



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Mike Schulze, Cobblestone Denver
FROM: Stacey Nerger, Senior Planner
DATE: May 26, 2025
SUBJECT: Parker and Pine Filing No. 1 Lot 4 – Site Plan Amendment
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "03" or "Third Submittal"

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

2. Please include images of all exterior elements of the site. This includes the bollards, retaining walls, trash cans, etc. Please include all materials and colors for these elements in the plans.

Comment Addressed: Yes No

Response:

3. The maximum allowed luminance within the site is 12 lumens per square foot. Please see redlines for areas where this is exceed and amend the lighting. Also, please correct the maximum to minimum ratio to meet code.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker Engineering and Stormwater – **Waiting for comments**

Staff Comments 02
SP25-018; Parker and Pine F1 L4
Site Plan Amendment
May 26, 2025

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date

SITE PLANS

PARKER AND PINE FILING NO.1 LOT 4 - CAR WASH

9572 TWENTY MILE ROAD PARKER, COLORADO

A PORTION OF THE 1/4 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF 6TH P.M.
COUNTY OF DOUGLAS, STATE OF COLORADO



Vicinity Map

1"=2,000'

SHEET INDEX

SHEET #	SHEET TITLE
1 OF 7	COVER SHEET
2 OF 7	EXISTING CONDITIONS MAP
3 OF 7	SITE PLAN
4 OF 7	GRADING PLAN
5 OF 7	UTILITY PLAN
6 OF 7	LANDSCAPE PLAN
7 OF 7	LANDSCAPE NOTES
AS1	EXTERIOR ELEVATIONS
AS2	DETAILS
AS3	ENCLOSURE PLANS & ELEVATIONS
AS4	DETAILS
ES1.0	LIGHTING PLAN
ES1.1	EXTERIOR LIGHTING SPEC SHEETS



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LEGAL DESCRIPTION

(PER THE TITLE COMMITMENT)

LOT 4,
PARKER AND FILING NO. 1,
COUNTY OF DOUGLAS,
STATE OF COLORADO.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
MAP NUMBER: 08035C0067G
EFFECTIVE DATE: MARCH 16, 2016

EXISTING LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- GAS --- UNDERGROUND GAS LINES
- COM --- UNDERGROUND COMMUNICATIONS LINES
- STM --- UNDERGROUND STORM SEWER LINES

DEVELOPMENT PLAN NOTES

- LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTIES SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE: APPROVAL OF A SEPARATE SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.
- AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDING PLANS.
- THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

RESOURCE LIST

APPLICANT 3K1 CONSULTING SERVICES, LLC 11811 N. TATUM BOULEVARD PHOENIX, AZ 85028 PH: (602) 850-8081	TOWN OF PARKER PLAN REVIEW 20120 E. MAIN STREET PARKER, CO 80138 CHIP KERHOVE PH: (703) 989-2244 RANDY CAPRA
OWNER QUICK N CLEAN 7291 E. ADOBE DRIVE, SUITE 115 SCOTTSDALE, AZ 85255 PH: (480) 707-3531	TOWN OF PARKER ENGINEERING / PUBLIC WORKS 20120 E. MAIN STREET PARKER, CO 80138-7335 TYLER SANDT PH: (303) 805-3182
OVERALL DEVELOPER EVT PARKER COLORADO, LLC 2710 E. CAMELBACK ROAD, SUITE 210 PHOENIX, AZ 85016 RYAN AMATO PH: (602) 468-6100	WATER & SEWER PARKER WATER AND SANITATION DISTRICT 18100 E. WOODMAN ROAD PARKER, CO 80134 DRAYTON SANDERSON/ ROBERT RAMSEY PH: (303) 841-4627
CIVIL ENGINEER CEI ENGINEERING ASSOC., INC. 730 PINE DALE AVE. FRESNO, CA JASON HATWIG, PROJECT MANAGER PH: (559) 447-3119	FIRE DEPARTMENT SOUTH METRO FIRE RESCUE AUTHORITY 9195 E. MINERAL AVE. CENTENNIAL, CO 80112 CHIP KERHOVE PH: (720) 989-2244
LANDSCAPE ARCHITECT CEI ENGINEERING ASSOC., INC. 3108 S.W. REGENCY PARKWAY, SUITE 2 BENTONVILLE, AR 72712 CHIP ASHLEY PH: (479) 273-9472	ELECTRICAL TREA 5496 US HWY 85 SEDALIA, CO 80135 PH: (303) 688-7431
ARCHITECT CHSOA 1777 S. BELLAIRE STREET, SUITE 100 DENVER, CO 80222 BILL STOW PH: (303) 962-9164	NATURAL GAS XCEL ENERGY 1800 LARIMER STREET DENVER, CO 80202 PH: (303) 571-7511
LAND SURVEYOR RUBIN SURVEYING 3312 AIRPORT ROAD BOULDER COLORADO 80301 PH: (303) 464-9515	



CEI ENGINEERING ASSOCIATES, INC.
710 W. PINE DALE AVE.
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8100

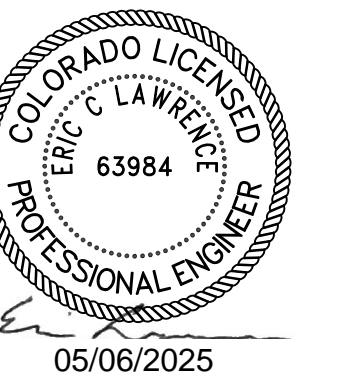


PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION

NO.	DESCRIPTION	DATE

PARKER AND PINE FILING NO.1 LOT 4 - CAR WASH
9572 TWENTY MILE ROAD
PARKER, COLORADO

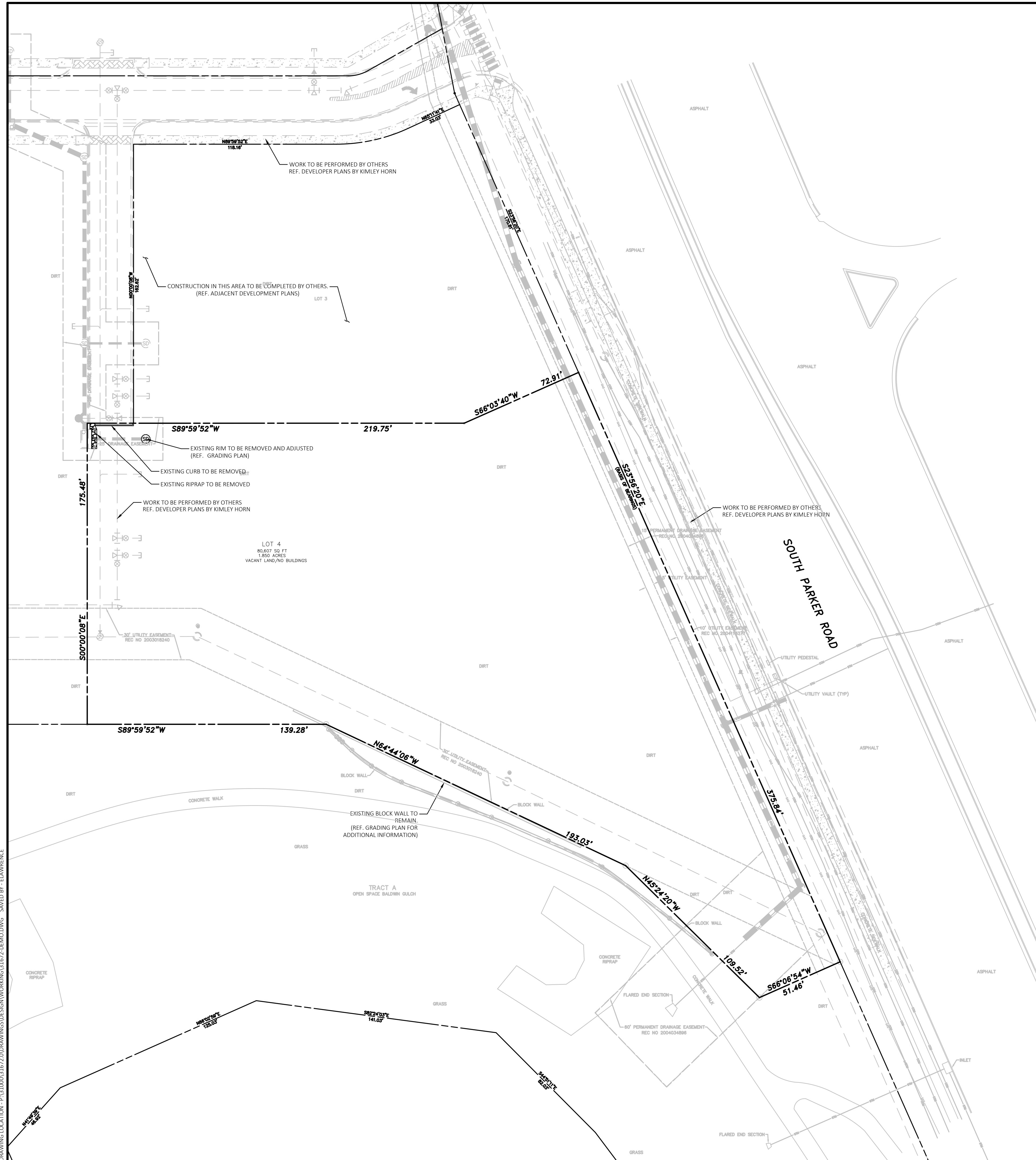


PROFESSIONAL OF RECORD	ECL
PROJECT MANAGER	MS
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	5/5/2025
REVISION	REV-7

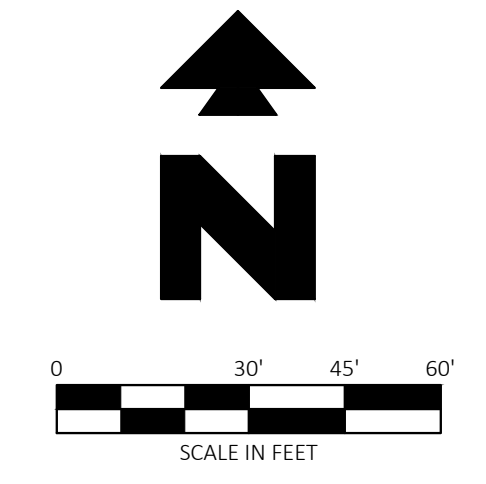
COVER SHEET

SHEET TITLE
SHEET NUMBER

01 OF 07



Know what's below.
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CLIENT:
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
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7291 E. ADOBE DRIVE, SUITE 115
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REVISION		
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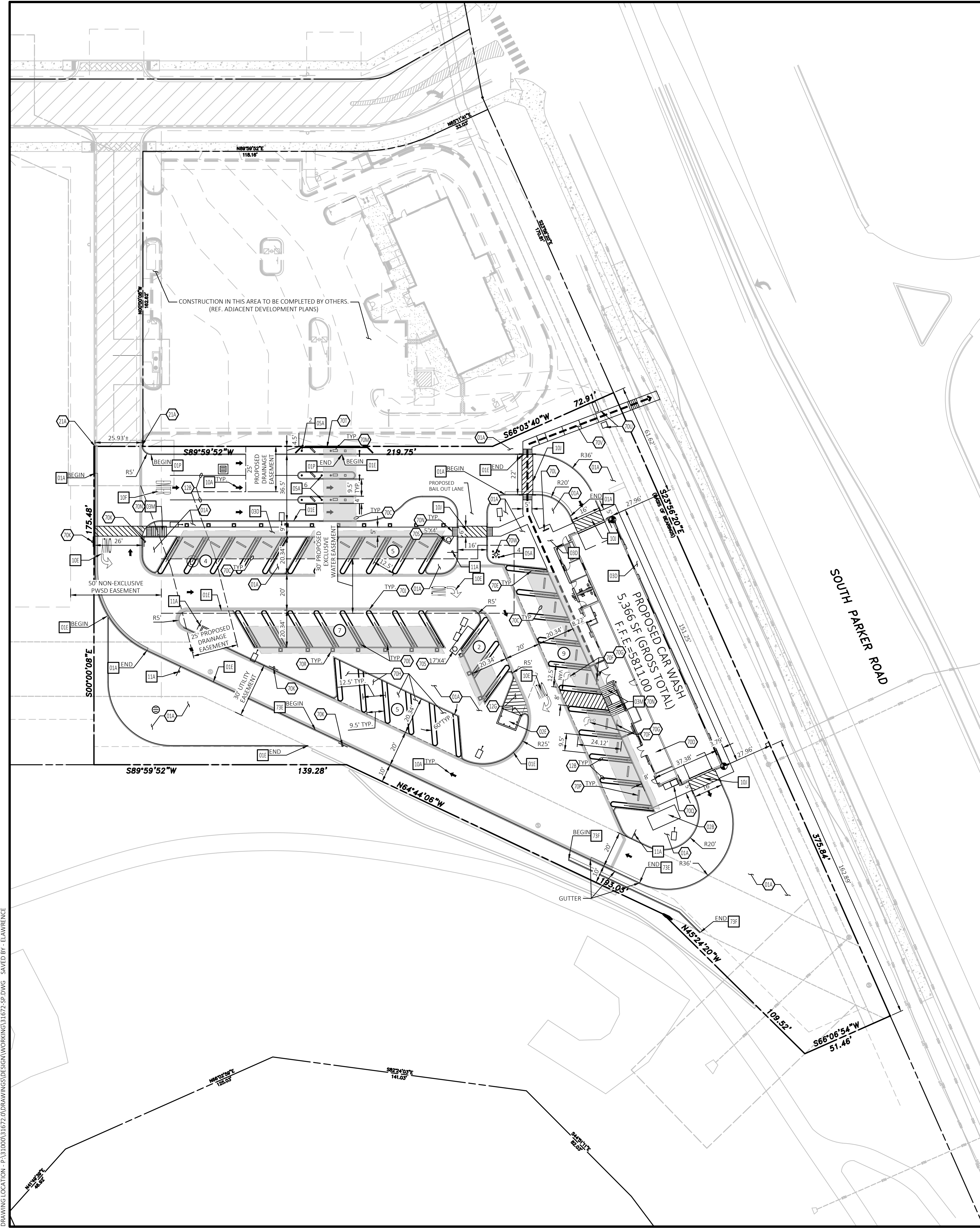
PARKER AND PINE FILING NO.1 LOT 4 - CAR WASH
9572 TWENTY MILE ROAD
PARKER, COLORADO



PROFESSIONAL OF RECORD	ECL
PROJECT MANAGER	MS
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	5/5/2025
REVISION	REV-7

EXISTING CONDITION
& DEMOLITION PLAN
SHEET TITLE
SHEET NUMBER

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-REV-0.DWG, SAVED BY: LAWRENCE



LEGAL DESCRIPTION

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

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NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL SITE NOTES

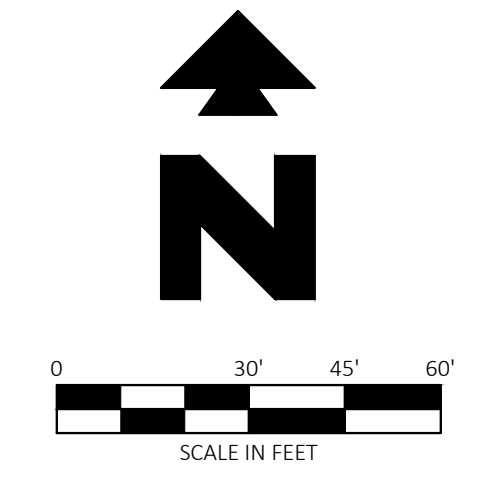
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL CURBED RADII ARE TO BE 2' OR 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES TO REMAIN WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED / ADJUSTED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT CONTRACT REQUIREMENTS.
- REFER TO ARCH. PLANS FOR Pylon AND/OR MONUMENT SIGNS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE CONTRACT REQUIREMENTS:
 - UNLESS OTHERWISE NOTED, ALL CURB ON-SITE SHALL BE INSTALLED PER 01E.
 - ALL PARKING LOT SIGN BASE SUPPORTS (EXCLUDING ACCESSIBLE PARKING SIGNAGE) SHALL BE INSTALLED PER DETAIL 12E.
 - ALL PARKING LOT STRIPING SHALL BE PAINTED WITH 4 INCH. YELLOW PAINT (TYP.)
 - ACCESSIBLE PARKING STALL STRIPING AND ISA SYMBOL SHALL BE PAINTED PER ARCH. PLANS.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF THE LOCAL MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE OPERATOR SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION.
- ANY FACILITIES THAT ARE TO REMAIN AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED PER CURRENT CONTRACT REQUIREMENTS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- REFER TO DETAIL 08R FOR CONCRETE JOINT DETAILS.
- CONTRACTOR SHALL ENSURE ADA CONFORMANCE OF ALL EXISTING SIDEWALKS AND CURB RAMPS WITHIN PUBLIC RIGHT-OF-WAY WITHIN THE PROJECT LIMITS. ALL EXISTING SIDEWALKS AND CURB RAMPS SHALL CONFORM TO THE LATEST ADOPTED VERSION (AND ALL AMENDMENTS) OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN & THE ARCHITECTURAL BARRIERS TEXAS ACCESSIBILITY STANDARDS (TAS). ANY EXISTING SIDEWALK THAT IS NOT IN CONFORMANCE WITH ADA REGULATIONS SHALL BE REMOVED AND REPLACED PER CITY OF DALLAS CODES AND COST SHALL BE INCLUDED IN BASE BID.
- ALL ADA SIGNS SHALL BE PERMITTED SEPARATELY.

