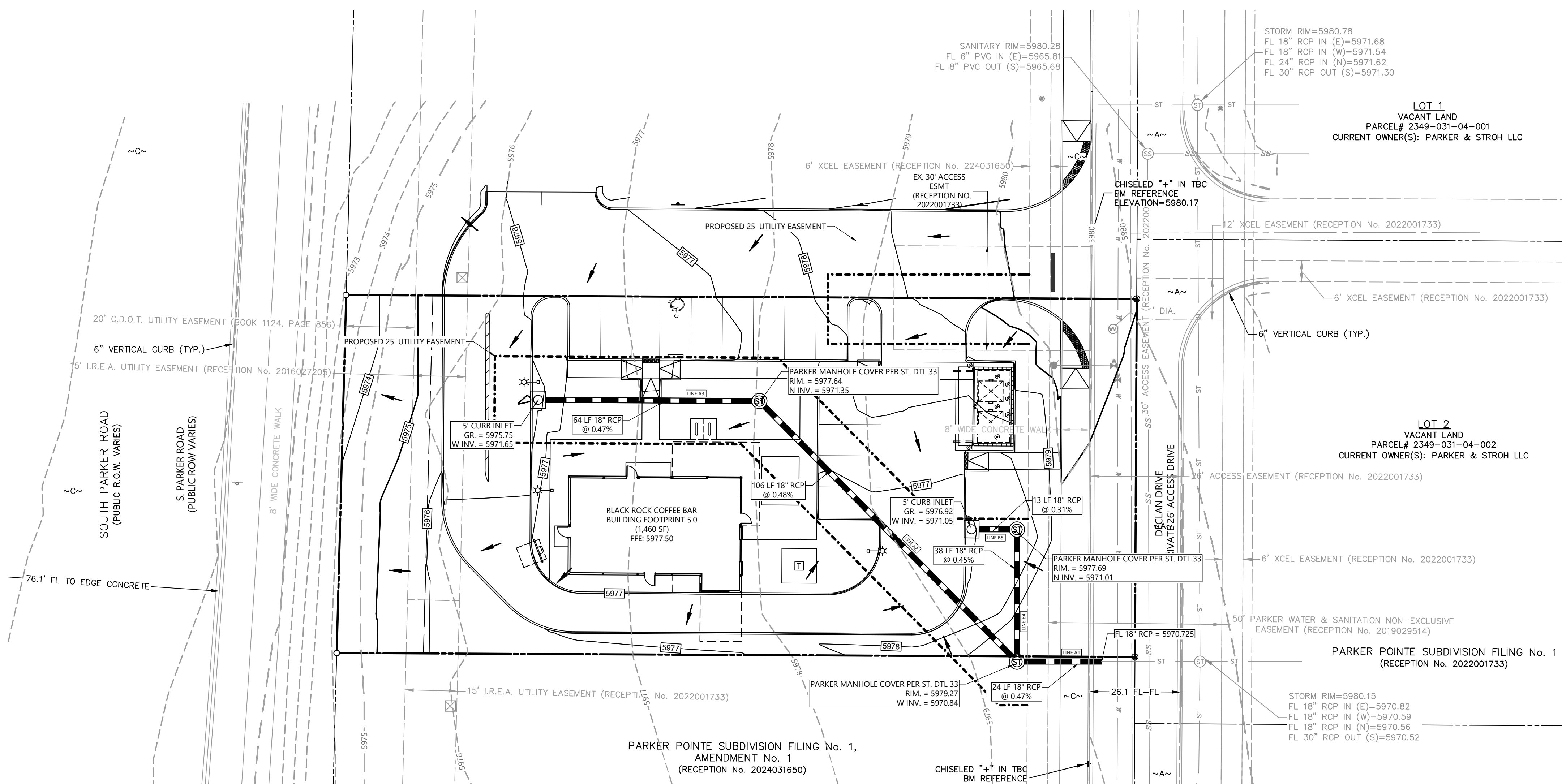
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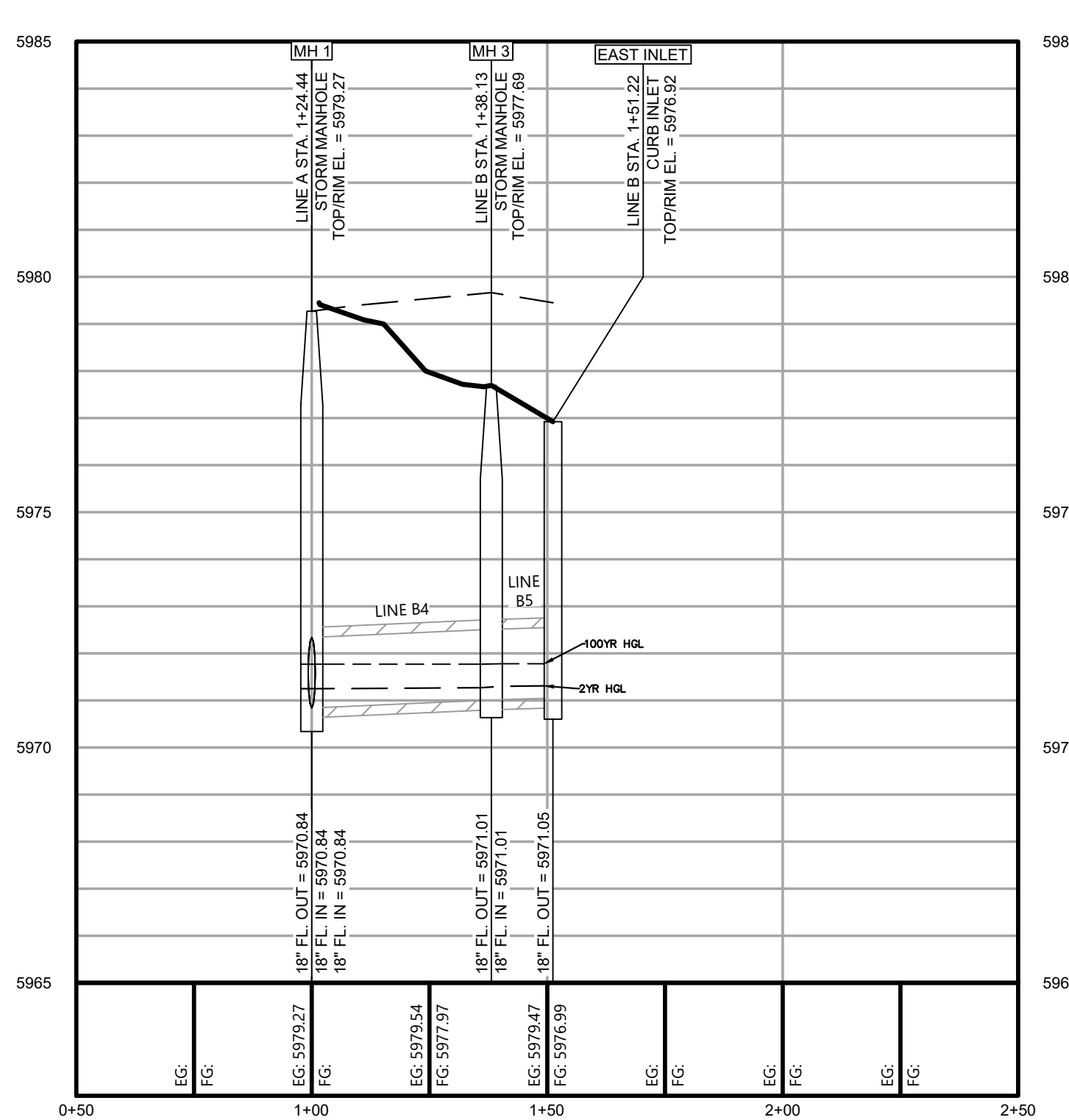
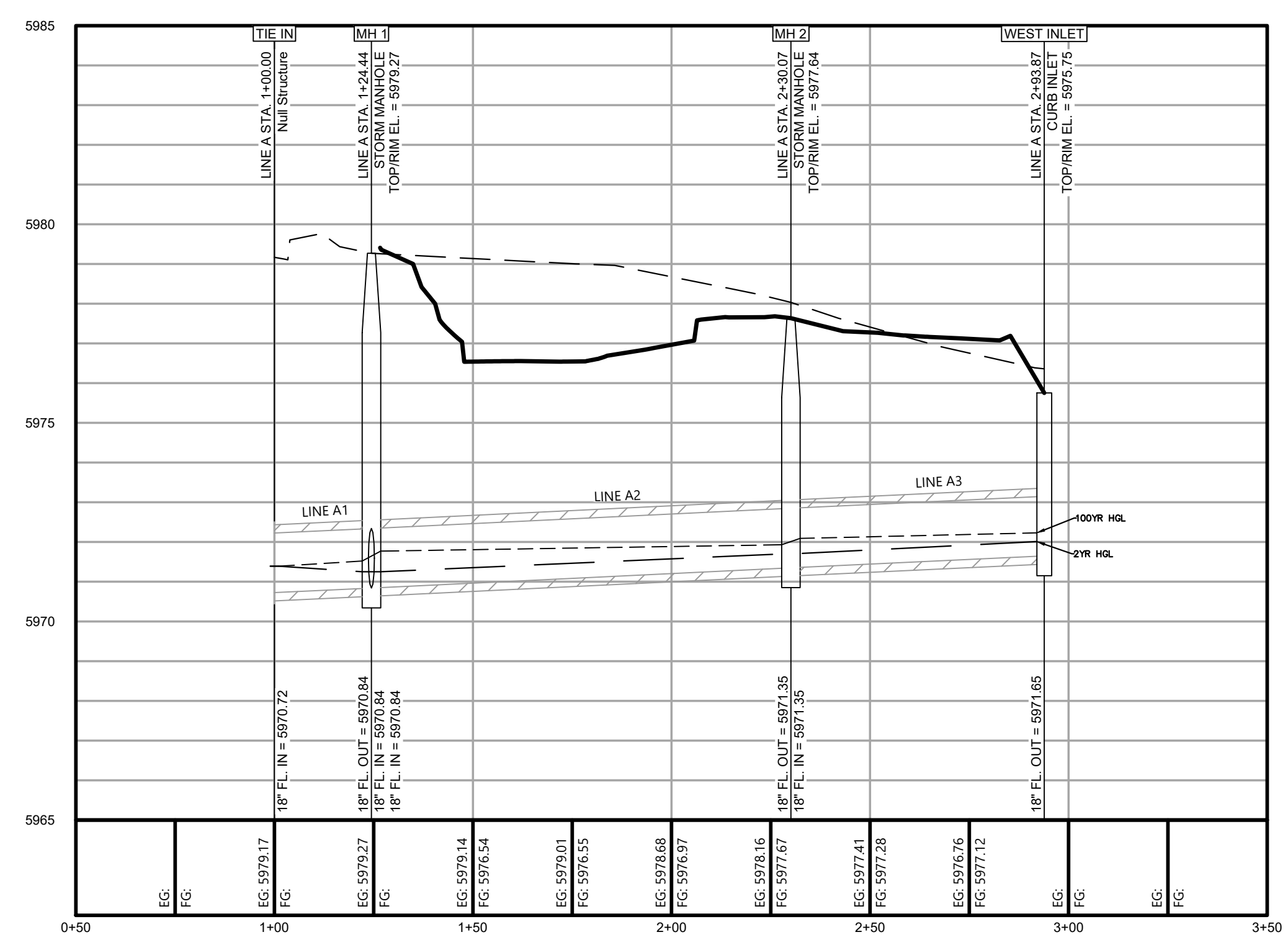
**DRAINAGE PLAN LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT
- PROPOSED SETBACK LINE
- 119 EXISTING MINOR CONTOURS
- 120 EXISTING MAJOR CONTOURS
- 119 PROPOSED MINOR CONTOUR
- 120 PROPOSED MAJOR CONTOUR
- ST EXISTING STORM LINE
- PROPOSED STORM LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- x 123.4 PROPOSED SPOT ELEV
- 2% SLOPE ARROW
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING WATER METER
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING FIRE HYDRANT
- FLOW DIRECTION ARROWS



CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
**1-800-922-1987**  
 CALL 2-BUSINESS DAYS IN ADVANCE  
 BEFORE YOU DIG, GRADE, OR EXCAVATE  
 FOR THE MARKING OF UNDERGROUND  
 MEMBER UTILITIES.

CAUTION: NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



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TOWN OF PARKER, DIRECTOR ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

**BLACK ROCK COFFEE BAR**  
 13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
 DRAINAGE PLAN

LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

DATE: 2025-09-24

REVISIONS

SCALE: 1"=20'

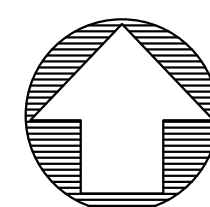
DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO. **C3.10**

FILE NAME: \\TOWN\CAD\C310\PRODUCTION\24003198 - C310 DRAINAGE PLAN.dwg DATE PLOTTED: 09/24/2025 1:43 PM PLOTTED BY: khsarwar

CAD FILE: 24003198 - C310 DRAINAGE PLAN







**811**  
Know what's below.  
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**NOTICE:**  
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LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
OVERALL UTILITY PLAN

DATE: 2025-09-24

REVISIONS

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

SCALE: 1"=20'

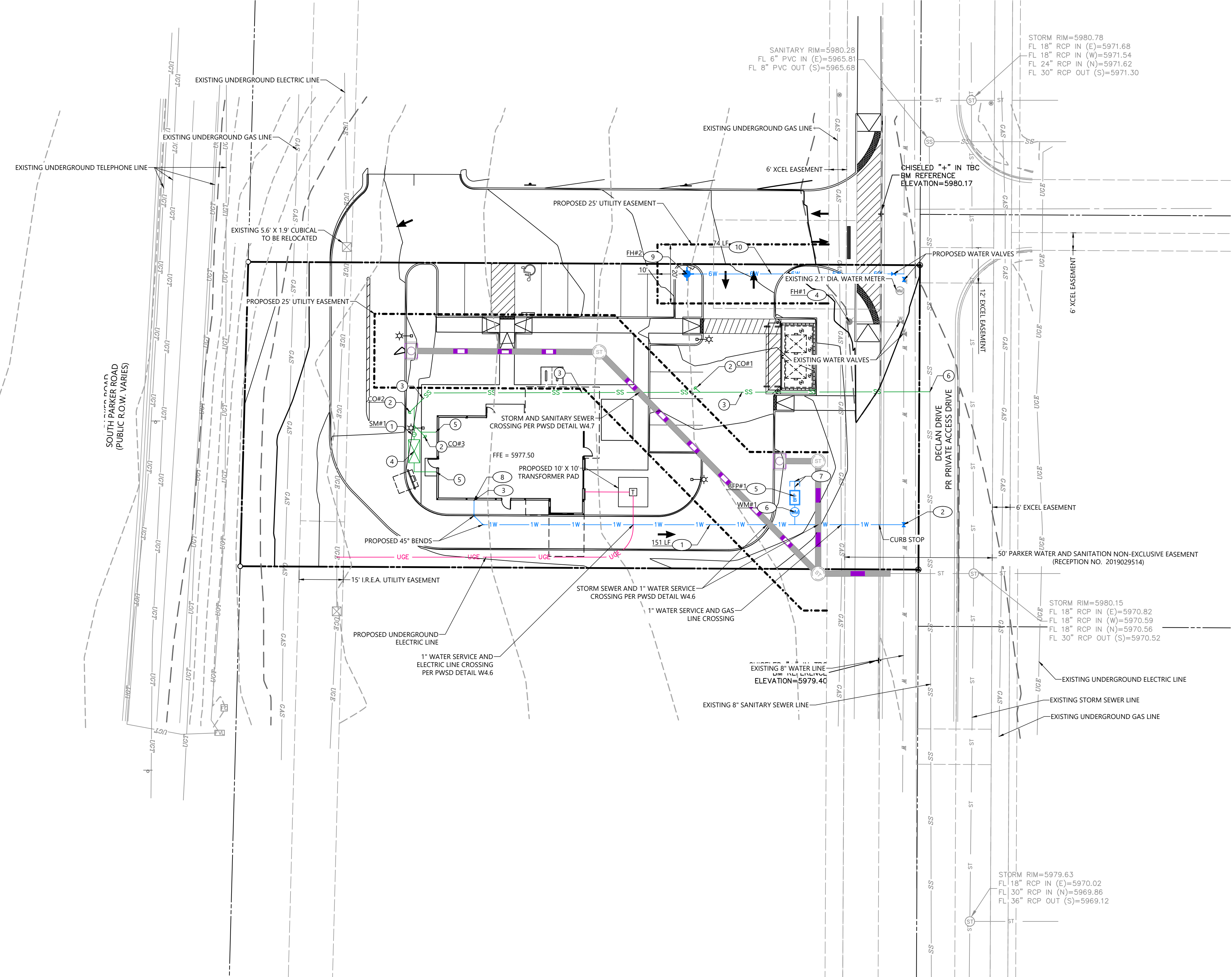
DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. **C4.00**

### UTILITY NOTES

- ALL UTILITY CONSTRUCTION SHALL CONFORM TO PARKER WATER AND SANITATION DISTRICT AND CRITERIA REFERENCE. LOCAL AGENCY INFRASTRUCTURE DESIGN AND CONSTRUCTION STANDARDS.
- NOMINAL DEPTH OF WATER MAIN SHALL BE 4.5' FROM FINISHED GRADE TO TOP OF PIPE.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE PARKER WATER AND SANITATION DISTRICT THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER PUBLIC WORKS AND PARKER WATER AND SANITATION DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES. EXISTING UTILITIES SHOWN ON THIS PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND DO NOT REFLECT A COMPLETE SURVEY OF EXISTING UTILITIES. CONTACT THE ENGINEER WITH DISCREPANCIES.
- CONTRACTOR SHALL VERIFY THE STUB TIE IN ELEVATION PRIOR TO START OF CONSTRUCTION. THE ELEVATION OF THE STUB SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO SANITARY SEWER CONSTRUCTION.
- SAWCUT OF EXISTING STREETS SHALL BE IN CONFORMANCE WITH TOWN STANDARDS. CUTS SHALL STRAIGHT WITH CLEAN EDGES. REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT RETURN ALONG EXISTING LINE AND GRADE.
- THE OWNER AND OR THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR COORDINATION WITH EXISTING FRANCHISE UTILITIES TO INCLUDE COMCAST, XCEL, CENTURY LINK OR OWNERS OF EXISTING DRY UTILITY LINES.
- EXISTING UTILITY SURFACE APPURTENANCES SHALL BE RAISED TO FINISHED GRADE, THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE LIDS, VALVE COVERS.

### UTILITY LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - EXISTING ROAD CENTERLINE
- SS SEWER LINE
- 1W DOMESTIC 1" WATER LINE
- STORM SEWER LINE
- SM SANITARY SEWER MANHOLE
- SC SANITARY SEWER CLEAN OUT
- GT GREASE TRAP
- SM STORM MANHOLE
- CI STORM CURB INLET
- WM WATER METER
- WB WATER BEND 45°
- WBP WATER BACK FLOW PREVENTER



### WATER SERVICE NOTES

- NOTE - ALL POLY LINES FOR WATER SHOULD BE PEX AND SHOULD UTILIZE PROTEX FITTINGS
- NOTE - ALL WATER SHALL BE INSTALLED PER PARKER WATER AND SANITATION STANDARDS, SPECIFICATIONS AND STANDARD PRODUCTS LIST.
- INSTALL 1" - 1" COPPER SERVICE LINE, LENGTH PER PLAN
  - INSTALL 1" TAPPING SADDLE WITH A CORPORATION STOP ON EXISTING 8" WATER MAIN PER P.W.S.D. STD. DTL WS.13
  - INSTALL 1" BACKFLOW PREVENTOR & 1" WATER METER INSIDE THE BUILDING PER P.W.S.D. STD. DTL WS.9
  - EXISTING FIRE HYDRANT ASSEMBLY
  - INSTALL 2" LANDSCAPE METER WITH STEEL METER BOX COVER PER P.W.S.D. STD. DTL WS.9
  - INSTALL 1" LANDSCAPE BACKFLOW PREVENTER PER P.W.S.D. STD. DTL WS.9 WITH A 1" TO 1" REDUCER BETWEEN THE METER AND BACKFLOW
  - INSTALL 2" SCH 80 PVC WATERLINE AND WATER PLUG PPER P.W.S.D. STD. DTL.
  - CONNECT TO BUILDING STUB. SEE ARCHITECTURAL PLANS FOR CONTINUATION
  - PROPOSED FIRE HYDRANT ASSEMBLY
  - 6" SCH 80 PVC WATERLINE, LENGTH PER PLAN

### SANITARY SEWER SERVICE NOTES

- SAMPLING MANHOLE PER P.W.S.D. STD. DTL SS.3
- INSTALL GAS/WATER TIGHT CLEANOUT PLUGS PER P.W.S.D. STD. DTL SA.12
- INSTALL 6" PVC SDR-35 SEWER LINE BEDDING AND BACKFILL PER P.W.S.D. STD. DTL SA.1
- INSTALL GREASE INTERCEPTOR PER P.W.S.D. STD. DTL SS.1 & SS.2
- CONNECT TO BUILDING STUB. SEE ARCHITECTURAL PLANS FOR CONTINUATION
- CONNECT TO EXISTING SANITARY SEWER LINE

ALL THE FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

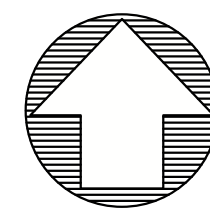
FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

(NOTE - UNDERGROUND FILE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

### ENGINEERING REVIEW BLOCK

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FILE NAME: \\f:\data\civ\24003198 - BEC - Parker - 24003198 - OVERALL UTILITY PLAN.dwg LAST SAVED BY: rsgp 8/7/2025 12:25 PM PLOTTED BY: rsgp 8/7/2025 12:25 PM PLOTTED IN: \\f:\data\civ\24003198 - BEC - Parker - 24003198 - OVERALL UTILITY PLAN.dwg



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LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

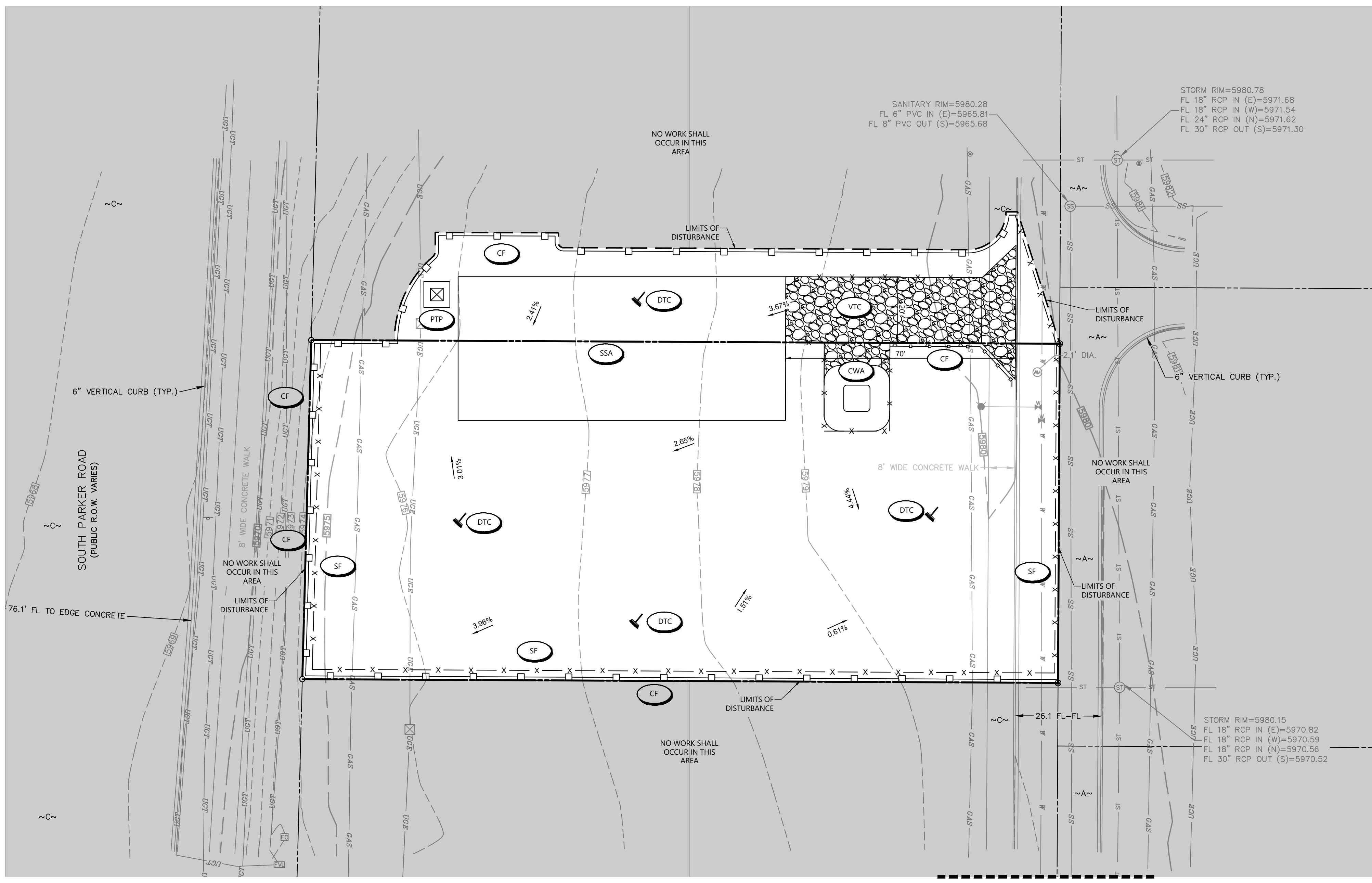
BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 INITIAL EROSION CONTROL PLAN

DATE 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO.

C5.00



CD	CHECK DAM
CF	CONSTRUCTION FENCE
CP	QUIESCENT PROTECTION
CWA	CONCRETE WASHOUT AREA
D	DEMATERING
DD	DRAINAGE DITCH
DP	DISTURBED POND PROTECTION
DTC	DESIGN TRASH CONTROL
ECB	EROSION CONTROL BLANKET
IPAN	INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
IPAP	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
IPCOD	INLET PROTECTION CURB ON BUMP, TYPE B INLET
IPCOD	INLET PROTECTION CURB ON BUMP, TYPE B INLET

LP	LOT PROTECTION
MWP	MASONRY WORK PROTECTION
PTP	PORTABLE TOILET PROTECTION
RSCC	ROUGH OUT STREET CONTROL
RS	ROCK SOCK
RSD	ROCK SOCK IN DRAINAGE
SB	STRAW BALE
SC	SEDIMENT CONTROL LOGS
SF	SILT FENCE
SMS	SEEDING, MULCHING AND COMPOST
SR	SURFACE ROUGHENING
SSA	STABILIZED STAGING AREA
STP	SIDEWALK TRANSITION PROTECTION

Parker	CBMP	LEGEND	2 of 3
CONSTRUCTION BEST MANAGEMENT PRACTICES			

Parker	CBMP	LEGEND	2 of 3
CONSTRUCTION BEST MANAGEMENT PRACTICES			

T	TEMPORARY TERRACING
TSD	TEMPORARY SEDIMENT BASIN
VTC	VEHICLE TRACKING CONTROL

Parker	CBMP	LEGEND	2 of 3
CONSTRUCTION BEST MANAGEMENT PRACTICES			

**TOWN OF PARKER NOTES**

1. ALL SILT FENCE MUST BE INSTALLED ON 5-FOOT CENTERS.
2. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND ECS.
3. THE TRUE LOCATION OF THE PTP MAY BE DETERMINED BY THE TOWN AND ECS.
4. PLACE SCL IMMEDIATELY BEHIND CURB AND SIDEWALK DOWN GRADIENT OF DISTURBED AREAS, USE 12" LOGS.
5. IF SF IS NOT INSTALLED ON THE BACK OF CURB, ECB MAY BE NECESSARY IN THE GAP.
6. ALL SOILED STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVE AISLES, ETC., MUST BE THOROUGHLY CLEANED BY 5 PM EACH WORK DAY AND DURING THE DAY WHEN LEVEL OF SOIL EXCEEDS A LOW LEVEL AS DETERMINED BY THE TOWNS INSPECTOR.
7. LOT PROTECTION IS REQUIRED ON ALL COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.
8. THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
9. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND ECS.
10. LOT PROTECTION (LP) IS REQUIRED ON RESIDENTIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
11. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
12. THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND ECS.
13. MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
14. ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER TO INSTALLATION.

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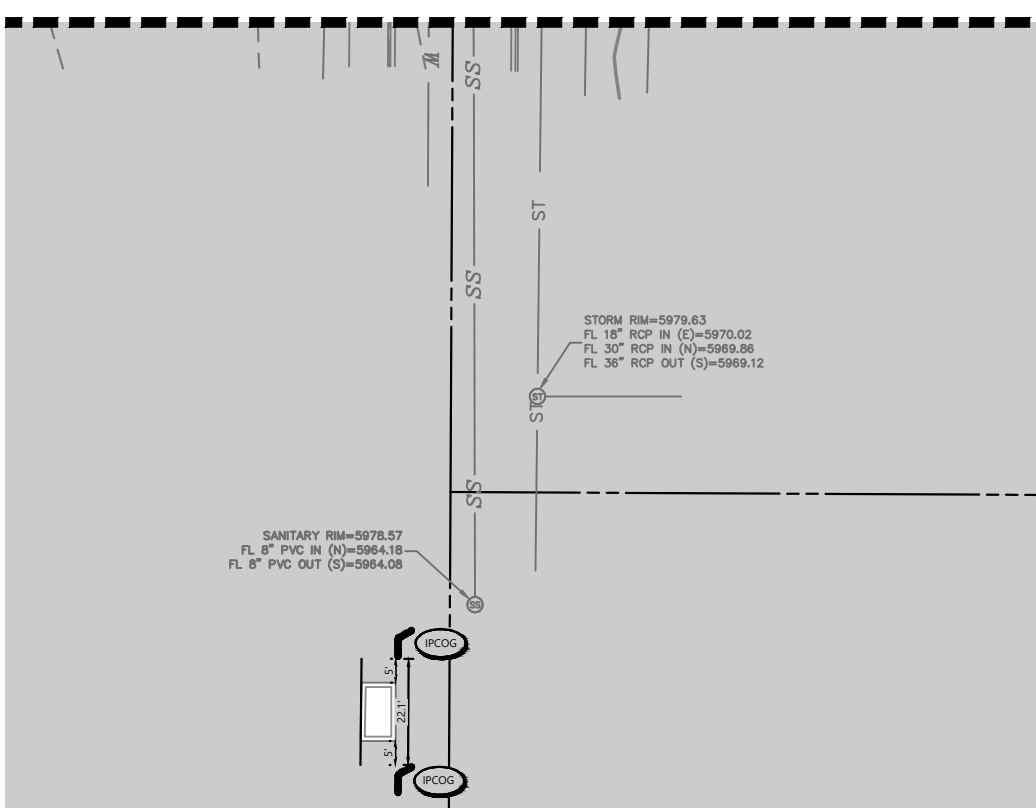
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**GRADING EROSION AND SEDIMENT CONTROL NOTES**

1. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMITS FROM THE LOCAL AND STATE AGENCIES PRIOR TO THE START OF CONSTRUCTION.
2. BMPs SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS HEREIN AND THE LOCAL AGENCIES STANDARDS DETAILS. IF A DETAIL IS NOT PROVIDED FOR A PLANNED OR NEEDED BMP REFERENCE LOCAL AGENCY STANDARDS. IF THE DETAIL IS NOT AVAILABLE REFERENCE URBAN DRAINAGE AND FLOOD CONTROL DISTRICTS STANDARD DETAILS.
3. THESE PLANS DO NOT REFLECT ALL BMPs THAT MAY BE NEEDED FOR SITE EROSION AND SEDIMENT CONTROL DUE TO FIELD CHANGES NOT ANTICIPATED IN THE DESIGN OF THE PLAN. CONTRACTOR SHALL INSTALL ADDITIONAL BMPs AS NEEDED TO MAINTAIN SITE STABILIZATION AND MITIGATE ANY SEDIMENT TRANSPORT OFF SITE OR TO THE ADJACENT STORM SYSTEM OR ADJACENT PROPERTY.
4. ALTERNATE BMPs MAY BE USED FROM THOSE SHOWN HEREON. CONTACT ENGINEER AND LOCAL AGENCY INSPECTOR WITH PROPOSED CHANGES.
5. GUIDELINES WITH THE LOCAL AGENCY PERMIT AND STANDARDS AND SPECIFICATIONS SHALL BE FOLLOW AND MAINTAINED.
6. AN APPROVED COPY OF THE EROSION AND SEDIMENT CONTROL PLAN AND STORMWATER MANAGEMENT PLAN SHALL BE KEPT ON SITE AT ALL TIMES.
7. LOCATION OF BMPs MAY VARY FROM THOSE SHOWN HEREON SUE TO PROGRESS AND PHASING OF CONSTRUCTION ACTIVITIES.
8. SITE BMPs SHALL BE MAINTAINED AND REPAIRED IF DAMAGED IMMEDIATELY. SITE INSPECTIONS SHALL OCCUR EVERY 7-DAYS, AND WITHIN 24-HOURS OF ANY PRECIPITATION EVENT.
9. AREAS LABELED "PS" AND "SM" SHALL BE STABILIZED PER LANDSCAPE PLAN IF SEASON ALLOWS FOR PLANTING AND IF POSSIBLE WITHIN 14 DAYS OF DISTURBANCE, DISTURBED SOIL SHOULD BE STABILIZED TO PREVENT EROSION.

