



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Mike Schulze, Cobblestone Denver
FROM: Stacey Nerger, Senior Planner
DATE: April 18, 2025
SUBJECT: Parker and Pine Filing No. 1 Lot 4 – Site Plan Amendment
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

General Comments

- 1. **Please include a consolidated Site Plan Amendment document (similar to the originally approved site plan) that includes all sheets that have been changed.**

Comment Addressed: Yes No

Response:

- 2. **Please reference the redlines for additional comments/clarification.**

Comment Addressed: Yes No

Response:

- 3. **Please include images of all exterior elements of the site. This includes the bollards, retaining walls, trash cans, etc. Please include all materials and colors for these elements in the plans.**

Comment Addressed: Yes No

Response:

- 4. **The carports/canopies do not meet the requirements of the Development Design Standards for accessory commercial buildings. Please see redlines for additional information.**

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker Engineering and Stormwater – **Waiting for comments**
- Parker Water and Sanitation District – **Waiting for comments**
- Public Service Company of Colorado

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date



Know what's below.
Call before you dig.

PARKER AND PINE FILING NO. 1 LOT 4 - CAR WASH SITE PLANS

QUICK N CLEAN

9572 TWENTY MILE ROAD PARKER, COLORADO

A PORTION OF THE 1/4 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF 6TH P.M.
COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 05/05/2023

Planning Approval By: **J. Fettig**



CEI ENGINEERING ASSOCIATES, INC.
710 W. PINE DALE AVE.
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8100



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

QUICK N CLEAN
9572 TWENTY MILE ROAD
PARKER, COLORADO



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	3/23/2023
REVISION	REV-6

COVER SHEET
SHEET TITLE
SHEET NUMBER

01 OF 07

LEGAL DESCRIPTION

(PER THE TITLE COMMITMENT)
LOT 4,
PARKER AND FILING NO. 1,
COUNTY OF DOUGLAS,
STATE OF COLORADO.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035. A 3" ALUMINUM CAP.
ELEVATION = 5908.34 FEET (NAVD1988). AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
MAP NUMBER: 08035C0067G
EFFECTIVE DATE: MARCH 16, 2016

EXISTING LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- (C) COMMUNICATIONS MANHOLE
- (S) SANITARY SEWER MANHOLE
- (D) STORM SEWER MANHOLE
- GAS --- UNDERGROUND GAS LINES
- COM --- UNDERGROUND COMMUNICATIONS LINES
- STM --- UNDERGROUND STORM SEWER LINES

DEVELOPMENT PLAN NOTES

- LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTIES SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE: APPROVAL OF A SEPARATE SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.
- AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDING PLANS.
- THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.



Vicinity Map
1"=2,000'

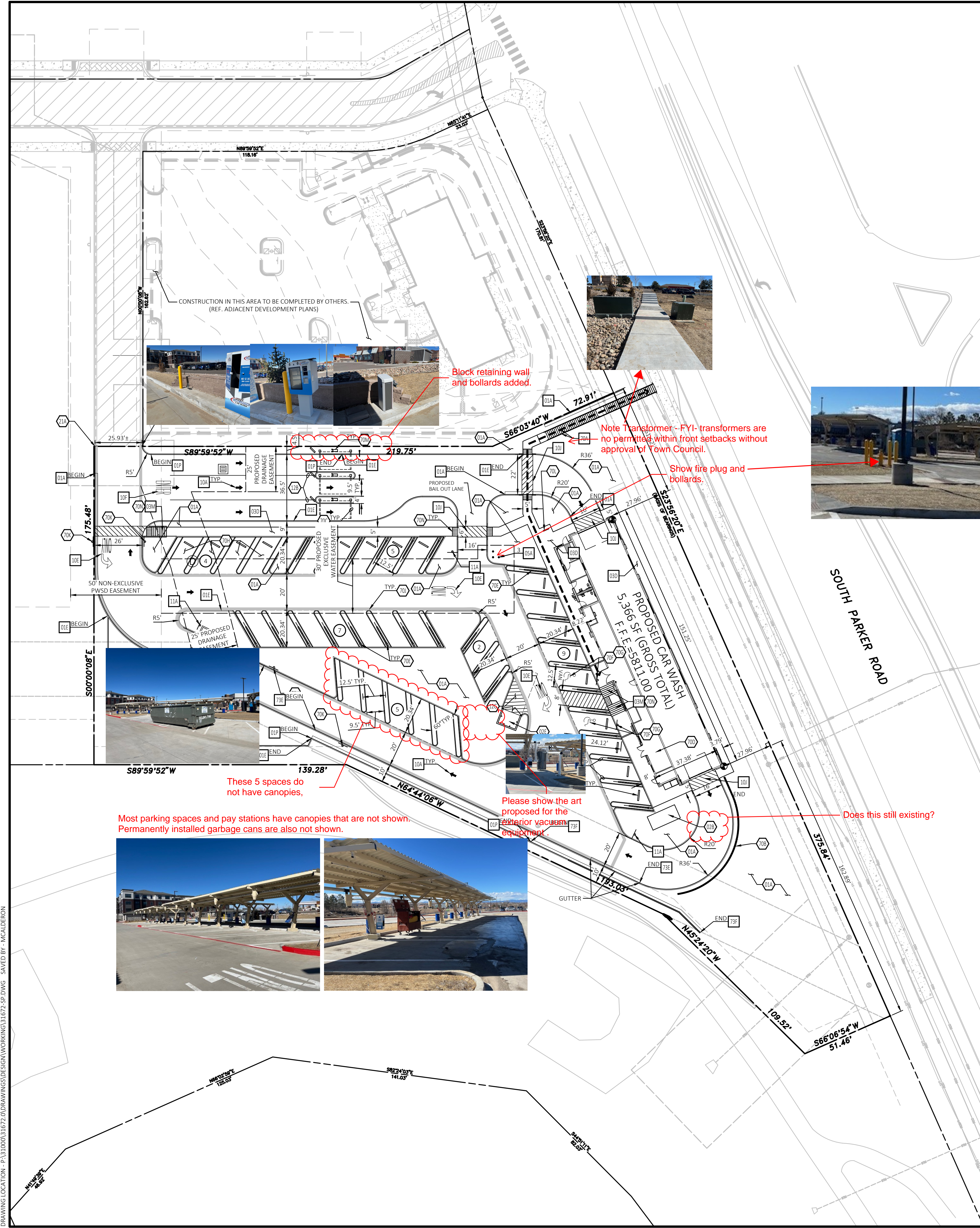
SHEET INDEX

SHEET #	SHEET TITLE
1 OF 7	COVER SHEET
2 OF 7	EXISTING CONDITIONS MAP
3 OF 7	SITE PLAN
4 OF 7	GRADING PLAN
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7 OF 7	LANDSCAPE NOTES
AS1	EXTERIOR ELEVATIONS
AS2	ELEVATION TRANSPARENCY DIAGRAMS
AS3	ENCLOSURE PLANS & ELEVATIONS
AS4	DETAILS
ES1.0	LIGHTING PLAN
ES1.1	EXTERIOR LIGHTNING SPEC SHEETS



CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND SURVEYING • PLANNING
BENTONVILLE | DALLAS | FRESNO | HOUSTON | JACKSONVILLE | MINNEAPOLIS | PHILADELPHIA | PHOENIX

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-CS-CW6_SAVED BY: JACALDERON



LEGAL DESCRIPTION

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.
 BENCHMARK
 DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.
 ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
 MAP NUMBER: 08035C0667G
 EFFECTIVE DATE: MARCH 16, 2016

NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- EXISTING STRUCTURES TO REMAIN WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED / ADJUSTED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL CURBED RADII ARE TO BE 2' OR 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING UTILITIES TO REMAIN WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED / ADJUSTED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT CONTRACT REQUIREMENTS.
- REFER TO ARCH. PLANS FOR Pylon AND/OR MONUMENT SIGNS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE CONTRACT REQUIREMENTS:
 UNLESS OTHERWISE NOTED, ALL CURB ON-SITE SHALL BE INSTALLED PER 01E.
 ALL PARKING LOT SIGN BASE SUPPORTS (EXCLUDING ACCESSIBLE PARKING SIGNAGE) SHALL BE INSTALLED PER DETAIL 12E.
 ALL PARKING LOT STRIPING SHALL BE PAINTED WITH 4 INCH. YELLOW PAINT (TYP.)
 ACCESSIBLE PARKING STALL STRIPING AND ISA SYMBOL SHALL BE PAINTED PER ARCH PLANS.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF THE LOCAL MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE OPERATOR SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION.
- ANY FACILITIES THAT ARE TO REMAIN AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED PER CURRENT CONTRACT REQUIREMENTS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- REFER TO DETAIL 08R FOR CONCRETE JOINT DETAILS.
- CONTRACTOR SHALL ENSURE ADA CONFORMANCE OF ALL EXISTING SIDEWALKS AND CURB RAMPS WITHIN PUBLIC RIGHT-OF-WAY WITHIN THE PROJECT LIMITS. ALL EXISTING SIDEWALKS AND CURB RAMPS SHALL CONFORM TO THE LATEST ADOPTED VERSION (AND ALL AMENDMENTS) OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN & THE ARCHITECTURAL BARRIERS TEXAS ACCESSIBILITY STANDARDS (TAS). ANY EXISTING SIDEWALK THAT IS NOT IN CONFORMANCE WITH ADA REGULATIONS SHALL BE REMOVED AND REPLACED PER CITY OF DALLAS CODES AND COST SHALL BE INCLUDED IN BASE BID.
- ALL ADA SIGNS SHALL BE PERMITTED SEPARATELY.

PROJECT INFORMATION

PROJECT NAME:	QUICK N CLEAN (CAR WASH)
PROJECT ADDRESS:	9572 TWENTY MILE ROAD, PARKER, COLORADO
PROJECT DESCRIPTION:	DEVELOPMENT OF A FREE-STANDING EXPRESS CAR WASH BUILDING WITH ASSOCIATED VACUUM (23) AND PAY STATION (3) CANOPIES.

SITE INFORMATION

PROPOSED PROPERTY:	1.85± AC. / 80,607± S.F.
BUILDING AREA:	5,366± S.F.
LANDSCAPE AREA (ONSITE & FRONTAGE):	0.73± AC. / 31,882± S.F.
SITE LANDSCAPE RATIO:	39.55%

ZONING INFORMATION

JURISDICTION:	PARKER
EXISTING ZONING:	PLANNED DEVELOPMENT
PROPOSED ZONING:	COMMERCIAL
MAX. BUILDING HEIGHT ALLOWED:	2 STORIES, NOT TO EXCEED 45'-0"
PROPOSED BUILDING HEIGHT:	24'-8"

SETBACKS:

BUILDING:	FRONT YARD: 40 FT SIDE YARD: 0 FT REAR YARD: 25 FT
LANDSCAPE: (1) LANDSCAPING, EACH SITE SHALL BE LANDSCAPED IN ACCORDANCE WITH CHAPTER 13.06 OF THIS TITLE.	