SITE DETAILS (REF CONSTRUCTION DOCUMENTS FOR DETAILS)

- 01A TYPE A CONCRETE CURB AND GUTTER
- 01C TYPE C CONCRETE RAISED CURB AND GUTTER
- 01E TYPE E CURB
- 01P RAISED CURB AND GUTTER
- 03D CONCRETE SIDEWALK
- 03M WHEELCHAIR RAMP IN SIDEWALK
- 05A BOLLARD (SINGLE)
- 10A TRAFFIC FLOW ARROW
- 10B STOP BAR
- 10E RIGHT/LEFT TURN ONLY PAVEMENT MARKING
- 10F ENTER PAVEMENT MARKING WITH ARROW
- 10J CROSSWALK MARKING
- 11A DO NOT ENTER SIGN
- 12G STOP SIGN
- 73E REINFORCED REVERSED CURB WITHOUT FOOTING
- 73F REINFORCED REVERSED CURB WITH FOOTING



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PROJECT INFORMATION

PROJECT NAME:	QUICK N CLEAN (CAR WASH)
PROJECT ADDRESS:	9572 TWENTY MILE ROAD, PARKER, COLORADO
PROJECT DESCRIPTION:	DEVELOPMENT OF A FREE-STANDING EXPRESS CAR WASH BUILDING WITH ASSOCIATED VACUUM (23) AND PLAY STATION (3) CANOPIES.

SITE INFORMATION

PROPOSED PROPERTY:	1.85± AC. / 80,607± S.F.
BUILDING AREA:	5,380± S.F.
LANDSCAPE AREA (ONSITE & FRONTAGE):	0.73± AC. / 31,882± S.F.
SITE LANDSCAPE RATIO:	39.55%

ZONING INFORMATION

JURISDICTION:	PARKER
EXISTING ZONING:	PLANNED DEVELOPMENT
PROPOSED ZONING:	PLANNED DEVELOPMENT
MAX. BUILDING HEIGHT ALLOWED:	2 STORIES, NOT TO EXCEED 45'-0"
PROPOSED BUILDING HEIGHT:	24'-8"
SETBACKS (PER PARKER & PLANNED MIXED USE DEVELOPMENT PLANNED DEVELOPMENT GUIDE):	
BUILDING:	
FRONT YARD:	10 FT MIN., 80FT MAX. FROM PUBLIC STREET
SIDE YARD:	10 FT
REAR YARD:	10 FT
LANDSCAPE:	(F) LANDSCAPING, EACH SITE SHALL BE LANDSCAPED IN ACCORDANCE WITH CHAPTER 13.06 OF THIS TITLE.

PARKING REQUIREMENTS

PARKING REQUIRED:	CAR WASH: 1 PER ESTABLISHMENT PLUS 1 PER STAFF MEMBER PER MAXIMUM SHIFT
PARKING PROVIDED:	EMPLOYEE: 4 (12.5' X 18') NON-VACUUM: 1 (12.5' X 18') VACUUM: 25 (12.5' X 18') ACCESSIBLE (VACUUM): 2 (12.5' X 18') (8' ACCESS AISLE) TOTAL PARKING: 32
BICYCLE PARKING REQUIRED:	2
BICYCLE PARKING PROVIDED:	2

EXISTING LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
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PROPOSED

- CONCRETE CURB
- ⊙ BUILDING CONTROL POINT
- # PROPOSED PARKING SPACES
- ↔ PEDESTRIAN PATH OF TRAVEL
- VACUTECH CANOPY
- LIGHT POLE

SITE NOTES

- 01A SEEDED GREEN AREA.
- 02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS)
- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS)
- 12B 4" WIDE PAINTED WHITE STRIPES, 2' O.C. @ 45°
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 70C "VACUTECH" CORRUGATED ALUMINUM CANOPY, REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
- 70D "VACUTECH" VACUUM ENCLOSURE, REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
- 70E "VACUTECH" VACUUM (RYVAL ARCH), REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
- 70F "UNAUTHORIZED VEHICLES" WARNING SIGN (PER ARCH. PLANS)
- 70G ACCESSIBLE PARKING OFF-STREET (PER ARCH. PLANS)
- 70H EMPLOYEE PARKING & ESTABLISHMENT PARKING
- 70I FIRE LANE MARKING PER TOWN OF PARKER STANDARDS
- 70K NO PARKING FIRE LANE SIGN PER TOWN OF PARKER STANDARDS
- 70L BICYCLE RACK (PER ARCH. PLANS)
- 70M PAY STATION (REF ARCH. PLANS)
- 70N 3" DEEP DETECTABLE WARNING TO BE INSTALLED AT FULL WIDTH OF LANDING
- 70P WHEEL STOP, REF. ARCH. PLANS FOR FINAL PLACEMENT
- 70Q WORKING SPACE OF 3' BEYOND DOORS OPEN AT 90 DEGREES REQUIRED (WORKING SPACE CANNOT BE IN A DRIVABLE LOCATION).
- 70R 2' X 2' CONCRETE PAD WITH TRASH RECEPTACLE
- 70S CONCRETE PAD WITH VACUUM EQUIPMENT (SEE SIZE OF PAD THIS SHEET) (REF. VENDOR DRAWINGS FOR ADDITIONAL DETAILS)
- 70T CMU RETAINING FEATURE (10" DEEP BLOCKS, ROUGHLY 28" TALL)
- 70U ELECTRICAL TRANSFORMER PADS (PER ELEC. CO.)
- 70V STEPPED PATH
- 70W FIRE HYDRANT



CEI ENGINEERING ASSOCIATES, INC.
710 W. PINEDALE AVE.
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION

NO.	DESCRIPTION	DATE

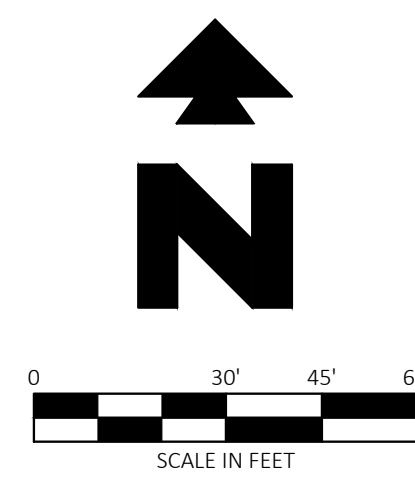
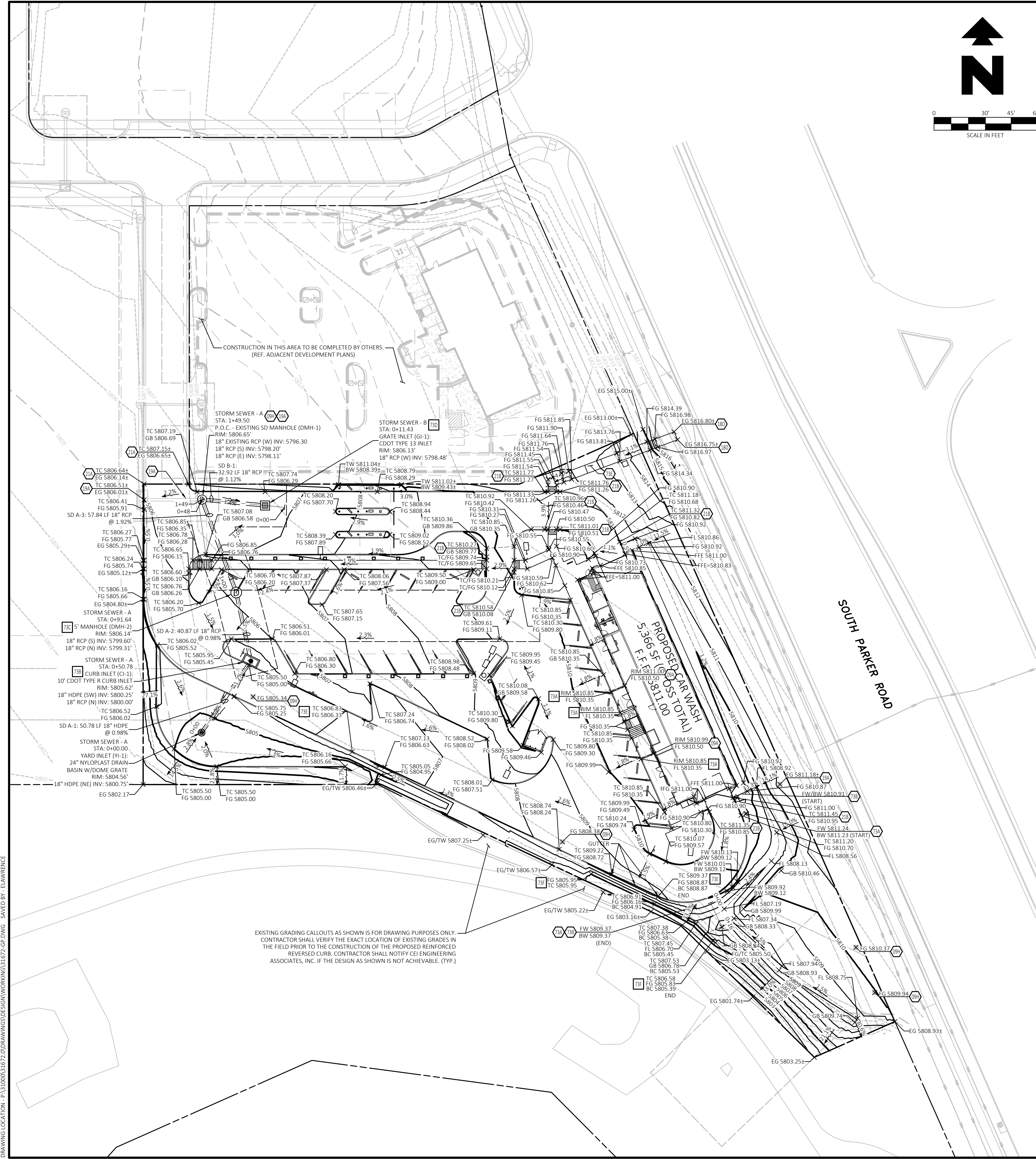
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SITE PLAN
SHEET TITLE
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03 OF 07



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- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- GAS
- UNDERGROUND GAS LINES
- UNDERGROUND COMMUNICATIONS LINES
- UNDERGROUND STORM SEWER LINES

PROPOSED

- GRADE BREAK
- XXX — CONTOUR ELEVATIONS
- STORM DRAIN
- x XX.XX SPOT ELEVATIONS:
BC = BOTTOM OF REINFORCED REVERSE CURB
EG = EXISTING GRADE
FF = FINISH FLOOR ELEVATION
FG = FINISH GRADE
FL = FLOW LINE
FW = FRONT OF WALL
GB = GRADE BREAK
RIM = TOP OF STRUCTURE
TC = TOP OF CURB
TW = TOP OF WALL

GENERAL GRADING NOTES

- A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- B. CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM EXCEPT WHERE OTHERWISE NOTED: RCP, OR HDPE AS INDICATED ON THIS PLAN WHERE THE WORD PIPE IS USED. ALL PIPES SHALL HAVE A MAXIMUM ROUGHNESS COEFFICIENT ("N") OF 0.013 AND SHALL MEET OR EXCEED THE PIPE MANUFACTURERS REQUIREMENTS FOR MINIMUM AND MAXIMUM COVER. CONTRACTOR SHALL REFER TO THE PROJECT CONTRACT REQUIREMENTS FOR STORM SEWER SYSTEMS FOR ACCEPTABLE TYPE AND MATERIAL.
- C. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- E. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS OF THE LOCAL AUTHORITIES:
ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A (REF. CONSTRUCTION PLAN SET). ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING DETAILS (REF. CONSTRUCTION PLAN SET FOR DETAILS)

- 01P RAISED CURB AND GUTTER
- 73A 6" CURB CHASE DRAIN (NON-RESIDENTIAL) LAYOUT - PER PARKER COLORADO STANDARD DETAIL 29
- 73B 10" CDOT TYPE R CURB INLET W/ TOWN OF PARKER MANHOLE COVER
- 73C 5" CDOT MANHOLE W/TOWN OF PARKER MANHOLE COVER
- 73D CDOT TYPE 13 INLET
- 73E REINFORCED REVERSED CURB WITHOUT FOOTING
- 73F REINFORCED REVERSED CURB WITH FOOTING

GRADING NOTES

- 09A DOWN SPOUTS - (TYP. - PER ARCH. PLANS).
- 09H REMOVE TOP OF EXISTING DRAINAGE STRUCTURE AND ADJUST RIM TO ELEVATION TO MATCH FINISH GRADE. IF EXISTING STRUCTURE TOP IS A GRATE, REPLACE WITH TOWN OF PARKER MANHOLE COVER.
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 19A EXISTING TO REMAIN.
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
- 73A RETAINING WALL (PER ARCH. PLANS).
- 73B FOUR (4) FOOT SCREEN WALL (PER ARCH. PLANS).
- 73C LANDSCAPE SWALE TERMINATION (REF SECTION VIEW THIS SHEET)
- 73D TRANSITION FROM 6" CURB AND GUTTER TO 12" RAISED CURB AND GUTTER
- 73E STEPPED PATH WITH UPPER STAIR SEGMENT; ELEVATIONS SET BY OTHERS

ADA STANDARD NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF PARKER DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

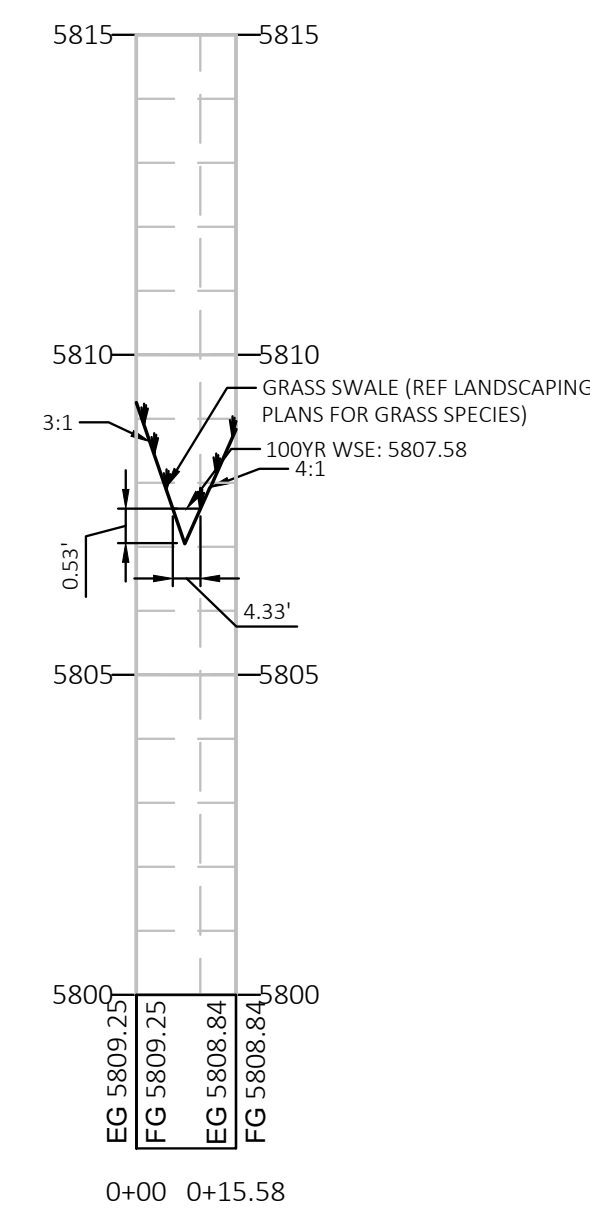
BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
MAP NUMBER: 08055C0067G
EFFECTIVE DATE: MARCH 16, 2016

LANDSCAPE SWALE CROSS SECTION PROFILE
VERTICAL SCALE: 1"=3'
HORIZONTAL SCALE: 1"=30'



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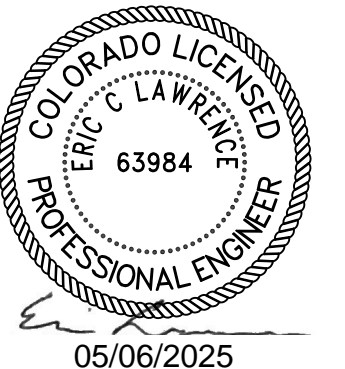
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PLANS PREPARED FOR
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REVISION		
NO.	DESCRIPTION	DATE

