



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Casey Adragna, Adragna Architecture
FROM: Amber Wood Hicken, Planner I
DATE: 5/5/25
SUBJECT: Douglas 234 Multitenant, Site Plan
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Amber Wood Hicken

EMAIL: ahicken@parkerco.gov

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not send the application for referral without with this naming convention.
Example: "02" or "Second Submittal"

Site Plan and Project Details

1. Please see the attached redlines for all planning comments.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

The following reviews in eTRAKiT have "Advisory Comments" or "Revisions Required:"

- Building
- Construction plans – environmental
- Construction plans – civil
- Douglas county planning
- Drainage report
- Fire life safety
- IREA (CORE)
- Parker water and sanitation
- Public service company of Colorado (Xcel)
- Site plan – civil
- Traffic impact study – civil

Please keep an eye out in eTRAKiT for the following reviews:

- Douglas county assessor's office

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

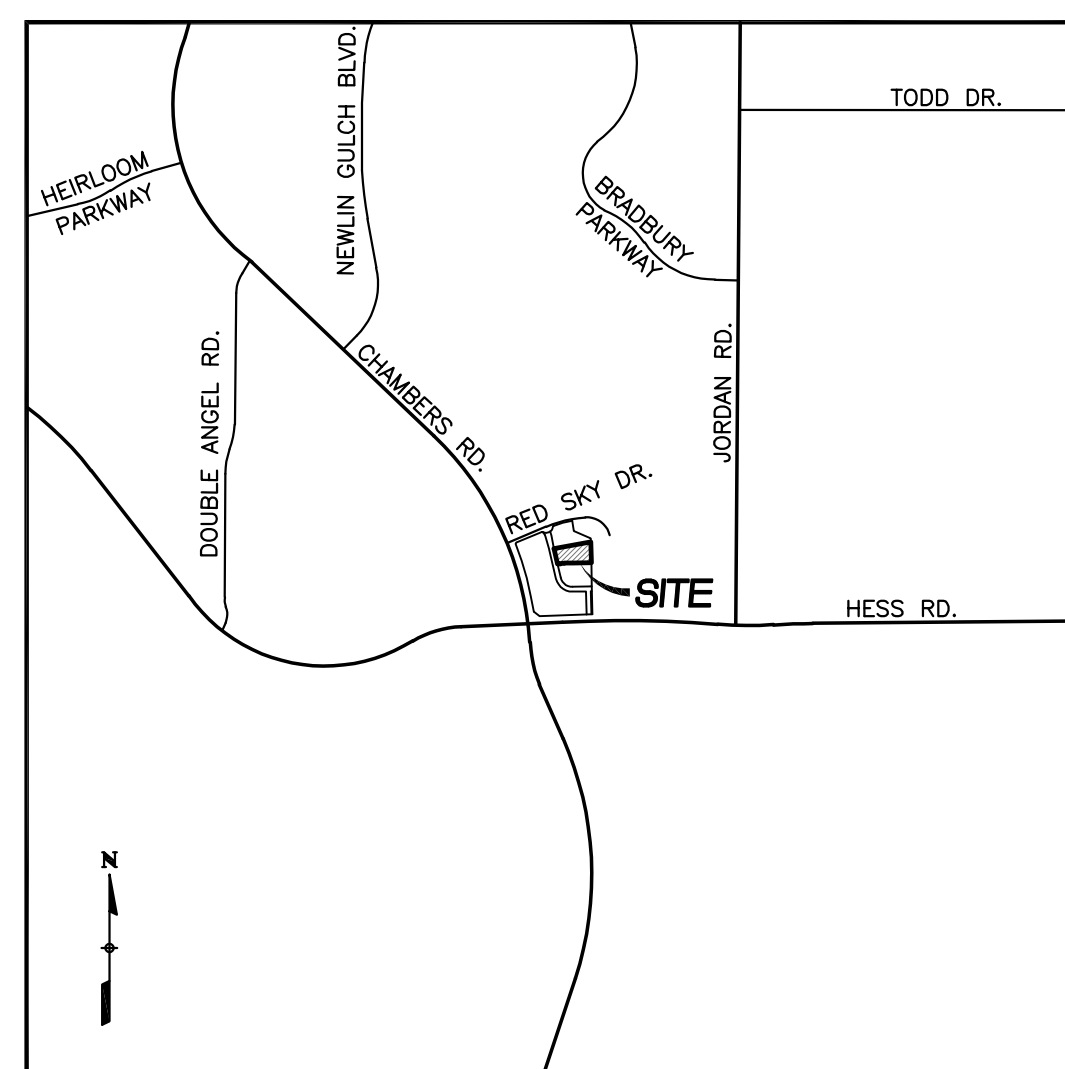
Property Owner

Date

Project Representative

Date

SITE PLAN
HORSE CREEK COMMERCIAL
 LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP
 SCALE: 1"=2000'

TOWN OF PARKER STANDARD NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
4. THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
7. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
8. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
9. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
10. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
11. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
12. PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
13. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
14. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
15. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
16. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
17. ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

LEGAL DESCRIPTION

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARINGS

THE WEST LINE OF 10B, DOUGLAS 235 FILING 6, AMENDMENT NO. 2 IS ASSUMED TO BEAR N13°07'09"W MONUMENTED AS SHOWN HEREON.

BENCHMARK

DOUGLAS COUNTY BENCHMARK: 1.080917
 DESCRIBED AS A 3.25 IN ALUMINUM CAP LOCATED AT THE SOUTH END OF AUBURN HILLS COMMUNITY PARK.
 ELEVATION = 6003.20 FEET (NAVD88)

TEMPORARY BENCHMARK (T.B.M.):
 DESCRIBED AS FOUND NAIL AND BRASS TAG, PLS 34850,
 LOCATED AT THE NORTHWEST CORNER OF LOT 10B, DOUGLAS 235 FILING 6, AMENDMENT NO. 2.
 ELEVATION = 6077.37 FEET

SHEET INDEX

- C1 COVER SHEET
- C2 EXISTING CONDITIONS MAP
- C3 SITE PLAN
- C4 GRADING PLAN
- C5 UTILITY PLAN
- C6 FIRETRUCK ACCESS PLAN
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS
- L3 LANDSCAPE IRRIGATION PLAN
- L4 LANDSCAPE IRRIGATION DETAILS
- LT1 SITE PHOTOMETRIC PLAN
- LT2 SITE LIGHTING CUTSHEETS
- A1 BUILDING ELEVATIONS
- A2 SITE DETAILS
- A3 BUILDING FLOOR PLAN

STATISTICAL INFORMATION

GROSS FLOOR AREA	15,877 S.F.	
GROSS PROJECT (SITE) AREA	1.57 ACRES (68,488 S.F.)	
NET PROJECT (SITE) AREA	1.57 ACRES (68,488 S.F.)	
HEIGHT OF STRUCTURES	35 FEET (1 STORY)	
ZONING:	PLANNED DEVELOPMENT (DOUGLAS 234)	
PROPOSED USE:	RETAIL	
BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT (WEST)	20 FEET	70.4 FEET
SIDE (NORTH)	16.5 FEET	24.8 FEET
SIDE (SOUTH)	49.5 FEET	39.0 FEET
REAR (EAST)	10 FEET	127.8 FEET
PARKING ANALYSIS	REQUIRED	PROVIDED
TOTAL PARKING	53 (1/300 SF)	54
STANDARD PARKING (9' x 18')	50	51
ADA PARKING	3	3
BICYCLE PARKING	3 (2/10,000 SF)	4
LAND USE AREAS		
GROUND COVERAGE BY STRUCTURES	15,877 S.F. (23.1%)	
GROUND COVERAGE BY OTHER IMPERVIOUS ELEMENTS	28,843 S.F. (42.1%)	
GROUND COVERAGE BY LANDSCAPING	23,768 S.F. (34.7%)	

note - When used to calculate the maximum permitted height of a building, fence, or sign, grade means the average of the finished ground level measured at the center of each walls of the building.

add max height per PD - 60'

general retail over 10,000sf requires 1 space per 500 sf NLA

10' req

PLANNING COMMISSION APPROVAL

THIS SITE PLAN APPLICATION COMPRISED OF 8 SHEETS IS APPROVED BY THE TOWN OF PARKER PLANNING COMMISSION ON:

BY: _____
 TITLE: _____

OWNER/DEVELOPER

VENTANA CAPITAL
 8678 CONCORD CENTER DR, SUITE 200
 ENGLEWOOD, CO 80112
 720-703-9036
 CONTACT: DALTON HORAN

ARCHITECT

ADRAGNA ARCHITECTURE + DEVELOPMENT
 8695 THUNDERBIRD CIRCLE
 PARKER, CO 80134
 719-244-4023
 CONTACT: CASEY ADRAGNA

CIVIL ENGINEER/SURVEYOR

VERMILION PEAK ENGINEERING
 1745 SHEA CENTER DRIVE, 4TH FLOOR
 HIGHLANDS RANCH, CO 80129
 720-402-6070
 CONTACT: BRIAN KROMBEIN, PE, PLS

LANDSCAPE ARCHITECT

PLANSAPES DESIGN GROUP
 970-988-5301
 CONTACT: ROB MOLLOY

COVER SHEET
 DOUGAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: FEBRUARY 12, 2025
 SHEET C1

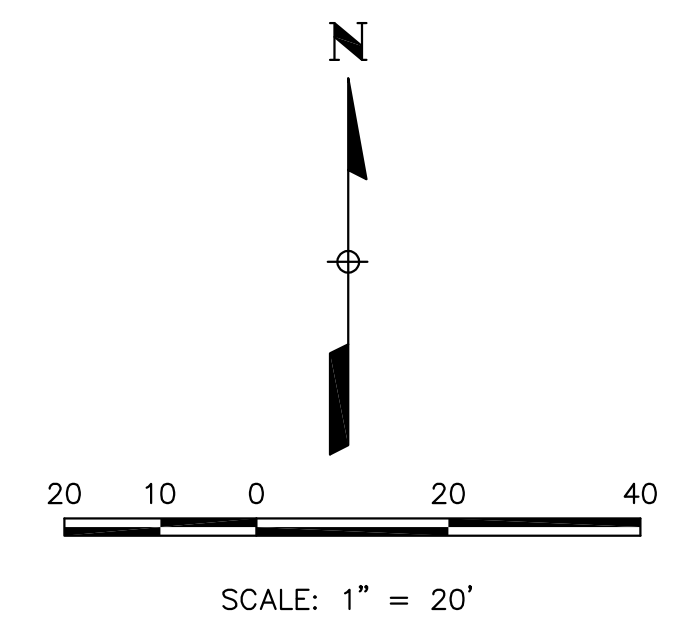
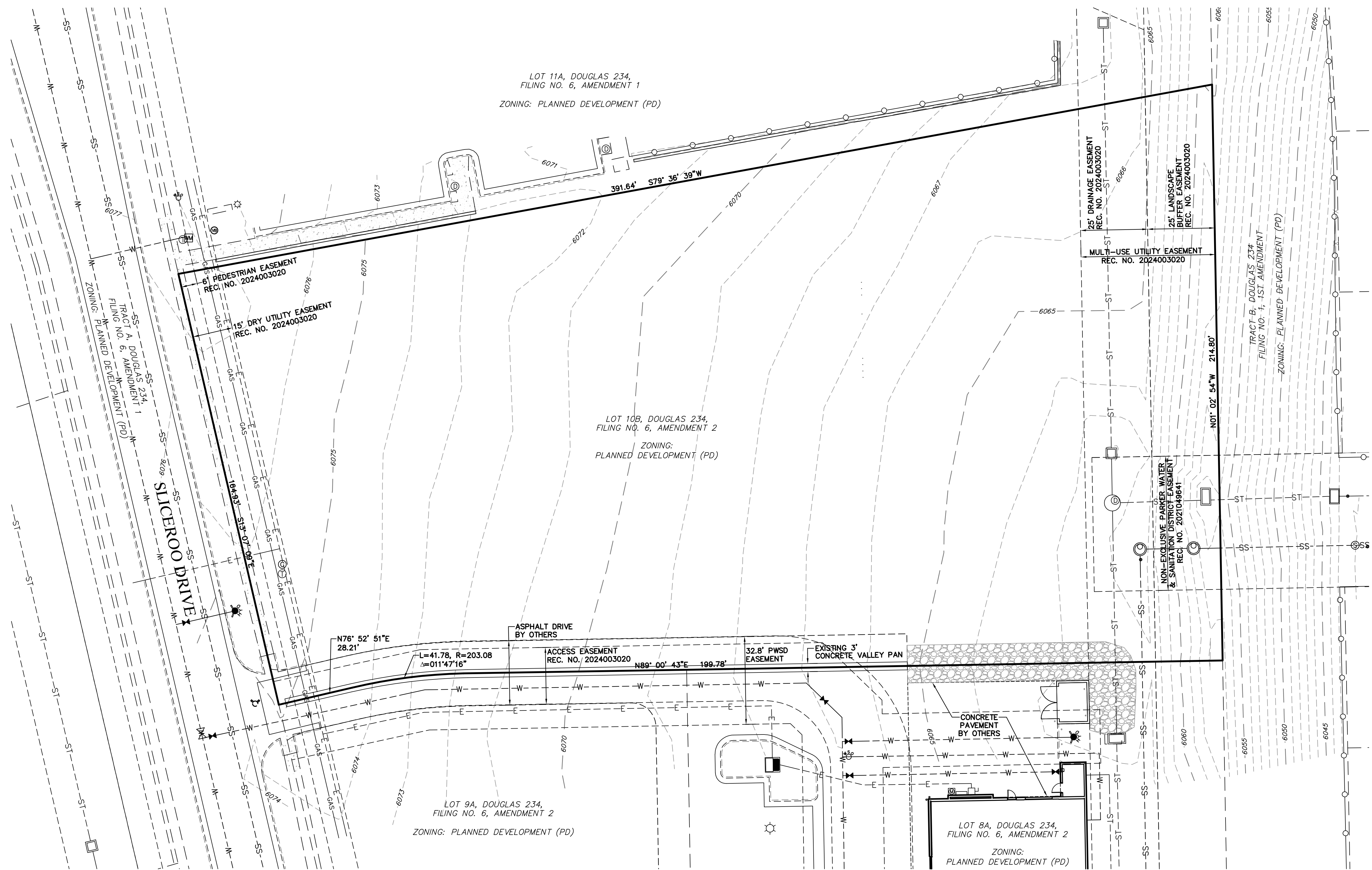