SEE MATCHLINE BELOW

SEE MATCHLINE ABOVE

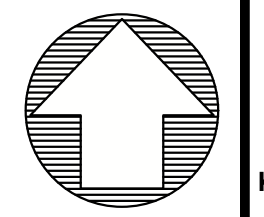


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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

CAD FILE: 24003198 - CS00 EROSION PHASE 1



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LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 INTERIM EROSION CONTROL PLAN

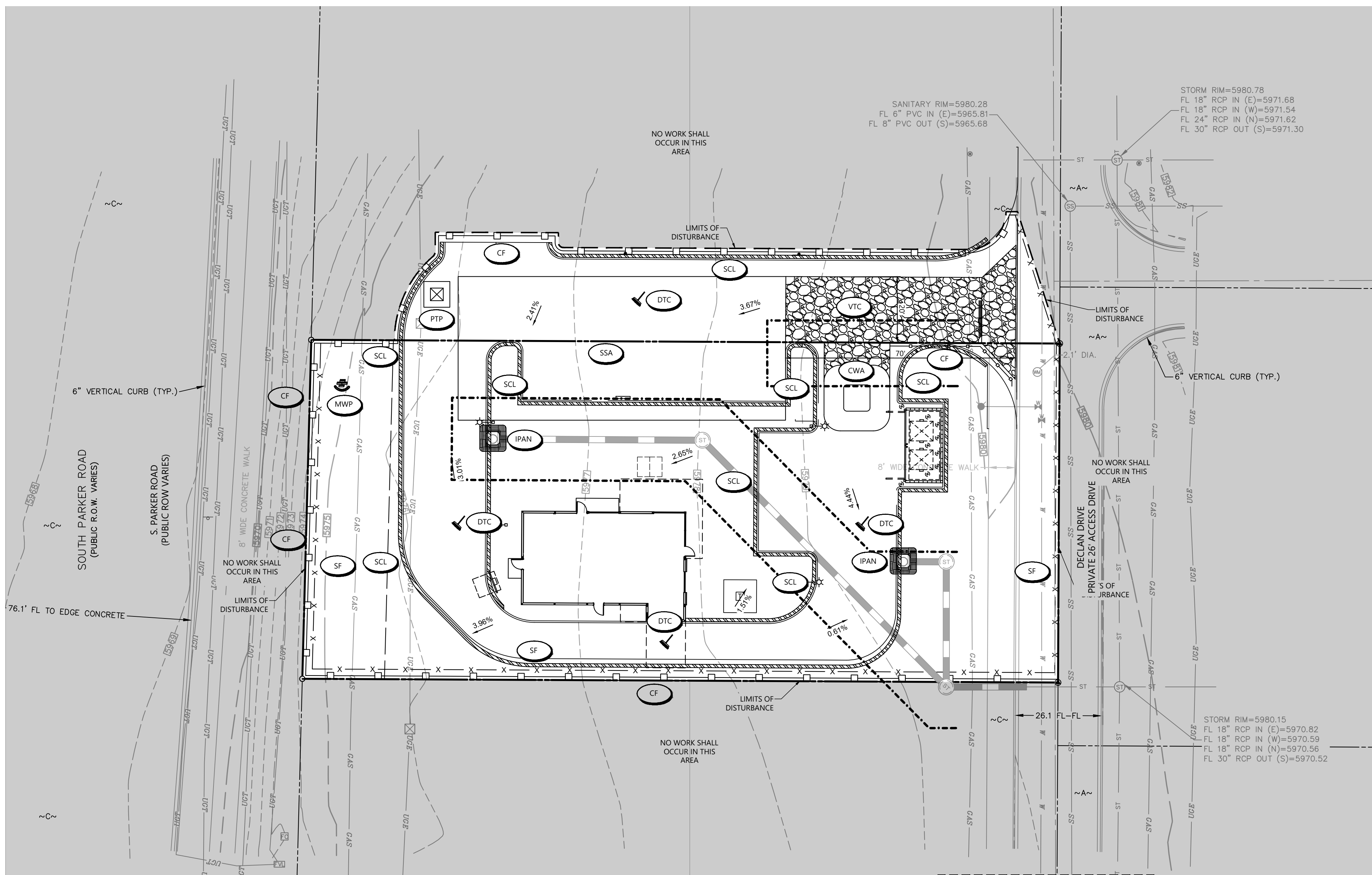
DATE 2025-09-24

REVISIONS

0 10' 20'  
 SCALE: 1"=20'

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO.

C5.10



	CD CHECK DAM
	CF CONSTRUCTION FENCE
	CWA CONCRETE WASHOUT AREA
	D DEMATERING
	DD OVERFLOW DITCH
	DP DETENTION POND PROTECTION
	DTC DEBRIS TRASH CONTROL
	ECB EROSION CONTROL BLANKET
	IPAN INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPAP INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPCO2 INLET PROTECTION, CURB ON GRADE, TYPE R INLET
	IPCO3 INLET PROTECTION, CURB ON BUMP, TYPE R INLET

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
	LEGEND

	TI TEMPORARY IRIGATION
	TSB TEMPORARY SEDIMENT BASIN
	VTC VEHICLE TRACKING CONTROL

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
	LEGEND

	LP LOT PROTECTION
	MWP MASONRY WORK PROTECTION
	PTP PORTABLE TOILET PROTECTION
	RSCC ROUGH-OUT STREET CONTROL
	RS ROCK ROCK
	RSS ROCK ROCK IN DRAINAGE
	SB STRAW BALE
	SCL SEDIMENT CONTROL LOGS
	SF SILT FENCE
	SMC SEDIMENT, MULCHING AND COMPOST
	SSA SURFACE ROUGHNESS
	SR STABILIZED STAGING AREA
	STP SIDEWALK TRANSITION PROTECTION

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
	LEGEND

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6. ALL SOILED STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVE AISLES, ETC., MUST BE THOROUGHLY CLEANED BY 5 PM EACH WORK DAY AND DURING THE DAY WHEN LEVEL OF SOIL EXCEEDS A LOW LEVEL AS DETERMINED BY THE TOWNS INSPECTOR.
7. LOT PROTECTION IS REQUIRED ON ALL COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.
8. THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
9. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND ECS.
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14. ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER TO INSTALLATION.

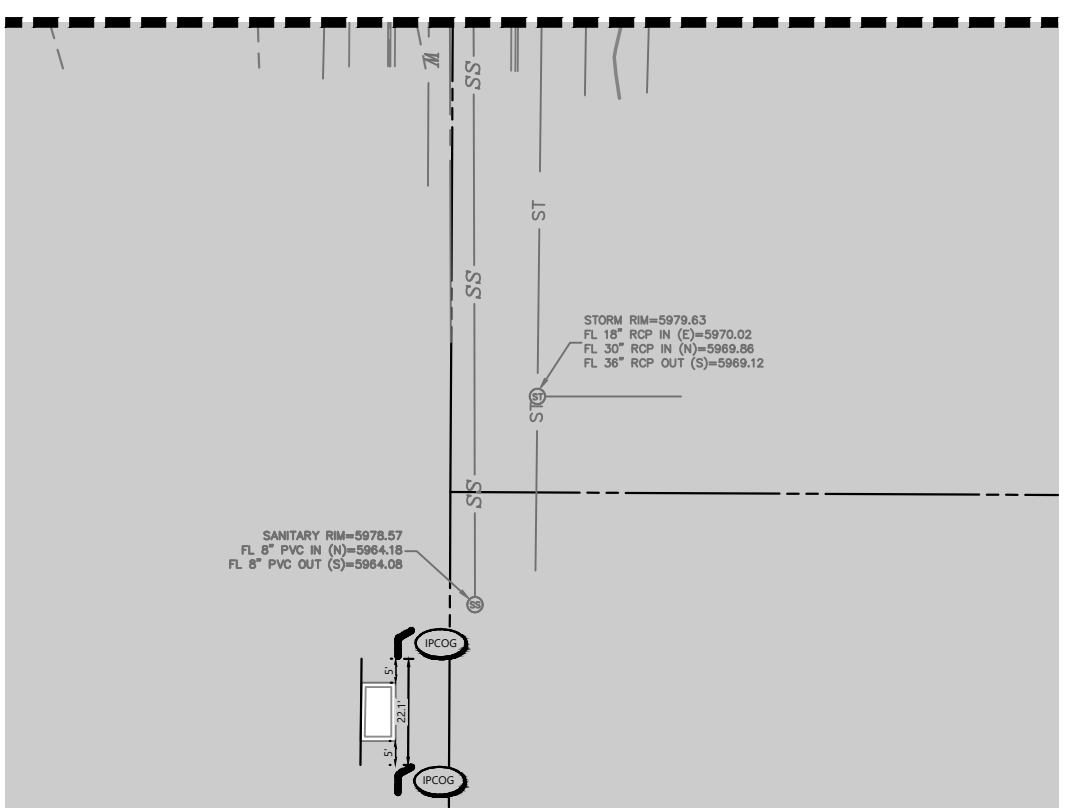
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**GRADING EROSION AND SEDIMENT CONTROL NOTES**

1. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMITS FROM THE LOCAL AND STATE AGENCIES PRIOR TO THE START OF CONSTRUCTION.
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3. THESE PLANS DO NOT REFLECT ALL BMPs THAT MAY BE NEEDED FOR SITE EROSION AND SEDIMENT CONTROL DUE TO FIELD CHANGES NOT ANTICIPATED IN THE DESIGN OF THE PLAN. CONTRACTOR SHALL INSTALL ADDITIONAL BMPs AS NEEDED TO MAINTAIN SITE STABILIZATION AND MITIGATE ANY SEDIMENT TRANSPORT OFF SITE OR TO THE ADJACENT STORM SYSTEM OR ADJACENT PROPERTY.
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8. SITE BMPs SHALL BE MAINTAINED AND REPAIRED IF DAMAGED IMMEDIATELY. SITE INSPECTIONS SHALL OCCUR EVERY 7-DAYS, AND WITHIN 24-HOURS OF ANY PRECIPITATION EVENT.
9. AREAS LABELED "PS" AND "SM" SHALL BE STABILIZED PER LANDSCAPE PLAN IF SEASON ALLOWS FOR PLANTINGS AND IF POSSIBLE WITHIN 14 DAYS OF DISTURBANCE, DISTURBED SOIL SHOULD BE STABILIZED TO PREVENT EROSION.

SEE MATCHLINE BELOW

SEE MATCHLINE ABOVE

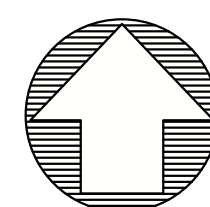


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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

FILE NAME: \\TOWNSHALL\DATA\PRODUCTION\24003198 - C5.10 EROSION PHASE 2.dwg, USER: SARWAR, BY: SARWAR, DATE: 9/24/2025, TIME: 10:17:17 AM, PLOTTED BY: SARWAR, PLOT DATE: 9/24/2025, PLOT TIME: 10:17:17 AM, PLOTTER: HP DesignJet Z6800, PLOT SCALE: 1"=20'



**Know what's below. Call before you dig.**  
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LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

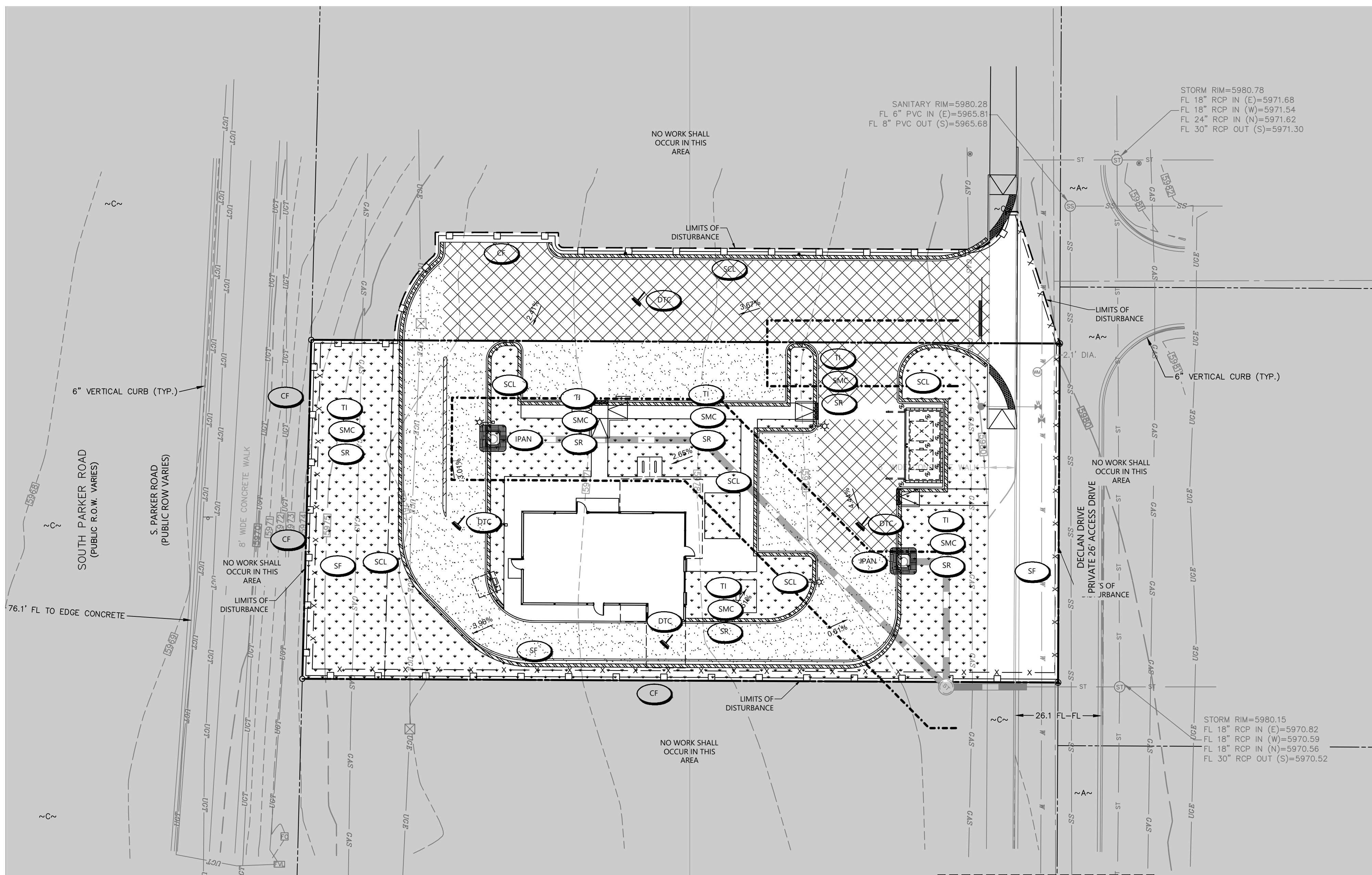
BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 FINAL EROSION CONTROL PLAN

DATE: 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO.

C5.20



	CD	CHECK DAM
	CF	CONSTRUCTION FENCE
	CP	CAULVERT PROTECTION
	CWA	CONCRETE WASHOUT AREA
	D	DEMATERING
	DD	DISERSION DITCH
	DP	DETENTION POND PROTECTION
	DT	DEBRIS TRASH CONTROL
	ECB	EROSION CONTROL BLANKET
	EPAN	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPAN	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPCDS	INLET PROTECTION, CURB ON GRADE, TYPE R INLET
	IPCD	INLET PROTECTION, CURB ON BUMP, TYPE R INLET

	LP	LOT PROTECTION
	MWP	MASONRY WORK PROTECTION
	PTP	PORTABLE TOILET PROTECTION
	RCC	ROUGH OUT STREET CONTROL
	RS	ROCK SOCK
	RSS	ROCK SOCK IN DRAINAGE
	SB	STRAW BALE
	SCL	SEDIMENT CONTROL LOGS
	SF	SILT FENCE
	SMC	SEEDING, MULCHING AND COMPOST
	SR	SURFACE ROUGHENING
	SSA	STABILIZED STAGING AREA
	STP	SIDEWALK TRANSITION PROTECTION

	CBMP	LEGEND
CONTRACTOR BEST MANAGEMENT PRACTICES		

	CBMP	LEGEND
CONTRACTOR BEST MANAGEMENT PRACTICES		

	TI	TEMPORARY IRIGATION
	TSB	TEMPORARY SEDIMENT BASIN
	VTC	VEHICLE TRACKING CONTROL

	CBMP	LEGEND
CONTRACTOR BEST MANAGEMENT PRACTICES		

**TOWN OF PARKER NOTES**

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CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987**  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

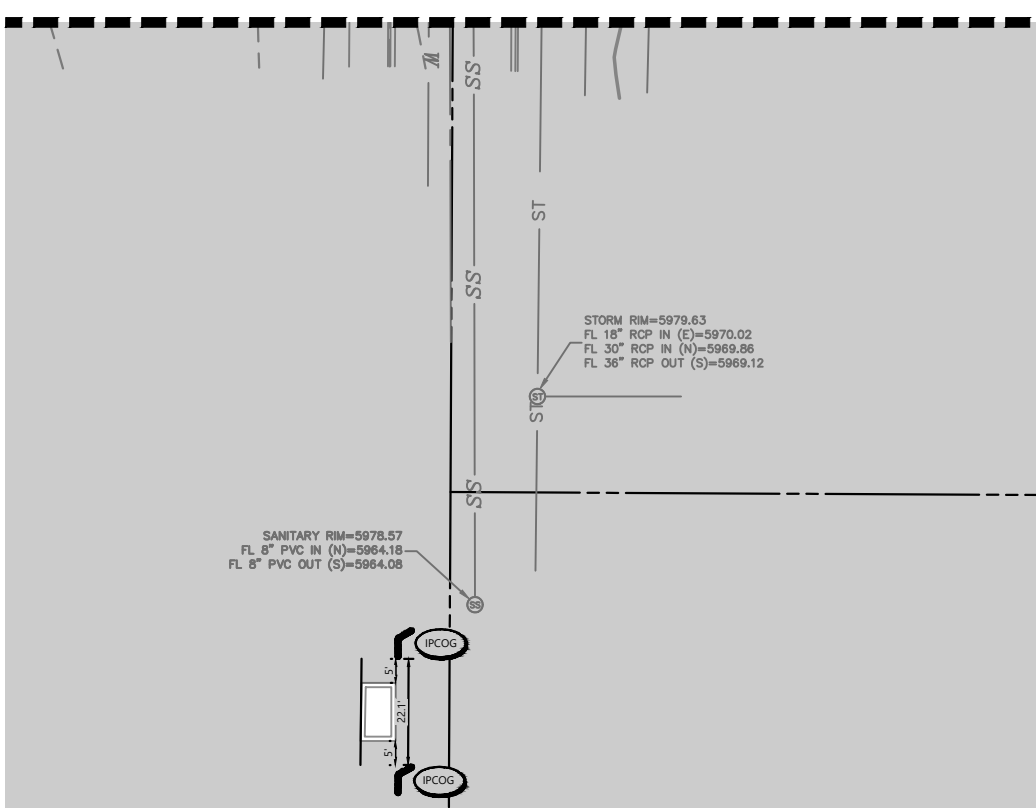
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SEE MATCHLINE BELOW

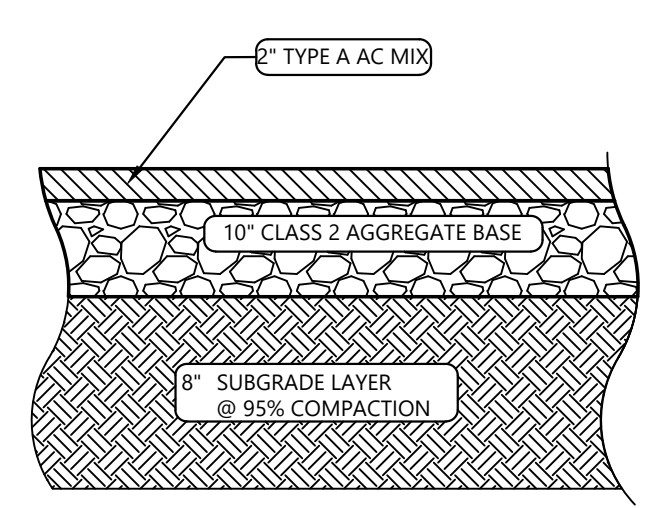
SEE MATCHLINE ABOVE



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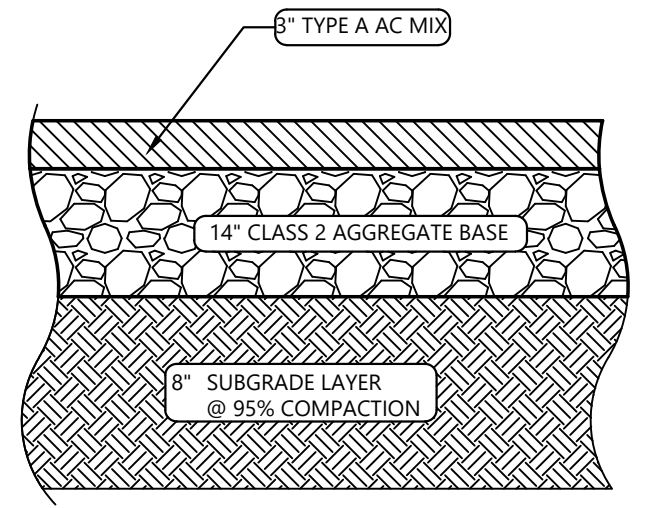
TOWN OF PARKER, DIRECTOR ENGINEERING DATE



THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR PROPOSED BLACK ROCK COFFEE AT E. PARKER ROAD, BY UES, DATED FEBRUARY 21, 2024. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.

**2" AC OVER 10" ABC PAVEMENT SPECIFICATION**

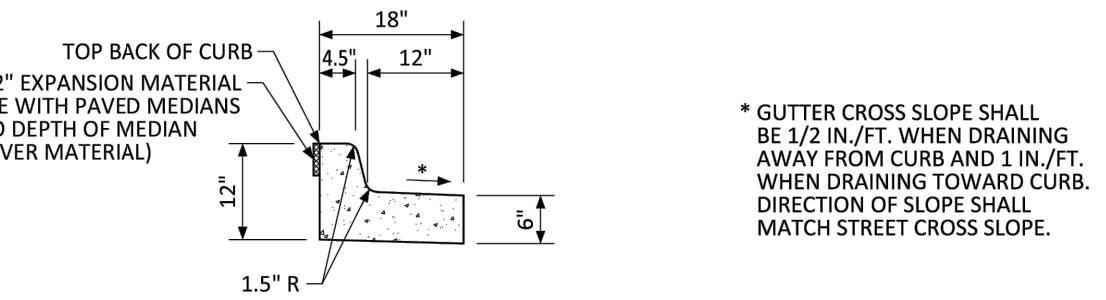
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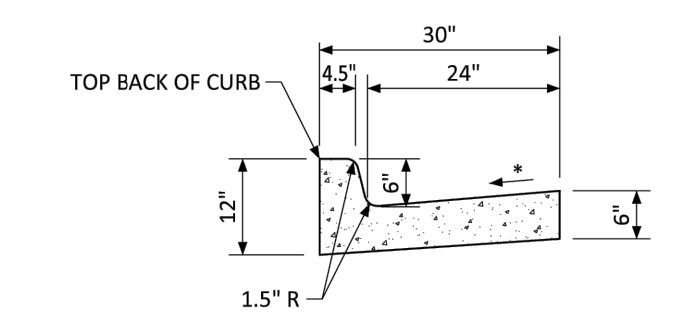
**6" AC OVER 4" ABC PAVING SPECIFICATION**

N.T.S.

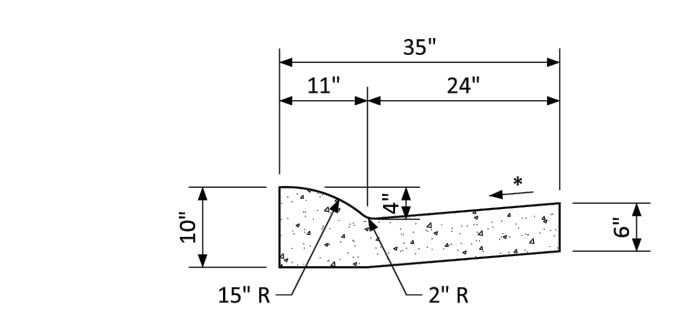


**MEDIAN CURB AND GUTTER SECTION**  
(CDOT CURB AND GUTTER TYPE 2 (SECTION I-B))

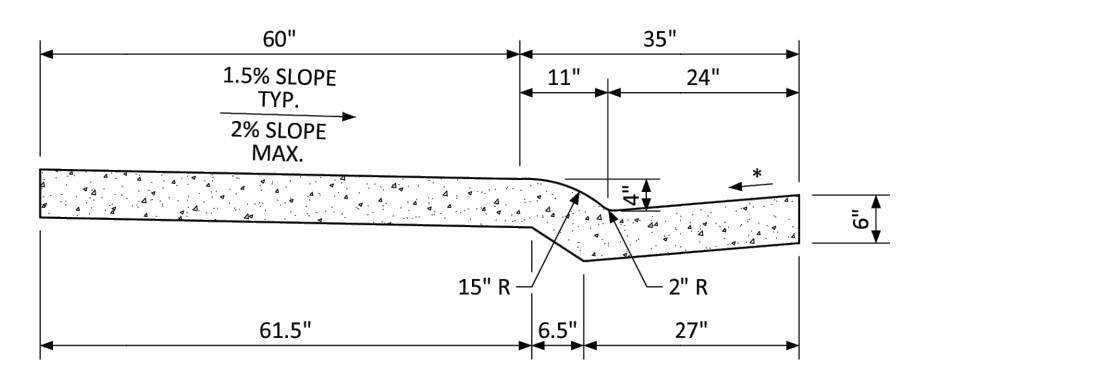
\* GUTTER CROSS SLOPE SHALL BE 1/2 IN./FT. WHEN DRAINING AWAY FROM CURB AND 1 IN./FT. WHEN DRAINING TOWARD CURB. DIRECTION OF SLOPE SHALL MATCH STREET CROSS SLOPE.