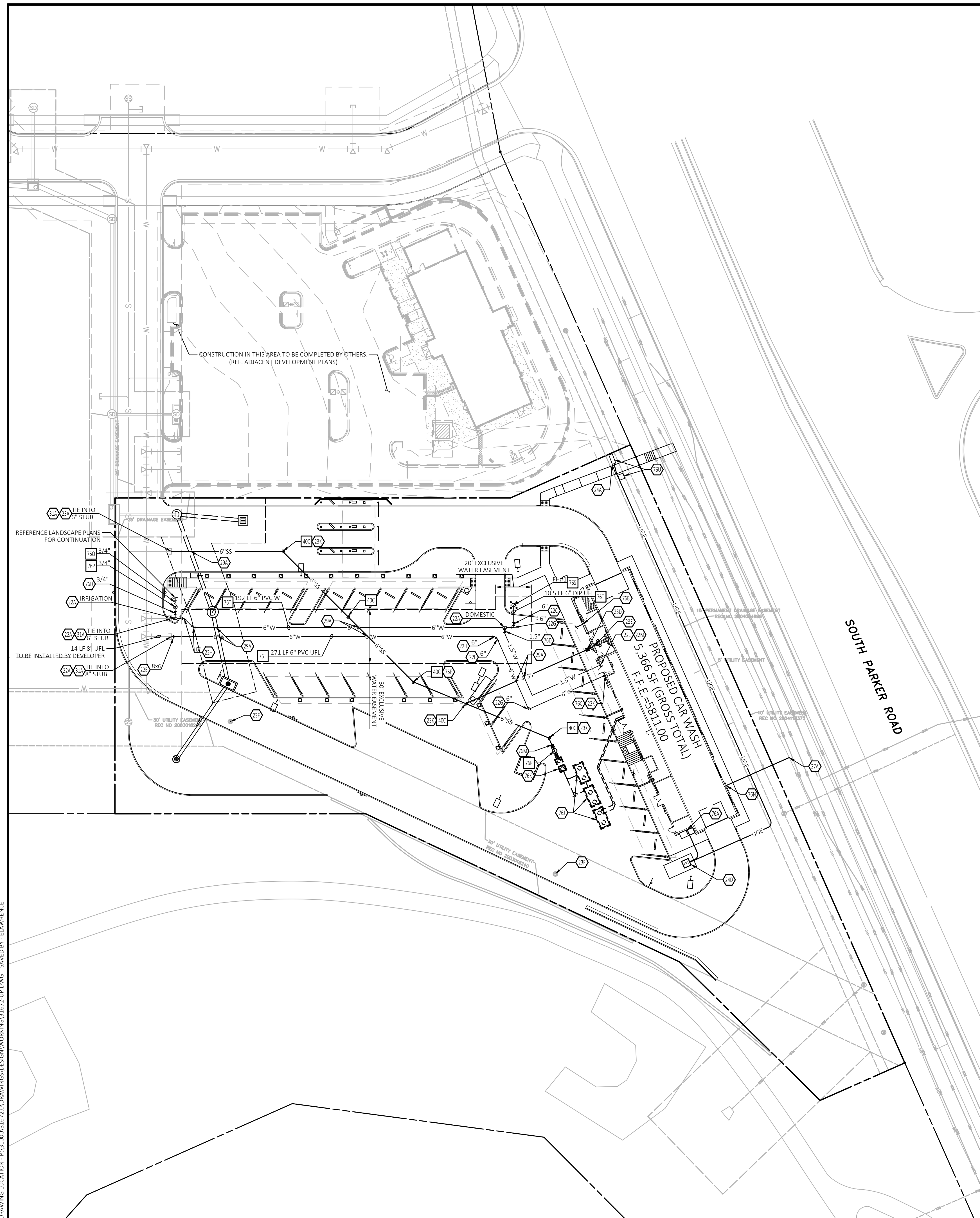
PARKER AND PINE FILING NO.1 LOT 4 - CAR WASH
9572 TWENTY MILE ROAD
PARKER, COLORADO



05/06/2025

PROFESSIONAL OF RECORD	ECL
PROJECT MANAGER	MS
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	5/5/2025
REVISION	REV-7

GRADING PLAN
SHEET TITLE
SHEET NUMBER



LEGAL DESCRIPTION

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS

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FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
MAP NUMBER: 0805500076
EFFECTIVE DATE: MARCH 16, 2016

NOTE:

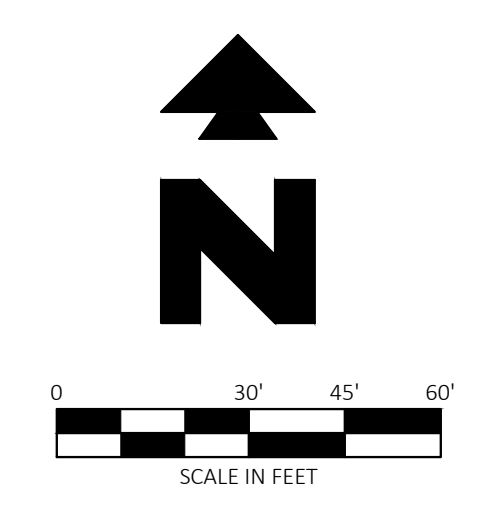
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL UTILITY NOTES

- ALL WATER LINES SHALL HAVE 4'-6" MIN. COVER.
- ALL SANITARY SEWER LINES 6" AND SMALLER SHALL BE PVC (SDR35) WITH 4'-6" MIN. COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE PROJECT CONTRACT REQUIREMENTS OR SPECIFICATIONS OF THE LOCAL AUTHORITIES:
REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR WATER SERVICE DETAIL W3.1.1
ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER W4.1.1
ALL SANITARY SEWER PIPE TRENCHING & BEDDING SHALL BE INSTALLED PER S4.1-S4.5.
REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR SEWER SERVICE DETAIL S1.1.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO ELECTRIC COMPANY PLANS FOR ELECTRIC SERVICE DESIGN.
- REFER TO TELEPHONE PLANS FOR TELEPHONE & DATA SERVICE DESIGN.



Know what's below.
Call before you dig.



EXISTING LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- GAS --- UNDERGROUND GAS LINES
- COM --- UNDERGROUND COMMUNICATIONS LINES
- STM --- UNDERGROUND STORM SEWER LINES

PROPOSED LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- STORM DRAIN
- X"G --- GAS SERVICE
- X"SS --- SANITARY SEWER SERVICE
- UGE --- UNDERGROUND ELECTRIC SERVICE
- UGT --- UNDERGROUND TELEPHONE SERVICE
- X"W --- WATER SERVICE
- FDC FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT

UTILITY NOTES

- 22A POINT OF CONNECTION - WATER SERVICE PER LOCAL CODE STANDARDS
- 22C M.J. GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET)
- 22E M.J. REDUCER (SEE SIZES THIS SHEET)
- 22G 90° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22H 45° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22I 22.5° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22K SPRINKLER ENTRY PER ARCH. PLANS
- 22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET)
- 22M INTERNAL WATER METER (PER LOCAL CODES AND SPECIFICATION) (REF ARCH PLANS)
- 23A POINT OF CONNECTION FOR SANITARY SEWER
- 23D BUILDING SANITARY SEWER SERVICE CLEAN-OUT
- 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS)
- 23F ADJUST RIM TO MATCH FINISH GRADE
- 23K SANITARY SEWER SERVICE WYE (PER LOCAL CODES)
- 24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS)
- 24D PROPOSED ELECTRIC TRANSFORMER
- 27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENT)
- 29A MAINTAIN MINIMUM 18" VERTICAL SEPARATION
- 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- 76A UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH PLANS) (REF ELECTRICAL SCHEMATIC PLANS FOR ELECTRICAL SERVICE CONSTRUCTION INFORMATION)
- 76B UNDERGROUND TELEPHONE SERVICE ENTRY (PER ARCH PLANS) (REF TELEPHONE CO. SCHEMATIC PLANS FOR TELEPHONE SERVICE CONSTRUCTION INFORMATION)
- 76C INTERNAL FIRE SPRINKLER RISER WITH WALL MOUNT FIRE DEPARTMENT CONNECTION (FDC). REF MECHANICAL PLANS
- 76D CURB STOP VALVE REF TOWN OF PARKER DETAILS AND SPECIFICATIONS.
- 76F 22.5" BEND
- 76I RECLAIM SYSTEM (REF PLUMBING PLANS)
- 76K SAND/OIL SEPARATOR (REF PLUMBING PLAN)
- 76M REF PLUMBING PLANS FOR CONTINUATION
- 76N GAS SERVICE ENTRY (PER ARCH. PLANS)
- 76U ELECTRICAL TRANSFORMER PADS AND TRANSFORMERS (PER ELEC. CO.)

UTILITY DETAILS (REF CONSTRUCTION DOCUMENTS FOR DETAILS)

- 40C SANITARY SEWER CLEAN OUT
- 76P OUTSIDE SETTING FOR 2" - 1" METER PER TOWN OF PARKER DETAIL W5.10
- 76Q REDUCED PRESSURE BACKFLOW PER TOWN OF PARKER DETAIL W6.1.
- 76R SAMPLING MANHOLE PER TOWN OF PARKER DETAIL S5.3.
- 76S FIRE HYDRANT PER TOWN OF PARKER DETAIL W2.5.
- 76T LOCATOR WIRE PER TOWN OF PARKER DETAIL W2.6



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REVISION

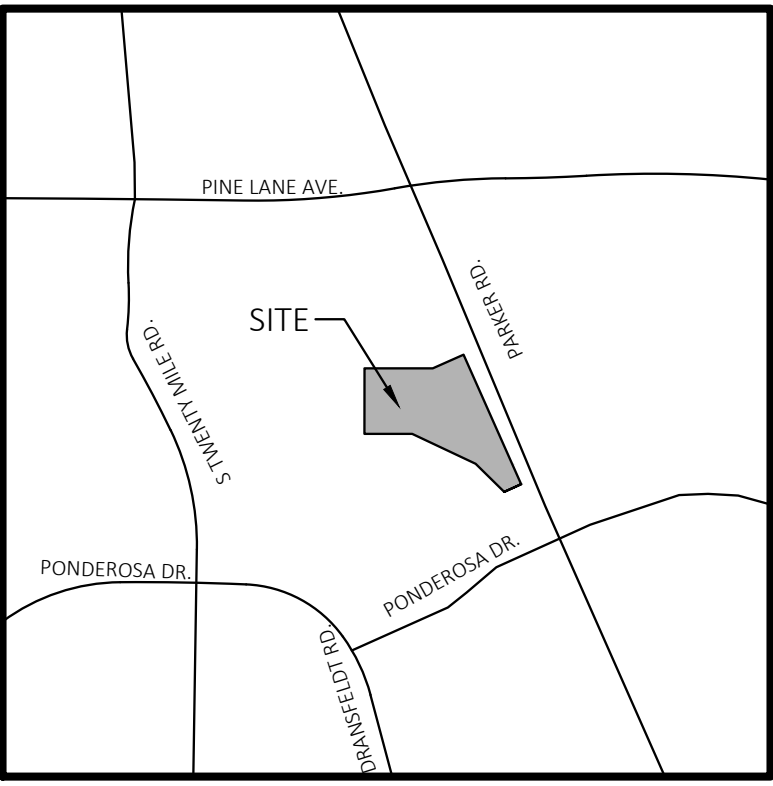
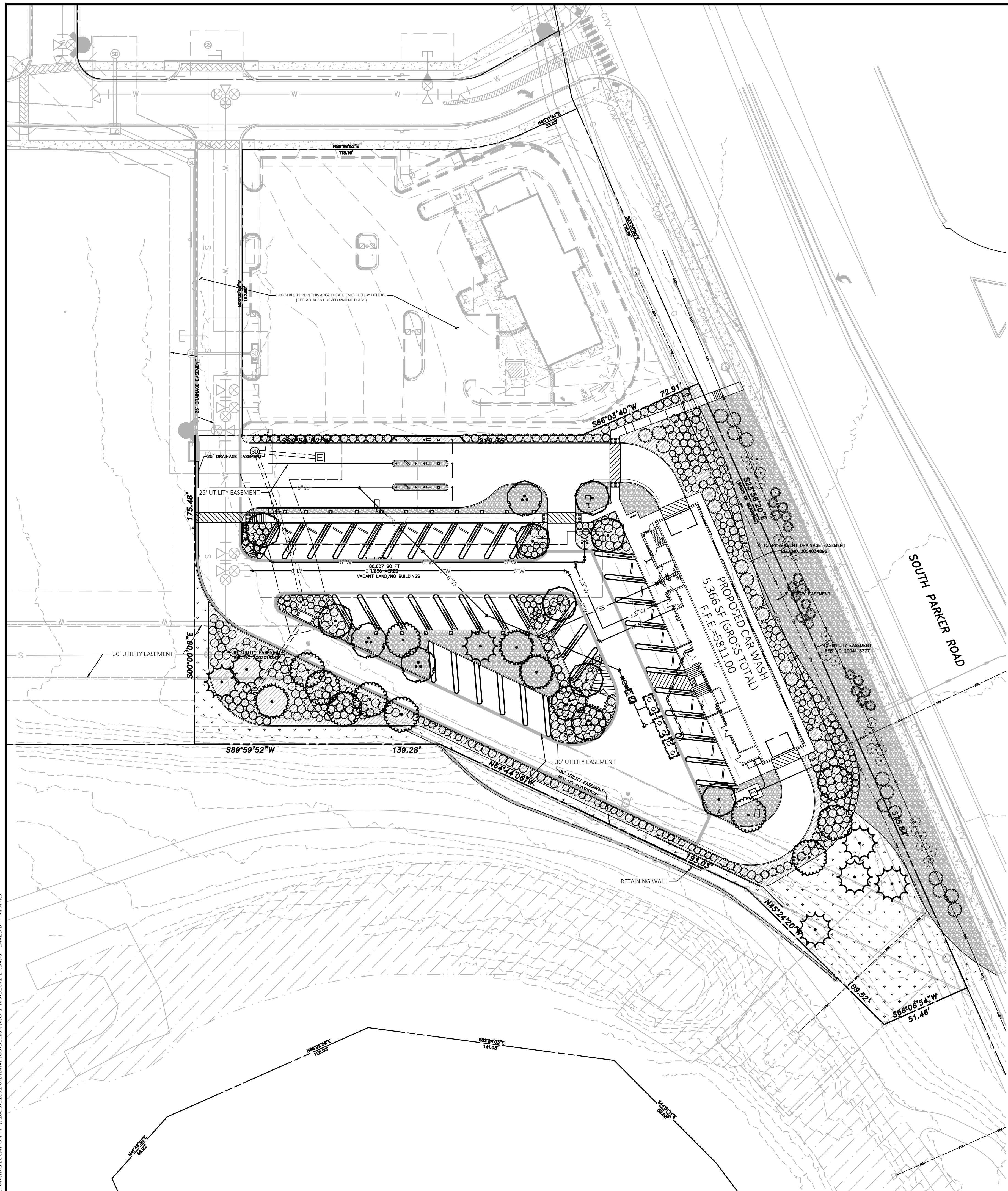
NO.	DESCRIPTION	DATE

PARKER AND PINE FILING NO.1 LOT 4 - CAR WASH
9572 TWENTY MILE ROAD
PARKER, COLORADO



PROFESSIONAL OF RECORD	ECL
PROJECT MANAGER	MS
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	5/5/2025
REVISION	REV-7

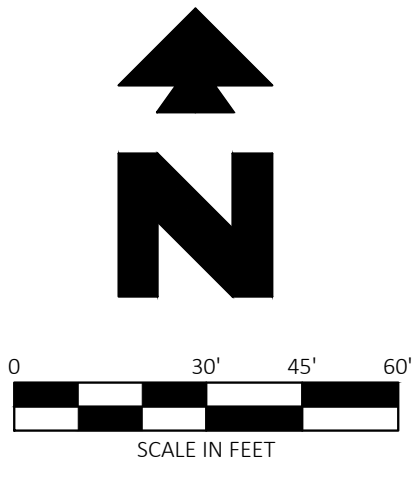
UTILITY PLAN
SHEET TITLE
SHEET NUMBER



Vicinity Map
Not to Scale



Know what's below.
Call before you dig.



PROPOSED LEGEND

- BOUNDARY LINE
- - - RIGHT OF WAY LINE
- - - - STORM DRAIN
- TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

PROPOSED LEGEND

- 50A TREE PLANTING DETAIL
- 50B SHRUB PLANTING DETAIL
- 50Q STEEL EDGING DETAIL

LANDSCAPE REQUIREMENTS

AREA	REQUIREMENT	REQUIRED	PROVIDED
LANDSCAPE AREA	A MIN OF 15% OF THE TOTAL DEVELOPED AREA SHALL BE DEDICATED TO LANDSCAPE	80,607 x 15% = 12,091 SF OF LANDSCAPE AREA REQUIRED	38,246 SF PROVIDED
	1 TREE AND 5 SHRUBS SHALL BE PLANTED PER 1,500 SF OF LANDSCAPED LOT AREA	12,091 / 1,500 = 8 TREES AND 40 SHRUBS REQUIRED	8 TREES AND 40 SHRUBS PROVIDED
	25% - 50% OF REQUIRED TREES SHALL BE EVERGREEN	2 - 4 TREES SHALL BE EVERGREEN	10 EVERGREEN TREES PROVIDED
PARKING LOT PERIMETER	A MIN 10' BUFFER SHALL BE PROVIDED ADJACENT TO ROADWAYS, RESIDENTIAL USES, NONCOMPATIBLE USES OR OPEN SPACE	REQUIRED	PROVIDED
PARKING LOT INTERIOR LANDSCAPE	AN AREA EQUAL TO 10% OF THE TOTAL PARKING AREA SHALL BE DEDICATED TO LANDSCAPE	45,364 SF x 10 = 4,536 SF OF LANDSCAPE AREA REQUIRED	5,648 SF PROVIDED
SITE PERIMETER LANDSCAPE	1 TREE SHALL AND 5 SHRUBS SHALL BE PLANTED PER LANDSCAPE ISLAND	6 TREES AND 30 SHRUBS REQUIRED	8 TREES AND 30 SHRUBS PROVIDED
	1 ADDITIONAL SHRUB SHALL BE PLANTED FOR EACH ADDITIONAL 15 SF ABOVE 162 SF IN EACH LANDSCAPE ISLAND		
TOTAL NUMBER OF TREES AND SHRUBS PROVIDED	1 TREE AND 5 SHRUBS SHALL BE PLANTED PER 40 LF OF SITE PERIMETER	665 LF OF PERIMETER / 40 = 17 TREES AND 84 SHRUBS REQUIRED	17 TREES AND 84 SHRUBS PROVIDED
			33 TREES PROVIDED 548 SHRUBS PROVIDED

2025-03-11 16:45

TREE SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	MATURE HT.	CAL.
TREES							
	5	BETULA OCCIDENTALIS / WATER BIRCH	B & B	50A		40'	2.50" CAL.
	8	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER LOCUST	B & B	50A		50'	2.50" CAL.
	7	PICEA PLUNGENS / COLORADO SPRUCE	B & B	50A	6'-8" MIN	50'	
	3	PINUS EDULIS / PINON PINE	B & B	50A	6'-8" MIN	25'	
	10	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	B & B	50A		50'	2.50" CAL.