Civil Engineering & Land Surveying
 1745 Shea Center Drive, 4th Floor
 Highlands Ranch, CO 80129
 720-402-6070 / www.vermilionpeak.com

SITE PLAN

HORSE CREEK COMMERCIAL

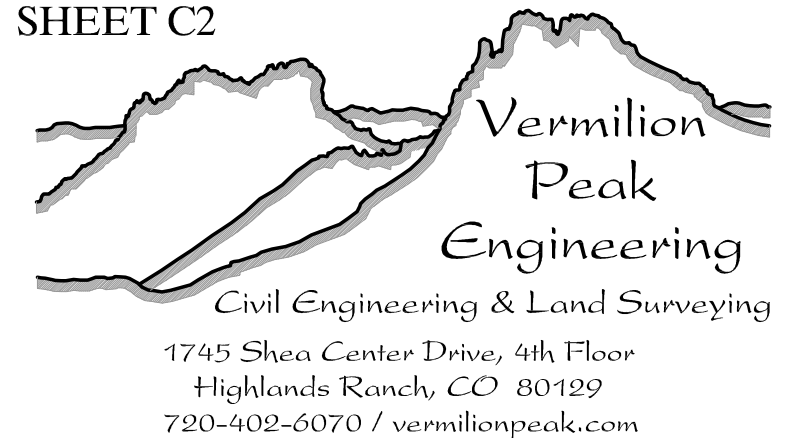
LOT 10B, DOUGLAS 234, FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

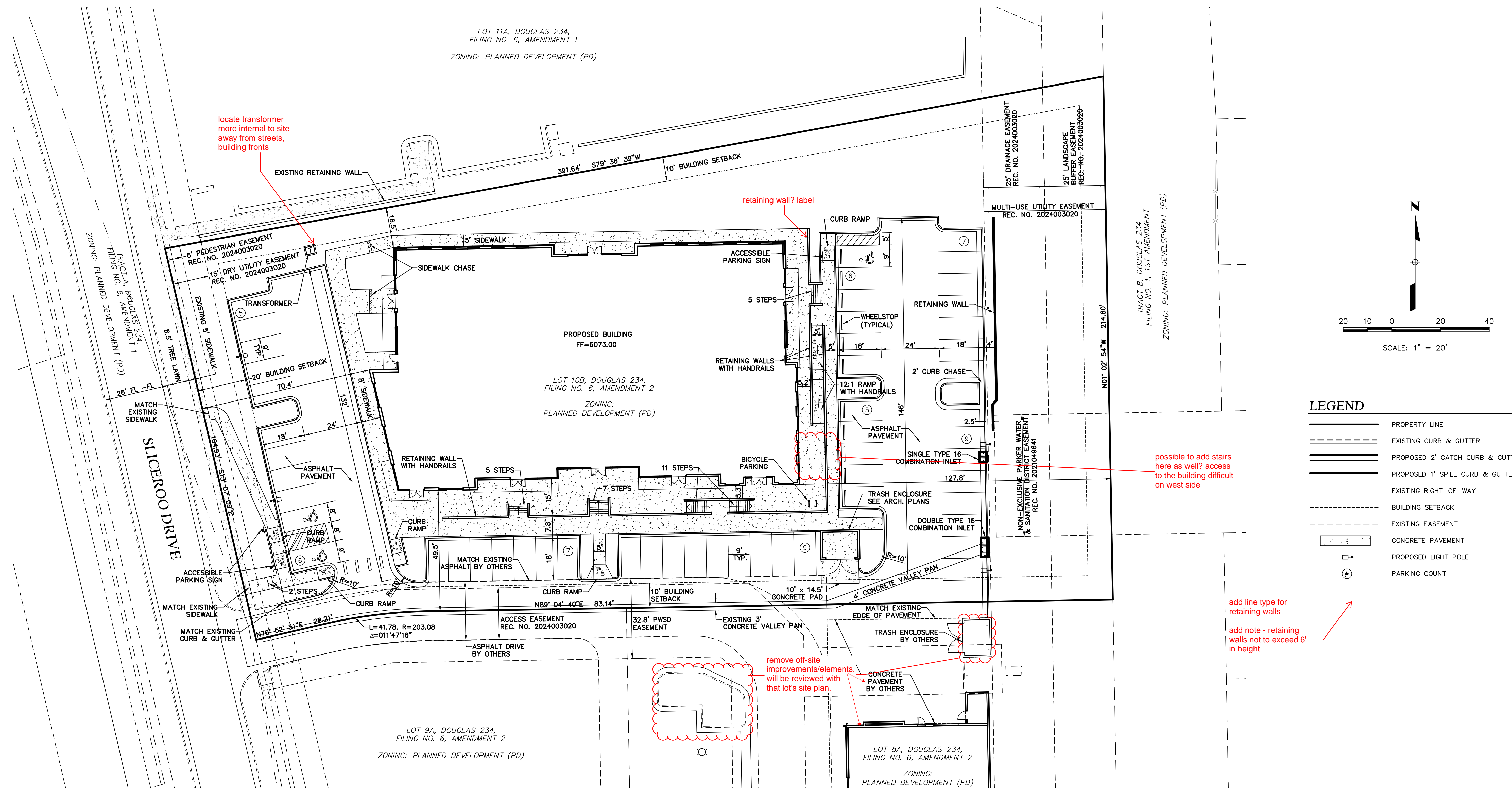
	PROPERTY LINE
	EXISTING CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING GAS PIPE
	EXISTING STORM SEWER
	EXISTING ELECTRIC

EXISTING CONDITIONS MAP
 DOUGAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: FEBRUARY 12, 2025
 SHEET C2



SITE PLAN HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED 2' CATCH CURB & GUTTER
	PROPOSED 1' SPILL CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	BUILDING SETBACK
	EXISTING EASEMENT
	CONCRETE PAVEMENT
	PROPOSED LIGHT POLE
	PARKING COUNT

locate transformer
more internal to site
away from streets,
building fronts

retaining wall? label

possible to add stairs
here as well? access
to the building difficult
on west side

add line type for
retaining walls
add note - retaining
walls not to exceed 6'
in height

remove off-site
improvements/elements
will be reviewed with
that lot's site plan.

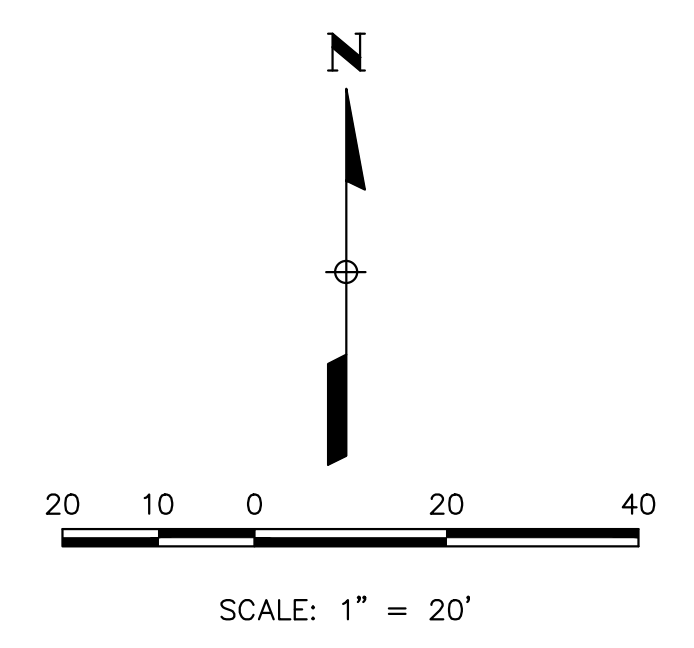
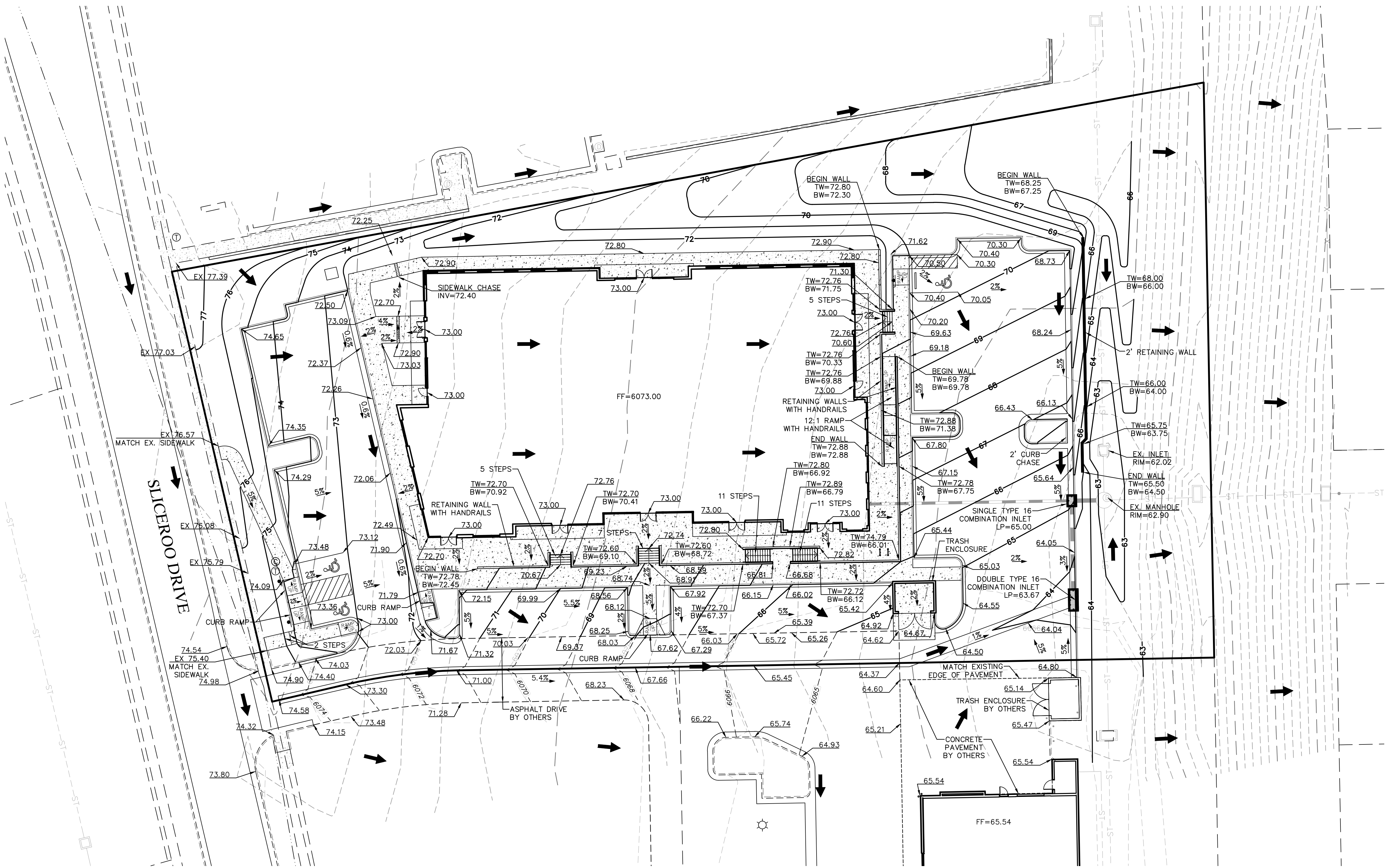
SITE PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
JOB NO. 24020
DATE: FEBRUARY 12, 2025
SHEET C3



SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE FLOW DIRECTION
	EXISTING CURB & GUTTER
	1' SPILL CURB
	2' CATCH CURB
	PROPOSED RETAINING WALL
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	CONCRETE PAVEMENT

NOTES
 1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

BENCHMARK
 BENCHMARK IS BY GPS OBSERVATION NAVD 88. SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200' +/- NORTH OF HESS RD.

