

# LOT 4A, PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

## SITE PLAN FOR

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987**  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

ALL THE FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

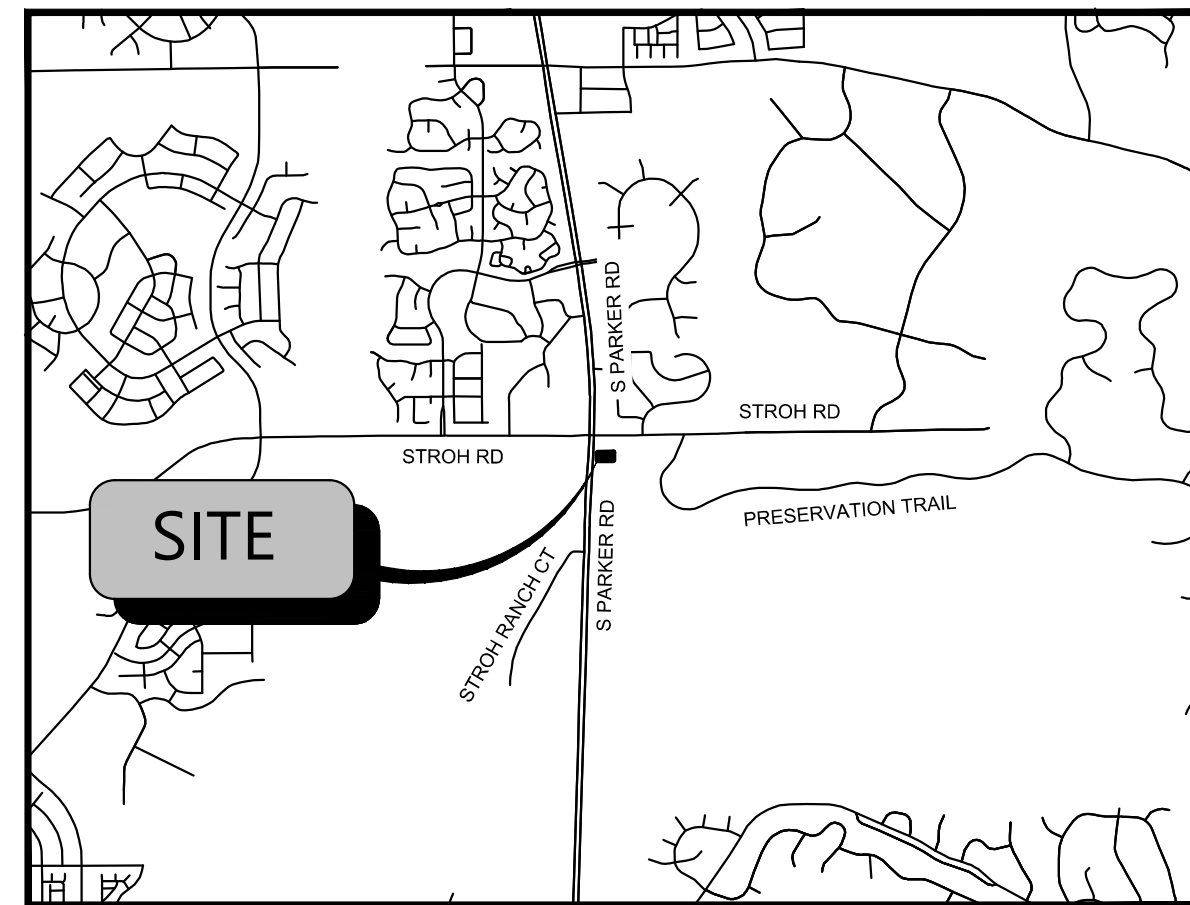
FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

(NOTE - UNDERGROUND FILE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)



LOCATED AT S. PARKER RD & STROH RD  
 CITY OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO  
 TOTAL SITE ACREAGE: 0.60 AC

SITE AREA	
TOTAL PROPERTY AREA:	0.60 AC / 25,933 SF.
DISTURBED AREA:	0.67 AC / 29,406 SF.
IMPERVIOUS AREA:	0.40 AC / 17,639 SF.
LANDSCAPED AREA:	0.19 AC / 8,294 SF.
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF PARKER
ZONING:	MIXED-USE COMMUNITY
ADJACENT ZONING:	PLANNED DEVELOPMENT
PROPOSED USE:	COMMERCIAL RESTAURANT WITH DRIVE THRU
BUILDING SETBACKS	
<b>REQUIRED BUILDING SETBACK</b>	
FRONT MIN BUILDING SETBACK	25'
FRONT MAX BUILDING SETBACK	NONE
SIDE MIN BUILDING SETBACK	5' (NON-RESIDENTIAL)
SIDE MIN BUILDING SETBACK	10' (ADJACENT TO STREET)
REAR BUILDING SETBACK	5' MIN. WITH ALLEY
REAR BUILDING SETBACK	8' MIN. WITHOUT ALLEY
<b>PROVIDED BUILDING SETBACK</b>	
FRONT (W) BUILDING SETBACK	65.2'
SIDE (S) BUILDING SETBACK	18'
SIDE (N) BUILDING SETBACK	51.5'
REAR (E) BUILDING SETBACK	113.5'
BUILDING SUMMARY	
PROPOSED BUILDING AREA:	1,495 SF
REQUIRED BUILDING HEIGHT LIMIT:	45'
PROVIDED BUILDING HEIGHT:	~20'
PROPOSED NUMBER OF BUILDINGS:	1
PARKING SUMMARY	
<b>PARKING REQUIREMENTS</b>	
1 SPACE PER EACH 4 PERSONS OF RATED CAPACITY OF 37 PEOPLE (EXCLUDING OUTDOOR SEATING)	
TOTAL PARKING REQUIRED	10 SPACES
PARKING PROVIDED	12 SPACES (INCLUDING 1 ADA SPACE)
DRIVE-THROUGH STACKING PROVIDED	10 STACKING SPACES
BIKE SPACES REQUIREMENTS	1 REQUIRED - 10% OF VEHICLE SPACES
PROVIDED	4 SPACES
TOTAL BIKE PARKING PROVIDED	4 SPACES



VICINITY MAP  
 N.T.S.



FEMA MAP  
 N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2016.



AERIAL MAP  
 N.T.S.

TOWN OF PARKER PLAN SET	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	TOWN GENERAL NOTES
C1.10	TOWN GENERAL NOTES
C1.20	GENERAL NOTES
C2.00	SITE PLAN
C2.10	PAVING AND STRIPING PLAN
C3.00	GRADING PLAN
C3.10	DRAINAGE PLAN
C3.20	INTERIM DAM
C3.30	POST-DEV DAM
C4.00	UTILITY PLAN
C5.00	INITIAL EROSION CONTROL PLAN
C5.10	INTERIM EROSION CONTROL PLAN
C5.20	FINAL EROSION CONTROL PLAN
C7.00	DETAILS
C8.00	EROSION CONTROL DETAILS
C8.01	EROSION CONTROL DETAILS
C8.02	EROSION CONTROL DETAILS
C8.03	EROSION CONTROL DETAILS
C8.04	EROSION CONTROL DETAILS
C8.05	EROSION CONTROL DETAILS
C8.06	EROSION CONTROL DETAILS
C8.07	EROSION CONTROL DETAILS
C8.08	EROSION CONTROL DETAILS
C8.09	EROSION CONTROL DETAILS
EXHIBIT	AUTO TURN EXHIBIT
EXHIBIT	FIRE HOSE PROXIMITY EXHIBIT

**BLACK ROCK COFFEE BAR**  
 TOTAL SITE AREA: 0.60 AC / 25,933 SF.  
 DISTURBED AREA: 0.67 AC / 29,406 SF.  
 ZONING: MIXED-USE COMMUNITY (MC)

### DEVELOPMENT TEAM

OWNER	CIVIL ENGINEER	SURVEYOR	DEVELOPER
DOUBLETREE VENTURES, LLC P.O. BOX 40326 DENVER, CO 80204 CONTACT: BRIAN ZUREK EMAIL: BRIAN@DOUBLETREEVENTURES.COM	ATWELL, LLC 9001 AIRPORT FREEWAY, SUITE 660 NORTH RICHLAND HILLS, TX 76180 PHONE: (###) ###-#### CONTACT: NICHOLAS SALAZAR EMAIL: NSALAZAR@ATWELL.COM	BARRON LAND 2790 N. ACADEMY BLVD., SUITE 311 COLORADO SPRINGS, CO 80917 PHONE: (719) 360-6827 CONTACT: SPENCER BARRON	BLACK ROCK COFFEE BAR 16307 NE CAMERON BLVD PORTLAND, OR 97230 PHONE: (541) 531-2149 CONTACT: TONY POLLOTTA

### GOVERNING AGENCIES AND UTILITY CONTACTS

WATER & WASTEWATER	FIRE PROTECTION	GAS PROVIDER
PARKER WATER AND SANITATION DISTRICT 13939 ANCESTRY DRIVE PARKER, CO 80134 PHONE: (303) 841-4627 EMAIL: RRAMSEY@PWSD.ORG CONTACT: ROBERT RAMSEY	TOWN OF PARKER FIRE AND LIFE SAFETY 20120 E. MAINSTREET PARKER, CO 80138 PHONE: (303) 805-3169 CONTACT: RANDY CAPRA EMAIL: RCAPRA@PARKERONLINE.ORG	XCEL ENERGY 1123 WEST 3RD AVE. DENVER, CO 80223 PHONE: (303) 571-3927 CONTACT: BUILDER'S CALL LINE (800) 628-1212 X3
ENGINEERING DEPARTMENT	BUILDING PERMIT	PHONE PROVIDER
TOWN OF PARKER ENGINEERING & PUBLIC WORKS 20120 E. MAINSTREET PARKER, CO 80134 PHONE: (303) 840-9546 EMAIL: CKUDLAUSKAS@PARKERCO.GOV CONTACT: CHARLES KUDLAUSKAS	TOWN OR PARKING BUILDING DIVISION 20120 E. MAINSTREET PARKER, CO 80138 PHONE: (303) 841-1970 CONTACT: RANDY SALE EMAIL: RSALE@PARKERONLINE.ORG	CENTURYLINK 9750 EAST COSTILLA AVE. ENGLEWOOD, CO 80112 PHONE: (720) 578-5142
	ELECTRIC PROVIDER	
	CORE ELECTRIC COOPERATIVE 5496 NORTH U.S. HIGHWAY 85 SEDALIA, CO 80135 PHONE: (303) 332-9540 CONTACT: BRUFF SHEA	

### PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THEY CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES, EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS, AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

### LEGAL DESCRIPTION

LOT 4A, PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD:  
 6940 STROH ROAD, PARKER, CO

### BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NAVD88)

### BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED DEVELOPMENT, BLACK ROCK COFFEE OF PARKER, COLORADO, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH WASHITO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

PROFESSIONAL ENGINEER'S SIGNATURE \_\_\_\_\_ LICENCE NUMBER 55604

PE STAMP: \_\_\_\_\_

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

**811**  
**Know what's Below.**  
**Call before you dig.**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY MEMBER STRUCTURE, OR OF ANY OTHER PERSONS.

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**ATWELL**  
 866.850.4200 www.atwell-group.com  
 9001 AIRPORT FREEWAY, SUITE 660  
 NORTH RICHLAND HILLS, TX 76180  
 972.956.9860

LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 COVER SHEET

DATE 2025-12-04

REVISIONS

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO. C0.00

**TOWN OF PARKER DEPARTMENT OF ENGINEERING/PUBLIC WORKS**

**STANDARD CONSTRUCTION NOTES**

These notes shall appear on the cover sheet. If a cover sheet has not been used they shall be put on every sheet of the submittal.

- All materials and construction shall be in conformance with the latest edition of the Colorado Department of Transportation Standard Specifications for Road and Bridge Construction, the latest edition of the Town of Parker Roadway Design and Construction Criteria Manual, and the Town of Parker Storm Drainage and Environmental Criteria Manual.
- All materials and workmanship shall be subject to inspection by the Town of Parker Public Works Department. The Town reserves the right to accept or reject any such materials and workmanship that does not conform to its standards and specifications.
- A preconstruction meeting shall be scheduled a minimum of 48 hours and a maximum of 96 hours prior to the start of construction. A preconstruction meeting will not be scheduled until the grading permit and all other necessary permits have been obtained.
- The Town Inspector shall be contacted a minimum of 24 hours prior to a necessary inspection. If a Town Inspector is not available after proper notice of construction activity has been provided, the permittee may commence work in the Town Inspector's absence. However, the Town of Parker reserves the right to reject the improvement if subsequent testing reveals an improper installation.
- Location of existing utilities shall be verified by the contractor prior to actual construction in accordance with all state and local laws. The contractor shall field verify size and horizontal and vertical locations of existing facilities prior to construction, and notify the engineer of any discrepancies.
- The contractor shall have one (1) signed copy of the plans, approved by the Town of Parker Director of Engineering/Public Works, and one (1) copy of the Roadway Design and Construction Criteria at the job site at all times.
- A plan for traffic control during construction shall be submitted to the Town of Parker for acceptance with the Right-of-Way Use Permit application. A permit will not be issued without an approved traffic control plan for use during construction.
- All trenches shall be adequately supported and the safety of workers provided for as required by the most recent Occupational Safety and Health Administration (OSHA) "Safety and Health Regulations for Construction."
- Compaction of all trenches must be attained and compaction test results submitted to the Development Review Engineer in preliminary form prior to paving and in final form prior to probationary acceptance.

- The contractor is responsible for implementing and maintaining erosion and sediment control measures at all times during construction. The plan may be modified as field conditions warrant with approval from the Town of Parker Public Works Department.
- The contractor shall provide, erect and maintain proper traffic control devices until the site is open to traffic. The contractor shall submit a traffic control plan to the Town of Parker Public Works Department for approval prior to construction.
- Plans are approved for period of 1 (one) year from the date shown on the Town of Parker signature block. Plans shall be resubmitted to the Town for approval after 1 year. The cost of the plan re-review and re-acceptance will be charged back to the developer including all time and expenses of the Town of Parker Public Works Department.
- Repair of any damage to existing improvements or landscaping is the responsibility of the contractor. Such restoration may be required to be completed prior to acceptance of completed improvements.
- All damaged existing curb, gutter, and sidewalk shall be repaired prior to acceptance of completed improvements.
- All construction activities must comply with the State of Colorado permitting process for "Stormwater Discharges Associated with Construction Activity." For information, please contact Colorado Department of Health, Water Quality Control Division, WQCD-PE-B2, 4300 Cherry Drive South, Denver, Colorado 80222-1530. Attention: Permits and Enforcement Section. Phone (303) 692-3500.
- If dewatering is required, a state construction dewatering discharge permit is required for discharges to a storm sewer, channel, irrigation ditch, any street that is tributary to the aforementioned facilities, or any water of the United States.
- All references to books, pages, maps, and reception number are public documents on file with the County Clerk and Recorder's Office.

**ROADWAY NOTES**

The following notes shall appear on the cover sheet of all submittals containing roadway plans. If a cover sheet has not been used, they shall be put on every sheet of the submittal containing roadway design.

- Paving shall not commence until a soils report and pavement design is approved by the Town of Parker and subgrade compaction tests are submitted to and approved by the Town Inspector.
- Standard Town of Parker Curb Ramps are to be constructed at all curb returns and at all "T" intersections in accordance with the latest Town of Parker standards.
- All stationing is based on centerline of roadways unless otherwise noted.
- All elevations are on USGS DATUM with date. Range point or monument shall be shown on the construction plans.
- Except where otherwise provided for in these plans and specifications, the Colorado Department of Highways Standard Specifications for Road and Bridge Construction, the Colorado Department of Highways M and S Standards, and the Town of Parker Roadway Design and Construction Criteria Manual, latest edition, shall apply.

**STORM DRAINAGE INFRASTRUCTURE NOTES**

- All storm drainage improvements are subject to compliance with the Colorado Department of Transportation (CDOT) current edition of the Standard Specifications for Road and Bridge Construction, M & S Standards, and all standard special provisions currently used by CDOT, with the modifications set forth in the Town of Parker's Storm Drainage and Environmental Criteria Manual (SDECM), as amended.
- The contractor shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8 CRS), the "Protection of Fishing Streams" Title 33, Article 5, CRS), the "Clean Water Act" (33 USC 1344), Cherry Creek Reservoir Control Regulation No. 72" (5 CCR 1002-72), the regulation promulgated, certification or permits issues, and the requirements presented in the SDECM Revision to Section 107 and the Construction BMP Plan. In the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal, or State agencies, the more restrictive laws, rules, or regulations shall apply.
- Inspections: Construction shall not begin until a grading permit has been issued for the project. The contractor shall notify the Town of Parker Engineering Department (Public Works) to schedule inspections a minimum of 48 hours prior to the construction of all drainage infrastructure (storm sewers, inlets, manholes, energy dissipaters, riprap, grouted boulders, detention pond outlet structures, forebays, trickle channels, etc). Failure to notify the engineering department for inspections may result in non-acceptance of the infrastructure by the Town. Urban Drainage and Flood Control District must also be notified in a similar manner for all maintenance eligible drainage infrastructures (consult with Stormwater Engineering Division).
- Structural backfill (CDOT Class 1) shall be compacted to conform to CDOT Standard Specification 203.03. Structural backfill (CDOT Class 2) shall conform to CDOT Standard Specification 203.07. At the contractor's option, Structural Backfill (Squeegee) meeting the gradation requirements contained in Revision of Section 206 of the CDOT Standard Specifications as presented in the SDECM, may be substituted for Structure backfill (Class 1) or Class 2) for backfilling of culvert pipes, storm sewer pipes, manholes and inlet structures; however, the top 2 feet below subgrade elevation shall be the required embankment material.
- All excavations shall meet OSHA requirements.
- Testing: Probationary acceptance of storm drainage improvements will be contingent upon satisfactory testing results. In all cases where tests indicate compaction less than that required by Town specifications, additional compaction and tests will be required until the specifications are met. Frequency of testing will be as follows:
  - 1 test for subgrade and 1 test for backfill at every above ground appurtenance (manholes, inlets, etc)
  - 1 test every 200 LF of mainline trench every 1 foot of backfill lift and within 1 foot from all structures.

- Allowable storm sewer conduit material within the Town of Parker shall be limited to Reinforced Concrete Pipe (RCP) conforming to CDOT Standard Specification 706.02.
- All RCP joints shall be manufactured in accordance with ASTM C443. Rubber gaskets shall be used on all pipe joints conforming to ASTM C443. All RCP sections shall be joined in such a manner that the ends are fully entered and the inner surfaces are reasonable flush. Average joint gap that exceeds 1/2 inch shall be filled with an approved flexible plastic sealant.
- Joint restraints and toe-walls, conforming to CDOT M&S Standard Plan No. M-601-11 shall be used on all RCP flared end section outfalls.
- Epoxy coated rebar shall be used as reinforcing steel on all storm inlets and structures. Reference CDOT M&S Standard Plan No. M-604-10, 11, 12, and 13.
- CDOT Class D concrete shall be used for all concrete drainage structures.
- Pre-cast inlets and manhole bases shall not be used within the Town of Parker Right-of-way, with the exception of CDOT Type C and D inlets.
- Two- (2) manhole access points are required on all Type "R" curb inlets greater than or equal to ten (10) feet in length as presented in CDOT M&S Standard Plan No. M-604-12.
- All grouting (boulders, riprap) shall be in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- All boulders and riprap shall be selected and placed in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- Contractor shall refer to the Town of Parker's Construction Best Management Practices details and notes for all requirements relating to re-vegetation, sediment and erosion control requirements for construction activities.
- Pipe bells shall not be cast into manhole bases or inlets.

**DEMOLITION NOTES:**

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE

**811**  
Know what's below.  
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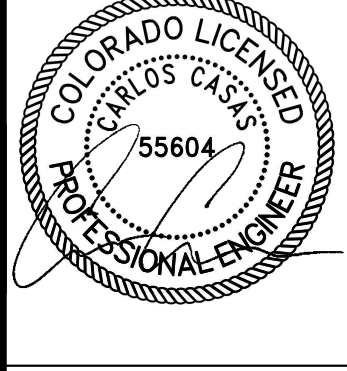
**ATWELL**  
866.850.4200 [www.atwell-group.com](http://www.atwell-group.com)  
9001 AIRPORT FREEWAY, SUITE 660  
NORTH RICHLAND HILLS, TX 76180  
972.658.9580

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
13135 DECLAN DRIVE  
BLACK ROCK COFFEE BAR  
TOWN GENERAL NOTES

DATE 2025-12-04

REVISIONS



DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. C1.00

**SIGNAGE AND STRIPING NOTES**

In addition to the notes in the above section of these roadway standards, the following notes shall appear on the cover sheet of all submittals containing roadways. The following notes shall be on all signage and striping plans:

- All traffic control devices shall conform to the most recent version of the federal Manual on Uniform Traffic Control Devices (MUTCD), Colorado Supplemental MUTCD, and the Town of Parker Roadway Design and Construction Criteria Manual. Further specifications and illustrations are located in the Colorado Department of Transportation (CDOT) M and S Standards.
- A field inspection of location and installation of all signs and markings shall be performed by the Town of Parker.
- The contractor installing signs shall be responsible for the locating and protecting of all underground utilities.
- Type III (lighted) barricades shall be set at the ends of roadways separating finished (and/or accepted) and unfinished construction areas and shall be maintained by the contractor/developer. A "Road Closed Ahead" and "To Be Extended" warning signs shall be installed appropriately in advance of the Type III barricades.
- Special care shall be taken in sign locations to ensure an unobstructed view of each sign.
- Where stop sign control is appropriate, 36 inch stop signs shall be used for approaches to any roadway that is classified as a collector or greater.
- A 7 foot minimum post length shall be maintained from the bottom of the sign panel to the ground. This requirement for vertical clearance is for all signs.
- Delineation of roadways shall be as specified in the Colorado Department of Transportation M and S Standards.
- Raised median island noses shall have R4-7 signs at each end and a 4"x12" high intensity yellow sign blank located midway between the R4-7 sign and finished grade on each post.
- Signage and striping has been determined by information available at the time of review. Prior to the initiation of any warranty period, the Town of Parker reserves the right to require modifications to existing, or installation of, additional signage and/or pavement marking if it is determined that conditions warrant such modification according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the two-year warranty period for new construction. Additionally, all pavement markings shall not lift or peel during the first year after installation.
- Diamond grade material shall be used on all stop signs and overhead signs. All other roadside traffic control devices shall use high intensity grade sheeting. No fluorescent yellow green sheeting shall be used unless specifically approved by the Town of Parker.