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SHRUB SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	MATURE HT.
SHRUBS					
	25	BUDDLEIA DAVIDI 'BLACK KNIGHT' / BLACK KNIGHT BUTTERFLY BUSH	5 GAL	50B	6'
	85	CORNUS SERICEA 'ARCTIC FIRE' / ARCTIC FIRE DOGWOOD	5 GAL	50B	4'
	25	FORESTIERA NEOMEXICANA 'HAPPY BOY' / HAPPY BOY NEW MEXICO PRIVET	5 GAL	50B	12'
	150	JUNIPERUS CHINENSIS 'ARMSTRONGII' / ARMSTRONG JUNIPER	5 GAL	50B	4'
	106	JUNIPERUS HORIZONTALIS 'ANDORRA' / ANDORRA JUNIPER	5 GAL	50B	2'
	20	JUNIPERUS VIRGINIANA 'GREY OWL' / GREY OWL EASTERN REDCEDAR	5 GAL	50B	3'
	3	PEROVSKIA ABROTANOIDES / RUSSIAN SAGE	5 GAL	50B	4'
	200	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	50B	2'
	14	RUDBECKIA FULGIDA 'GOLDSTURM' / GOLDSTURM CONEFLOWER	5 GAL	50B	3'

LANDSCAPE MATERIALS LEGEND

GROUND COVERS	QTY	NAME	TYPE
	+/- 13,887 SF	4" DEPTH 2" - 3" WASHED GRANITE ROCK MULCH COLOR: BROWN/TAN	
	+/- 14,801 SF	3" - 6" RIVER ROCK COBBLE (4" - 6" DEPTH) COLOR: BROWN/TAN	
	+/- 12,297 SF	SEED MIX OF 40% CREASTED WHEATGRASS, 40% PERENNIAL RYEGRASS, 10% SWITCHGRASS, 5% BLUE GRAMA (COATED), AND 5% SIDEOATS GRAMA @ 3 LBS PER 1000 SF	SEED



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REVISION

NO.	DESCRIPTION	DATE

PARKER AND PINE FILING NO.1 LOT 4 - CAR WASH
9572 TWENTY MILE ROAD
PARKER, COLORADO



PROFESSIONAL OF RECORD ECL
PROJECT MANAGER MS
DESIGNER RM
CEI PROJECT NUMBER 31672
DATE 5/7/2025
REVISION REV-7

LANDSCAPE PLAN
SHEET TITLE
SHEET NUMBER

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-1P.DWG. SAVED BY: JHPARKS

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
- COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
- IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 40% KENTUCKY BLUEGRASS, 40% TALL FESCUE, 20% PERENNIAL RYEGRASS BY WEIGHT @ 3 LBS / 1000 SF.
- SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS/ACRE, WITH A MAXIMUM OF 50 LBS/100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.
- THE LANDSCAPE CONTRACTOR SHALL HAVE A SOILS ANALYSIS TEST CONDUCTED ON THE SITE PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS TESTING LAB FOR RESULTS. THIS WILL INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMENDMENTS/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUBS, SOD, TREES). THE SOILS LAB RESULTS AND RECOMMENDATIONS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT PRIOR TO INSTALLING ANY LANDSCAPING MATERIALS ONSITE.

PLANTING NOTES

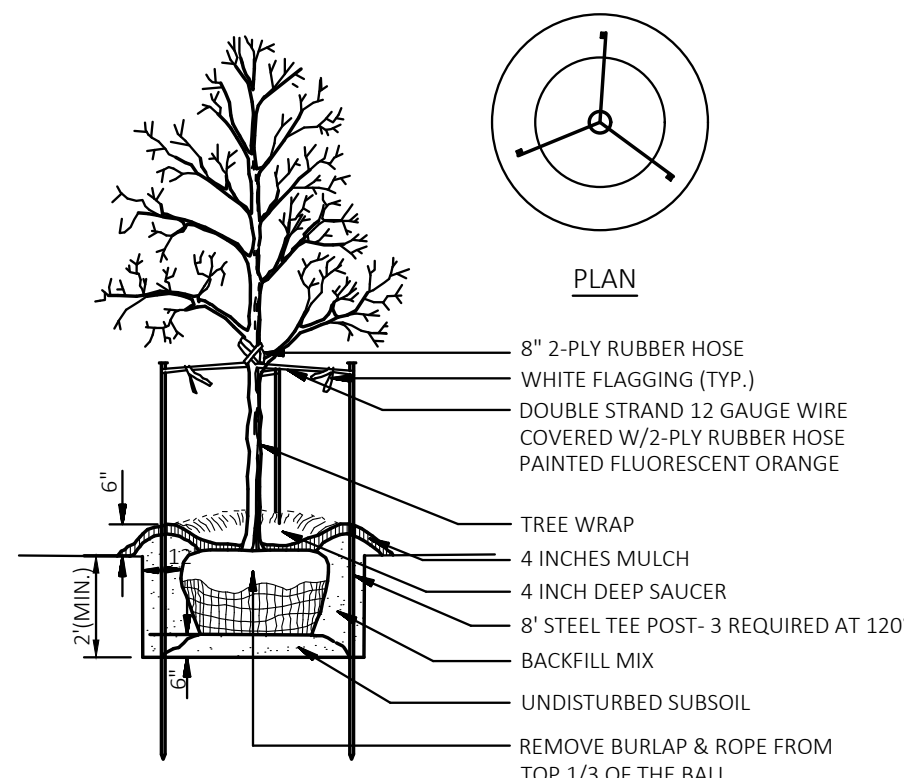
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS: PLANTER BEDS - 12" MINIMUM GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
- BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A FOUR INCH (4") TOP DRESSING/MULCHING OF 2" - 3" WASHED GRANITE ROCK MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAIL) TOP DRESSINGS CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY OCT-APR
DECIDUOUS SHRUBBERY & TREES OCT-APR
EVERGREEN TREES OCT-APR

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

- A. GUARANTEE:
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- B. REPLACEMENT:
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- C. MAINTENANCE:
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

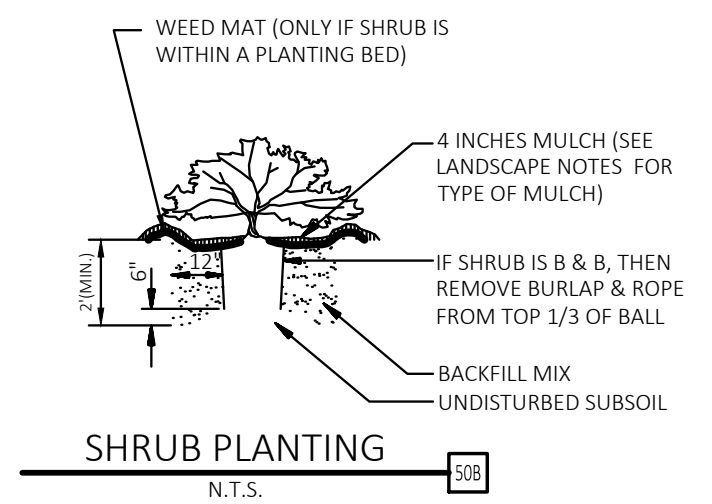
HERBICIDES NOTES

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE.
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

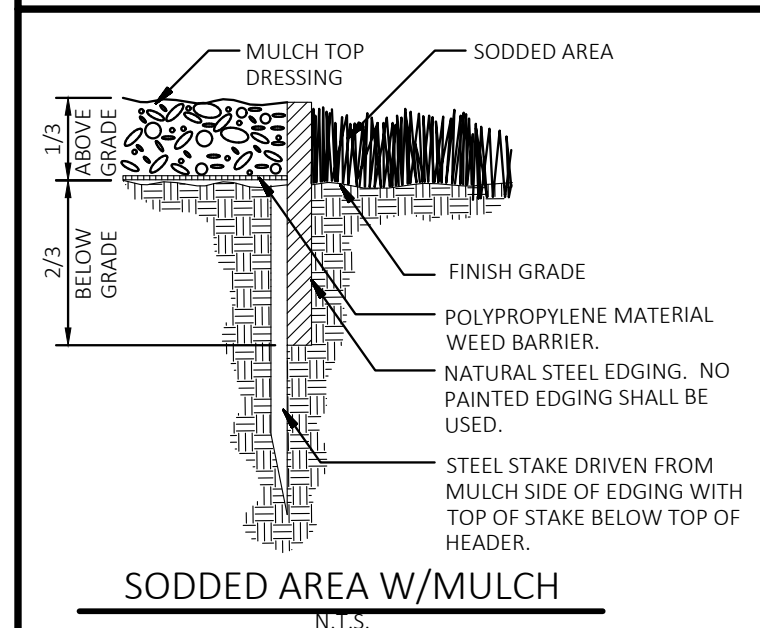


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

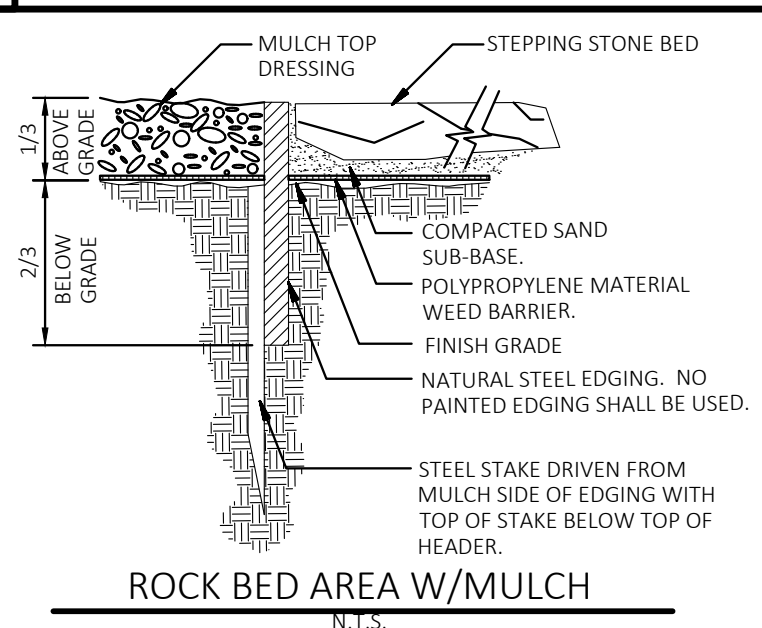
TREE PLANTING
N.T.S.



SHRUB PLANTING
N.T.S.



SODDED AREA W/MULCH
N.T.S.



ROCK BED AREA W/MULCH
N.T.S.

STEEL EDGING
N.T.S.

DRAWING LOCATION: P:\33000\33072\DRAWINGS\DESIGN\WORKING\33072-0.DWG. SAVED BY: MPARKS



CEI ENGINEERING ASSOCIATES, INC.
710 W. PINEDALE AVE.
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101

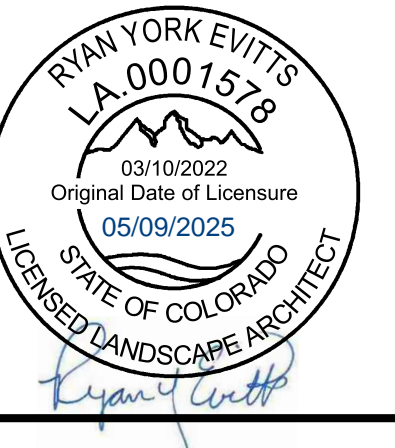


PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION

NO.	DESCRIPTION	DATE

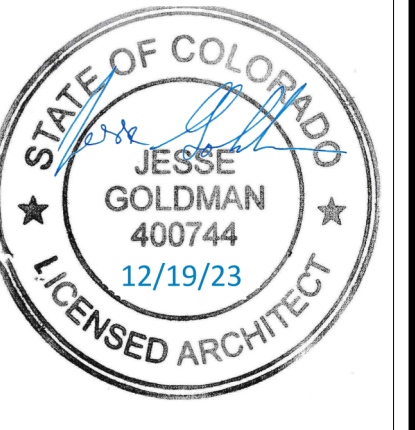
PARKER AND PINE FILING NO.1 LOT 4 - CAR WASH
9572 TWENTY MILE ROAD
PARKER, COLORADO



PROFESSIONAL OF RECORD	ECL
PROJECT MANAGER	MS
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	5/7/2025
REVISION	REV-7

LANDSCAPE NOTES
SHEET TITLE
SHEET NUMBER

07 OF 07



JESSE GOLDMAN, ARCHITECT
 2686 S COLORADO BLVD, SUITE 525
 DENVER, CO 80222
 (303) 962-9164

QUICK N CLEAN CAR WASH
 9572 TWENTY MILE ROAD
 PARKER, CO

2686 S COLORADO BLVD, SUITE 525
 DENVER, CO 80222
 (303) 962-9164
 www.cshoa.com

CSHOA

PROJECT	DATE
20037.000	12-19-2023
DRAWN	CHECKED
RJ	JGM

REVISED
 1 AGENCY COMMENTS 3/15/2023
 2 AGENCY COMMENTS 7/28/2023

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET
A5.1
 ORIGINAL SHEET SIZE
 24" x 36"

GENERAL NOTES:

- A. THE REFERENCE ELEVATION MARKED WITH REPRESENTS VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT 100'-0" RE: CIVIL FOR ACTUAL ELEVATION.
- B. ALL MATERIAL SYMBOLS ARE FOR REPRESENTATION ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER COURSING, ETC.
- C. LOCATION FOR ADDRESS SIGNAGE TO BE INSTALLED AS REQUIRED AND APPROVED BY THE CITY OF RIVERSIDE, CA.
- D. ALL COPING WILL EITHER MATCH A COMPLEMENTARY TRIM OR ACCENT COLOR. OR MATCH THE SURROUNDING PREDOMINATE COLOR TO BLEND. GC TO REQUEST COPY OF THE COLOR ELEVATIONS FROM ARCHITECT IF NOT PROVIDED BY OWNER.
- E. ALL ROOFTOP EQUIPMENT TO BE SCREENED BY WALLS OR EQUIPMENT SCREENS.
- F. GC TO CONFIRM EXTERIOR MATERIALS AND FINISHES WITH OWNER.

