



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Atwell LLC  
**FROM:** Julia Duncan, Associate Planner  
**DATE:** February 4, 2025  
**SUBJECT:** SP24-128; Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop  
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Julia Duncan

**EMAIL:** [jduncan@parkerco.gov](mailto:jduncan@parkerco.gov)

**PHONE:** 303.805.3334

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.  
Example: "02" or "Second Submittal"

7. **Prairie Dog Management:** The Town's current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.
9. **Please see PWSO new rule and regulations regarding landscaping:**  
  
<https://www.pwsd.org/DocumentCenter/View/4022/2024-PWSO-Rules-and-Regulations-PDF>  
PWSO will be reviewing the landscape plans for compliance.
10. **Landscape Compliance with Colorado Senate Bill 24-005 (SB24-005)** – On Friday March 15, 2024, Jared Polis Signed SB24-005 prohibiting new non-functional turf, artificial turf and invasive plant species from being located in rights of way, on public properties and on any non-residential property. SB24-005 applies to any landscape and plant material installed after January 1, 2026. It is the applicant's responsibility to ensure compliance with SB24-005, compliance may require the applicant to amend the approved landscape plan if said landscaping is not installed prior to October 15, 2025, or if it is determined to not be otherwise in compliance with SB24.005.

## Site Plan and Project Details

1. **Please see the attached redlines for additional information.**
2. **In the next submittal, the required sheets for the Site Plan should not be broken up into separate uploads. For instance, the Tree Conservation plan should be a part of the Site Plan document as sheets within the landscape portion (only include anything related to current development for the subject lot), the photometric plan needs to be part of the Site Plan submittal document, not a separate upload, as well as elevations.**
3. **A material sheet needs to be included.**
4. **Please see the Town's Development Design standards. All of the elevations need significant revisions and do not meet the Town's standards:**

<https://www.parkerco.gov/DocumentCenter/View/26253/Development-Design-Standards---Final-Version?bidId=>

Keep in mind any façade facing a private or public street, or which has an entrance is considered a "Front" for design purposes.

5. **Please use the referenced chart for presentation of the landscaping requirements. Pages 15 and 16: <https://parkerco.gov/DocumentCenter/View/28966/Land-Development-Ordinance-Administrative-Manual>**
  - a. **Your site is zoned Mixed-use Community and requires 25% Landscaping**

**b. Please see:**

[https://library.municode.com/co/parker/codes/municipal\\_code?nodeId=TIT13LADEOR\\_C\\_H13.08DEST\\_13.08.090LABUSC](https://library.municode.com/co/parker/codes/municipal_code?nodeId=TIT13LADEOR_C_H13.08DEST_13.08.090LABUSC)

**For all required standards**

Landscape Type	Single-Family Detached/ Duplex	Single-Family Attached	Multifamily	Mixed-Use	Nonresidential	Downtown (DE, DW)
Min. Site Landscaping (% of Developed Area) [1]	n/a	35%	45% [2]	25% [2]	15%	10% [2] [3]
Min. Living Material Coverage (% of Developed Area) [1]	n/a	75%	75% [2]	75% [2]	75% [4]	75% [2]

Notes:  
 [1] Developed areas shall be the gross site area. Future expansions can remain in a natural state provided the minimum landscaping requirement is satisfied.  
 [2] May include landscaping, plazas, and/or public spaces. Up to twenty-five (25) percent of the area of improved plazas and hardscape may be credited against required landscaping, and the Town may allow for reduced living material coverages within those areas.  
 [3] Vertical mixed-use fronting Mainstreet may be reduced to a minimum of five percent landscaping.  
 [4] A maximum of fifteen (15) percent of living material may be traditional turf grasses.

**c. Additional Required Landscaping:**

- i. Streetscape landscaping;
- ii. Parking lot interior landscaping;
- iii. Site perimeter landscaping;
- iv. Site interior landscaping; and

Comment Addressed:  Yes  No

Response:

**OUTSIDE REFERRAL AGENCY COMMENTS**

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Building
- Cherry Creek Basin Water Quality Authority
- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Civil (Construction Plans)
- Douglas County Planning Services
- Town of Parker – Civil (Drainage Report)
- Fire Life Safety
- IREA
- Parker Water and Sanitation
- PSCO
- Town of Parker – Civil (Site Plan)
- Traffic Impact Study

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed:       Yes       No

Response:

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Project Representative

\_\_\_\_\_  
Date



# Project Reviews Town of Parker

**Project Number: SP24-128**

**Description: Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop**

Applied: **12/9/2024**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: ,

Status: **UNDER REVIEW 1**

Applicant: **Atwell LLC**

Parent Project: **SUB23-016**

Owner: **Brad Willett**

Contractor: **<NONE>**

Details:

**The applicant, Black Rock Coffee, is proposing a Site Plan for a coffee shop with a drive through. The site is located southeast of the intersection of Parker Road and Stroh Road.**

### LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: ALL

12/18/2024	12/30/2024	12/30/2024	COMPLETENESS REVIEW	Julia Duncan	COMPLETED	
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Notes:

From: Duncan, Julia <jduncan@parkerco.gov>  
 Sent: Monday, December 30, 2024 11:33 AM  
 To: Nicholas Salazar <nsalazar@atwell.com>  
 Cc: Khadeja Sarwar <ksarwar@atwell.com>; Catey Atchley <catchley@atwell.com>; Carlos Casas <ccasas@atwell.com>; Samantha Villegas <svillegas@atwell.com>; Sophia Kidd <skidd@atwell.com>  
 Subject: Re: SP24-128 - Parker Pointe Coffee

Good Morning Nick,

I have deemed the submittal complete for submittal requirements. However, we will need fees paid prior to sending out on referral. I am waiting for Engineering staff to add those fees and will keep you posted. Can you please let me know if you will be paying with a credit card or by check?

Sincerely,

Julia

Review Group: AUTO

12/9/2024			ENGINEERING ADMINISTRATIVE	Tom Williams		
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Notes:

12/9/2024	12/30/2024	12/23/2024	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
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Notes:



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# Project Reviews Town of Parker



Review Group: SP GRP 10

1/3/2025	1/15/2025	2/3/2025	BUILDING 10	Randy Capra	ADVISORY COMMENTS	01 REVIEW 20
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Notes:  
 Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2025. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. Note – for projects received after December 31, 2024, all projects will be required to meet the requirements of the 2023 NEC. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.  
 Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

1/3/2025		2/3/2025	CENTURYLINK COMMUNICATIONS 10	CenturyLink		01 REVIEW 20
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Notes:

1/3/2025	1/6/2025	2/3/2025	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 10	Val Endyk	ADVISORY COMMENTS	See Notes
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Notes:  
 The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP24-128, Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.  
 If a technical review of the proposed development plan is needed, please contact [LandUseReferral@ccbwwqa.org](mailto:LandUseReferral@ccbwwqa.org). The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

1/3/2025		2/3/2025	COMCAST 10	Butch Buster		01 REVIEW 20
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Notes:



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# Project Reviews Town of Parker



1/3/2025	2/3/2025	2/3/2025	CONST PLANS - ENVIRONMENTAL 10	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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**Notes:**

SP24-128 Parker Point, Black Rock Coffee – 1st Environmental Review, 2-3-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

**GENERAL COMMENTS**

1. Please note: Civil Plans must include multiple Erosion Control Plan Sheets referencing the Initial, Interim and Final phases of the project.  
Initial Erosion Control Plan Sheet: Only show the Initial CBMPs (Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, Inlet Protection, and existing stormwater utilities).  
Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project.  
Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established.
2. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.

(These Notes Required on ALL EROSION CONTROL PLAN SHEETS, Initial, Interim and Final)

3. Please add a general note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.
4. Please add a general note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
5. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON RESIDENTIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.”
6. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”
7. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
8. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
9. Please add a general note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.

**Links:**

72-page layout of CBMP Legend, General Notes and Details Link:  
[https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive\\_link](https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive_link)

Stormwater/Storm Drainage and Environmental Criteria Manual  
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

Roadway Design/Construction Criteria Manual  
Roadway-Design--Construction-Criteria-Manual (parkerco.gov)

Erosion Control CBMP Checklist (See Appendix D)  
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

1/3/2025	2/4/2025	2/3/2025	CONSTRUCTION PLANS - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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**Notes:**

1/3/2025	2/3/2025	2/3/2025	DOUGLAS COUNTY ASSESSORS OFFICE 10	Marian Woodward	NO COMMENT	01 REVIEW 20
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**Notes:**



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# Project Reviews Town of Parker



