



November 6, 2025

City of Parker, CO  
Development Review Division  
20120 East Mainstreet  
Parker, CO 80138

**Subject: Parker Pointe, Black Rock Coffee, Site Plan Review Comments 04**

To whom it may concern:

The following are responses to comments received from the City of Parker – Development Review Division, dated September 26, 2025, regarding the Site Plan Review from the City of Parker.

**General Project Comments:**

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:  
Parker 2035 Master Plan  
Development Design Standards  
Land Development Ordinance  
➤ **Acknowledge**
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have been provided as part of this comment letter may be identified as part of future submittals, based on revision to the project.  
➤ **Acknowledge**
3. Please contact the referral agencies if you have questions regarding their review comment(s).  
➤ **Acknowledge**
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.  
➤ **Acknowledge**
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**  
➤ **Acknowledge**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Example: "02" or "Second Submittal"  
➤ **Acknowledge**

## Site Plan and Project Details

1. Please see the attached redlines for all planning comments.

### OUTSIDE REFERRAL AGENCY COMMENTS

I trust you have read the “Advisory Comments” from the various referral agencies. The following reviews in eTRAKiT have “Revisions Required:”

- Construction plans – environmental – **Signed off**
- Construction plans – civil – **Signed off**
- IREA (CORE) – **Signed off**
- Parker Water and Sanitation **Check Issued**
- Colorado Department of Transportation – **Signed off**
- ONEOK (Magellan Pipeline) – **Signed off**
- Site Plan – Planning – **Addressed**

### ONEOK (Magellan Pipeline) LANDSCAPEING COMMENTS FROM 8/22/2025 EMAIL:

• We worked with Black Rock Coffee Bar and we had them remove trees that were within the Magellan easement and shift shrubs off of the pipeline. They have provided the attached updated plans meeting all the requirements, and I sent them the below email indicating that Magellan has no objections to the landscaping encroachment. Due to minor landscaping work, we will not enter into a long form encroachment agreement but will document in by a Short Form Encroachment Agreement in the field at the time of the work.

➤ **Approved by ONEOK (Magellan Pipeline)**

### **Building 10:**

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building’s review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2025. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. Note – for projects received after December 31, 2024, all projects will be required to meet the requirements of the 2023 NEC. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

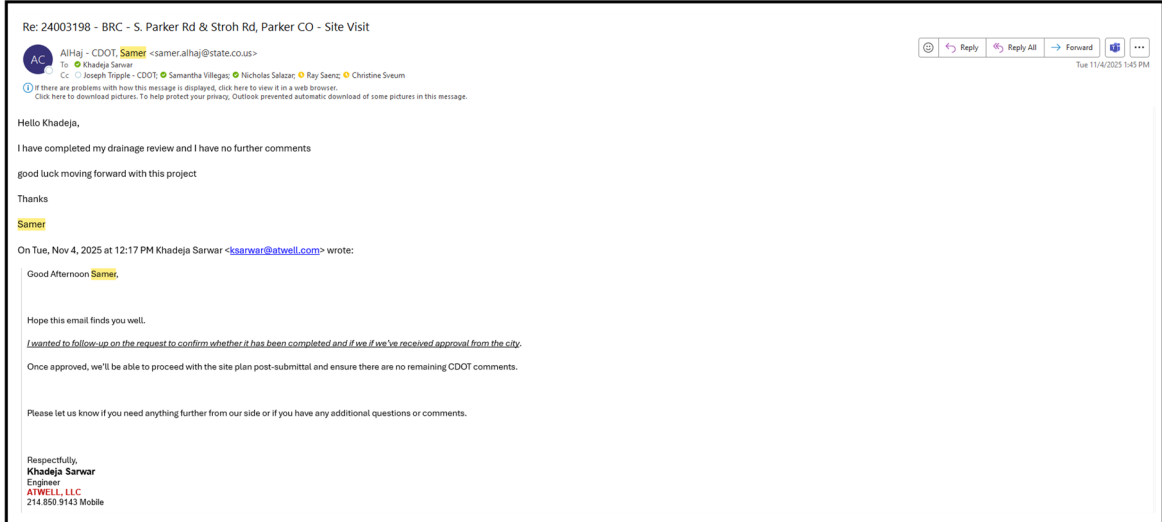
Retaining walls greater than 4’ from base of footing or bottom course requires separate Building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

➤ **Acknowledged**

**CDOT REGION 1 10**

See uploaded CDOT comments.