MATERIAL LEGEND:

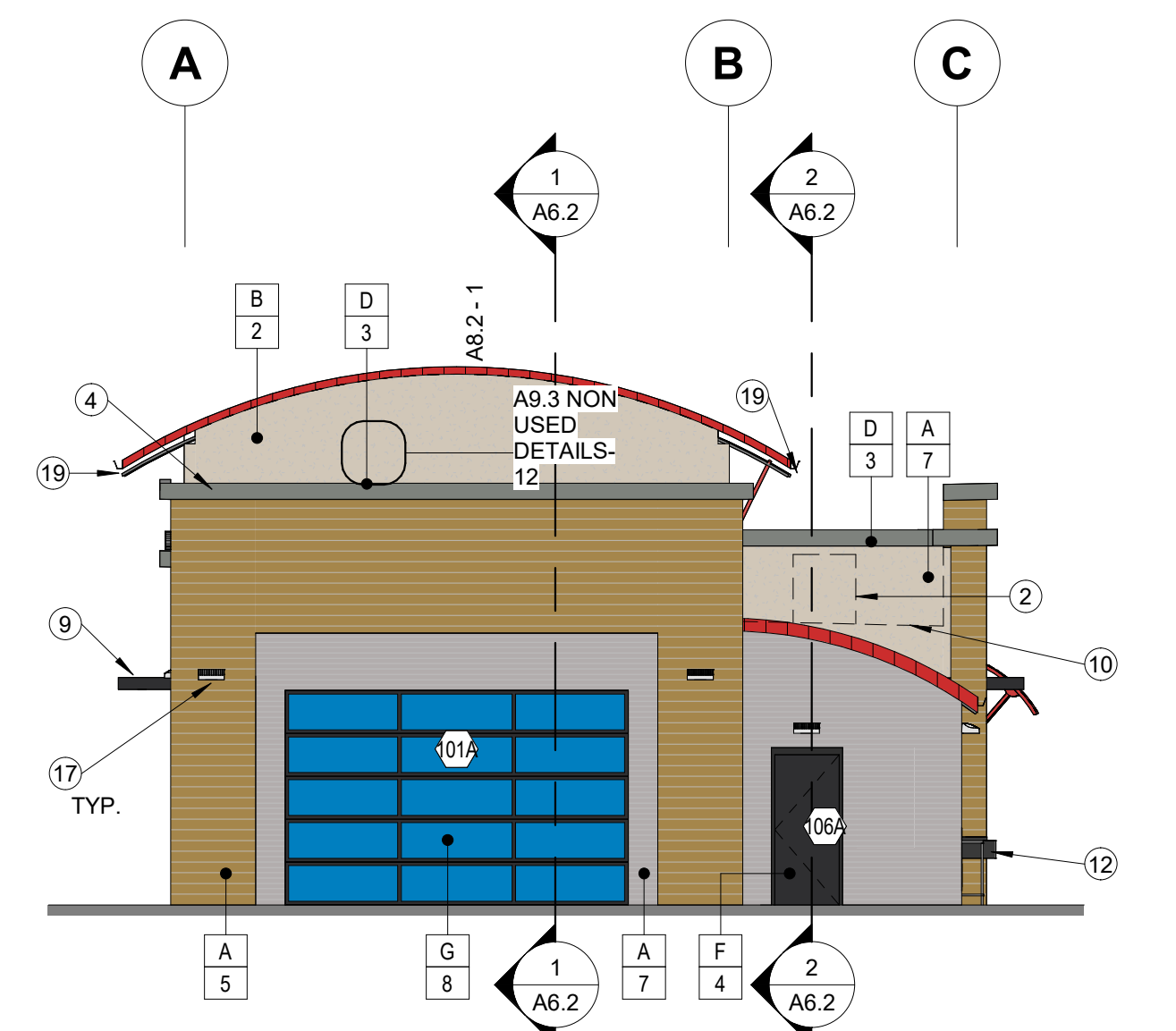
- | | |
|---|--|
| A | HARDIE BOARD SIDING |
| B | STUCCO OVER 8"x16" CMU |
| C | SINGLE-PLY MEMBRANE ROOFING WITH SURFACE APPLIED RIBBING FOR STANDING SEAM APPEARANCE. COLOR OF MEMBRANE AND RIBBING TO MATCH DARK BRONZE OR SIMILAR. VERIFY FINAL COLOR WITH OWNER. |
| D | METAL |
| E | METAL AWNING |
| F | ALUMINUM WINDOW FRAME |
| G | CLEAR GLAZING |
| H | BRICK VENEER |

COLOR LEGEND:

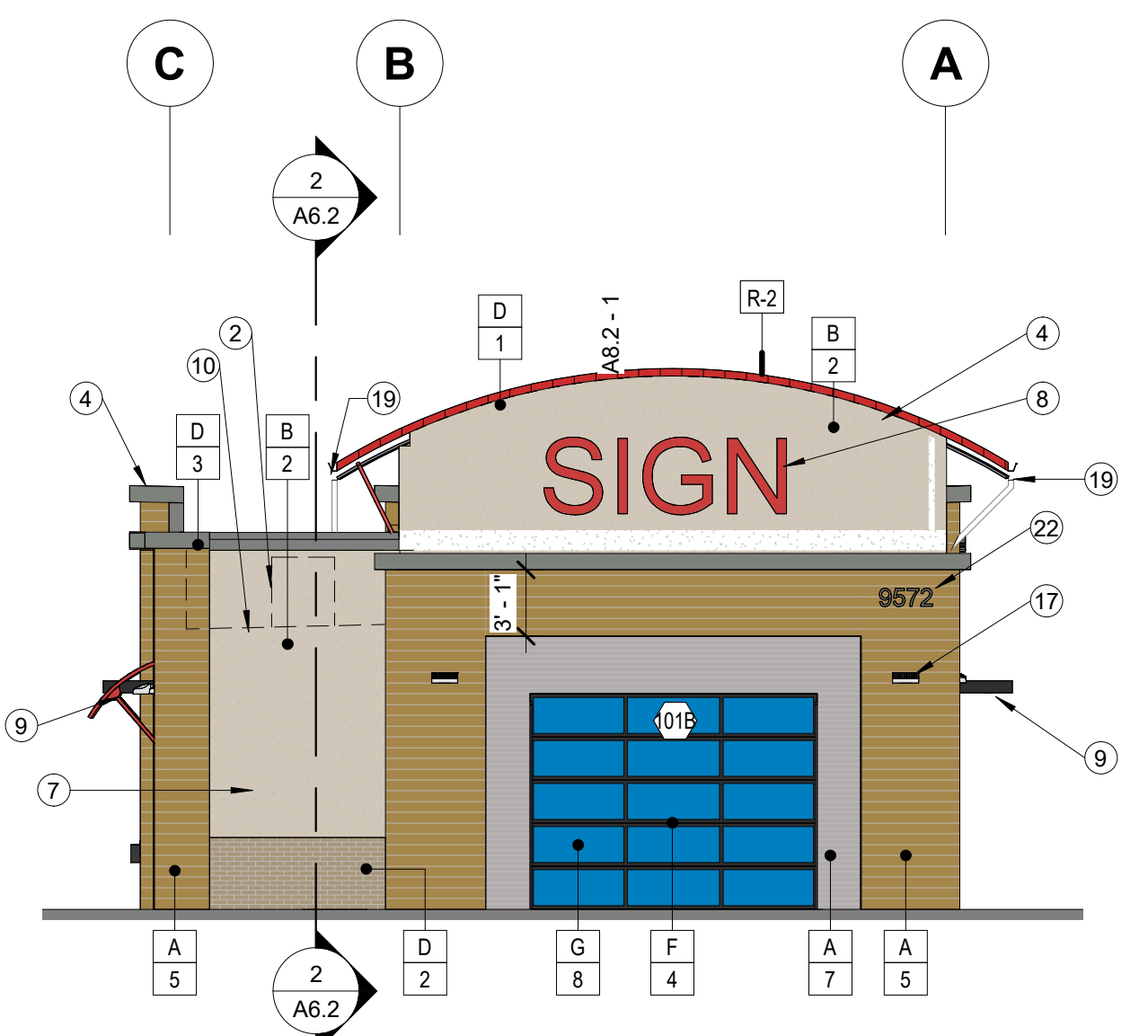
- | | |
|---|---|
| 1 | PAINT, BENJAMIN MOORE - RUBY RED 2001-01 |
| 2 | PAINT, SHERWIN WILLIAMS - ACCESSIBLE BEIGE 7036 |
| 3 | PAINT, SHERWIN WILLIAMS - BROWN TBD |
| 4 | PAINT, SHERWIN WILLIAMS - CAVIAR 6990 |
| 5 | FINISH, HARDIE BOARD SIDING - KAHKI BROWN |
| 6 | FINISH, GENERAL SHALE - PEPPERMILL |
| 7 | FINISH, HARDIE BOARD SIDING - NIGHT GREY |
| 8 | FINISH, VITRO GLASS SOLARBAN 70XL - CLEAR GLASS |

SHEET NOTES:

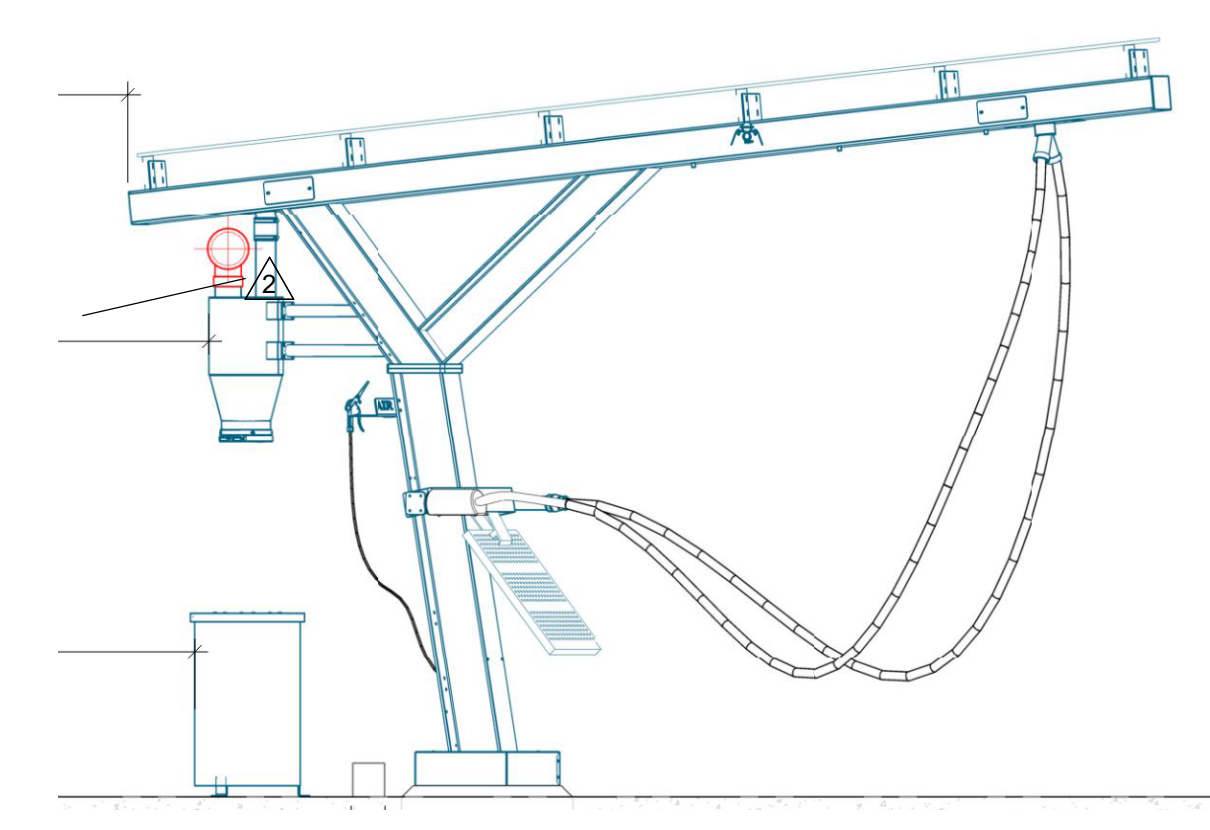
1. VENDING MACHINE BEYOND, OWNER FURNISHED AND OWNER INSTALLED. G.C. TO VERIFY SIZE OF EQUIPMENT WITH OWNER PRIOR TO CONSTRUCTING OPENING.
2. SCREENED MECHANICAL EQUIPMENT, C/W MECHANICAL DRAWINGS. RE: WALL SECTION
3. EXTERIOR LIGHT FIXTURE, MOUNT BOTTOM OF FIXTURE AT 8'-0" A.F.F., RE: ELECTRICAL
4. METAL FLASHING/COPING, RE: COPING DETAILS, G.C TO VERIFY FINAL PAINT COLOR WITH OWNER.
5. MECHANICAL LOUVER, C/W MECHANICAL DRAWINGS. GC TO PREVIEW WITH CARWASH EQUIPMENT PROVIDER CLEARANCE IN/OVER LOUVERS. PAINT TO MATCH ADJACENT SURFACE
6. SERVICE SINK, C/W PLUMBING DRAWINGS.
7. ELECTRICAL SERVICE ENTRANCE SECTION (SES), PAINT.
8. SIGN PACKAGE BY OTHERS AND APPROVED UNDER SEPARATE PERMIT. COORDINATE POWER REQUIREMENTS AND BLOCKING IF REQ'D.
9. CANOPY, RE: DETAILS
10. HIDDEN LINE OF ROOF BEYOND.
11. ROOF OVERFLOW DRAIN DISCHARGE, RE: A7.3 - 11 & 12 AND PLUMBING.
12. HI-LO DRINKING FOUNTAINS RE: PLUMBING AND DETAILS A7.1-16.
13. PAINTED LOGO, COORDINATE SPECIFICS WITH OWNER.
14. KNOX BOX - INSTALL IN LOCATION DIRECTED BY FIRE DEPARTMENT.
15. CONTROL JOINT. SPACE EQUALLY WITHIN BAYS, ALIGN WITH PILASTERS, AND/OR ALIGN WITH OPENINGS.
16. EXTERIOR LIGHT FIXTURE, MOUNT BOTTOM OF FIXTURE AT 10'-6" A.F.F., RE: ELECTRICAL.
17. EXTERIOR LIGHT FIXTURE, MOUNT BOTTOM OF FIXTURE AT 9'-6" A.F.F., RE: ELECTRICAL.
18. EXTERIOR LIGHT FIXTURE, MOUNT BOTTOM OF FIXTURE AT 7'-8" A.F.F., RE: ELECTRICAL.
19. GUTTER AND DOWNSPOUT.
20. BREAK METAL, RE: DETAILS. MATCH COLOR AND FINISH OF ADJACENT METAL PANEL.
21. ELECTRICAL PANELS RE: ELECTRICAL
22. PIN MOUNTED ADDRESS SIGNAGE BY OWNER, MIN. 10-INCHES TALL



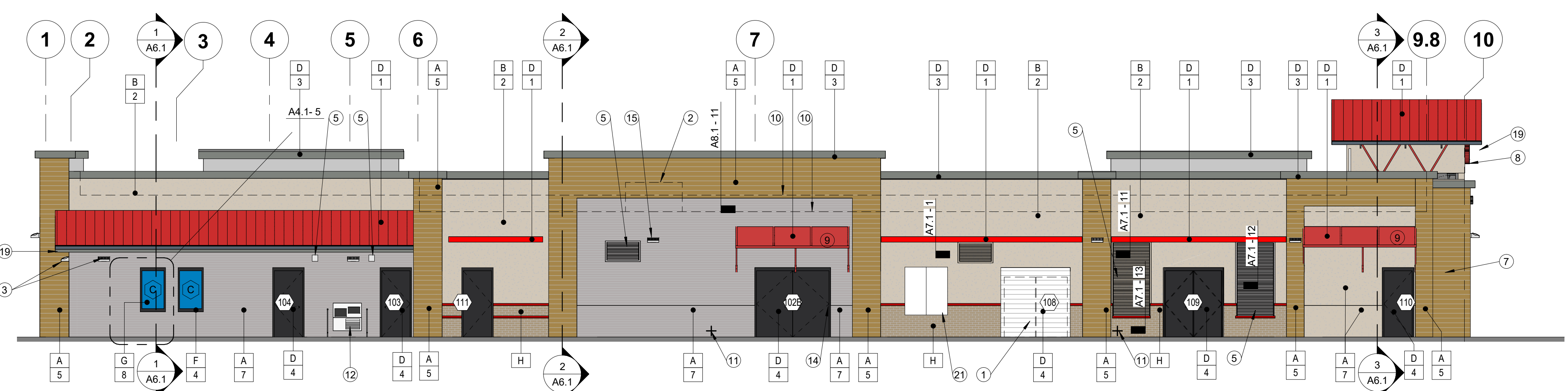
2 NORTH ELEVATION
 1/8" = 1'-0"



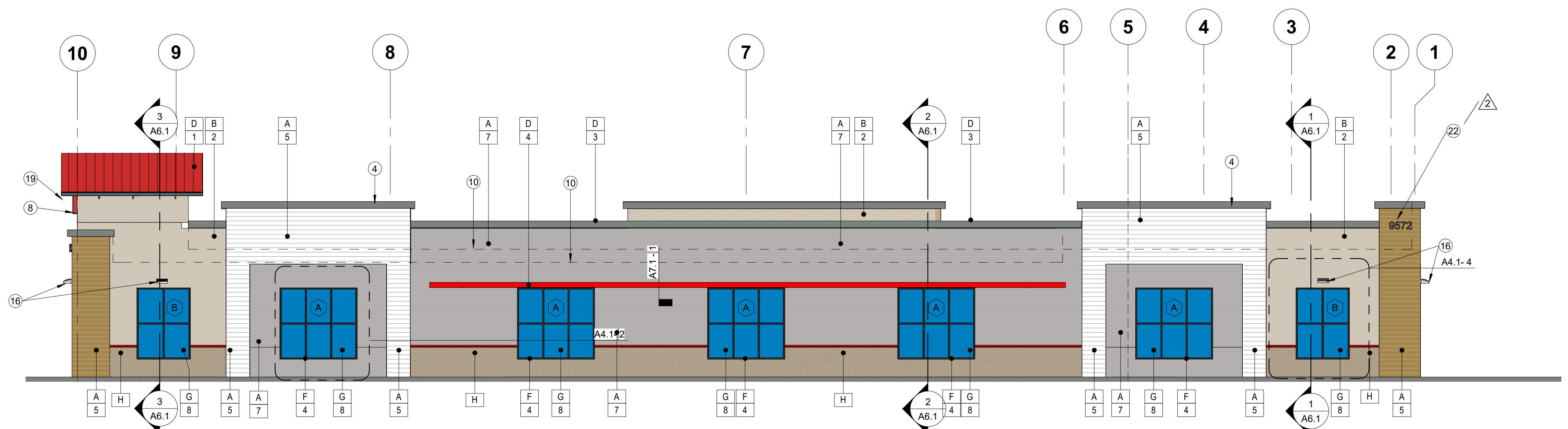
1 SOUTH ELEVATION
 1/8" = 1'-0"