- All street name signs shall be high intensity, extruded, green and white blades. Arterial and collector street name signs shall be 9 inch blades and have mixed case lettering. Local street name signs shall be 6 inches blades with mixed case lettering.
- All layouts for internally illuminated street name signs shall be submitted to the Town for review and approval prior to fabrication.
- All removed signs shall be returned to the Town of Parker.
- Crosswalks: Shall be constructed using preformed thermo-plastic or an approved equal.
  - Shall be Longitudinal 2 feet by 10 feet (Continental) type or other approved by the Town of Parker.
  - Shall line up with handicap ramps.
  - Shall be centered within lanes and placed on lane and curb lines so as to avoid vehicle wheel paths.
- All pavement marking material (including words and symbols) shall be as follows:

**For Concrete Surface:**  
Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.

Words, symbols, and crosswalks/stop bars shall be methyl-mythacralate, preformed thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), or as specified.

(Sand or water blast curing compound prior to installation of markings.)

**For Asphalt Surface:**  
Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.

Words, symbols, and crosswalks/stop bars shall be hot applied thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), Methyl-Mythacralate, or as specified.

- Inspection and approval of striping and crosswalk layout to be done by Town of Parker Development Review Engineer (call 303-840-9546) prior to application of final striping.


**DEMOLITION NOTES:**

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_



**Know what's below. Call before you dig.**  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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972.356.9560

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
TOWN GENERAL NOTES

DATE 2025-10-21



COLORADO LICENSED PROFESSIONAL ENGINEER  
55604  
10-21-25

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. **C1.10**

FILE NAME: \\TOWN\DATA\GIS\PRODUCTION\24003198 - C109 NOTES.dwg LAST SAVED BY: Sarwar, K 5/14/2025 4:55 PM PLOTTED BY: Douglas, Spencer 10/21/2025 9:48:52 AM PLOTTER: HP DesignJet 2400 Series 10/21/2025 9:48:52 AM PLOT SIZE: 36.00 INCHES DOW TO PAPER: PLOT STYLE: ATWELL.ctb

CAD FILE: 24003198 - C109 NOTES

**PROJECT GENERAL NOTES**

**GENERAL NOTES**

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF IMPROVEMENTS SHALL MEET OR EXCEED THE CITY AND APPLICABLE UTILITY DISTRICT STANDARDS AND SPECIFICATIONS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS AND ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARDS AND SPECIFICATIONS. ALL REFERENCES TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARDS, UNLESS SPECIFICALLY STATED OTHERWISE.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE PLANS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED, AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
3. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY TO FURNISH SAFE WORKING CONDITIONS FOR THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL HEALTH AND SAFETY RULES AND REGULATIONS.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS AND TO COORDINATE SUCH RELOCATIONS WITH THE APPROPRIATE UTILITY PROVIDER AND ALL AFFECTED PARTIES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY/DISTRICT TO OBTAIN TEMPORARY POWER, TELEPHONE, AND WATER SERVICE DURING CONSTRUCTION. ALL COST FOR TEMPORARY SERVICES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
6. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY AND ALL UTILITY COMPANIES/DISTRICTS INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
9. THE CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION FENCE PRIOR TO, AND THROUGHOUT CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK AND INSPECTIONS AS REQUIRED BY THE CITY, STATE, OR LOCAL DISTRICTS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST ASSOCIATED WITH INSPECTION.
11. THE CONTRACTOR SHALL NOTIFY THE CITY AND LOCAL UTILITY COMPANIES/DISTRICTS AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
12. THE CONTRACTOR SHALL NOTIFY THE CITY AND LOCAL UTILITY COMPANIES/DITRICTS AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
14. INCLUDED IN THIS PACKAGE IS THE DEMOLITION AND DISPOSAL OF ALL EXISTING UTILITIES, SITE IMPROVEMENTS AND SITE FURNISHINGS NEEDED FOR CONSTRUCTION OF THE IMPROVEMENTS SHOWN IN THIS SET OF CONSTRUCTION DRAWINGS. ALL QUESTIONS IN REGARD TO DEMOLITION SHALL BE SUBMITTED TO THE OWNER IN WRITING PRIOR TO BID.
15. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTING ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS. COORDINATES PROVIDED ON THE DRAWING SHALL BE VERIFIED. ANY WORK DONE INCORRECTLY BASED UPON THE PROVIDED COORDINATES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND FIXED AT HIS OWN EXPENSE.
16. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAMES TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE CITY OR UTILITY COMPANY/DISTRICT STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
17. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER FOR THE OWNER/DEVELOPER AND THE ENGINEER IMMEDIATELY.
18. BENCHMARK VERIFICATION: THE CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
19. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARDS AND SPECIFICATIONS.

**SITE/GRADING GENERAL NOTES**

1. CONTOURS SHOWN REPRESENT FINISHED ELEVATIONS. ADJUSTMENT TO SUBGRADE FOR ALL STRUCTURES (IE PAVING, SIDEWALKS, SLABS, ETC) IS THE RESPONSIBILITY OF THE CONTRACTOR. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
2. EXISTING SPOT ELEVATIONS AT MATCH POINTS WERE DERIVED FROM CONTOURS PROVIDED WITH THE SITE MAPPING AND ARE ANTICIPATED TO BE +/- AND SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION. ANY DEVIATION SHALL BE REPORTED TO THE ENGINEER.
3. PRIOR TO PLACING ANY CONCRETE CURB, GUTTER, PANS, AND ACCESSIBLE RAMPS, THE FORMWORK ELEVATIONS SHALL BE VERIFIED AND PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL. ANY WORK THAT DOES NOT COMPLY WITH THIS REQUIREMENT AND IS PLACED IN ERROR WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. NO PROPOSED LANDSCAPED SLOPE SHALL EXCEED 3:1, OR AS SPECIFIED OTHERWISE BY LOCAL CODE.
5. CONTRACTOR SHALL REFER TO BUILDING ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS OF BUILDINGS AND APPURTENANCES. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT PREPARED SPECIFICALLY FOR THIS SITE.
6. ALL LANDSCAPED AREAS ARE TO BE CONDITIONED PER THE REQUIREMENTS OF THE LANDSCAPE PLANS. ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDED ACCORDING TO THE LANDSCAPE PLAN(S) AND GRADING, EROSION AND SEDIMENT CONTROL PLAN(S).
7. ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. CONTRACTOR SHALL NOTIFY ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DATA SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
8. ASPHALT GRADES SHALL NOT BE LESS THAN 1.00% IN THE DIRECTION OF FLOW. CURB AND GUTTER AND CONCRETE PAN GRADES SHALL NOT BE LESS THAN 0.50% IN THE DIRECTION OF FLOW. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. PAVEMENT OR CURBS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
9. HANDICAP PARKING STALLS SHALL BE PAINTED AND SIGNED IN ACCORDANCE WITH CURRENT ADA STANDARDS AND REGULATIONS.
10. HANDICAP RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS AND REGULATIONS.
11. THE FOLLOWING IS APPLICABLE TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT:
  - a. THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK OR PEDESTRIAN ACCESS ROUTE SHALL BE 2.0%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - b. THE GRADE OF HANDICAP PARKING STALLS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. HANDICAP PARKING SHALL HAVE AN ACCESSIBLE ROUTE TO THE BUILDING ENTRY AS SHOWN ON THE DRAWINGS.
  - c. HANDICAP ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL GRADE OF 5.0%. ACCESSIBLE ROUTES EXCEEDING 5.0% SHALL BE CONSTRUCTED WITH RAMPS AND HAND RAILS HAVING A MAXIMUM SLOPE OF 8.33% FOR A MAXIMUM RISE OF 30 INCHES. A 5-FOOT BY 5-FOOT LANDING PAD (WITH A 2 PERCENT MAXIMUM SLOPE IN ANY DIRECTION) SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMP.
12. PRIOR TO PLACEMENT OF CURB AND PAVEMENT CONTRACTOR SHALL VERIFY COMPLIANCE WITH ADA STANDARDS.
13. IF DURING THE GRADING AND CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER FOR THE DEVELOPER/OWNER, THE ENGINEER, AND THE GEOTECHNICAL ENGINEER IMMEDIATELY.
14. ALL GRATES, MANHOLE RIMS, VALVE BOXES, VALVE COVERS, CLEANOUTS, AND VAULT OR BOX COVERS SHALL BE ADJUSTED TO "AS CONSTRUCTED" FINISHED GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
15. ALL CONCRETE PAVEMENT, CONCRETE FLATWORK, CONCRETE STRUCTURES, AND CONCRETE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MATERIAL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED SPECIFICALLY FOR THIS SITE.
16. CONCRETE PAVEMENT JOINTS SHALL MEET THE REQUIREMENTS OF CDOT STANDARDS AND SPECIFICATIONS, AND CDOT STANDARD PLAN NO. M-412-1, UNLESS NOTED OTHERWISE.
17. ALL SIGNING AND STRIPING WILL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL CODES.
18. REFER TO ARCHITECTURAL PLANS FOR BUILDING SIGNAGE LOCATIONS.
19. CONTRACTOR SHALL COORDINATE SIGNAGE PERMIT, INSTALLATION, AND SPECIFICATIONS WITH OWNER AND SIGNAGE MANUFACTURER.
20. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH OWNER AND SIGNAGE MANUFACTURER, AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO THE OWNER FOR APPROVAL.
21. REFER TO THE SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS.
22. GRADES WITHIN ASPHALT PAVING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG CURBS. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
23. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL LANDSCAPED AND PAVED AREAS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY EXISTING IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO STREET PAVEMENT, FENCES, SOD, LANDSCAPING, SPRINKLER SYSTEMS, AND UTILITIES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL LOCATION AND CONDITION.
25. IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER MODIFIED OR TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSE OUT.
26. THE CONTRACTOR SHALL PROTECT THE PROJECT BENCHMARK(S) THROUGHOUT CONSTRUCTION AND SET ADDITIONAL PROJECT BENCHMARKS AS NECESSARY TO MAINTAIN VERTICAL CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
27. THE CONTRACTOR SHALL INSPECT AND REPAIR EXISTING DRAINAGE STRUCTURES AS NEEDED, AND CLEAN OUT EXISTING PIPES TO REMOVE ALL SILT AND DEBRIS.

**MSE RETAINING WALL GENERAL NOTES**

1. CONTRACTOR SHALL PROVIDE FULL DESIGN AND CONSTRUCTION OF THE MSE RETAINING WALLS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND INDUSTRY STANDARDS AND SPECIFICATIONS.
2. THE ALIGNMENT OF THE MSE WALLS IS SHOWN ON THE PLANS AND ASSOCIATED PROFILES DEPICTING THE FINISHED GRADE AT THE TOP OF THE WALL (TOW) AND BOTTOM OF THE WALL (BOW) AND IS NOT INTENDED TO SHOW ANY PORTION OF THE WALL BELOW FINISHED GRADE. CHANGES IN THE TOP OF WALL ELEVATIONS SHALL BE ACHIEVED BY UNIFORMLY STEPPING THE WALL.
3. CONTRACTOR IS REQUIRED TO:
  - a. REVIEW THE GEOTECHNICAL REPORT FOR THE SITE AND VERIFY THE REPORT PROVIDES ALL INFORMATION REQUIRED FOR THE DESIGN OF THE WALL.
  - b. PROVIDE FULL DESIGN OF THE WALL INCLUDING DESIGN CALCULATIONS AND CONSTRUCTION DRAWINGS PREPARED BY A LICENSED ENGINEER TO BE SUBMITTED TO THE CITY FOR APPROVAL. THE DESIGN SHALL CONSIDER THE LONG TERM STRUCTURAL STABILITY OF THE WALL AND ADDRESS DRAINAGE BEHIND THE WALL.
  - c. OBTAIN ALL PERMITS REQUIRED FOR THE WORK.
  - d. VERIFY EXISTING AND PROPOSED ELEVATIONS AT TOP OF WALL.
  - e. PROVIDE ALL MATERIALS AND LABOR REQUIRED FOR CONSTRUCTION AND INSTALLATION OF THE WALL.
  - f. PROVIDE MATERIAL TESTING OF ALL MATERIALS USED FOR CONSTRUCTION OF WALLS.
  - g. DETAIL, PROVIDE, AND INSTALL A PEDESTRIAN GUARDRAIL ALONG THE TOP OF ALL WALLS INSTALLED. SUBMIT DETAILS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
  - h. SUBMIT TO THE ARCHITECT A COLOR AND TEXTURE SAMPLE OF THE BLOCK TO BE USED PRIOR TO INSTALLATION.



**Know what's Below. Call before you dig.**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY PERSONS INJURED OR THE WORK OF ANY OTHER PERSONS, OR OF ANY OTHER PERSONS.  
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LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
 13135 DECLAN DRIVE  
**GENERAL NOTES**

DATE 2025-10-21

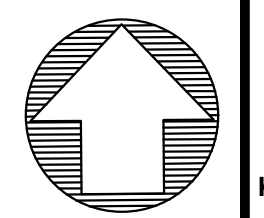
REVISIONS



DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO. **C1.20**

FILE NAME: \\TDR\c\proj\24003198 - BIC - Parker & Stroh - Parker CO\13135 Declan Drive\13135 Declan Drive.dwg DATE: 10/21/25 10:45 AM PLOTTED BY: Douglas County 10/21/25 10:45 AM PLOTTER: HP DesignJet T930 e-plotter

CAD FILE: 24003198 - C101 NOTES



**Know what's below. Call before you dig.**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTICE:**  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTS OR INJURIES TO PERSONS OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

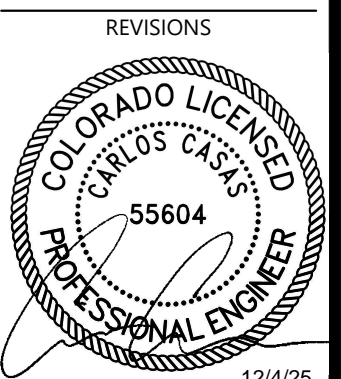
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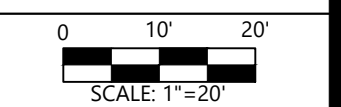
LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 SITE PLAN

DATE 2025-12-04



12/4/25



DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO.

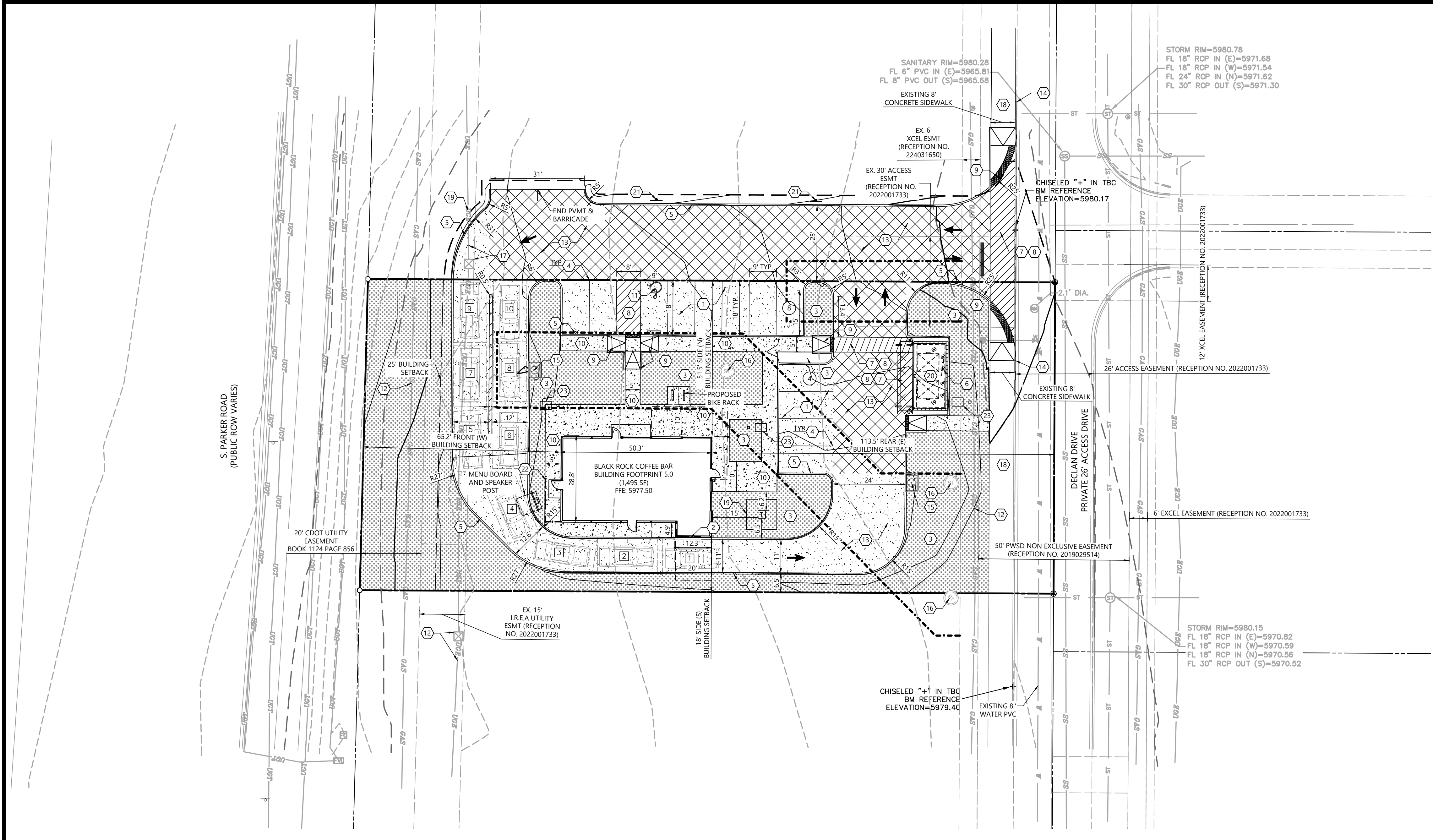
C2.00

**SITE LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT LINE
- 6" CURB
- ♿ HANDICAP STALL
- ⊠ A.D.A. STD HANDICAP RAMP
- ⊡ PARKING SPACE COUNT
- ⊞ # OF STACKING
- ▭ VEHICLE STACKING SPACE
- ⊞ SIGN

**CORRESPONDING DETAIL NUMBER (SEE DETAIL SHEETS)**

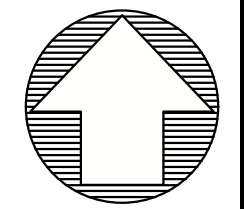
NOTE NUMBER	CORRESPONDING DETAIL NUMBER (SEE DETAIL SHEETS)
1	C700
2	SEE ARCHITECTURAL PLANS FOR DETAILS
3	SEE LANDSCAPE PLANS FOR DETAILS
4	-
5	-
6	-
7	-
8	-
9	C700
10	C700
11	-
12	C700
13	C700
14	C700
15	C700
16	C700
17	-
18	-
19	-
20	C700
21	-
22	SEE ARCHITECTURAL PLANS FOR DETAILS
23	SEE PHOTOMETRIC SITE PLAN FOR DETAILS



- SITE GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
  - USE 3' RADIUS, UNLESS SHOWN OTHERWISE.
  - THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY: BARRON LAND. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  - ALL ACCESSIBLE PARKING SPACES AND TRAVEL ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND/OR STATE REQUIREMENTS.
  - ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
  - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
  - ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
  - THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
  - ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
  - CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  - FOR WORK IN, OR ADJACENT TO, STREET RIGHT OF WAYS, CONTRACTOR SHALL ENSURE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR TO ERECT AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
  - ALL PARKING LOT LIGHTING MUST BE INSTALLED AND OPERATE SO AS NOT TO PRODUCE GLARE OR CAST DIRECT ILLUMINATION ACROSS THE BOUNDING PROPERTY LINE. LOW PRESSURE SODIUM LIGHTING IS PROHIBITED. ALL LIGHTING FIXTURES MUST BE RESTRICTED TO DOWN-LIGHT OR CUT-OFF TYPES.