➤ Acknowledged, please see the snippet below:



**Cherry Creek Basin Water Quality Authority 10**

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP24-128, Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority’s current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker’s review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact LandUseReferral@cbbwqa.org. The review may include consultation with the Authority’s Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

➤ Acknowledged

**CONST PLANS-ENVIRONMENTAL - (Approved)**

**Engineering Memo and Comments**

SP24-128 Parker Point, Black Rock Coffee – 4th Environmental Review, 9-3-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all, CBMP comments have been addressed, and the final site plan is near approval.

➤ Acknowledged

**GENERAL COMMENTS**

**INITIAL CBMP PLAN SHEET**

1. Please show construction fence (not silt fence) along the south side of the VTC to ensure

use of the entire 50-foot pad.

➤ Shown, Revised Civil Plan Set Submitted on September 24, 2025. (Approved)

2. Please remove the Utility Easement Lines from the Initial Erosion Control Plan Sheet.

➤ Removed, Revised Civil Plan Set Submitted on September 24, 2025.

#### INTERIM CBMP PLAN SHEET

3. Please show construction fence along the south side of the VTC to ensure use of the entire 50-foot pad.

➤ Shown, Revised Civil Plan Set Submitted on September 24, 2025.

#### **CONST PLANS-ENVIRONMENTAL 10 (Approved)**

##### **Engineering Memo and Comments**

SP24-128 Parker Point, Black Rock Coffee – 3rd Environmental Review, 7-21-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all, CBMP comments have been addressed, and the final site plan is near approval.

➤ Revised, Civil Plan Set Submitted on September 24, 2025.

#### GENERAL COMMENTS (All Erosion Control Plan Sheets)

1. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker's CBMP Legend, General Notes & CBMP Details (in Alphabetical Order). Keys/Symbols (1st) SHOWN TWICE, General Notes (2nd) IS MISSING. See link below for layout and use.

➤ Revised, Civil Plan Set Submitted on September 24, 2025.

2. Please add a callout/label on all properties adjacent to the project stating: "NO WORK SHALL OCCUR IN THIS AREA". These areas must be shaded for easy identification.

➤ Revised, Civil Plan Set Submitted on September 24, 2025.

#### INITIAL CBMP PLANS

3. Please show construction fence along the south side of the VTC to ensure use of the entire 50-foot pad.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:  
[https://drive.google.com/file/d/1oE5TRyFktVbdRygduwlqhwaf3eQJxzs/view?usp=drive\\_link](https://drive.google.com/file/d/1oE5TRyFktVbdRygduwlqhwaf3eQJxzs/view?usp=drive_link)

SP24-128 Parker Point, Black Rock Coffee – 1st Environmental Review, 2-3-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

➤ Revised, Civil Plan Set Submitted on September 24, 2025.

#### GENERAL COMMENTS

1. Please note: Civil Plans must include multiple Erosion Control Plan Sheets referencing the Initial, Interim and Final phases of the project.  
Initial Erosion Control Plan Sheet: Only show the Initial CBMPs (Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, Inlet Protection, and existing stormwater utilities).  
Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project.  
Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established.  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
2. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.  
  
(These Notes Required on ALL EROSION CONTROL PLAN SHEETS, Initial, Interim and Final)  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
3. Please add a general note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
4. Please add a general note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
5. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON RESIDENTIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.”  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
6. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON RESIDENTIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.”  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
7. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
8. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.  
➤ Revised, Civil Plan Set Submitted on September 24, 2025.
9. Please add a general note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.

- Revised, Civil Plan Set Submitted on September 24, 2025.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

[https://drive.google.com/file/d/1oE5TRyFktVbdRygduwlqhwaf3eQJxzs/view?usp=drive\\_link](https://drive.google.com/file/d/1oE5TRyFktVbdRygduwlqhwaf3eQJxzs/view?usp=drive_link)

Stormwater/Storm Drainage and Environmental Criteria Manual  
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

Roadway Design/Construction Criteria Manual Roadway-Design--Construction-Criteria-Manual  
(parkerco.gov)

Erosion Control CBMP Checklist (See Appendix D) Microsoft Word - SDECM Draft 10-21-13  
(parkerco.gov)

### **CONTS PLANS-ENVIRONEMNTAL 15 (Approved)** **Engineering Memo and Comments**

SP24-128 Parker Point, Black Rock Coffee – 2nd Environmental Review, 4-1-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

- Revised, Civil Plan Set Submitted on September 24, 2025.