1/3/2025	1/6/2025	2/3/2025	DOUGLAS COUNTY ENGINEERING DIVISION 10	DC Referrals	NOT APPLICABLE	01 REVIEW 20
Notes: N/A						
1/3/2025	1/24/2025	2/3/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 10	DC Referrals	ADVISORY COMMENTS	01 REVIEW 20
Notes: See the attached Referral Comment Report.						
1/3/2025		2/3/2025	DOUGLAS COUNTY SCHOOL DISTRICT RE1 10	Shavon Caldwell		01 REVIEW 20
Notes:						
1/3/2025	2/4/2025	2/3/2025	DRAINAGE REPORT - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
1/3/2025	1/15/2025	2/3/2025	FIRE LIFE SAFETY 10	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: See response letter named "SP24-128 Parker Pointe F1 AMD 1 L4A - Drive Through Coffee Shop [1] Fire Life Safety Response Ltr 011525" and address all comments... as well as providing a written response to the letter provided.						
1/3/2025	1/31/2025	2/3/2025	IREA 10	Brooks Kaufman	REVISIONS REQUIRED	01 REVIEW 20
Notes: The applicant will be required to provide the transformer and metering locations; meet CORE's clearance requirements and the Town of Parker requirements. CORE has existing cubical that will be required to be relocated prior to issuing grading permit. Grade may not change +/-6 inches within CORE's existing 15-foot easement. CORE will require additional easement by separate document at electric design for electric facilities. The applicant will be required to provide parking lot lighting plan, parking lot lights may not encroach into utility easements or CORE easement.						
1/3/2025	2/4/2025	2/3/2025	PLAT - CIVIL 10	Charles Kudlauskas	NOT APPLICABLE	01 REVIEW 20
Notes:						
1/3/2025		2/3/2025	POLICE 10	Greg Epp		01 REVIEW 20
Notes:						
1/3/2025		2/3/2025	PSCO RESIDENTIAL SUBDIVISIONS 10	Xcel Energy		01 REVIEW 20
Notes:						



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# Project Reviews Town of Parker



1/3/2025	1/28/2025	2/3/2025	PUBLIC SERVICE COMPANY OF COLORADO 10	Donna George	COMPLETED	please see attached
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Notes:  
please see attached

1/3/2025	1/31/2025	2/3/2025	SITE PLAN - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
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Notes:

1/3/2025		2/3/2025	SITE PLAN 10	Julia Duncan		01 REVIEW 20
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Notes:

1/3/2025	1/31/2025	2/3/2025	TRAFFIC IMPACT STUDY - CIVIL 10	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

1/3/2025		2/3/2025	URBAN DRAINAGE AND FLOOD CONTROL 10	UDFCD		01 REVIEW 20
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Notes:

Review Group: SP GRP 10 ADD

1/3/2025	2/3/2025	2/3/2025	PARKER WATER AND SANITATION DISTRICT 10	Robert Ramsey	REVISIONS REQUIRED	see notes
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Notes:  
Please see red lined plans.  
Please provide fixture count worksheet.  
Please provide an Address for the building.  
Please provide irrigation and Landscape plans.  
Please feel free to reach out with any questions you may have.

# DEVELOPMENT PLANS

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

First Line in Title (all sheets) Legal Description  
2nd Line can be Site Plan Black Rock Coffee-use simple text

Please see the LDO Admin manual for Site Plan Cover sheet requirements:  
<https://parkerco.gov/DocumentCenter/View/28966/Land-Development-Ordinance-Administrative-Manual>

Page 25

Example Title block:

LOT 2 OF DOUGLAS 234 FILING NO.6  
CARWASH SITE PLAN  
LOCATED IN SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 6  
SOUTH, RANGE 66 WEST 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
PAGE 1 OF 2