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
 1-800-922-1987  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.





811

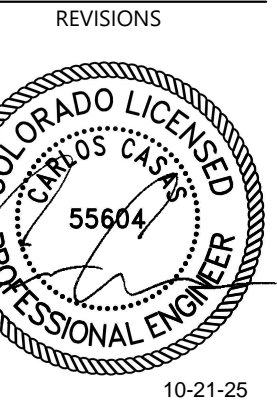
Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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LOT 4A PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
13135 DECLAN DRIVE  
BLACK ROCK COFFEE BAR  
GRADING PLAN

DATE 2025-10-21



DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: #  
SHEET NO. C3.00

GRADING LEGEND

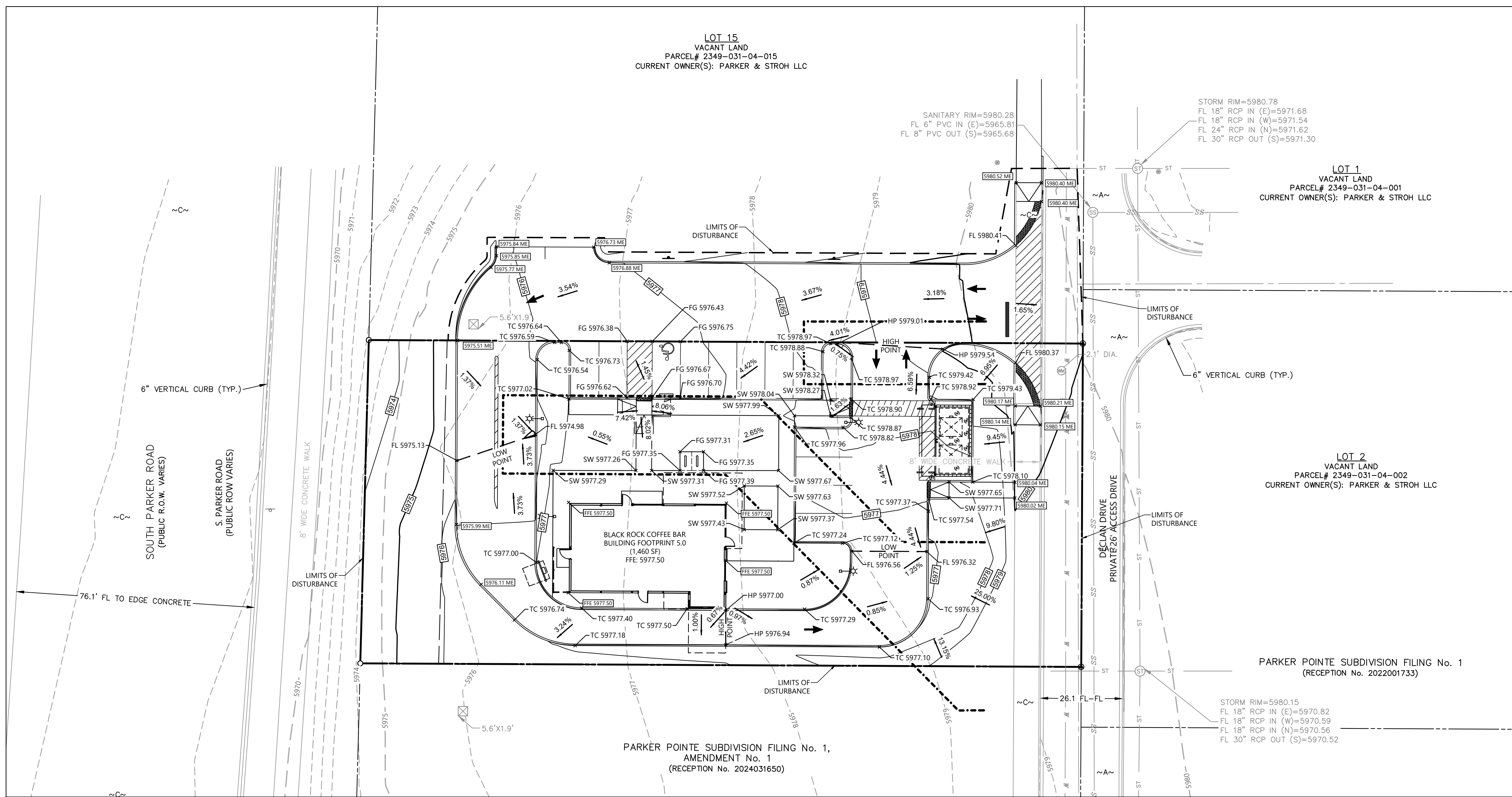
- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED SETBACK LINE
- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING STORM LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED (PR) SPOT ELEV
- PR. SPOT ELEV - MATCH EX. GRADE
- PR. SPOT ELEV - TOP OF CURB
- PR. SPOT ELEV - SIDEWALK
- PR. SPOT ELEV - FLOWLINE
- FINISHED FLOOR ELEVATION
- PR. SPOT ELEV - HIGH POINT
- PROPOSED SLOPE ARROW
- EXISTING STORM MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT

EARTHWORK QUANTITIES

CUT	585
FILL	89
BALANCE (IMPORT)	495

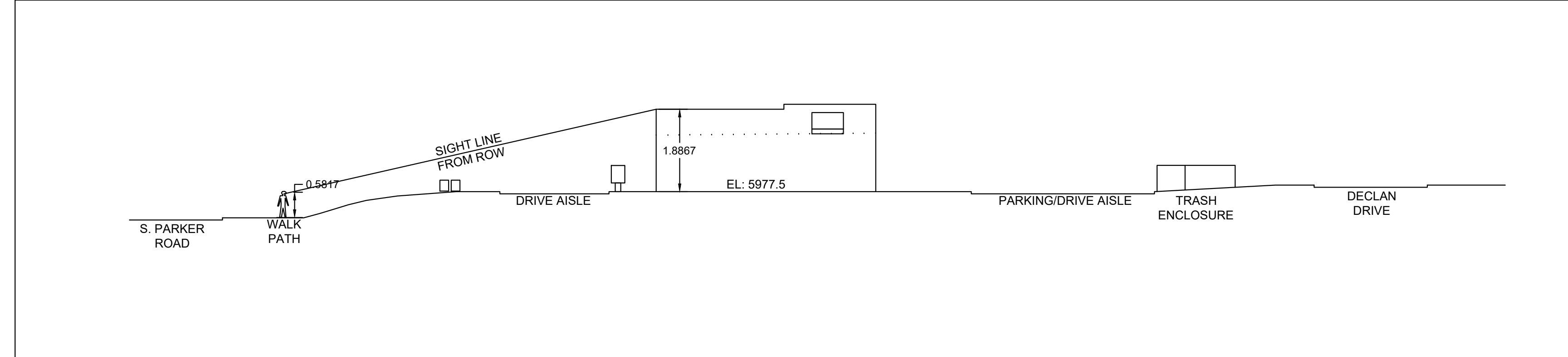
ABBREVIATION LIST

- EG EXISTING GRADE
- TC TOP OF CURB
- FL FLOW LINE
- SW SIDEWALK
- ME MATCH EXISTING
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- HP HIGH POINT



GRADING NOTES:

- 1. GRADES SHOWN ARE PROPOSED FINISHED GRADES.
- 2. ALL PROPOSED GRADES AND SPOT ELEVATIONS INDICATE TOP OF PAVEMENT OR FACE/FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- 3. THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY BARRON LAND.
- 4. THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
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- 7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
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- 9. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- 10. ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
- 11. CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATIONS REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STATE, LOCAL, OR FEDERAL REQUIREMENTS.
- 12. REMOVE EXISTING TOPSOIL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PRIOR TO PLACEMENT OF ANY FILL MATERIAL.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEVADA STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
- 14. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.



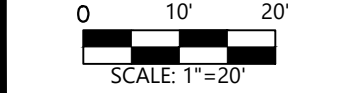
SITE SECTION

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

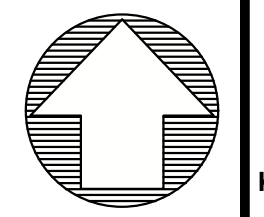
BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NAD08)

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FILE NAME: \\TODAL\CAD\24003198 - BIC - Parker & Stroh - 2505 - GRADING PLAN.dwg LAST SAVED BY: Sarwar, K. DATE: 10/21/2025 10:21:25 AM PLOTTED BY: Sarwar, K. DATE: 10/21/2025 10:21:25 AM PLOTTER: HP DesignJet T1200 (PCL6) PLOT SCALE: 1"=20'



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LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 DRAINAGE PLAN

DATE: 2025-10-21

REVISIONS



10-21-25

SCALE: 1"=20'

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: #  
 SHEET NO.

TOWN OF PARKER, DIRECTOR ENGINEERING

DATE

C3.10

**DRAINAGE PLAN LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING EASEMENT
- PROPOSED SETBACK LINE
- 119 EXISTING MINOR CONTOURS
- 120 EXISTING MAJOR CONTOURS
- 119 PROPOSED MINOR CONTOUR
- 120 PROPOSED MAJOR CONTOUR
- ST EXISTING STORM LINE
- PROPOSED STORM LINE
- W EXISTING WATER LINE
- SS EXISTING SANITARY SEWER LINE
- x 1234 PROPOSED SPOT ELEV
- 2% SLOPE ARROW
- SM EXISTING STORM MANHOLE
- SS EXISTING SANITARY SEWER MANHOLE
- WM EXISTING WATER METER
- WV EXISTING WATER VALVE
- FD EXISTING FIRE HYDRANT
- FLOW DIRECTION ARROWS

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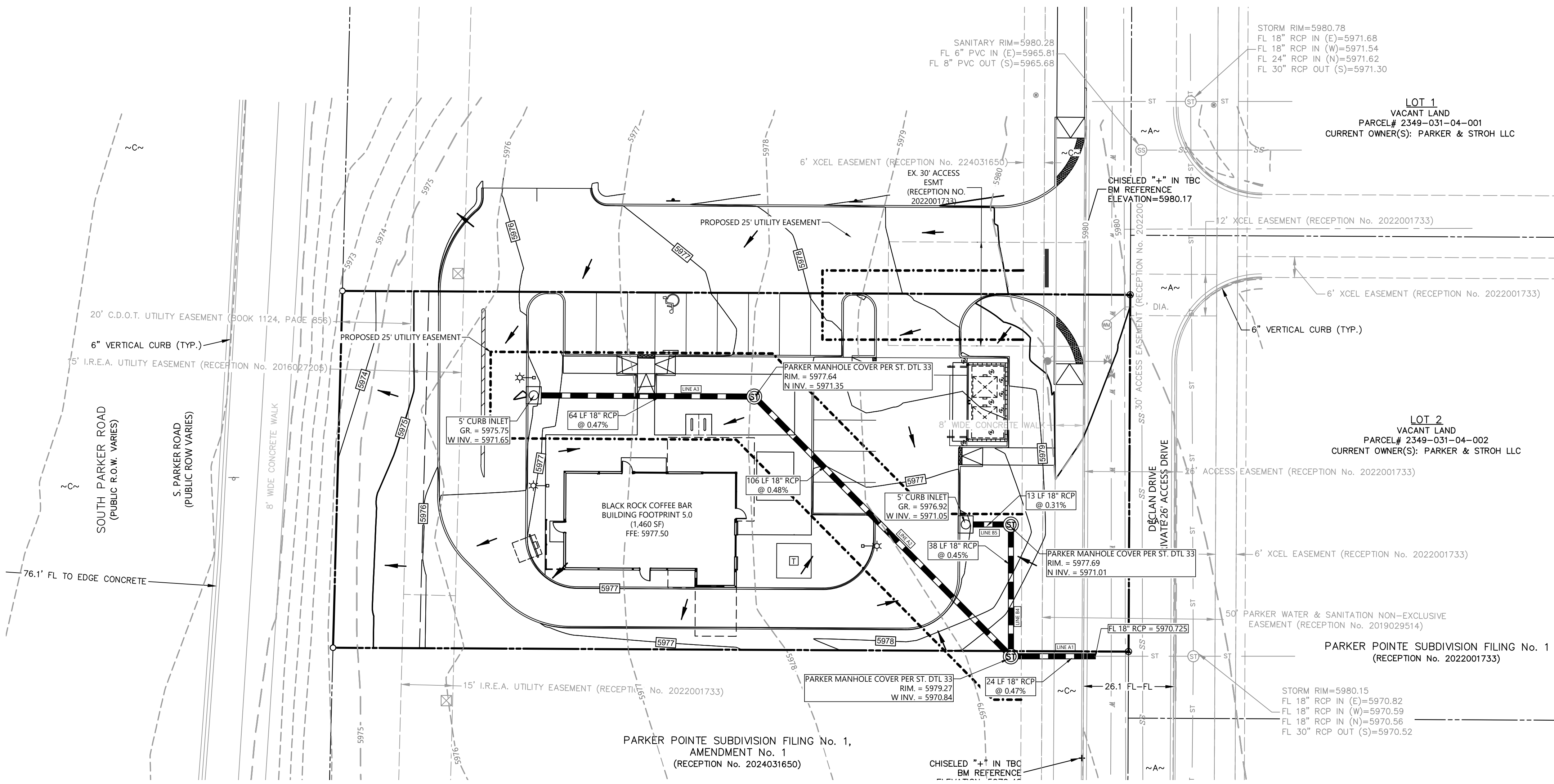
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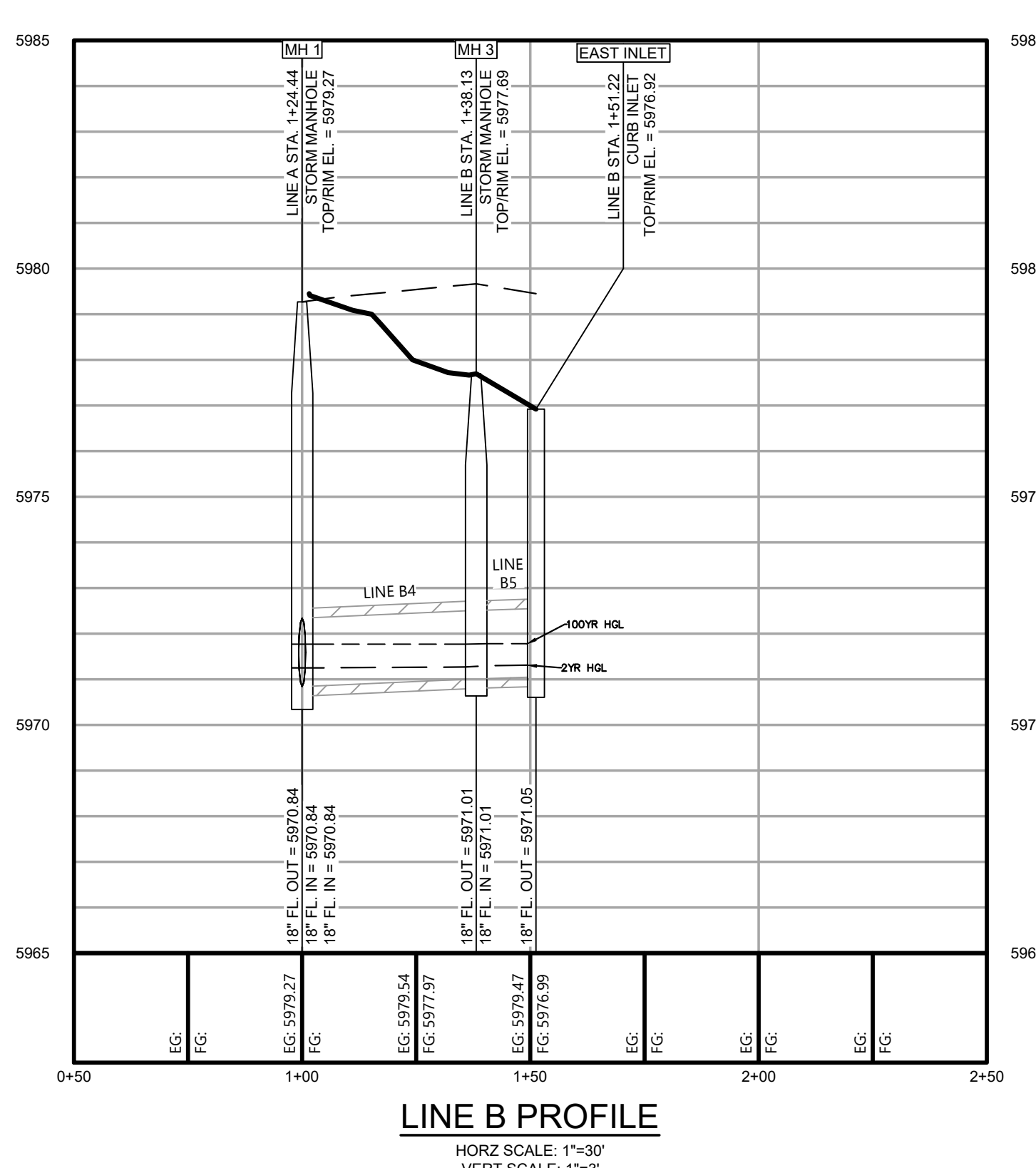
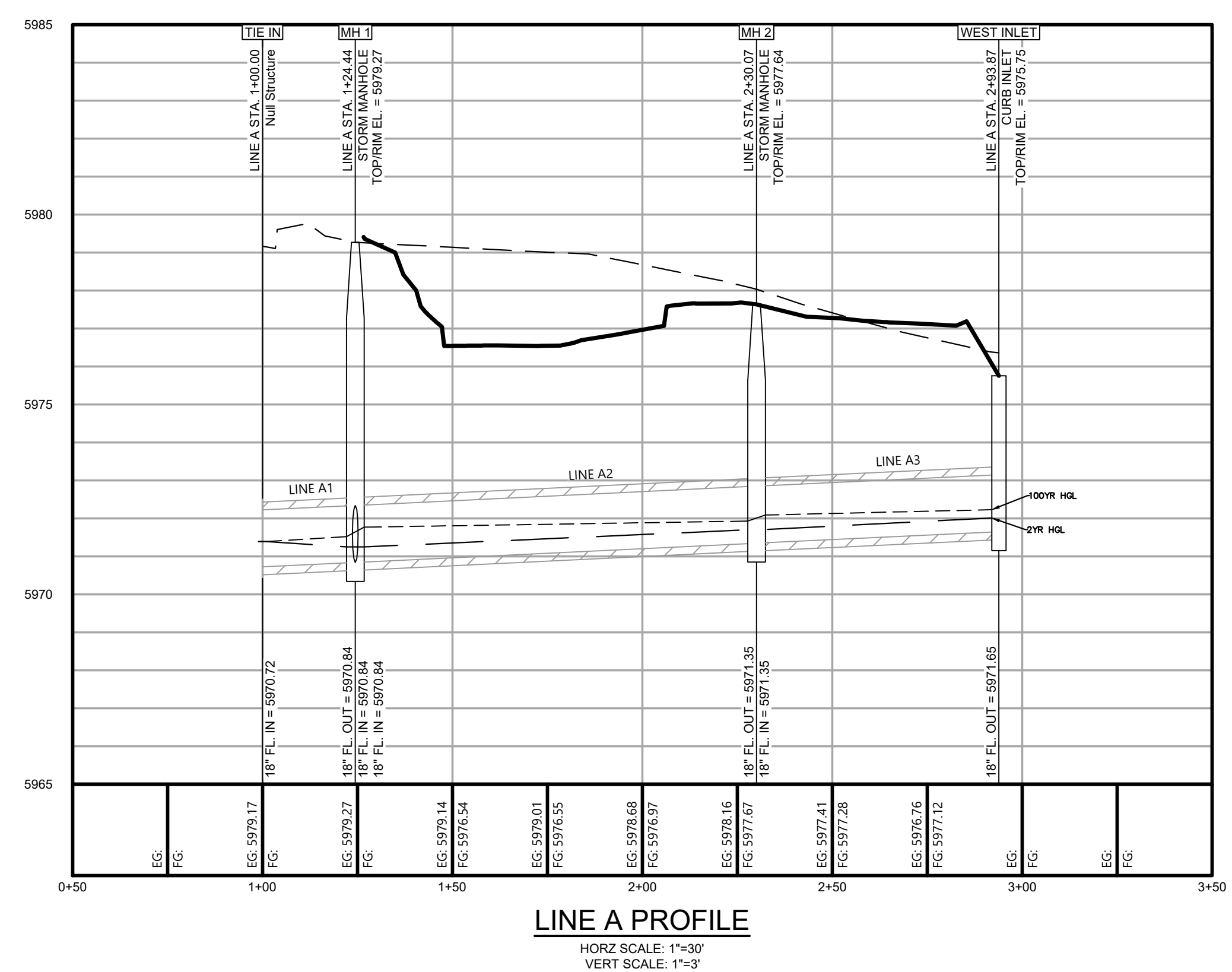
TOWN OF PARKER, DIRECTOR ENGINEERING