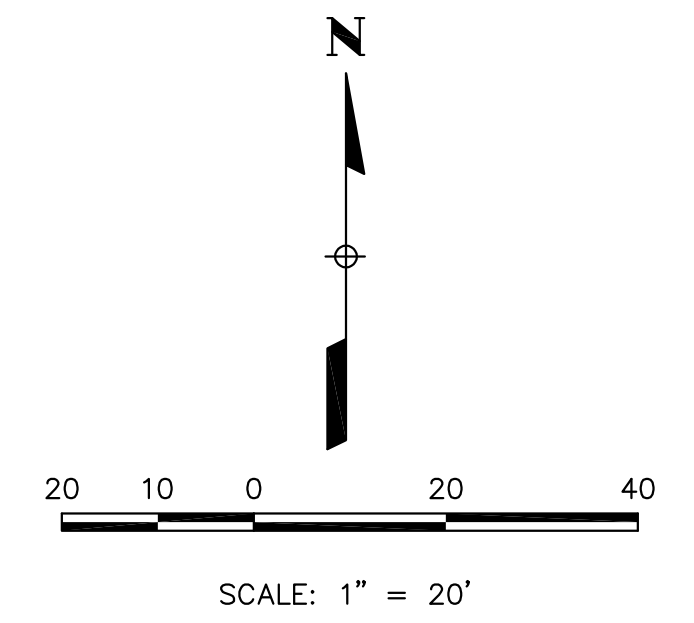
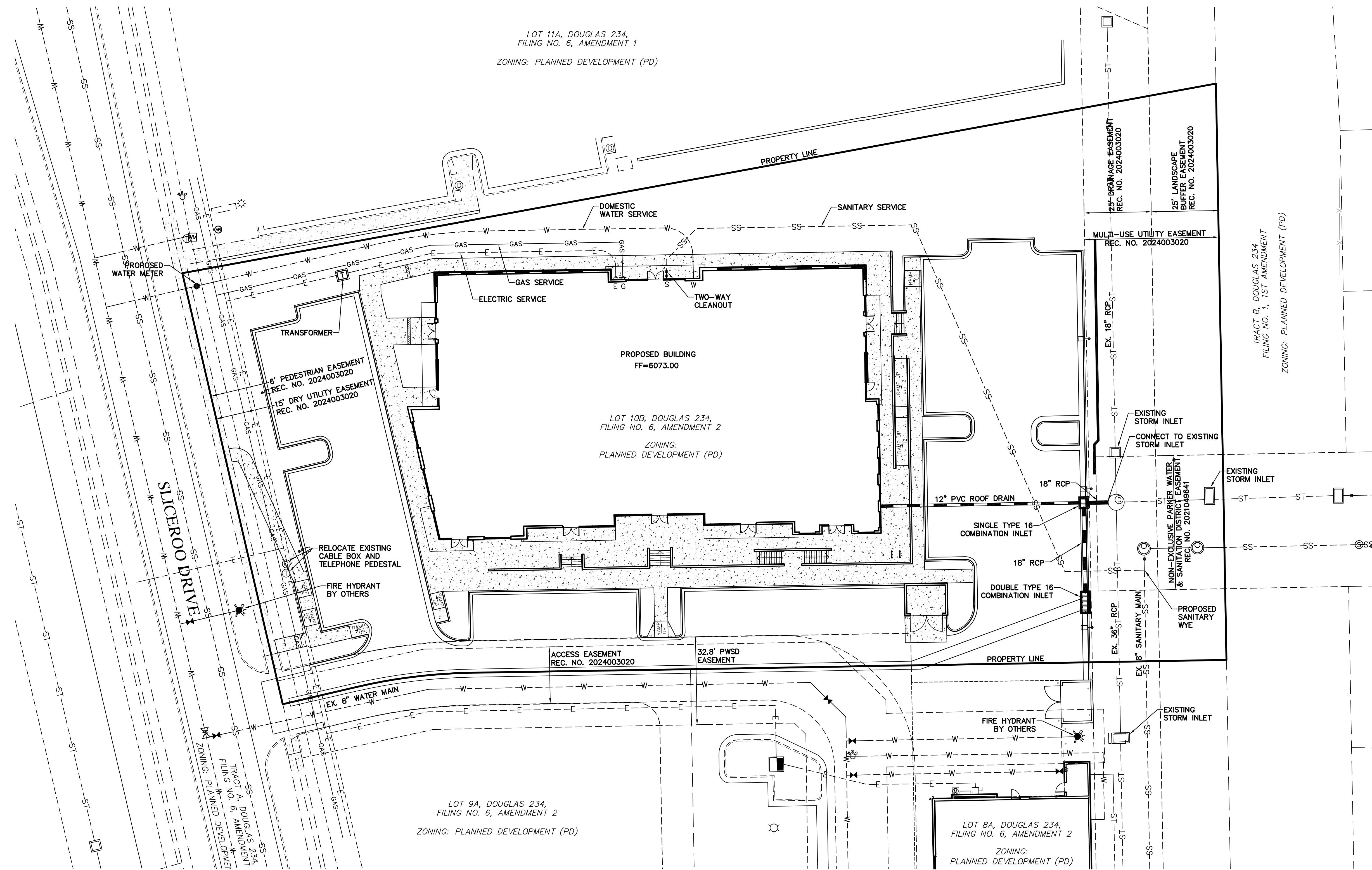
GRADING PLAN
 DOUGAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: FEBRUARY 12, 2025
 SHEET C4

Vermilion Peak Engineering
 Civil Engineering & Land Surveying
 1745 Shea Center Drive, 4th Floor
 Highlands Ranch, CO 80129
 720-402-6070 / vermillionpeak.com

SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED 2' CATCH CURB & GUTTER
	PROPOSED 1' SPILL CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING GAS PIPE
	EXISTING STORM SEWER
	EXISTING ELECTRIC
	PROPOSED ELECTRIC
	PROPOSED STORM SEWER
	PROPOSED CURB & GUTTER
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SERVICE
	CONCRETE PAVEMENT
	EXISTING EASEMENT
	PROPOSED RETAINING WALL
	PROPOSED LIGHT POLE

FIRE FLOW

FIRE FLOW REQUIREMENTS ARE 2,750 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT. INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS: 2021 IFC
 OCCUPANCY GROUP(S): B, M
 CONSTRUCTION TYPE(S): IIB
 FIRE FLOW CALCULATION AREA: 15,877 SF
 THIS BUILDING IS NOT FULLY SPRINKLERED

~~**TOWN OF PARKER FIRE/LIFE SAFETY**~~

~~ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.~~

~~BY: _____ DATE _____~~
 FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE

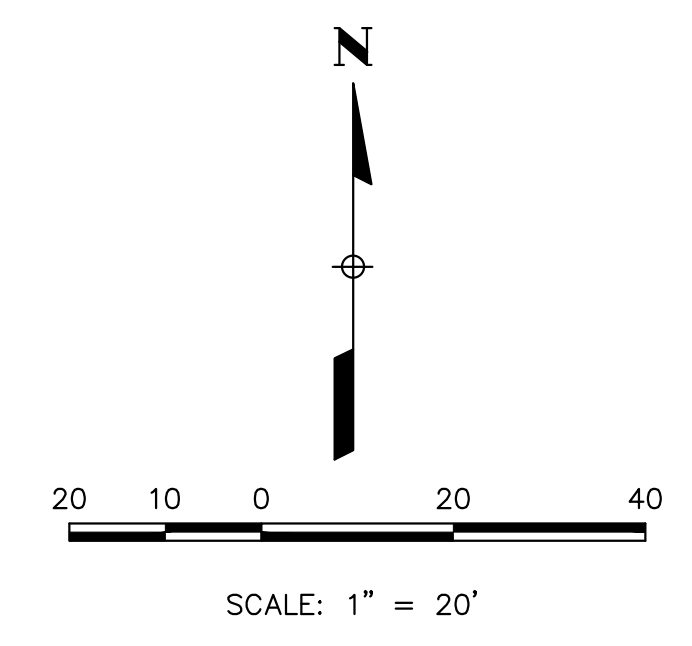
~~(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)~~

UTILITY PLAN
 DOUGLAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: FEBRUARY 12, 2025
 SHEET C5

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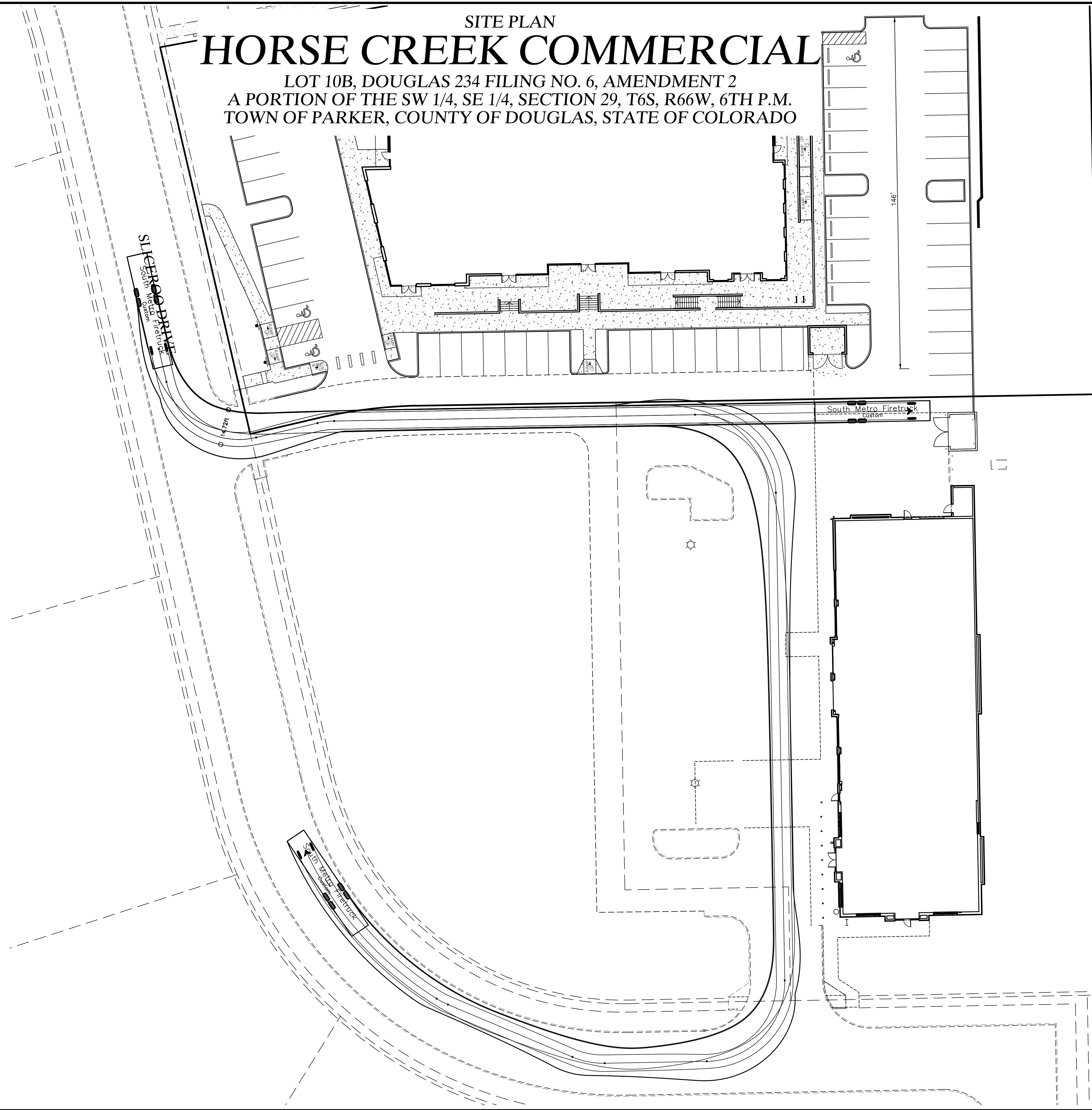
SITE PLAN
HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	CONCRETE PAVEMENT



FIRETRUCK ACCESS PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
JOB NO. 24020
DATE: FEBRUARY 12, 2025
SHEET C6

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SITE PLAN HORSE CREEK COMMERCIAL

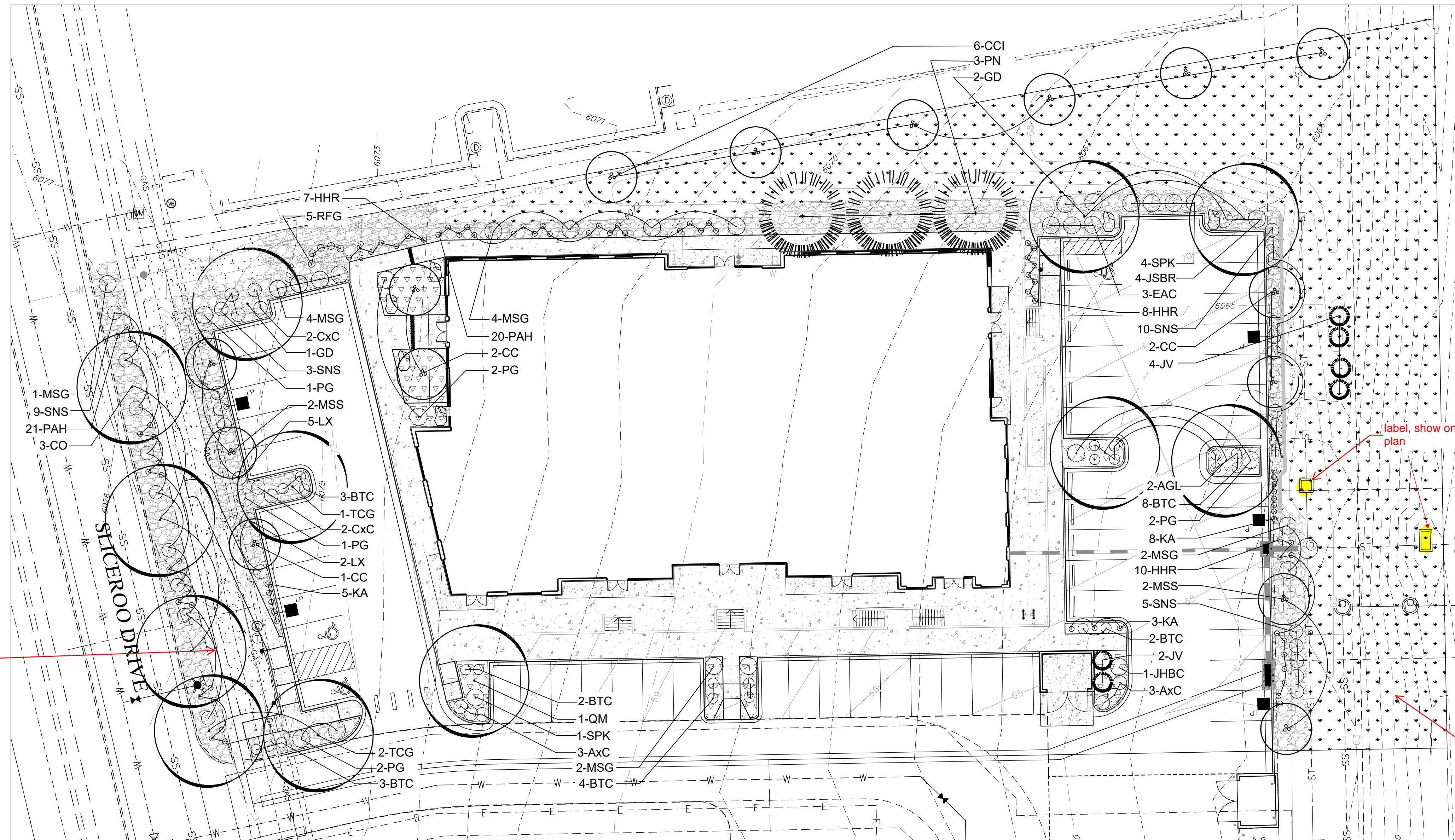
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PLANT LEGEND