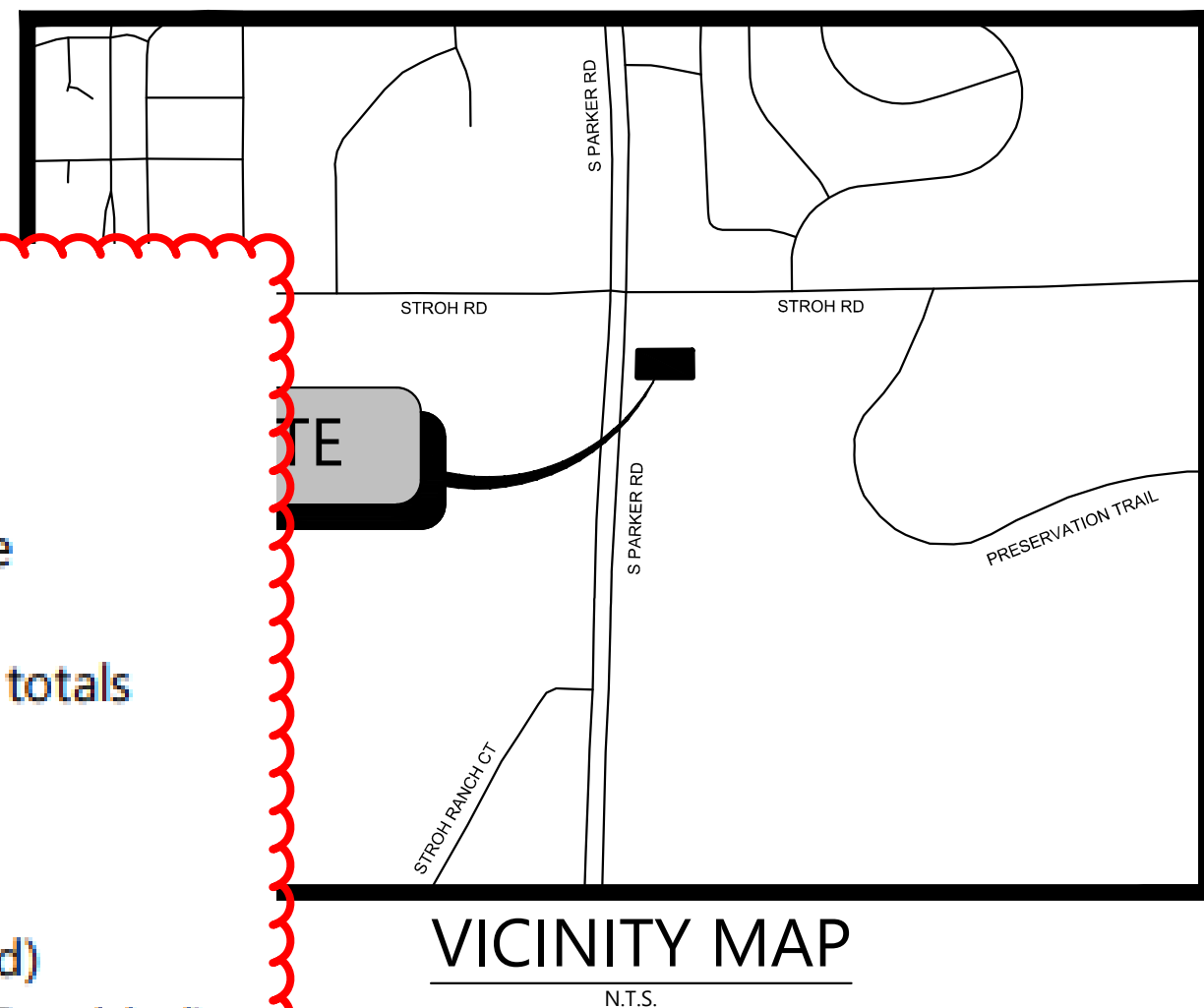


## S. PARKER RD & STROH RD PARKER, DOUGLAS COUNTY, COLORADO

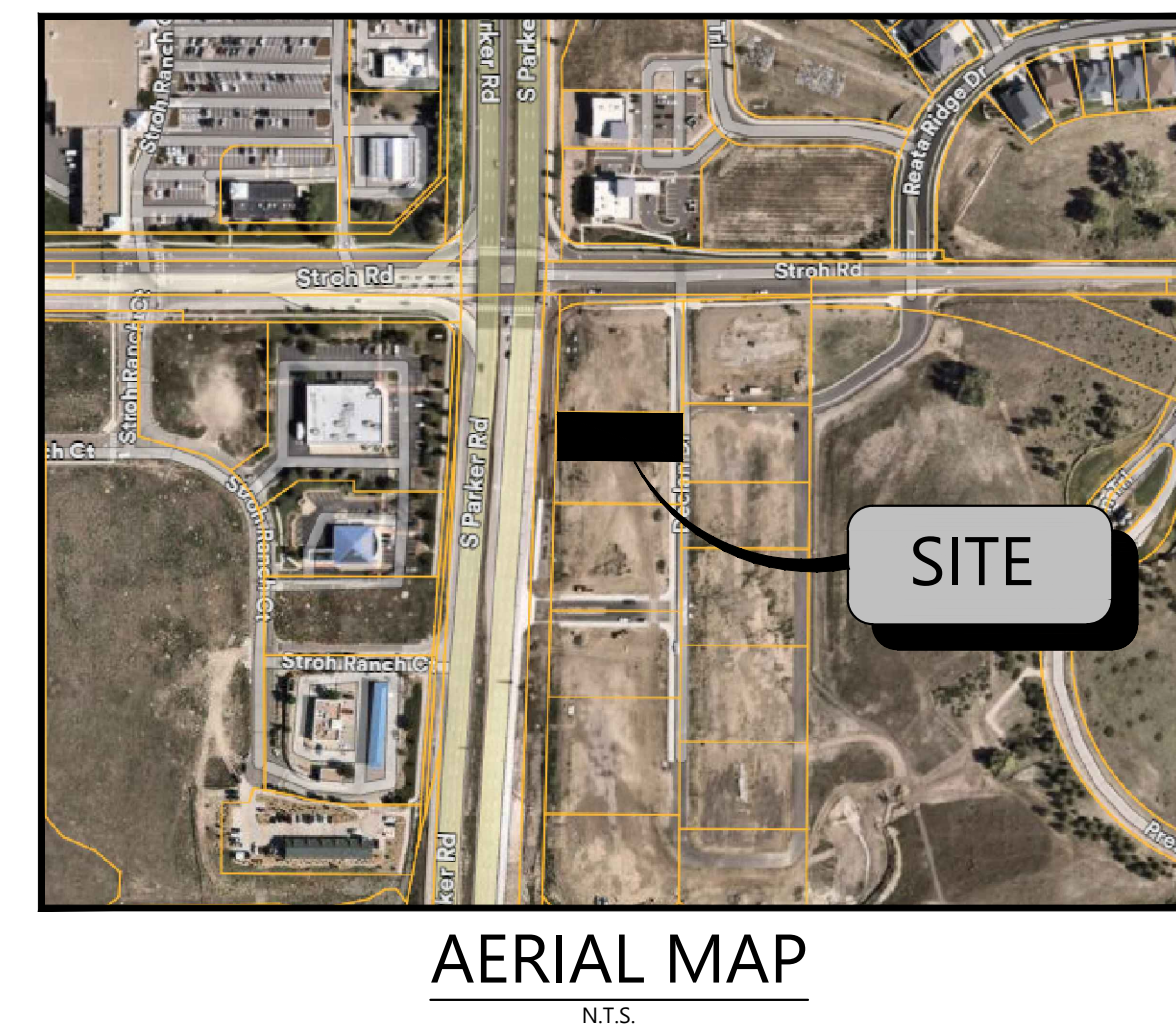
TAX PARCELS: 234903104014

Site Acreage

- Land use summary table with:
  - Lot acreage and square footage
  - Proposed use(s)
  - Number of dwelling units, if applicable
  - Number of buildings
  - Gross Floor Area of each building and totals
  - Setbacks (Required and Provided)
  - Parking (Required and Provided); Compact/Standard/Accessible
  - Bicycle Parking (Required and Provided)
  - Percentage Landscape (Required and Provided)



NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 08035C0182G DATED MARCH, 16 2015.



Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	TOWN GENERAL NOTES
C1.10	TOWN GENERAL NOTES
C1.20	GENERAL NOTES
C2.00	SITE PLAN
C2.10	PAVING AND STRIPING PLAN
C3.00	GRADING PLAN
C3.10	DRAINAGE PLAN
C3.20	INTERIM DAM
C3.30	POST-DEV DAM
C5.00	EROSION CONTROL PLAN
C7.00	DETAILS
C8.00	EROSION CONTROL DETAILS
C8.01	EROSION CONTROL DETAILS
C8.02	EROSION CONTROL NOTES

Sheet Number	Sheet Title
01	WATER AND SEWER COVER SHEET
02	WATER AND SEWER GENERAL NOTES
03	OVERALL UTILITY PLAN
04	WATER PLAN
05	SEWER PLAN AND PROFILE
06	WATER DETAILS
07	WATER DETAILS
08	SEWER DETAILS
09	SEWER DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE SPECIFICATIONS AND DETAILS
L2.01	IRRIGATION PLAN
L2.01	IRRIGATION SPECIFICATIONS AND DETAILS

**BLACK ROCK COFFEE BAR**  
TOTAL SITE AREA: 0.60 AC. / 25,933 SF.  
DISTURBED AREA: 0.67 AC. / 29,406 SF.  
ZONING: MODIFIED COMMERCIAL

Mixed-use Community: 13.04.070 - Mixed-use community (MC):  
[https://library.municode.com/co/parker/codes/municipal\\_code?nodeId=TIT13LAD\\_EOR\\_CH13.04ZODI\\_13.04.070MIECOMC](https://library.municode.com/co/parker/codes/municipal_code?nodeId=TIT13LAD_EOR_CH13.04ZODI_13.04.070MIECOMC)

Include Land Use Summary chart

SUBMITTAL DATE

SUBMITTAL 2024-12-09

If this is not part of this set we do not need sheet references

### DEVELOPMENT TEAM

OWNER	CIVIL ENGINEER	SURVEYOR	DEVELOPER
<p><b>Parking Requirement.</b> Also please reference 13.08.080(k)</p>	<p>1 per each 4 persons of design capacity (excluding outdoor seating)</p> <p>NICHOLAS SALAZAR PHONE: (###) ###-#### CONTACT: NICHOLAS SALAZAR EMAIL: NSALAZAR@ATWELL.COM</p>	<p>ON LAND</p> <p>ACADEMY BLVD., SUITE 311 COLORADO SPRINGS, CO 80917 PHONE: (719) 360-6827 CONTACT: SPENCER BARRON</p>	<p>BLACK ROCK COFFEE BAR 16307 NE CAMERON BLVD PORTLAND, OR 97230 PHONE: (541) 531-2149 CONTACT: TONY POLLOTTA</p>

### PROJECT NARRATIVE

BLACK ROCK COFFEE BAR IS OWNED BY BLACK ROCK DEVELOPMENT COMPANY, LLC. THEY ARE A PREMIUM CRAFT COFFEE SHOP WITH MULTIPLE LOCATIONS ACROSS THE COUNTRY. THEY CONSIDER THEMSELVES A "PART OF LOCAL COMMUNITIES, EACH BLACK ROCK COFFEE BAR TEAM FINDS WAYS TO SERVE THEIR NEIGHBORHOODS, AND BY DOING SO WE HELP RAISE THE BAR FOR RELATIONSHIP AND COMPASSION." THEIR PROTOTYPE BUILDING IS ROUGHLY 600-700 SQUARE FEET IN SIZE, WITH STATE-OF-THE-ART DESIGN AND IDENTIFIABLE BRANDING ELEMENTS. THEY OFFER PATIO AND INDOOR SEATING WITH THE OPTION OF DRIVE-THRU AVAILABILITY.

A BUILDING WITH THE STANDARD DUAL-LANE ORDERING SINGLE LANE PICKUP IS BEING PROPOSED FOR THIS LOCATION. THIS PROJECT WOULD UTILIZE A PROPOSED ACCESS POINT TO DECLAN DRIVE.

### LEGAL DESCRIPTION

LOT 4A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 ACCORDING TO THE PLAT AS RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO

ADDRESS OF RECORD:  
6940 STROH ROAD, PARKER, CO

### BENCHMARK

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT "1.060032" (ELEVATION - 5903.17 NADV88)

### BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 3, T7S, R66W OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED ON THE EAST WITH A #6 REBAR WITH 2" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 22561" AND ON THE WEST WITH A #6 REBAR WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED "PLS 29761", AND IS ASSUMED TO BEAR S 89°59'29" W, A FIELD MEASURED DISTANCE OF 2648.43 FEET.

### GOVERNING AGENCIES AND UTILITY CONTACTS

**WATER & WASTEWATER**  
PARKER WATER AND SANITATION DISTRICT  
13939 ANCESTRY DRIVE  
PARKER, CO 80134  
PHONE: (303) 841-4627  
EMAIL: RRAMSEY@PWSD.ORG  
CONTACT: ROBERT RAMSEY

**STORM DRAINAGE PROVIDER**  
TOWN OF PARKER PUBLIC WORKS  
20120 E. MAIN STREET  
PARKER, CO 80138  
CONTACT: CHRIS HUDSON

**FIRE PROTECTION**  
TOWN OF PARKER FIRE AND LIFE SAFETY  
20120 E. MAINSTREET  
PARKER, CO 80138  
PHONE: (303) 805-3169  
CONTACT: RANDY CAPRA  
EMAIL: RCAPRA@PARKERONLINE.ORG

**BUILDING PERMIT**  
TOWN OR PARKING BUILDING DIVISION  
20120 E. MAINSTREET  
PARKER, CO 80138  
PHONE: (303) 841-1970  
CONTACT: RANDY SALE  
EMAIL: RSALE@PARKERONLINE.ORG

**GAS PROVIDER**  
XCEL ENERGY  
1123 WEST 3RD AVE,  
DENVER, CO 80223  
PHONE: (303) 571-3927  
CONTACT: BUILDER'S CALL LINE  
(800) 628-1212 X3

**PHONE PROVIDER**  
CENTURYLINK  
9750 EAST COSTILLA AVE.  
ENGLEWOOD, CO 80112  
PHONE: (720) 578-5142

**ELECTRIC PROVIDER**  
CORE ELECTRIC COOPERATIVE  
5496 NORTH U.S. HIGHWAY 85  
SEDALIA, CO 80135  
PHONE: (303) 332-9540  
CONTACT: BRUFF SHEA

**ENGINEERING DEPARTMENT**  
TOWN OF PARKER ENGINEERING & PUBLIC WORKS  
20120 E. MAINSTREET  
PARKER, CO 80134  
PHONE: (303) 841-4627  
EMAIL: RRAMSEY@PWSD.ORG  
CONTACT: ROBERT RAMSEY

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

**Know what's Below. Call before you dig.**  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK OF PERSONS ENGAGED BY THE WORK OF ANY MEMBER STRUCTURES, OR OF ANY OTHER PERSONS.