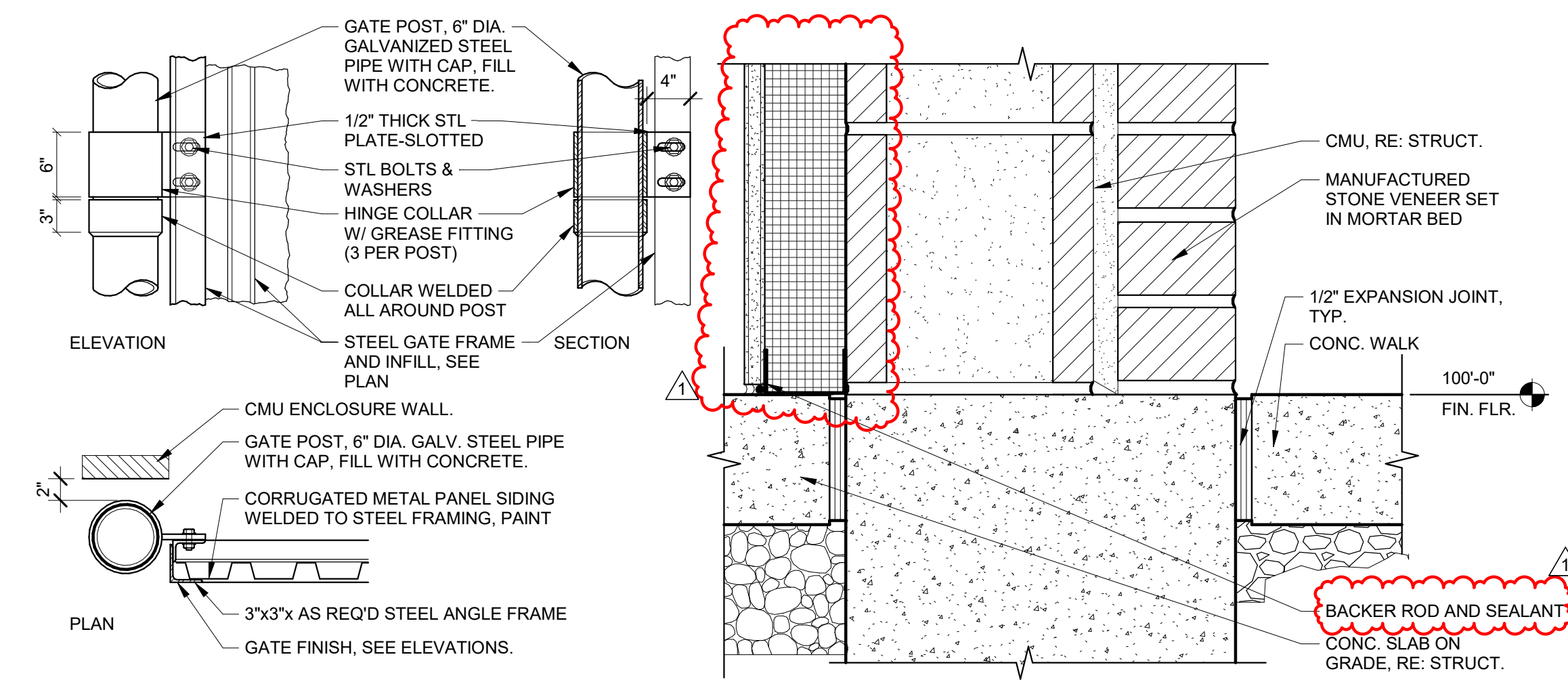
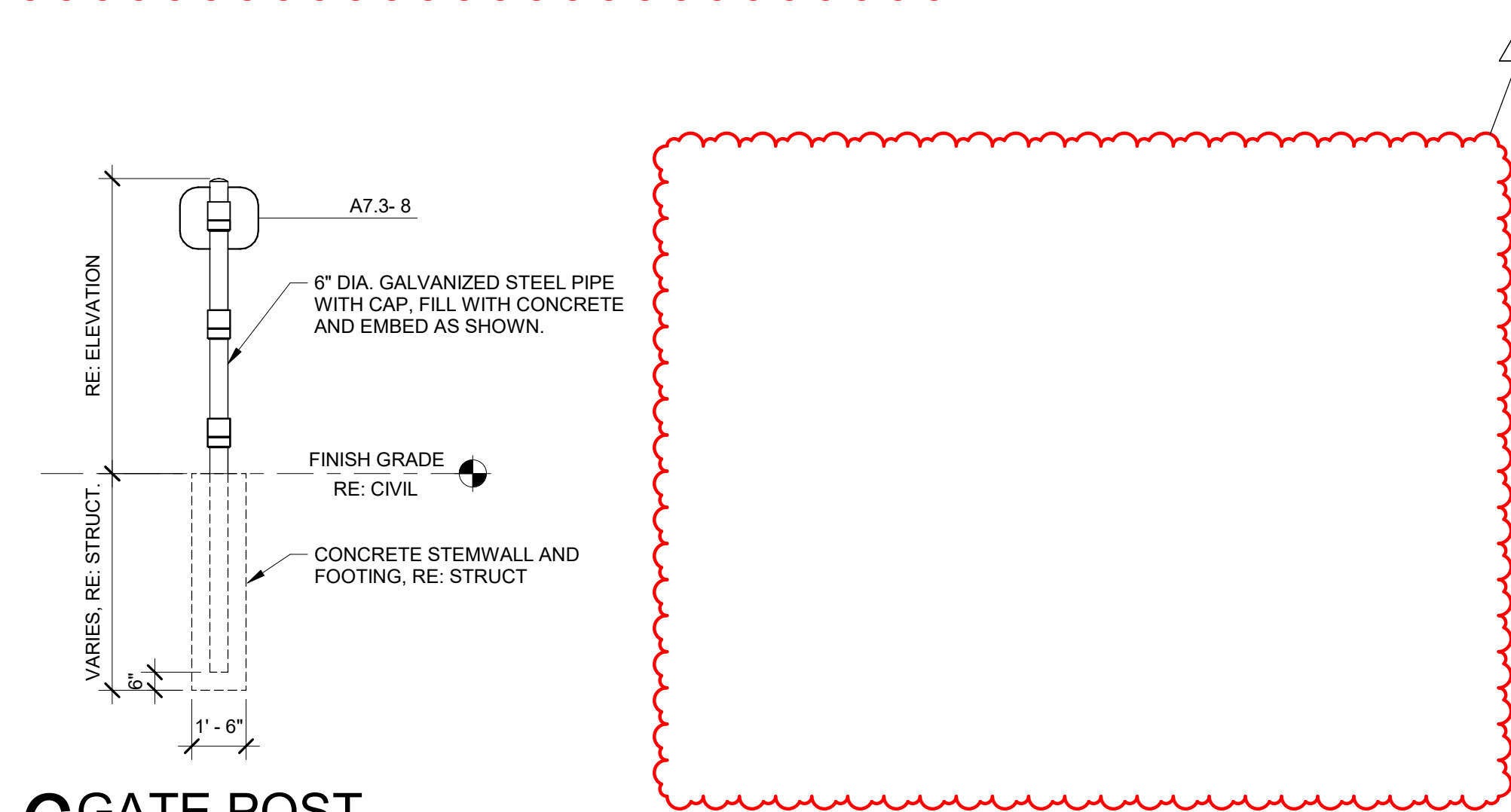
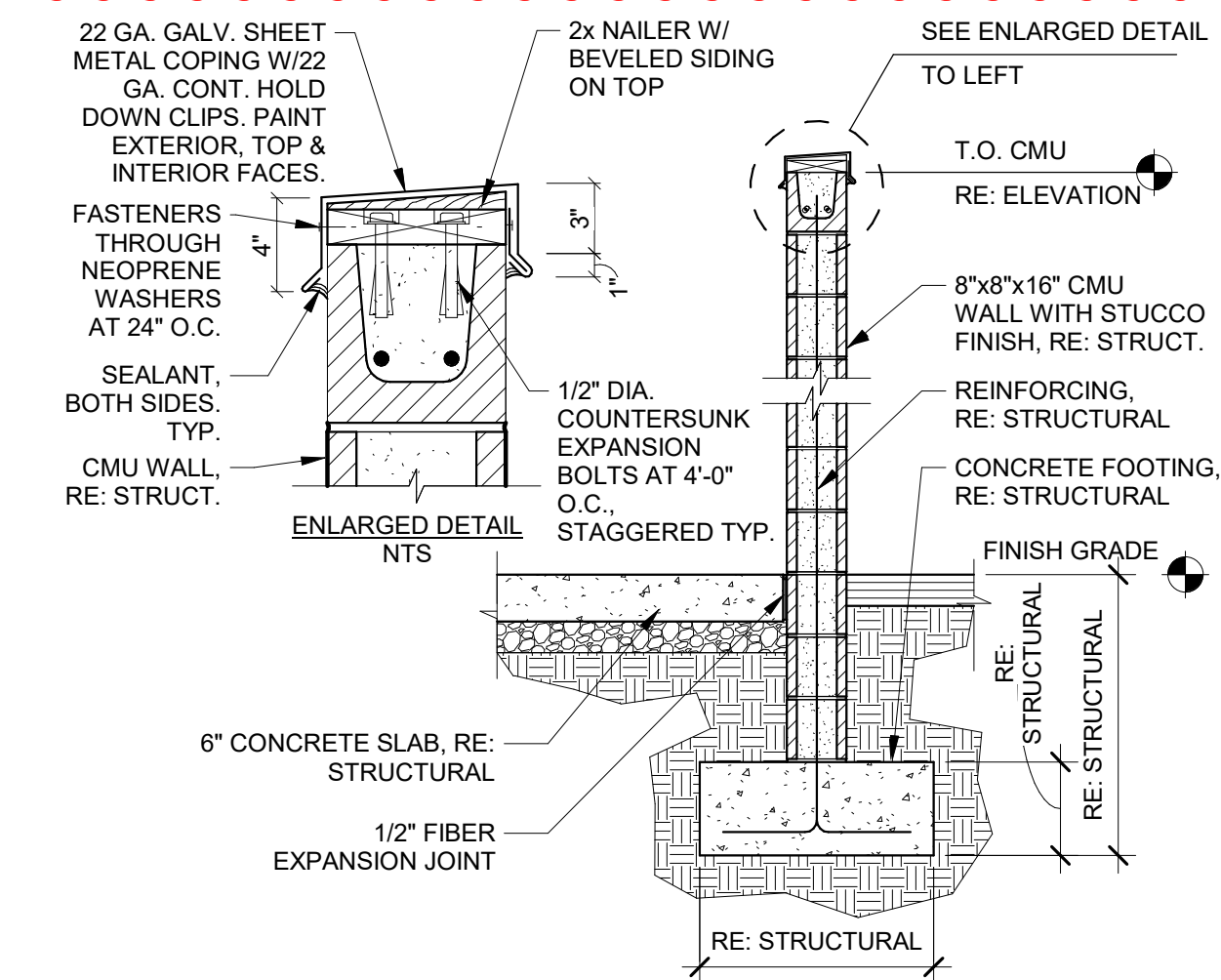
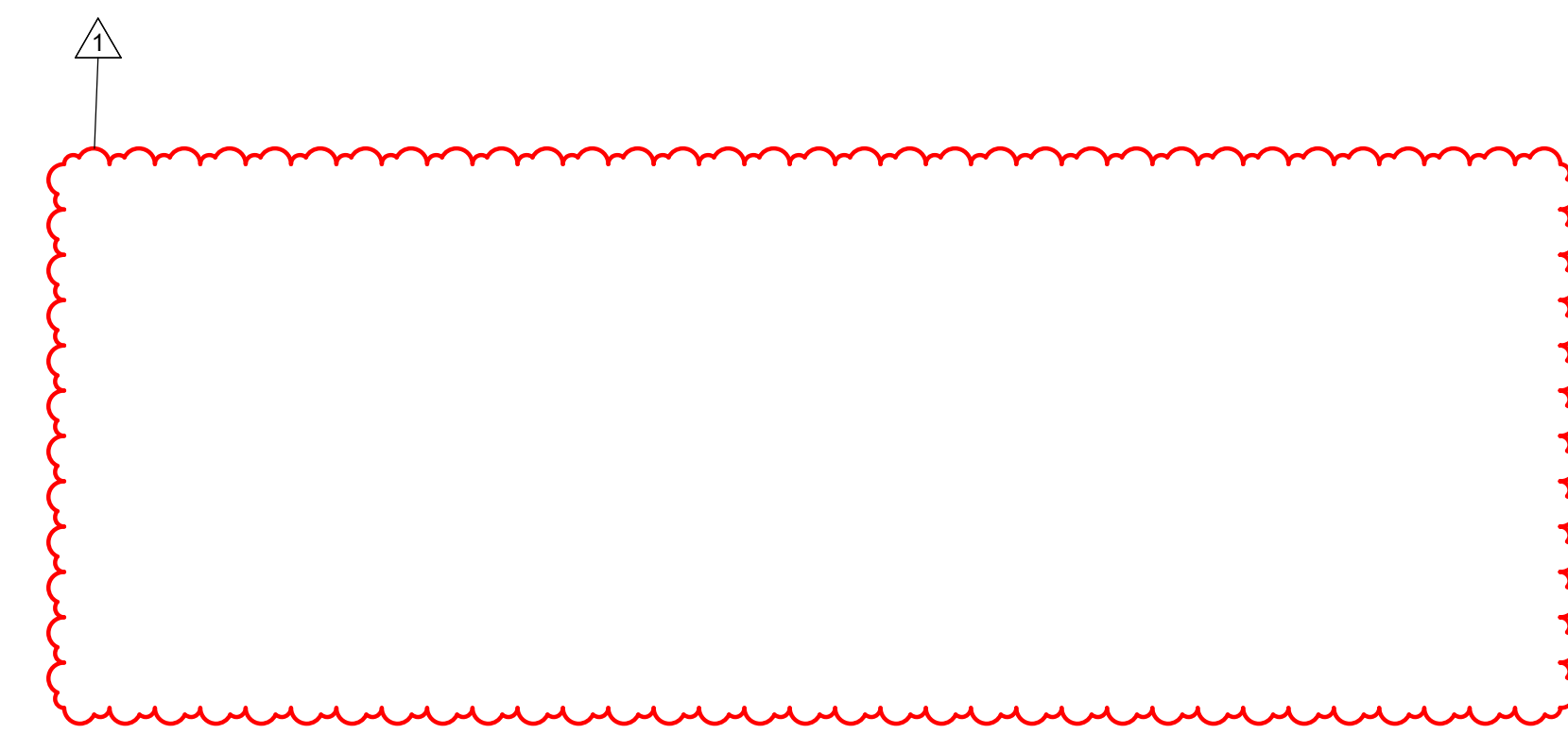
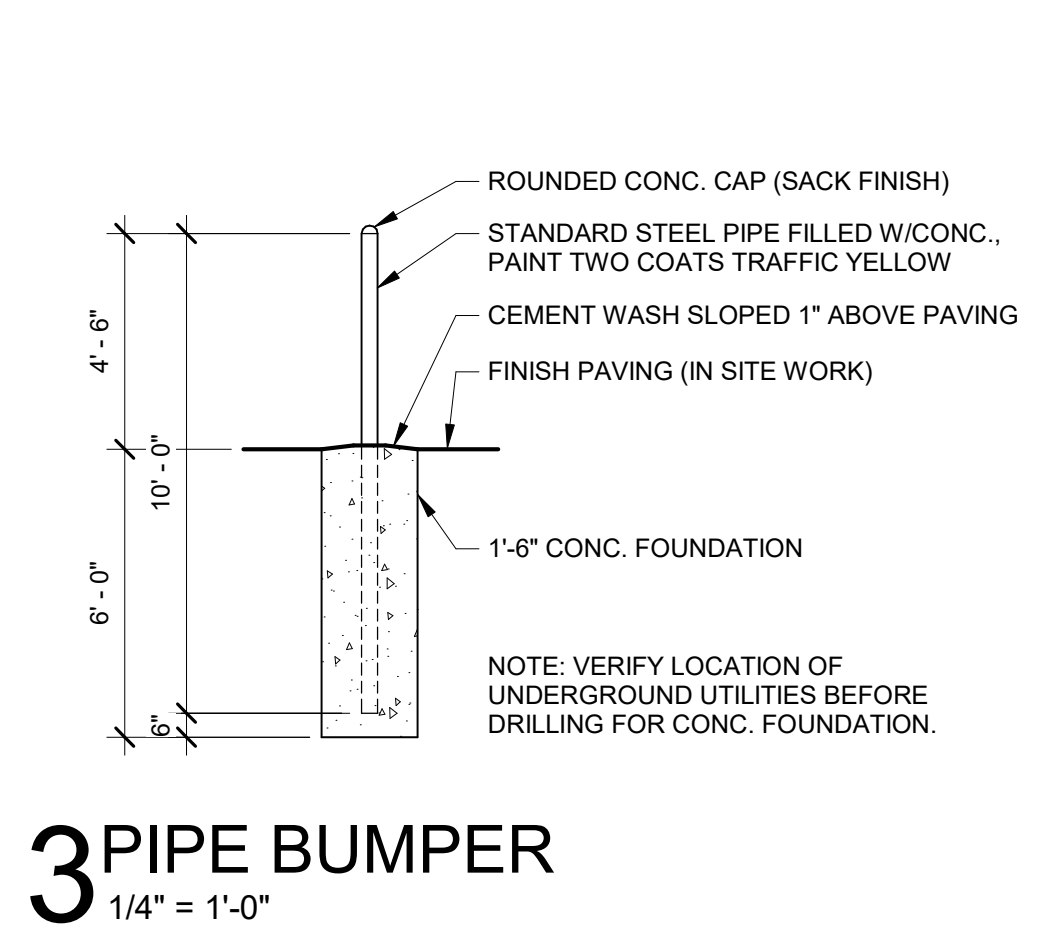
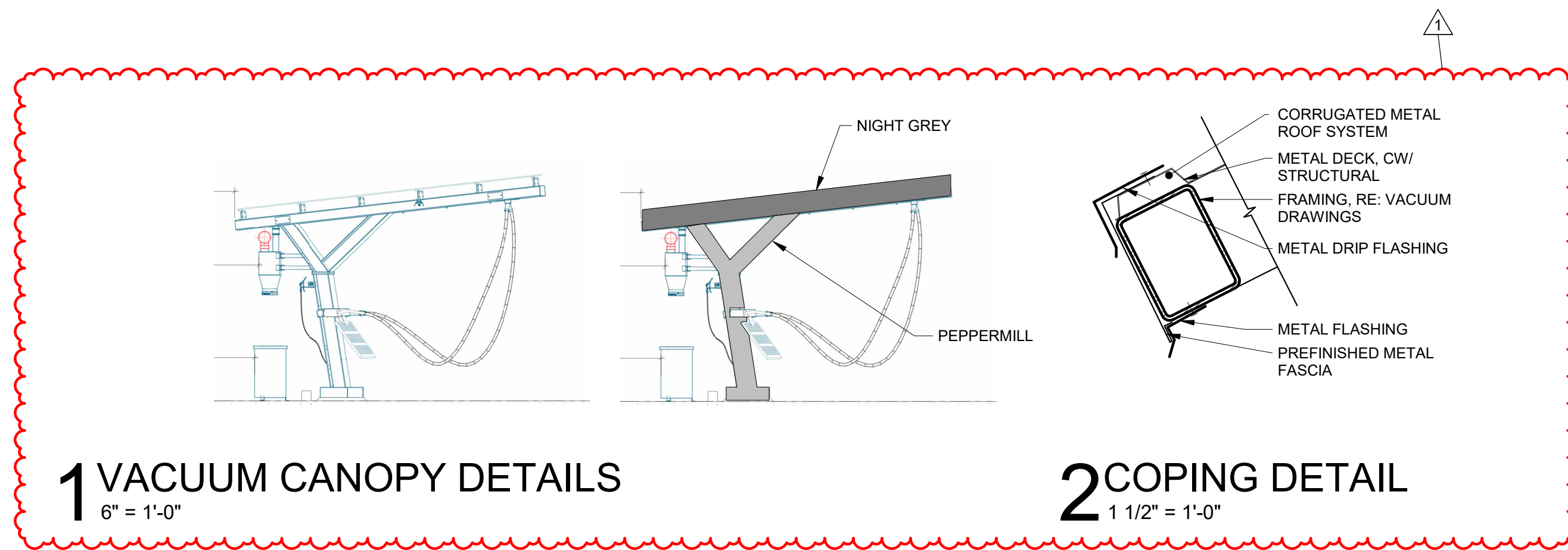
VACUUM ELEVATION