- | | | | |
|--|------------------------|--|------------------------------|
| | DECIDUOUS CANOPY TREES | | PERENNIALS |
| | ORNAMENTAL TREES | | 3/4\" - 2\" RIVER ROCK MULCH |
| | EVERGREEN TREES | | BLUEGRASS TURF |
| | EVERGREEN SHRUBS | | WOOD MULCH |
| | DECIDUOUS SHRUBS | | |

PROPOSED PLANT LIST

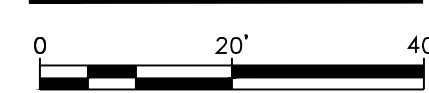
PLANTING SCHEDULE								
TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SIZE AT MATURITY	NOTES	WATER USE
Trees								
Deciduous	AGL	2	Aesculus glabra	Ohio Buckeye	2.5" Cal	20'-40'	B & B	M
	CO	3	Celtis Occidentalis	Western Hackberry	2.5" Cal	50'	B & B	M
	GD	3	Gumnocladus Dioicus	Kentucky Coffeetree	2.5" Cal	50'	B & B	L
	TCG	3	Tilia Cordata 'Greenspire'	Greenspire Linden	2.5" Cal	50'	B & B	M
Ornamental	QM	1	Quercus macrocarpa	Bur Oak	2.5" Cal	60'	B & B	M
	CCI	6	Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	2" Cal	15'-20'	B & B	M
	CC	5	Cercis canadensis	Eastern Redbud	2" Cal	20'-30'	B & B	M
Evergreen	MSS	4	Malus 'Spring Snow'	Spring Snow Crabapple	2" Cal	15'-20'	B & B	M
	JV	6	Juniperus scopularum	Rocky Mountain Juniper	6' Ht	15'-20'	B & B	L-M
	PN	3	Pinus Nigra 'Arnold's Sentinel'	Austrian Pine	6' Ht	40'-60'	B & B	M
Shrubs								
Deciduous	AxC	6	Arctostaphylos X Coloradoensis	Panchito Manzanita	5 Gal	3'	5' OC	L
	CxC	6	Arctostaphylos x coloradoensis	Panchito Manzanita	5 Gal	4'	4' OC	L
	BTC	22	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberr	5 Gal	2'-3'	5' OC	L
	EAC	3	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal	6'-8'	3' OC	L
	SNS	27	Spiraea nipponica 'Snowmound'	Snowmound Spirea	5 Gal	3'-4'	3' OC	L
	SPK	5	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal	6'-8'	5' OC	L
Evergreen	LX	7	Ligustrum x vicaryi	Golden Vicary Privet	5 Gal	6'-8'	4' OC	L
	PG	8	Picea pungens 'Globosa'	Globe Spruce	5 Gal	3'-5'	5' OC	L
	JSBR	4	Juniperus sabinia 'Broadmoor'	Broadmoor Juniper	5 Gal	1'-2'	5' OC	L
	JHBC	1	Juniperus horizontali 'Blue Chip'	Blue Chip Juniper	5 Gal	12"-15"	5' OC	L
Perennials & Ornamental Grasses								
Perennials & Grasses	RFG	5	Rudbeckia Fulgida 'Goldstrum'	Black Eyed Susan	1 Gal		24" OC	L
	MSG	13	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	5 Gal		4' OC	L
	PAH	41	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	2 Gal		18" OC	L
	HHR	25	Hermerocallis 'Happy Returns'	Dwarf Yellow Daylily	1 Gal		18" OC	L
	KA	16	Calamagrostis X Acutiflora 'Karl Forester'	Karl Forester Grass	1 Gal		4' OC	L



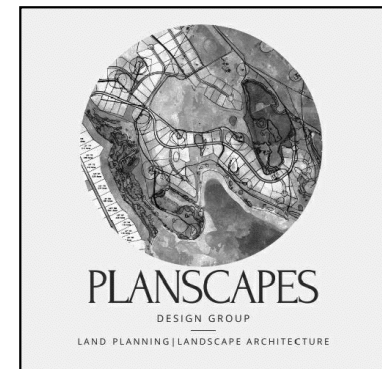
landscaping will need to be enhanced to meet P3 requirements

show limits of sidewalk with solid lines

Scale: 1"=20'



LANDSCAPE PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: FEBRUARY 12, 2025
SHEET L 1



SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PLANT NOTES

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
- SOIL AMENDMENTS. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. 4 CU. YRDS./1000 SQ. FT. OF ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN (10) FEET OF POTABLE AND NONPOTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON POTABLE IRRIGATION MAINS AND SERVICES.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL TURF AREAS TO BE SODDED AND IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED 3" DEEP WITH 3/4" - 2" RIVER ROCK PLACED ON WEED BARRIER FABRIC.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/2" X 4" STEEL SET LEVEL WITH TOP OF GRADE.
- TOPSOIL. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.

calculations based off amount of LS provided.

19 trees, 95 shrubs

grasses may substitute for shrubs (One ornamental grass in a five-gallon container or three ornamental grasses in one-gallon containers may be substituted for one shrub)

perimeter landscaping applies to all sides except south. show buffer widths, tree/shrub count requirements

north - P1
east - P3 (fence, evergreen requirements)
west - P2 (parking lot adjacent to ROW)

parking lot interior landscape table needed. break out LS islands, show square footage and tree/shrub requirements. 10% of parking lot must be landscaped.

cover sheet shows 23,768sf of landscaping

plant schedule shows 36 trees, 89 shrubs

* 18 of which are perennials due to utility conflicts.

MINIMUM STANDARDS

ROW LANDSCAPING CALCULATIONS			
TYPE BASE STANDARD (PLANTS PER # LINEAR FEET)	LINEAR FRONTAGE	TREES REQUIRED	TREES PROPOSED
WEST 1 TREE /40'	150 LF	4	4

show 75% required (% and sq footage)

PERIMETER LANDSCAPING CALCULATIONS					
TYPE BASE STANDARD (PLANTS PER # LINEAR FEET)	LINEAR FRONTAGE	TREES REQUIRED	SHRUBS REQUIRED	TREES PROPOSED	SHRUBS PROPOSED
EAST 1 TREE 5 SHRUBS/30'	210 LF	7	35	7	35*

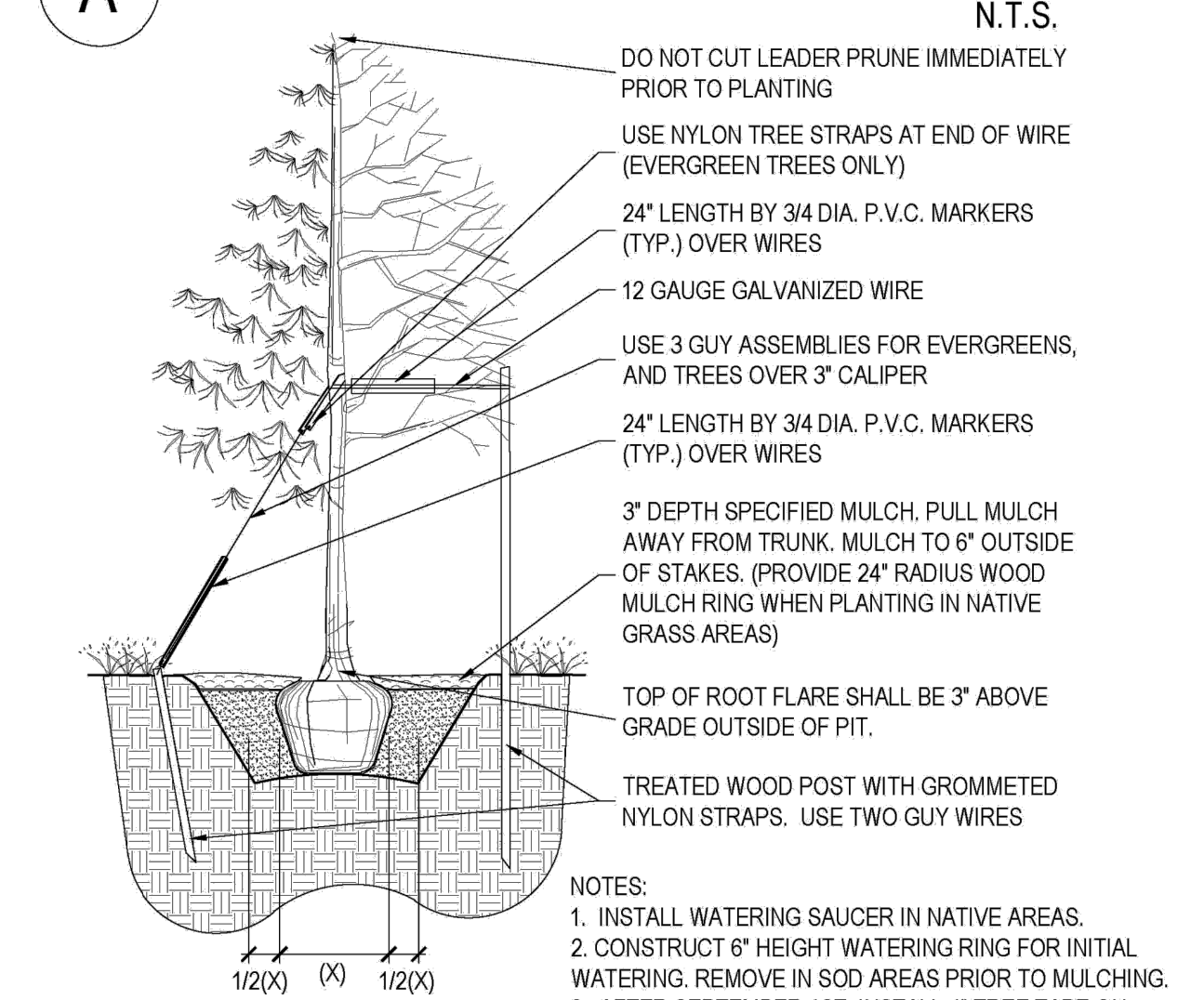
PLANT REQUIREMENTS

MINIMUM SITE LANDSCAPE CALCULATIONS FOR 68,488 sq ft		
DESCRIPTION	REQUIRED	PROVIDED
LANDSCAPE AREA 15% of Lot	10,273 sq ft	28,507 sq ft
TREES 1/1,500 sq ft	7	22
SHRUBS 5/1,500 sq ft	35	79
MAX. IRRIGATED TURF = 15%	1,541 sq ft max.	934 sq ft
EVERGREEN TREES	25% - 50% OVERALL 40% - 60% PERIMETER	5 EVERGREEN / 22 TREES 25% OVERALL 4 EVERGREEN / 7 TREES 57% PERIMETER
75% OF LIVE COVER	7,704 sq ft	15,700 sq ft

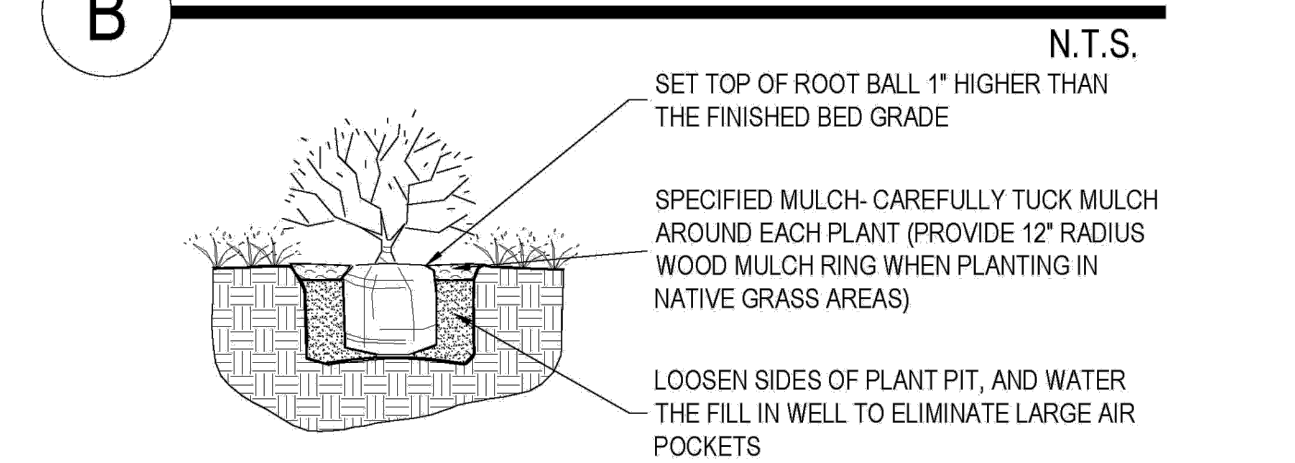
calculation based off living material (7,704)