DATE

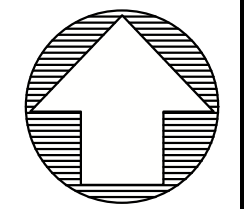


PARKER POINT SUBDIVISION FILING No. 1, AMENDMENT No. 1 (RECEPTION No. 2024031650)

PARKER POINT SUBDIVISION FILING No. 1 (RECEPTION No. 2022001733)



FILE NAME: \\TOWN\CAD\CAD\24003198 - B3 - Parker - 24003198.dwg; PLOT DATE: 10/21/2025 1:42 PM; PLOTTED BY: K. SARWAR; PLOTTER: HP DesignJet T1300; PLOT SCALE: 1"=20'; PLOT SHEETS: 3 OF 3; PLOT STATUS: SUCCESS



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 NORTH RICHLAND HILLS, TX 76180  
 972.956.8860

LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

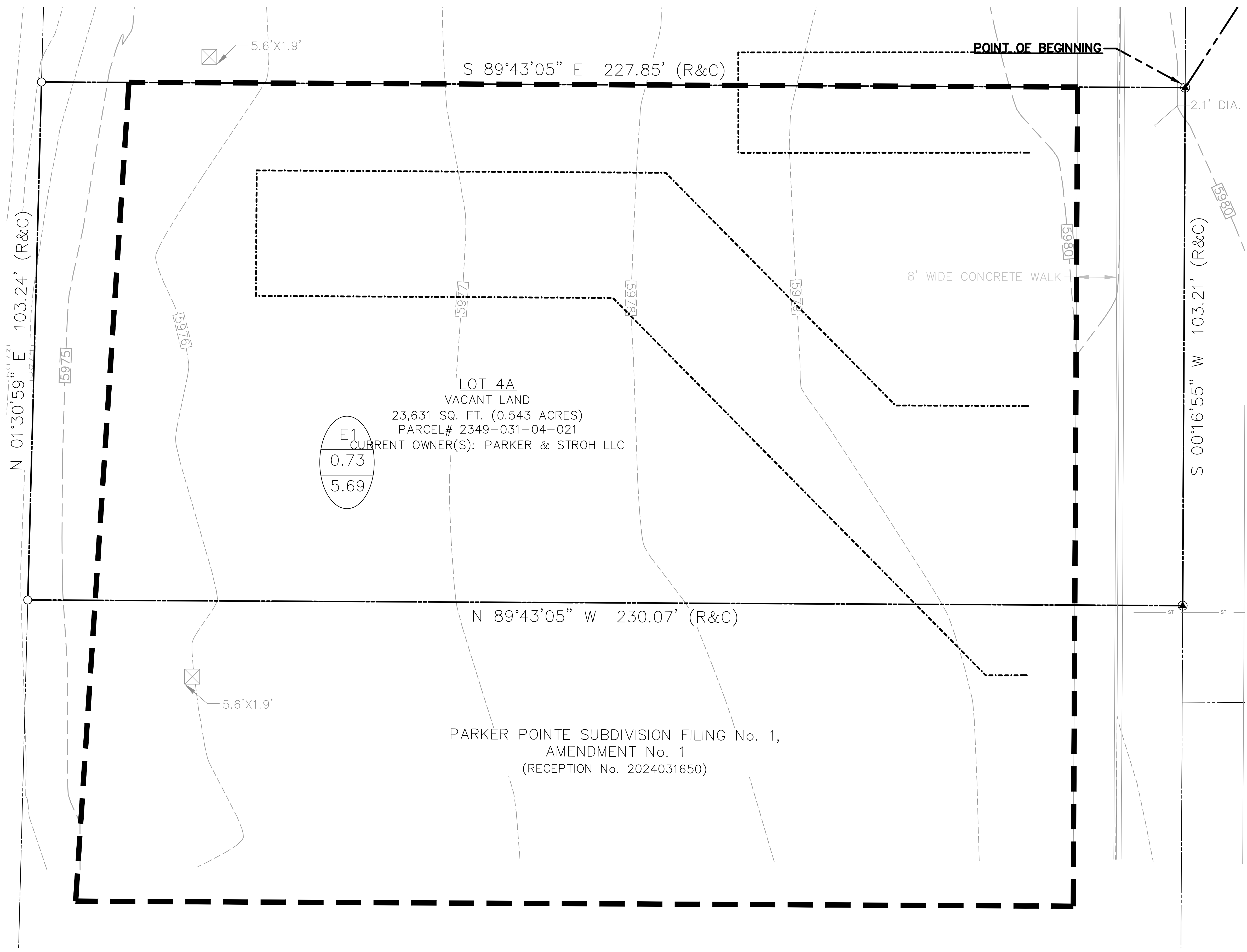
BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 INTERIM DAM

DATE: 2025-10-21



SCALE: 1"=10'

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: #  
 SHEET NO.



**DRAINAGE LEGEND:**

- H SUBAREA
- 0.79 AREA - ACRES
- 6.22 FLOW - Q 100 (CFS)
- DRAINAGE AREA LINE

- DRAINAGE NOTES:**
1. THE DEVELOPER, THROUGH HIS ENGINEER OR AUTHORIZED REPRESENTATIVE, SHALL ACQUIRE ALL REQUIRED NATIONWIDE PERMITS, SUCH AS CWA 401, 402 AND/OR 404 PERMITS, AS APPROPRIATE, FROM THE USEPA, AND/OR USACE.
  2. TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
  3. TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM SURVEY AS PROVIDED BY BARRON LAND.

CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
 1-800-922-1987  
 CALL 2-BUSINESS DAYS IN ADVANCE  
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 FOR THE MARKING OF UNDERGROUND  
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E1  
 0.73  
 5.69

LOT 4A  
 VACANT LAND  
 23,631 SQ. FT. (0.543 ACRES)  
 PARCEL# 2349-031-04-021  
 CURRENT OWNER(S): PARKER & STROH LLC

PARKER POINT SUBDIVISION FILING No. 1,  
 AMENDMENT No. 1  
 (RECEPTION No. 2024031650)

PRE-DEVELOPED DRAINAGE SUMMARY  
 BRC - PARKER, COLORADO

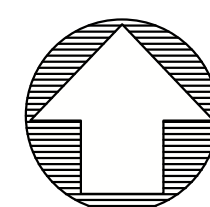
DRAINAGE AREA	AREA (AC)	Tc (MIN)	C-VALUE	I (2 yr) (in/yr)	Q (2yr) (cfs)	I (100 yr) (in/yr)	Q (100 yr) (cfs)	REMARKS
E1	0.73	5.00	0.05	3.41	0.12	9.53	0.35	TO INTERIM SYSTEM
TOTALS	0.73						0.35	

1. INTENSITY VALUES, TC, AND C VALUES UTILIED ARE THOSE FOUND IN THE MASTER DRAINAGE REPORT "MASTER DRAINAGE REPORT FOR PARKER POINT JOB NO. 2015-015"

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TOWN OF PARKER, DIRECTOR ENGINEERING DATE



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 972.356.9860

LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
 13135 DECLAN DRIVE  
 BLACK ROCK COFFEE BAR  
 POST-DEV DAM

DATE 2025-10-21

REVISIONS



10-21-25

SCALE: 1"=10'

DRAWN BY: K. SARWAR

CHECKED BY: N. SALAZAR

PROJECT MANAGER: N. SALAZAR

JOB #: 24003198

FILE CODE: #

SHEET NO. C3.30

**DRAINAGE LEGEND:**

- SUBAREA
- AREA - ACRES
- FLOW - Q 100 (CFS)
- DRAINAGE AREA LINE
- PROPOSED STORM MANHOLE
- PROPOSED 5' CURB INLET

**DRAINAGE NOTES:**

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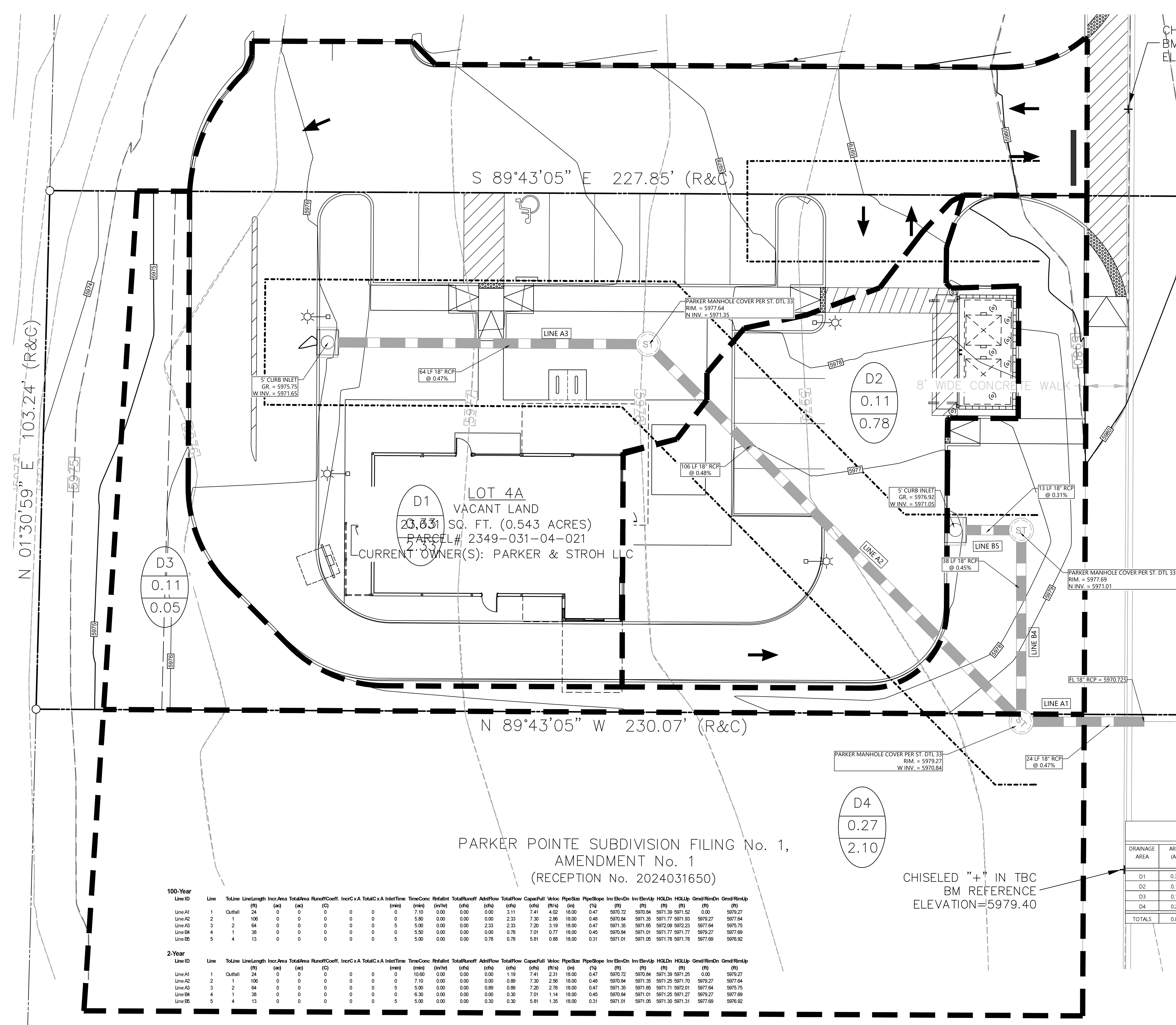
PRE-DEVELOPED DRAINAGE SUMMARY  
 BRC - PARKER, COLORADO

DRAINAGE AREA	AREA (AC)	Tc (MIN)	C-VALUE	P (2 yr) One-hour point rainfall	I (2 yr) (in/hr)	Q (2 yr) (cfs)	P (100yr) One-hour point rainfall	I (100 yr) (in/hr)	Q (100 yr) (cfs)	REMARKS
D1	0.33	5.00	0.80	0.99	3.36	0.89	2.60	8.82	2.33	TO WEST CURB INLET
D2	0.11	5.00	0.80	0.99	3.36	0.30	2.60	8.82	0.78	TO EAST INLET
D3	0.12	5.00	0.05	0.99	3.36	0.02	2.60	8.82	0.05	BYPASS
D4	0.27	5.00	0.88	0.99	3.36	0.80	2.60	8.82	2.10	BYPASS ADJOINER
TOTALS	0.83					2.00			5.25	

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR ENGINEERING DATE



PARKER POINT SUBDIVISION FILING No. 1,  
 AMENDMENT No. 1  
 (RECEPTION No. 2024031650)

CHISELED "+\"/>

**100-Year**

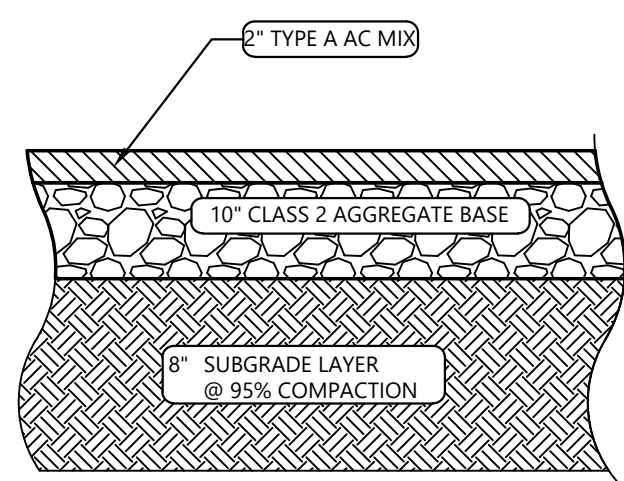
Line ID	Line	ToLine	LineLength (ft)	Incr.Area (ac)	TotalArea (ac)	RanoffCoeff. (C)	Incr.C x A	TotalC x A	InletTime (min)	TimeConc. (min)	Rainfall (in/hr)	TotalRanoff (cfs)	AdmFlow (cfs)	TotalFlow (cfs)	CapacFull (cfs)	Veloc (ft/s)	PipeSize (in)	PipeSlope (%)	Inv Elev (ft)	Inv Elev (ft)	HGLDn (ft)	HGLUp (ft)	Gnd RimDn (ft)	Gnd RimUp (ft)
Line A1	1	Outfall	24	0	0	0	0	0	0	7.10	0.00	0.00	3.11	7.41	4.02	18.00	0.47	5970.22	5970.84	5971.39	5971.52	0.00	5979.27	5979.27
Line A2	2	1	106	0	0	0	0	0	0	5.00	0.00	0.00	2.33	7.30	2.86	18.00	0.48	5970.84	5971.35	5971.77	5971.93	5979.27	5979.27	5977.64
Line A3	3	2	64	0	0	0	0	0	5	5.00	0.00	0.00	2.33	7.20	3.19	18.00	0.47	5971.35	5971.65	5972.09	5972.23	5977.64	5977.64	5975.75
Line B4	4	1	38	0	0	0	0	0	0	5.00	0.00	0.00	0.78	7.01	0.77	18.00	0.45	5970.84	5971.01	5971.77	5971.77	5979.27	5977.69	5977.69
Line B5	5	4	13	0	0	0	0	0	5	5.00	0.00	0.00	0.78	5.81	0.88	18.00	0.31	5971.01	5971.05	5971.78	5971.78	5977.69	5977.69	5976.92

**2-Year**

Line ID	Line	ToLine	LineLength (ft)	Incr.Area (ac)	TotalArea (ac)	RanoffCoeff. (C)	Incr.C x A	TotalC x A	InletTime (min)	TimeConc. (min)	Rainfall (in/hr)	TotalRanoff (cfs)	AdmFlow (cfs)	TotalFlow (cfs)	CapacFull (cfs)	Veloc (ft/s)	PipeSize (in)	PipeSlope (%)	Inv Elev (ft)	Inv Elev (ft)	HGLDn (ft)	HGLUp (ft)	Gnd RimDn (ft)	Gnd RimUp (ft)	
Line A1	1	Outfall	24	0	0	0	0	0	0	10.60	0.00	0.00	0.00	1.19	7.41	2.31	18.00	0.47	5970.22	5970.84	5971.39	5971.25	0.00	5979.27	5979.27
Line A2	2	1	106	0	0	0	0	0	0	7.10	0.00	0.00	0.89	7.30	2.56	18.00	0.48	5970.84	5971.35	5971.77	5971.70	5979.27	5979.27	5977.64	
Line A3	3	2	64	0	0	0	0	0	5	5.00	0.00	0.00	0.89	7.20	2.76	18.00	0.47	5971.35	5971.65	5971.71	5972.01	5977.64	5977.64	5975.75	
Line B4	4	1	38	0	0	0	0	0	0	6.30	0.00	0.00	0.30	7.01	1.14	18.00	0.45	5970.84	5971.01	5971.29	5971.27	5979.27	5977.69	5977.69	
Line B5	5	4	13	0	0	0	0	0	5	5.00	0.00	0.00	0.30	5.81	1.35	18.00	0.31	5971.01	5971.05	5971.30	5971.31	5977.69	5977.69	5976.92	

FILE NAME: \\TOWN\CADD\24003198 - BRC - Parker Point Subd. Filing No. 1, Amend. No. 1.dwg PLOT DATE: 10/21/2025 10:21 AM PLOTTED BY: K. Sarwar

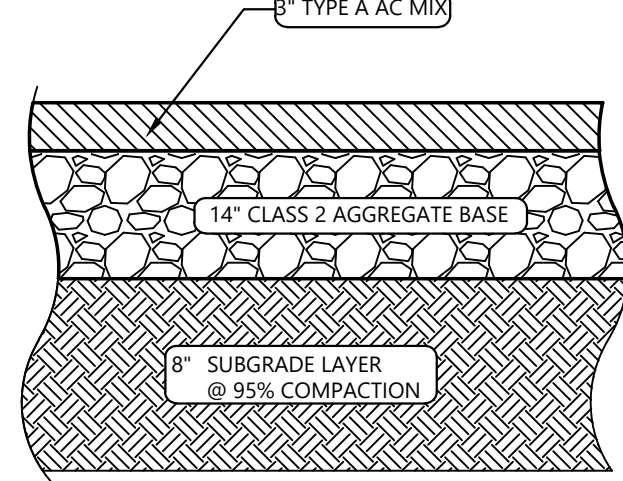




THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR PROPOSED BLACK ROCK COFFEE AT E. PARKER ROAD, BY UES, DATED FEBRUARY 21, 2024. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.

**2" AC OVER 10" ABC PAVEMENT SPECIFICATION**

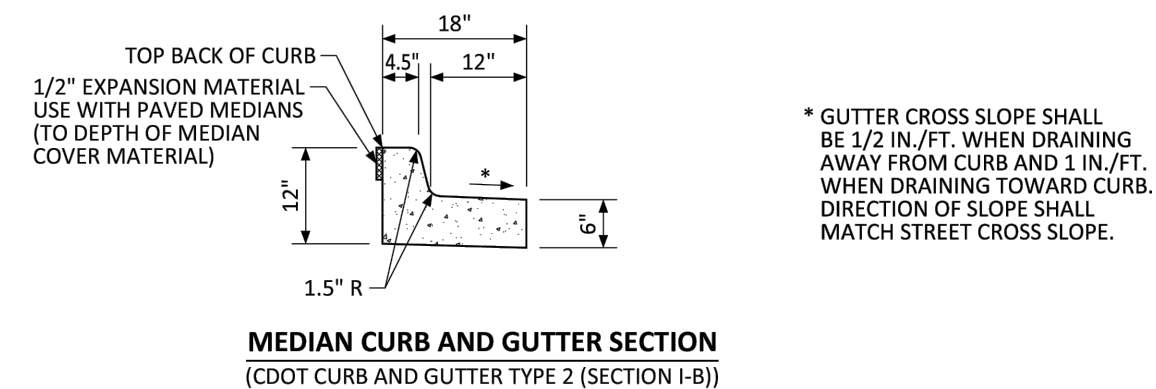
N.T.S.



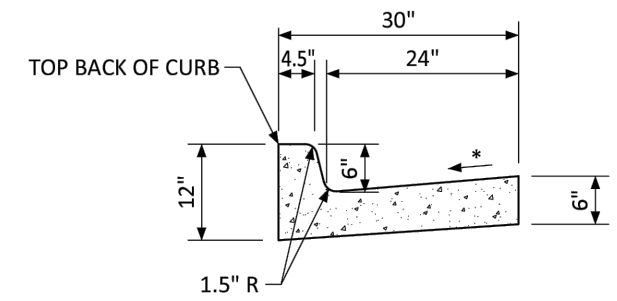
THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR PROPOSED BLACK ROCK COFFEE AT E. PARKER ROAD, BY UES, DATED FEBRUARY 21, 2024. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.