PARKING REQUIREMENTS

PARKING REQUIRED:	CAR WASH: 1 PER ESTABLISHMENT PLUS 1 PER STAFF MEMBER PER MAXIMUM SHIFT
PARKING PROVIDED:	EMPLOYEE: 4 (12.5' X 18') NON-VACUUM: 5 (12.5' X 18') VACUUM: 21 (12.5' X 18') ACCESSIBLE PARKING: 2 (12.5' X 18') (8' ACCESS AISLE) TOTAL PARKING: 32
BICYCLE PARKING REQUIRED:	2
BICYCLE PARKING PROVIDED:	2

EXISTING LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- GAS — UNDERGROUND GAS LINES
- COMM — UNDERGROUND COMMUNICATIONS LINES
- STORM — UNDERGROUND STORM SEWER LINES

PROPOSED

- CONCRETE CURB
- ⊙ BUILDING CONTROL POINT
- ⊙ PROPOSED PARKING SPACES
- PEDESTRIAN PATH OF TRAVEL

SITE DETAILS (REF CONSTRUCTION DOCUMENTS FOR DETAILS)

- 01A TYPE A CONCRETE CURB AND GUTTER
- 01C TYPE C CONCRETE RAISED CURB AND GUTTER
- 01E TYPE E CURB
- 01P RAISED CURB AND GUTTER
- 03D CONCRETE SIDEWALK
- 03M WHEELCHAIR RAMP IN SIDEWALK
- 05A GUARD POST (SINGLE)
- 10A TRAFFIC FLOW ARROW
- 10B STOP BAR
- 10E RIGHT/LEFT TURN ONLY PAVEMENT MARKING
- 10F ENTER PAVEMENT MARKING WITH ARROW
- 10J CROSSWALK MARKING
- 11A DO NOT ENTER SIGN
- 12G STOP SIGN
- 70A CONCRETE ACCESSIBLE RAMP AND HANDRAIL
- 73E REINFORCED REVERSED CURB WITHOUT FOOTING
- 73F REINFORCED REVERSED CURB WITH FOOTING

SITE NOTES

- 01A SEEDED GREEN AREA.
- 02B TRANSFORMER PAD (PER ELEC CO. AND/OR ARCH PLANS).
- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
- 12B 4INCH TRAFFIC YELLOW ALIGNMENT STRIPES (TYP.).
- 12G 4" WIDE PAINTED WHITE STRIPES, 2.0' O.C. @ 45° TAPER CURB TO MATCH EXISTING CURB.
- 70B FOUR (4) FOOT SCREEN WALL (REF ARCH PLANS).
- 73E "VACUTECH" SHADE CLOTH CANOPY, REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
- 70D "VACUTECH" VACUUM ENCLOSURE, REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
- 70E "VACUTECH" VACUUM (PALM ARCH), REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
- 70F "UNAUTHORIZED VEHICLES" WARNING SIGN (PER ARCH. PLANS)
- 70G ACCESSIBLE PARKING OFF-STREET (PER ARCH. PLANS)
- 70H EMPLOYEE PARKING & ESTABLISHMENT PARKING
- 70I FIRE LANE MARKING PER TOWN OF PARKER STANDARDS
- 70K NO PARKING FIRE LANE SIGN PER TOWN OF PARKER STANDARDS
- 70L BICYCLE RACK (PER ARCH. PLANS)
- 70M PAY STATION (REF ARCH. PLANS)
- 70N 3" DEEP DETECTABLE WARNING TO BE INSTALLED AT FULL WIDTH OF LANDING
- 70P WHEEL STOP, REF. ARCH. PLANS FOR FINAL PLACEMENT



CEI ENGINEERING ASSOCIATES, INC.
 710 W. PINEDALE AVE.
 FRESNO, CA 93711
 PHONE: (559) 447-3119
 FAX: (559) 447-3129



PLANS PREPARED FOR
 QUICK N CLEAN
 7291 E. ADOBE DRIVE, SUITE 115
 SCOTTSDALE, AZ 85255
 PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

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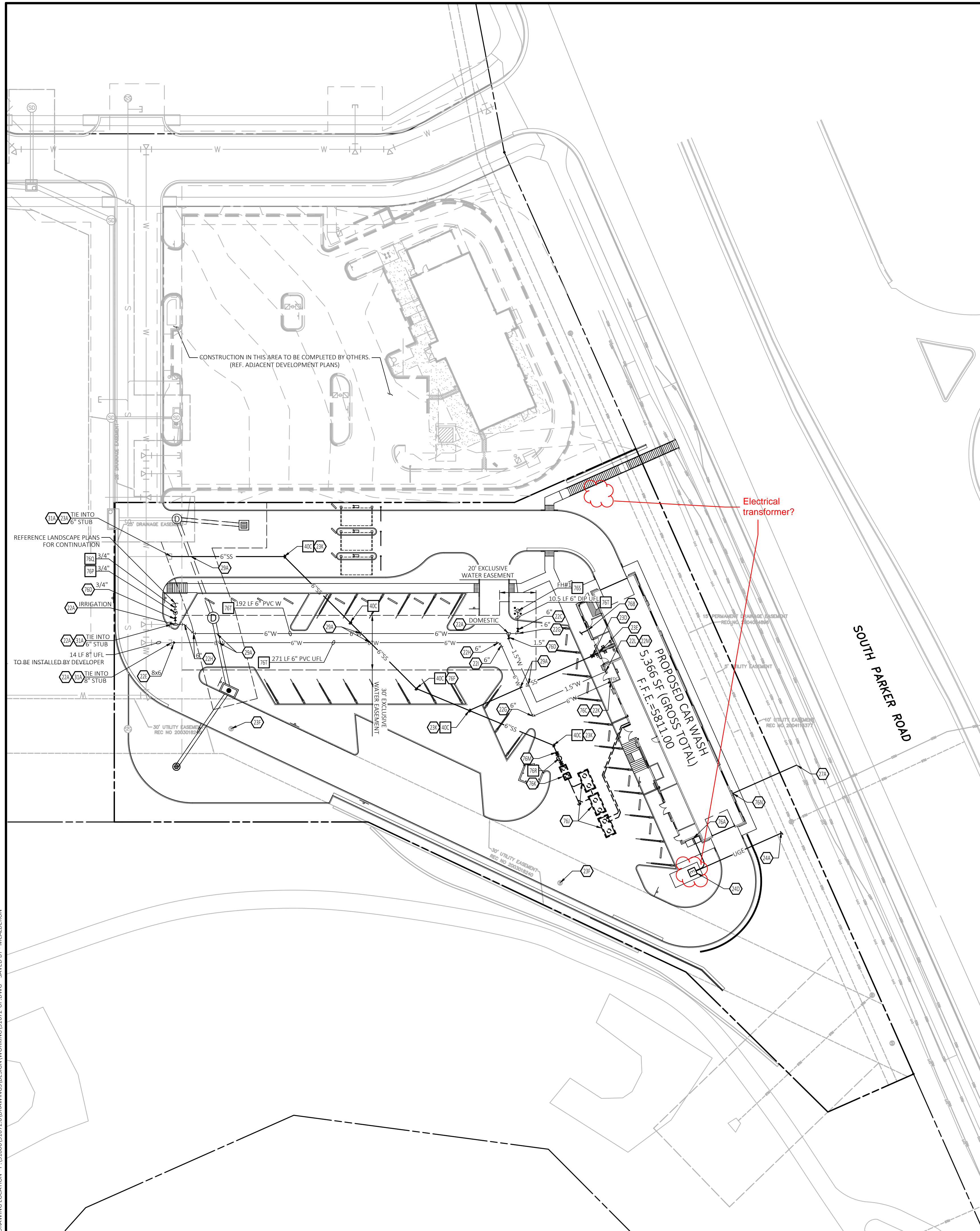
QUICK N CLEAN
 9572 TWENTY MILE ROAD
 PARKER, COLORADO
 SITE PLANS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
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SITE PLAN
 SHEET NUMBER

03 OF 07



LEGAL DESCRIPTION
 REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

BENCHMARK
 DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP,
 ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS
 THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR
 S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOOD ZONE INFORMATION
 SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS
 DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
 MAP NUMBER: 0855500076
 EFFECTIVE DATE: MARCH 16, 2016

NOTE:
 SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE,
 SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING
 DIMENSIONS.

GENERAL UTILITY NOTES

- ALL WATER LINES SHALL HAVE 4'-6" MIN. COVER.
- ALL SANITARY SEWER LINES 6" AND SMALLER SHALL BE PVC (SDR35) WITH 4'-6" MIN. COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE PROJECT CONTRACT REQUIREMENTS OR SPECIFICATIONS OF THE LOCAL AUTHORITIES:
 REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR WATER SERVICE DETAIL W1.1
 ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER W3.18
 ALL WATER LINE PIPE TRENCHING & BEDDING SHALL BE INSTALLED PER W4.1
 ALL SANITARY SEWER PIPE TRENCHING & BEDDING SHALL BE INSTALLED PER S4.1-S4.5.
 REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR SEWER SERVICE DETAIL S1.1.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO ELECTRIC COMPANY PLANS FOR ELECTRIC SERVICE DESIGN.
- REFER TO TELEPHONE PLANS FOR TELEPHONE & DATA SERVICE DESIGN.



- EXISTING LEGEND**
- PROPERTY LINE/RIGHT OF WAY LINE
 - ⊙ COMMUNICATIONS MANHOLE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ STORM SEWER MANHOLE
 - GAS — UNDERGROUND GAS LINES
 - COM — UNDERGROUND COMMUNICATIONS LINES
 - STM — UNDERGROUND STORM SEWER LINES

- PROPOSED LEGEND**
- PROPERTY LINE/RIGHT OF WAY LINE
 - STORM DRAIN
 - X"G — GAS SERVICE
 - X"SS — SANITARY SEWER SERVICE
 - UGE — UNDERGROUND ELECTRIC SERVICE
 - UGT — UNDERGROUND TELEPHONE SERVICE
 - X"W — WATER SERVICE
 - FDC FIRE DEPARTMENT CONNECTION
 - ⊙ FIRE HYDRANT

- UTILITY NOTES**
- 22A POINT OF CONNECTION - WATER SERVICE PER LOCAL CODE STANDARDS
 - 22C M.J. GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET)
 - 22E M.J. REDUCER (SEE SIZES THIS SHEET)
 - 22G 90° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
 - 22H 45° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
 - 22I 22.5° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
 - 22K SPRINKLER ENTRY PER ARCH. PLANS
 - 22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET)
 - 22M INTERNAL WATER METER (PER LOCAL CODES AND SPECIFICATION) (REF ARCH PLANS)
 - 23A POINT OF CONNECTION FOR SANITARY SEWER
 - 23D BUILDING SANITARY SEWER SERVICE CLEAN-OUT
 - 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS)
 - 23F ADJUST RIM TO MATCH FINISH GRADE
 - 23K SANITARY SEWER SERVICE WYE (PER LOCAL CODES)
 - 24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS)
 - 24D PROPOSED ELECTRIC TRANSFORMER
 - 27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENT)
 - 29A MAINTAIN MINIMUM 18" VERTICAL SEPARATION
 - 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
 - 76A UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH PLANS) (REF ELECTRICAL SCHEMATIC PLANS FOR ELECTRIC SERVICE CONSTRUCTION INFORMATION)
 - 76B UNDERGROUND TELEPHONE SERVICE ENTRY (PER ARCH PLANS) (REF TELEPHONE CO. SCHEMATIC PLANS FOR TELEPHONE SERVICE CONSTRUCTION INFORMATION)
 - 76C INTERNAL FIRE SPRINKLER RISER WITH WALL MOUNT FIRE DEPARTMENT CONNECTION (FDC). REF MECHANICAL PLANS.
 - 76D CURB STOP VALVE REF TOWN OF PARKER DETAILS AND SPECIFICATIONS.
 - 76F 22.5" BEND
 - 76I RECLAIM SYSTEM (REF PLUMBING PLANS)
 - 76K SAND/OIL SEPARATOR (REF PLUMBING PLAN)
 - 76M REF PLUMBING PLANS FOR CONTINUATION
 - 76N GAS SERVICE ENTRY (PER ARCH. PLANS)

- UTILITY DETAILS** (REF CONSTRUCTION DOCUMENTS FOR DETAILS)
- 40C SANITARY SEWER CLEAN OUT
 - 76P OUTSIDE SETTING FOR 2" - 1" METER PER TOWN OF PARKER DETAIL W5.10
 - 76Q REDUCED PRESSURE BACKFLOW PER TOWN OF PARKER DETAIL W6.1
 - 76R SAMPLING MANHOLE PER TOWN OF PARKER DETAIL S5.3
 - 76S FIRE HYDRANT PER TOWN OF PARKER DETAIL W2.5
 - 76T LOCATOR WIRE PER TOWN OF PARKER DETAIL W2.6


Final Document
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APPROVED DATE: 05/05/2023

Planning Approval By: J. Fettig



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PLANS PREPARED FOR
 QUICK N CLEAN
 7291 E. ADOBE DRIVE, SUITE 115
 SCOTTSDALE, AZ 85255
 PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION

QUICK N CLEAN
 9572 TWENTY MILE ROAD
 PARKER, COLORADO
 PRELIMINARY SITE PLANS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	12/9/2022
REVISION	REV-6

UTILITY PLAN
 SHEET TITLE
 SHEET NUMBER

05 OF 07

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-UP.DWG SAVED BY: MACLEDERON

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
- COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
- IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 40% KENTUCKY BLUEGRASS, 40% TALL FESCUE, 20% PERENNIAL RYEGRASS BY WEIGHT @ 3 LBS / 1000 SF.
- SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS/ACRE, WITH A MAXIMUM OF 50 LBS/100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.
- THE LANDSCAPE CONTRACTOR SHALL HAVE A SOILS ANALYSIS TEST CONDUCTED ON THE SITE PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR RESULTS. THIS WILL INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENTS/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUBS, SOD, TREES). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT PRIOR TO INSTALLING ANY LANDSCAPING MATERIALS ONSITE.