**VERTICAL CURB AND GUTTER SECTION**  
(CDOT CURB AND GUTTER TYPE 2 (SECTION I-B))



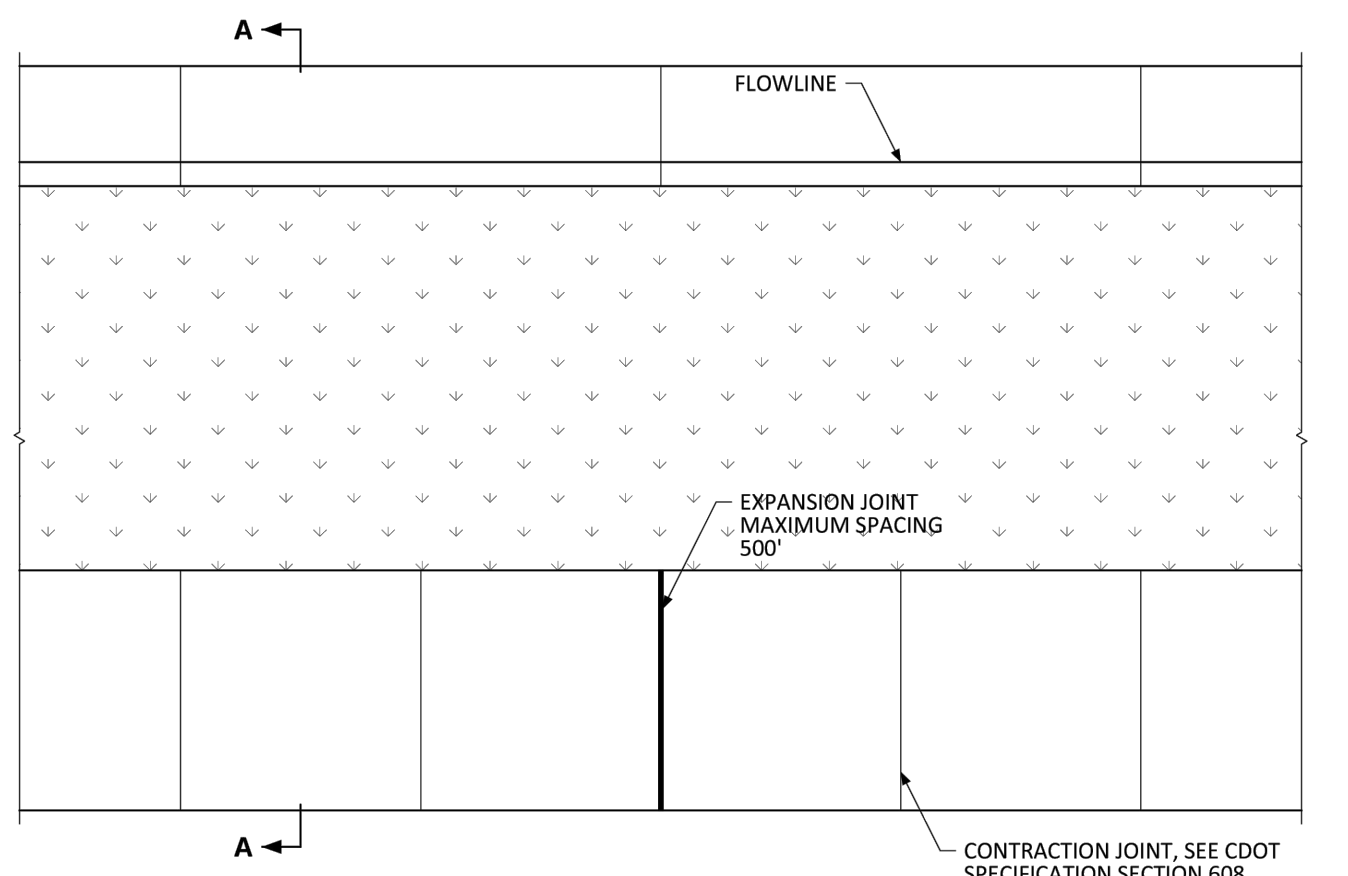
**MOUNTABLE CURB AND GUTTER SECTION**



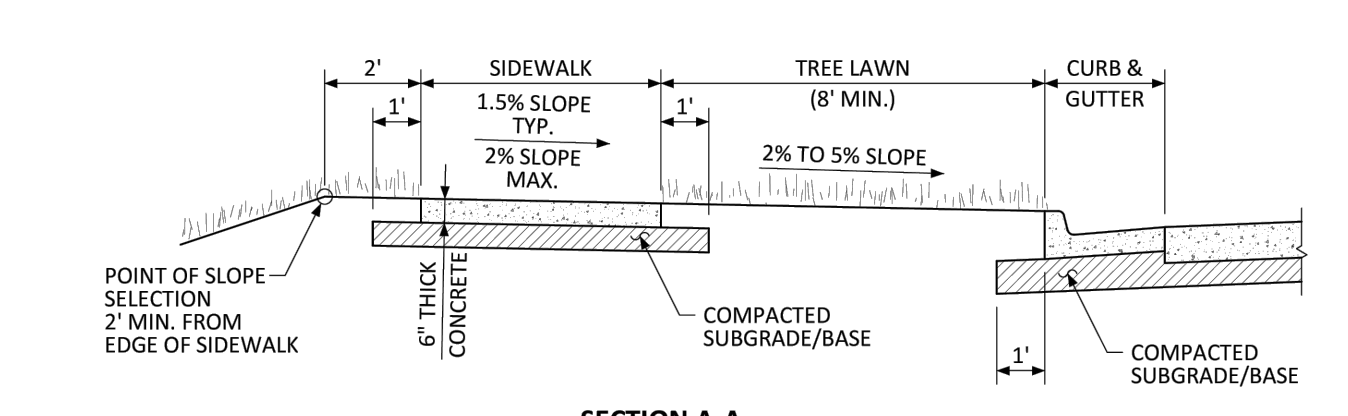
**MONOLITHIC COMBINATION CURB, GUTTER AND SIDEWALK SECTION**

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**PARKER COLORADO** **CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL** **DATE NOVEMBER 2020** **DETAIL 3** **1 OF 1**



**JOINT SPACING**

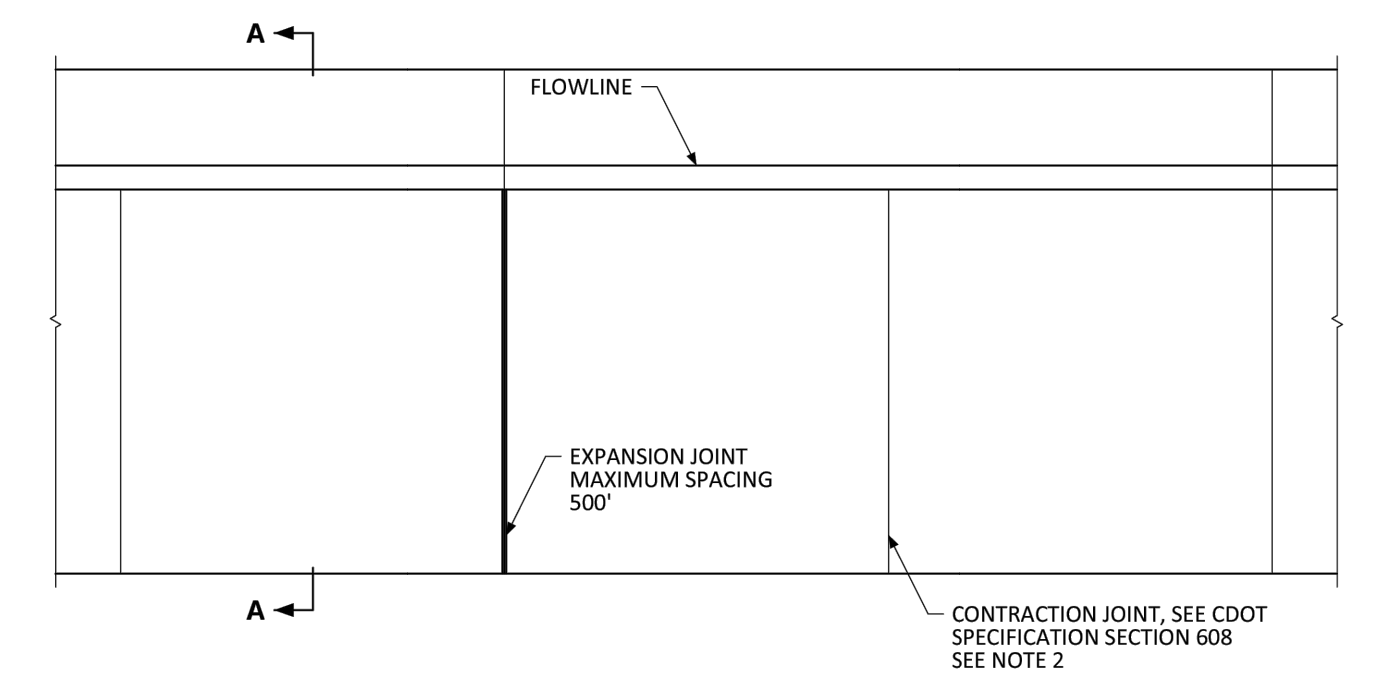


**SECTION A-A**

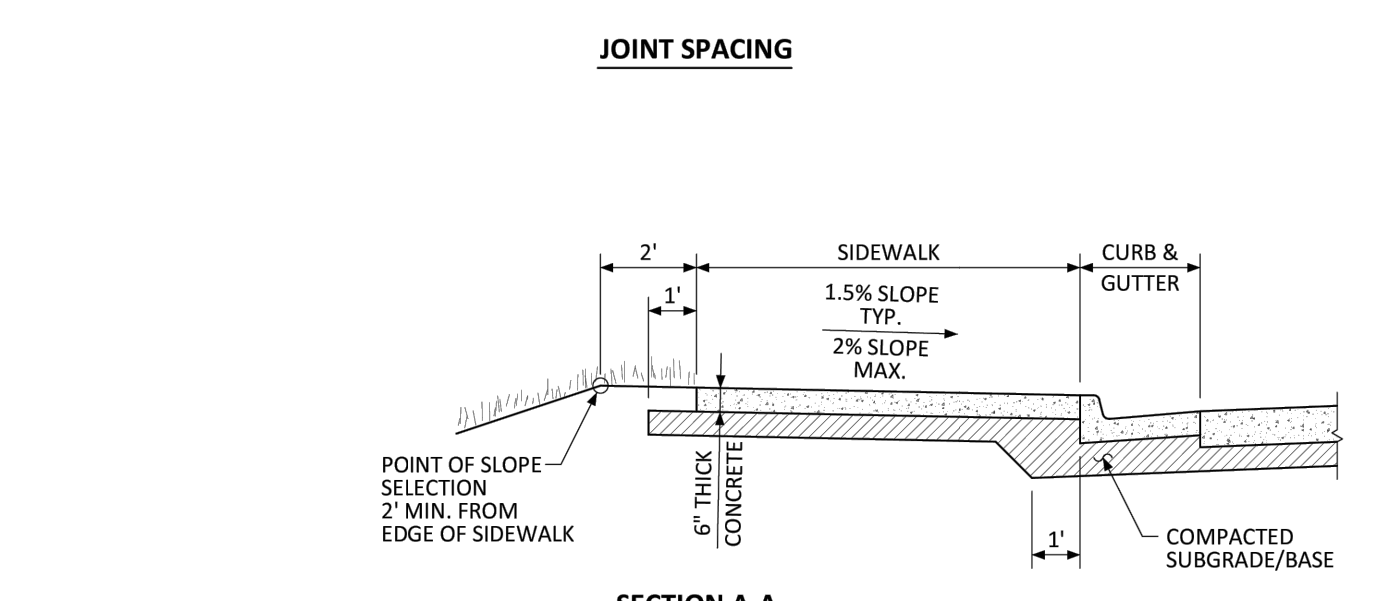
**GENERAL NOTES**  
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**PARKER COLORADO** **DETACHED SIDEWALK STANDARD DETAIL** **DATE NOVEMBER 2020** **DETAIL 4** **1 OF 2**



**JOINT SPACING**

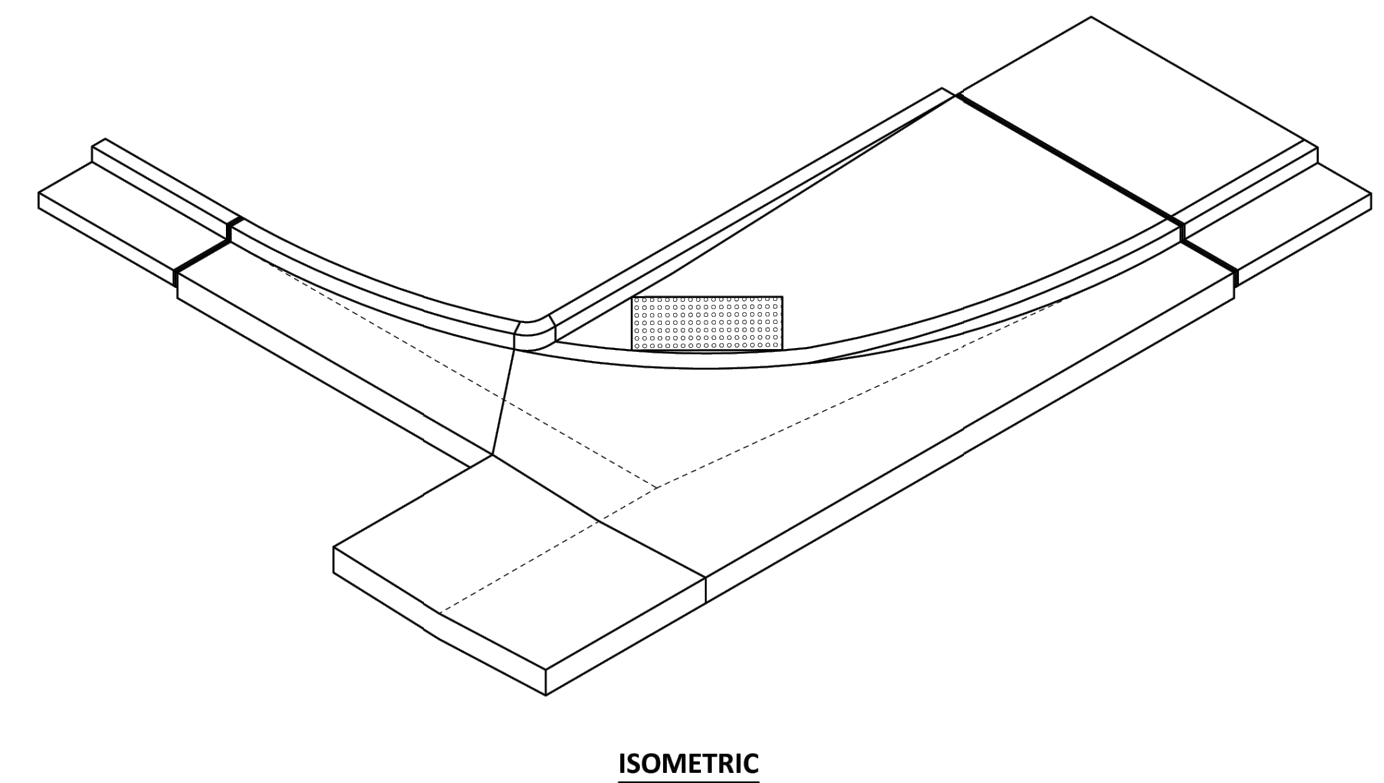


**SECTION A-A**

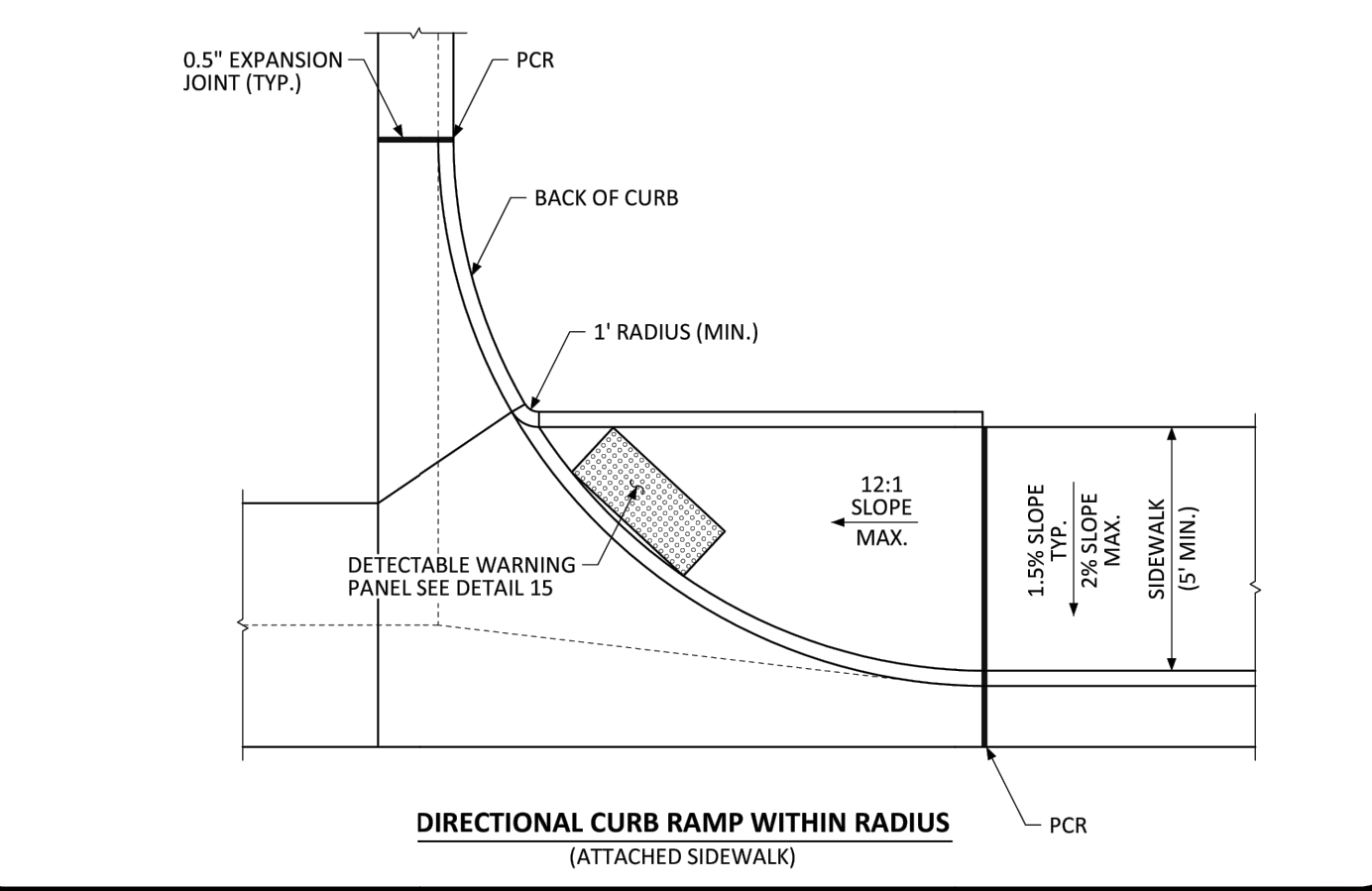
**GENERAL NOTES**  
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2. TRANSVERSE SIDEWALK JOINTS SHALL MATCH CURB AND GUTTER JOINTS.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**PARKER COLORADO** **ATTACHED SIDEWALK STANDARD DETAIL** **DATE NOVEMBER 2020** **DETAIL 4** **2 OF 2**



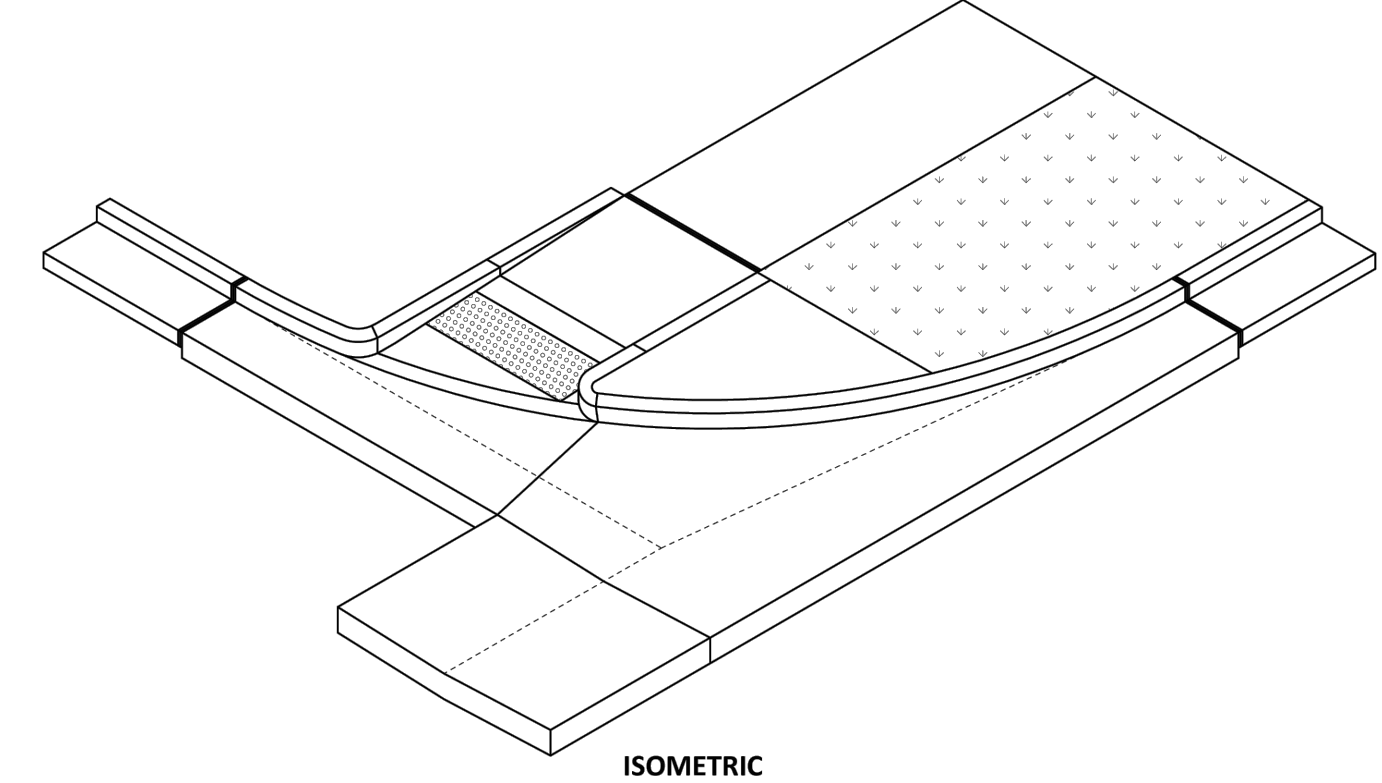
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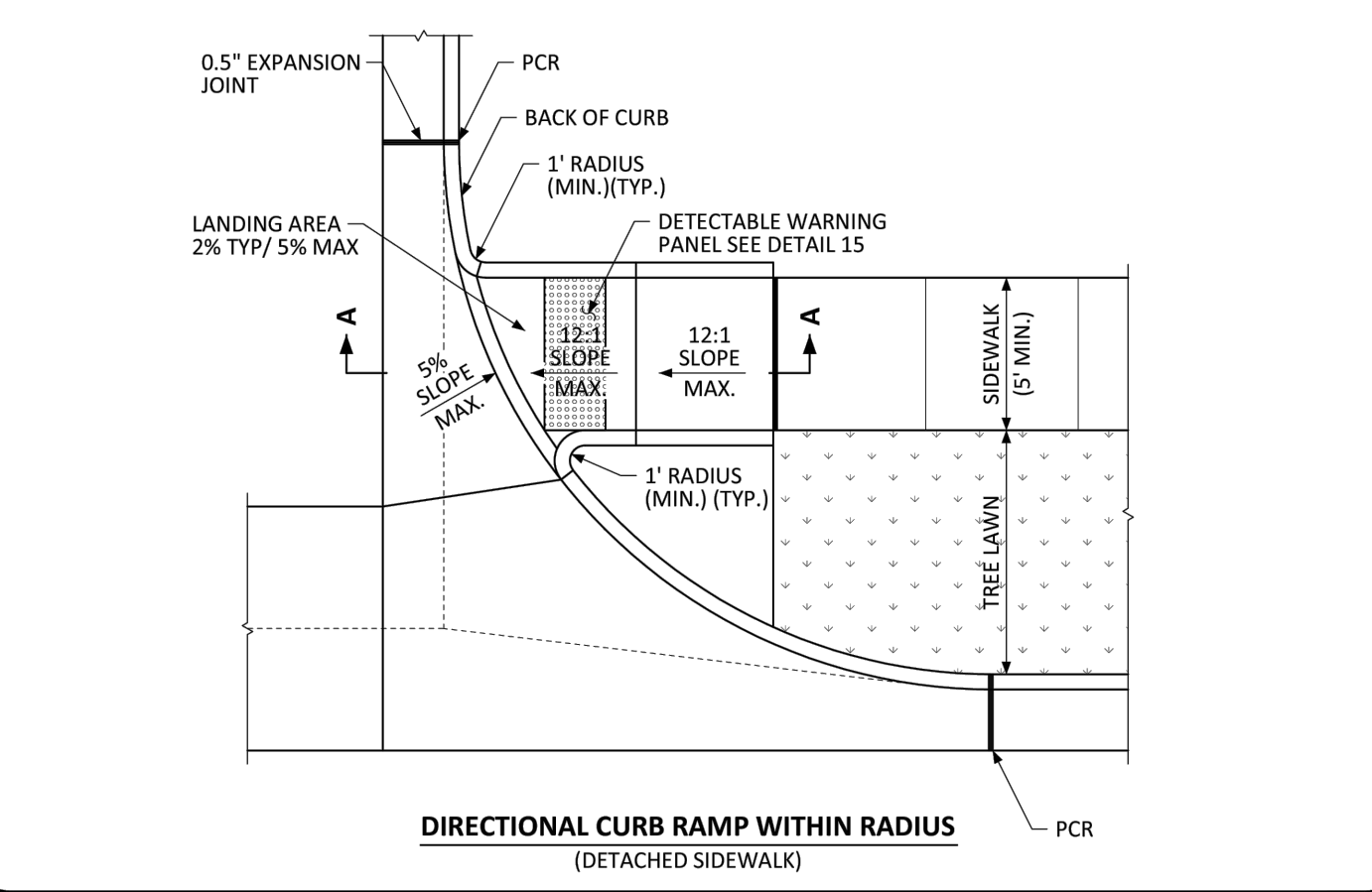
**DIRECTIONAL CURB RAMP WITHIN RADIUS**  
(ATTACHED SIDEWALK)

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**PARKER COLORADO** **DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL** **DATE NOVEMBER 2020** **DETAIL 18** **1 OF 2**



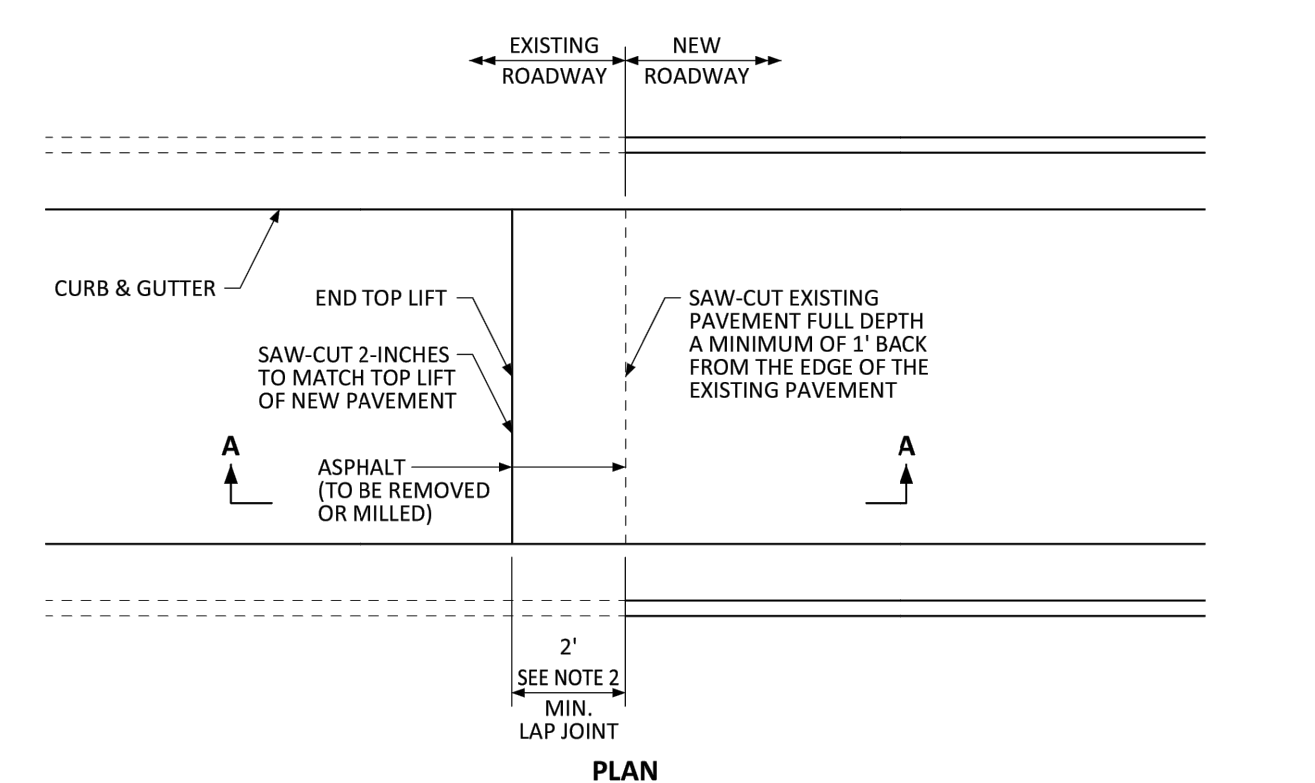
**ISOMETRIC**



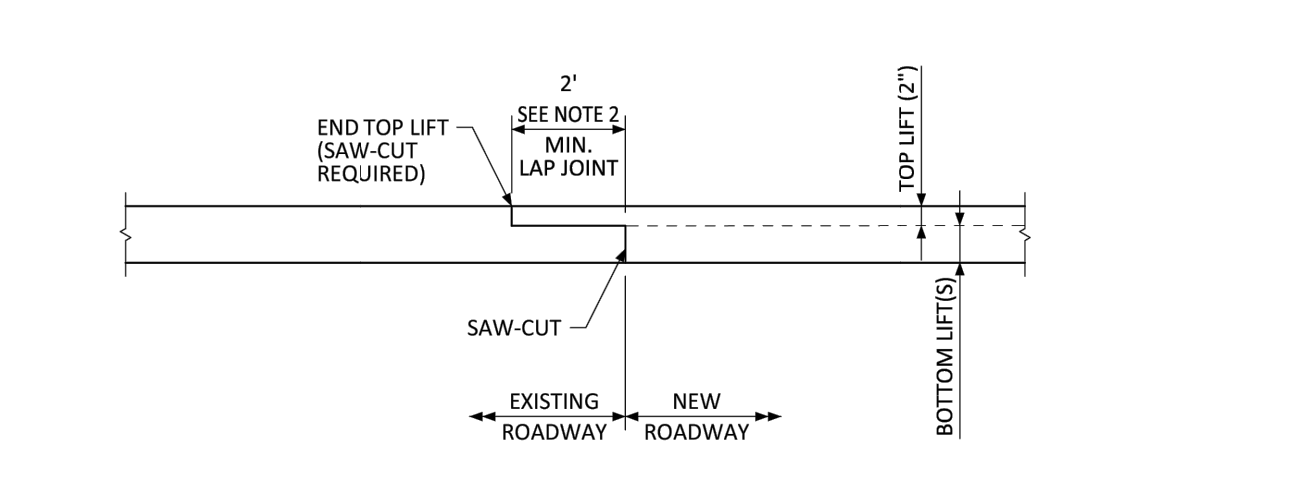
**DIRECTIONAL CURB RAMP WITHIN RADIUS**  
(DETACHED SIDEWALK)

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**PARKER COLORADO** **DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL** **DATE NOVEMBER 2020** **DETAIL 18** **2 OF 2**



**PLAN**

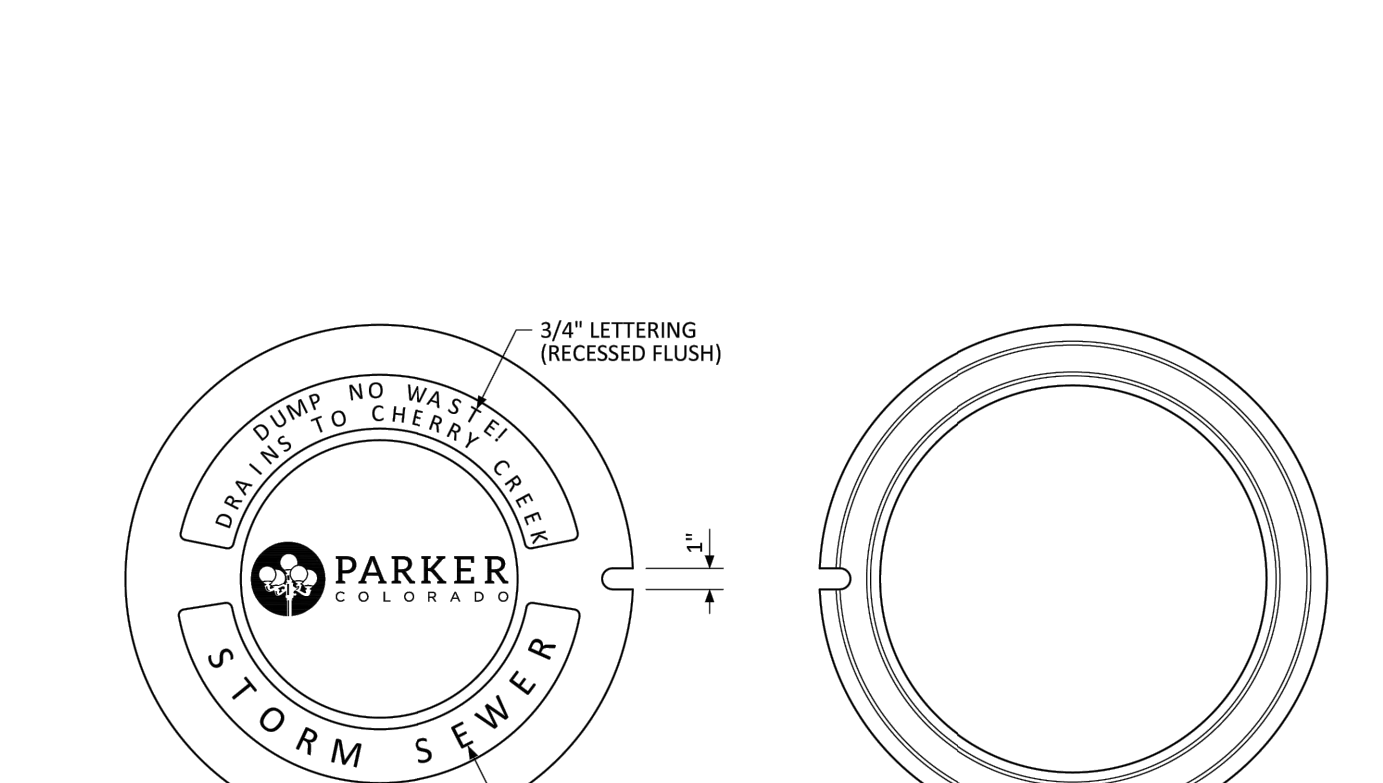


**SECTION A-A**

**GENERAL NOTES**  
1. SAW-CUT EXISTING PAVEMENT FULL DEPTH TO PROVIDE A VERTICAL EDGE PRIOR TO PLACEMENT OF NEW ASPHALT AND SAW-CUT THE LAP JOINT 2-INCHES DEEP AT THE LAP JOINT DISTANCE.  
2. THIS DETAIL APPLIES TO BOTH TRANSVERSE (WITH A 2-FOOT MIN. LAP JOINT) AND LONGITUDINAL (WITH A 1-FOOT MIN. LAP JOINT) ASPHALT JOINTS BETWEEN EXISTING AND NEW PAVEMENT.  
3. SPECIFICATIONS AND ILLUSTRATIONS FOR CONCRETE PAVEMENT JOINTS ARE LOCATED IN CDOT'S M&S STANDARD PLANS AND CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.  
4. TEMPORARY ASPHALT RAMPS PLACED AT A 20:1 MAX. SLOPE SHALL BE REMOVED OR MILLED PRIOR TO PLACING FINAL ASPHALT.