**6" AC OVER 4" ABC PAVING SPECIFICATION**

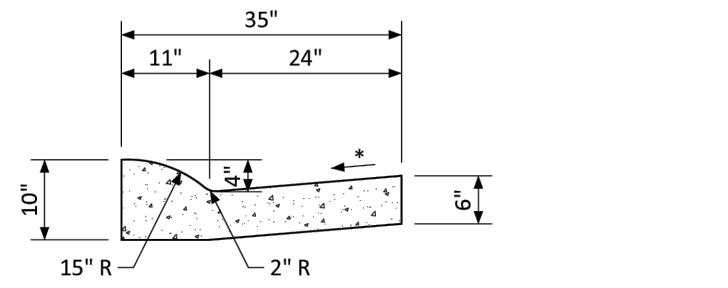
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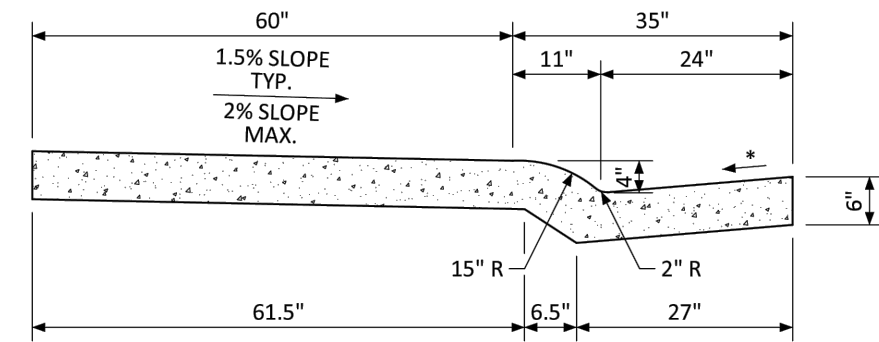
**MEDIAN CURB AND GUTTER SECTION**  
(CDOT CURB AND GUTTER TYPE 2 (SECTION I-B))



**VERTICAL CURB AND GUTTER SECTION**  
(CDOT CURB AND GUTTER TYPE 2 (SECTION II-B))



**MOUNTABLE CURB AND GUTTER SECTION**



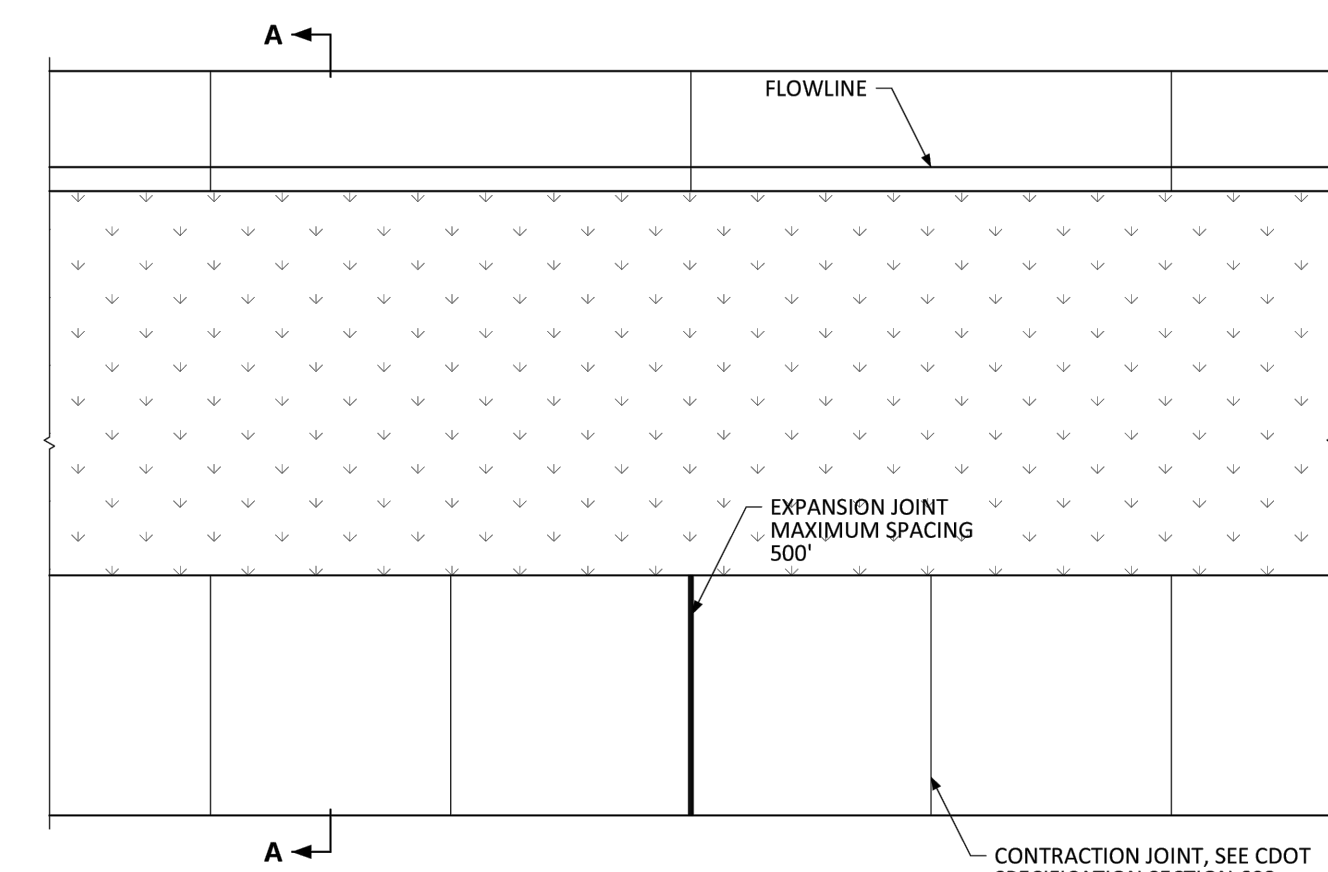
**MONOLITHIC COMBINATION CURB, GUTTER AND SIDEWALK SECTION**

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

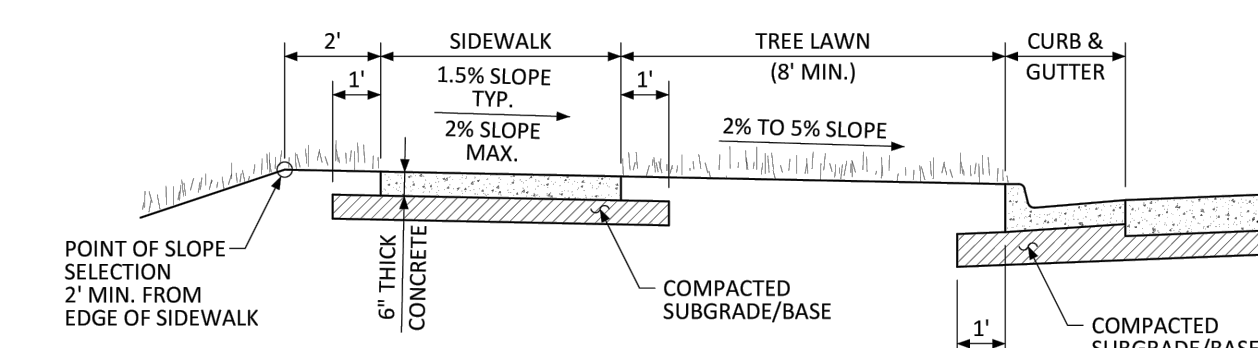


**CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 3  
1 OF 1



**JOINT SPACING**



**SECTION A-A**  
**GENERAL NOTES**

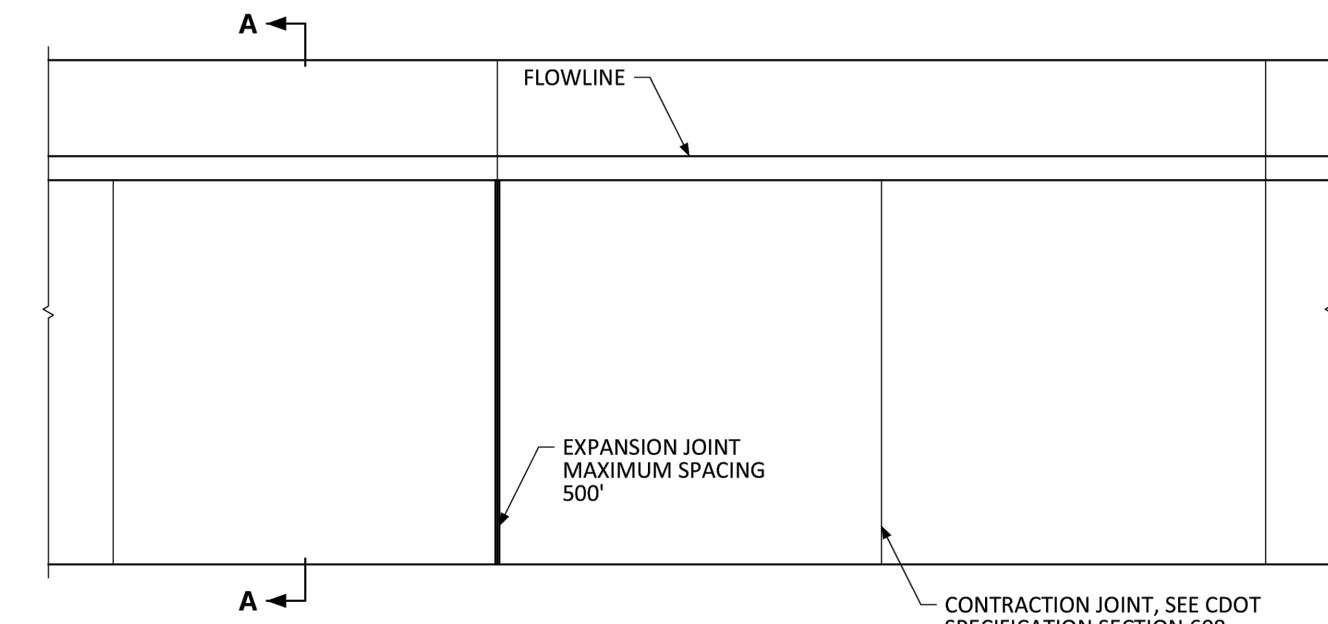
- CONTRACTION JOINTS ON CONCRETE TRAILS SHALL BE SAWCUT.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

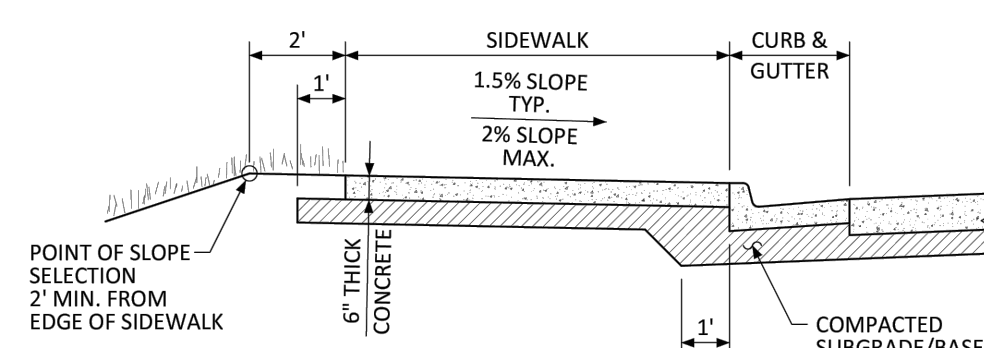


**DETACHED SIDEWALK STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 4  
1 OF 2



**JOINT SPACING**



**SECTION A-A**  
**GENERAL NOTES**

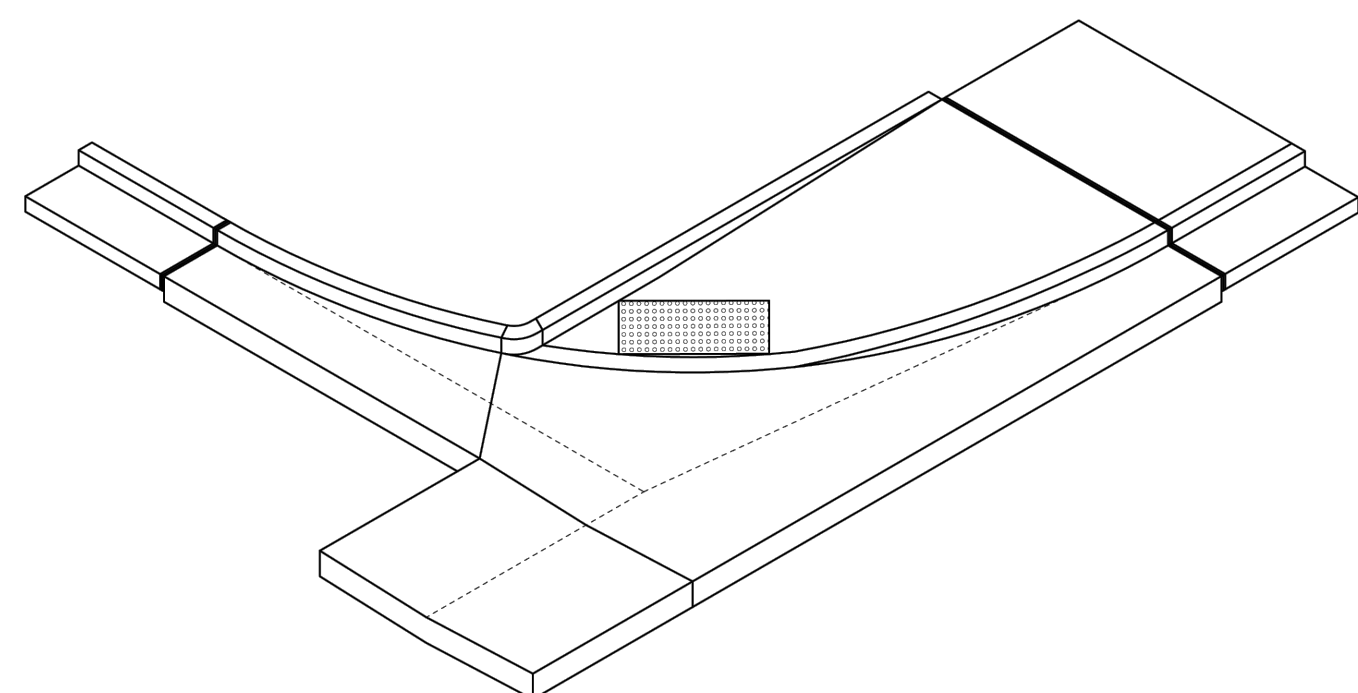
- CONTRACTION JOINTS ON CONCRETE TRAILS SHALL BE SAWCUT.
- TRANSVERSE SIDEWALK JOINTS SHALL MATCH CURB AND GUTTER JOINTS.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

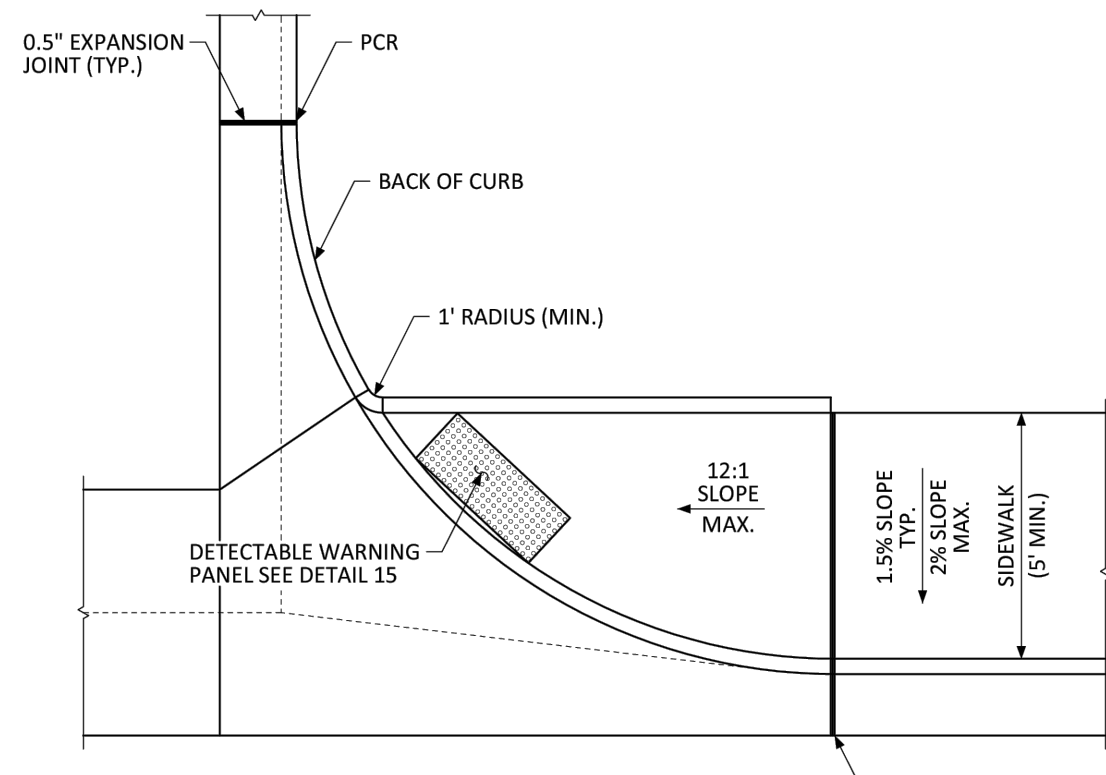


**ATTACHED SIDEWALK STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 4  
2 OF 2



**ISOMETRIC**



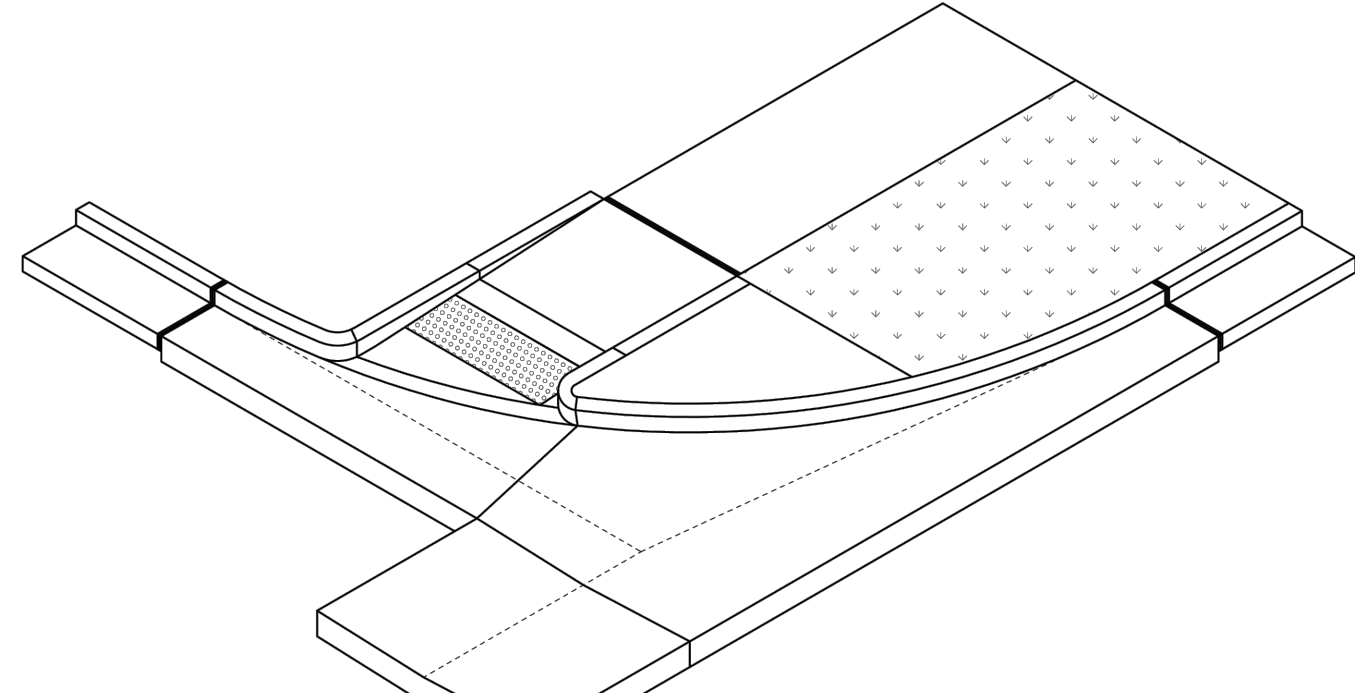
**DIRECTIONAL CURB RAMP WITHIN RADIUS**  
(ATTACHED SIDEWALK)