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS: PLANTER BEDS - 12" MINIMUM GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
- BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A FOUR INCH (4") TOP DRESSING/MULCHING OF 2" - 3" WASHED GRANITE ROCK MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAIL) TOP DRESSINGS CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY OCT-APR
DECIDUOUS SHRUBBERY & TREES OCT-APR
EVERGREEN TREES OCT-APR

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

- GUARANTEE:
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- REPLACEMENT:
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- MAINTENANCE:
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE.
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.



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PHOENIX, ARIZONA 85028
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PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION

NO.	DESCRIPTION	DATE

QUICK N CLEAN
9572 TWENTY MILE ROAD
PARKER, COLORADO



7/11/2022

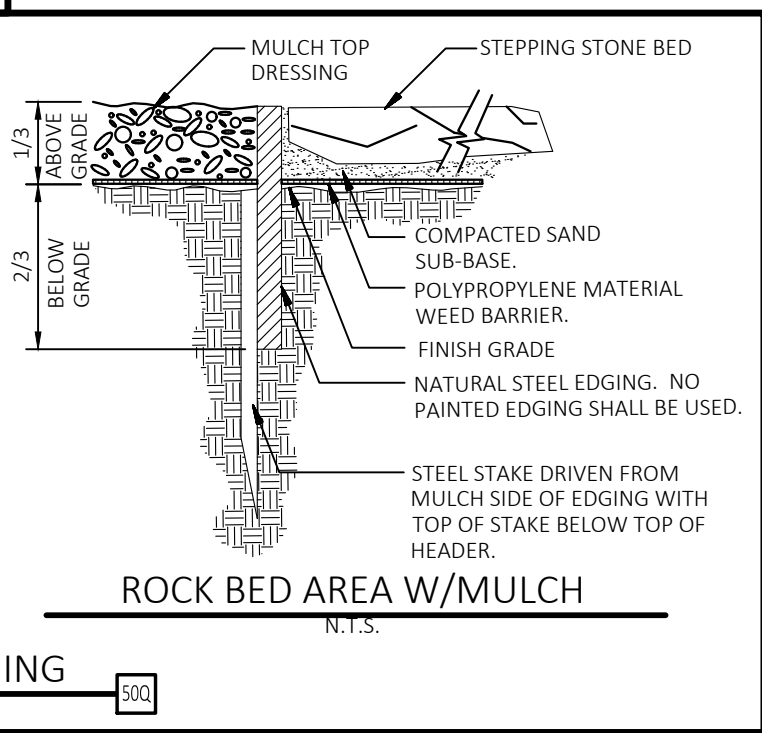
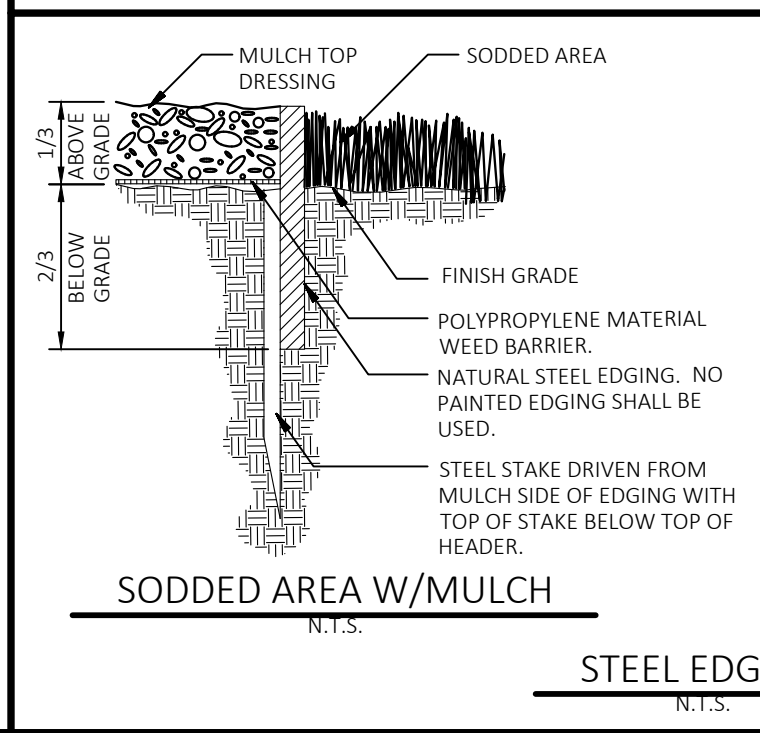
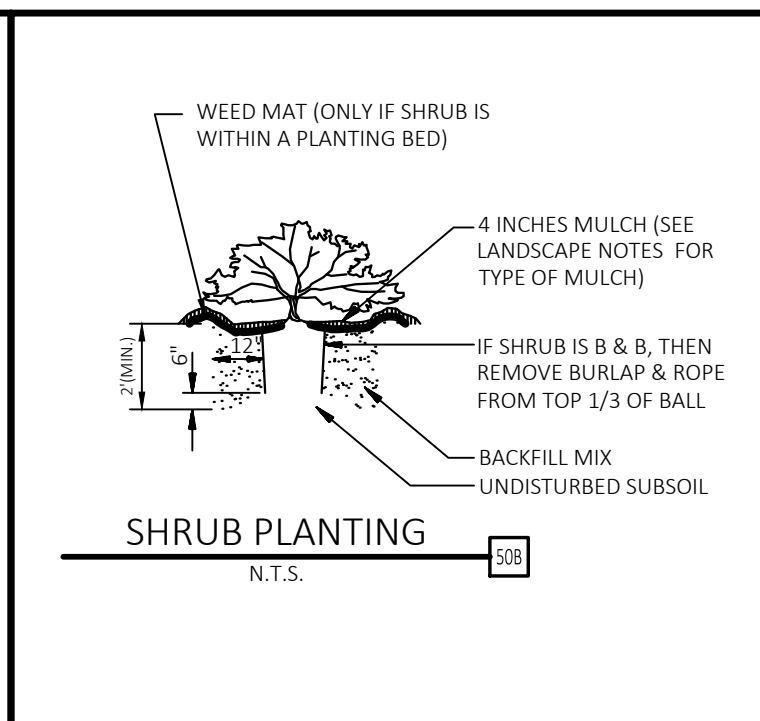
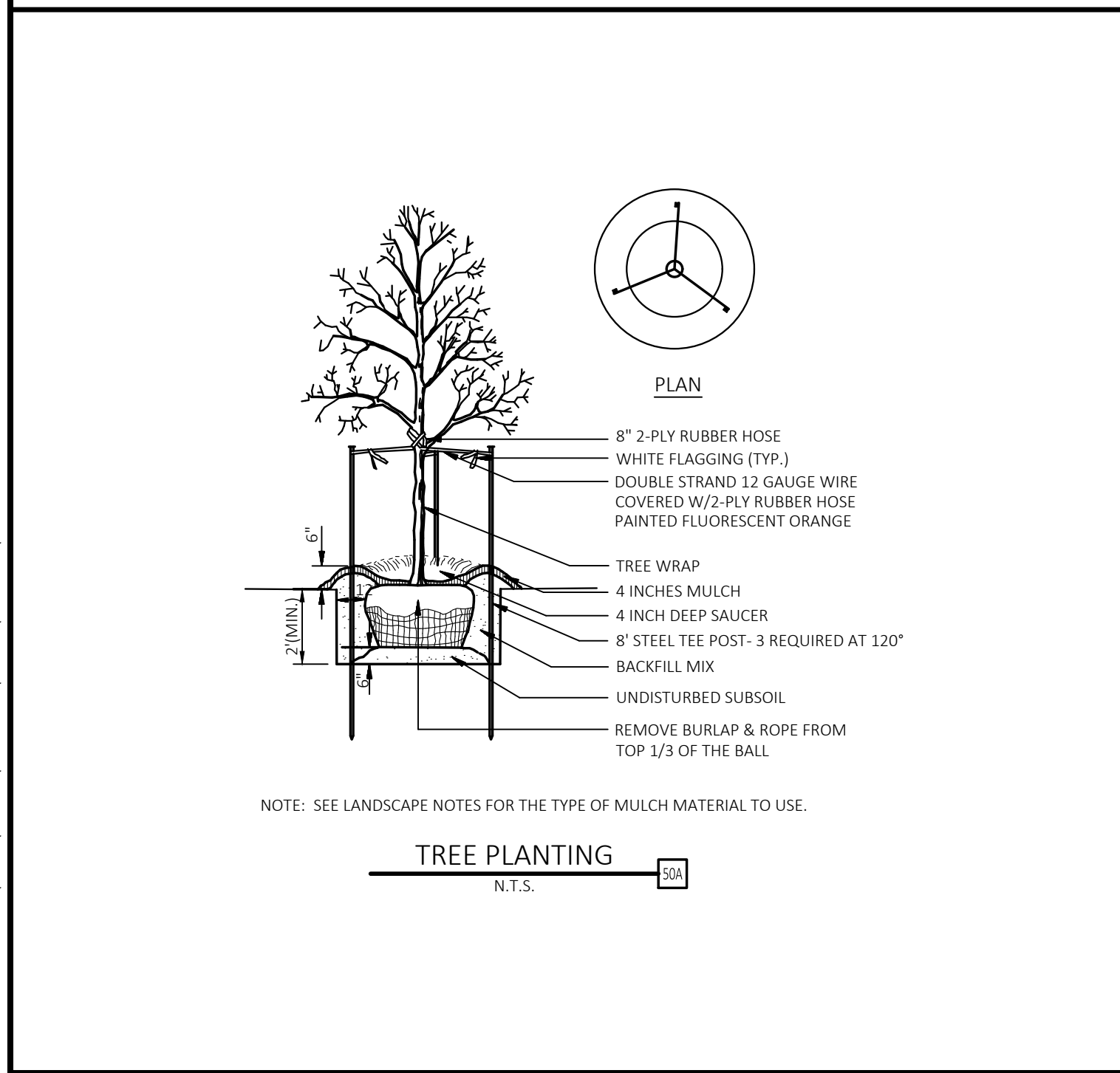
PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	7/8/2022
REVISION	REV-4

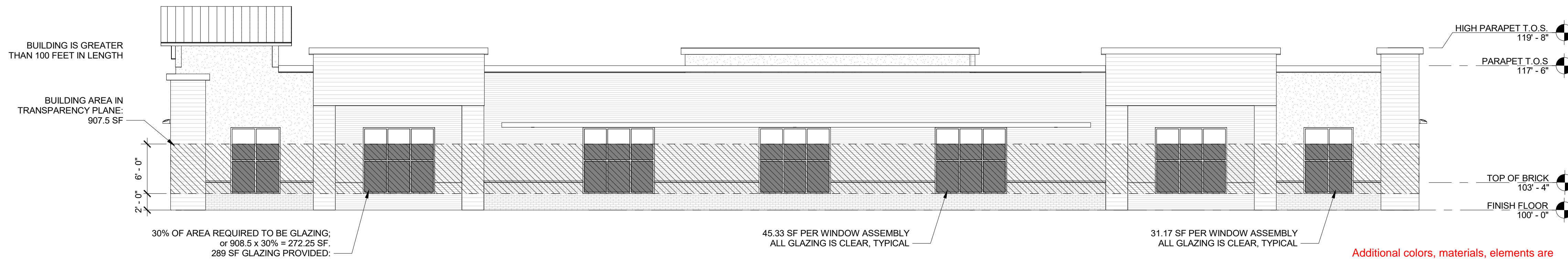
LANDSCAPE NOTES

SHEET TITLE
SHEET NUMBER

07 OF 07

DRAWING LOCATION: P:\316000\31672\DRAWINGS\DESIGN\WORKING\31672-LP.DWG. SAVED BY: LHPARKS





PARKER COLORADO

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1 RIGHT/EAST ELEVATION TRANSPARENCY DIAGRAM
1/8" = 1'-0"



2 EXIT/SOUTH ELEVATION TRANSPARENCY DIAGRAM
1/8" = 1'-0"



Additional colors, materials, elements are needed to meet the minimum design standards for the Town.