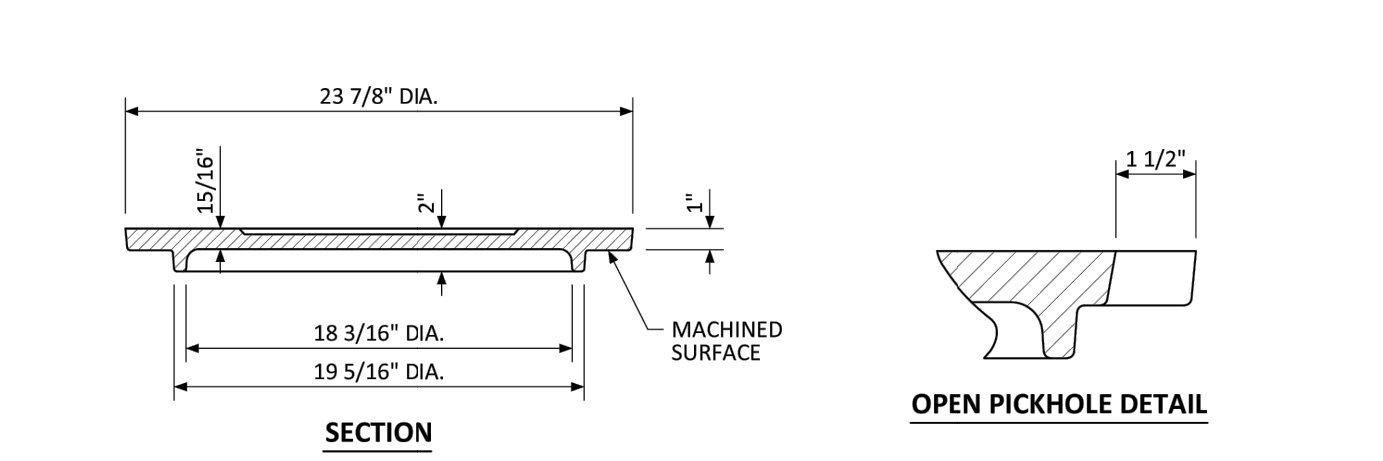
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**PARKER COLORADO** **ASPHALT CONNECTION BETWEEN EXISTING AND NEW PAVEMENT STANDARD DETAIL** **DATE NOVEMBER 2020** **DETAIL 26** **1 OF 1**



**TOP OF COVER**

**COVER BOTTOM**



**SECTION**

**OPEN PICKHOLE DETAIL**

**GENERAL NOTES**  
1. LOAD RATING - HEAVY DUTY.  
2. COATING - UNDIPPED.  
3. ESTIMATED WEIGHT - 112 LBS.  
4. MATERIAL SPECIFICATION - GRAY IRON ASTM A48 CL35B.  
5. FOR USE ON ALL PRIVATE AND PUBLIC STORM SEWER.

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**PARKER COLORADO** **MANHOLE COVER STANDARD DETAIL** **DATE NOVEMBER 2020** **DETAIL 33** **1 OF 1**

**811 Know what's Below. Call before you dig.**  
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972.956.9860

**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
PARKER  
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
DETAILS

DATE: 2025-09-24

REVISIONS:

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CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: #  
SHEET NO. **C7.00**

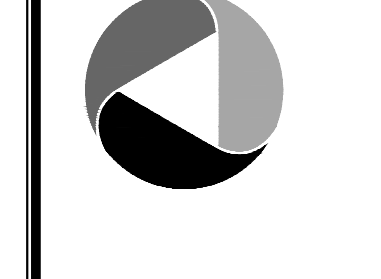


**Know what's below. Call before you dig.**  
 THE LOCATIONS OF EXISTING UTILITY UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND SHOULD NOT BE CONSIDERED AS A GUARANTEE OF ACCURACY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE COMMENCING ANY WORK. ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE USER SHALL BE THE USER'S RESPONSIBILITY AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE USER SHALL BE THE USER'S RESPONSIBILITY AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 EROSION CONTROL DETAILS

DATE: 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO:

C8.00

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.
- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
  - THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LARSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
  - ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
  - THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
  - THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
  - THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (o.n.r.), CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
  - THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
  - IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
  - AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
  - AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
    - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
    - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
    - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

**Town of Parker COLORADO** | **CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **GEN NOTES** 1 OF 4 Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.
- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
  - ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
  - THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
  - BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
  - ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
  - ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
  - ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
  - ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
  - THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
  - ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
  - NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
  - ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
  - THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
  - A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

**Town of Parker COLORADO** | **CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **GEN NOTES** 2 OF 4 Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-B-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
  - THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
  - VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
  - ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
  - HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
  - APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
  - GRADING SECURITY RELEASE REQUIREMENTS:
    - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
      - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
      - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
      - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
      - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
      - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
      - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
      - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
      - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
      - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
    - NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
      - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
      - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
      - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
      - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
      - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
      - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
      - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
      - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
      - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
      - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.

**Town of Parker COLORADO** | **CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **GEN NOTES** 3 OF 4 Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.
- |  |       |  |
|--|-------|--|
|  | CD    | CHECK DAM  |
|  | CF    | CONSTRUCTION FENCE                               |
|  | CP    | CULVERT PROTECTION                               |
|  | CWA   | CONCRETE WASHOUT AREA                            |
|  | D     | DEWATERING                                       |
|  | DD    | DIVERSION DITCH                                  |
|  | DP    | DETENTION POND PROTECTION                        |
|  | DTC   | DEBRIS TRASH CONTROL                             |
|  | ECB   | EROSION CONTROL BLANKET                          |
|  | IPAN  | INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT |
|  | IPAP  | INLET PROTECTION FOR AREA INLETS IN PAVEMENT     |
|  | IPCOG | INLET PROTECTION, CURB ON-GRADE, TYPE R INLET    |
|  | IPCOS | INLET PROTECTION, CURB ON SUMP, TYPE R INLET     |

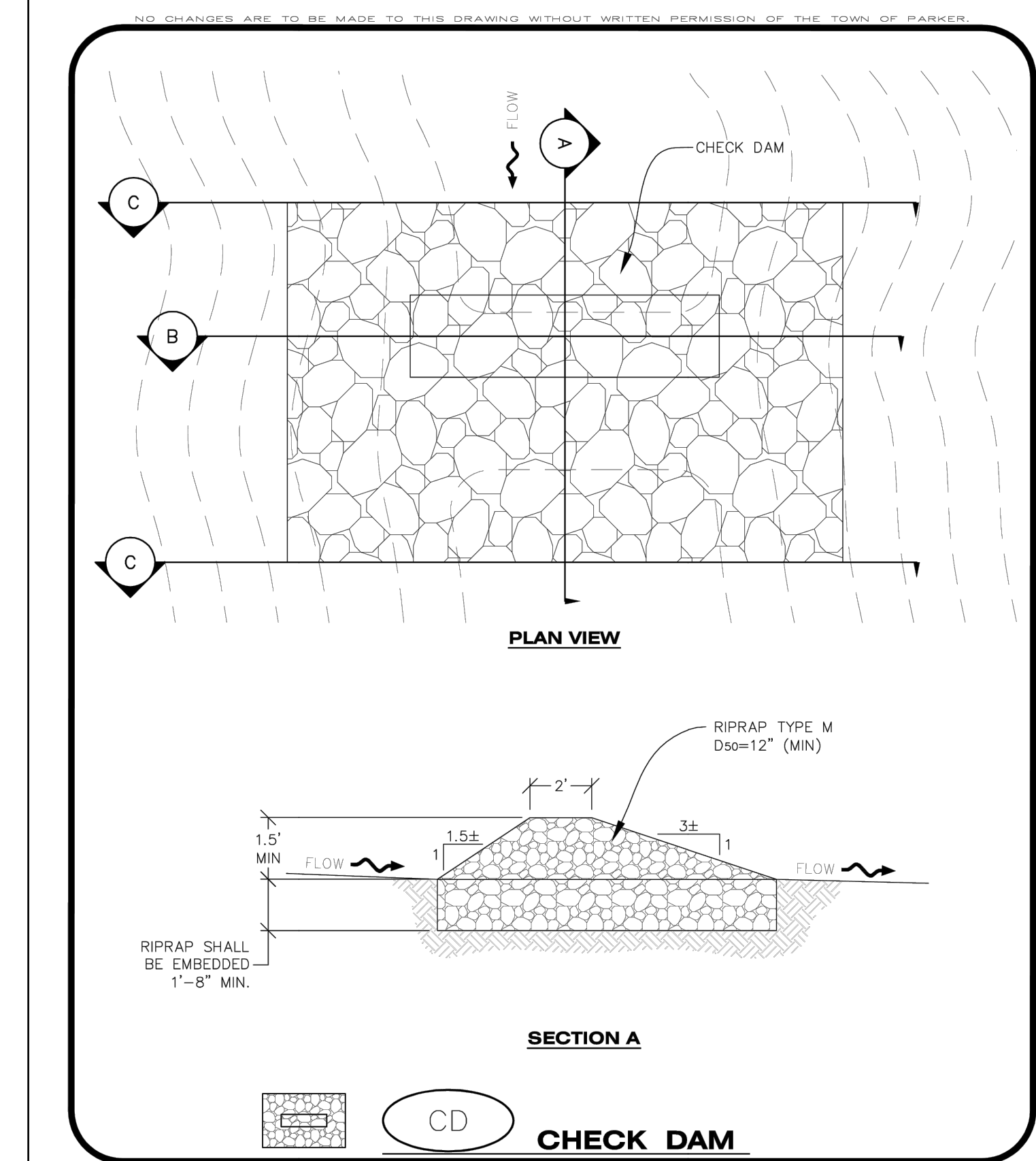
**Town of Parker COLORADO** | **CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **LEGEND** 1 OF 3 Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.
- |  |      |                                |
|--|------|--------------------------------|
|  | LP   | LOT PROTECTION                 |
|  | MWP  | MASONRY WORK PROTECTION        |
|  | PTP  | PORTABLE TOILET PROTECTION     |
|  | RCSC | ROUGH CUT STREET CONTROL       |
|  | RS   | ROCK SOCK                      |
|  | RSS  | ROCK SOCK IN SWALE             |
|  | SB   | STRAW BALE                     |
|  | SCL  | SEDIMENT CONTROL LOGS          |
|  | SF   | SILT FENCE                     |
|  | SMC  | SEEDING, MULCHING AND CRIMPING |
|  | SR   | SURFACE ROUGHING               |
|  | SSA  | STABILIZED STAGING AREA        |
|  | STP  | SIDEWALK TRANSITION PROTECTION |

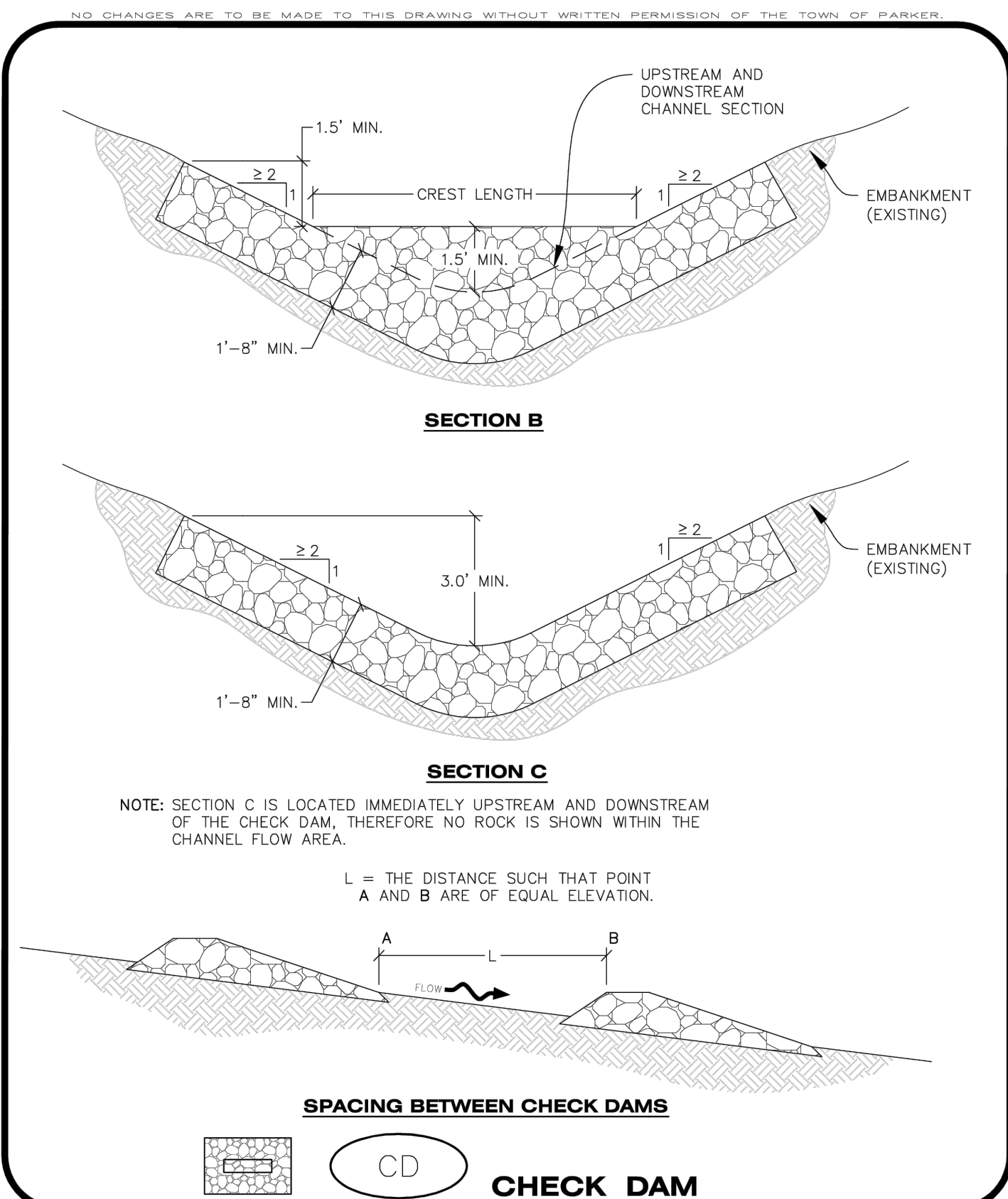
**Town of Parker COLORADO** | **CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **LEGEND** 2 OF 3 Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.
- |  |     |                          |
|--|-----|--------------------------|
|  | TI  | TEMPORARY IRRIGATION     |
|  | TSB | TEMPORARY SEDIMENT BASIN |
|  | VTC | VEHICLE TRACKING CONTROL |

**Town of Parker COLORADO** | **CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **LEGEND** 3 OF 3 Oct. 2013



**Town of Parker COLORADO** | **CBMP** | CONSTRUCTION BEST MANAGEMENT PRACTICES | **CD** 1 OF 3 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CD**  
 2 OF 3  
 Oct. 2013

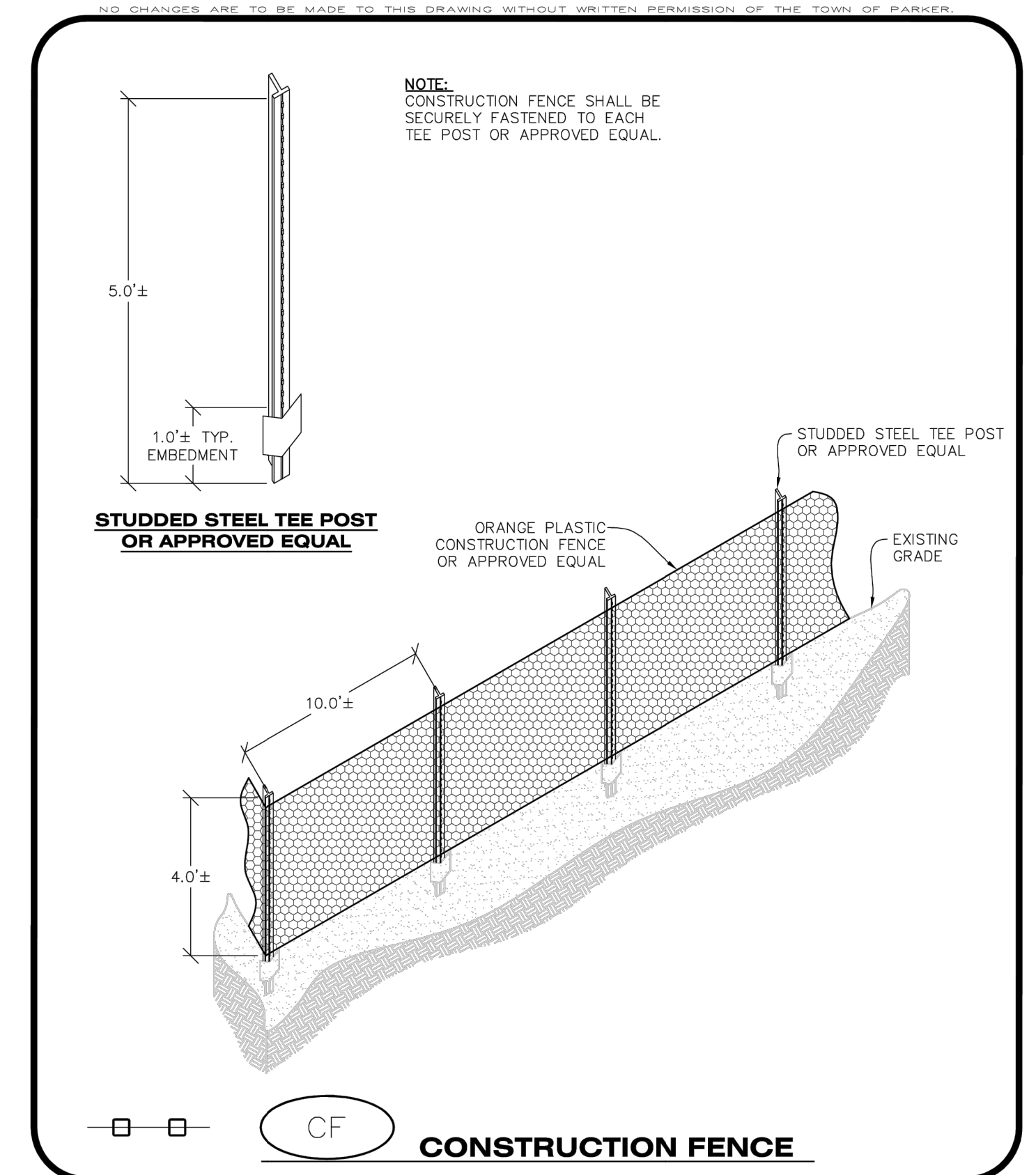
**CHECK DAM INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
- CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
- RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
- RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
- THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

**CHECK DAM INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CD**  
 3 OF 3  
 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CF**  
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 Oct. 2013

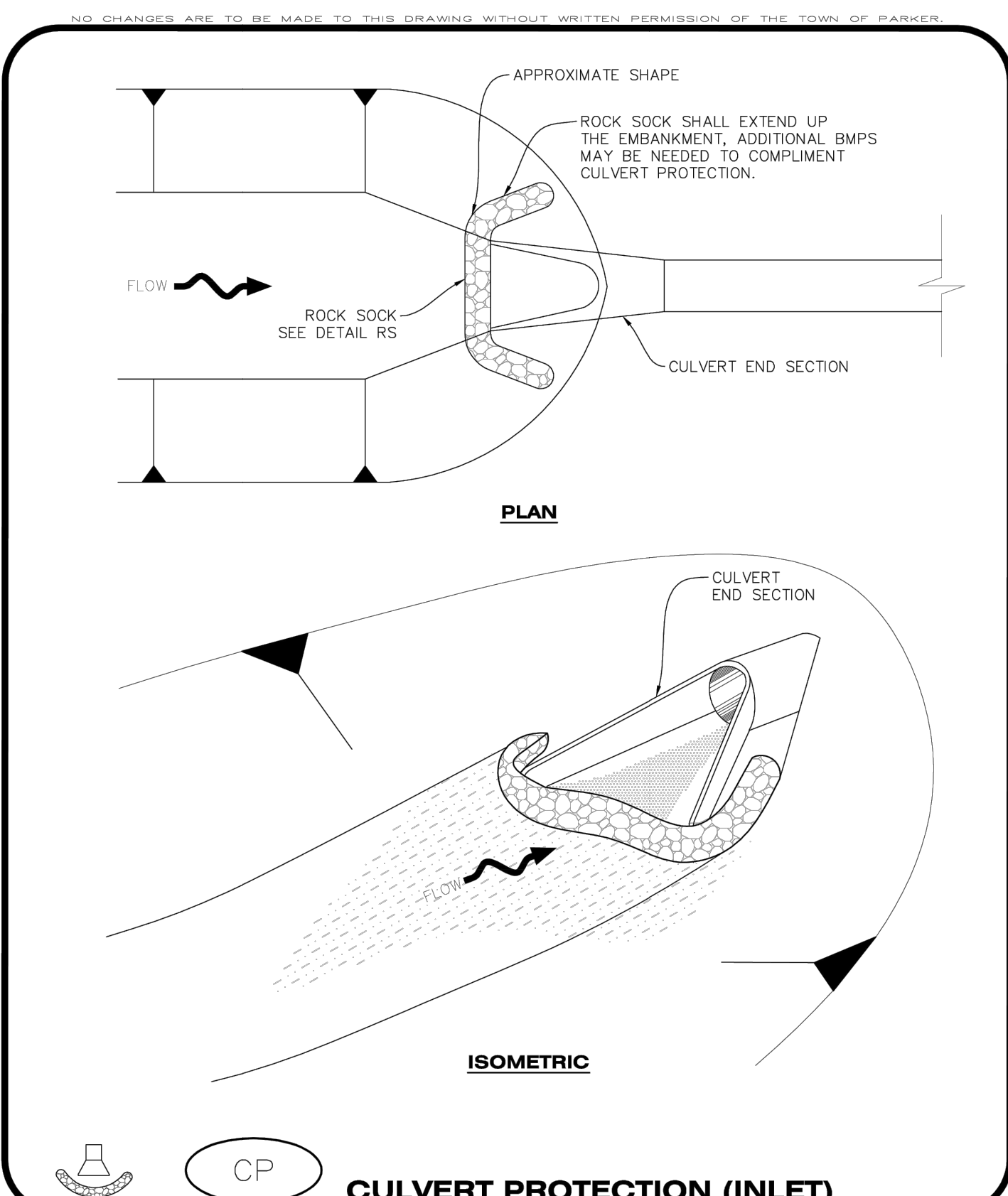
**CONSTRUCTION FENCE INSTALLATION NOTES**

- THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

**CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
- CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CF**  
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 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CP**  
 1 OF 2  
 Oct. 2013

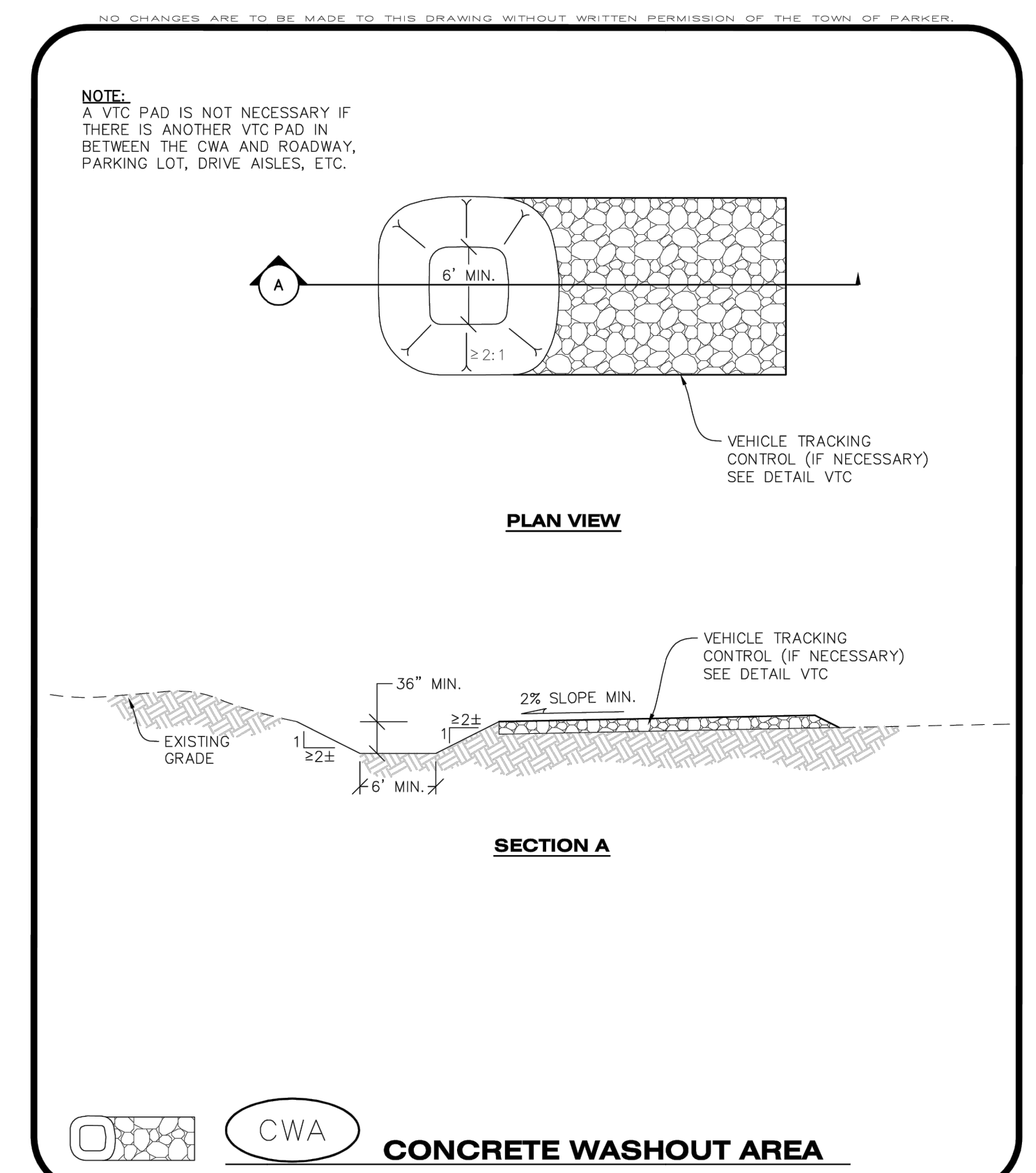
**CULVERT PROTECTION (INLET) INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
- ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

**CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
- AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
- CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CP**  
 2 OF 2  
 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CWA**  
 1 OF 2  
 Oct. 2013

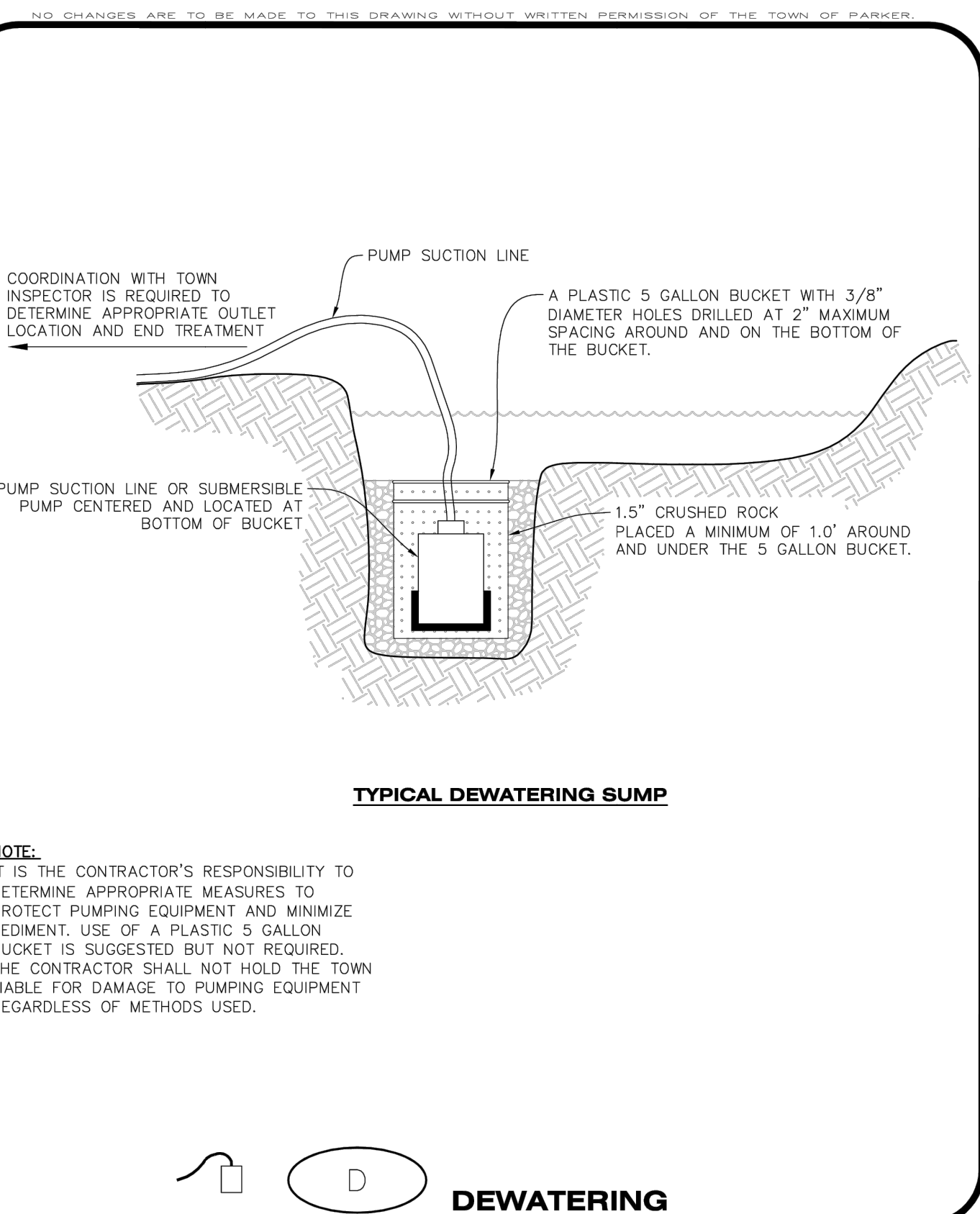
**CONCRETE WASHOUT AREA INSTALLATION NOTES**

- CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
- IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

**CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
- CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
- CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
- CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CWA**  
 2 OF 2  
 Oct. 2013



**TYPICAL DEWATERING SUMP**

**NOTE:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE APPROPRIATE MEASURES TO PROTECT PUMPING EQUIPMENT AND MINIMIZE SEDIMENT. USE OF A PLASTIC 5 GALLON BUCKET IS SUGGESTED BUT NOT REQUIRED. THE CONTRACTOR SHALL NOT HOLD THE TOWN LIABLE FOR DAMAGE TO PUMPING EQUIPMENT REGARDLESS OF METHODS USED.