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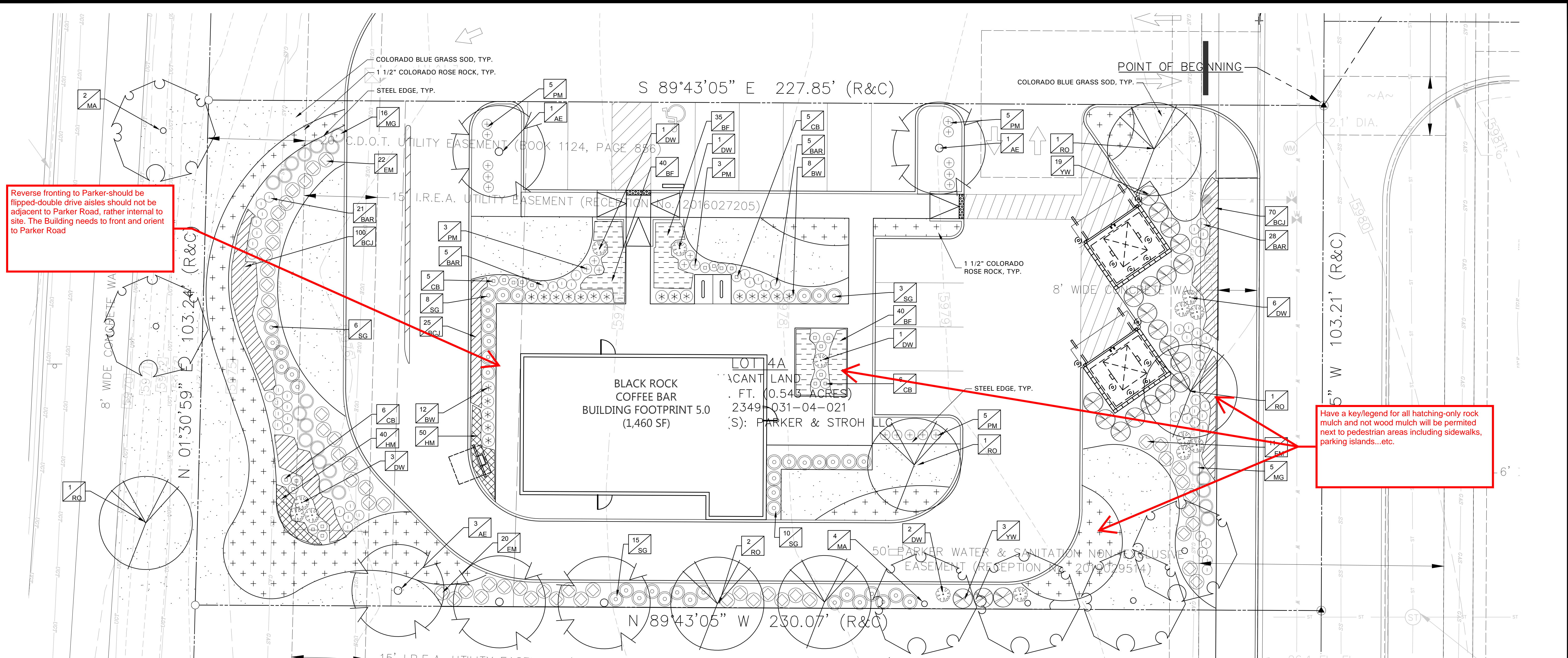
BLACK ROCK COFFEE BAR  
BLACK ROCK DEVELOPMENT COMPANY, LLC  
S. PARKER RD & STROH RD  
PARKER  
DOUGLAS COUNTY, COLORADO

DATE 2024-12-09

REVISIONS

DRAWN BY: K. SARWAR  
CHECKED BY: N. SALAZAR  
PROJECT MANAGER: N. SALAZAR  
JOB #: 24003198  
FILE CODE: ##  
SHEET NO. **C0.00**





Reverse fronting to Parker should be flipped-double drive aisles should not be adjacent to Parker Road, rather internal to site. The Building needs to front and orient to Parker Road

Have a key/legend for all hatching-only rock mulch and not wood mulch will be permitted next to pedestrian areas including sidewalks, parking islands...etc.

**GENERAL LAWN NOTES**

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
  - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION
  - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
  - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
  - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPILLS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
  - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
  - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOLID SOD:**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
  - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (1-1/4") EXCLUDING TOP GROWTH AND THATCH.
  - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
  - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY. SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
  - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

**HYDROMULCH:**

- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- COLORADO BLUE GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
- FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWEY" OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE TERRO-TACK ONE, AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
- HYDROMULCH WITH COLORADO BLUE GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
- USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVERSEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH COLORADO BLUE GRASS SEED THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

**LANDSCAPE NOTES**

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING NOTIFIED LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PRESENT INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE. PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING, NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
- CONTRACTOR TO PROVIDE UNIT PRICINGS OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

**IRRIGATION:**

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

**MAINTENANCE REQUIREMENTS:**

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

**MISCELLANEOUS MATERIALS:**

- STEEL EDGING SHALL BE 3/16" X 4 X 18" DARK GREEN DURABLE STEEL LANDSCAPE EDGING APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- ROCK SHALL BE COLORADO ROSE ROCK, 1.5" IN DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

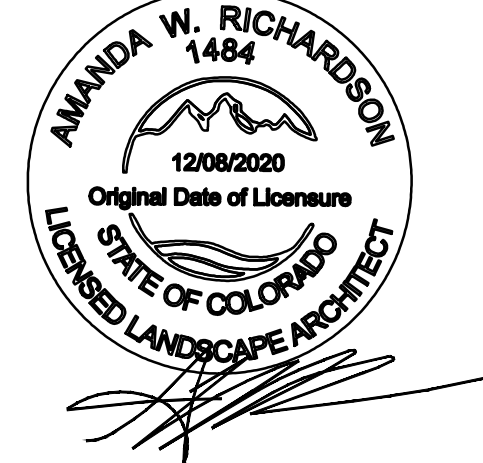
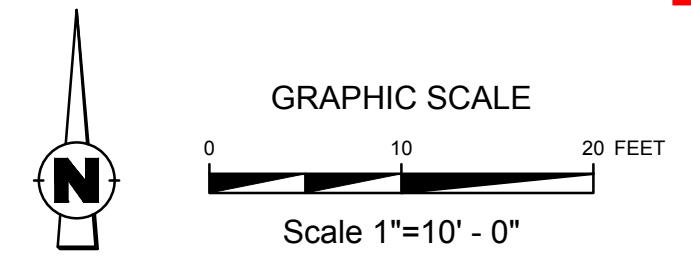
Reference LDO manual for Landscape Chart presentation, <https://parkercolorado.gov/DocumentCenter/View/28966/Land-Development-Ordinance-Administrative-Manual-Pages-15-and-16>

LANDSCAPE TABULATIONS for Parker, CO	
SITE AREA	
1. 15% of the developed area shall be landscaped.	
2. 75% of the required landscape shall be living material.	
Site: 0.543 acres; 23,653 s.f.	
REQUIRED	PROVIDED
3548 s.f. (15%)	10,580 s.f. (44.7%)
2681 s.f. (75%)	9,039 s.f.
STREETSCAPE	
1. 8' shall be provided from the back of curb to the walk.	
2. One tree shall be provided for every 40 l.f. of frontage, uniformly spaced. Evergreen trees are prohibited. A minimum of 3' species shall be selected.	
3. Streetscape shall consist of 75% living plant material.	
S. Parker Road - 103 l.f.	
REQUIRED	PROVIDED
8' width	8' width
2.5 trees	3 trees
S. Parker Road - 103 l.f.	
REQUIRED	PROVIDED
8' width	8' width
2.5 trees	3 trees
PARKING LOT INTERIOR	
1. At least 10% of the lot covered by parking shall be allocated to the landscape islands.	
2. Each island shall contain one tree and 5 shrubs for every 162 square feet required.	
Parking area: 3625 s.f.	
REQUIRED	PROVIDED
363 s.f. (10%)	495 s.f.
2 trees	3 trees
10 shrubs	15 shrubs
SITE PERIMETER	
1. Site perimeter shall be provided to create a landscape edge.	
2. P1 minor Perimeter - 6' width required, 1 tree per 30 l.f., 5 shrubs per 30 linear feet.	
South side: 230 l.f.	
REQUIRED	PROVIDED
6' width	6' width
8 trees	8 trees
40 shrubs	40 shrubs
SITE INTERIOR	
1. Site interior is required to break up the visual massing of large wall areas.	
REQUIRED	PROVIDED
foundation planting	foundation planting

PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
<b>SHADE TREES</b>					
5	AE	Allee Elm	<i>Ulmus parvifolia 'Emer II'</i>	3' cal.	12' ht., 4' spread
6	MA	Celebration Maple	<i>Acer x freemanii 'celtam'</i>	3' cal.	12' ht., 4' spread
6	RO	Red Oak	<i>Quercus rubrum</i>	3' cal.	12' ht., 5' spread
<b>SHRUBS</b>					
59	BAR	Concord Barberry	<i>Berberis thunbergii 'Concorde'</i>	5 gal.	full, 20" sprd, 24" o.c.
20	BW	Boxwood, Green Velvet	<i>Buxus 'Green Velvet'</i>	5 gal.	full, 20" spread, 30" o.c.
22	CB	Chokoberry	<i>Aronia melanocarpa 'UCONNAM165'</i>	5 gal.	full, 20" sprd, 24" o.c.
14	DW	Artic Fire Dogwood	<i>Cornus stolonifera 'Farrow'</i>	5 gal.	full, 24" sprd, 36" o.c.
53	EM	Euonymus Manhattan	<i>Euonymus kiautschovicus 'Manhattan'</i>	5 gal.	full, 24" sprd, 36" o.c.
21	MG	Maiden Grass, Gold Bar	<i>Miscanthus sinensis 'Gold Bar'</i>	5 gal.	full, 20" spread, 30" o.c.
21	PM	Pine, Mugo, Valley Cushion	<i>Pinus mugo 'Valley Cushion'</i>	5 gal.	full, 20" sprd, 24" o.c.
42	SG	Globe Spruce	<i>Picea pungens 'Globoosa'</i>	5 gal.	full, 24" sprd, 36" o.c.
22	YW	Yew Hicks Upright	<i>Taxus x media 'Hicksii'</i>	5 gal.	full, 24" sprd, 42" o.c.
<b>GROUNDCOVER/VINES/GRASS</b>					
195	BCJ	Blue Chip Juniper	<i>Juniperus horizontalis 'Blue Chip'</i>	1 gal.	full, 18" o.c.
115	BF	Blue Fescue, Beyond Blue	<i>Festuca ovata (cinerea) glauca 'Casca111'</i>	1 gal.	full, 18" o.c.
90	HM	Hummingbird Mint	<i>Monardella macrantha 'Marian Sampson'</i>	1 gal.	full, 12" o.c.
		Colorado Blue Grass Sod			
		1 1/2" Colorado Rose Rock			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching species. All plant material shall meet or exceed remarks as indicated.