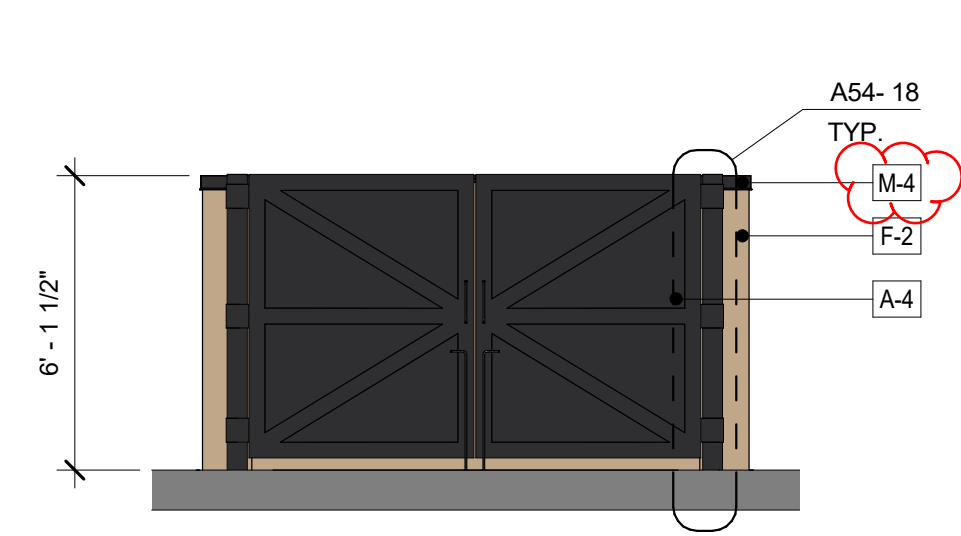
No edge or coping to finish the roof.

Unfinished elements (exposed wiring)

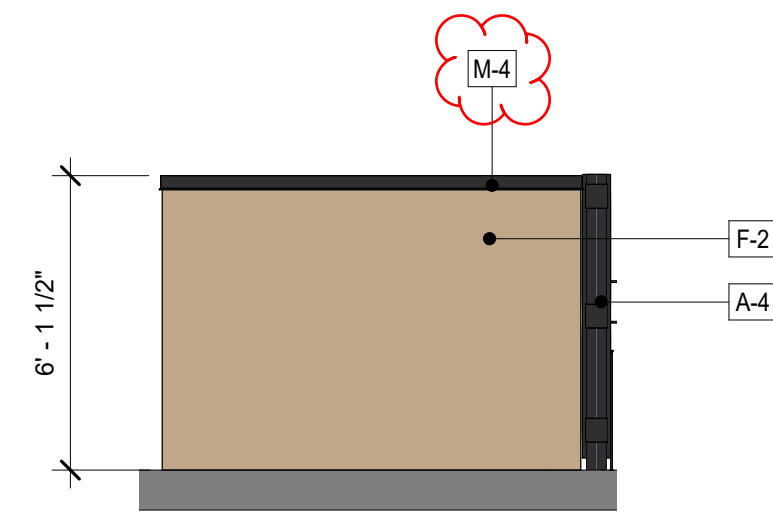
These canopies need to include additional materials, colors and/or articulation. The Town of Parker Design Standards requires that accessory buildings (canopies/carports are defined as accessory buildings) shall be designed with the following:

- 5. Accessory Buildings**
 - a. Accessory buildings or structures shall be located in the rear or on the side of a primary building.
 - b. Facades of accessory structures that are accessible to patrons or the general public shall be treated as building fronts and composed with openings, entries, building elements and detailing similar to those on the front of the building to which the building is accessory.
 - c. Accessory structures shall be designed in a similar style and palette as the primary buildings to which they are accessory.
 - d. Accessory buildings shall have the same setback as the primary building or setback a greater distance from the front of the primary building.
 - e. Drive-up ATMs shall have architectural fins or overhangs to create shelter for users.

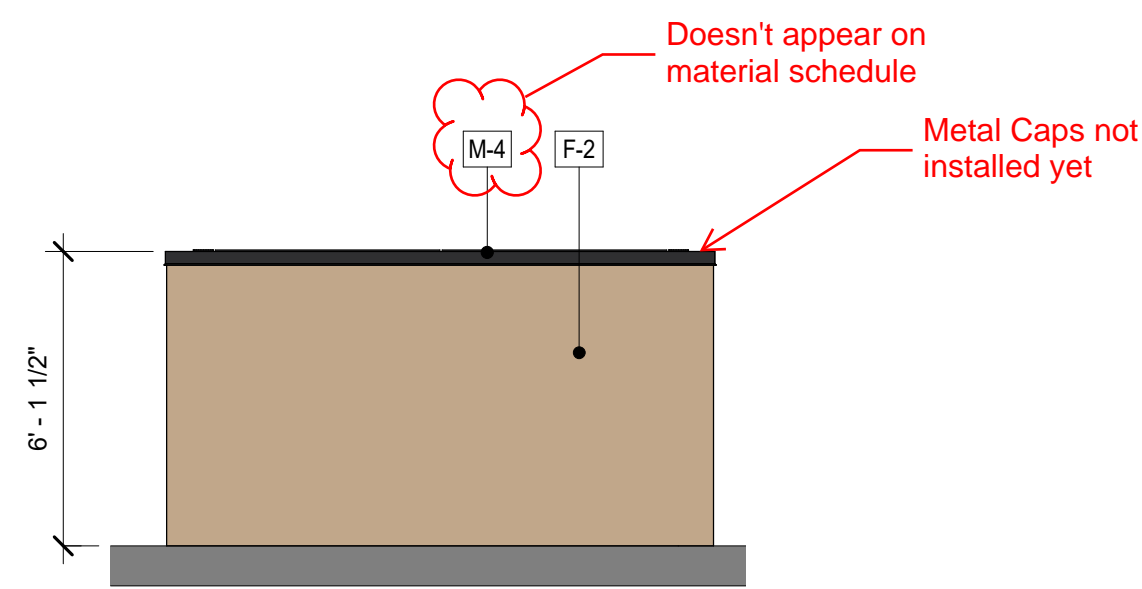
The current color and material used for the canopy's is not consistent with the carwash building itself. In addition, the roof seems unfinished. There is not coping/finished edges along most sides of the roof. Other metal elements included as part of the site (awnings and roof) are curved and red in color. The metal coping around the roof is gray. Before Planning can sign off on the canopies, changes in design, materials, colors, etc. will be needed.



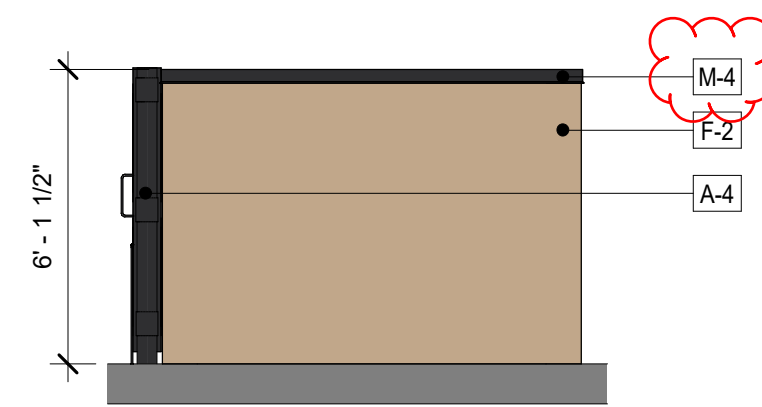
1 TRASH ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



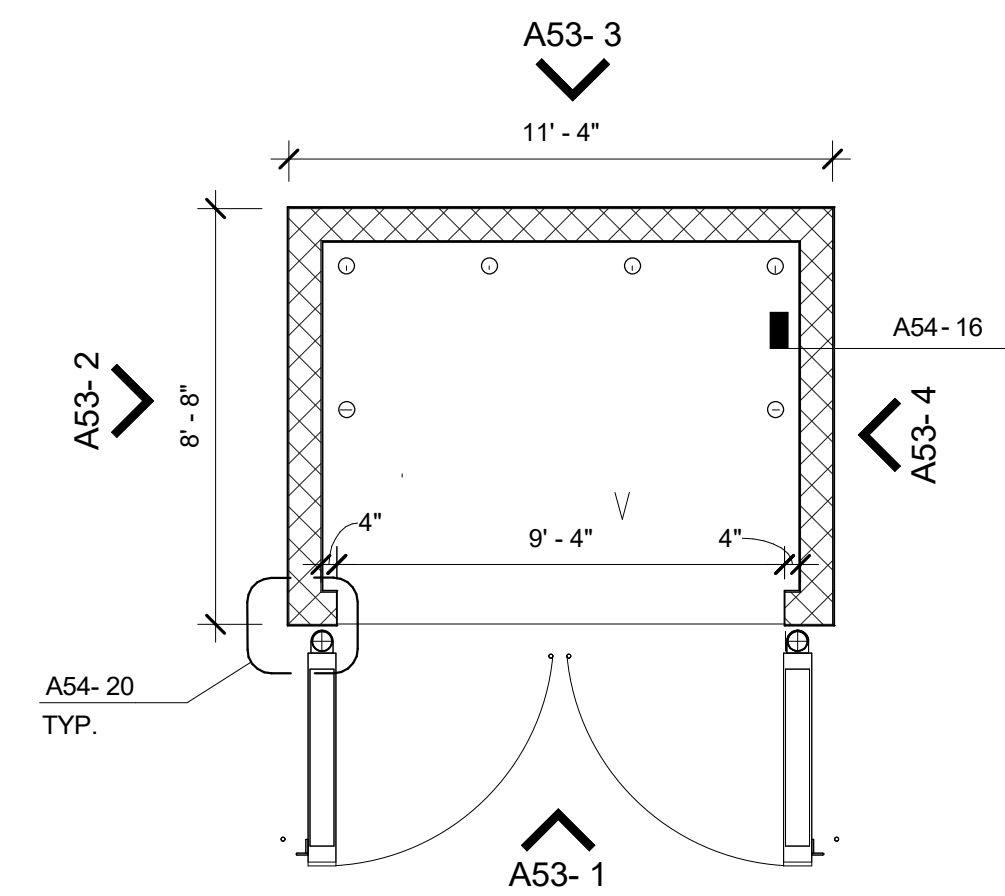
2 TRASH ENCLOSURE LEFT SIDE ELEVATION
1/4" = 1'-0"



3 TRASH ENCLOSURE REAR ELEVATION
1/4" = 1'-0"



4 TRASH ENCLOSURE RIGHT SIDE ELEVATION
1/4" = 1'-0"



5 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

MATERIALS & FINISH SCHEDULE:

Check all items listed on Material and finish schedule for accuracy

X	MATERIAL	PERCENTAGES				X	FINISH/COLOR
		N	S	E	W		
	M-1						
	(EQUIPMENT, NOT INCLUDED)						
	M-1 METAL CANOPIES	0%	0%	0%	2%	1	QUICK N' CLEAN RED: BENAJMIN MOORE 2001-01 "RUBY RED"
	M-2 METAL SES/ LOUVERS					2	SHERWIN WILLIAMS 7036 "ACCESIBLE BEIGE"
	M-3 METAL COPING	4%	4%	4%	4%	3	SHERWIN WILLIAMS 7067 "CITY SCAPE"
	MC-4 METAL CANOPIES	0%	0%	2%	1%	4	SHERWIN WILLIAMS 6990 "CAVIAR"
	F-2 STUCCO	20%	45%	12%	26%	5	HARDIE BOARD SIDING KAHKI BROWN
	S-5 HARDIE BOARD SIDING	43%	35%	24%	20%	6	GENERAL SHALE "PEPPERMILL"
	S-7 HARDIE BOARD SIDING	24%	12%	41%	25%	7	HARDIE BOARD SIDING NIGHT GREY
	A-4 PAINTED ALUMINUM AT WINDOWS AND PAINTED HOLLOW METAL AT DOORS	9%	4%	2%	10%	8	VITRO GLASS SOLARBAN 70XL. CLEAR GLASS
	B-6 BRICK VENEER	0%	0%	12%	4%		
	R-1 STANDING SEAM METAL ROOF	0%	0%	3%	8%		
	G-8 CLEAR GLAZING						