**DEWATERING**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**D** 1 OF 2 Oct. 2013

**DEWATERING INSTALLATION NOTES**

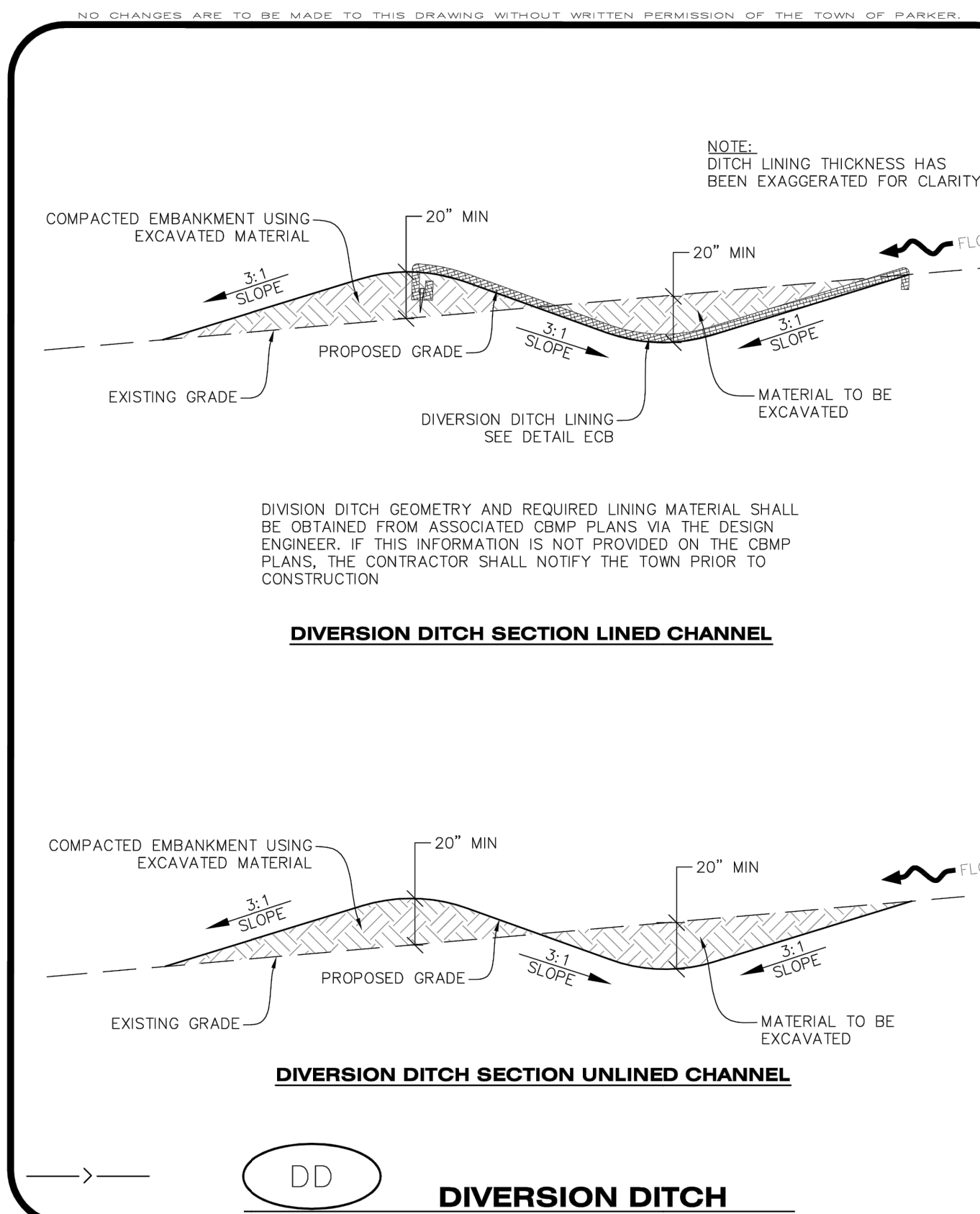
- IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

**DEWATERING MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**D** 2 OF 2 Oct. 2013



**DIVERSION DITCH SECTION LINED CHANNEL**

**DIVERSION DITCH SECTION UNLINED CHANNEL**

**DIVERSION DITCH**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**DD** 1 OF 2 Oct. 2013

**DIVERSION DITCH INSTALLATION NOTES**

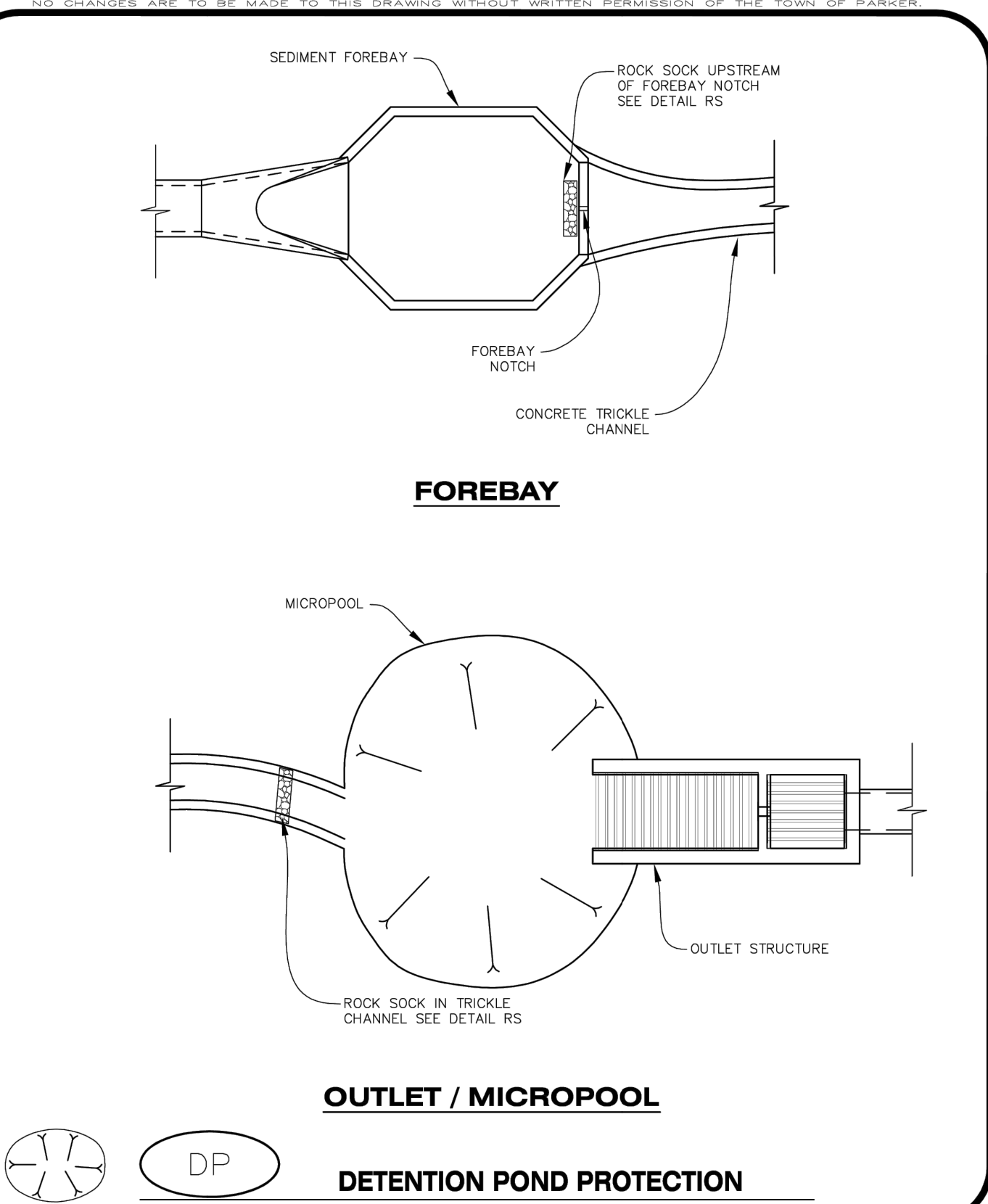
- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
- A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
- ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
- THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
- THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

**DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
- DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
- DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**DD** 2 OF 2 Oct. 2013



**FOREBAY**

**OUTLET / MICROPOOL**

**DETENTION POND PROTECTION**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**DP** 1 OF 2 Oct. 2013

**DETENTION POND PROTECTION INSTALLATION NOTES**

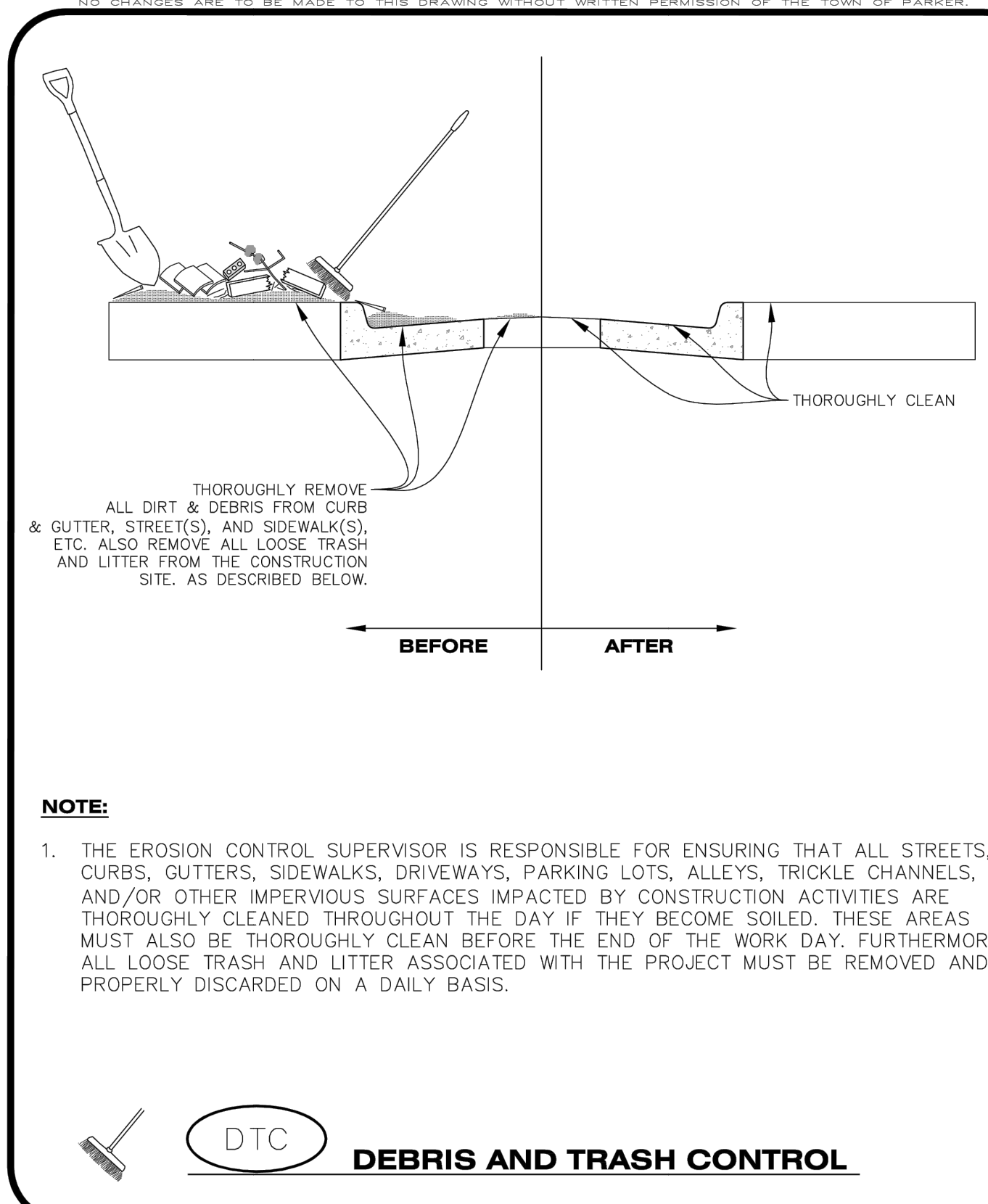
- DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

**DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
- OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**DP** 2 OF 2 Oct. 2013



**DEBRIS AND TRASH CONTROL**

**NOTE:**  
1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY. FURTHERMORE, ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**DTC** 1 OF 2 Oct. 2013

**DEBRIS CONTROL NOTES:**

- A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
- ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
- ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**DTC** 2 OF 2 Oct. 2013

**811**  
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
EROSION CONTROL DETAILS

DATE: 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: #  
SHEET NO.: C8.02

FILE NAME: \\TOWN\CAD\CAD\2025\198 - 080 - EROSION CONTROL DETAILS\24003198 - 080 - EROSION CONTROL DETAILS.dwg LAST SAVED BY: Sarwar, K. 2/28/2025 1:57 PM PLOTTED BY: Sarwar, K. 2/28/2025 1:57 PM PLOTTER: HP DesignJet 5000 Series 44" x 36" (1118 x 914 mm) PLOT SCALE: 1:1



**Know what's below. Call before you dig.**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR OR OTHERS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURE, OR OF ANY OTHER PERSONS.  
 NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE WORK OF ANY NEARBY STRUCTURE, OR OF ANY OTHER PERSONS.  
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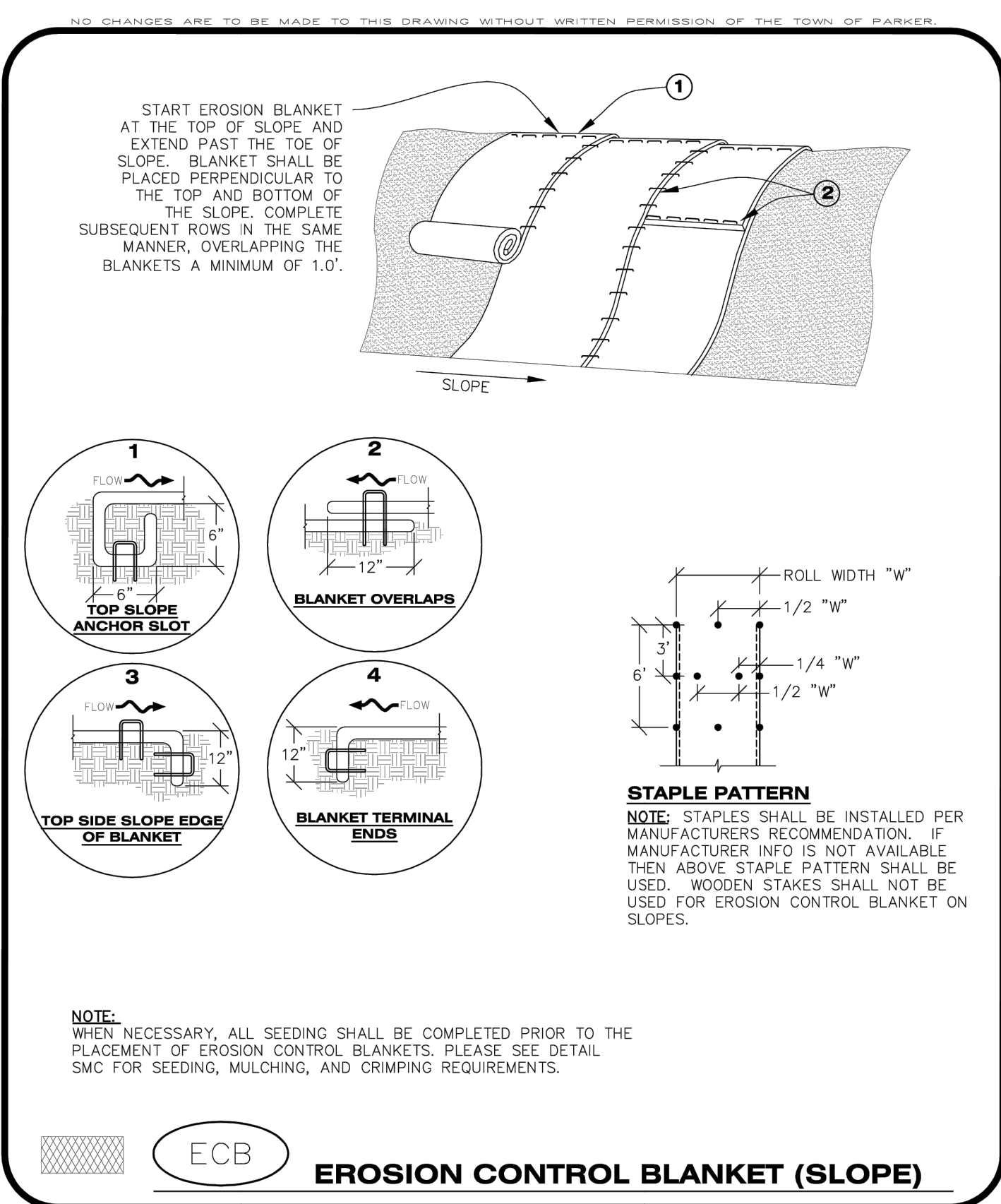
LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
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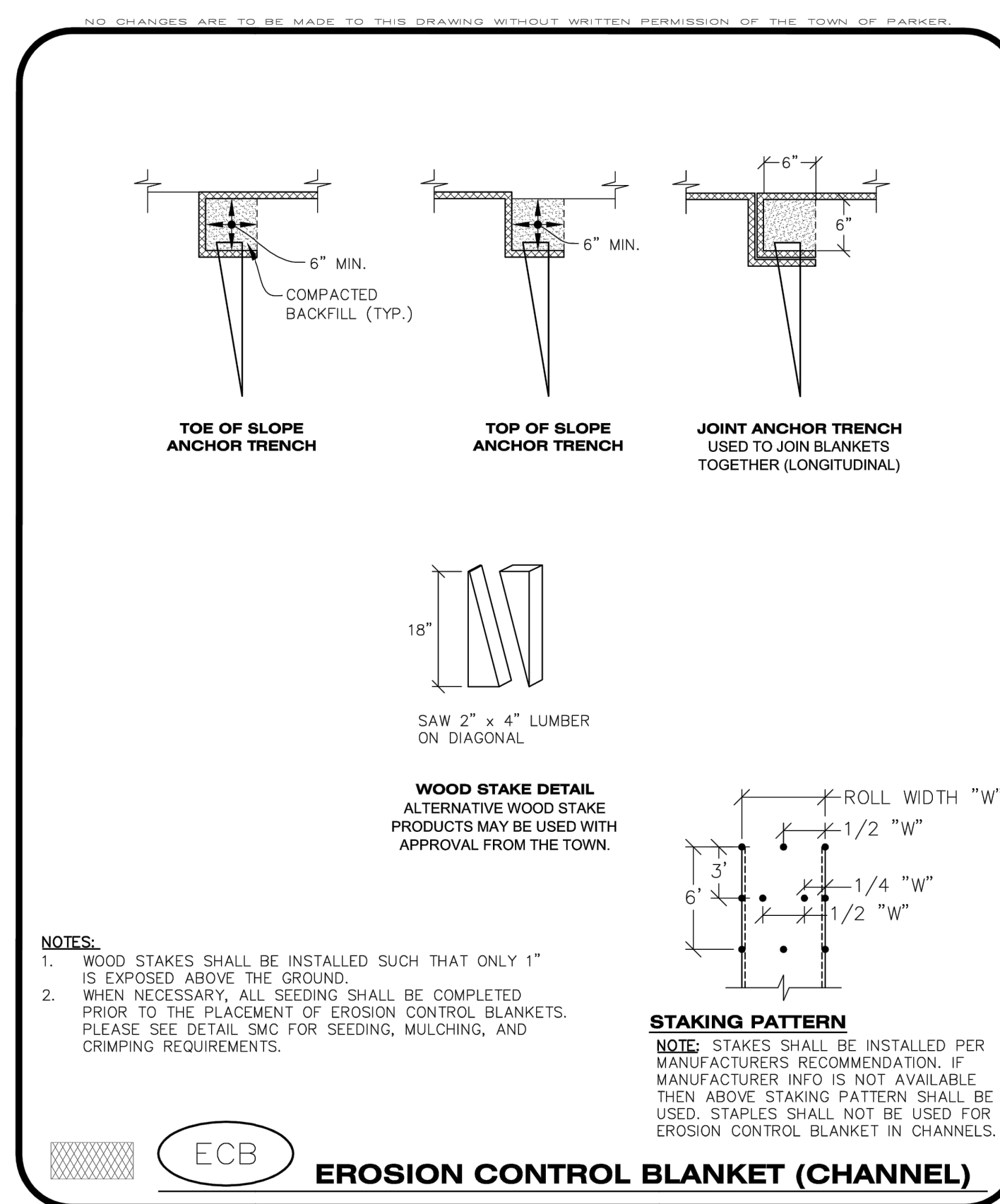
DATE 2025-09-24

REVISIONS

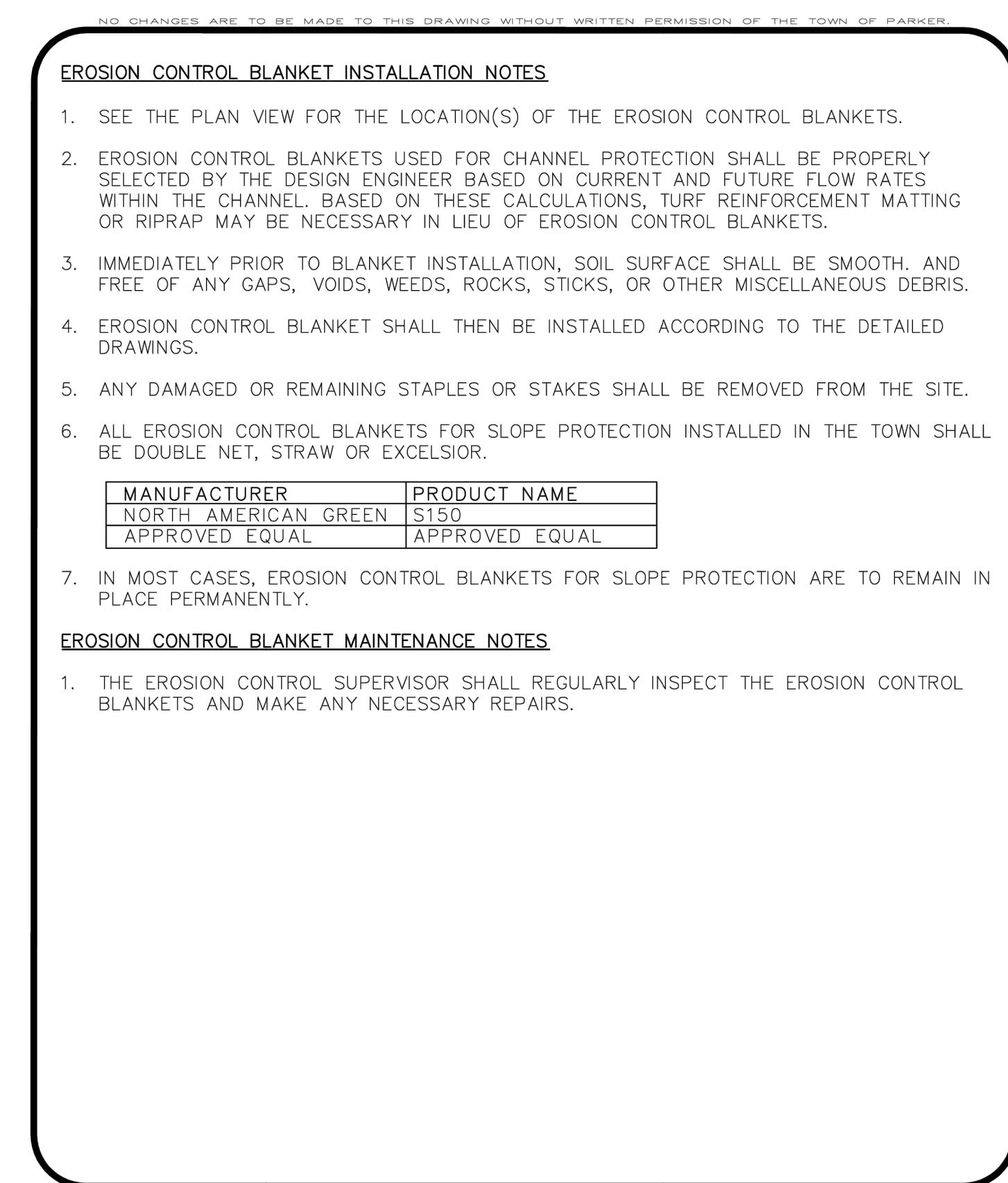
DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO: C8.03



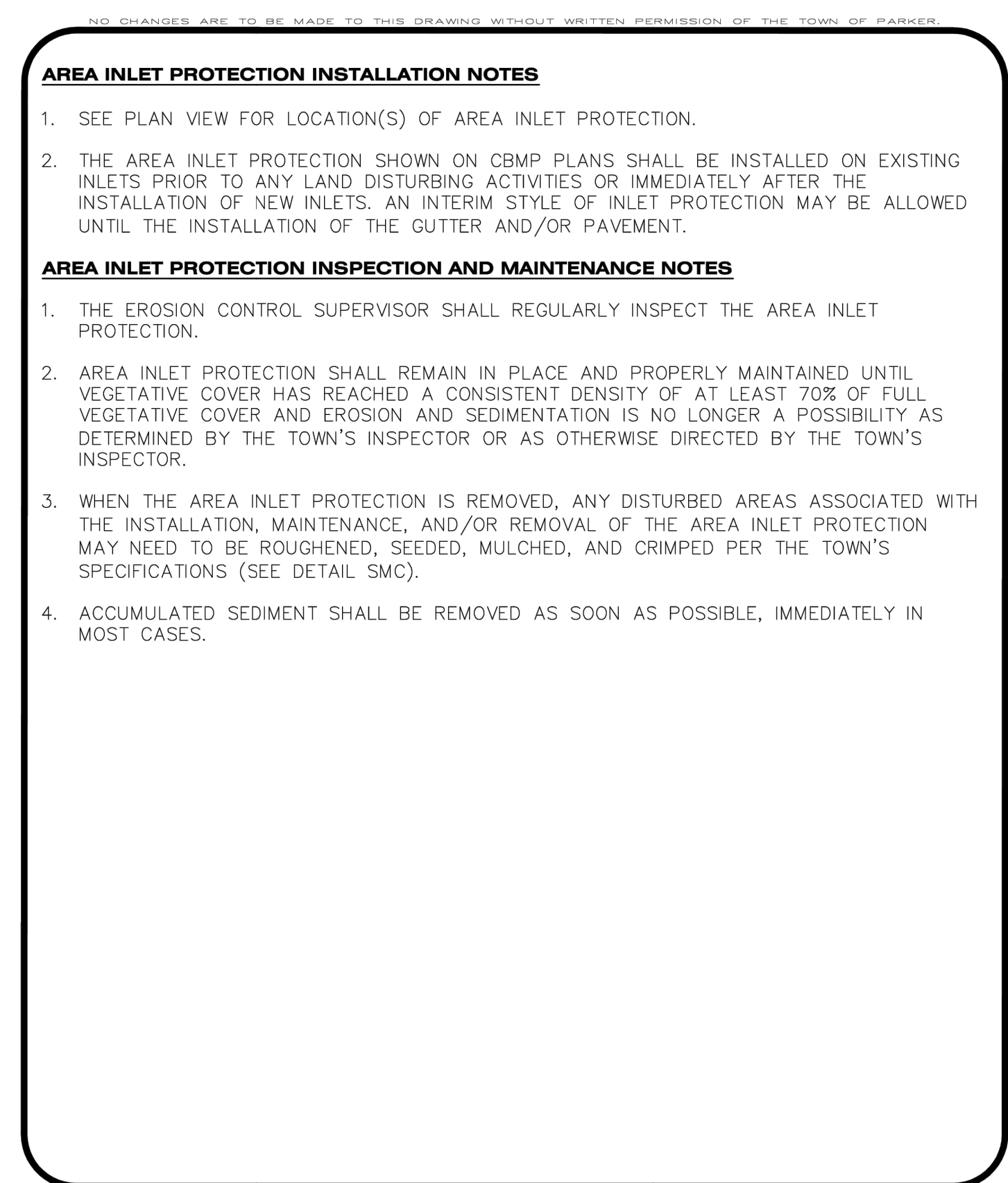
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **ECB** 1 OF 3 Oct. 2013