Planting schedule will likely need to be on an additional sheet. Please include subtotals for each category as well as totals for all shrubs and totals for all trees. Also indicate Evergreen vs. Deciduous



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 amanda@awr-designs.com  
 c. 512.517.5589

**811**  
 Know what's Below. Call before you dig.  
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**NOTICE:**  
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24 HOUR EMERGENCY CONTACT

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 FIRM (LOCAL) F-12342

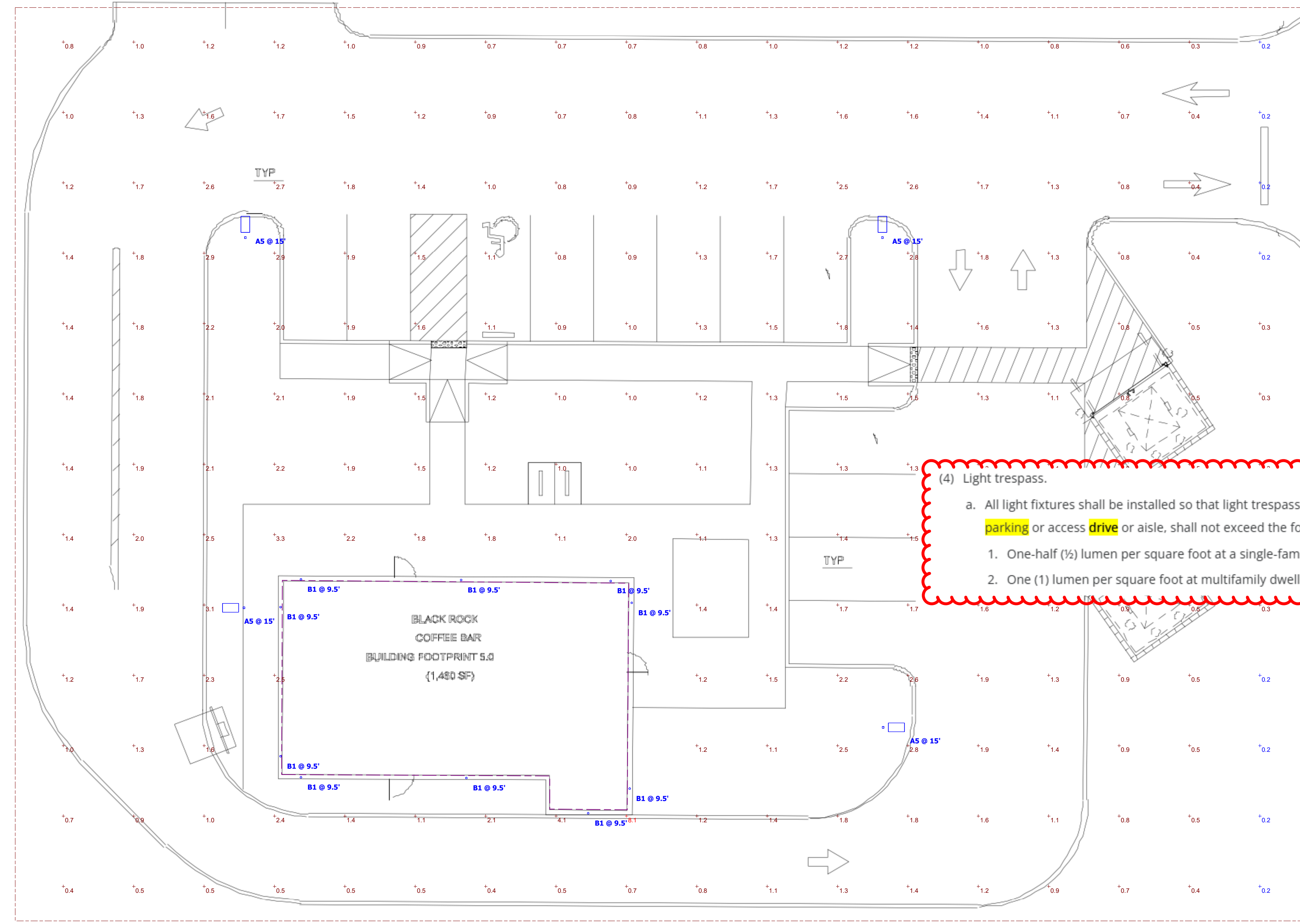
**BLACK ROCK COFFEE BAR**  
 BLACK ROCK DEVELOPMENT COMPANY, LLC  
 S. PARKER RD & STROH RD  
 PARKER  
 DOUGLAS COUNTY, COLORADO

DATE: 2024-11-11

REVISIONS

DRAWN BY: K. SARWAR, S. KIDD  
 CHECKED BY: C. ATCHLEY  
 PROJECT MANAGER: C. ATCHLEY  
 JOB #: 24003198  
 FILE CODE: ##  
 SHEET NO. **L1.01**





Need to show Lumens at property line

(4) Light trespass.  
 a. All light fixtures shall be installed so that light trespass from any property line, except a property line adjacent to a public/private street, shared parking or access drive or aisle, shall not exceed the following:  
 1. One-half (1/2) lumen per square foot at a single-family detached, single-family attached or duplex dwelling property line.  
 2. One (1) lumen per square foot at multifamily dwelling or nonresidential property line.

Provide a chart that shows consistency with all requirements

(5) Maximum height.  
 a. The maximum height of freestanding (non-building mounted) light fixtures shall be equal to the maximum height of the principal building on the parcel or twenty-five (25) feet, whichever is less.  
 b. The maximum height of freestanding light fixtures along pedestrian paths and trails shall be fifteen (15) feet.  
 c. The maximum height of building mounted lighting fixtures shall be fifteen (15) feet unless decorative or accent lighting.  
 d. The maximum height of freestanding light fixtures used for an outdoor recreation facility or park shall be determined at the time of Site Plan application with approval of the Parks, Recreation and Open Space Director. Light fixtures for these areas shall also be equipped with a glare control package such as louvers, shields, or similar devices and aimed so that their beams are directed and fall with the primary activity or performance area.  
 e. On a Restricted Lot, the maximum height of any lighting pole within fifty (50) feet of a Protected Lot shall be fifteen (15) feet.  
 (6) Light setbacks. All freestanding light fixtures shall be set back from each property line a distance at least equal to the total height of the luminaire.  
 (7) Light uniformity. Lighting of parking lots and drive aisles shall have a uniformity ratio of six to one (6:1) (maximum to minimum).

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site @ 0' AFG	+	1.3 fc	8.1 fc	0.2 fc	40.5:1	6.5:1

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
A5		4	OPTEC LED LIGHTING	OLA1-080-30-S	LED AREA SERIES LARGE 080W 3000K TYPE S MOUNTED AT 15' AFG	1	10130	0.9	90	
B1		10	RP Lighting	4427-XX-13-XX	LED ARCHITECTURAL SQUARE CYLINDER DOWNLIGHT MOUNTED @ 9'-6" AFG	1	911	0.9	13.3	

Indicate mounting height

Plan View

Black Rock Coffee Bar Parker Colorado



## Area Series (Small)

The OLA1 Small Series is a stylish aerodynamic area luminaire that fits within today's accepted design form factors. Excellent optical performance is achieved with Nichia brand LED's and engineered discrete optics. LED life is assured through efficient thermal coupling and dissipation via a durable, pressure die cast, low-copper alloy, aluminum housing. Engineered to last, all gaskets are anti-UV, anti-aging with no harmful out-gassing. All models come standard with a universal pole mount bracket or an optional wall surface box. Luminaires are available with a number of options including alternate CCT choices, finishes, photocells and occupancy sensors.