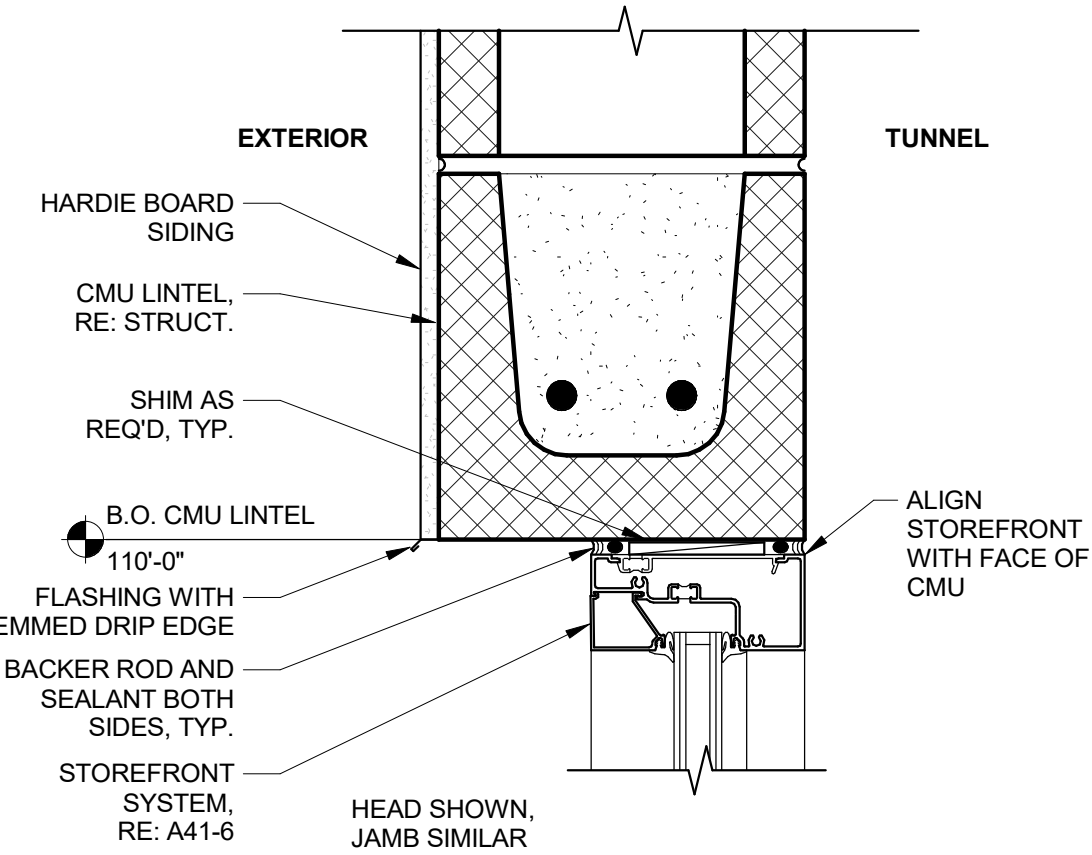

PARKER
 COLORADO
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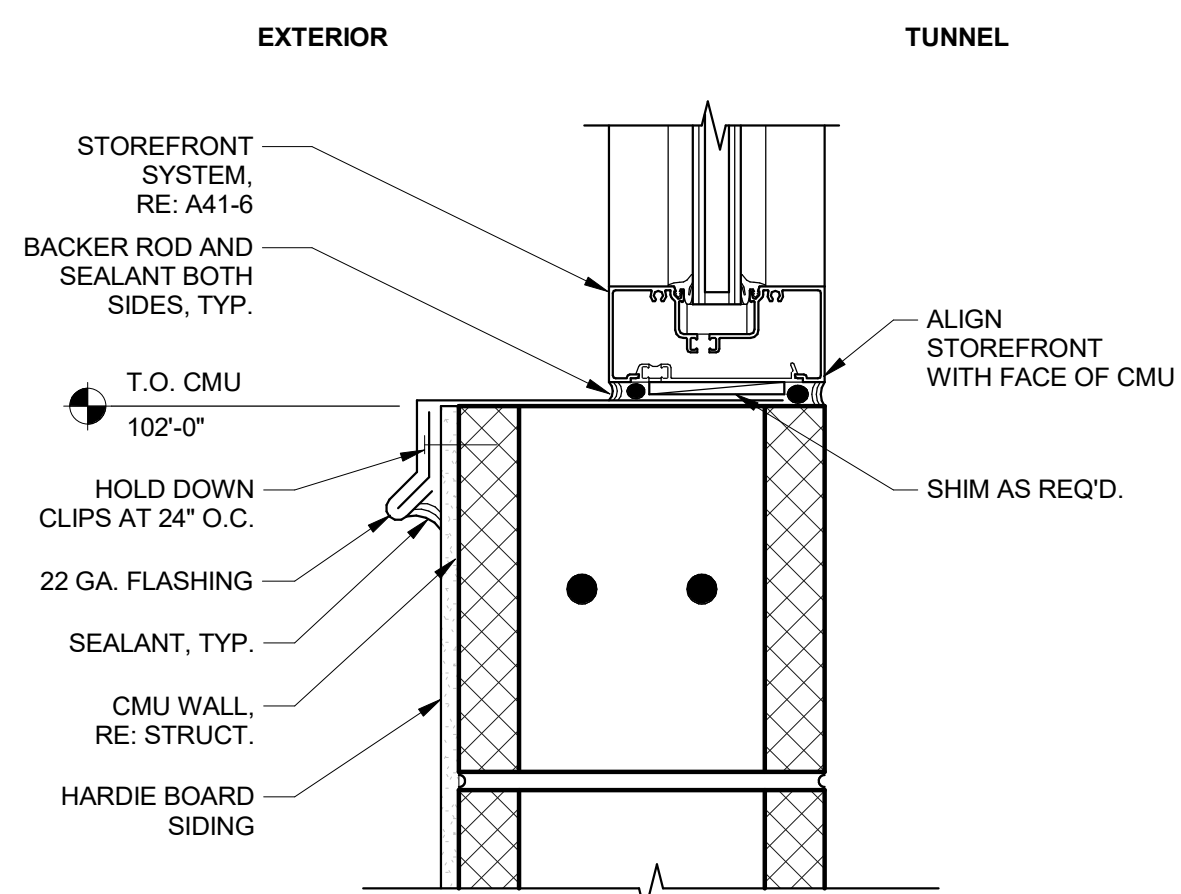
I don't believe that this site wall will be constructed. Instead exterior vacuum equipment will be wrapped in artwork. Please include an image of the proposed artwork.

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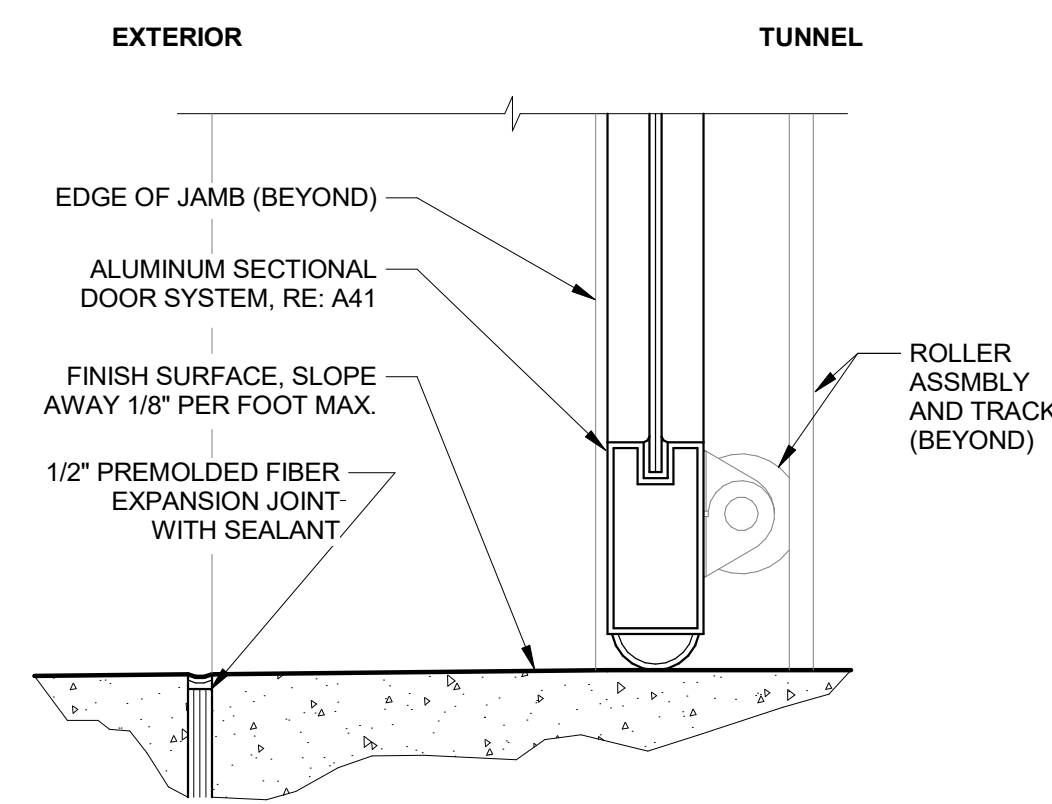
1 STOREFRONT HEAD - JAMB
 3" = 1'-0"



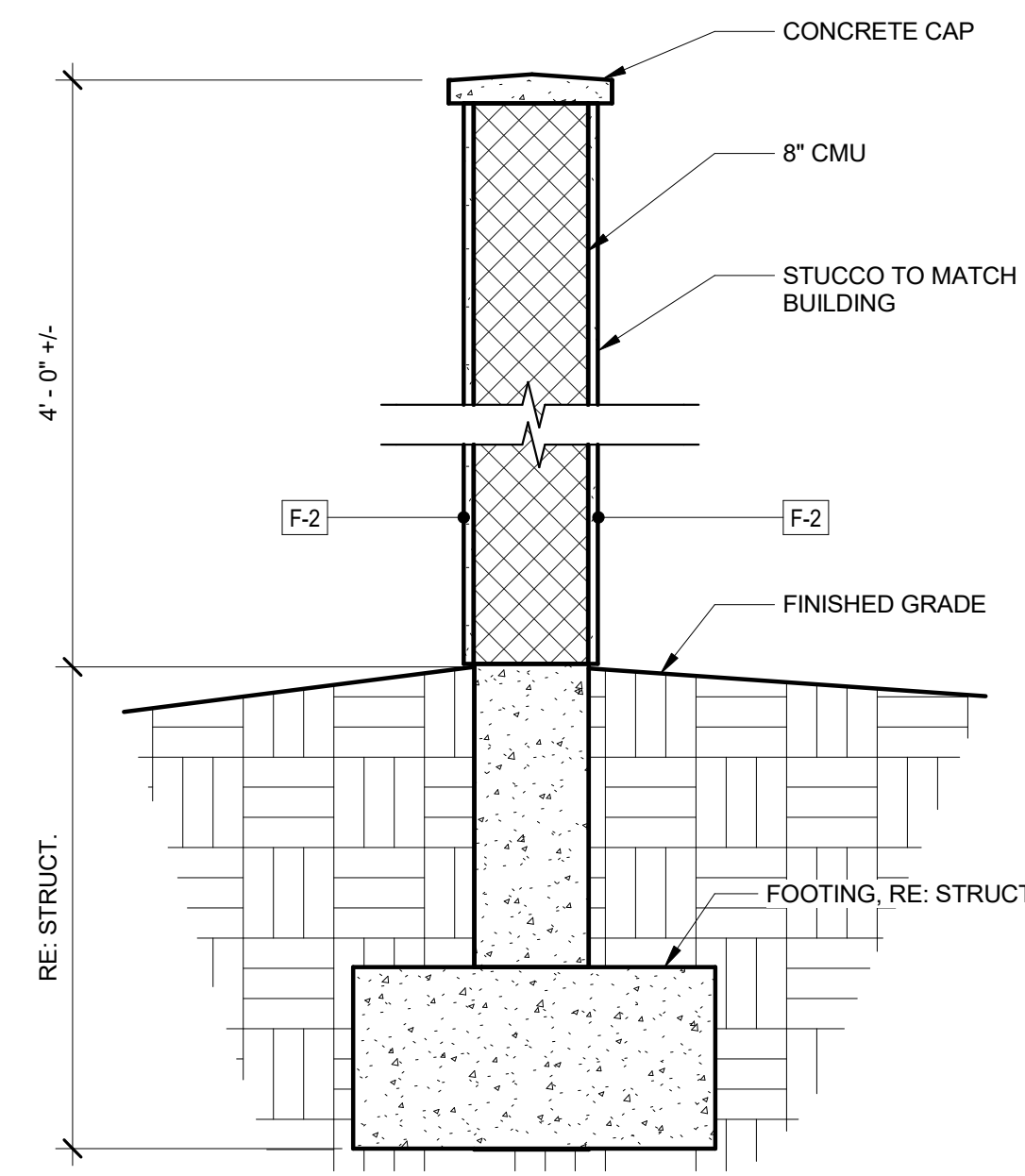
6 STOREFRONT SILL
 3" = 1'-0"