GENERAL COMMENTS (All Erosion Control Plan Sheets)

- Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.
  - Revised, Civil Plan Set Submitted on September 24, 2025.
- Please provide and use Parker's complete Legend of Keys/Symbols to correspond to the Parker's 31 CBMP Details on the Erosion Control plan sheets.
  - Revised, Civil Plan Set Submitted on September 24, 2025.
- Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker's CBMP Legend, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
  - Revised, Civil Plan Set Submitted on September 24, 2025.
- Initial Erosion Control Plan Sheet: Only show the Initial CBMPs, Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with Inlet Protection outside of the site. Initial sheet should show the site as it currently exists, a dirt lot. Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project. Interim sheet should show the parking lot/driveway and building layout with the proposed stormwater. Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established. Final sheet would show the layout of the completed site.
  - Revised, Civil Plan Set Submitted on September 24, 2025.

- Please add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.
  - Revised, Civil Plan Set Submitted on September 24, 2025.

#### INITIAL CBMP PLANS

- Initial Erosion Control Plan Sheet: Only show the Initial CBMPs, Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with Inlet Protection outside of the site. Initial sheet should show the site as it currently exists, a dirt lot. Silt Fence Perimeter Control is required for the entire site.
  - Revised, Civil Plan Set Submitted on September 24, 2025.
- Please show existing grading contours and provide arrows to indicate the direction of stormwater flow after removing all proposed construction diagrams (buildings and parking lot/sidewalks).
  - Revised, Civil Plan Set Submitted on September 24, 2025.
- Please show Inlet Protection on the existing inlet located to the south of the site on the Declan Drive.
  - Revised, Civil Plan Set Submitted on September 24, 2025.
- Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project. Interim sheet should show the parking lot/driveway and building layout with the proposed stormwater.
  - Revised, Civil Plan Set Submitted on September 24, 2025.

Please show inlet protection on the existing inlet located to the south of the site on the Declan Drive.

- Revised, Civil Plan Set Submitted on September 24, 2025.

Please remove the roadway striping arrows from the plant sheet to avoid confusion with the stormwater flow arrows.

- Revised, Civil Plan Set Submitted on September 24, 2025.

Sediment control log (SCL) is required at back of curb and back of sidewalk immediately and parking areas. This includes landscape island and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.

- Revised, Civil Plan Set Submitted on September 24, 2025.

Parker do not allow the use of sandbags you must use SCL of SF.

- Revised, Civil Plan Set Submitted on September 24, 2025.

#### FINAL CBMP PLANS

Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established. Final sheet would show the layout of the completed site identifying the native grass areas and the landscaped areas.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

[https://drive.google.com/file/d/1oE5TRyFktVbdRygduwlqhwaf3eQJxzs/view?usp=drive\\_link](https://drive.google.com/file/d/1oE5TRyFktVbdRygduwlqhwaf3eQJxzs/view?usp=drive_link)

CBMP Details

<http://parkeronline.org/532/Construction-Best-Management-Practices>

Erosion Control CBMP Checklist (See Appendix D) Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

### **CONSTRUCTION PLANS – CIVIL 10 (Approved)**

Please address minor comments to the Construction Plans. See attached Memo.

- Revised, Civil Plan Set Submitted on September 24, 2025.

### **DOUGLAS COUNTY PLANNING SERVICES DIVISION 10**

N/A

See the attached Referral Comment Report.

Please address minor comments to the Drainage Report. See attached memo.

- Revised, Civil Plan Set Submitted on September 24, 2025.

### **FIRE LIFE SAFETY 10**

See response letter named "SP24-128 Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop [1] Fire Life Safety Response Ltr 011525" and address all comments... as well as providing a written response to the letter provides.

- Addressed, no more comments pending.

### **FIRE LIFE SAFETY 15**

There are issues that require attention; see response letter and address all issues when resubmitting.

- Addressed, no more comments pending.

### **IREA 10**

Update site plan proposed relocate of transformer is not a transformer but a cubical (junction) and will be required to prior to grading permit. The applicant responses are not sufficient for CORE or the town to approve.

- Addressed & Approved by CORE.

Transformer and metering location will be required to be final on next review to meet CORE's and Town's requirements.

- Addressed & Approved by CORE.

The applicant will be required to provide the transformer and metering locations; meet CORE's clearance requirements and the Town of Parker requirements.