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

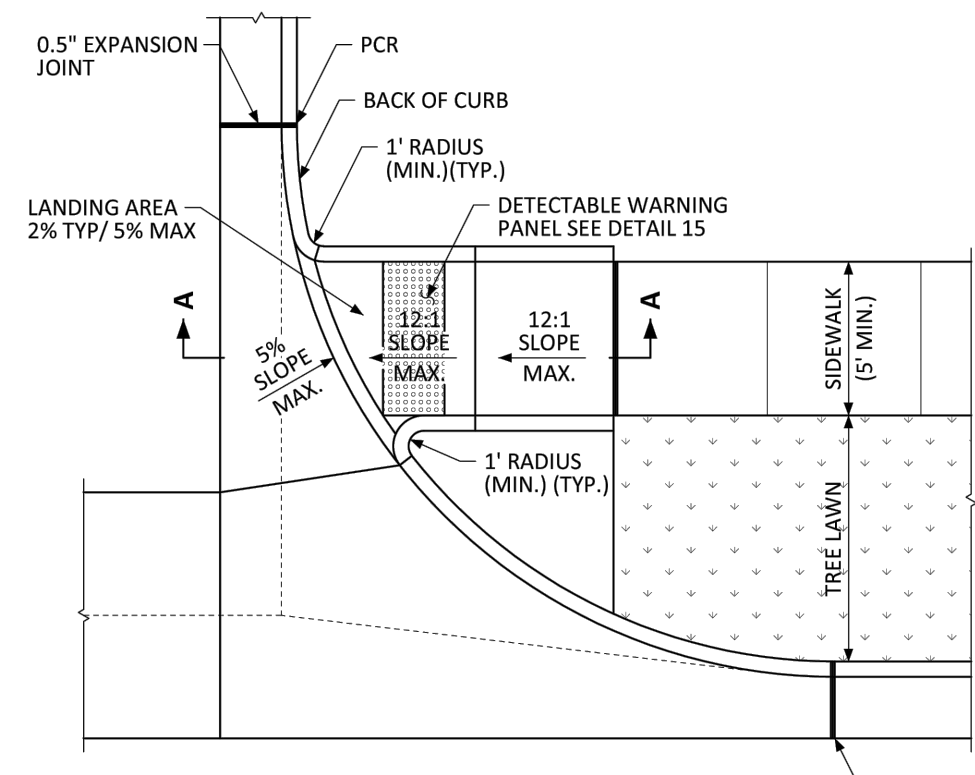


**DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 18  
1 OF 2



**ISOMETRIC**



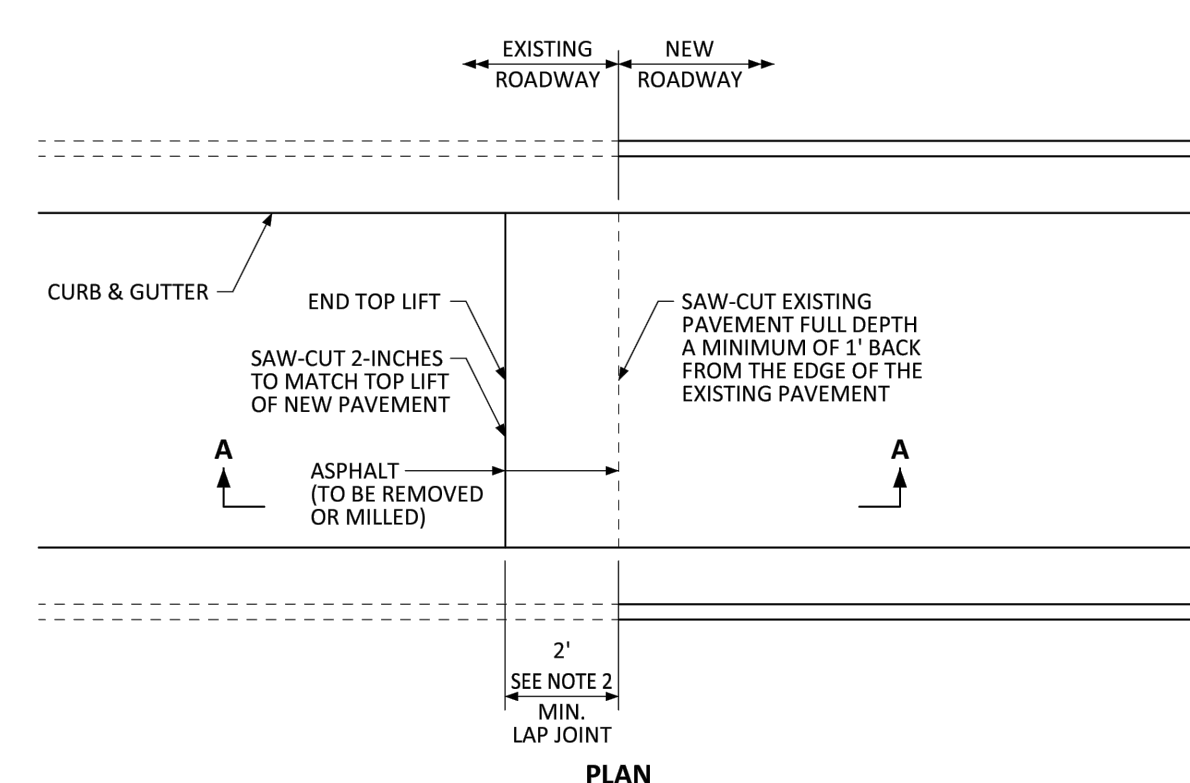
**DIRECTIONAL CURB RAMP WITHIN RADIUS**  
(DETACHED SIDEWALK)

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

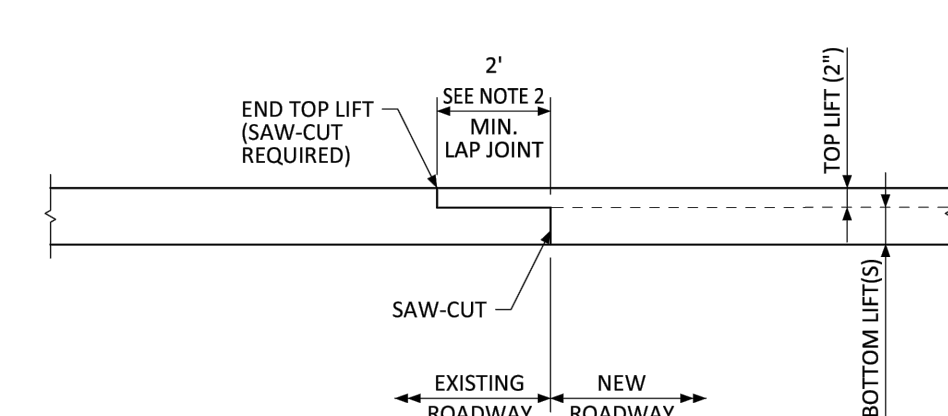


**DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 18  
2 OF 2



**PLAN**



**SECTION A-A**  
**GENERAL NOTES**

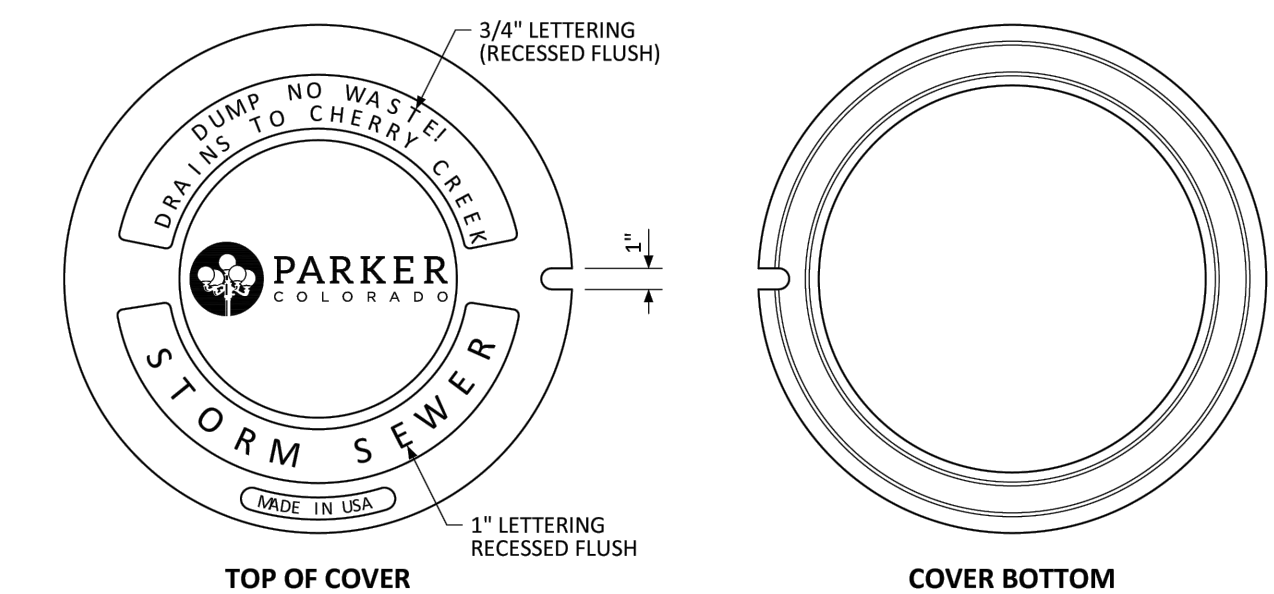
- SAW-CUT EXISTING PAVEMENT FULL DEPTH TO PROVIDE A VERTICAL EDGE PRIOR TO PLACEMENT OF NEW ASPHALT AND SAW-CUT THE LAP JOINT 2-INCHES DEEP AT THE LAP JOINT DISTANCE.
- THIS DETAIL APPLIES TO BOTH TRANSVERSE (WITH A 2-FOOT MIN. LAP JOINT) AND LONGITUDINAL (WITH A 1-FOOT MIN. LAP JOINT) ASPHALT JOINTS BETWEEN EXISTING AND NEW PAVEMENT.
- SPECIFICATIONS AND ILLUSTRATIONS FOR CONCRETE PAVEMENT JOINTS ARE LOCATED IN CDOT'S M&S STANDARD PLANS AND CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- TEMPORARY ASPHALT RAMPS PLACED AT A 20:1 MAX. SLOPE SHALL BE REMOVED OR MILLED PRIOR TO PLACING FINAL ASPHALT.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



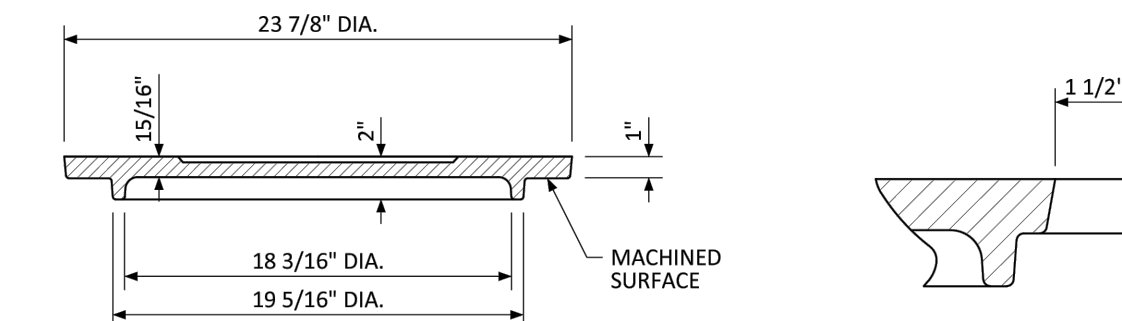
**ASPHALT CONNECTION BETWEEN EXISTING AND NEW PAVEMENT STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 26  
1 OF 1



**TOP OF COVER**

**COVER BOTTOM**



**SECTION**

**OPEN PICKHOLE DETAIL**

**GENERAL NOTES**

- LOAD RATING - HEAVY DUTY.
- COATING - UNDIPPED.
- ESTIMATED WEIGHT - 112 LBS.
- MATERIAL SPECIFICATION - GRAY IRON ASTM A48 CL35B.
- FOR USE ON ALL PRIVATE AND PUBLIC STORM SEWER.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**MANHOLE COVER STANDARD DETAIL**

DATE NOVEMBER 2020  
DETAIL 33  
1 OF 1



**Know what's Below. Call before you dig.**  
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**NOTICE:**  
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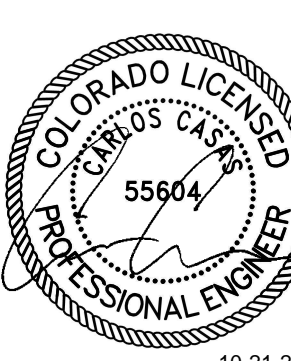


LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**

DATE 2025-10-21

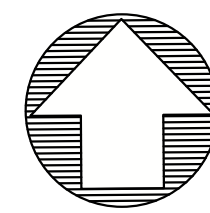
REVISIONS



DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: #  
SHEET NO. C7.00

CAD FILE: 24003198 - C700 DETAILS

10-21-25



**Know what's below.  
Call before you dig.**  
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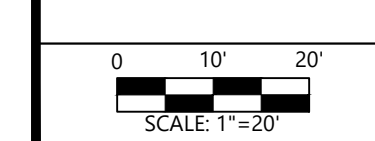
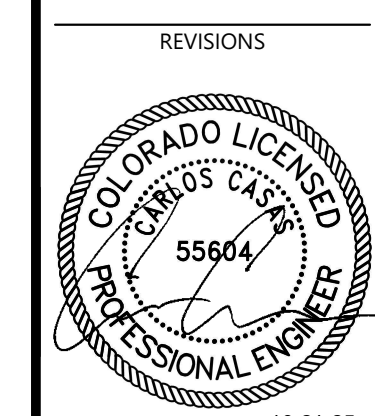
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**LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1**  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

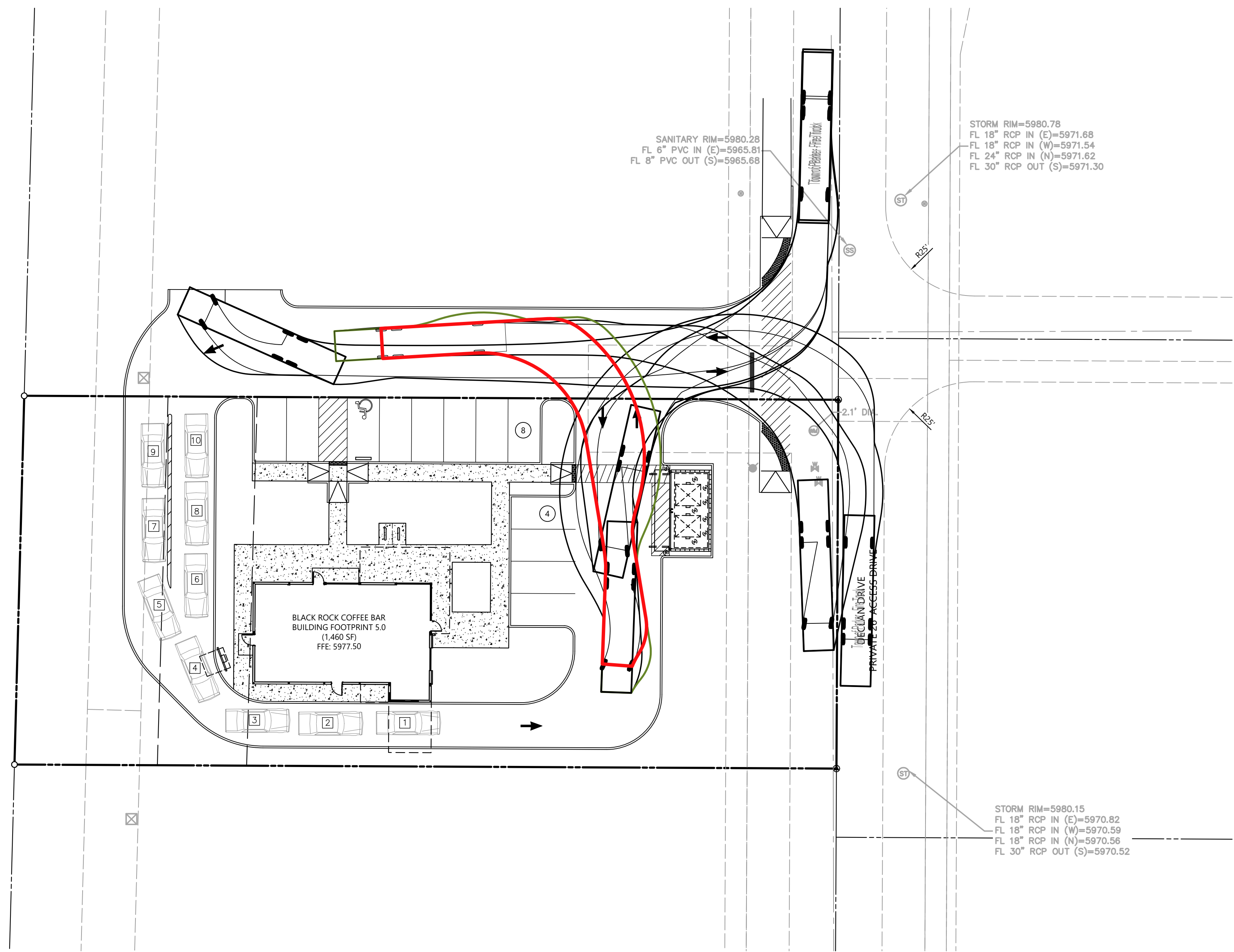
**BLACK ROCK COFFEE BAR**  
13135 DECLAN DRIVE  
**BLACK ROCK COFFEE BAR**  
AUTO TURN EXHIBIT

DATE: 2025-09-24



REVISIONS  
DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO.

S. PARKER ROAD  
(PUBLIC ROW VARIES)



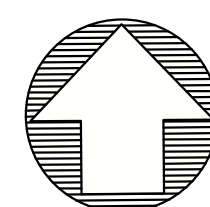
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FL 6" PVC IN (E)=5965.81  
FL 8" PVC OUT (S)=5965.68

STORM RIM=5980.78  
FL 18" RCP IN (E)=5971.68  
FL 18" RCP IN (W)=5971.54  
FL 24" RCP IN (N)=5971.62  
FL 30" RCP OUT (S)=5971.30

STORM RIM=5980.15  
FL 18" RCP IN (E)=5970.82  
FL 18" RCP IN (W)=5970.59  
FL 18" RCP IN (N)=5970.58  
FL 30" RCP OUT (S)=5970.52

BLACK ROCK COFFEE BAR  
BUILDING FOOTPRINT 5.0  
(1,460 SF)  
FFE: 5977.50

DECLAN DRIVE  
PRIVATE ACCESS DRIVE



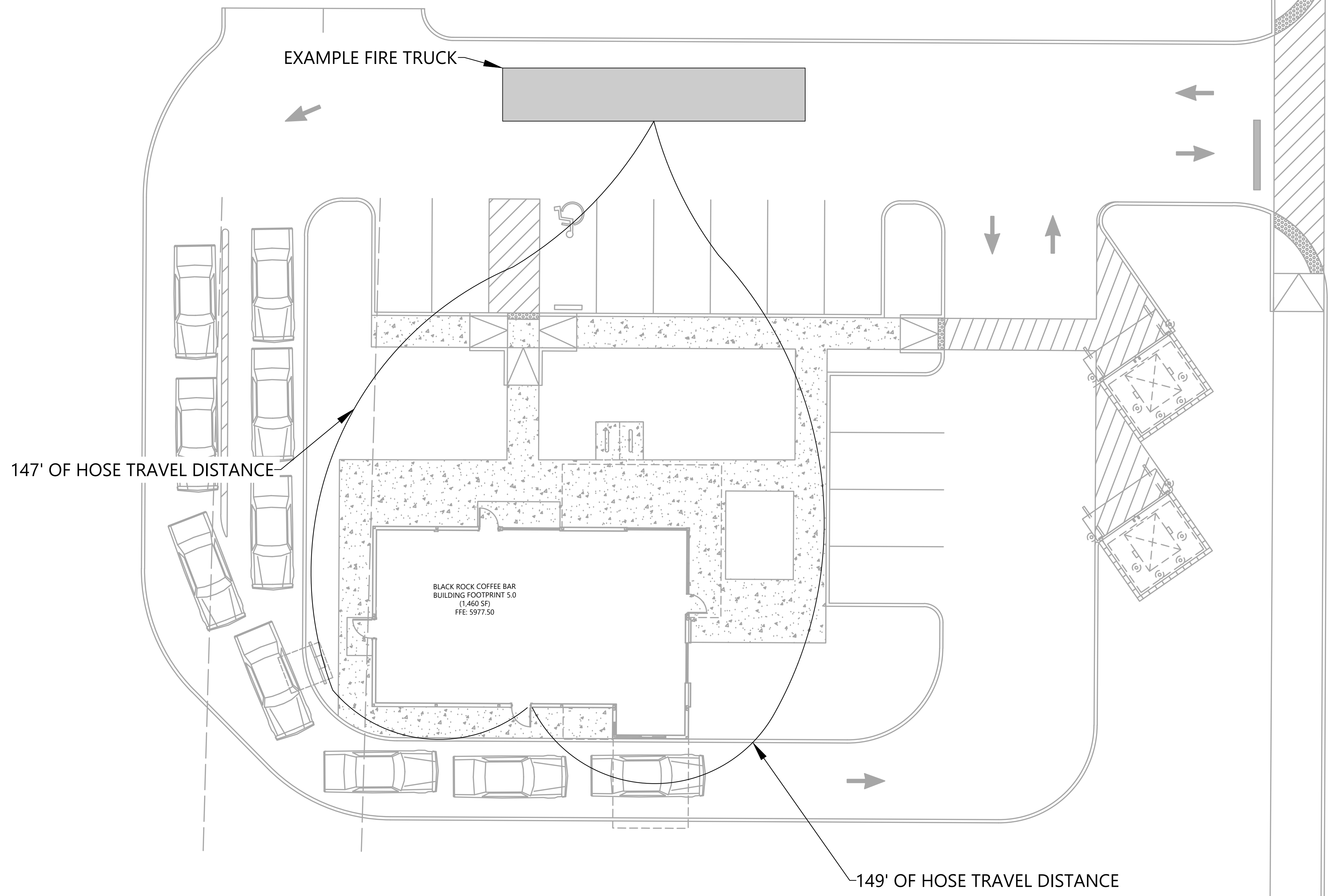
**811**  
**Know what's below.**  
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**SITE LEGEND**

	EXISTING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	EXISTING EASEMENT LINE
	6" CURB
	HANDICAP STALL
	A.D.A. STD HANDICAP RAMP



**ATWELL**  
 866.850.4200 [www.atwell-group.com](http://www.atwell-group.com)  
 9001 AIRPORT FREEWAY, SUITE 660  
 NORTH RICHLAND HILLS, TX 76180  
 972.956.9860

LOT 4A, PARKER POINTE SUBD. FILING NO. 1, AMEND. NO. 1
S. PARKER RD & STROH RD
PARKER
DOUGLAS COUNTY, COLORADO

**BLACK ROCK COFFEE BAR**  
 13135 DECLAN DRIVE  
**BLACK ROCK** COFFEE BAR  
 FIRE HOSE PROXIMITY EXHIBIT

DATE 2025-09-24

REVISIONS

10-21-25

SCALE: 1"=10'

DRAWN BY: K. SARWAR  
 CHECKED BY: N. SALAZAR  
 PROJECT MANAGER: N. SALAZAR  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO.