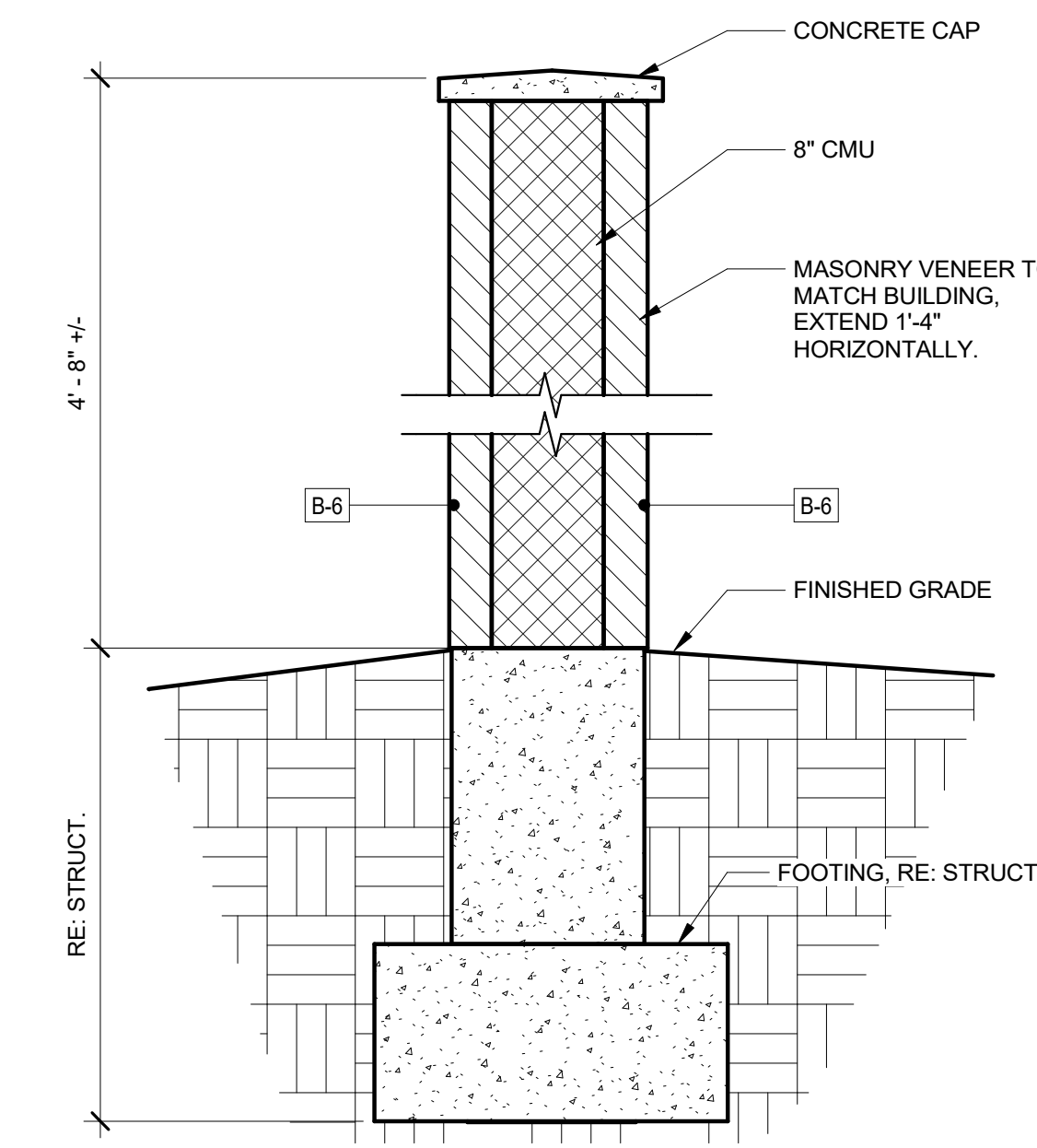
7 SECTIONAL DOOR SILL
 3" = 1'-0"



8 SCREEN WALL
 1" = 1'-0"

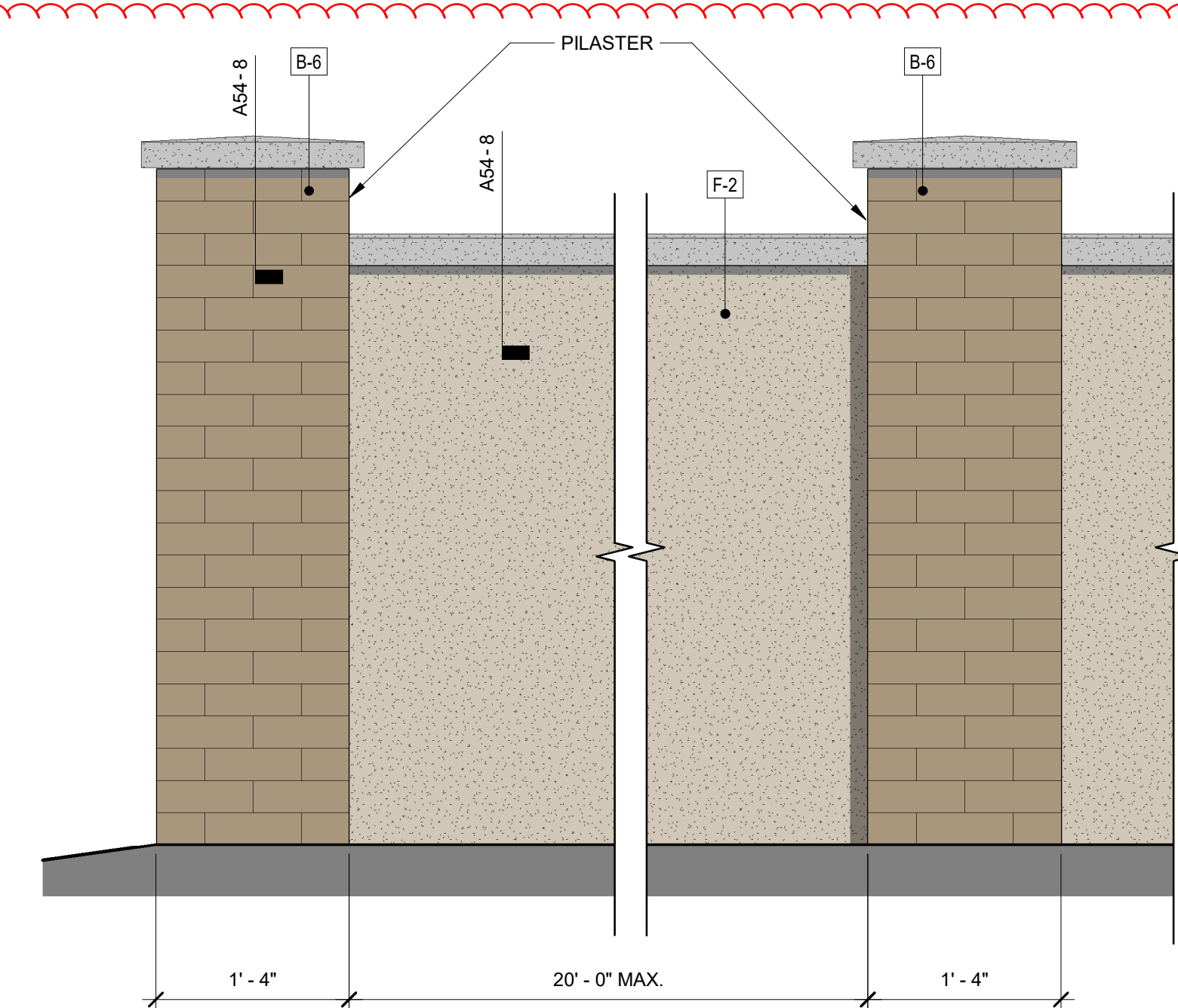


AT MOST LOCATIONS
 SEE CIVIL DRAWINGS FOR EXTENTS OF SCREEN WALL



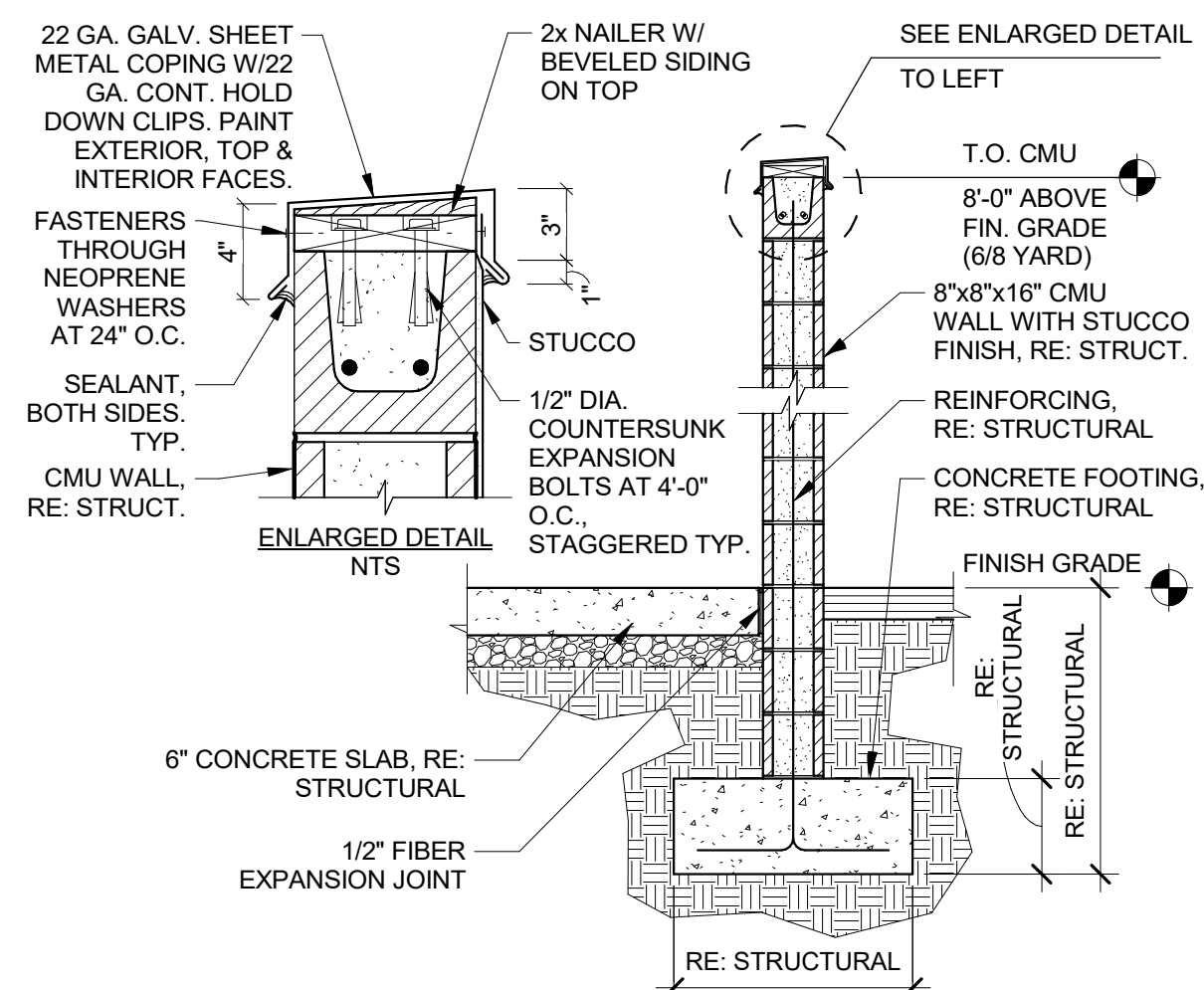
AT PILASTER LOCATIONS
 PILASTERS LOCATED AT WALL ENDS AND AT 20'-0" ON CENTER, MAXIMUM.