### FEATURES

- LED Brand: Nichia
- Color Temperatures: 4000K & 5000K (Other CCT's are available upon request)
- CRI: 70
- Lumen Maintenance: L70 = 50,000 hours
- Full Cutoff (meets IDA criteria)
- Operating Temperature: -40°C (-40°F) to 40°C (104°F)
- Durable All Aluminum Pressure Die Cast Housing
- Powder Coat Finish
- Salt Fog Tested to 2500 hours / per ASTM B117
- IP65 Rated (wet listed / NEMA IEC 60529)
- Mounting: Universal Round or Square Pole, Wall Surface Box

### ELECTRICAL SPECIFICATIONS

- Power Input: 120-277V (347-480V Optional)
- Power Factor: > 0.95
- THD: < 15%
- Surge Protection: 20 kV
- Control Options: 0-10V Dimming standard (Photocell and Occupancy Sensors Optional)

### TESTS & CERTIFICATIONS

- ETL (UL 1598, UL 8750, NEMA C82.77)
- CSA (C22.2 No.250.0)
- RoHS Compliant
- Design Lights Consortium (Premium)
- 3G Vibration tested (ANSI C136.31)

### PERFORMANCE SPECIFICATIONS

Distribution	Model / Wattage	Lumens		B
		4000K	5000K	
Type 2	OLA1-080	10,801	10,960	3 *
	OLA1-120	15,840	16,200	3 *
	OLA1-150	19,800	20,250	3 *
Type 3	OLA1-080	11,600	11,760	2 *
	OLA1-120	16,561	16,920	3 *
	OLA1-150	20,549	21,000	3 *
Type 3L	OLA1-080	10,799	10,960	3 *
	OLA1-120	15,960	16,199	3 *
	OLA1-150	19,800	20,249	4 *
Type 3R	OLA1-080	10,799	10,960	3 *
	OLA1-120	15,960	16,198	3 *
	OLA1-150	19,800	20,250	4 *
Type 4	OLA1-080	10,596	10,794	2 *
	OLA1-120	15,472	15,712	2 *
	OLA1-150	19,046	19,349	3 *
Type 4L	OLA1-080	10,800	10,960	3 *
	OLA1-120	16,080	16,320	3 *
	OLA1-150	19,800	20,250	4 *
Type 4R	OLA1-080	10,800	10,960	3 *
	OLA1-120	16,080	16,320	3 *
	OLA1-150	19,781	20,250	4 *
Type 5	OLA1-080	10,032	10,185	4
	OLA1-120	15,049	15,278	4
	OLA1-150	18,811	19,097	5

\* Backlight = 1 when BC (Backlight Control System) is applied.

Voltage (V)	Current (A)		
	80W	120W	150W
120	0.67	1.00	1.25
208	0.38	0.58	0.72
240	0.33	0.50	0.63
277	0.29	0.43	0.54
347	0.23	0.35	0.43
480	0.17	0.25	0.31

Which are B1, A5? Need to label accordingly to reference photometric sheet.  
Only include information for exact light being used, mounting height, Lumens, We do not need information on every type and variable of the light, only the light being used for the project



## Area Series (Small)

### ORDERING INFORMATION

EXAMPLE: OLA1-120-UNVL-50-4-SQ-BZ-PR-TL12

SERIES	WATTAGE	VOLTAGE	COLOR TEMP	DISTRIBUTION	MOUNTING	FINISH	CONTROLS / OPTIONS
OLA1 = Optec LED Area Light	080 = 80W 120 = 120W 150 = 150W	UNVL = 120-277V UNVH = 347-480V	30 = 3000K 40 = 4000K 50 = 5000K	2 = Type 2 3 = Type 3 3L = Type 3 Left 3R = Type 3 Right 4 = Type 4 4L = Type 4 Left 4R = Type 4 Right	SQ = Square Pole <sup>1</sup> RD = Round Pole <sup>1</sup> WM = Wall Mount <sup>1,2</sup> TA = Tenon Adapter <sup>3</sup> LK = Leveling Kit <sup>3</sup>	WH = White BZ = Dark Bronze BL = Black NA = Natural Aluminum GM = Graphitic Metallic CF = Custom Finish	OSWS = Occupancy Sensor (WittStopper) PR3 = Photocell Receptacle 3-pin PR5 = Photocell Receptacle 5-pin PR7 = Photocell Receptacle 7-pin WCS = Wireless Control Synapse <sup>4</sup> BCS = Backlight Control System SE = Single Eye (120V, 277V, 347V) BC = Backlight (120V, 240V, 480V) HC = Heating Cap PR120V <sup>5</sup> PR240V <sup>5</sup> PR277V <sup>5</sup> PR208V <sup>5</sup> PR347V <sup>5</sup> PR480V <sup>5</sup>

Please show compliance



(3) Shielding required.

- All light fixtures shall be shielded and directed to avoid glare and overspill onto adjacent property.
- All light fixtures shall be shielded using full cutoff light fixtures that are directed downwards (ninety (90) degrees from true vertical) and no more than ten (10) percent of total lumens measurable at or above eighty (80) degrees above the vertical axis of the light fixture unless an exception is approved by the Planning Director.

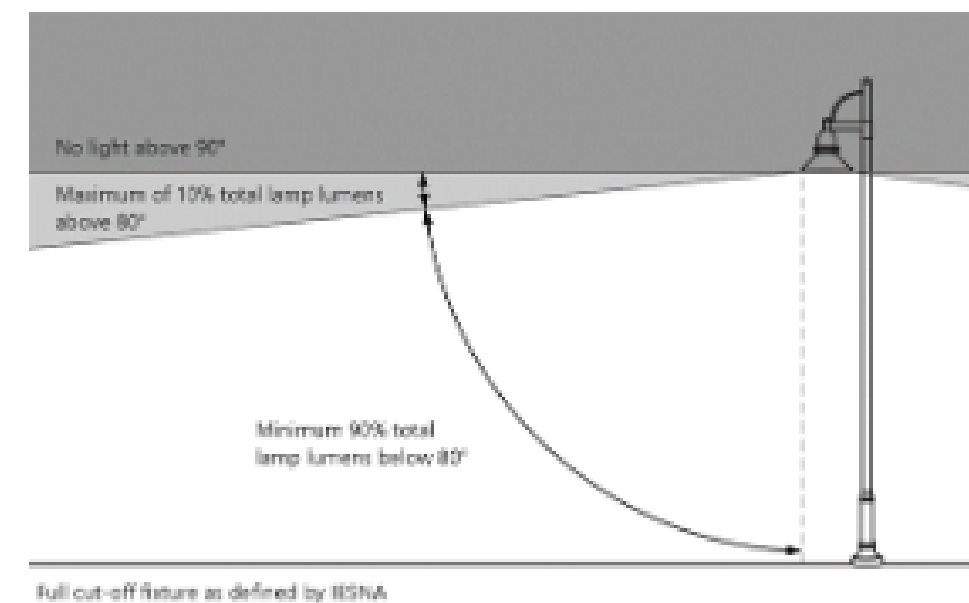
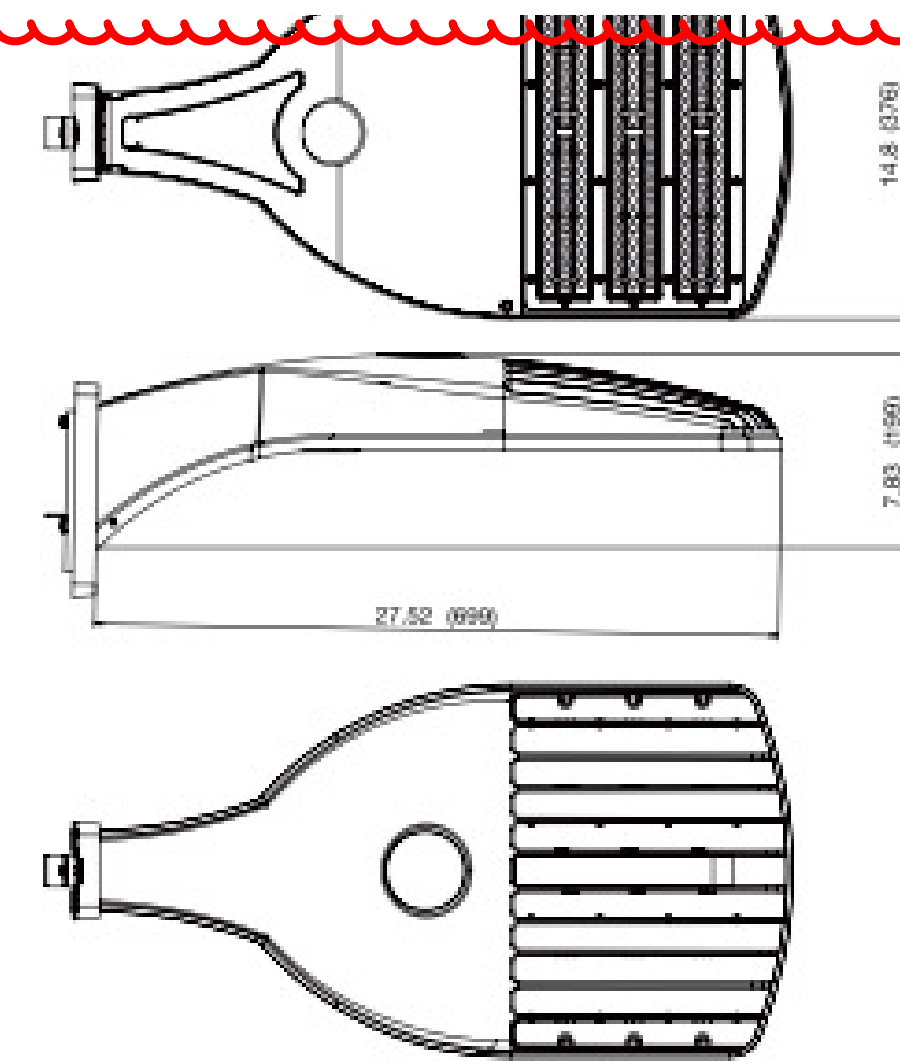
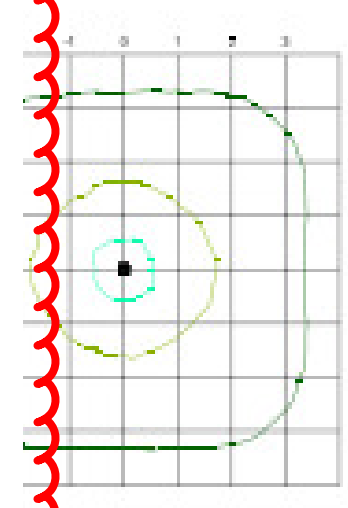


Figure 08.29 Fully Shielded Fixtures

- All light fixtures on structures, poles, bollards, stands, or mounted on a building shall have a shield, adjustable reflector, and/or non-protruding diffuser to shield the light source from sight.