FILE NAME: \\T:\DATA\CON\24003198 - BRK - Parker & Stroh - Black Rock Coffee Bar - Fire Hose Proximity Exhibit.dwg LAST SAVED BY: KASAR 2/17/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM PLOTTED BY: SARWAR 08/27/2025 10:28 AM

CAD FILE: FIRE HOSE PROXIMITY EXHIBIT

Know what's Below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ACCEPTS FULL RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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24 HOUR EMERGENCY CONTACT



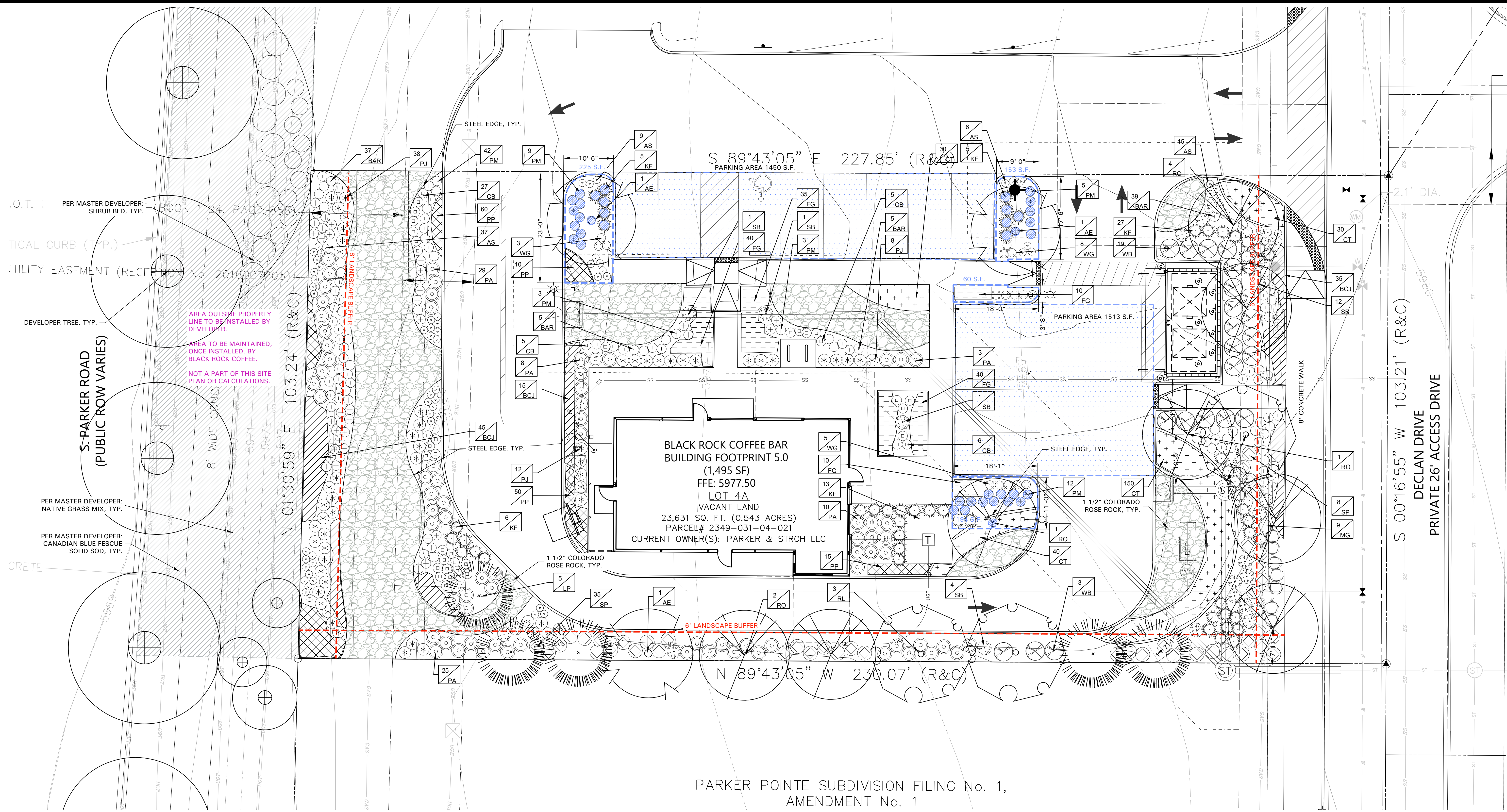
LOT 4A, PARKER POINT SUBD. FILING NO. 1, AMEND. NO. 1  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

BLACK ROCK COFFEE BAR  
13135 DECLAN DRIVE  
LANDSCAPE PLAN

DATE: 2025-10-8

REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO: L1.01



.O.T. L PER MASTER DEVELOPER: SHRUB BED, TYP.

TICAL CURB (TYP.)

UTILITY EASEMENT (RECEIPT No. 2016027205)

DEVELOPER TREE, TYP.

AREA OUTSIDE PROPERTY LINE TO BE INSTALLED BY DEVELOPER.  
AREA TO BE MAINTAINED, ONCE INSTALLED, BY BLACK ROCK COFFEE.  
NOT A PART OF THIS SITE PLAN OR CALCULATIONS.

S. PARKER ROAD (PUBLIC ROW VARIES)

PER MASTER DEVELOPER: NATIVE GRASS MIX, TYP.

PER MASTER DEVELOPER: CANADIAN BLUE FESCUE SOLID SOD, TYP.

CRETE

- GENERAL LAWN NOTES
1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE, CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
4. ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
9. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
10. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

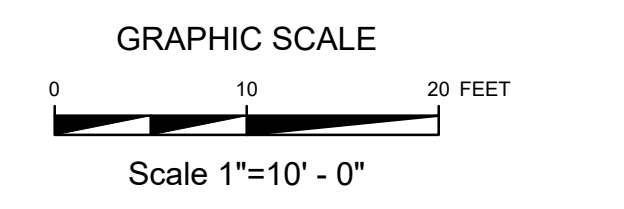
- UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
1. FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWEB" OR EQUAL.
2. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE "FERRO-TACK ONE", AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
3. HYDROMULCH WITH COLORADO BLUE GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
4. USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
5. IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
6. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET.
7. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH COLORADO BLUE GRASS SEED THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
8. AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
9. ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.
10. ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

- LANDSCAPE NOTES
1. CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
3. A MINIMUM OF 2" SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 9" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
6. PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
7. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.

- MISCELLANEOUS MATERIALS:
1. STEEL EDGING SHALL BE 3/16" X 4 X 10' DARK GREEN DURAGEDEE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLAND DETAILS.
2. ROCK SHALL BE COLORADO ROSE ROCK, 1.5" IN DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.
3. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.
4. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.
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10. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.

PLANS NOTED: LANDSCAPE DESIGN FEATURES OF COMMERCIAL, MIXED-USE, INDUSTRIAL, AND MULTIPLE-FAMILY DEVELOPMENTS
a. LANDSCAPE PLANTING MATERIALS SHALL GENERALLY BE LAYERED AGAINST A BUILDING OR EDGE TREATMENT FROM HIGH TO LOW IN HEIGHT SO THAT THE FULL CHARACTER OF THE PLANTS CAN BE APPRECIATED AND UTILIZED TO SHAPE EXTERIOR SPACES.
b. TREE GRATES SHALL BE A MINIMUM OF FIVE (5) FEET BY EIGHT (8) FEET.
c. UTILIZE LAWN AREAS ONLY WHERE ACTIVE RECREATION AND USAGE WILL OCCUR.
d. PROVIDE A MINIMUM EIGHT (8) FOOT LANDSCAPE BUFFER BETWEEN PUBLIC WALKWAYS AND BUILDING EDGES EXCEPT AT BUILDING ENTRY AND EXIT POINTS.
e. THE PLANTING STRIP BETWEEN THE BACK OF THE ROADWAY CURB AND THE SIDEWALK SHALL BE PLANTED WITH SHRUBS AND GROUNDCOVER OR LOW WATER USE TURF AND DESIGNED TO CREATE VISUAL INTEREST.
f. THE SPACE BETWEEN THE PUBLIC REALM AND A BUILDING FACADE THAT DOES NOT HAVE AN ACTIVE USE SHALL BE DESIGNED WITH HIGHER STANDARDS OF LANDSCAPING AND STREETSCAPE TO CREATE AN ATTRACTIVE BUILDING FRONT AND STREET EDGE.
g. SELECT NATURAL PLANT MATERIALS THAT TRANSITION BETWEEN NATURAL OPEN SPACES AND THE INTERNAL PROJECT LANDSCAPE MATERIAL.
h. UTILIZE LANDSCAPING TO LOGICALLY SHAPE SPACES THAT CREATE AND FACILITATE CIRCULATION PATHS IN LOGICAL AND INTUITIVE PATTERNS USE LANDSCAPING TO HELP GUIDE PEOPLE TO BUILDING ENTRY POINTS THROUGH HIGHER CONCENTRATION OF LANDSCAPE MATERIAL.

NO CHANGE TO THE APPROVED LANDSCAPE AND STREETSCAPE PLAN MAY OCCUR WITHOUT PRIOR APPROVAL FROM THE TOWN AND THE WATER SANITATION DISTRICT



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CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR

A. ALL LANDSCAPE WORK SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING

1.2 REFERENCE DOCUMENTS

A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISION, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:

- 1. PLANTING (TREES, SHRUBS, GRASSES)
- 1. BED PREP AND FERTILIZATION
- 3. NOTIFICATION OF SOURCES
- 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE

5. GUARANTEE

B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERMEN, 27 OCTOBER, 1989, EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE (260.1) - PLANT MATERIAL
- B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE, 1942 EDITION OF STANDARDIZED PLANT NAMES.
- C. TEXAS ASSOCIATION OF NURSERMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
- B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOIL SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOIL.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUND COVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOVING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
- E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
- G. REMOVE GIVING AND STAKING MATERIALS AFTER ONE YEAR.
- H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
- I. REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AS REQUIRED.
- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SCHEDULE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- L. REAPPLY MULCH TO BARE AND THIN AREAS.
- M. SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 3" TO 1 1/2" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDS (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE:

- A. TREES, SHRUBS, GROUND COVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE

OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.

E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.

F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
  - 1. BALLED AND BURLAPPED 88B PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
- B. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
  - 1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETRIORATION DURING DELIVERY AND WHILE STORED ON SITE.
  - 2. DELIVER ONLY PLANT MATERIALS THAT ARE AVAILABLE IN SATISFACTORY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
  - 3. PROTECT ROOT BALLS BY HELDING IN WITH SAWSHUT OR OTHER METHOD OF MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
  - 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DETRIORATION OF LEAVES.
  - 5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
  - 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY PLANT MATERIAL AT JOB SITE.
  - 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
  - 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS SHOWN AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. DO NOT FURNISH MORE THAN THE QUANTITIES LISTED.
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
- H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCODING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DISEASES (SUCH AS L-SPINER ROOTS).
- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS. BRANCHES TO BE CLEAR AND UNIFORM.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASSIONS, SUNSCALP, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- N. MULTITRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
- O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLAN. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
  - 1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSIL, STONES AND OTHER EXTRANEEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLAS SOIL OR NATRASS SHALL BE REJECTED.
  - 2. PHYSICAL PROPERTIES AS FOLLOWS:
    - a. CLAY - BETWEEN 7-27%
    - b. SILT - BETWEEN 15-25%
    - c. SAND - LESS THAN 52%
  - 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
  - 4. IF REQUESTED, LANDSCAPE ARCHITECT SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
- B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COARSE AND FINE TEXTURED MATERIAL.
- C. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS; OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
- D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
- E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
- F. ORGANIC FERTILIZER: FERTILIZED, SUSTANE, OR GREEN SEEN OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS, NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
- H. FEAT: COMMERCIAL SPAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING, DURADEG STEEL OR APPROVED EQUAL.
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
- C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-523-0444)
- D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BAKED, RAIN SAND.
- E. GRAVEL: WASHED NATIVE GRAVEL GRADED 1" TO 1 1/2"
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSITION.
- G. ROCK - LOCALLY AVAILABLE NATIVE ROCK 1.5" IN DIAMETER.
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT

HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
  - 1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
  - 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS:
  - 1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.

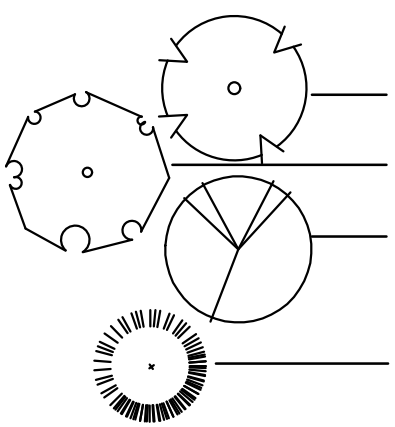
3.2 INSTALLATION

- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE THROUGHOUT ALL CONSTRUCTION. ALL MATERIALS SATISFACTORY ACCOMPLISHED.
- B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSIT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OR OTHER PLANTS. ALL PLANTS SHALL BE COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLICK OR GLAZED.
- F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") AND SIX (6") INCHES DEEPER THAN IT'S VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
- G. PERCOLATION TEST: PERCUTE THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.
- H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND. IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".
- I. DO NOT WRAP TREES.
- J. DO NOT OVER PRUNE.
- K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.
- L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.
- M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
- O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.
- Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER, WHERE LOCATIONS CANNOT BE CHANGED. THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANTS ARE PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST SOCIETY.
  - 1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
  - 2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
  - 3. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

3.3 CLEANUP AND ACCEPTANCE

- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF EACH WORK DAY.
- B. REPAIR RUTS, HOLES AND SCARS IN GROUND SURFACES.
- C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF EXCESS GRASS AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- E. IF AT THE END OF THE WORK, THE LANDSCAPE CONTRACTOR DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN REINSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

END OF SECTION

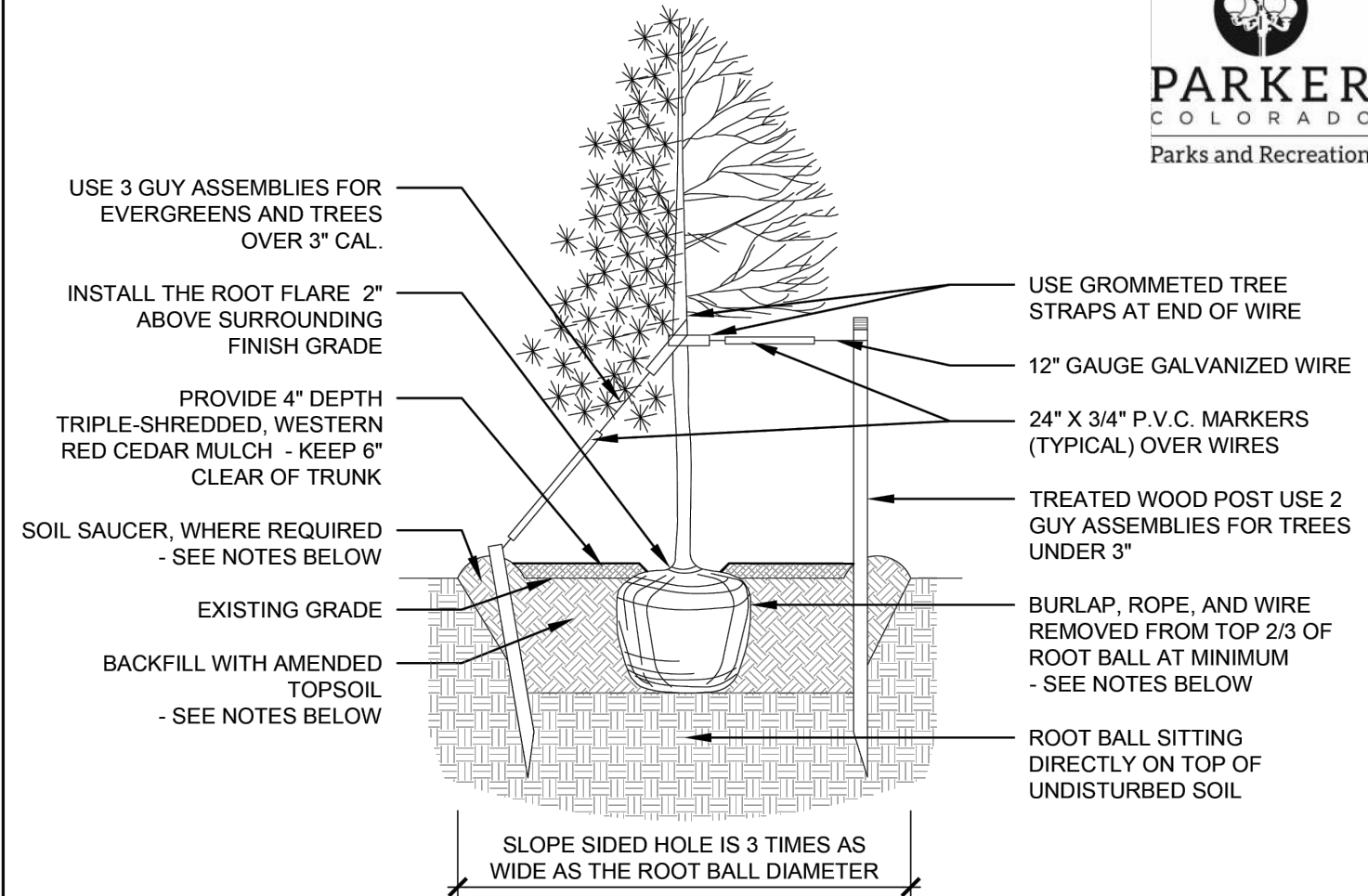


PLANT SCHEDULE							
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES	MATURE SIZE	YEARS TO MATURITY
<b>DECIDUOUS TREES</b>							
3	AE	Accolade Elm	<i>Ulmus 'Accolade'</i>	3" cal.	12' ht., 4' spread	60' ht x 40' w	10-15 years
3	RL	Redmond Linden	<i>Tilia americana 'Redmond'</i>	3" cal.	12' ht., 4' spread	60' ht x 40' w	20-30 years
8	RO	Northern Red Oak	<i>Quercus rubra</i>	3" cal.	12' ht., 5' spread	60' ht x 40' w	30-35 years
14	<b>TOTAL DECIDUOUS TREES</b>						
<b>EVERGREEN TREES</b>							
5	LP	Lacebark Pine	<i>Pinus bungeana</i>	3" cal.	12' ht., 5' spread	40' ht x 25' w	20-30 years
5	<b>TOTAL EVERGREEN TREES</b>						
19	<b>TOTAL TREES</b>						
<b>DECIDUOUS SHRUBS</b>							
86	BAR	Concord Barberry	<i>Berberis thunbergii 'Concorde'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 3' w	2-3 years
43	CB	Chokeberry	<i>Aronia melanocarpa 'UCONNAMI65'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 4' w	2-3 years
20	SB	Spanish Gold Broom	<i>Cytisus purgan 'Spanish Gold'</i>	5 gal.	full, 24" sprd, 36" o.c.	4' ht x 5' w	2-3 years
44	SP	Snowmound Spirea	<i>Spiraea nipponica 'Snowmound'</i>	5 gal.	full, 24" sprd, 36" o.c.	5' ht x 8' w	2-3 years
193	<b>TOTAL DECIDUOUS SHRUBS</b>						
<b>EVERGREEN SHRUBS</b>							
75	PA	Panchito manzana	<i>Arctostaphylos x coloradensis 'Panchito'</i>	5 gal.	full, 24" sprd, 36" o.c.	2.5' ht x 5' w	2-3 years
58	PJ	Pencil Point Juniper	<i>Juniperus communis 'Compressa'</i>	5 gal.	full, 20" spread, 30" o.c.	3' ht x 2' w	10 years
74	PM	Pine, Mugo, Teeny	<i>Pinus mugo 'Teeny'</i>	5 gal.	full, 20" sprd, 24" o.c.	2' ht x 3' w	5-10 years
22	WB	Wichita Blue Juniper	<i>Juniperus scopulorum 'Wichita Blue'</i>	5 gal.	full, 24" sprd, 42" o.c.	15' ht x 6' w	8-10 years
229	<b>TOTAL EVERGREEN SHRUBS</b>						
422	<b>TOTAL SHRUBS</b>						
<b>ORNAMENTAL GRASSES</b>							
135	FG	Fountain Grass	<i>Pennisetum orientale</i>	1 gal.	full, 18" o.c.	2' ht x 2' w	2 years
56	KF	Karl Foerster Feather Reed Grass	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	5 gal.	full, 24" spread, 36" o.c.	4' ht x 3' w	2 years
9	MG	Maiden Grass, Gold Bar	<i>Miscanthus sinensis 'Gold Bar'</i>	5 gal.	full, 20" spread, 30" o.c.	4' ht x 3' w	2 years
200	<b>TOTAL ORNAMENTAL GRASSES</b>						
<b>PERENNIAL</b>							
135	PP	Pikes Peak Purple Penstemon	<i>Penstemon x mexicali 'Pikes Peak Purple'</i>	1 gal.	full, 12" o.c.	1' ht x 1' w	2 years
<b>EVERGREEN GROUND COVER</b>							
70	AS	Angelina Sedum	<i>Sedum rupestre 'Angelina'</i>	1 gal.	full, 18" o.c.	6" ht x 24" w	3 years
95	BCJ	Blue Chip Juniper	<i>Juniperus horizontalis 'Blue Chip'</i>	1 gal.	full, 24" o.c.	1' ht x 8' w	5-10 years
250	CT	Creeping Thyme	<i>Thymus serpyllum</i>	1 gal.	full, 18" o.c.	6" ht x 18" w	3 years
16	WG	Wall Germander	<i>Teucrium chamaedrys</i>	1 gal.	full, 18" o.c.	18" ht x 24" w	3 years
566	<b>TOTAL PERENNIAL AND EVERGREEN GROUND COVER</b>						
766	<b>TOTAL ORNAMENTAL GRASSES, PERENNIALS, EVERGREEN GROUND COVER</b>						
<b>GROUND COVER</b>							
1 1/2" Colorado Rose Rock							
3/4" Morrison Grey Rock mulch (in all shrub beds - areas with no hatch)							

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

A. INTERNAL LANDSCAPING		LANDSCAPE AREA			% LIVE COVER		
NET SITE AREA	REQUIRED (15%)	PROVIDED	SURPLUS/DEFICIT	REQUIRED (75%)	PROVIDED	SURPLUS/DEFICIT	
25,933 S.F.	3890 S.F. (15%)	8,294 S.F. (44%)	4404 S.F.	2918 S.F. (75%)	8294 S.F.	5376 S.F.	
TURF GRASS (maximum)	584 S.F. (15%)	0 S.F.					