10 SITE WALL ELEVATION
 1" = 1'-0"

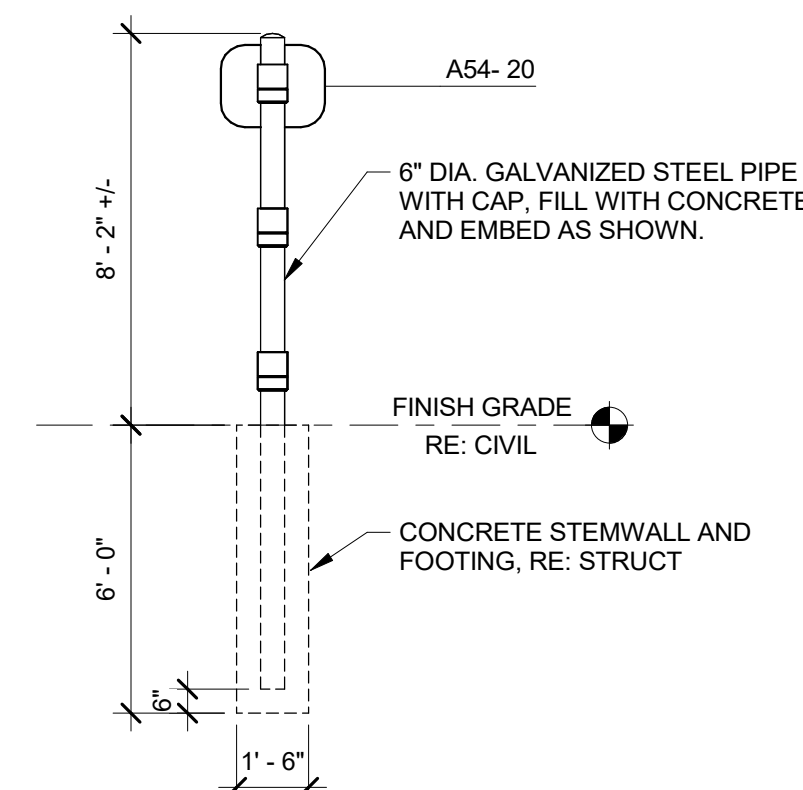


This is not what was installed. Please correct with the installed vacuums.

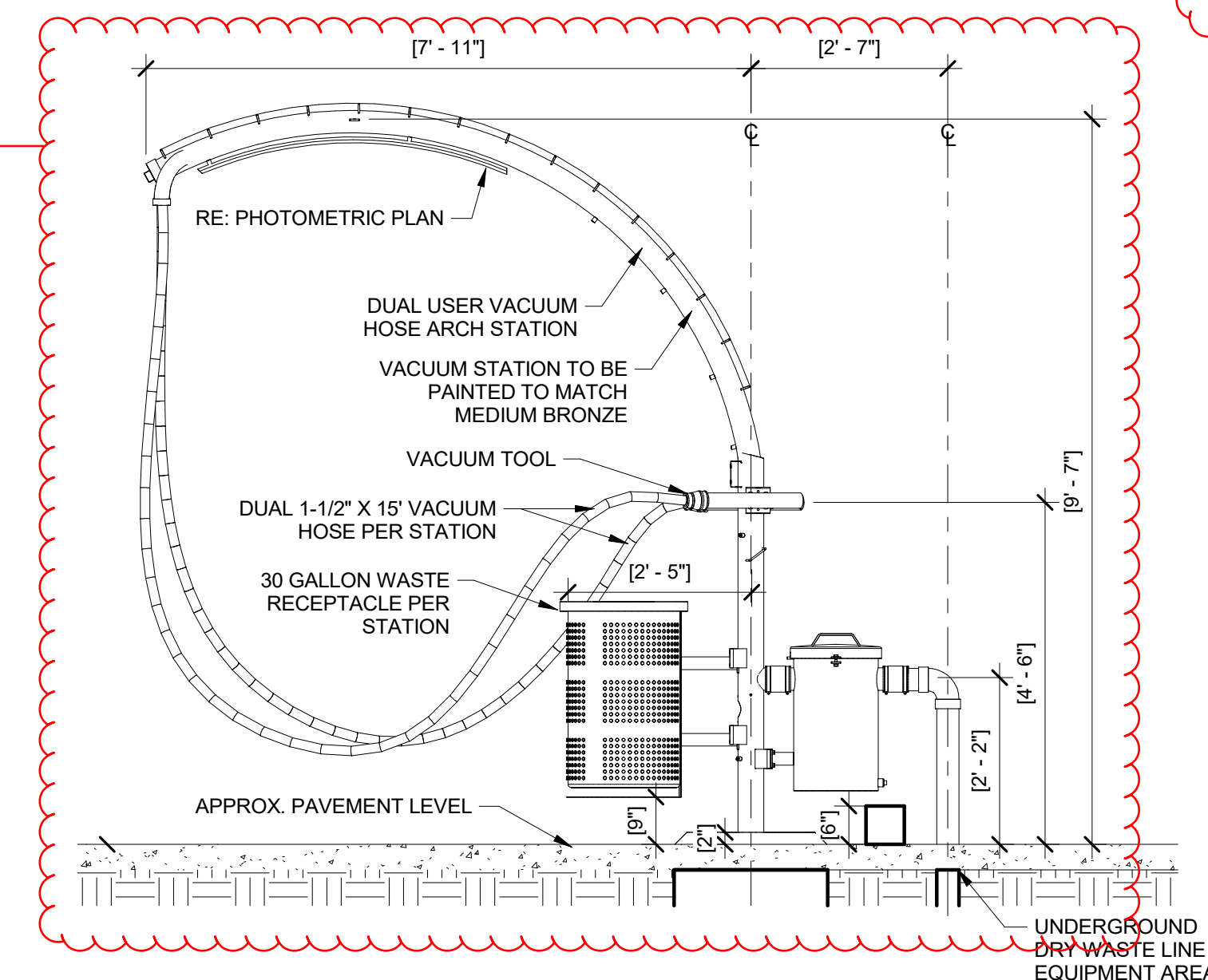
16 TRASH ENCLOSURE SECTION
 1/2" = 1'-0"



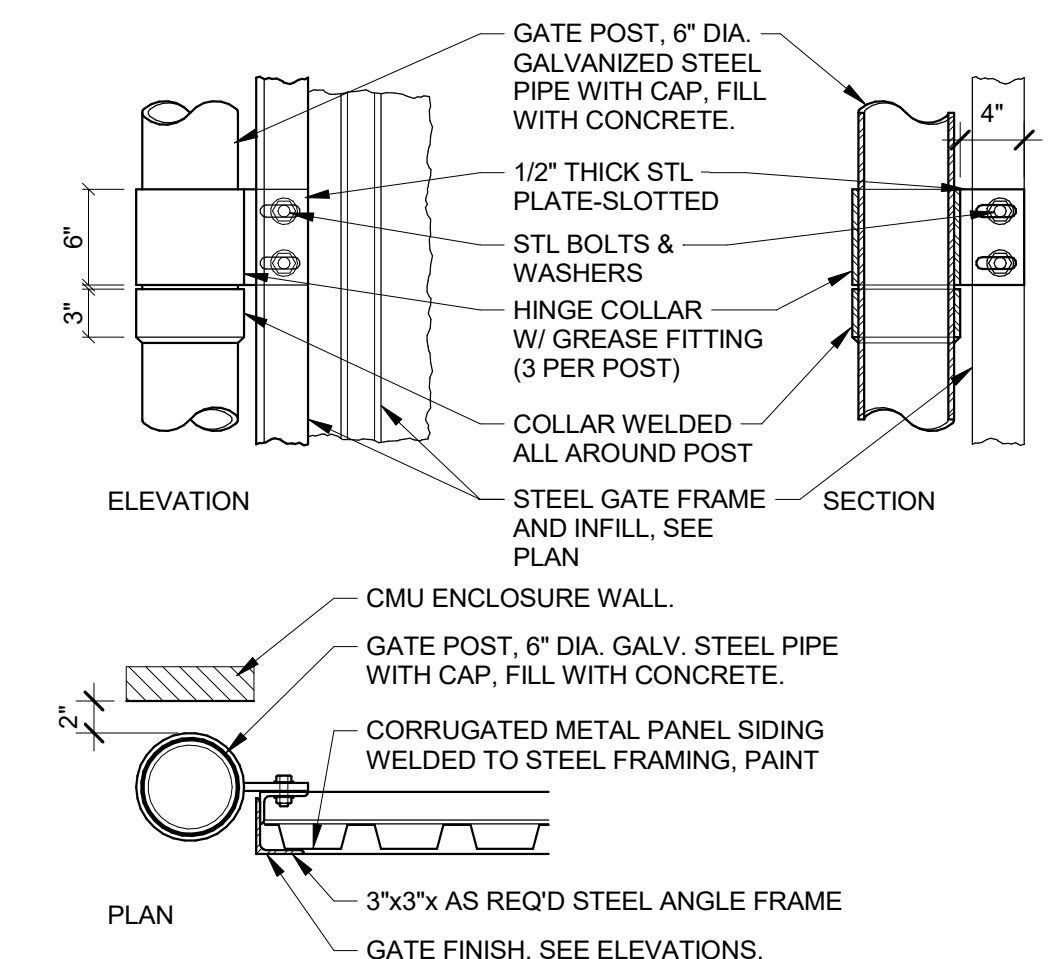
18 GATE POST
 1/4" = 1'-0"



19 TYP. VACUUM STANCHION
 12" = 1'-0"



20 GATE DETAILS
 1" = 1'-0"





Final Document
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APPROVED DATE: 05/05/2023

Planning Approval By: J. Fettig

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(303) 962-9164

PARKER, CO

2686 S. COLORADO BLVD., STE 525
DENVER, CO 80222
(303) 962-9164
www.cshqa.com

QNC CAR WASH
9572 TWENTY MILE ROAD

REVIEW SET
ONLY NOT FOR
CONSTRUCTION

PROJECT	DATE
20037	08-19-2020
DRAWN	CHECKED
AAD	EKZ

REVISED

- CITY COMMENTS 05/13/21
- OWNER UPDATE 05/02/22
- CITY COMMENTS 10/20/22

SHEET TITLE
**PHOTOMETRIC
SITE PLAN**

SHEET
ES1.0
ORIGINAL SHEET SIZE
24" x 36"