1155sf max

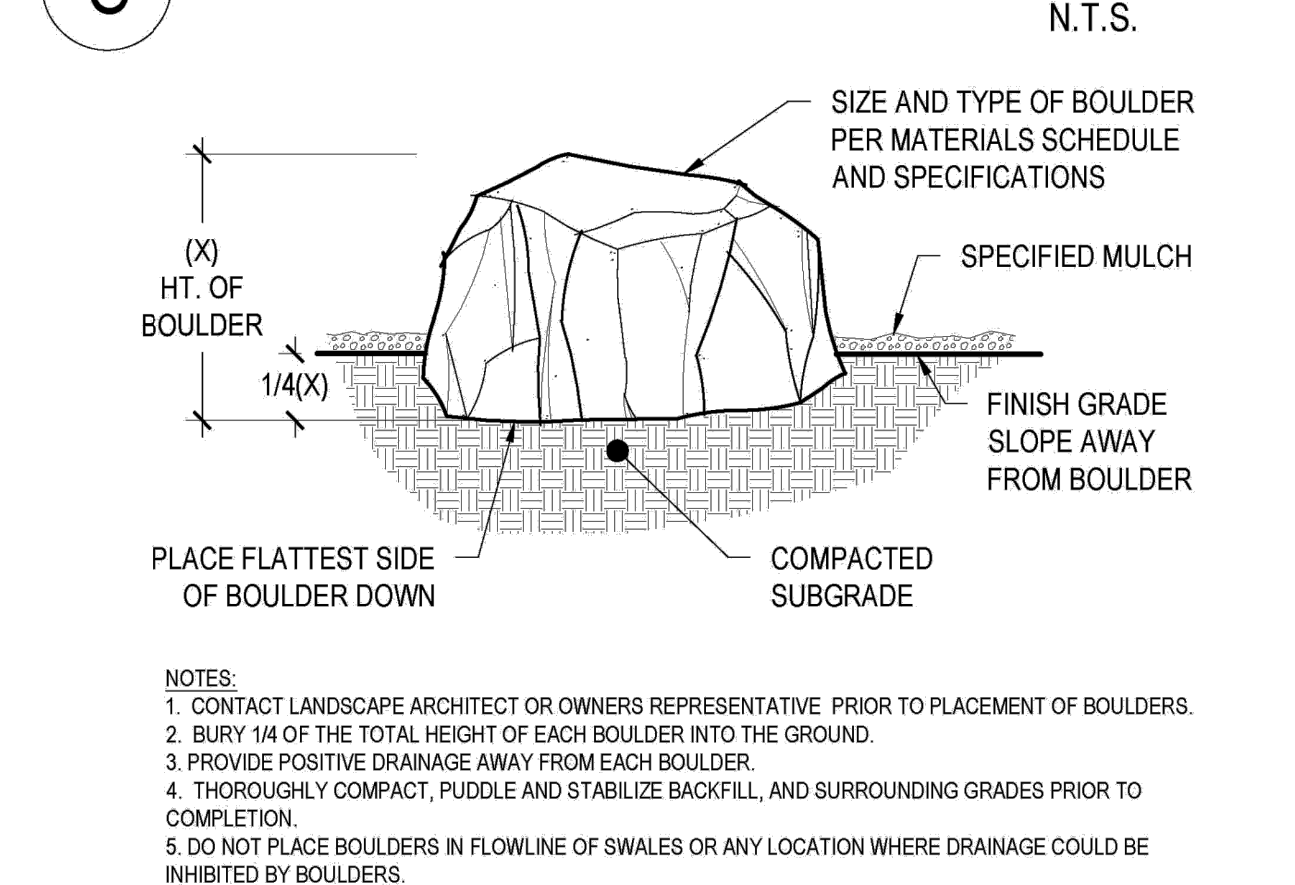
A PLANTING DETAIL FOR ALL TREES & B&B SHRUBS



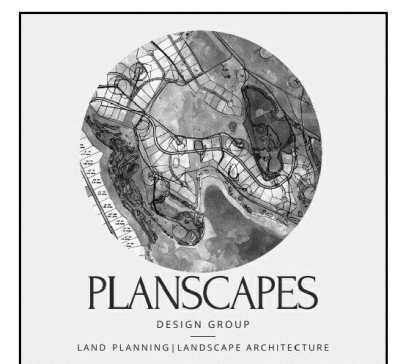
B PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON



C LANDSCAPE BOULDER

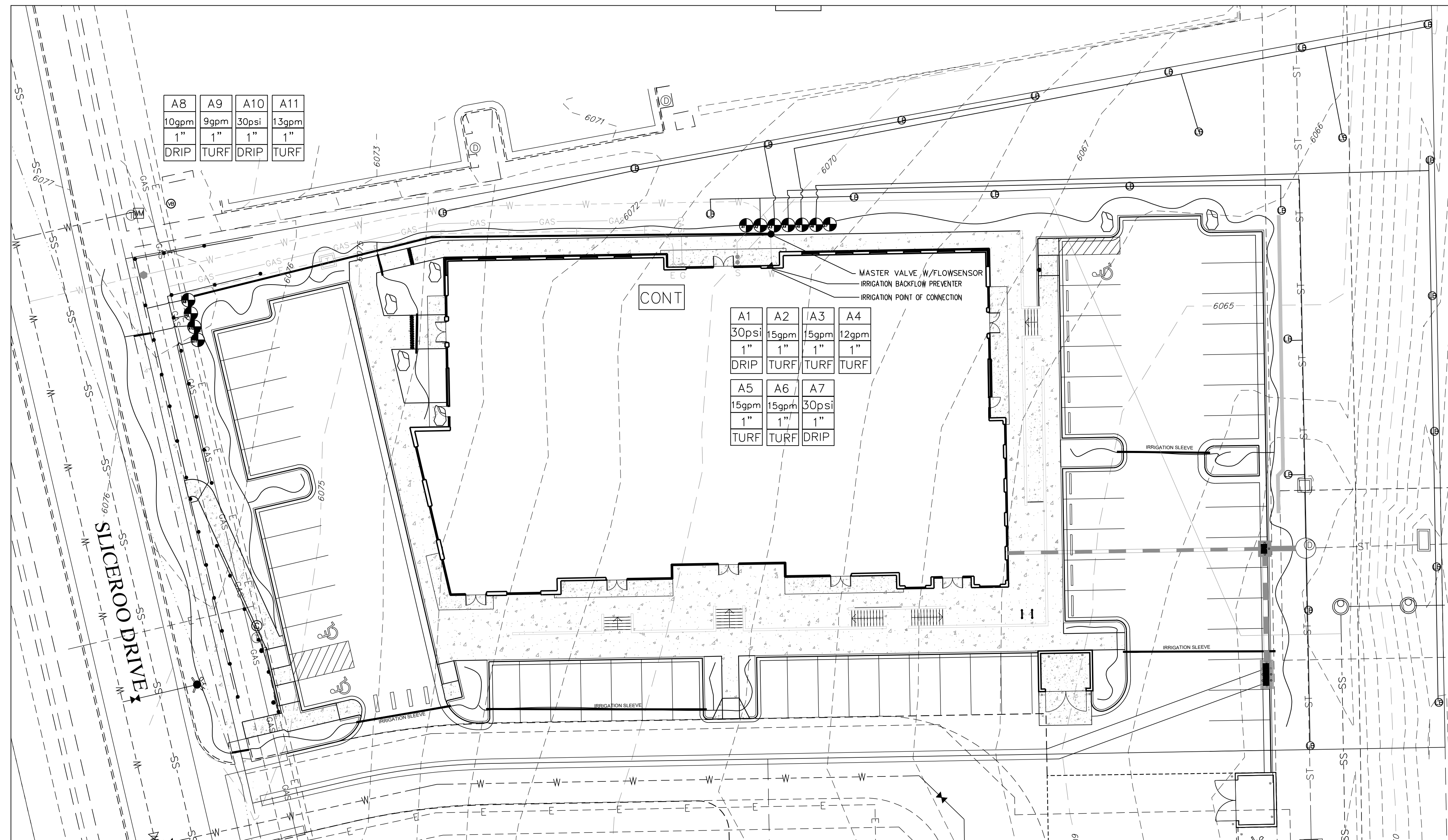


LANDSCAPE DETAILS
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: FEBRUARY 12, 2025
SHEET L 2



SITE PLAN HORSE CREEK COMMERCIAL

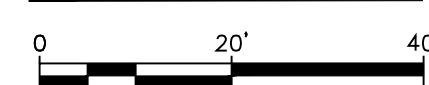
LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
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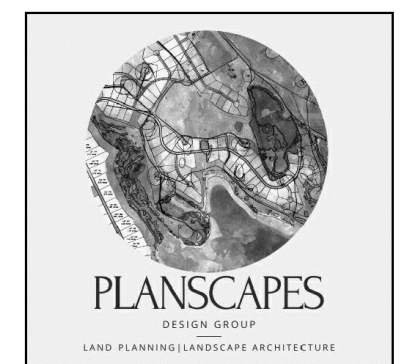
IRRIGATION LEGEND

- ⊗ REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER (SIZE PER PLAN) (DETAIL "C" IRRIGATION DETAILS SHEET)
- ⊙ HUNTER MP3500 PROS-06-PRS40-CV TURF ROTATOR, 8" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY, LB-LIGHT BROWN ADJUSTABLE ARC, 90-210, 40 PSI
- HUNTER I20-06-SS 3.0 TURF ROTOR, 8" POP-UP, ADJUSTABLE AND FULL CIRCLE, STAINLESS STEEL RISER, DRAIN CHECK VALVE, STANDARD NOZZLE, 25 PSI, 3.4 GPM, 32" RADIUS
- CONTR SPRINKLER CONTROL BOX (DETAIL "D" IRRIGATION DETAILS SHEET)
- ▨ 1" FEBCO MODEL 765 BACK FLOW PREVENTER (DETAIL ON DETAILS SHEET)
- Hunter Flow-Sync® Sensor
- INDICATES CONTROLLER STATION
- 15 INDICATES LATERAL DISCHARGE (GPM)
- 1" INDICATES VALVE SIZE (INCHES)
- DRIP INDICATES LANDSCAPE APPLICATION
- LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC 1 INCH AS SHOWN ON PLAN
- LATERAL PIPE TO EMITTERS: UV RADIATION RESISTANT POLYETHYLENE (3/4-INCH SIZE, ROUTING DIAGRAM) SHOWN WITHIN DRIP HATCHED AREAS
- NON-CONNECTING PIPE CROSSINGS
- SLEEVE PIPE UNDER PAVEMENT: CLASS 200 PVC 2 INCH AS SHOWN ON DETAIL SHEET
- RAIN SENSOR HUNTER SOLAR SYNC WIRELESS SENSOR (DETAIL E ON IRRIGATION DETAIL SHEET)

Scale: 1"=20'



LANDSCAPE IRRIGATION PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: FEBRUARY 12, 2025
SHEET L 3



SITE PLAN

HORSE CREEK COMMERCIAL

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- THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 40 PSI. AT A MAXIMUM DISCHARGE OF 55 GPM AT THE IRRIGATION POINT OF CONNECTION 1 (POC1) VERIFY PRESSURE AND GLOW ON SITE PRIOR TO CONSTRUCTION.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATES (CALL BEFORE YOU DIG)
- DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTION OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR DISCREPANCIES TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
- THE DRAWING ARE DIAGRAMMATIC. THEREFORE THE FOLLOWING SHOULD BE NOTED.
 - ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY INSTALL IRRIGATION PIPE AND WIRING IN THE LANDSCAPED AREAS WHENEVER POSSIBLE.
 - TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
 - USE ONLY STANDARD TEE AND ELBOW FITTINGS. USE OF TEE FITTINGS IN THE BULL-NOSE CONFIGURATION, OR USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.
- PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
 - TWO OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
 - TWO OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS' ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
 - "AS BUILT" IRRIGATION DRAWINGS
 - WATER BUDGET CHART
 - SMART IRRIGATION CONTROLLER DATA INPUT CHART SELECTED NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARC WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVER-SPRAY FOR THE CONDITION. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCES.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARD-SCAPE CROSSING COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARD-SCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.