- Addressed & Approved by CORE.

CORE has existing cubical that will be required to be relocated prior to issuing grading permit. Grade may not change +/- 6 inches within CORE's existing 15-foot easement.

- Addressed & Approved by CORE.

CORE will require additional easement by separate document at electric design for electric facilities.

- Addressed & Approved by CORE.

The applicant will be required to provide parking lot lighting plan, parking lot lights may not encroach into utility easements or CORE easements.

- Addressed & Approved by CORE.

#### **IREA 20**

The proposed location of the CORE transformer may work, but the depicted transformer size is incorrect. The applicant should assume a 10"x10" transformer size and revise the clearance from the 10"x10" size. Reminder the transformer may not open into a drive and will require a working clearance of 10" from back of curb in front of the transformer's doors.

- Addressed & Approved by CORE.

#### **PARKER WATER AND SANITATION DISTRICT 10**

Please note PWSD needs the following documents to complete this project. Signed PWSD plans from South Metro fire. Engineering review fees and Irrigation review fees.

Tap fee invoice to be paid in full. PWSD original 20-foot Hydrant Easement agreement.

- The check is issued to pay the Tap Fees, Original 20-foot Hydrant easement agreement is completed and signed off.

#### **PARKER WATER AND SANITATION DISTRICT 10**

Please see red lined plans. Please provide fixture count worksheet. Please provide an Address for the building. Please provide irrigation and Landscape plans. Please feel free to reach out with any questions you may have.

- Completed

#### **PARKER WATER AND SANITATION DISTRICT 15**

Please see uploaded red lined plans, review letter, and 22-foot hydrant easement.

Please feel free to reach out with any questions you may have.

- Completed

#### **PARKER WATER AND SANITATION DISTRICT 20**

Please note the Civil plan set needs to be reloaded unable to see set of plans. Please note all PWSD invoices must be paid in full.

- Acknowledged

#### **PUBLIC SERVICE COMPANY OF COLORADO 10**

Please see attached

- Acknowledged

#### **SITE PLAN 10**

See planning comments 03

- Acknowledged

## **SITE PLAN 15**

See planning comments 02

- Acknowledged

## **SITE PLAN 20**

See planning comments 04

- Acknowledged

## **04 PLANNING COMMENTS**

Site Plan Sheet

Screen wall needs to be clearly shown with line type.

- Screen wall is clearly shown with line type and Keynote #22. Please see the revised Site Plan Sheet.

## **LANDSCAPING SPECIFICATIONS AND NOTES**

Need to indicate that white/unhatched areas will be rock mulch (same 1.5" rose rock?)

- The unhatched areas are the Morrison Grey rock mulch as shown on the plant schedule. That is different than the Colorado Rose Rock which provide accents on the property.

Cover Sheet Lists 25,933

- The number I have for the net site area is 25,933 s.f. I'm unsure about the cover as I didn't provide that on my end. We have provided 8,294 s.f. of landscape area which exceeds the 15% requirement.

## **PHOTOMETRIC SITE PLAN**

Max footcandles allowed at property line that don't share a drive aisle is 1.0

- Max footcandles at property line now within limits. Refer to sheet E1.1 for more information.

Is this accurate? Max of 23.0 not shown on photometric plan

- Max Footcandles now at 14.2 in site plan. Refer to sheet E1.1 for more information.

Lighting of parking lots and drive aisles shall have a uniformity ratio of six to one (16:1) (maximum to minimum). Need to show ratios for parking lot and drives aisles.

- Added calculation for drive Aisles/Parking on statistics. Refer to sheet E1.1 for more information.

Need to indicate colors of fixtures and height of freestanding poles.

- Added color of fixtures in Schedule. Refer to sheet E1.1 for more information.

## **EXTERIOR ELEVATIONS Sheet A6.0**

Continue masonry base on this façade.

- Masonry base has been added to all facades.

## **EXTERIOR ELEVATIONS SHEET A6.1**

#13 not shown on these elevations.

- Note #13 has been removed.

Use masonry base on this façade

- Masonry base has been added to all facades.

Continue masonry base across this façade.

- Masonry base has been added to all facades.

Please let us know if there are any questions on the above responses.  
Thank you for your time and review,

Nicholas Salazar  
*Project Manager*  
**ATWELL, LLC**  
(972) 638-8860  
*nsalazar@atwell.com*