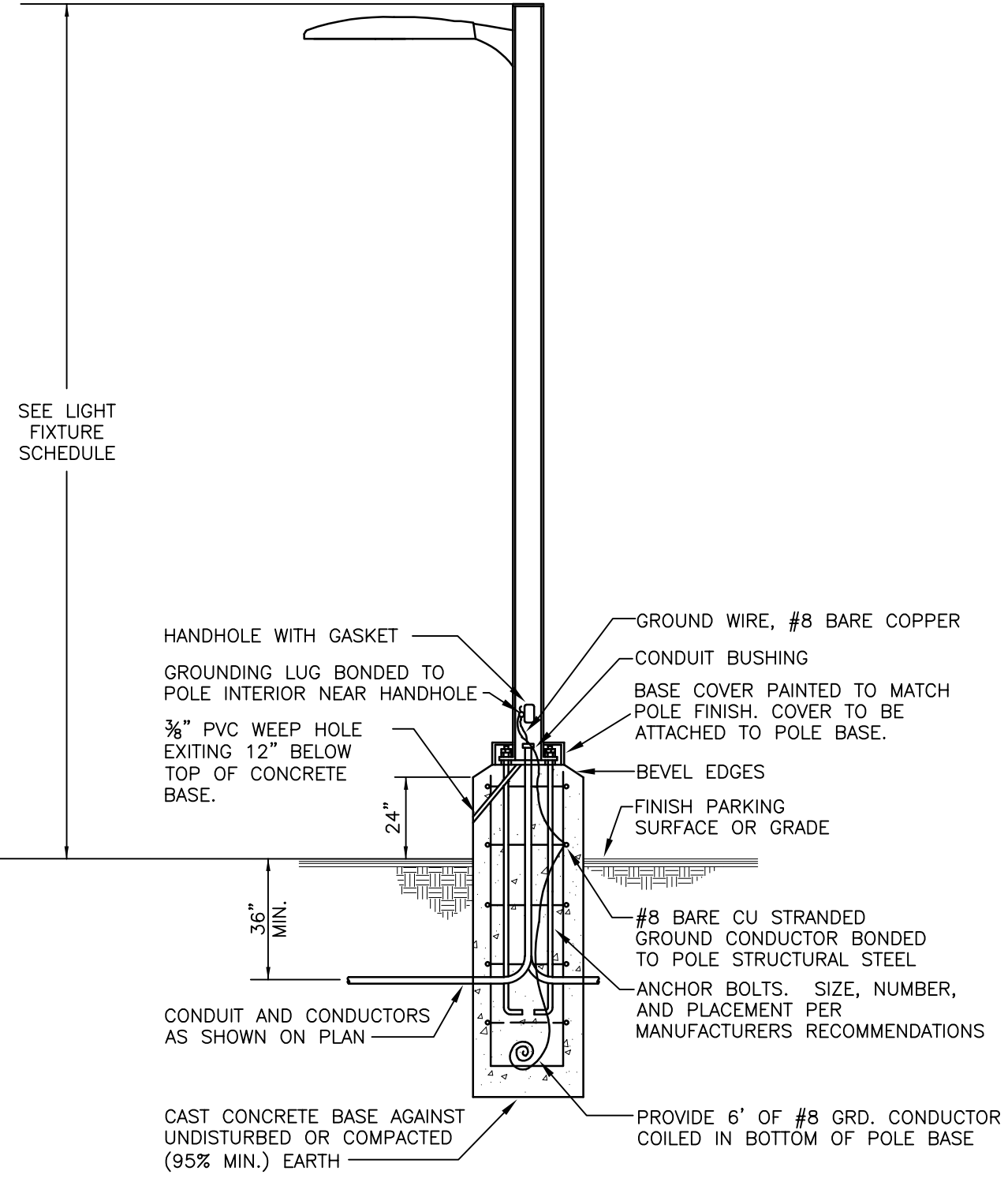
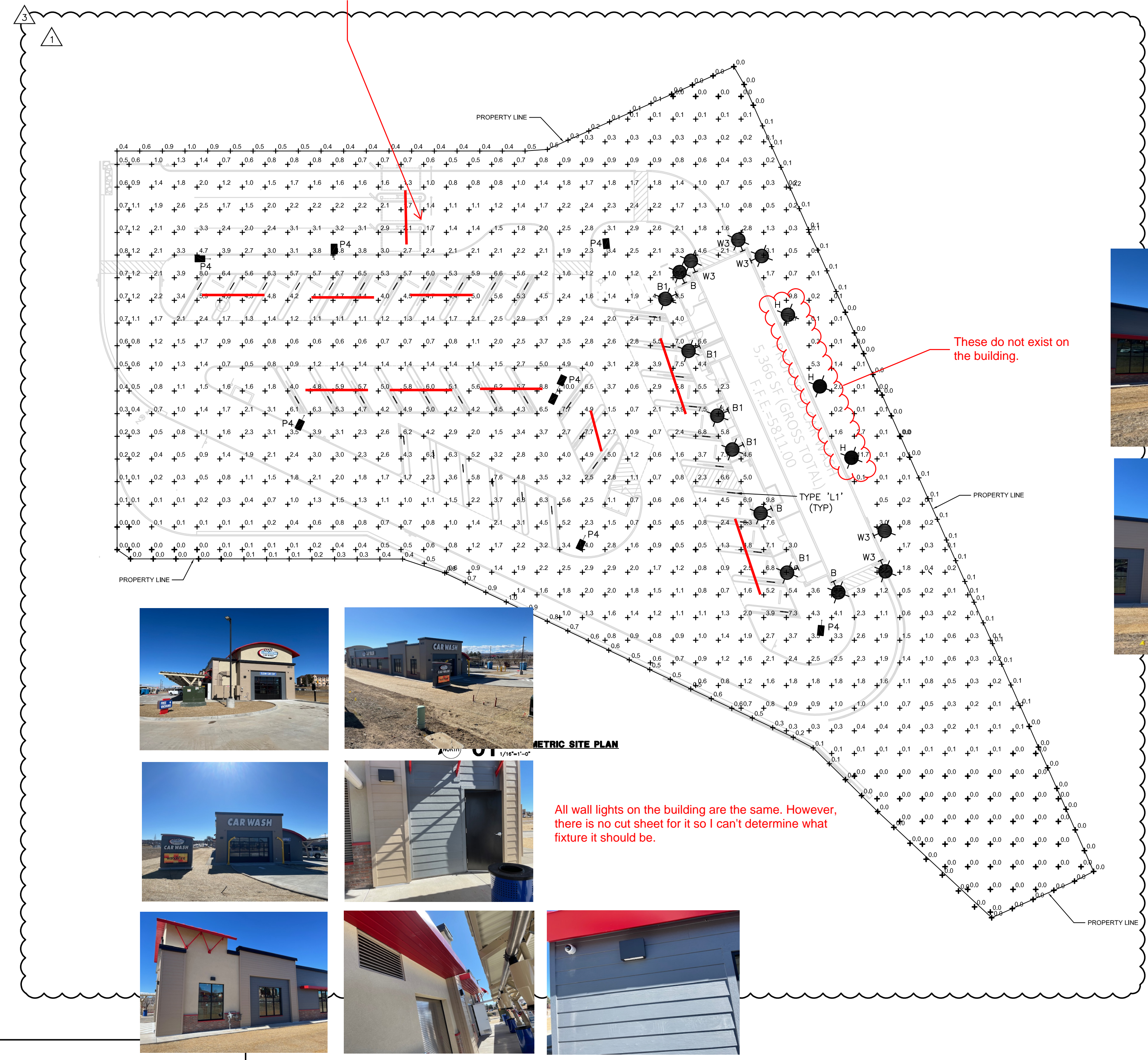
Dialectic

Dialectic Inc.
310 W 20th Street, Suite 200
Kansas City, MO 64108
T 816-997-9601
F 816-997-9602
DialecticEng.com
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Lights have been added to the underside of the canopies. Please make sure these lights are included in this photometric and cut sheets are provided.

These do not exist on the building.

All wall lights on the building are the same. However, there is no cut sheet for it so I can't determine what fixture it should be.



HANDHOLE WITH GASKET
GROUNDING LUG BONDED TO POLE INTERIOR NEAR HANDHOLE
1/4" PVC WEEP HOLE EXITING 12" BELOW TOP OF CONCRETE BASE.
CONDUIT AND CONDUCTORS AS SHOWN ON PLAN
CAST CONCRETE BASE AGAINST UNDISTURBED OR COMPACTED (95% MIN.) EARTH

GROUND WIRE, #8 BARE COPPER
CONDUIT BUSHING
BASE COVER PAINTED TO MATCH POLE FINISH. COVER TO BE ATTACHED TO POLE BASE.
BEVEL EDGES
FINISH PARKING SURFACE OR GRADE
#8 BARE CU STRANDED GROUND CONDUCTOR BONDED TO POLE STRUCTURAL STEEL
ANCHOR BOLTS. SIZE, NUMBER, AND PLACEMENT PER MANUFACTURERS RECOMMENDATIONS
PROVIDE 6' OF #8 GRD. CONDUCTOR COILED IN BOTTOM OF POLE BASE

NOTE:
DIAMETER & DEPTH OF CONCRETE BASE TO BE DETERMINED ON A REGIONAL BASES. STRUCTURAL ENGINEER SHALL SIZE REBAR AND CONCRETE BASED ON REGIONAL WEATHER AND SOILS CONDITIONS.

NOTE:
CONTRACTOR TO INSTALL NON-SHRINK MOTAR GROUT BETWEEN POLE BASE PLATE AND CONCRETE FOUNDATION AS REQUIRED AND SPECIFIED BY POLE MANUFACTURER.

02 POLE BASE DETAIL

LIGHTING CALCULATION SUMMARY					
AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	1.7	3.9	0.5	3.4:1	7.8:1
PROPERTY LINE	0.3	1	0.0	NA	NA
SITE	2.0	11.7	0.0	NA	NA

LIGHTING FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMPS & BALLAST	MOUNTING	VOLTS	WATTS	REMARKS
P4	SITE POLE	DSXO LED P4 40K T3M MVOLT / SSS 20" W/2" BASE	LED 10256 LUMENS	POLE MOUNT	277	92	
B	EXTERIOR DECORATIVE WALL MOUNT	ANP LIGHTING W520 M021LD D W 40K	LED 750 LUMENS	WALL MOUNT	277	41	
B1	EXTERIOR DECORATIVE WALL MOUNT	ANP LIGHTING W520 M009LD D W 40K	LED 850 LUMENS	WALL MOUNT	277	10	
W3	WIDE DISTRIBUTION WALL LIGHT	LITHONIA DSXW1-LED-10C-350-40K-T2S	LED 1520 LUMENS	SURFACE	277	13.3	
L1	WET LOCATION LED STRIP	G&G LED: WPX2-S0-40K	LED 1900 LUMENS	SURFACE	277	15	
H	6" DOWNLIGHT	HUBBELL: LC6SL-6LCSL-18L-40K-8	LED 1800 LUMENS	RECESSED	277	23	

6" LED Downlight

LC65L

1000/1400/1800 Lumens
120V/277/347V
0-10° Dimming

APPLICATIONS: Commercial, Industrial, Warehouse, Retail, Hospitality, Office, etc.

LED DRIVER: The LC65L uses a precision LED driver that provides a constant current to the LEDs, ensuring long life and consistent performance.

HOUSING: The LC65L is constructed from high-quality aluminum, providing excellent heat dissipation and durability.

INSTALLATION: The LC65L is designed for easy installation. It features a standard 6" diameter and a depth of 1.5".

WARRANTY: The LC65L is backed by a 5-year warranty, ensuring long-term performance and reliability.

PHOTOMETRIC DATA

LifeFrame - 6" LC65L Downlight

Beam Data: Beam Diameter, Beam Spread, Beam Angle, etc.

Lumen Multiplier Table: Table showing lumen output for different beam angles and distances.

Beam Spread Diagrams: Visual representation of light distribution at various distances.

Beam Angle Diagrams: Diagrams showing the relationship between beam angle and beam diameter.

Beam Spread Table: Table showing beam diameter and beam angle for different distances.

Photometric Diagrams

Use complete photometric reports or download as files for this product, visit [Lithonia Lighting's Data Site](#).

Beam Spread Diagrams: Visual representation of light distribution at various distances.

Beam Angle Diagrams:

Ordering Information

Accessories: List of available accessories and their part numbers.

EGS - External Glare Shield: Diagrams showing the installation of an external glare shield.

Drilling: Diagrams showing the correct drilling locations for mounting.

Handhole Orientation: Diagrams showing the correct orientation of the handhole.

Tenon Mounting Slipfitter: Diagrams showing the installation of a tenon mounting slipfitter.

DSX5 Area Luminaire - EPA: Diagrams showing the installation of a DSX5 area luminaire.

D-Series Size 0 LED Area Luminaire

Specifications: Dimensions, weight, and other technical details.

Ordering Information: Part numbers and descriptions for various configurations.

EXAMPLE: DSX0 LED P6x 40x T3M MVOLT SPA NLTARZ PRSH DORXD

Control System: Information about the control system used for dimming.

Supplemental: Additional information about the luminaire's performance.

prescolite

Commercial Lighting Solutions

LED Driver: Information about the LED driver used in the luminaire.

HOUSING: Information about the luminaire's housing and materials.

INSTALLATION: Information about the installation requirements.

WARRANTY: Information about the warranty provided.

prescolite

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Commercial Outdoor Lighting

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G&G INDUSTRIAL LIGHTING

Low-Profile Linkable LED Linear Luminaire for Harsh Environments

Product Specifications: Technical details and performance metrics.

Photometry: Diagrams showing the luminaire's light distribution.

Electrical System: Information about the luminaire's electrical requirements.

Regulatory Qualifications: Information about the luminaire's compliance with industry standards.

Lumen & Power Data: Table showing lumen output and power consumption.

Dimensions: Table showing the luminaire's physical dimensions.

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WPX HARSH ENVIRONMENT LINEAR

Low-Profile Linkable LED Linear Luminaire for Harsh Environments

Product Features: Key features and benefits of the WPX series.

Performance Summary: Summary of the luminaire's performance characteristics.

Options and Accessories: List of available options and accessories.

Power & Connection Accessories: Information about the power and connection accessories.

Mounting Hardware: Information about the mounting hardware used for installation.

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PARKER COLORADO

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WARRANTY: Information about the warranty provided.

ANP Lighting Specifications W520

LED MODULE SPECIFICATIONS: Table showing the specifications for the LED modules.

MODULE DRIVER SPECIFICATION: Information about the module driver used.

MODULE LISTINGS: List of available module listings.

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QNC CAR WASH
9572 TWENTY MILE ROAD

REVIEW SET ONLY NOT FOR CONSTRUCTION

PROJECT: 20037
DATE: 08-19-2020
DRAWN: AAD
CHECKED: EKZ

REVISION: 1-CITY COMMENTS 05/13/21
2-OWNER UPDATE 05/02/22

SHEET TITLE: EXTERIOR LIGHTING SPEC SHEETS
SHEET: []

ES1.1
ORIGINAL SHEET SIZE 24" x 36"

Dialectic

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