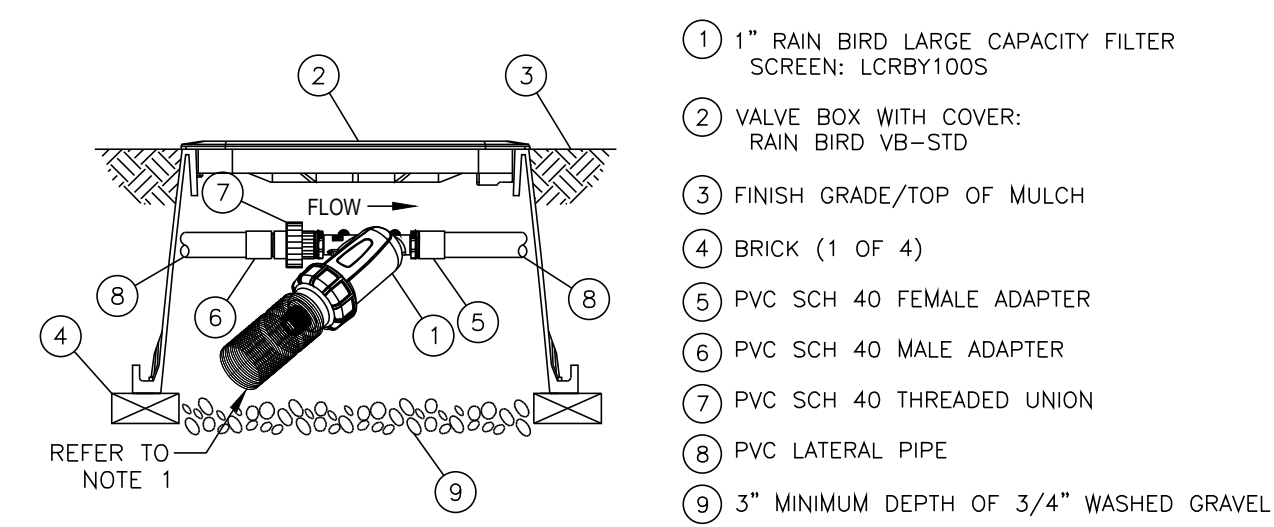
 - SEPARATE SLEEVING USED FOR IRRIGATION LINES AND WIRING BUNDLES
 - FOR ALL SLEEVING LOCATED UNDER CONCRETE, THE PAVEMENT OR OTHER HARD SURFACING SHALL BE NOTCHED ON BOTH SIDES TO MARK THE SLEEVE LOCATION, AND TRACER WIRES SHALL BE INSTALLED ON THE UPPER SIDE AND BOTH ENDS OF THE SLEEVING.
 - THE DIAMETER OF SLEEVE SHALL BE A MINIMUM OF TWICE THAT OF THE PIPE AND WIRING BUNDLE BUT NO SMALLER THAN A TWO (2) INCH DIAMETER PIPE. THE ENDS OF THE SLEEVES SHALL EXTEND PAST THE EDGE OF THE CURB, GUTTER, SIDEWALK, OR OTHER HARDSCAPE A MINIMUM OF EIGHTEEN (18) INCHES.
 - THE SLEEVE MATERIAL BENEATH SIDEWALKS, DRIVES AND TREETS SHALL BE PVC CLASS 200 PIPE WITH SOLVENT WELDED JOINTS
 - CONTAINS NO JOINTS WHEN LENGTH IS LESS THAN TWENTY (20) FEET.
- INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES. THE IRRIGATION CONTROLLER MUST BE WALL MOUNTED IN THE PARTS STAGING AREA ADJACENT TO ELECTRICAL OUTLET LOCATED IN THE JANITORS ROOM WITH BACKFLOW PREVENTER
- INSTALL TWO #14 AWG CONTROL WIRES FROM CONTROLLER LOCATION TO EACH DEAD END OF MAINLINE FOR USE AS SPARES INCASE OF CONTROL WIRE FAILURE. COIL 3 FEET OF WIRE IN VALVE BOX.
- AUTOMATIC IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN DETECTION DEVICE.

EMITTER SCHEDULE

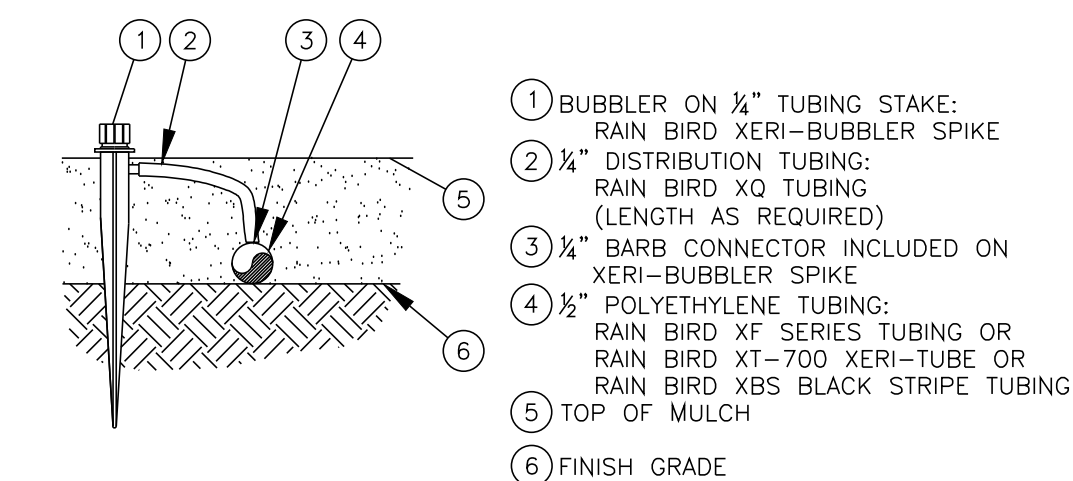
- IN CLAY OR LOAM SOILS, CONSIDER TWO 0.5 GPH EMITTERS AT THE BASE OF A PERENNIAL FLOWER TO ENSURE WATERING IF ONE FAILS. A 1 TO 5 FOOT SHRUB AND SMALL TREE LESS THAN 15 FEET AT MATURITY WILL INITIALLY REQUIRE TWO, 1 GPH EMITTERS 12 INCHES FROM THE BASE OF THE PLANT. CHANGE TO 2 AND THEN 4 GPH HIGHER FLOW EMITTERS IF PLANTING A LARGER SIZED TREE AND AS THE SMALL TREE GROWS. A 5 FOOT OR LARGER SHRUB MAY REQUIRE THREE 1GPH EMITTERS.
- A MEDIUM TREE 15 TO 25 FEET MAY ULTIMATELY REQUIRE FOUR EMITTERS TWO FEET FROM THE TRUNK. IF PLANTING A "WHIP", IT'S POSSIBLE TO START WITH TWO 0.5 GPH EMITTERS AND CHANGE TO HIGHER FLOW AND MORE EMITTERS AS THE TREE GROWS. BEGIN WITH THREE, 2 GPH EMITTERS ON A 1 INCH CALIPER TREE PLANTING AND THREE, 4 GPH EMITTERS ON A 2 INCH CALIPER TREE AT PLANTING.
- TREES LARGER THAN 25 FEET AT MATURITY MAY BE IMPRACTICAL TO IRRIGATE WITH DRIP BECAUSE OF THE EXTENSIVE NATURE OF TREE ROOT SYSTEMS AND MASS OF THE TREES. INCREASE THE NUMBER OF EMITTERS AND CHANGE THEM TO 2 OR 4 GPH OR LARGER FLOWS AS TREES AND SHRUBS GROW.

EQUIPMENT

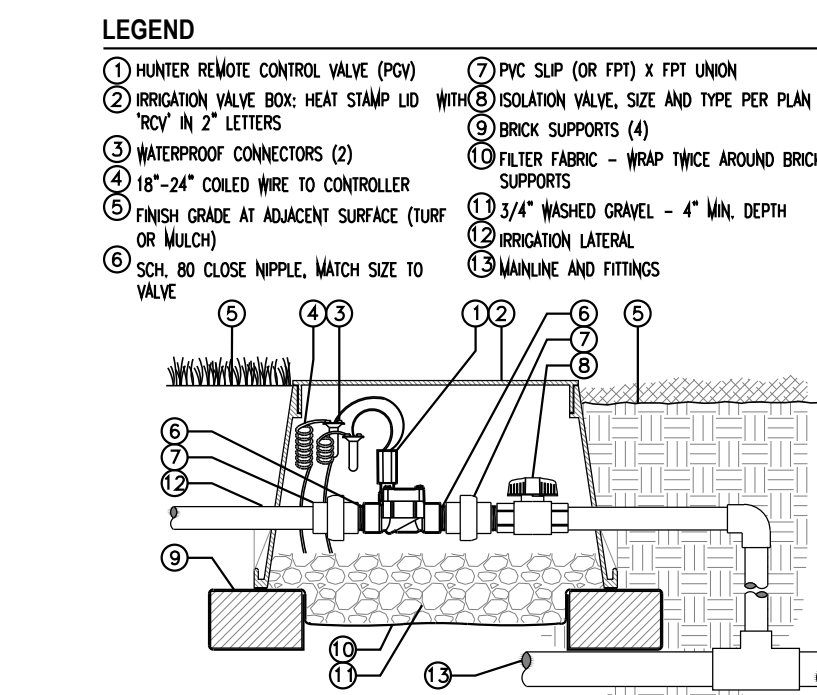
- NON-POTABLE SYSTEMS MUST USE THE COLOR PURPLE TO IDENTIFY COMPONENTS SUCH AS VALVES, VALVE BOXES, SPRINKLER HEAD TOPS, ECT.
- A MASTER SHUT-OFF VALVE SHALL BE INSTALLED DOWNSTREAM OF THE BACKFLOW DEVICE.
- FLOW SENSORS INTEGRATED WITH SMART IRRIGATION CONTROLLER ARE REQUIRED FOR SINGLE OR COMBINED POINT OF CONNECTION FOR FLOWS OF 15 GALLONS PER MINUTE OR GREATER AND 1 INCH OR GREATER WATER TAPS.
- ALL VALVES SHALL HAVE A MANUAL BALL VALVE INSTALLED PRIOR TO THE LATERAL VALVE
- THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING. IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND. ENSURE SLEEVING MEETS ALL REQUIREMENTS UNDER 6.11.B.6 INCLUDING BUT NOT LIMITED TO SLEEVING SIZE BEING TWICE THAT OF THE PIPE, NOTCHING OF HARD SURFACE FOR SLEEVES RUNNING UNDER HARDSCAPE.
 - SEPARATE SLEEVING USED FOR IRRIGATION LINES AND WIRING BUNDLES.
 - THE DIAMETER OF SLEEVE SHALL BE A MINIMUM OF TWICE THAT OF THE PIPE AND WIRING BUNDLE BUT NO SMALLER THAN A TWO (2) INCH DIAMETER PIPE.
 - THE SLEEVE MATERIAL BENEATH SIDEWALKS, DRIVES AND STREETS SHALL BE PVC CLASS 200 PIPE WITH SOLVENT WELDED JOINTS.
 - FOR ALL SLEEVING LOCATED UNDER CONCRETE, THE PAVEMENT OR OTHER HARD SURFACING SHALL BE NOTCHED ON BOTH SIDES TO MARK THE SLEEVE LOCATION.
 - CONTAIN NO JOINTS WHEN LENGTH IS LESS THAN TWENTY (20) FEET.



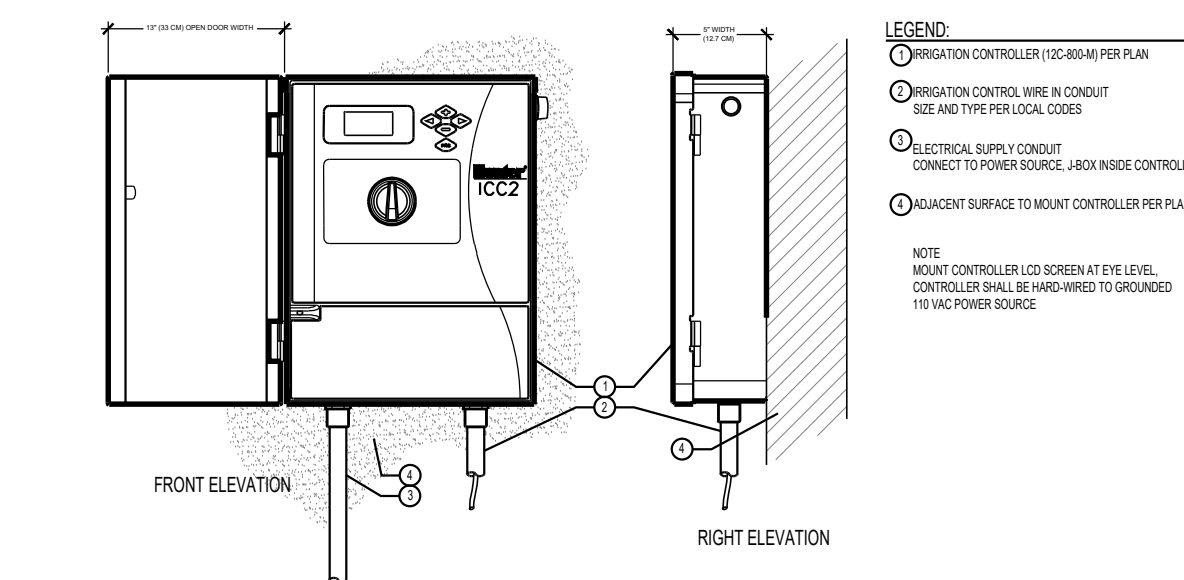
A RAINBIRD DRP LINE FILTER AND PRESSURE REDUCER
LCRBY100S - 1 in



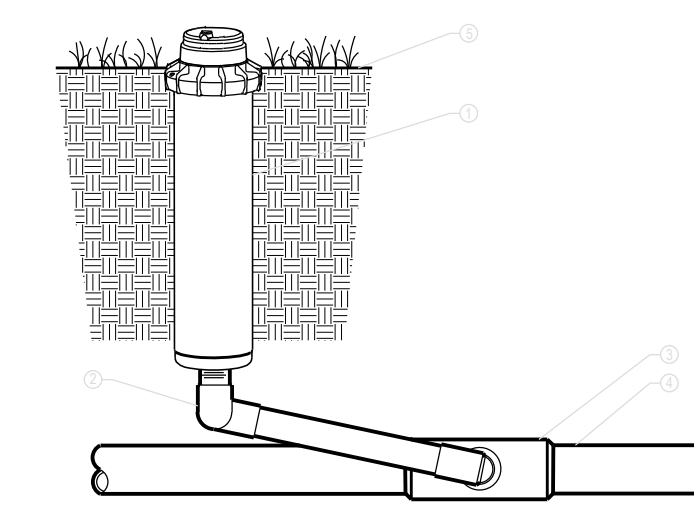
B RAINBIRD DRIP EMITTER
300S (N.T.S.)