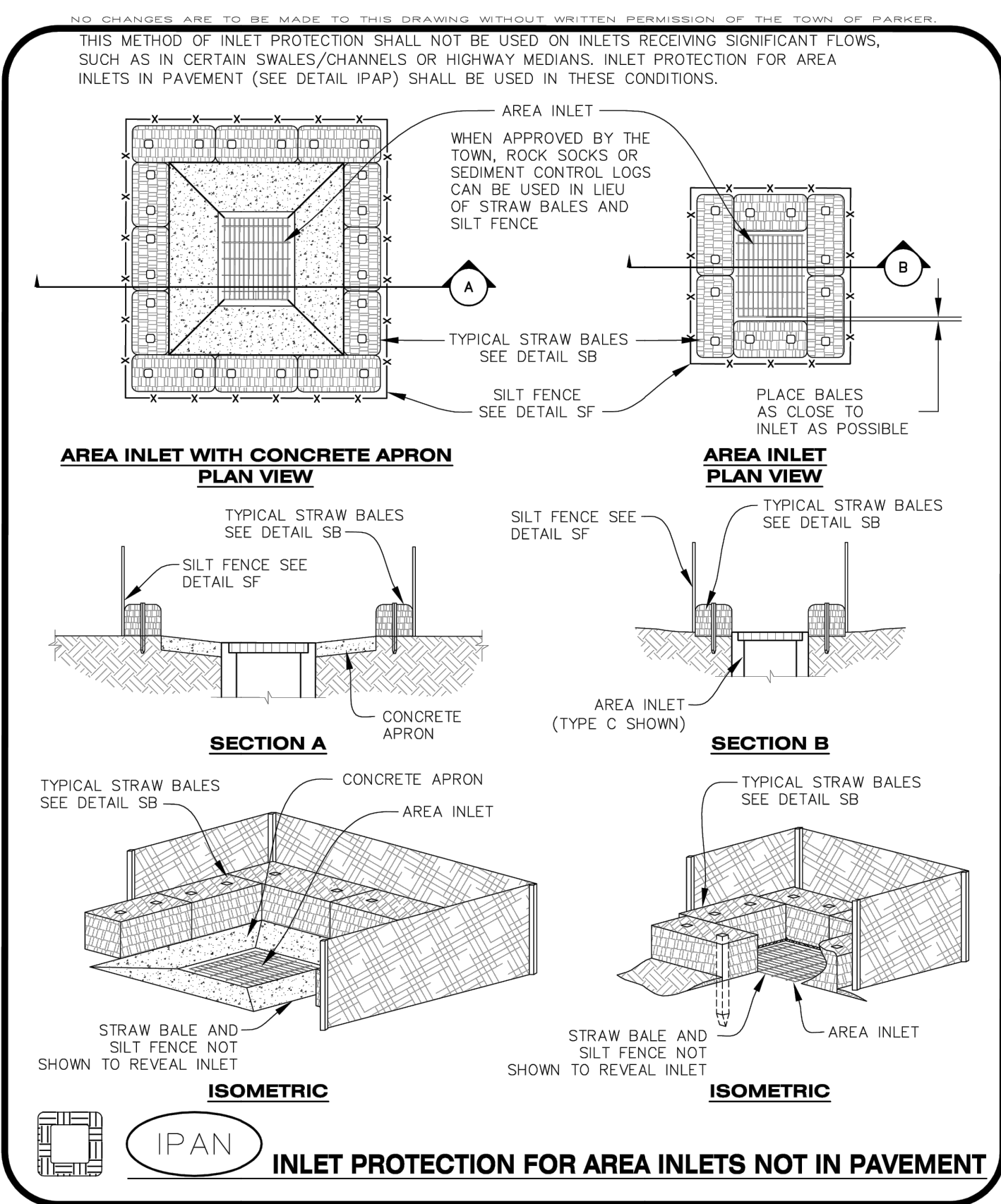
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **ECB** 2 OF 3 Oct. 2013



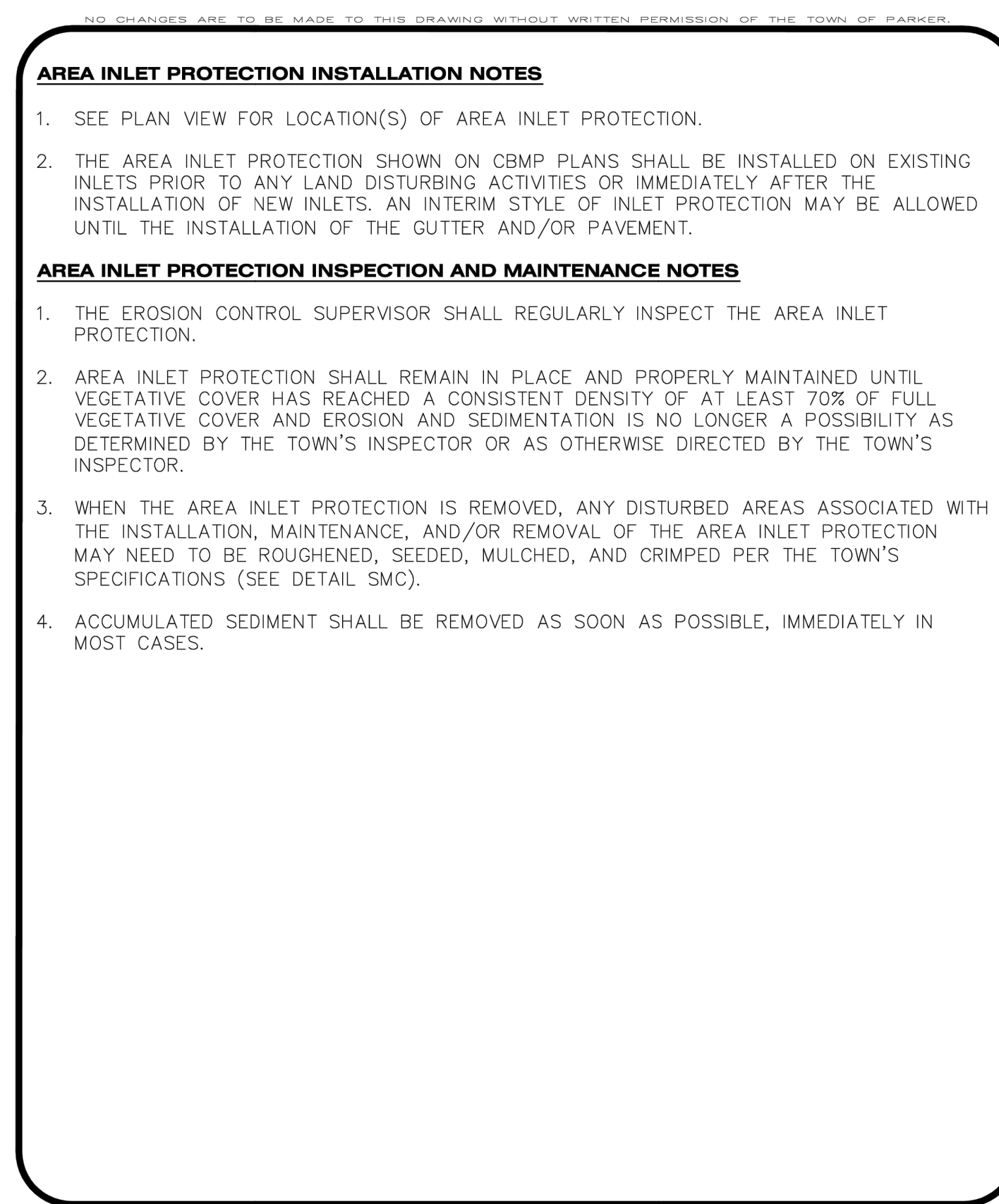
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **ECB** 3 OF 3 Oct. 2013



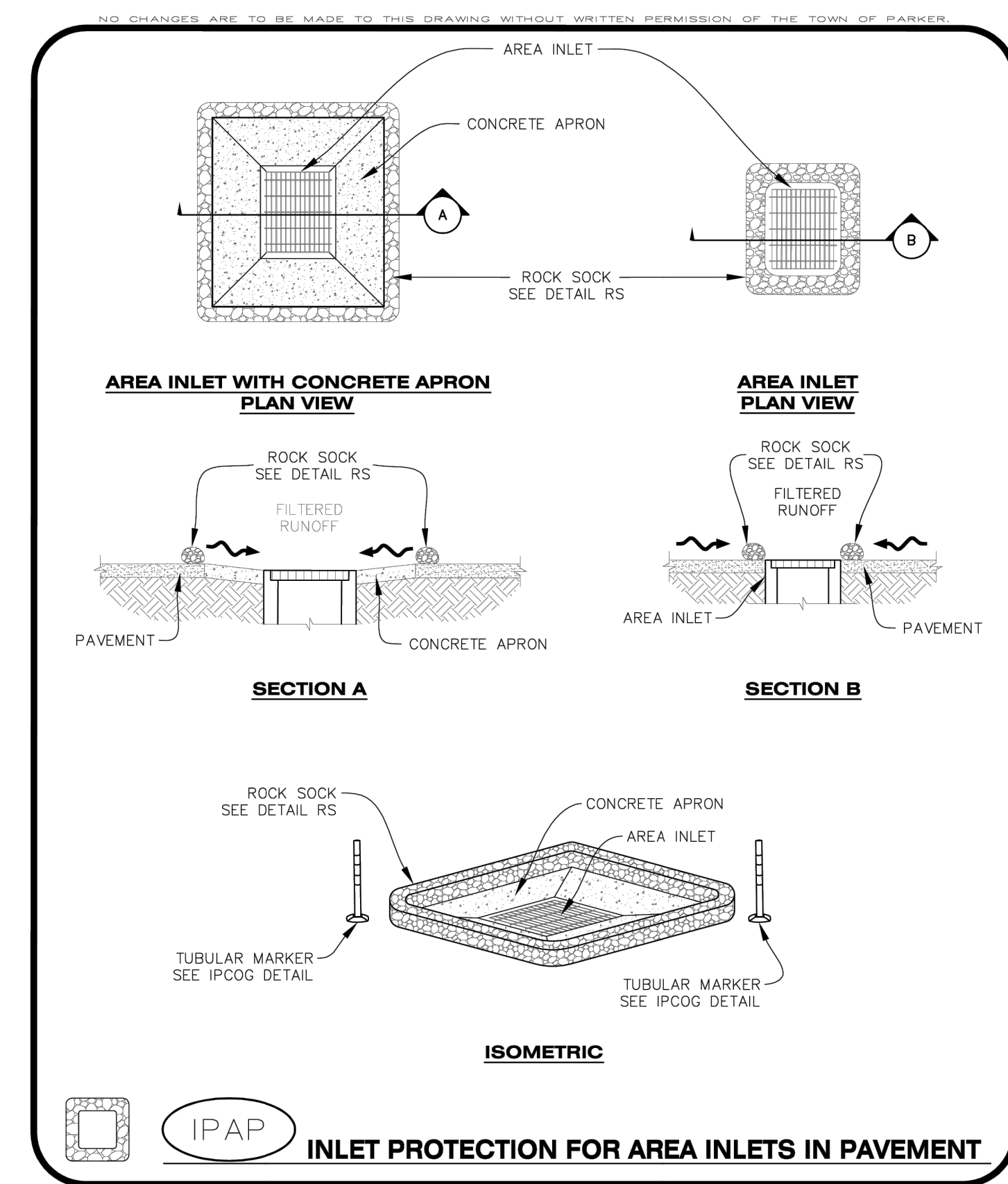
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPA** 1 OF 1 Oct. 2013



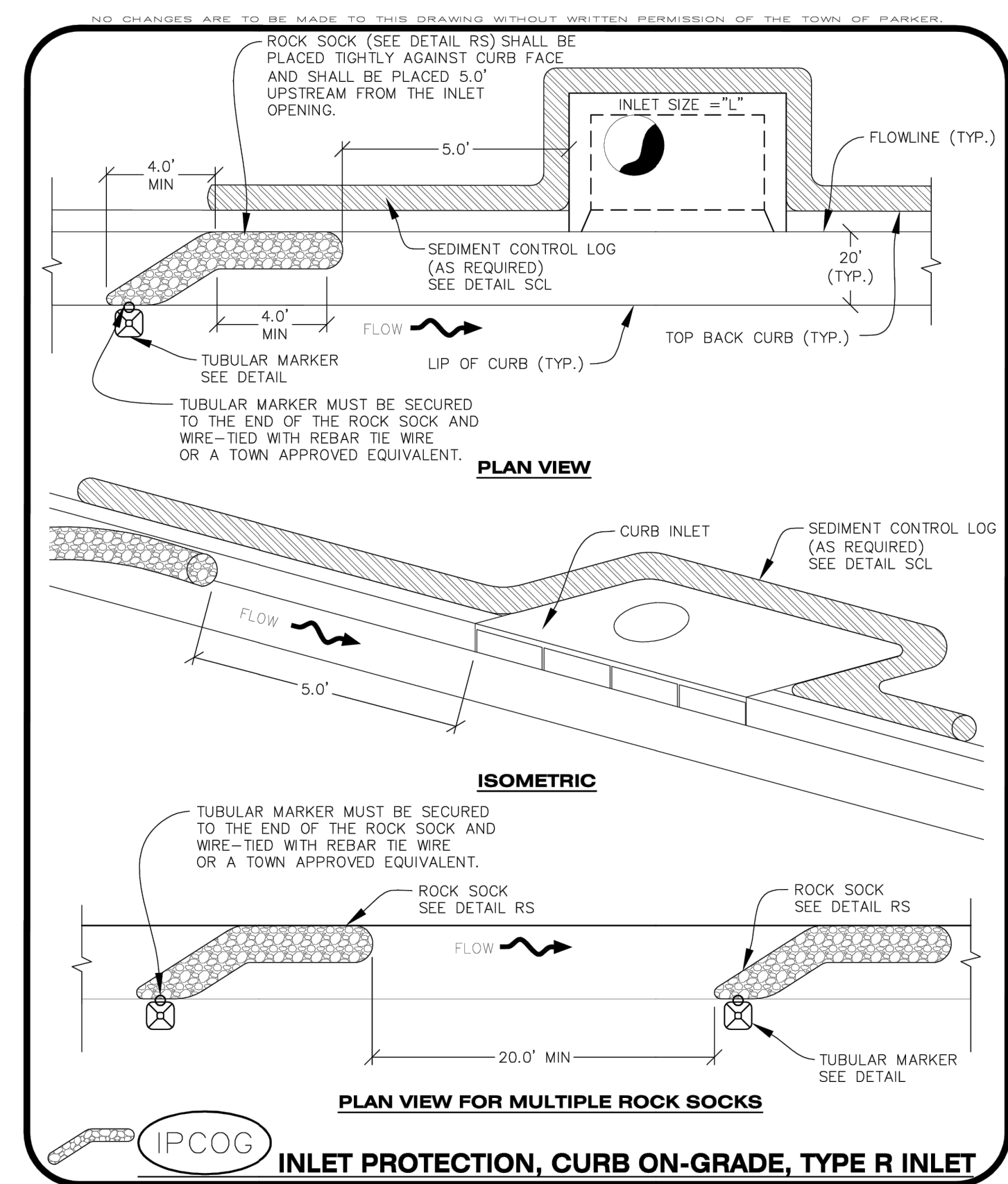
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPAN** 1 OF 1 Oct. 2013



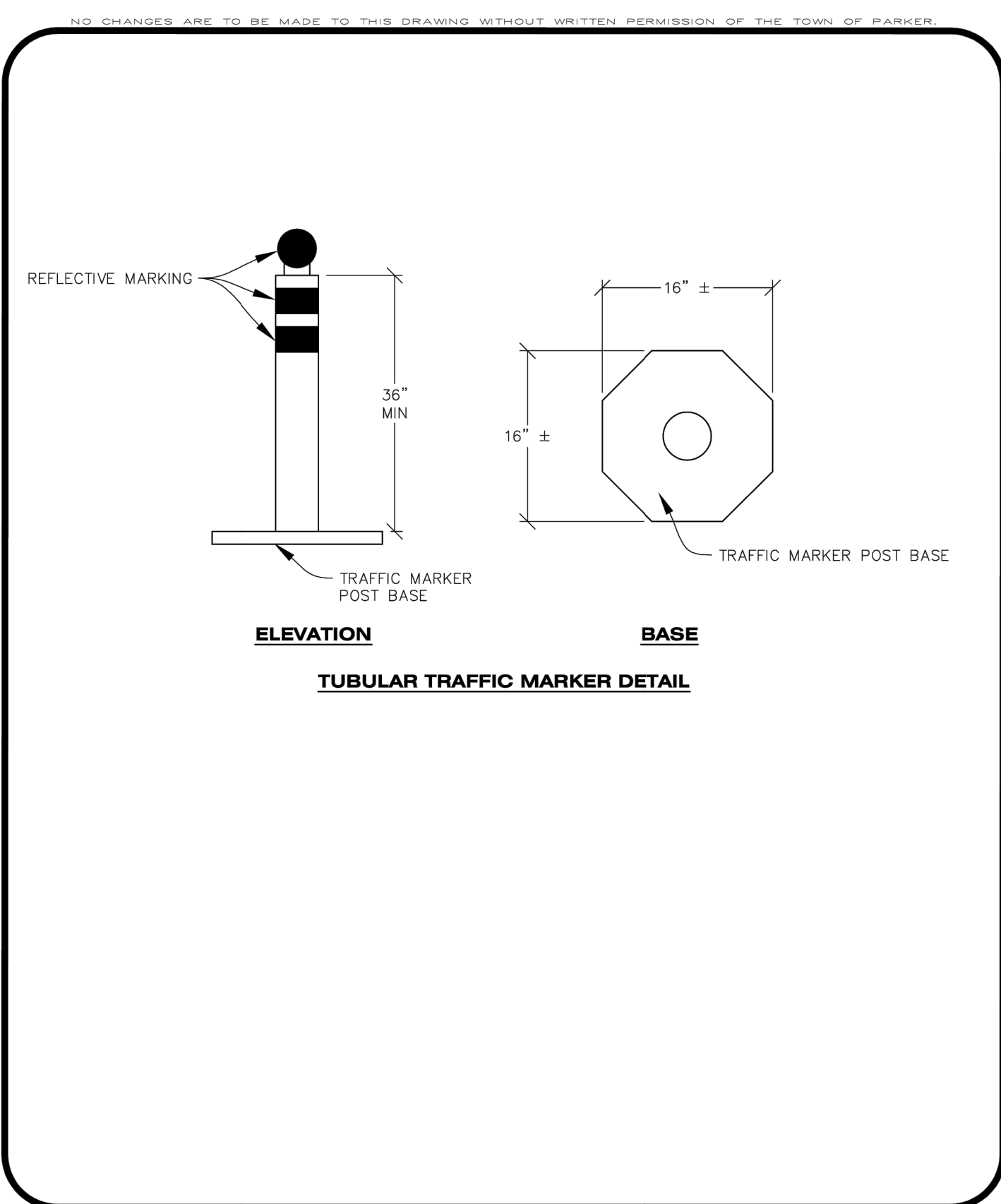
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPA** 1 OF 1 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPAP** 1 OF 1 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPCOG** 1 OF 3 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG** 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES**

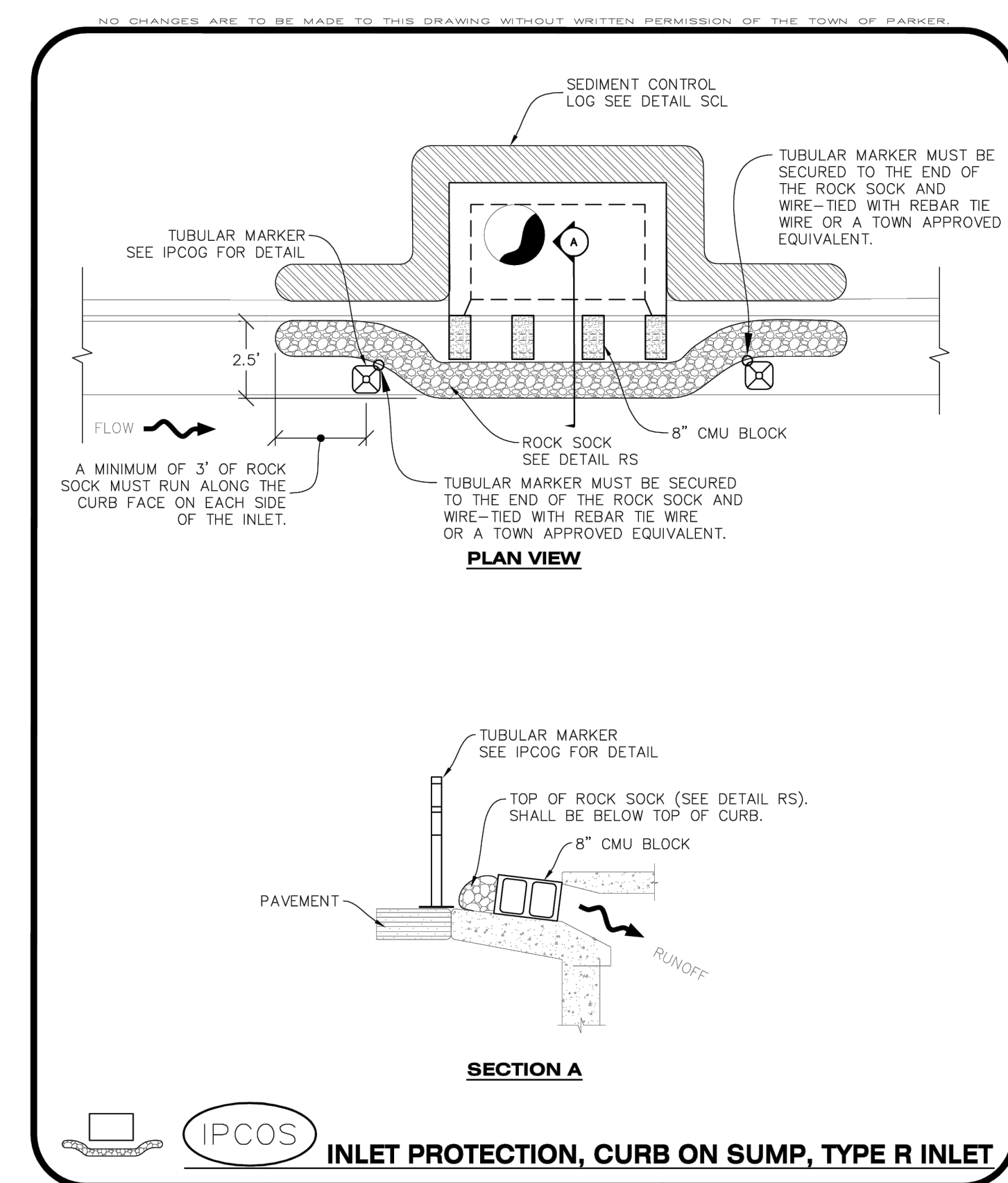
- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

**ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG** 3 OF 3 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CURB INLET PROTECTION INSTALLATION NOTES**

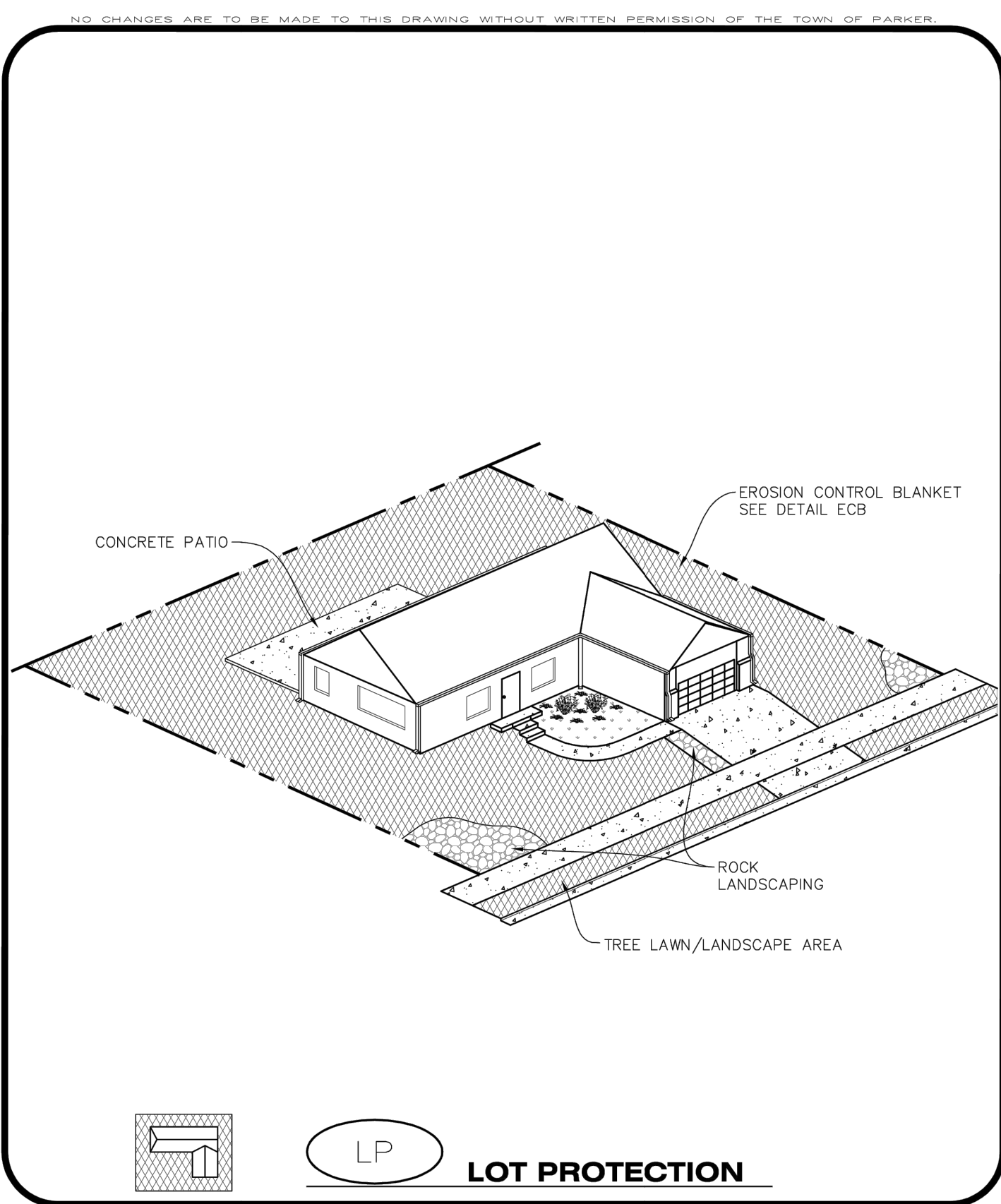
- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

**CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG** 2 OF 2 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**LP** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES**

- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN APPROVED EQUAL	S150 BN APPROVED EQUAL

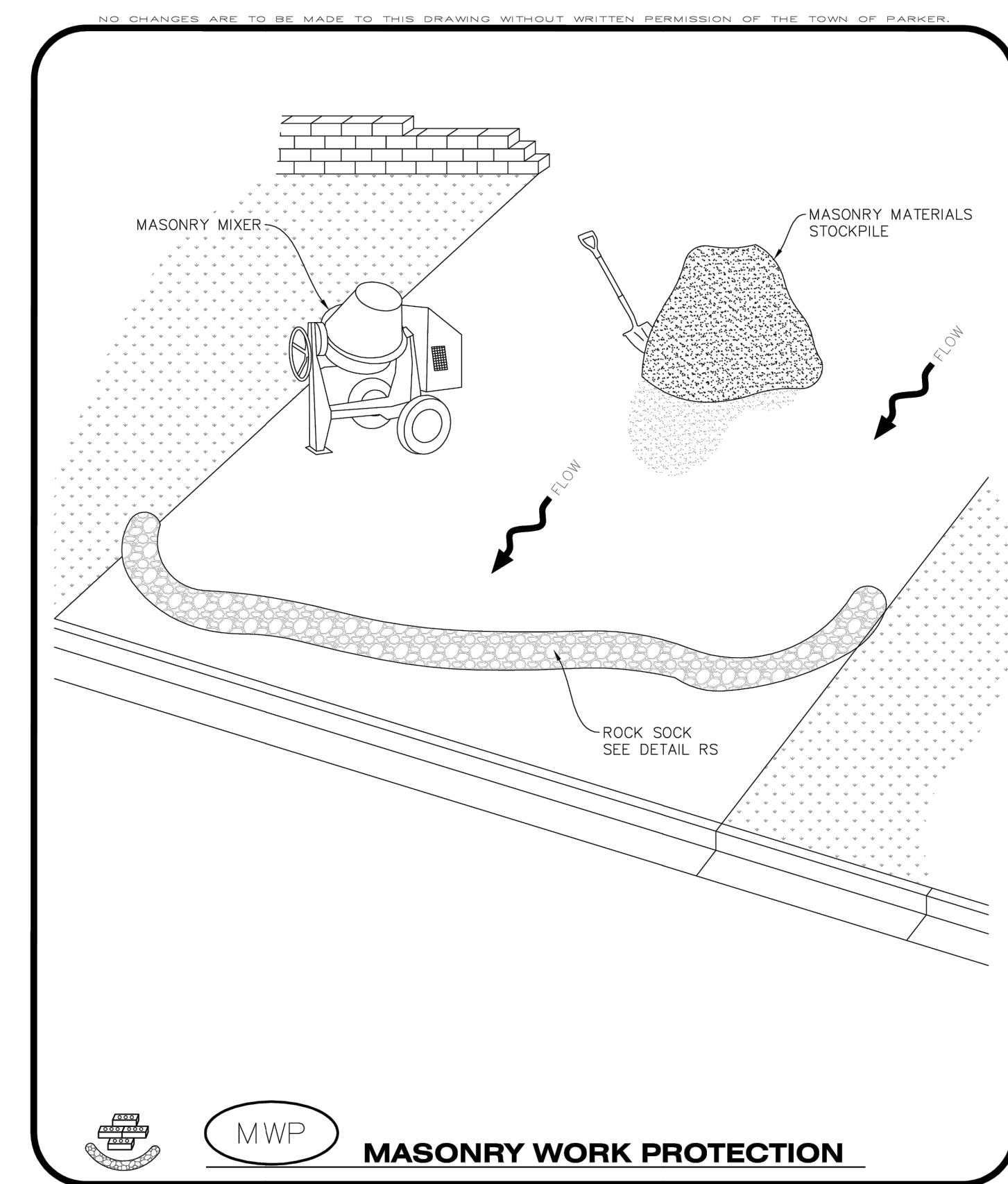
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
  - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
  - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADE EDGES BEING PLACED ON TOP OF THE DOWN-GRADE EDGE OF THE ADJACENT BLANKET.
  - THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
  - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
- ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.
- THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

**EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
- EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**LP** 2 OF 2 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**MWP** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**MASONRY WORK PROTECTION INSTALLATION NOTES**

- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.

**MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**MWP** 2 OF 2 Oct. 2013

**811** Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND SHOULD NOT BE CONSIDERED AS A GUARANTEE. THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:** CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES OR INJURIES TO PERSONS OR PROPERTY ARISING FROM THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

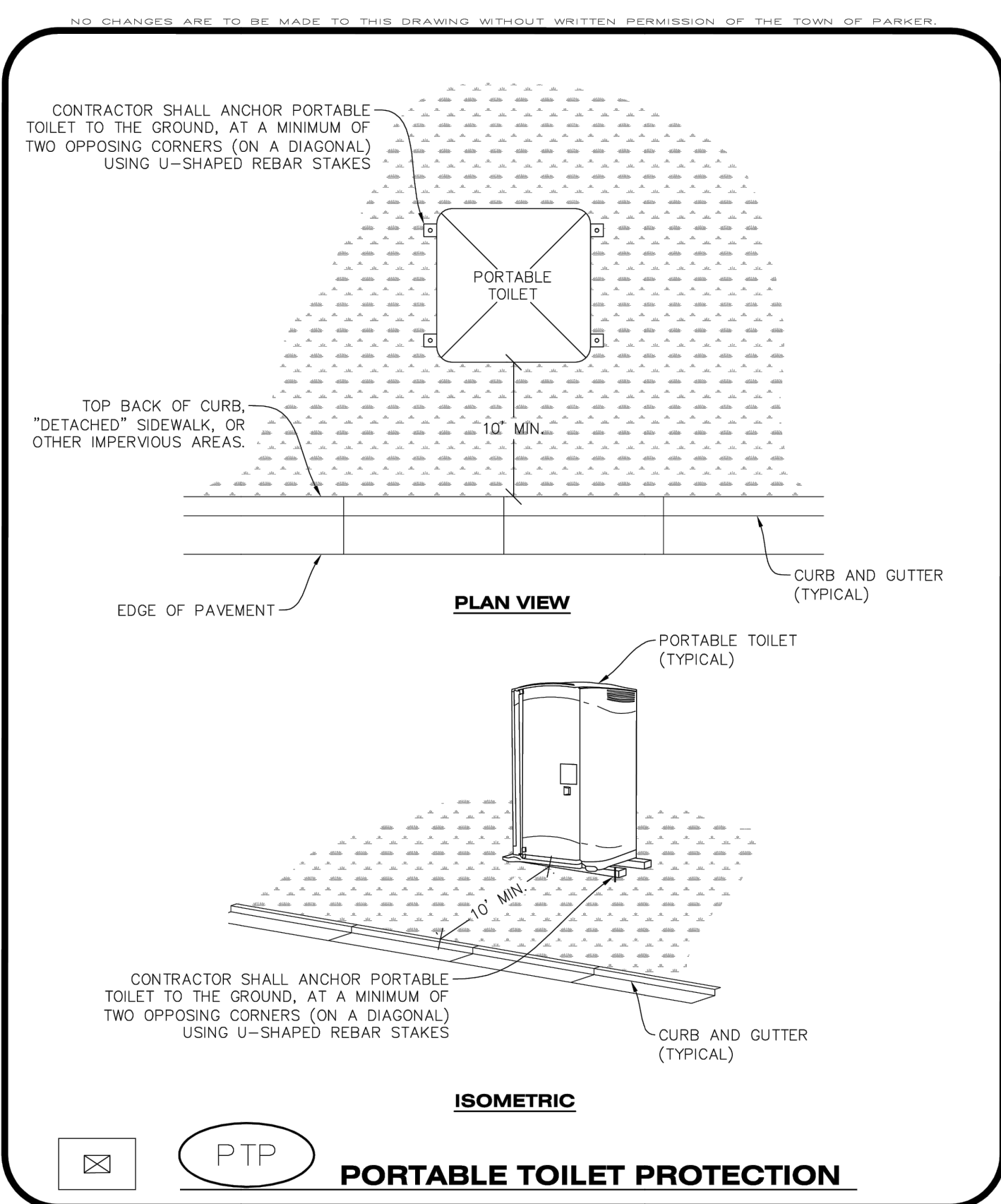
**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
EROSION CONTROL DETAILS

DATE: 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. C8.04

CAD FILE: 24003198 - CB01 EROSION DETAILS



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**PTP** 1 OF 2 Oct. 2013

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**PORTABLE TOILET PROTECTION INSTALLATION NOTES**

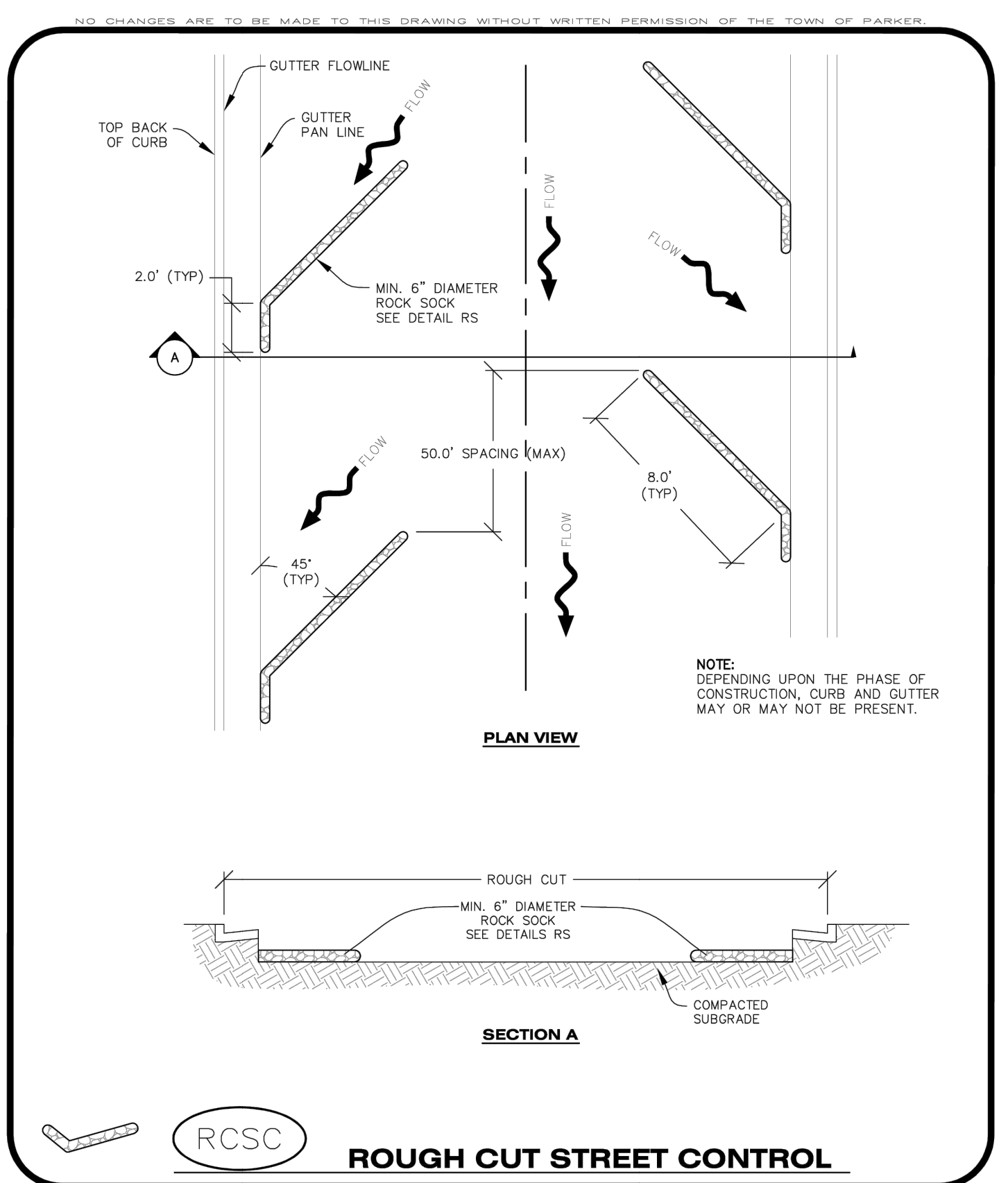
1. PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
2. ALL PORTABLE TOILETS MUST BE GROUPED TOGETHER.
3. PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES.
4. U-SHAPED REBAR STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSING (DIGITAL) CORNERS.

**PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES**

2. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
3. PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
4. WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
5. PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED IN ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLUSTERED TOGETHER, IN ONE CENTRALIZED LOCATION IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**PTP** 2 OF 2 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**RCSC** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**ROUGH CUT STREET CONTROL INSTALLATION NOTES**

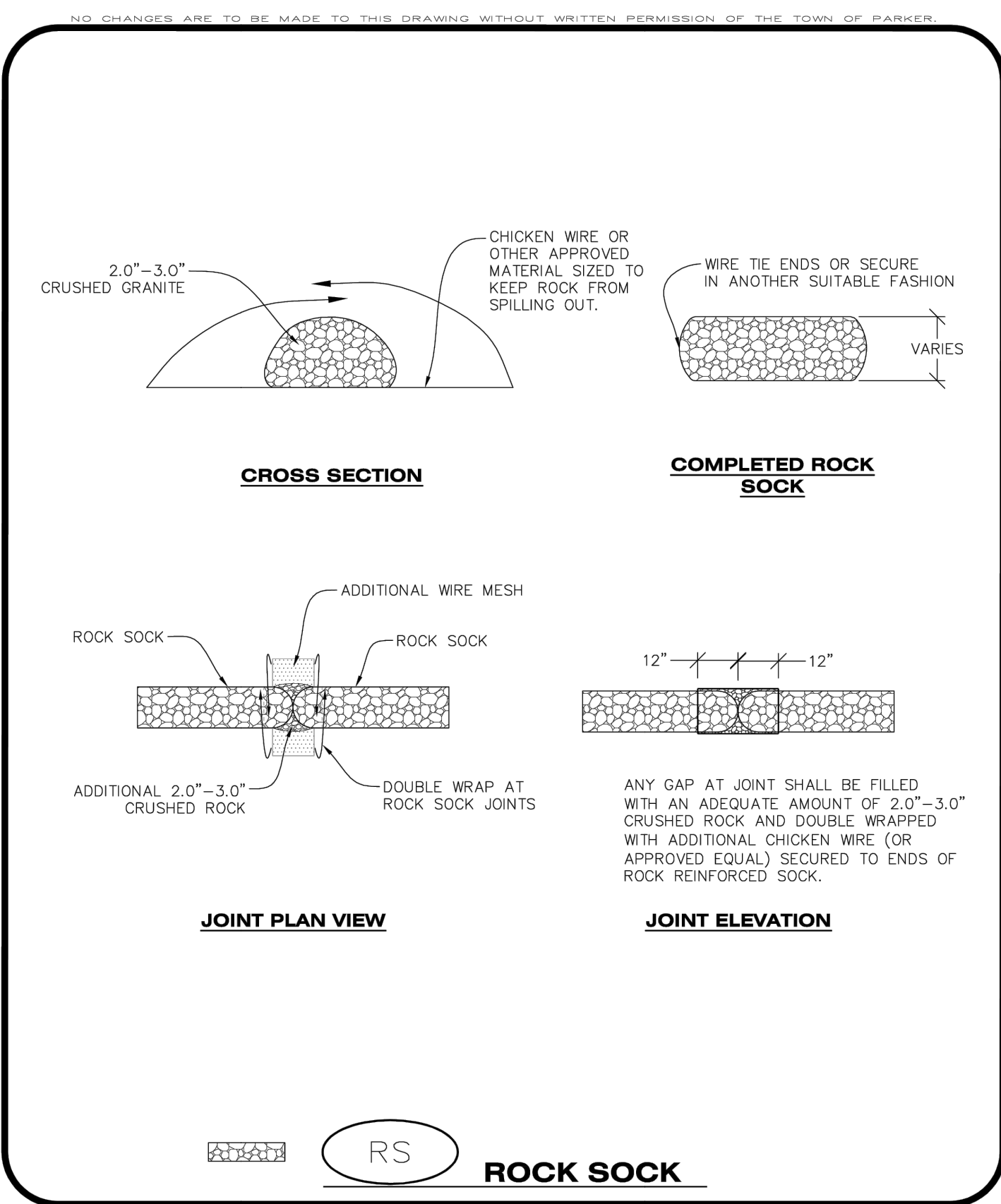
1. SEE CBMP PLAN FOR LOCATION(S) OF ROUGH CUT STREET CONTROL.
2. THE SPACING OF THE ROUGH CUT STREET CONTROL MAY BE DETERMINED BY THE DESIGN ENGINEER AND SHOWN ON THE CBMP PLAN.

**ROUGH CUT STREET CONTROL INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROUGH CUT STREET CONTROL.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
3. ROUGH CUT STREET CONTROL SHALL BE REPAIRED IMMEDIATELY FOLLOWING ANY SIGN OF WEAR OR ALTERATION OF THE ORIGINAL SHAPE AND DIMENSIONS.
4. ROUGH CUT STREET CONTROL SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL SUB-GRADE PREPARATION BEGINS FOR PAVING. AT THAT POINT, THE RCSC SHOULD BE REMOVED IN INCREMENTS BASED ON SUBGRADE PREPARATION.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**RCSC** 2 OF 2 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**RS** 1 OF 2 Oct. 2013

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**ROCK SOCK INSTALLATION NOTES**

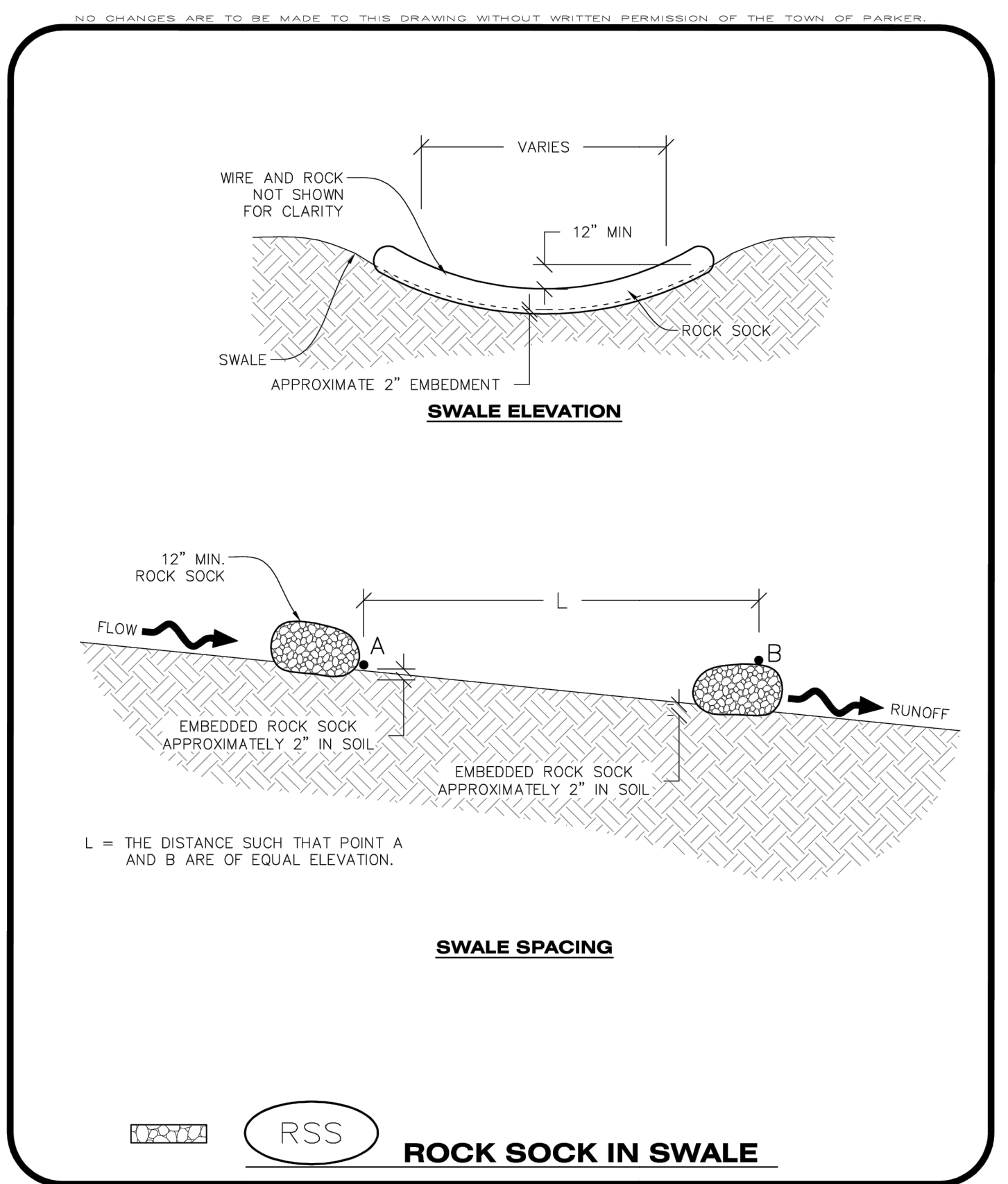
1. SEE CBMP PLAN FOR LOCATION(S) OF ROCK SOCK.
2. CRUSHED ROCK SHALL BE APPROXIMATELY 2.0"-3.0" GRANITE IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK SHALL BE APPROXIMATELY ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
5. MINIMUM ROCK SOCK DIAMETER SHALL VARY BASED ON APPLICATION (7" MIN).
6. TUBULAR MARKERS MAY NEED TO BE USED IN CONJUNCTION WITH ROCK SOCKS ANYTIME THE ROCK SOCK IS PLACED ON A ROADWAY, SIDEWALK, PARKING LOT OR OTHER LOCATION SUSCEPTIBLE TO VEHICLE OR PEDESTRIAN TRAFFIC. TUBULAR MARKERS SHALL CONFORM TO THE TUBULAR MARKER DETAIL.

**ROCK SOCK INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROCK SOCKS.
2. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
3. ROCK SOCKS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

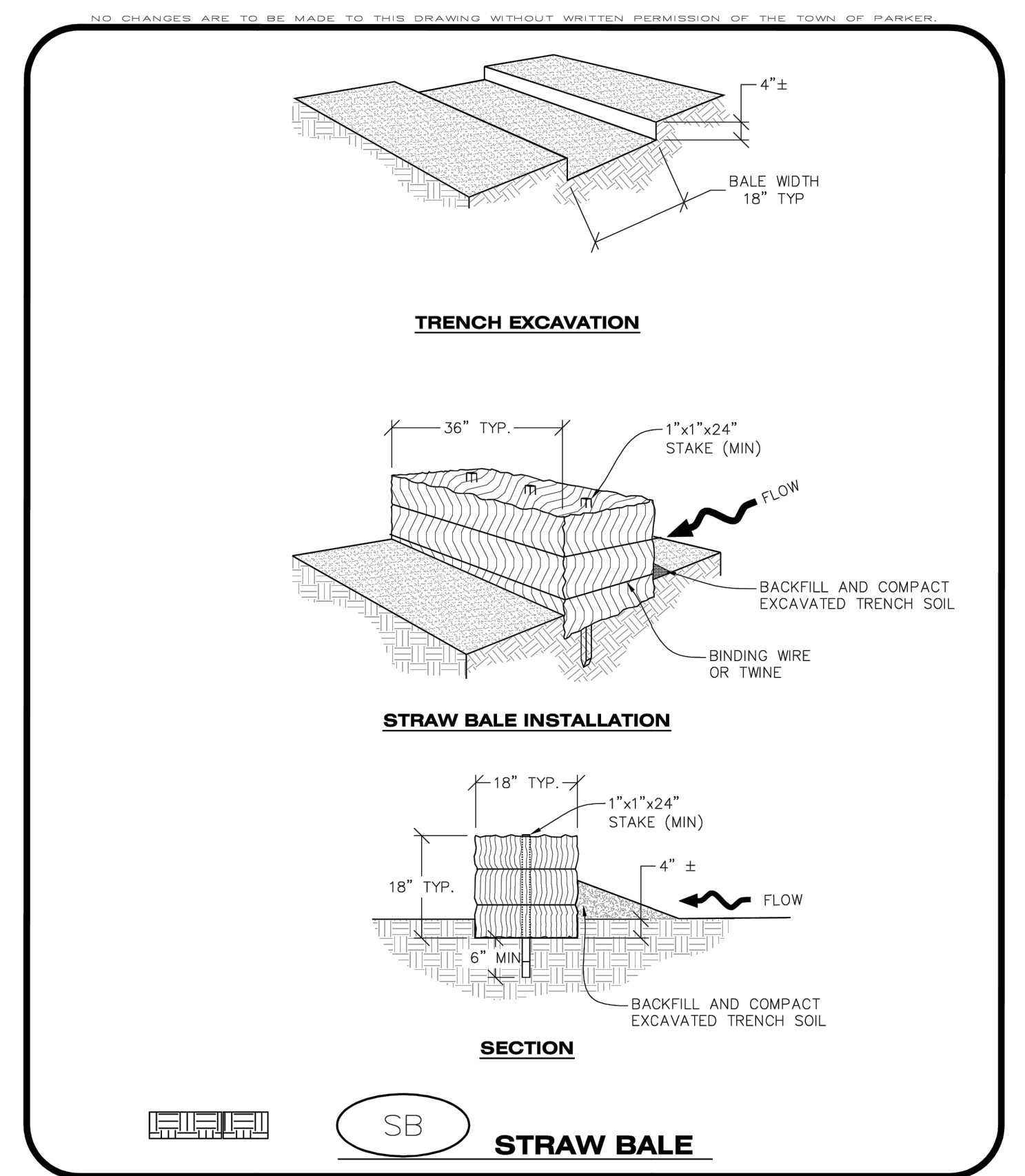
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**RS** 2 OF 2 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**RSS** 1 OF 1 Oct. 2013

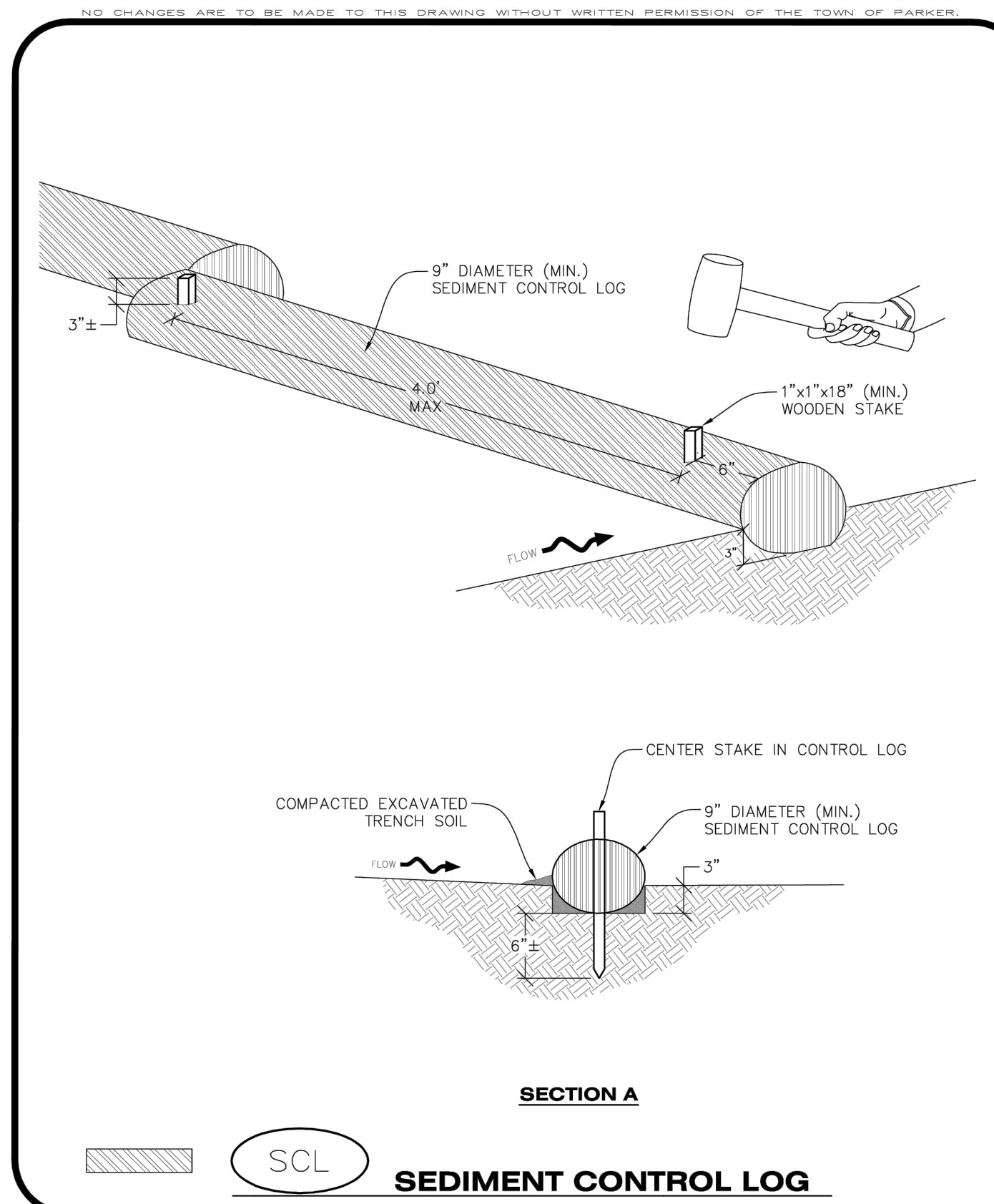


**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SB** 1 OF 2 Oct. 2013

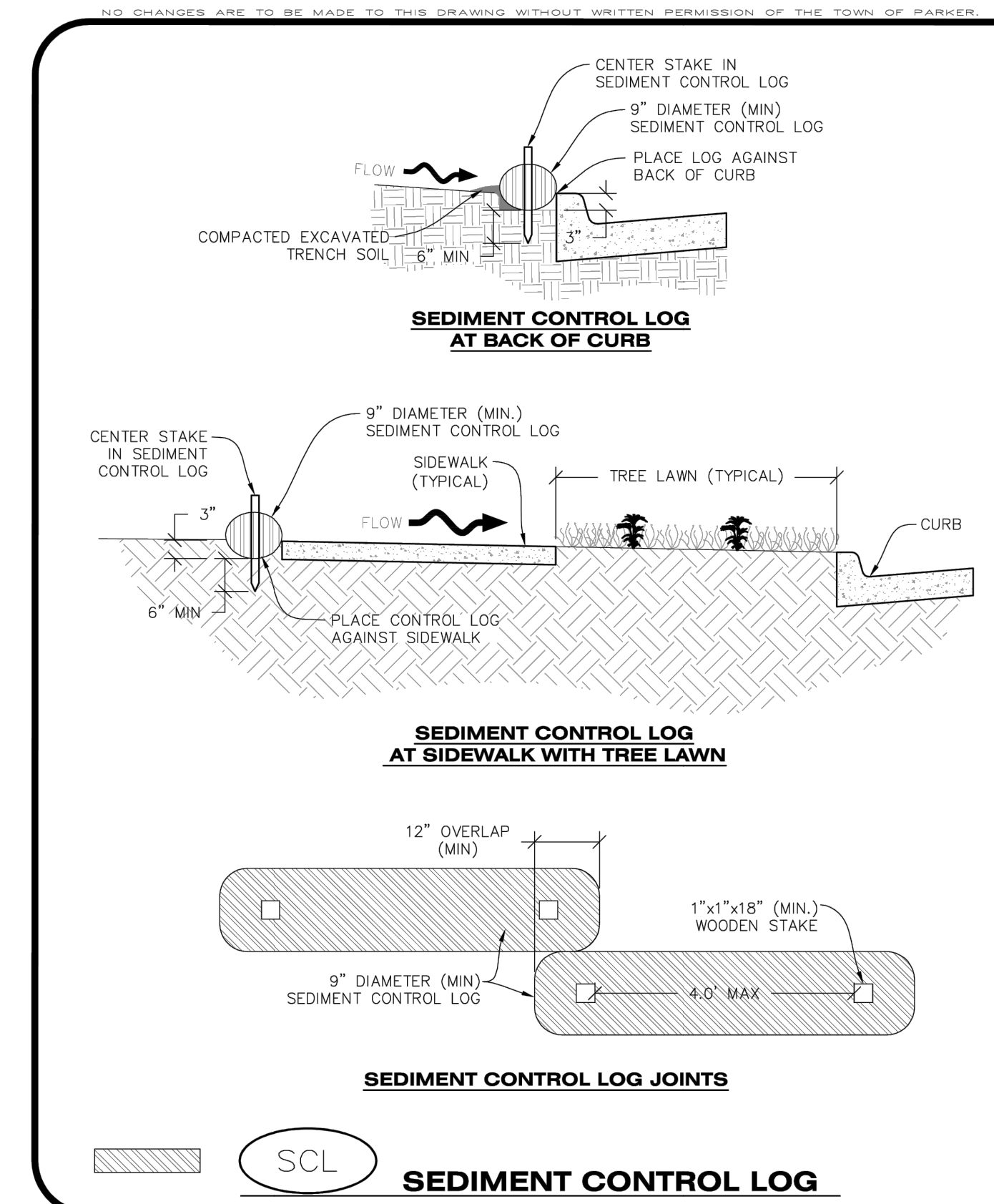
- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- STRAW BALE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
  - TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"x18"x18".
  - TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
  - WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
  - STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.