	80W	120W	150W
Length (inches / mm)	27.52 / 699	27.52 / 699	27.52 / 699
Width (inches / mm)	14.8 / 376	14.8 / 376	14.8 / 376
Height (inches / mm)	7.83 / 199	7.83 / 199	7.83 / 199
Weight (lbs / kg)	19.4 / 8.8	19.4 / 8.9	20 / 9.1

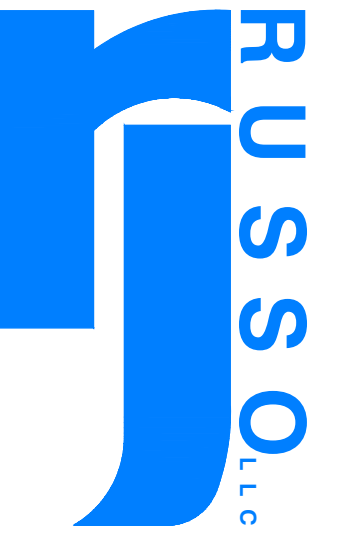
Wattage	Effective Projected Area (EPA) in ft <sup>2</sup>				
	2	3	4	5	6
80	0.96	1.92	1.81	2.77	3.63
120	0.96	1.92	1.81	2.77	3.63
150	0.96	1.92	1.81	2.77	3.63

# FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
<b>ZONE 1 (BODY AND TOWER)</b>				
1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	COLOR BLACK ORE MATTE FINISH
2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	COLOR BLACK ORE MATTE FINISH
3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 3 1/2" SMOOTH AT CORNERS	PRE-FINISHED COLOR SAND CASTLE
<b>FLASHING, COLUMNS AND CANOPY</b>				
4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH #1	
ALL FINAL FINISHES AS SELECTED DURING SCHEMATIC DESIGN				

## KEY NOTES

1. FINISH EXTERIOR MATERIAL. INSTALL PER MANUFACTURER'S SPECIFICATION.
2. STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
4. DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5. SIGNAGE. UNDER SEPARATED SUBMITTAL.
6. 48" W X 12" D SERVICE COUNTER AIR 34" AFF.
7. DOWNSPOUT DAYLIGHT.
8. EXTERIOR LIGHTING AT 9"-2" AFF. TYP OF (7).
9. CAP FLASHING.
10. AWNING CORRUGATED METAL PANEL.
11. RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
12. E.I.F.S. SCORE LINES.



3836 W BUCKEYE RD  
 BUILDING C  
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 623-328-5196  
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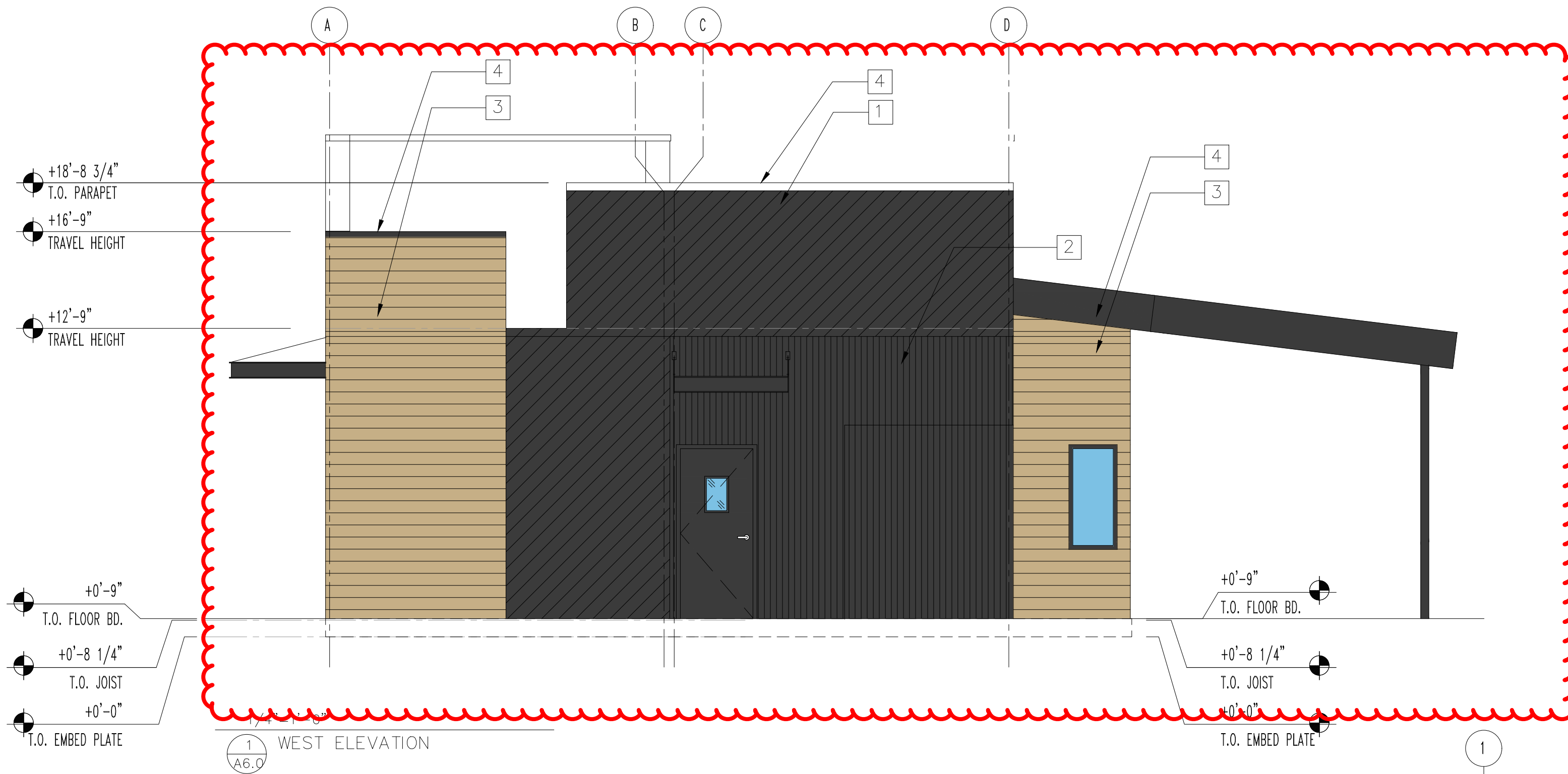
BLACK ROCK COFFEE  
 DTO MODULAR BUILDING FOR ARIZONA



CONTROL # 001

JOB NUMBER: 24-000315  
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 CONTENTS:  
 EXTERIOR ELEVATIONS

A6.0



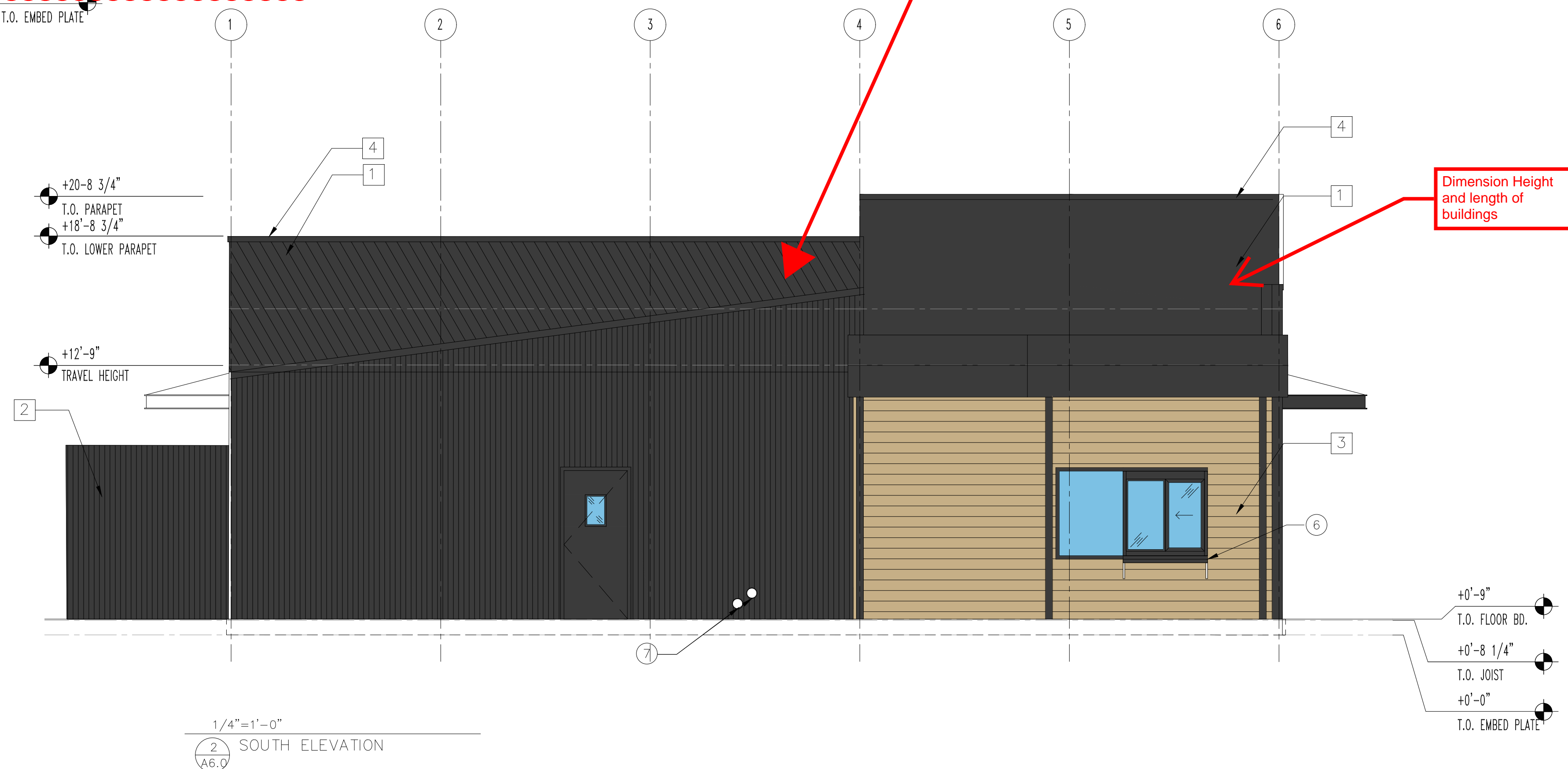
These elevations are inadequate for the any facade in the Town of Parker. This elevation faces Parker road and needs to be an entry with delineated welcoming and public facing front, not a back of house. It also needs to meet minimum transparency requirements