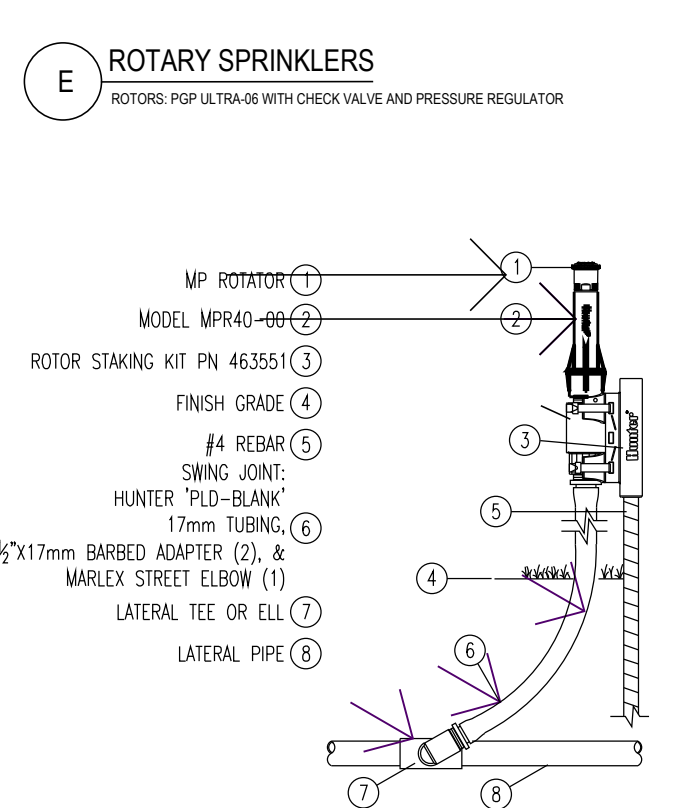
C IN-LINE VALVE (PGV-100G) WITH UNIONS AND ISOLATION VALVE
Hunter V.PCV.04 NO SCALE



D IRRIGATION CONTROLLER (12C-800-M)
Hunter C.ICC2.02 NOT TO SCALE



E ROTARY SPRINKLERS
ROTORS: POP ULTRA-AR WITH CHECK VALVE AND PRESSURE REGULATOR



F MP ROTATOR SPRINKLER
SCALE: 3" = 1'-0" IRRIGATION DETAIL

TO USE THIS DETAIL
These are the common layers that should be left on for all options. All will have a '0' in front of them:
0 Hunter—earth
0 Hunter—notlot viewpoint
0 Hunter—product
0 Hunter—title text

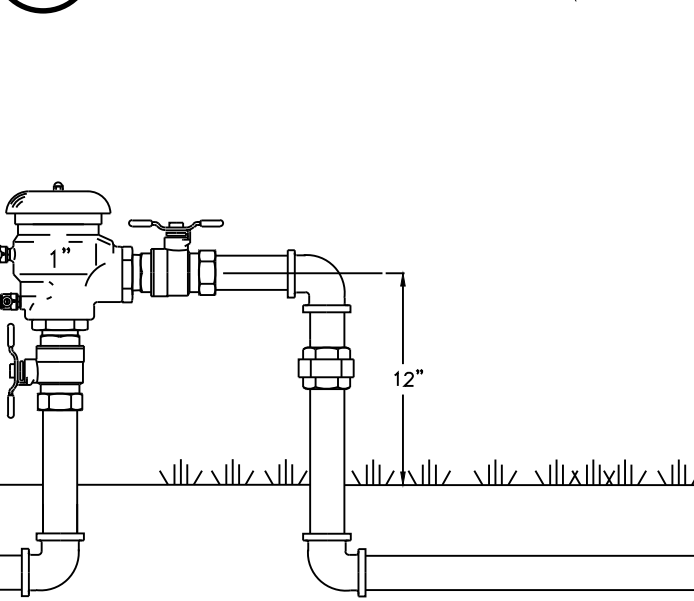
There are two types of risers. The default is currently turned on. The user must have one of these layers on and one off. The two types of risers are:
S/80 nipple with Hunter HCV-50F-50M check valve, located on layer 0 Hunter HCV
S/80 nipple without check valve, located on layer 0 Hunter HCV off

There are four varieties of swing joints associated with this sprinkler detail:
Rigid with PVC street elbows (layers start with a '1')
Rigid with Marlex street elbows (layers start with a '2')
Factory prefabricated (layers start with a '3')
Pro Flex, which is Contractor assembled (layers start with a '4')

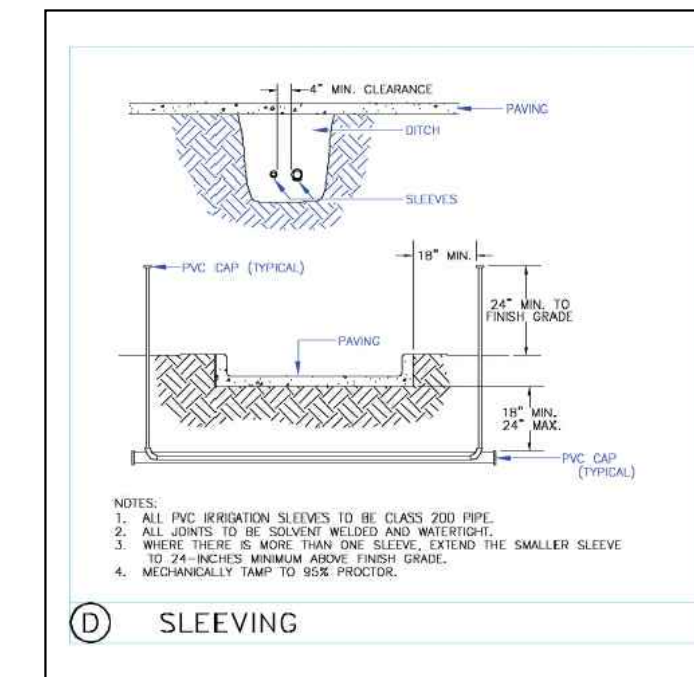
Also within each of the four varieties are two options for detail callout:
Bubble
Leader
All of these items are separated by layer and color in the layer manager.
If the user has ACAD2000 or newer, the layout tabs are set for each of the options already.

G RAIN SENSOR
RSD-BEX ROOF BRACKET (N.T.S.)

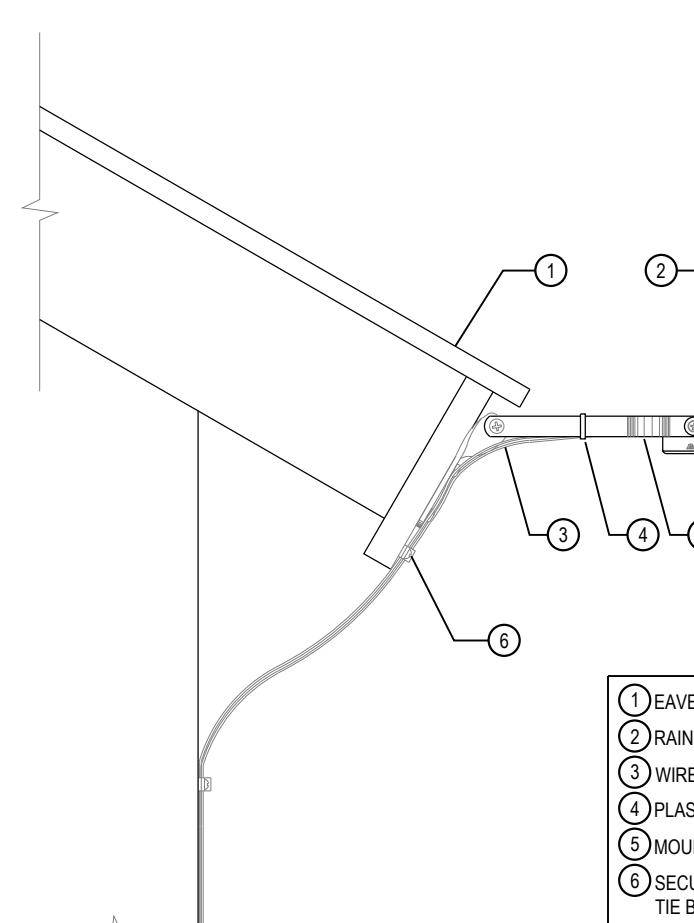
H FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



H FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



D SLEEVING



E ROTARY SPRINKLERS
ROTORS: POP ULTRA-AR WITH CHECK VALVE AND PRESSURE REGULATOR

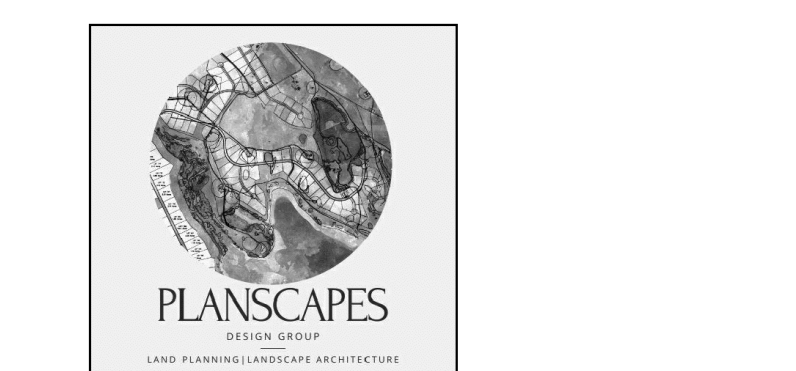
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 046-293.

G RAIN SENSOR
RSD-BEX ROOF BRACKET (N.T.S.)



H FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation

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add heights of
mounts/poles

add pole color

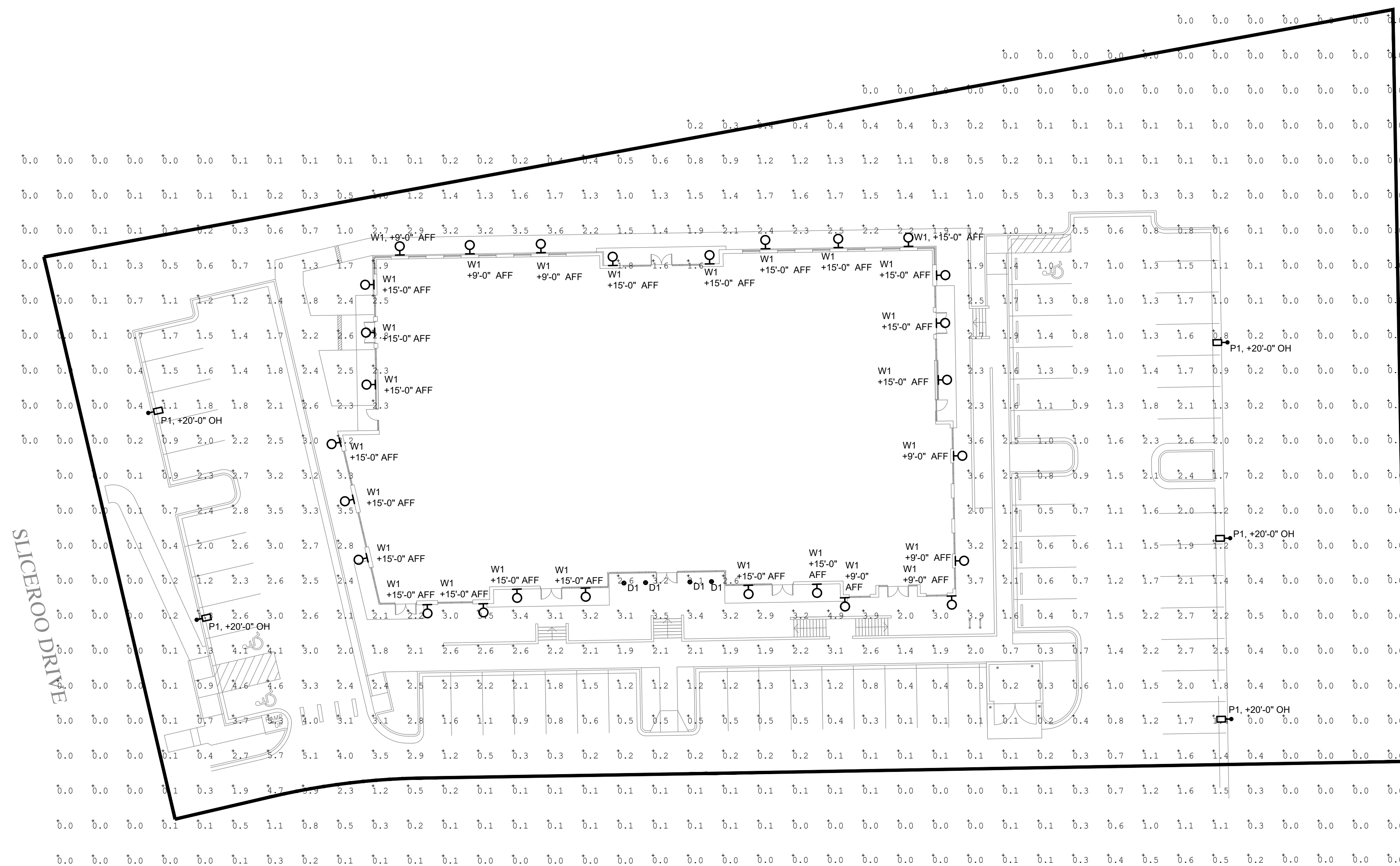
LUMINAIRE SCHEDULE											
TYPE	DESCRIPTION	MANUFACTURER OR APPROVED EQUIVALENT	CATALOG SERIES NUMBER OR APPROVED EQUIVALENT	LAMPS (QTY) TYPE	INPUT VA	DRIVER/ DIM PROTOCOL	LUMENS	VOLTAGE	BUG RATING	MOUNTING	NOTES
D1	8" SURFACE MOUNTED DOWNLIGHT, WIDE DISTRIBUTION	PRESCOLITE	LBSE-8RD-RM-30K8	LED 3000K	20	0-10V	1750	120/277	B2 U0 G1	R X	MOUNTED IN OVERHANG
P1	POLE MOUNTED AREA LIGHT, TYPE 4 WIDE DISTRIBUTION, FULL CUTOFF, BACKLIGHT CONTROL, DIMMING DRIVER	BEACON	VP-1-160L-35-3K8-4W-UNV-BLT-BC-ADT	LED 3000K	36.8	0-10V	3014	120/277	B0 U0 G1	X	+20'-0" OH
W1	WALL SCONCE, TYPE 4 FORWARD DISTRIBUTION, FULL CUTOFF	BEACON	CY1-15-3K8-1-4-UNV-BLT-R-FPP	LED 3000K	10	0-10V	1161	120/277	B0 U0 G0	X	SEE PLANS