3 WEST ELEVATION
 1/8" = 1'-0"



4 EAST ELEVATION
 1/8" = 1'-0"

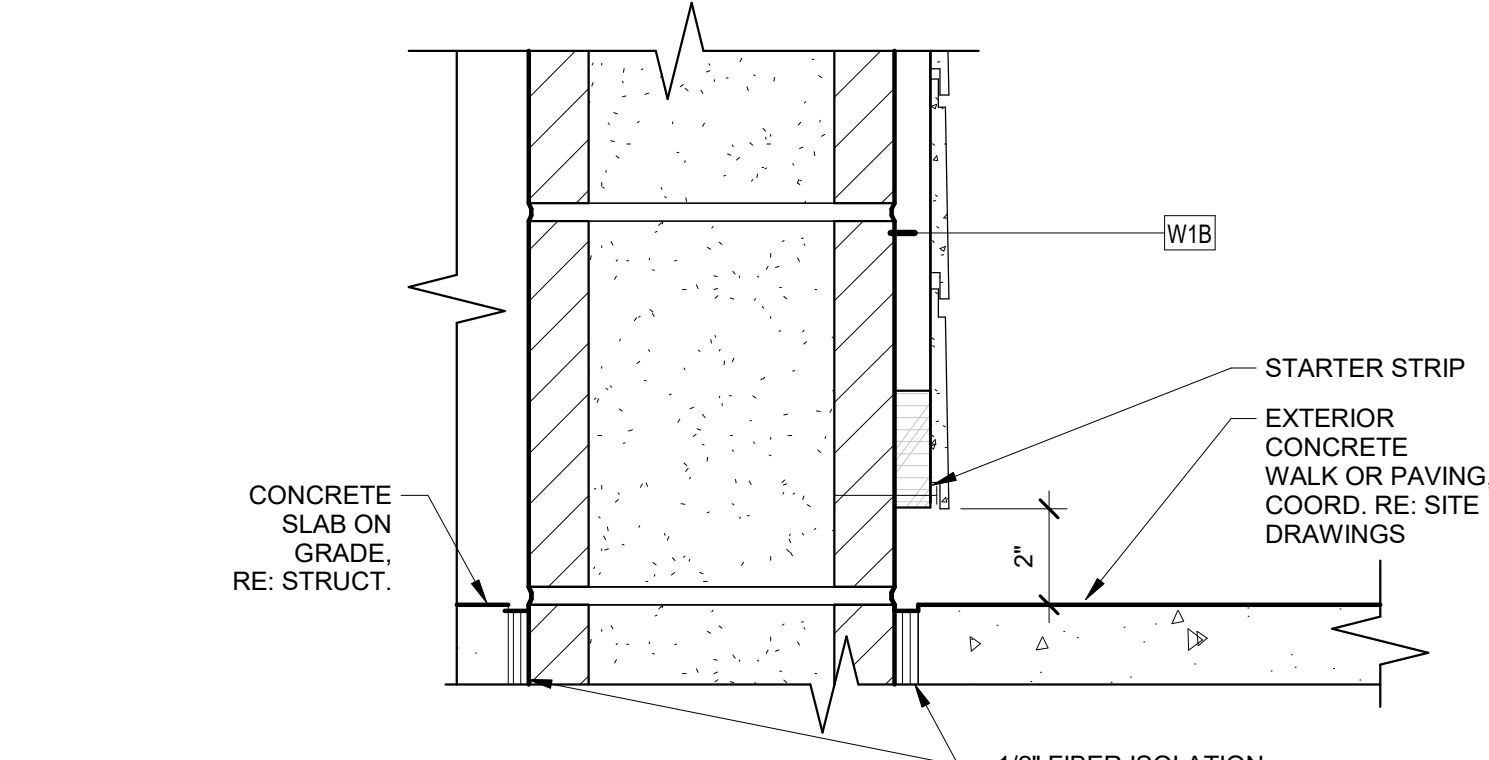
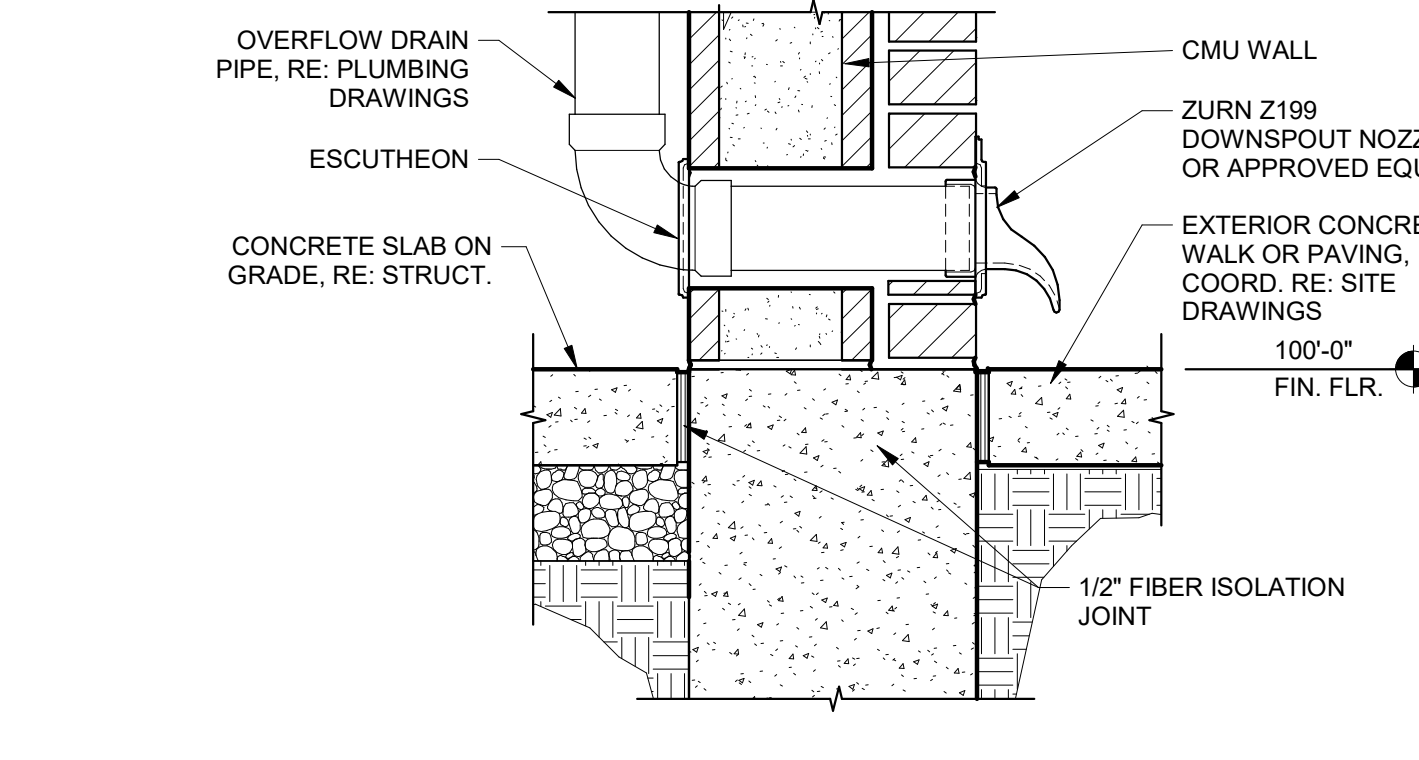
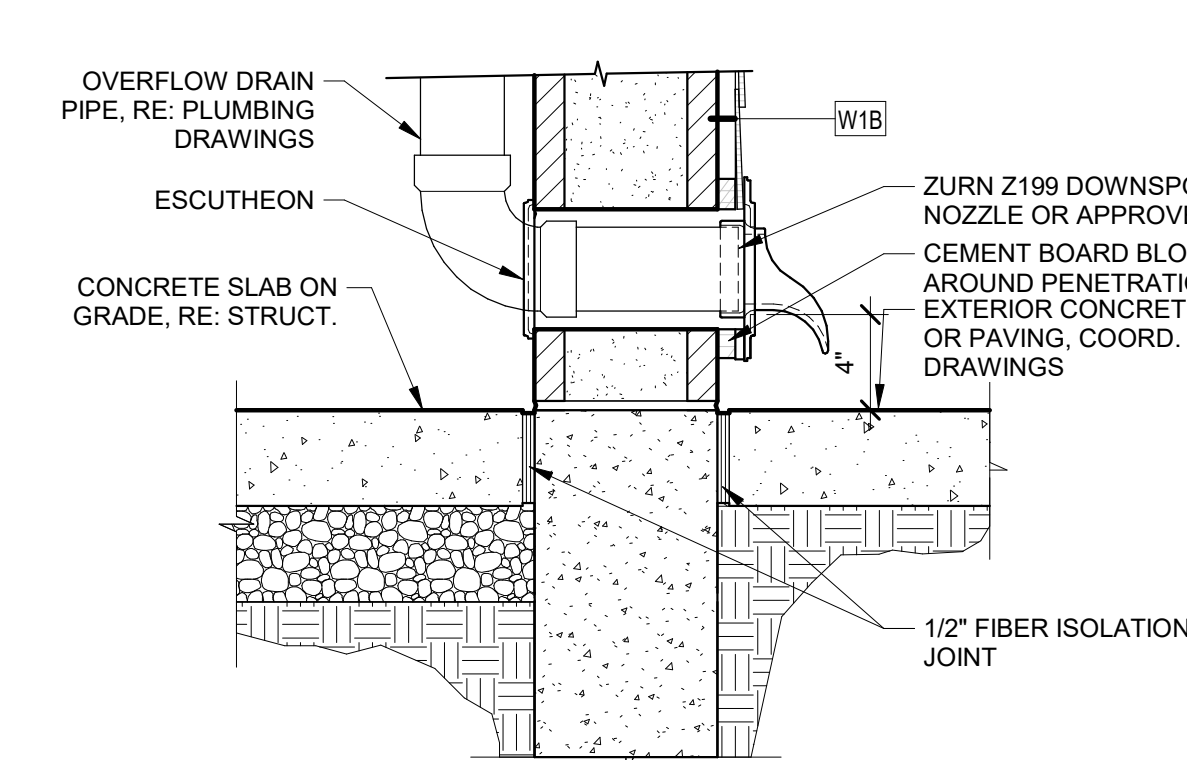
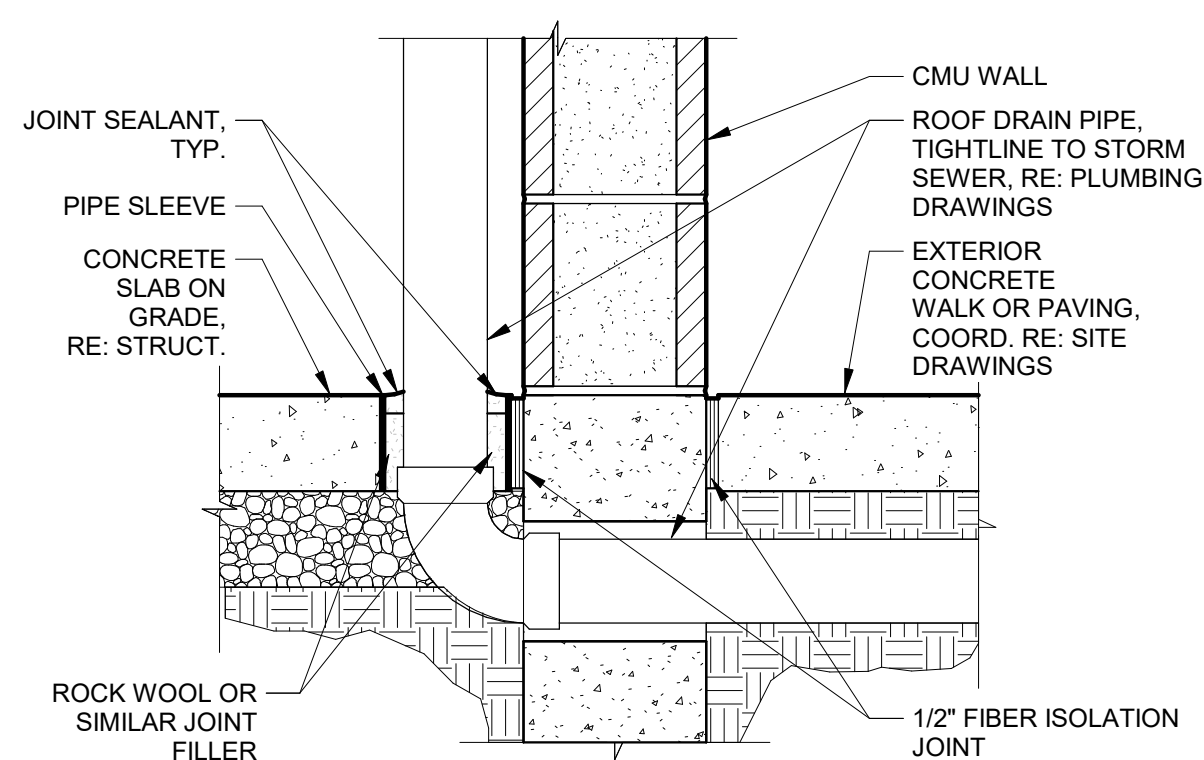