**Commercial buildings 100 feet in length or less:** Building fronts facing a public roadway or open space shall be subject to a transparency minimum of:

- 1) Ground floor level transparency shall be a minimum of 40% measured as a percentage of glazing in the base of the building, for building fronts (see figure 65); and
- 2) Ground floor level transparency shall be a minimum of 25% measured as a percentage of glazing in the base of the building, for a building side (see figure 66).



Figure 65 - Example of 40% window transparency for building fronting a public roadway



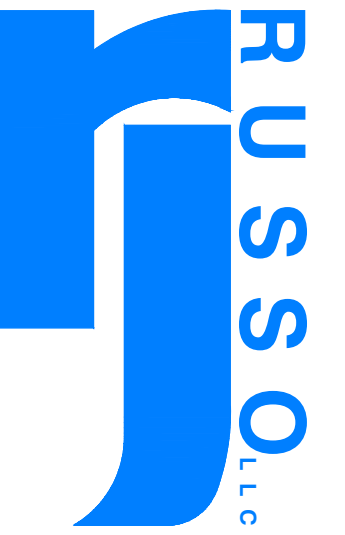
1/4"=1'-0"  
 SOUTH ELEVATION

# FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY AND TOWER)				
1	CORRUGATED METAL	WESTERN STATES	WESTERN RIB 7.2 PANELS 24 GA	COLOR BLACK ORE MATTE FINISH
2	CORRUGATED METAL	WESTERN STATES	WESTERN WAVE 16.0 PANELS 24 GA	COLOR BLACK ORE MATTE FINISH
3	LAP SIDING	JAMES HARDIE	WOODTONE RUSTIC SERIES 3 1/2" SMOOTH AT CORNERS	PRE-FINISHED COLOR SAND CASTLE
FLASHING, COLUMNS AND CANOPY				
4	PAINTED STEEL	SHERWIN WILLIAMS	COLOR TO MATCH #1	
ALL FINAL FINISHES AS SELECTED DURING SCHEMATIC DESIGN				

## KEY NOTES

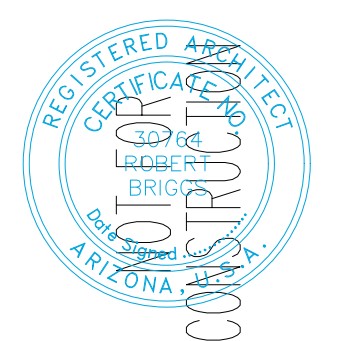
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2. STEEL CANOPY. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. WINDOW. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
4. DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
5. SIGNAGE. UNDER SEPARATED SUBMITTAL.
6. 48" W X 12" D SERVICE COUNTER AR 34" AFF.
7. DOWNSPOUT DAYLIGHT.
8. EXTERIOR LIGHTING AT 9'-2" AFF. TYP OF (7).
9. CAP FLASHING.
10. AWNING CORRUGATED METAL PANEL.
11. RTU - SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
12. E.I.F.S. SCORE LINES.



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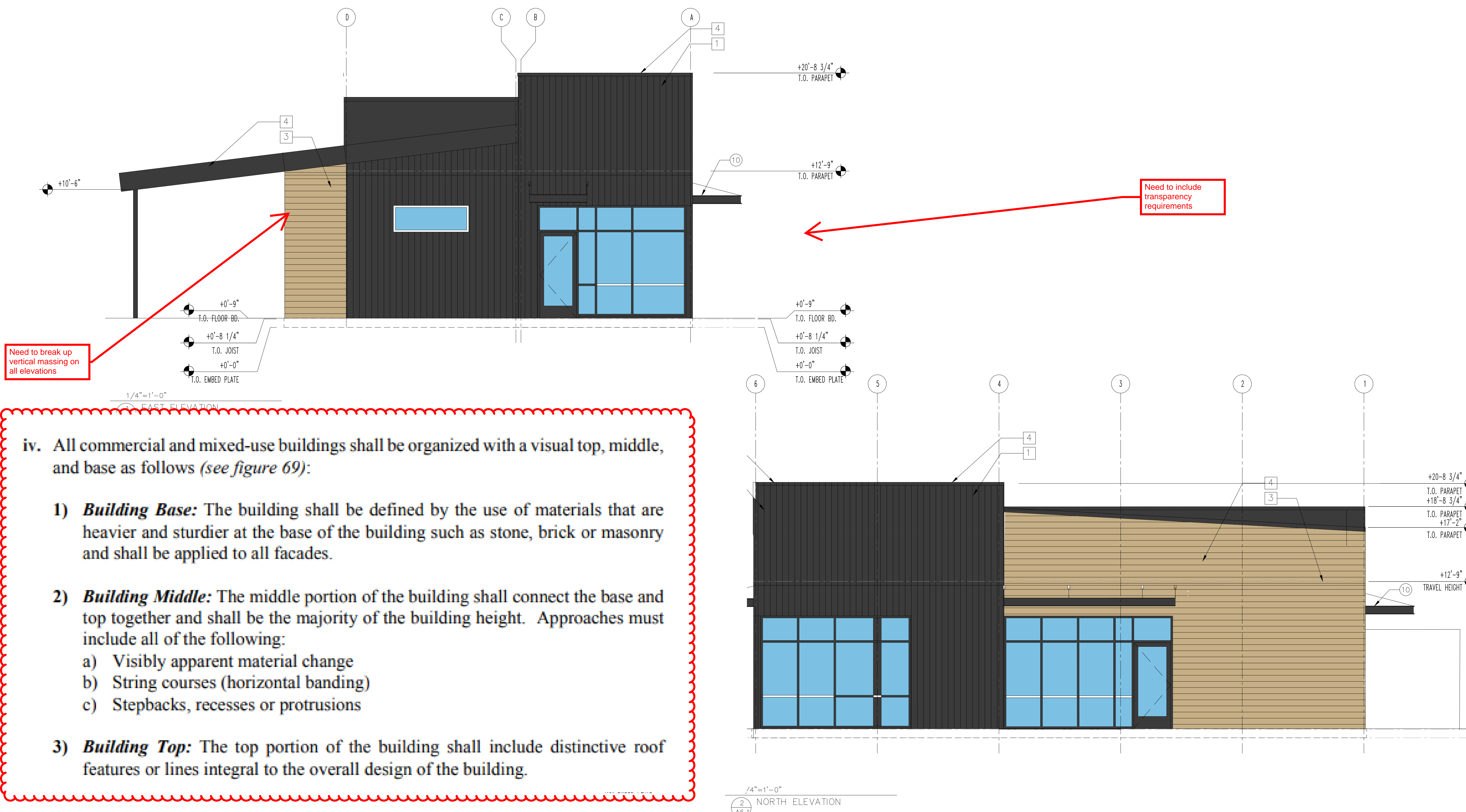
BLACK ROCK COFFEE  
 DTO MODULAR BUILDING FOR ARIZONA



CONTROL # 001

JOB NUMBER: 24-000315  
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 CONTENTS:  
 EXTERIOR ELEVATIONS

A6.1



iv. All commercial and mixed-use buildings shall be organized with a visual top, middle, and base as follows (see figure 69):

- 1) **Building Base:** The building shall be defined by the use of materials that are heavier and sturdier at the base of the building such as stone, brick or masonry and shall be applied to all facades.
- 2) **Building Middle:** The middle portion of the building shall connect the base and top together and shall be the majority of the building height. Approaches must include all of the following:
  - a) Visibly apparent material change
  - b) String courses (horizontal banding)
  - c) Stepped backs, recesses or protrusions
- 3) **Building Top:** The top portion of the building shall include distinctive roof features or lines integral to the overall design of the building.