- STRAW BALE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
  - STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
  - STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN INSPECTOR.
  - WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SCL** 1 OF 3 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

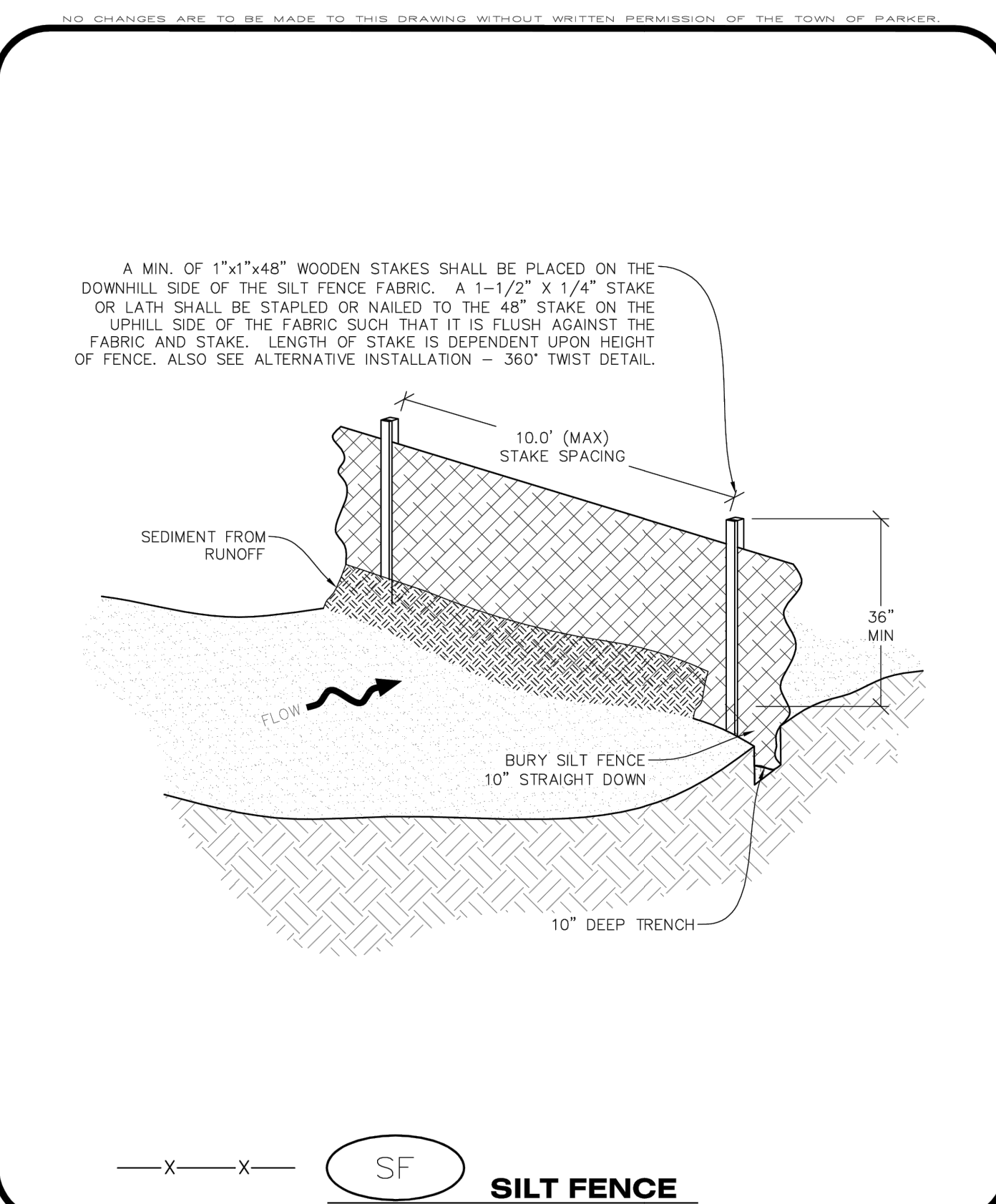
**SCL** 2 OF 3 Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- SEDIMENT CONTROL LOG INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
  - ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
  - SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
  - A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHAPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
  - ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
  - ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
  - THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL, OR SIMILAR DEVICE.
  - SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SCL IN PLACE.
  - STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
  - SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRAIDENT SIDE OF THE LOGS.
  - SEDIMENT CONTROL LOGS SHALL BE STALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

- SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
  - SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
  - SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
  - WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

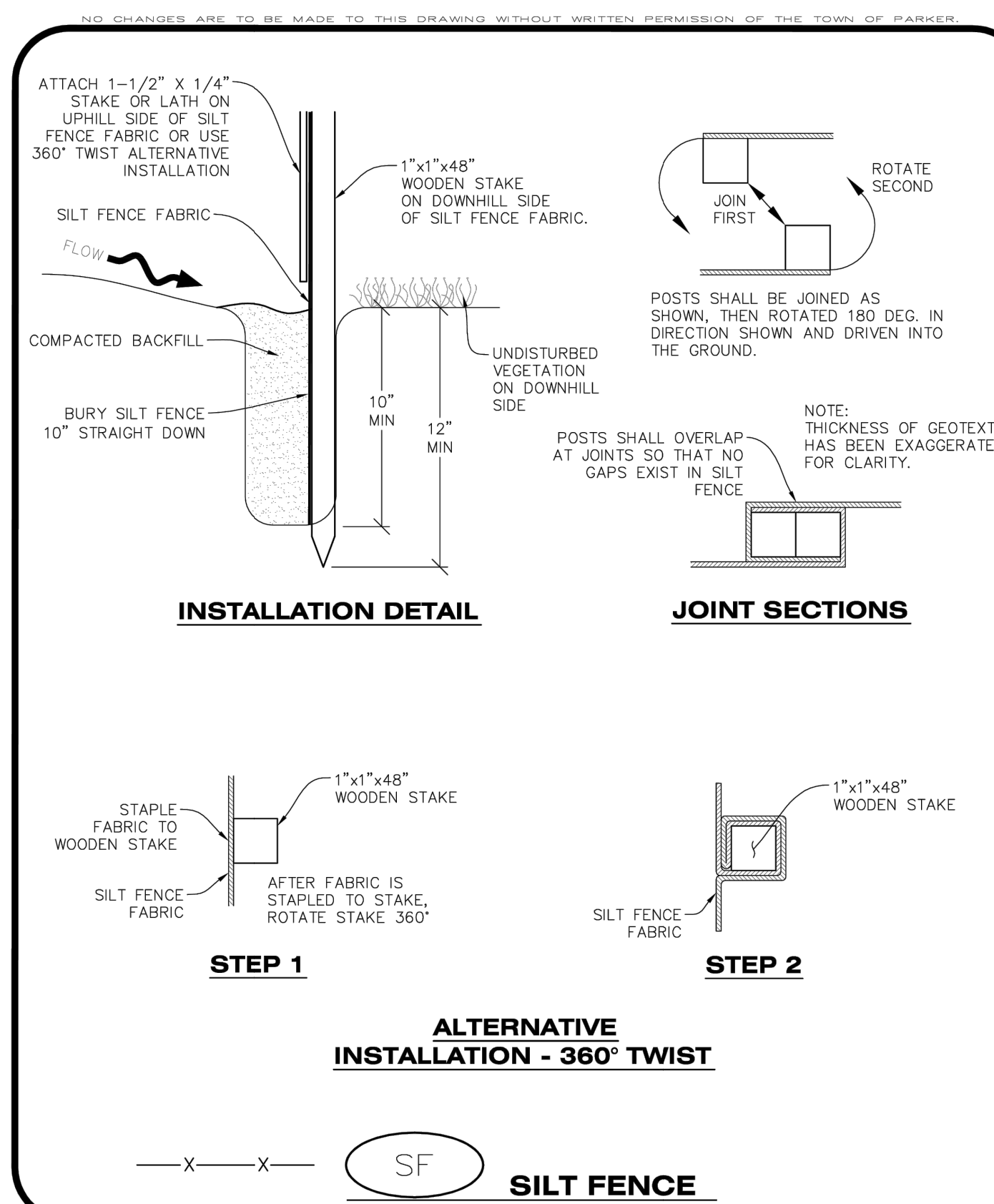
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 1 OF 4 Oct. 2013



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

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- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- SILT FENCE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
  - ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
  - A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
  - A 10" DEEP ANCHOR SLIT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
  - ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
  - THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
  - ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRAIDENT SIDE OF THE SILT FENCE.
  - STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x1/4"x24".
  - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
  - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
  - SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:
- | PROPERTIES              | TEST METHOD | MANDATORY REQUIREMENTS            |
|-------------------------|-------------|-----------------------------------|
| GRAB TENSILE STRENGTH   | ASTM D 4632 | > 124 LBS                         |
| MULLEN BURST STRENGTH   | ASTM D 3786 | > 300 PSI                         |
| PUNCTURE STRENGTH       | ASTM D 4833 | > 60 LBS                          |
| TRAPEZOID TEAR STRENGTH | ASTM D 4533 | > 65 LBS                          |
| UV RESISTANCE           | ASTM D 4355 | > 80% AT 500 HOURS OF UV EXPOSURE |
| FLOW RATE               | ASTM D 4491 | > 10 GAL/MIN/FT2                  |
- AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
  - SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
  - SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 3 OF 4 Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- SILT FENCE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
  - SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
  - SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
  - WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 4 OF 4 Oct. 2013

**811** Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UTILITY UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**ATWELL** 866.850.4200 www.atwell-group.com 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND, TEXAS 76180 FIRM (COA): F-12242

LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR** 13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
EROSION CONTROL DETAILS

DATE: 2025-09-24

REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: #  
SHEET NO. C8.06

FILE NAME: \\TOWN\CAD\24003198 - EROSION CONTROL DETAILS.dwg LAST MOD BY: Sarwar 7/28/2025 5:52 PM PLotted BY: K. Sarwar 8/1/2025 9:05 AM ORIGINAL DOCUMENT: 24003198 - EROSION CONTROL DETAILS.dwg



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- SIDEWALK TRANSITION PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR LOCATION(S) OF SIDEWALK TRANSITION PROTECTION.
  - ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
  - SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
  - CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
  - SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

- SIDEWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDEWALK TRANSITION INSPECTION.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

STP  
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Oct. 2013

To allow for a proper and timely establishment of native grasses, temporary irrigation is required over all areas where permanent native seeding is proposed. This includes, but is not limited to: detention ponds, drainageways, park and trail areas, general open space, etc. In addition to the landscape plans, please show the temporary irrigation symbol (TI) on the CBMP Plan over all areas where permanent native seeding is proposed. As a reminder, when working within Parker Water and Sanitation District's (PWSD) jurisdiction, the following is required:

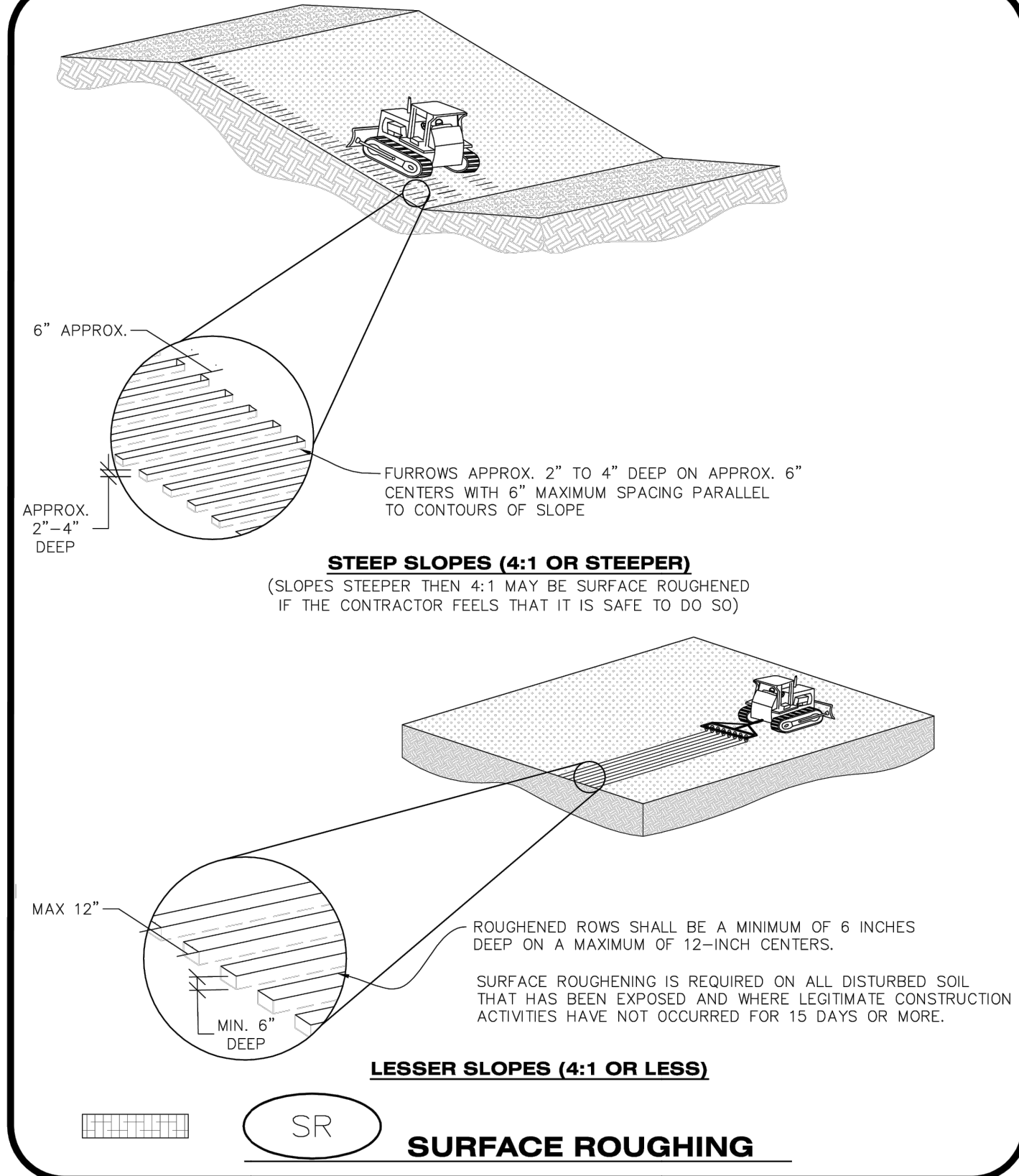
- Temporary irrigation for native seed must be supplied by a fire hydrant hook-up. Use of proposed/existing landscape irrigation taps is not allowed. Please indicate on the irrigation plans fire hydrants that are to be used for the temporary irrigation mainline and provide a detail for the connection. This detail should show the hydrant, PRV, PWSD water meter, a 2" backflow assembly, a 2" x 2" cam lock for fire department quick disconnect and a support system for all components
- The following note must be shown on the Irrigation plan set "Temporary irrigation for establishment of native vegetation must be installed above ground, and removed immediately after establishment is complete, or in no case, any longer than one growing season." PWSD may allow temporary irrigation to continue for one additional growing season with prior approval.
- The following note must be shown on the Irrigation plan set "All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be installed above ground."
- All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be clearly labeled on the plans.
- Provide detail drawings for all above ground components including but not limited to mainlines, laterals, valves, heads and quick couplers.

If the project is outside of PWSD's jurisdiction, check with the applicable water provider regarding their specific requirements for temporary irrigation.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

SR  
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Oct. 2013

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**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

SR  
1 OF 2  
Oct. 2013

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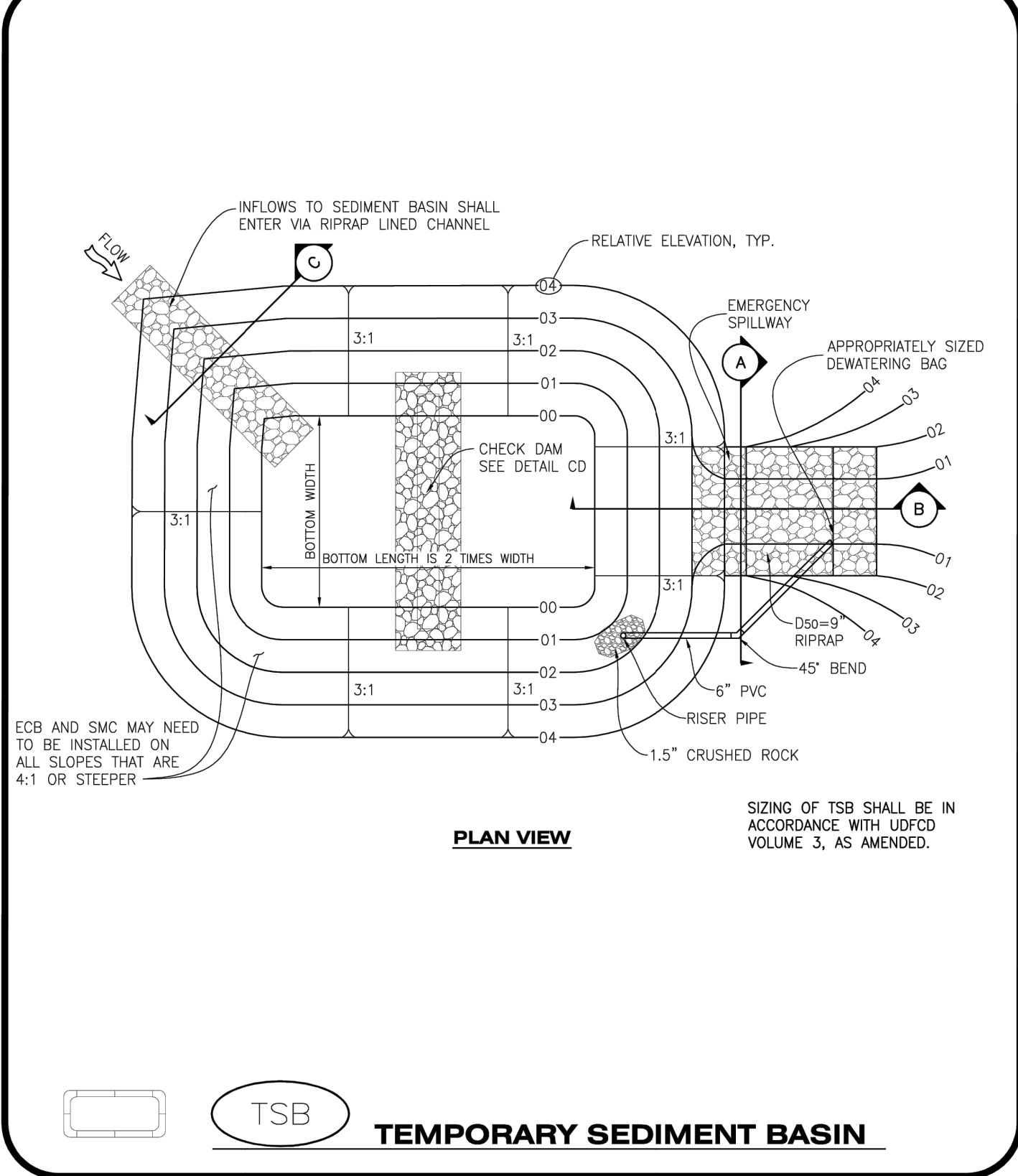
- SURFACE ROUGHENING INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
  - DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SDECM. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
  - FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
  - SCHEDULES FOR REQUIRING STABILIZATION MAY BE MODIFIED BY THE PERMITTEE TO ALLOW FOR SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

- SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL PROACTIVELY INSPECT THE SURFACE ROUGHENING.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

SR  
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Oct. 2013

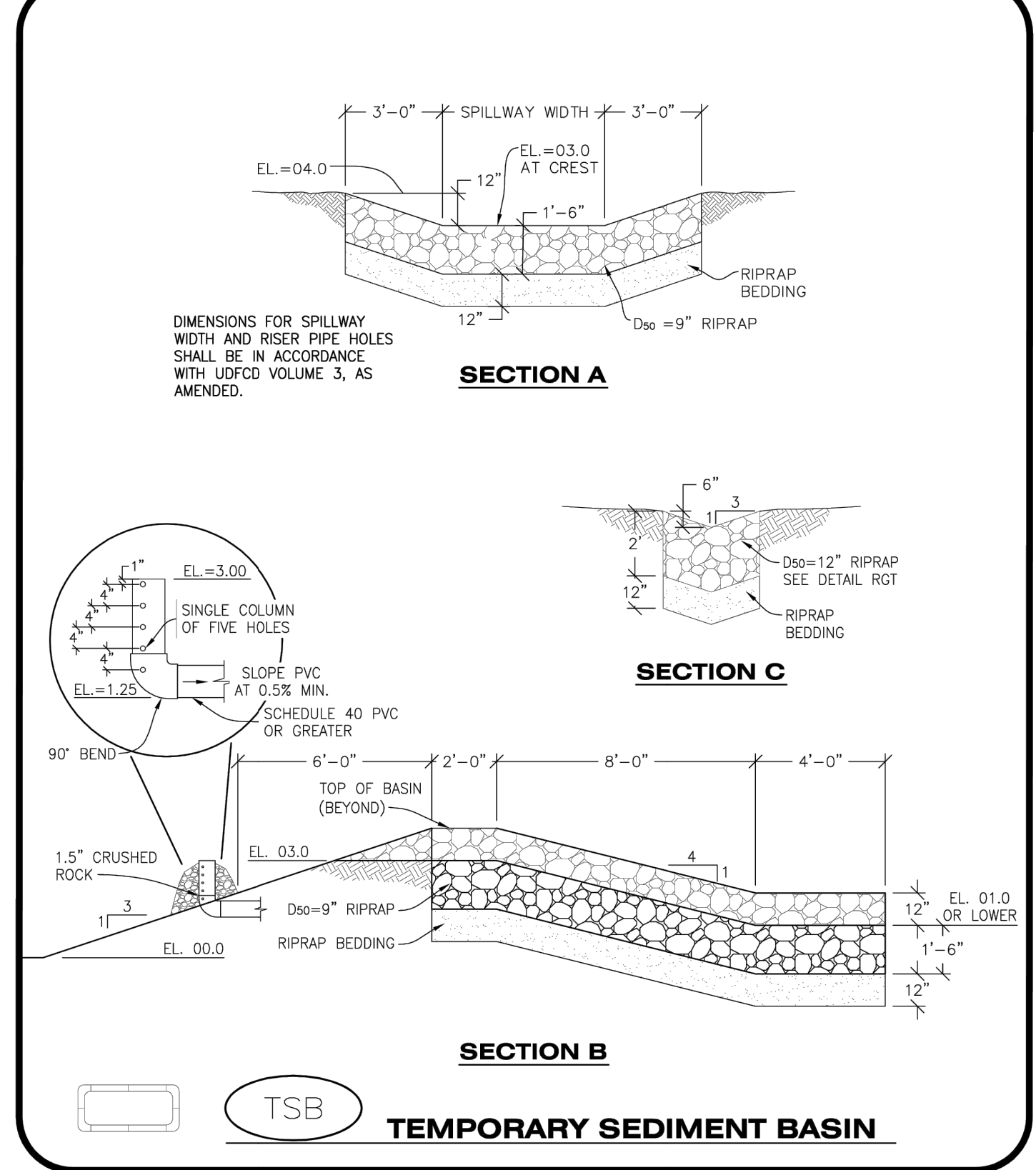
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**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

TSB  
1 OF 3  
Oct. 2013

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**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

TSB  
2 OF 3  
Oct. 2013

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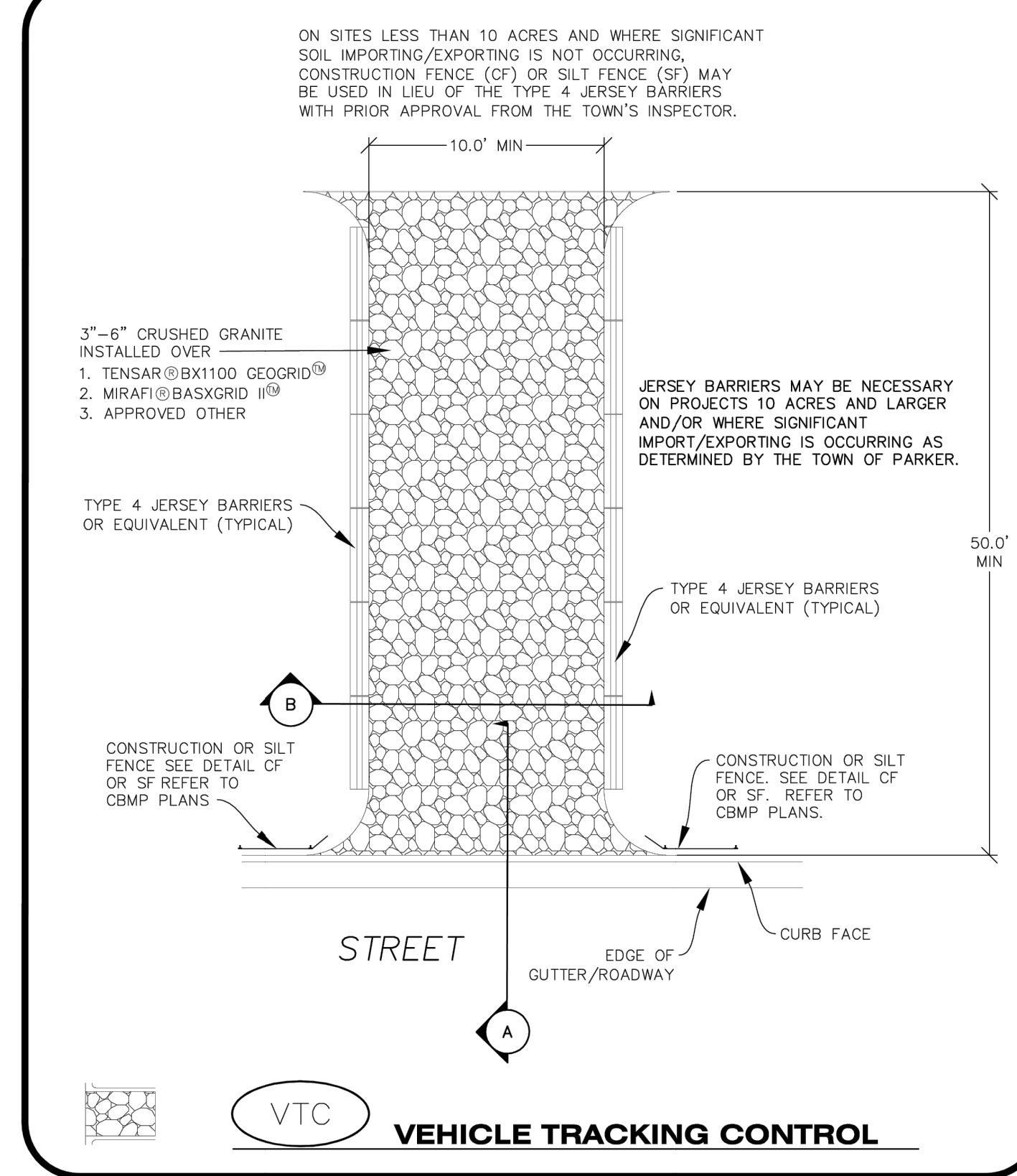
- TEMPORARY SEDIMENT BASIN INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT BASIN(S).
  - THE TEMPORARY SEDIMENT BASIN(S) SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY OTHER GRADING ACTIVITIES.
  - THE EXACT DIMENSIONS AND DETAILS OF THE TEMPORARY SEDIMENT BASIN SHALL BE DETERMINED BY THE DESIGN ENGINEER, IN ACCORDANCE WITH UDFCD VOLUME 3, AS AMENDED.
  - EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3" AND SHALL HAVE A MINIMUM OF 15% BY WEIGHT PASSING THE NO. 200 SIEVE.
  - EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY, AND WITHIN +/- 2% OF OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D698.
  - AN APPROPRIATELY SIZED DEWATERING BAG SHALL BE SECURED TO THE END OF THE DISCHARGE PIPE. THE DEWATERING BAG SHALL BE REPLACED ONCE SEDIMENT ACCUMULATION REACHES 50%.

- TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE TEMPORARY SEDIMENT BASIN.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT REACHES A DEPTH OF 2.0', OR WITHIN 2.0' OF THE SPILLWAY CREST, OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
  - SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL UPSTREAM VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

TSB  
3 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

VTC  
1 OF 3  
Oct. 2013

**811**  
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE CONTRACTOR OR SHALL BE LOCATED AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY PERSONS OR PROPERTY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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972.266.8660

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S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
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EROSION CONTROL DETAILS

DATE: 2025-09-24

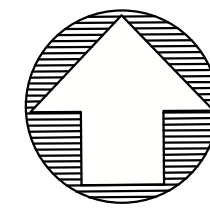
REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. C8.08

CAD FILE: 24003198 - CBMP EROSION DETAILS







**811**  
**Know what's below.**  
**Call before you dig.**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY OF ANY KIND OR OF ANY OTHER PERSONS.

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**LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1**  
**S. PARKER RD & STROH RD**  
**PARKER**  
**DOUGLAS COUNTY, COLORADO**

**BLACK ROCK COFFEE BAR**  
 13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
**FIRE HOSE PROXIMITY EXHIBIT**

DATE: 2025-09-24

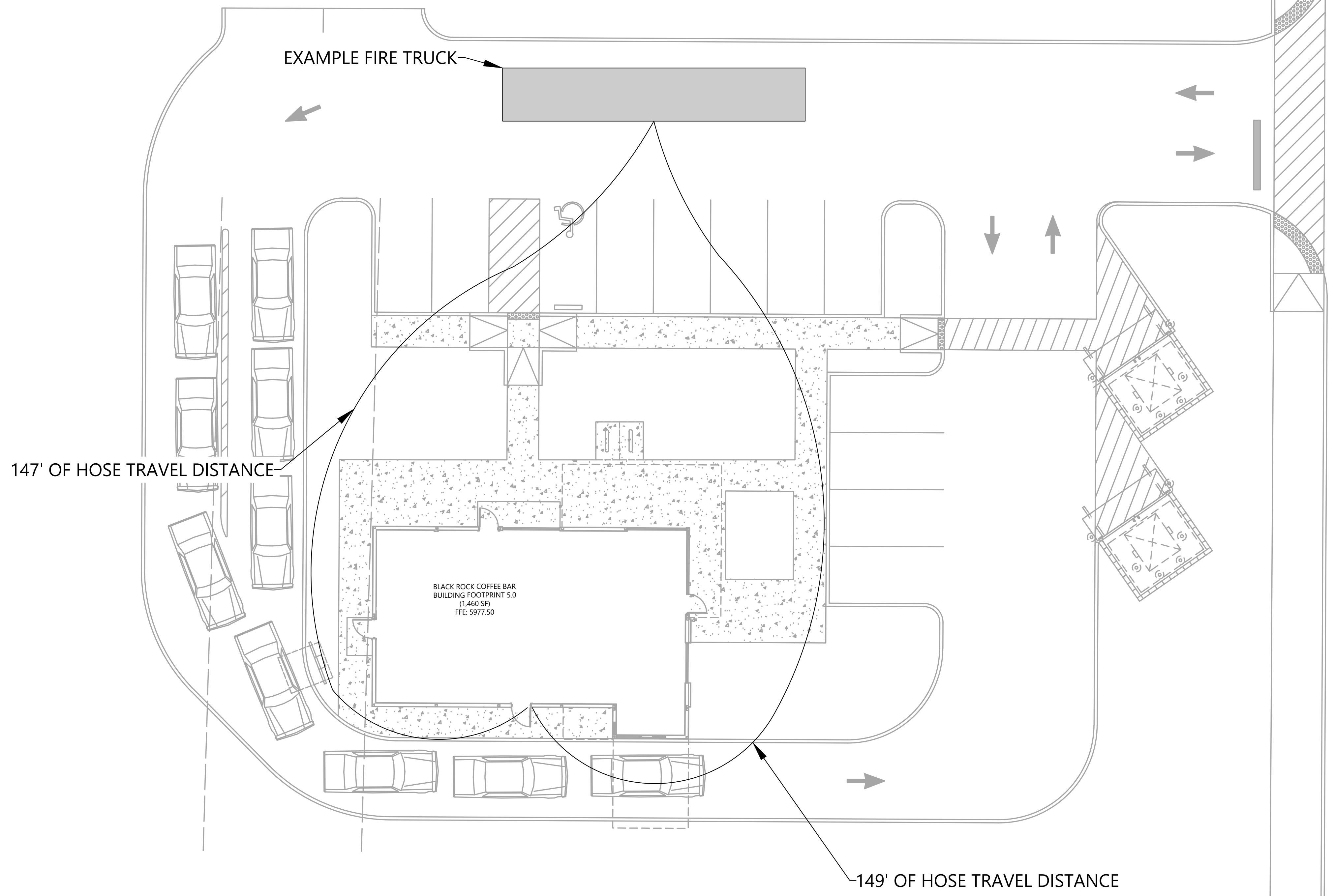
REVISIONS

SCALE: 1"=10'

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO.

**SITE LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- 6" CURB
- HANDICAP STALL
- A.D.A. STD HANDICAP RAMP



FILE NAME: \\F:\DATA\CON\24003198 - BIC - Parker & Stroh - Parker Pointe Subd. Filing No. 1, Amend. No. 1 - Fire Hose Proximity Exhibit.dwg  
 LAST SAVED BY: KSA  
 DATE: 2/17/2025 10:28 AM  
 PLOTTED BY: SUPRIYA KISHOR  
 DATE: 2/17/2025 10:28 AM  
 PLOTTER: HP  
 PLOT SCALE: 1/8"=1'-0"  
 PLOT DEVICE: HP  
 PLOT STATUS: SUCCESS

CAD FILE: FIRE HOSE PROXIMITY EXHIBIT