5 TRASH ENCLOSURE SECTION
1/2" = 1'-0"

6 GATE POST
1/4" = 1'-0"

8 GATE DETAILS
1" = 1'-0"

9 BRICK BASE
3" = 1'-0"

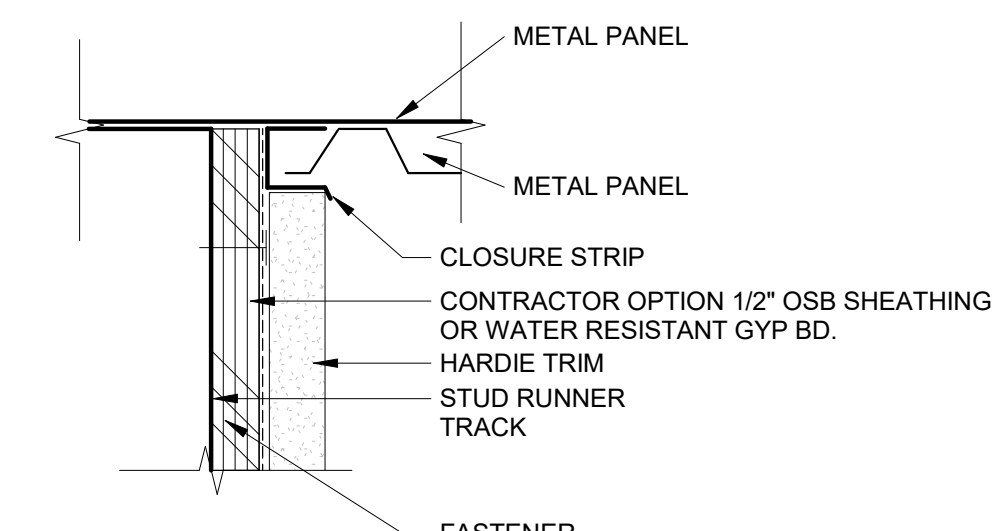
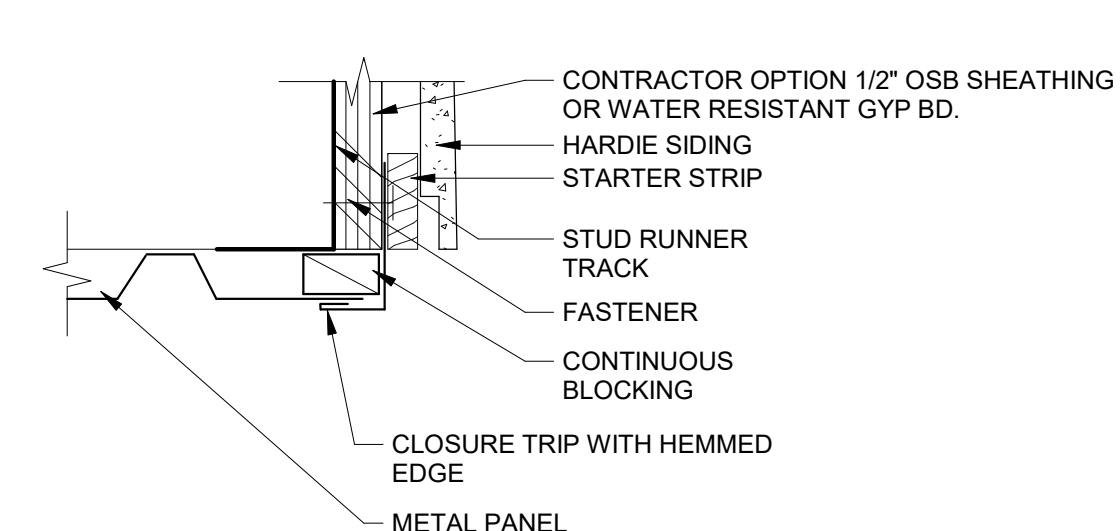


10 ROOF DRAIN
1 1/2" = 1'-0"

11 OVERFLOW DISCHARGE
1 1/2" = 1'-0"

12 OVERFLOW DISCHARGE @ BRICK
1 1/2" = 1'-0"

13 HARDIE PLANK AT GRADE
3" = 1'-0"



14 DRIP EDGE AT HARDIE
6" = 1'-0"

15 INSIDE CORNER
6" = 1'-0"

Following images needed:
 1. Please include the trash enclosure elevations sheet.
 2. Bollards with colors
 3. Pay stations with colors
 4. Stop bars with colors
 5. Bicycle rack with colors
 6. Vacuum equipment artwork/wrap
 7. Any other exterior elements that have not yet been mentioned.



JESSE GOLDMAN, ARCHITECT
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QUICK N CLEAN CAR WASH
 PARKER, CO
 2686 S COLORADO BLVD, SUITE 525
 DENVER, CO 80222
 (303) 962-9164
 www.cshoa.com

CSHOA
 9572 TWENTY MILE ROAD

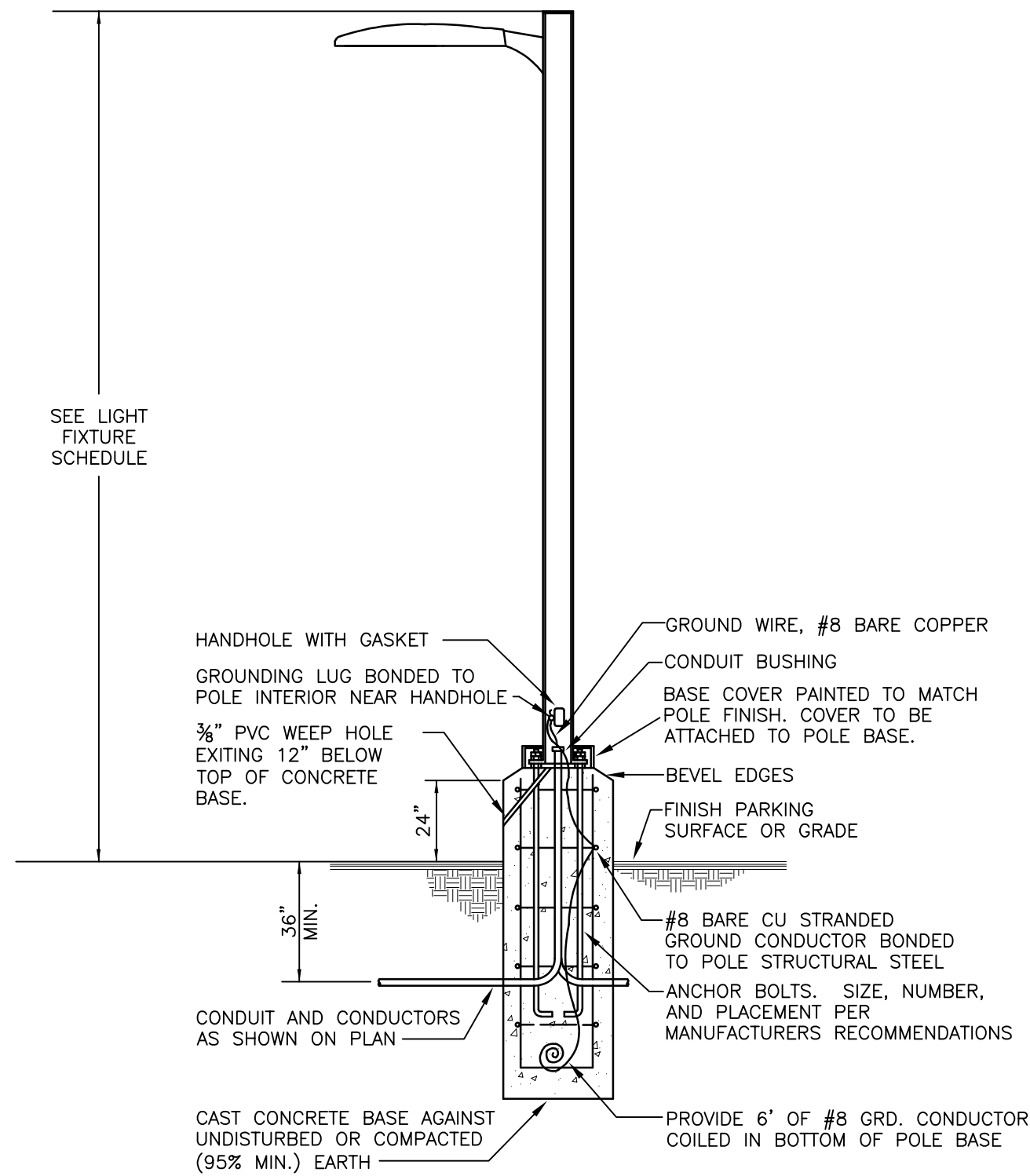
PROJECT 20037.000	DATE 12-19-2023
DRAWN RJ	CHECKED WRS

REVISED
1 AGENCY COMMENTS 12/19/2023

SHEET TITLE
DETAILS

SHEET

A7.3
 ORIGINAL SHEET SIZE
 24" x 36"

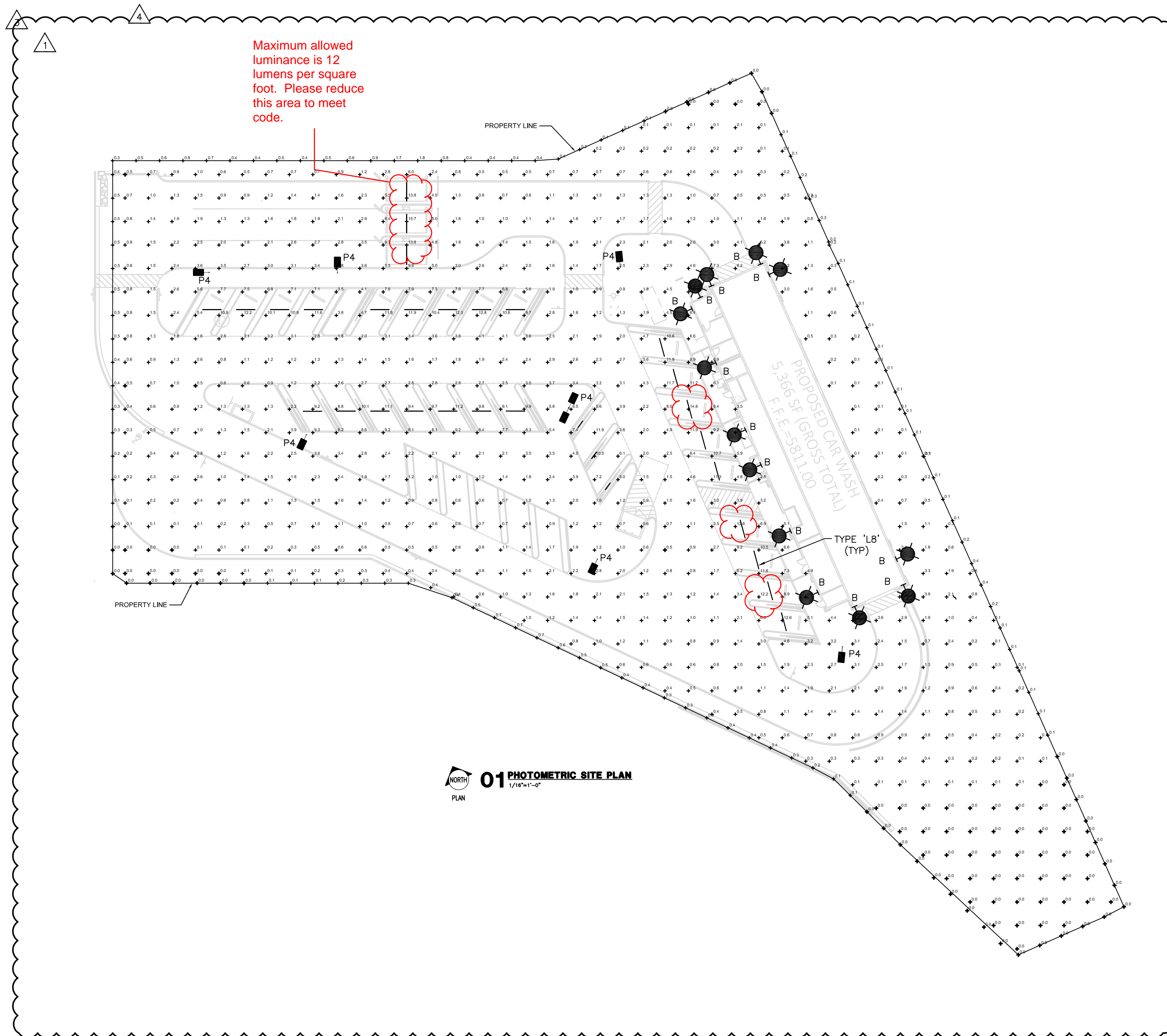


NOTE: DIAMETER & DEPTH OF CONCRETE BASE TO BE DETERMINED ON A REGIONAL BASIS. STRUCTURAL ENGINEER SHALL SIZE REBAR AND CONCRETE BASED ON REGIONAL WEATHER AND SOILS CONDITIONS.

NOTE: CONTRACTOR TO INSTALL NON-SHRINK MOTAR GROUT BETWEEN POLE BASE PLATE AND CONCRETE FOUNDATION AS REQUIRED AND SPECIFIED BY POLE MANUFACTURER.

02 POLE BASE DETAIL

NTS



Maximum allowed luminance is 12 lumens per square foot. Please reduce this area to meet code.

Need to reduce lighting as maximum permitted is 12 lumens per square foot.

LIGHTING CALCULATION SUMMARY

AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	1.9	15.7	0.5	3.8:1	31.4:1
PROPERTY LINE	.2	1.8	0.0	NA	NA
SITE	2.3	15.7	0.0	NA	NA

Max to min ration permitted at 6:1

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMPS & BALLAST	MOUNTING	VOLTS	WATTS	REMARKS
P4	SITE POLE	DSXO LED P4 40K T3M MVOLT / SSS 20' W/2' BASE	LED 10256 LUMENS	POLE MOUNT	277	92	
B	EXTERIOR DECORATIVE WALL MOUNT	MCGRAW-EDISON IMPACT ELITE LED ISW-PA1-740-U-T3-BK	LED 2731 LUMENS	WALL MOUNT	277	20	
B1	NOT USED	-	-	-	-	-	
W3	NOT USED	-	-	-	-	-	
L8	WET LOCATION LED STRIP	G&G LED: WPX8-SO-40K	LED 7600 LUMENS	SURFACE	277	50	
H	NOT USED	-	-	-	-	-	

THIS SHEET IS PART OF THE CONSTRUCTION DOCUMENTS. OTHER SHEETS INCLUDING SPECIFICATIONS APPLY. THAT SHOWN HEREON IS SCHEMATIC IN NATURE AND NOT TO BE USED AS A SHOP DRAWING; THEREFORE, INCLUDE ALL MODIFICATIONS REQUIRED TO CONFORM TO SITE CONDITIONS AND THE EQUIPMENT AND MATERIAL USED. VERIFY LOCATIONS AND DIMENSIONS OF ALL ARCHITECTURAL AND STRUCTURAL ELEMENTS AS SHOWN ON THEIR RESPECTIVE DOCUMENTS. THESE ELEMENTS ARE SHOWN FOR REFERENCE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE ELEMENTS. NO DESIGN RESPONSIBILITY IS ASSUMED FOR ANY PORTION OF THE WORK THAT THE PROFESSIONAL ENGINEER HAS NOT SIGNED AND SEALED PER STATE/PROVINCE REQUIREMENTS.

Dialectic

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 2686 S. COLORADO BLVD.,
 DENVER, CO 80222
 (303) 962-9164

PARKER, CO

**QNC CAR WASH
 PARKER AND PINE**

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2686 S. COLORADO BLVD., STE 525
 DENVER, CO 80222
 (303) 962-9164
 www.csjqa.com

PROJECT	DATE
20037	08-19-2020
DRAWN	CHECKED
AAD	EKZ

REVISED
 1-CITY COMMENTS 05/13/21
 2-OWNER UPDATE 05/02/22
 3-CITY COMMENTS 10/20/22
 4-OWNER UPDATE 05/06/25

SHEET TITLE
**PHOTOMETRIC
 SITE PLAN**

SHEET

ES1.0

ORIGINAL SHEET SIZE
 24" x 36"



May 08, 2025

To whom it may concern:

We are changing the electrical EOR on this project from Adrian Franks license # 46852 due to departure from Dialectic to Josh Ibarra license # 56687 of good standing in the State of Colorado.

Respectfully Submitted,

Bo Osborn
Project Manager



REVISION BULLETIN

Recipient:

Name: Lily Valentine
Email: lily.valentine@cshqa.com
Phone: (720) 239-7792

Company: Club Carwash
24 Rd & G Rd
Grand Junction, 81505

Subject: Delta 4 Revision Narrative

Sender:

Name: Bo Osborn
Email: bo.osborn@dialecticeng.com
Phone: (816) 997-9575

Project Name: Quick N Clean Photometrics-
Parker, CO
Project #: 01202058.05
Date: May 08, 2025

Comments:

Sheet	Description	Summary
ES1.0	Photometric Site Plan	<p>Removed 3 lights from building.</p> <p>Revised all building lights to type B per site photo.</p> <p>Revised vacuum light L2 to L8 and changed location of light under canopy.</p> <p>Removed lights that turned into parking spots</p> <p>Re-calculated photometric per updated lights, revised lighting calculation summary.</p> <p>Removed light fixtures from light fixture schedule.</p> <p>Revised type B and L8 in light fixture schedule.</p>
ES1.1	Exterior Lighting Spec. Sheets	<p>Removed light fixture specification sheets that didn't apply to site conditions.</p> <p>Revised light fixture specifications sheets for light type B per site conditions.</p>