TOWN OF PARKER STANDARD DETAILS

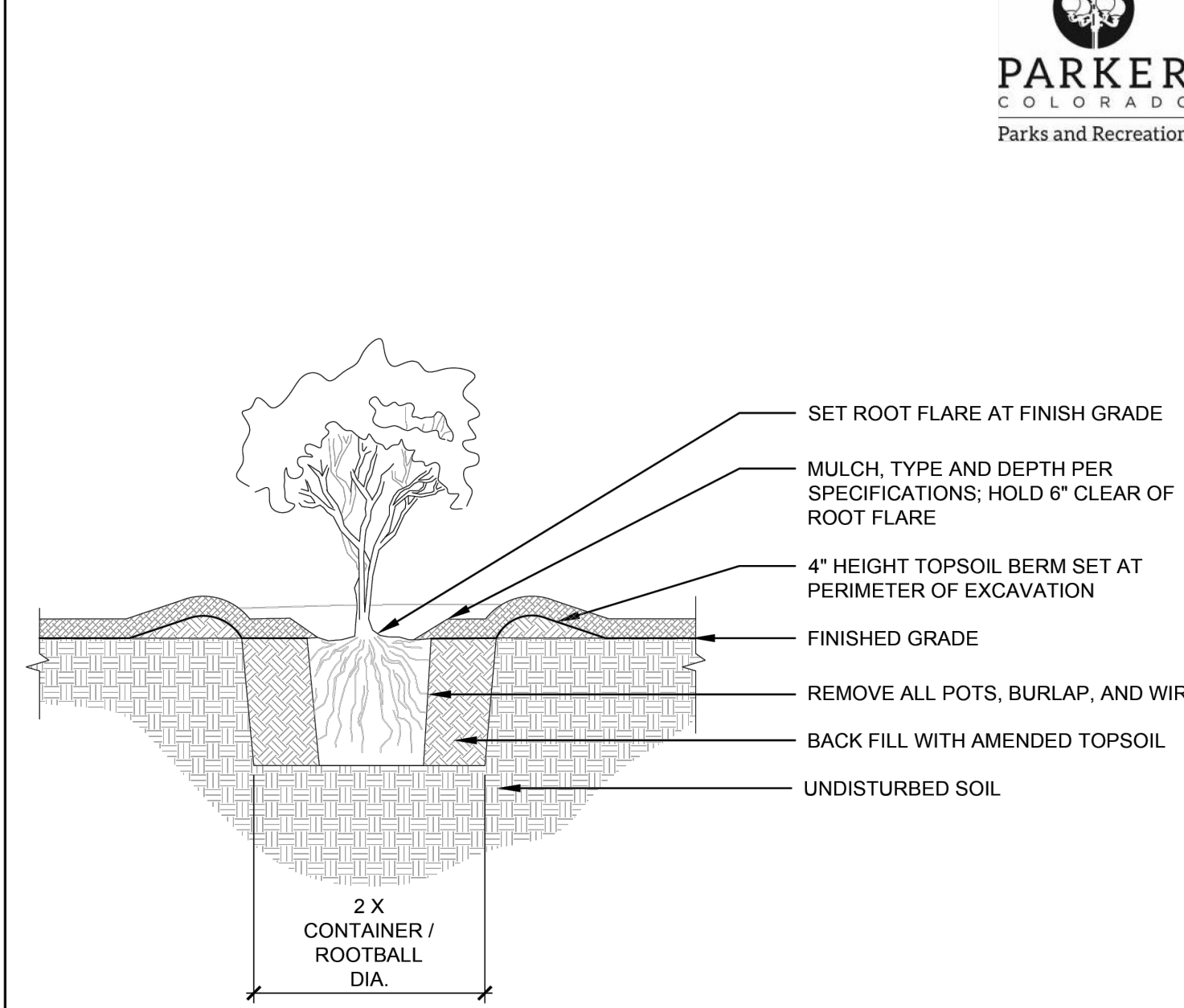


- NOTES:
- EXCAVATE PLANTING HOLES WITH SLOPING SIDES, MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL.
  - BACKFILL SHALL CONSIST OF APPROVED ON-SITE TOPSOIL BLENDED W/ COMPOST AMENDMENT. IF ON-SITE TOPSOILS ARE NOT APPROVED FOR USE, BACKFILL W/ IMPORTED TOPSOIL BLENDED WITH COMPOST AMENDMENT. REFER TO SPECIFICATION SECTION 329113 FOR ADDITIONAL INFORMATION.
  - TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
  - WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
  - FORM SOIL INTO A 6" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
  - STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
  - TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.
  - RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

TREE PLANTING  
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-3

TOWN OF PARKER STANDARD DETAILS

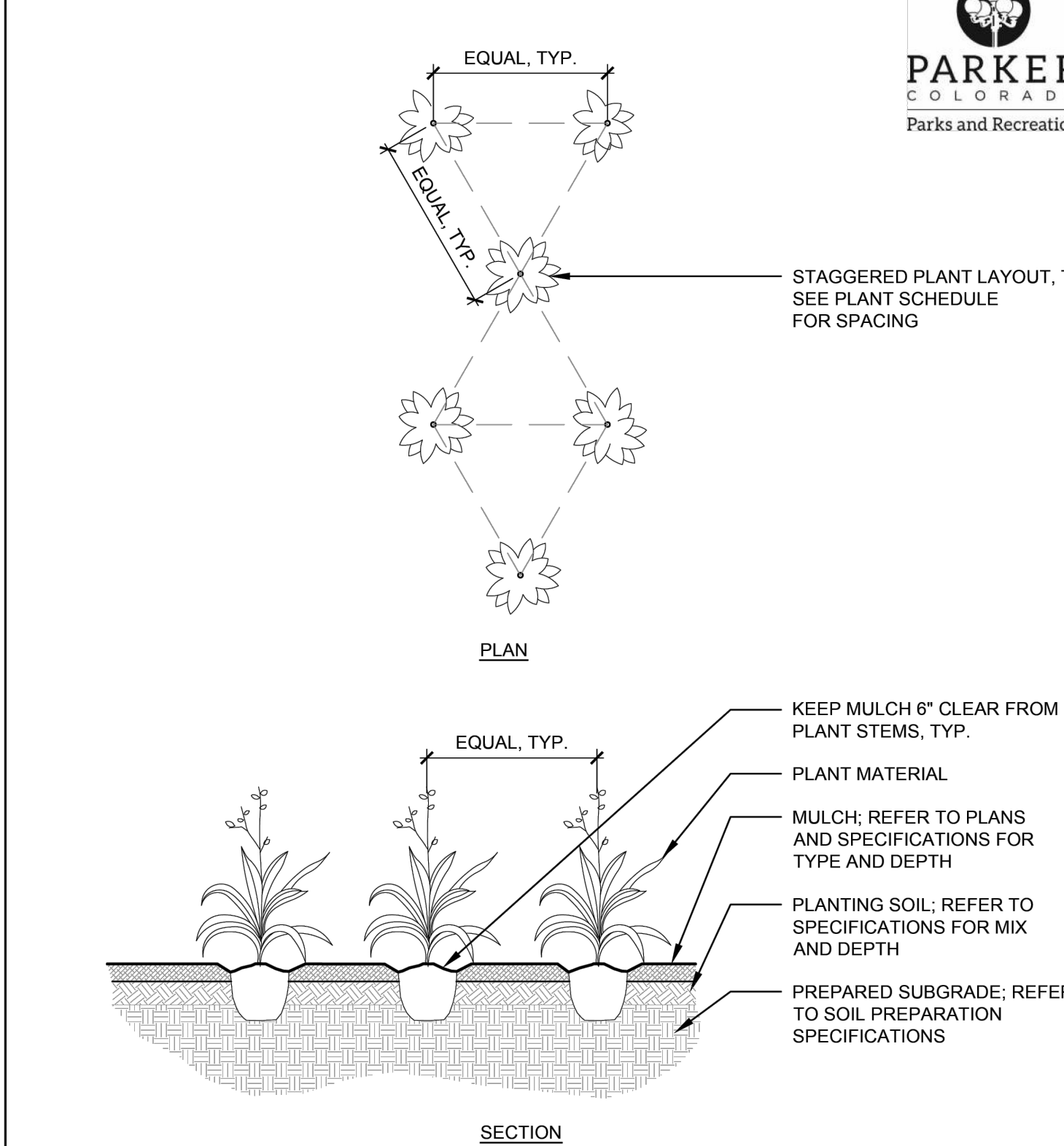


- NOTES:
- PRUNE ALL DAMAGED, DISEASED OR WEAK LIMBS.
  - CLEANLY PRUNE ALL DAMAGED ROOT ENDS.
  - DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS.
  - DEEP WATER AFTER PLANTING.

SHRUB PLANTING  
1/2" = 1'-0"

DATE: MAY 2023 | DETAIL SD-5

TOWN OF PARKER STANDARD DETAILS

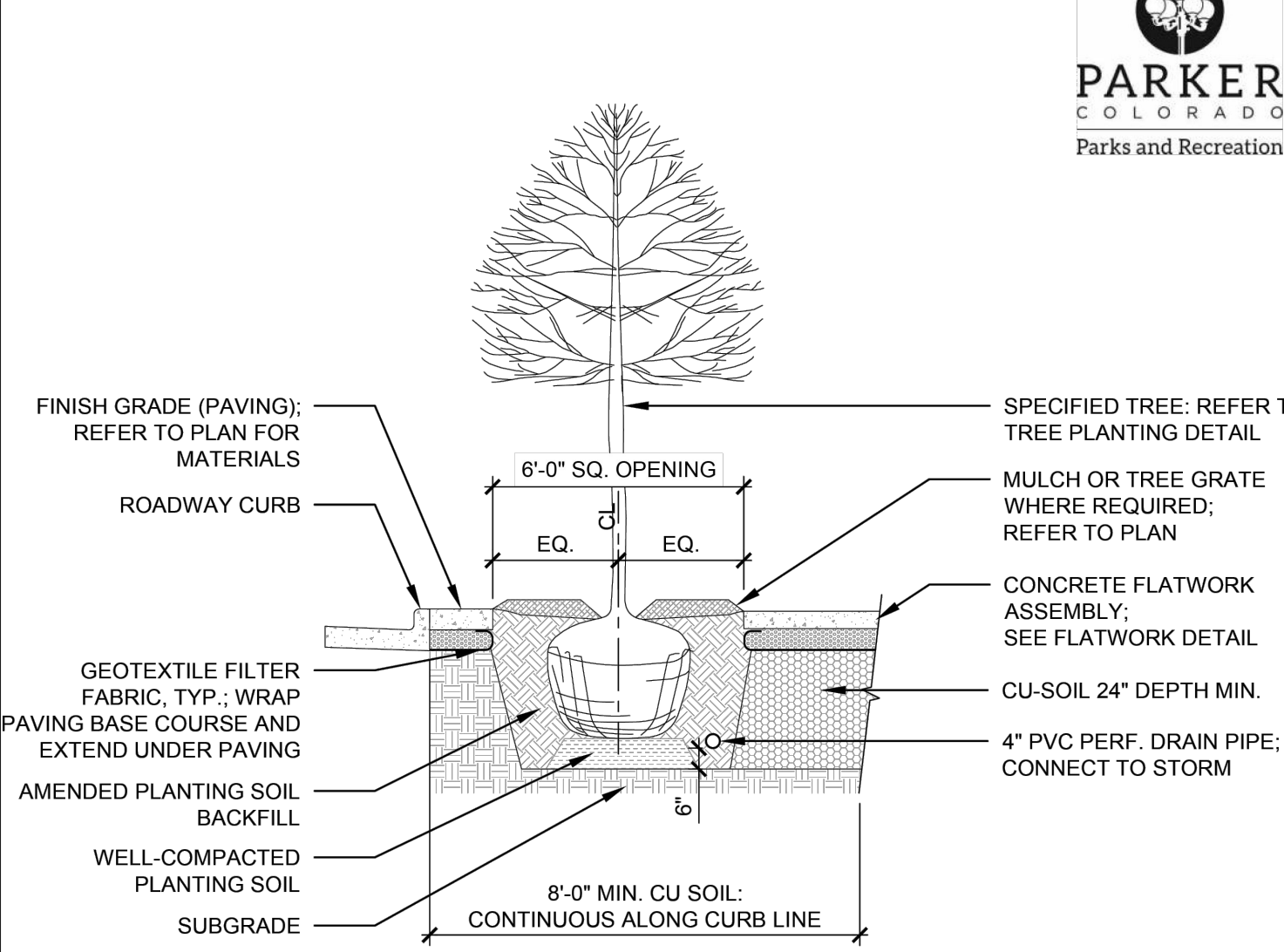
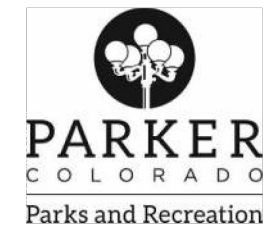


- NOTES:
- WHEN BACKFILLING AROUND PLANTS, DO NOT ALLOW AIR POCKETS TO FORM.
  - AFTER PLANTING, WATER THOROUGHLY.

PERENNIAL PLANTING  
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-6

TOWN OF PARKER STANDARD DETAILS

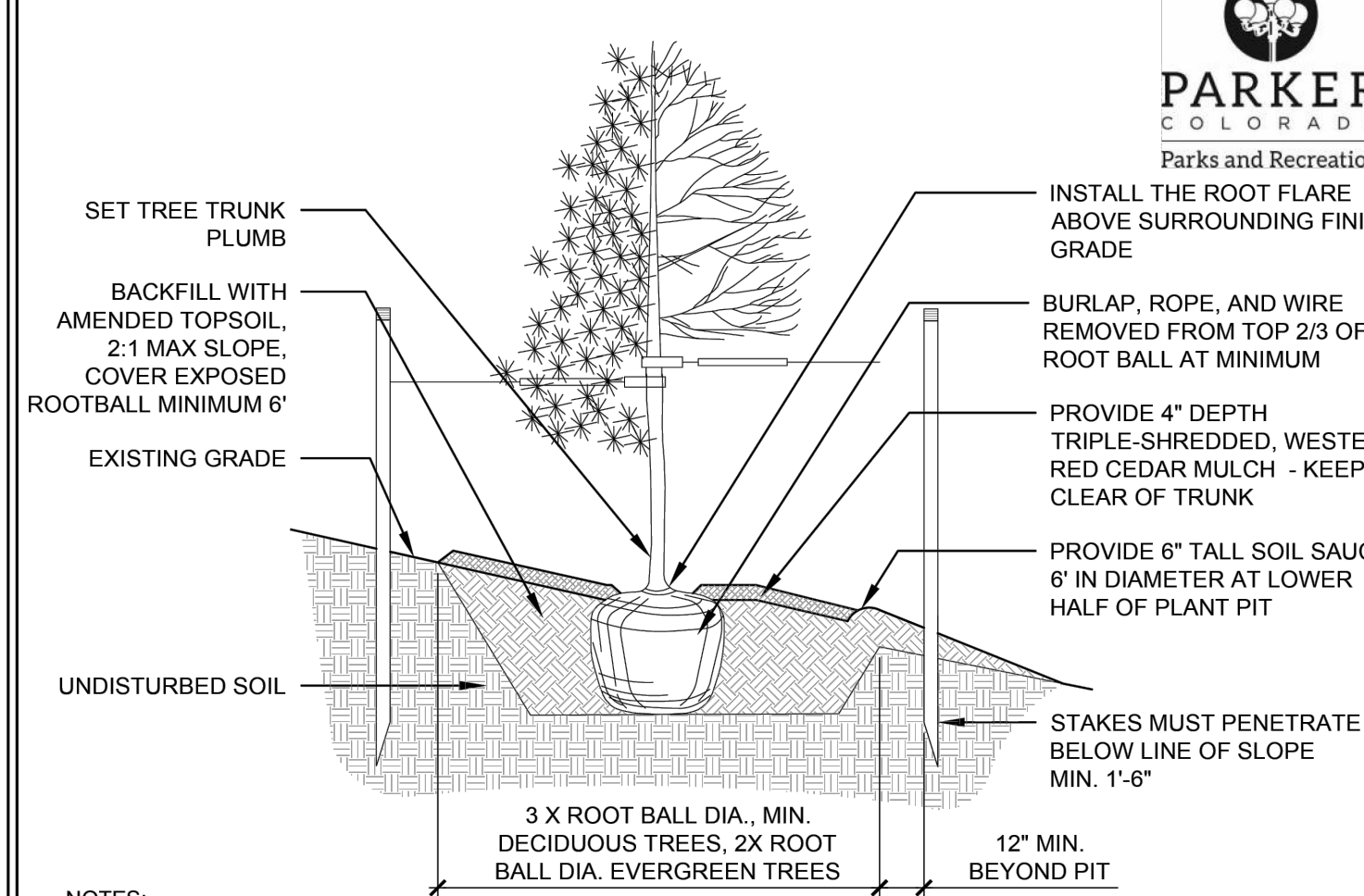


- NOTES:
- TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK.
  - WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
  - TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.
  - RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

CU SOIL TREE PIT  
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-2

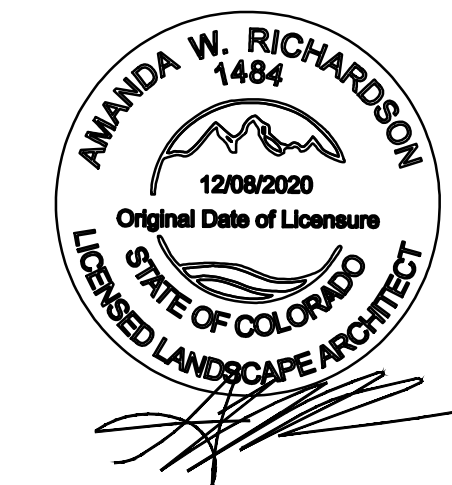
TOWN OF PARKER STANDARD DETAILS



- NOTES:
- THIS INSTALLATION SHALL APPLY TO ALL TREE TYPES AND SIZES PLANTED ON SLOPES 4:1 OF GREATER.
  - EXCAVATE PLANTING HOLES WITH SLOPING SIDES, MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL.
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  - FORM SOIL INTO A 6" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
  - STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
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TREE PLANTING ON SLOPE  
1/4" = 1'-0"

DATE: MAY 2023 | DETAIL SD-4



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c. 512.517.5589

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**811**  
Know what's Below. Call before you dig.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ASSUME FULL RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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PARKER  
DOUGLAS COUNTY, COLORADO

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13135 DECLAN DRIVE  
LANDSCAPE DETAILS

DATE: 2025-10-8

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