ABBREVIATIONS: BF - BOTTOM OF FIXTURE; OH - OVERALL FIXTURE HEIGHT; RD - RECESSED FIXTURE DEPTH; AFF - ABOVE FINISHED FLOOR

SITE CALCULATION STATISTICS:				RATIOS:	
AREA	AVG (FC)	MAX (FC)	MIN (FC)	MAX/MIN	AVG/MIN
SITE	1.3	5.7	0.0	N/A	N/A
DRIVE AISLE	1.1	5.3	0.0	N/A	N/A
PARKING	2.5	5.3	0.3	17.6:1	8.3:1
PROPERTY LINE	0.1	2.3	0.0	N/A	N/A

(*NOTE: THESE VALUES ARE RATIOS, NOT FOOTCANDLES. RATIOS REPRESENT QUANTITATIVE RELATION BETWEEN TWO VALUES AND ARE UNITLESS

- GENERAL NOTES (THIS SHEET)
- A. NO SUBSTITUTIONS, ADDITIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY THE TOWN OF PARKER.
 - B. PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY THE TOWN MAY REQUIRE CERTIFICATION THAT THE PROPERTY IS COMPLIANT WITH THE APPROVED PLANS AND REGULATIONS OF THE TOWN.
 - C. ALL CALCULATIONS ARE DONE WITH LIGHT LOSS FACTOR OF 1.0
 - D. ALL CALCULATION POINTS ARE AT GRADE.
 - E. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE RIGHT OF WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
 - F. ALL OUTDOOR LIGHTING SHALL HAVE LIGHT SOURCES THAT ARE CONCEALED BY A FULL CUTOFF LIGHTING FIXTURE SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM ANY STREET RIGHT-OF-WAY OR ADJACENT PROPERTIES. IN ORDER TO DIRECT LIGHT DOWNWARD AND MINIMIZE THE AMOUNT OF LIGHT SPILL INTO THE NIGHT SKY AND ONTO ADJACENT PROPERTIES, ALL LIGHTING FIXTURES SHALL BE FULL CUTOFF LIGHTING FIXTURES.
 - G. SIGNAGE LIGHTING SHALL BE APPROVED AS PART OF A SEPARATE SIGN PERMIT.
 - H. LUMINAIRES SHALL BE SHIELDED AND DIRECTED TO AVOID GLARE AND OVERSPILL ONTO ADJACENT PROPERTY.
 - I. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF FIXTURES THAT ARE DIRECTED DOWNWARD (90 DEGREES FROM TRUE VERTICAL) AND SHALL HAVE FLAT LENSES, EMITTING NO MORE THAN 10 PERCENT OF THE TOTAL LUMENS BETWEEN 80 AND 90 DEGREES FROM TRUE VERTICAL. FIXTURES SHALL BE CONFIGURED SO THAT LIGHTS DO NOT CAUSE GLARE.
 - J. ALL LIGHT FIXTURES ON STRUCTURES, POLES, BOLLARDS, STANDS, OR MOUNTED ON A BUILDING SHALL HAVE A SHIELD, ADJUSTABLE REFLECTOR, AND/OR NON-PROTRUDING DIFFUSER TO SHIELD THE LIGHT SOURCE FROM SIGHT FROM ADJACENT RESIDENTIAL ZONING DISTRICTS.
 - K. MOTION-ACTIVATED SECURITY LIGHTING SHALL BE TIMED TO TURN OFF AFTER NOT MORE THAN FIVE MINUTES AFTER MOTION ACTIVATION.
 - L. WALL PACKS ON THE EXTERIOR OF THE BUILDING SHALL BE FULLY SHIELDED (E.G., TRUE CUT-OFF TYPE BULB OR LIGHT SOURCE NOT VISIBLE FROM OFF-SITE) TO DIRECT THE LIGHT VERTICALLY DOWNWARD.



All freestanding light fixtures shall be set back from each property line a distance at least equal to the total height of the luminaire.
 provide setbacks from poles to property lines

SITE PHOTOMETRIC PLAN
 DOUGAS 234 FILING NO. 6, AMD. 2
 DATE: FEBRUARY 17, 2025
 SHEET LT1

SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

provide transparency calculations on all facades. measured between 2'-8" applies as follows:

north - 25%
 east - 25%
 south - 30%
 west - 30%

CMU may be used as an accent material only, switch for higher quality. consider brick or stone veneer.

stucco can only make up 30% of a facade. provide percentage/square footage

building height is measured from grade

label material of foundation walls. use material found on building.

EXTERIOR FINISH LEGEND

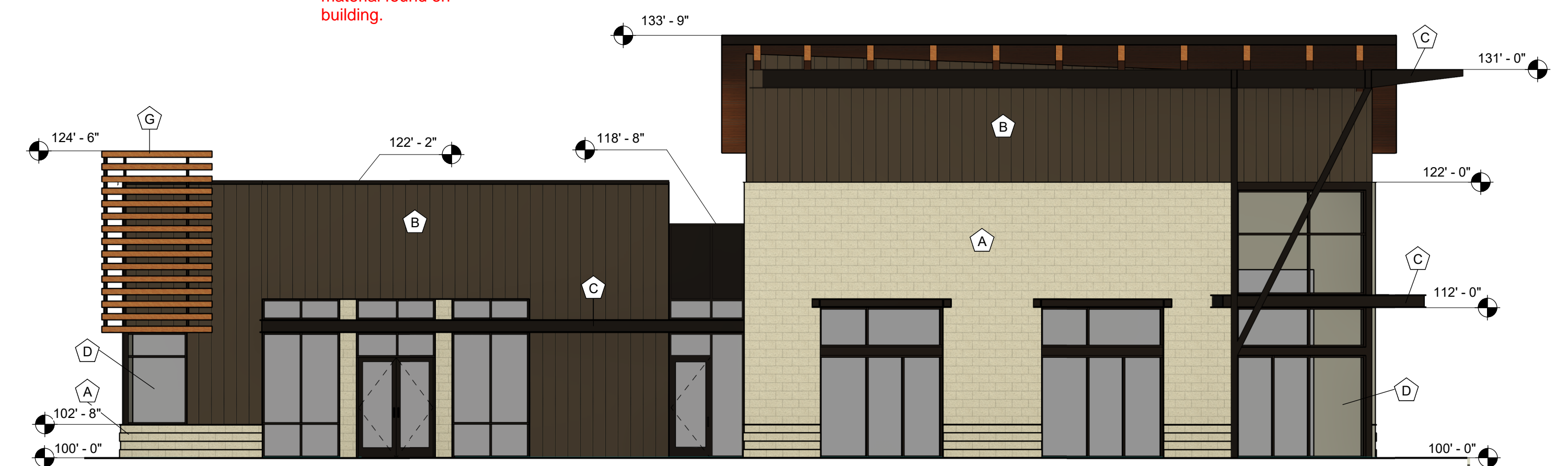
SYM.	MAT.	DESCRIPTION	MANUFACTURER / COLOR
A		CMU VENEER	IVORY
B		FLUSH SEAM METAL PANELS	DARK BRONZE
C		ALUMINUM STOREFRONT/ PAINTED STEEL	DARK BRONZE
D		TINTED/INSULATED GLAZING	GRAY TINT
E		STUCCO	LIGHT GREY/GREEN
F		STUCCO	DARK GRAY
G		COMPOSITE WOOD	INWOOD AMERICAN OAK



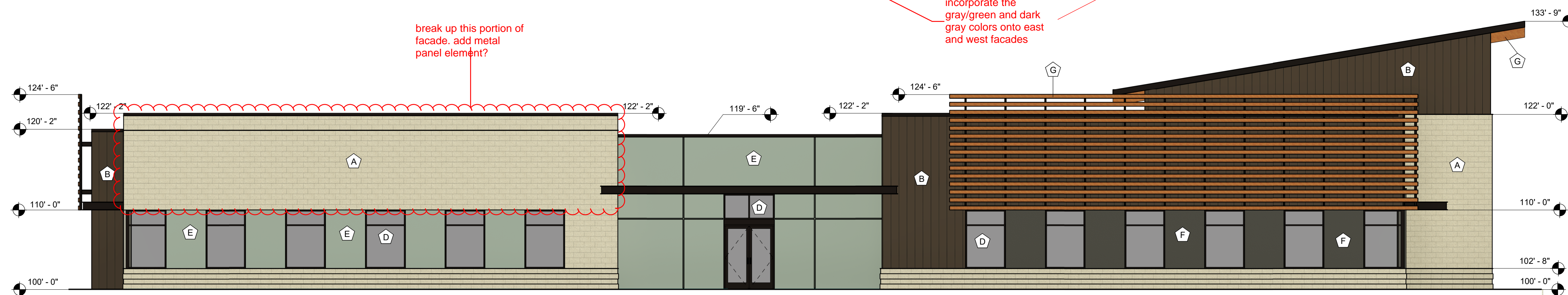
1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



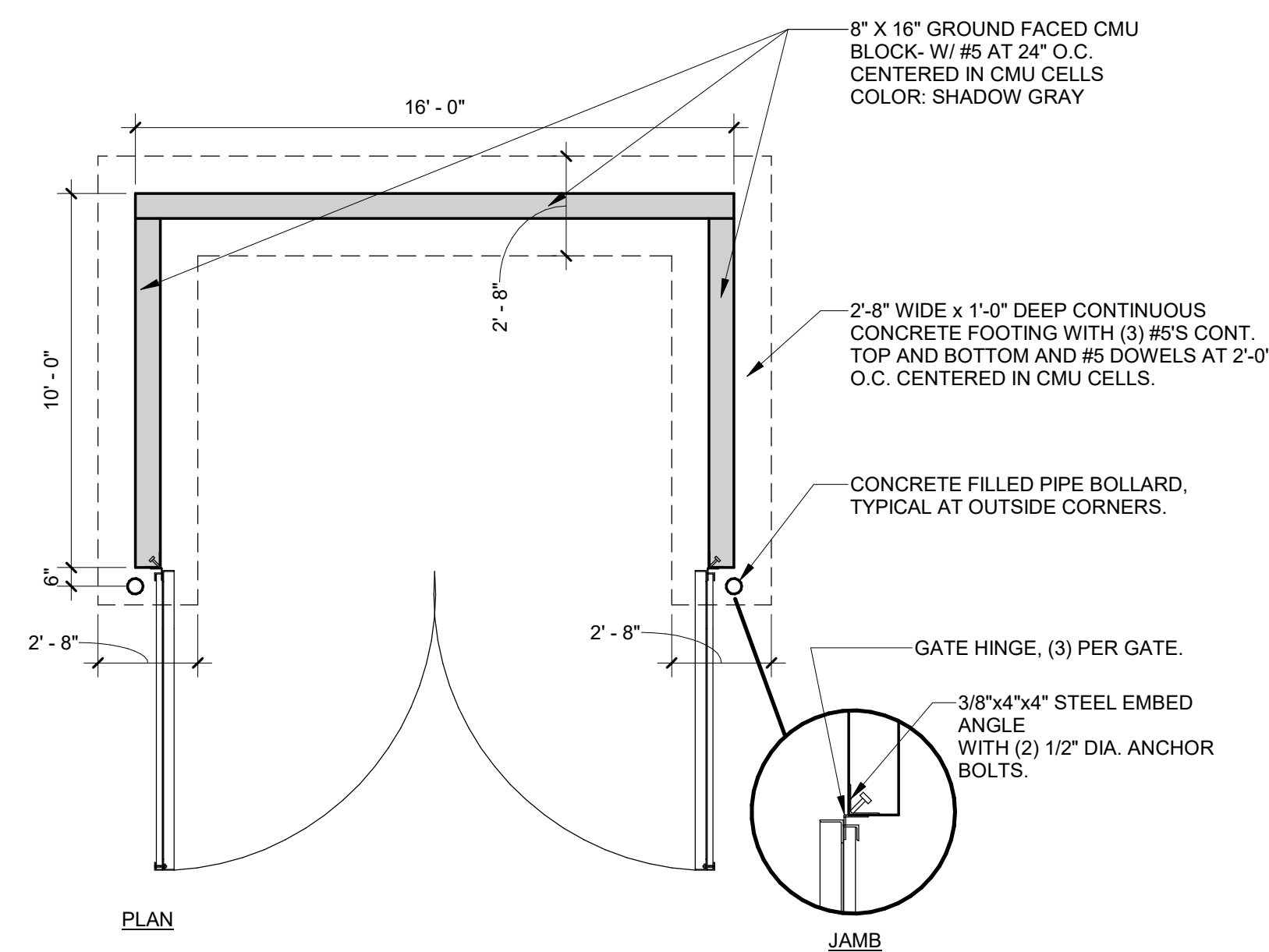
4 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS
 DOUGAS 234 FILING NO. 6, AMD. 2
 DATE: FEBRUARY 17, 2025

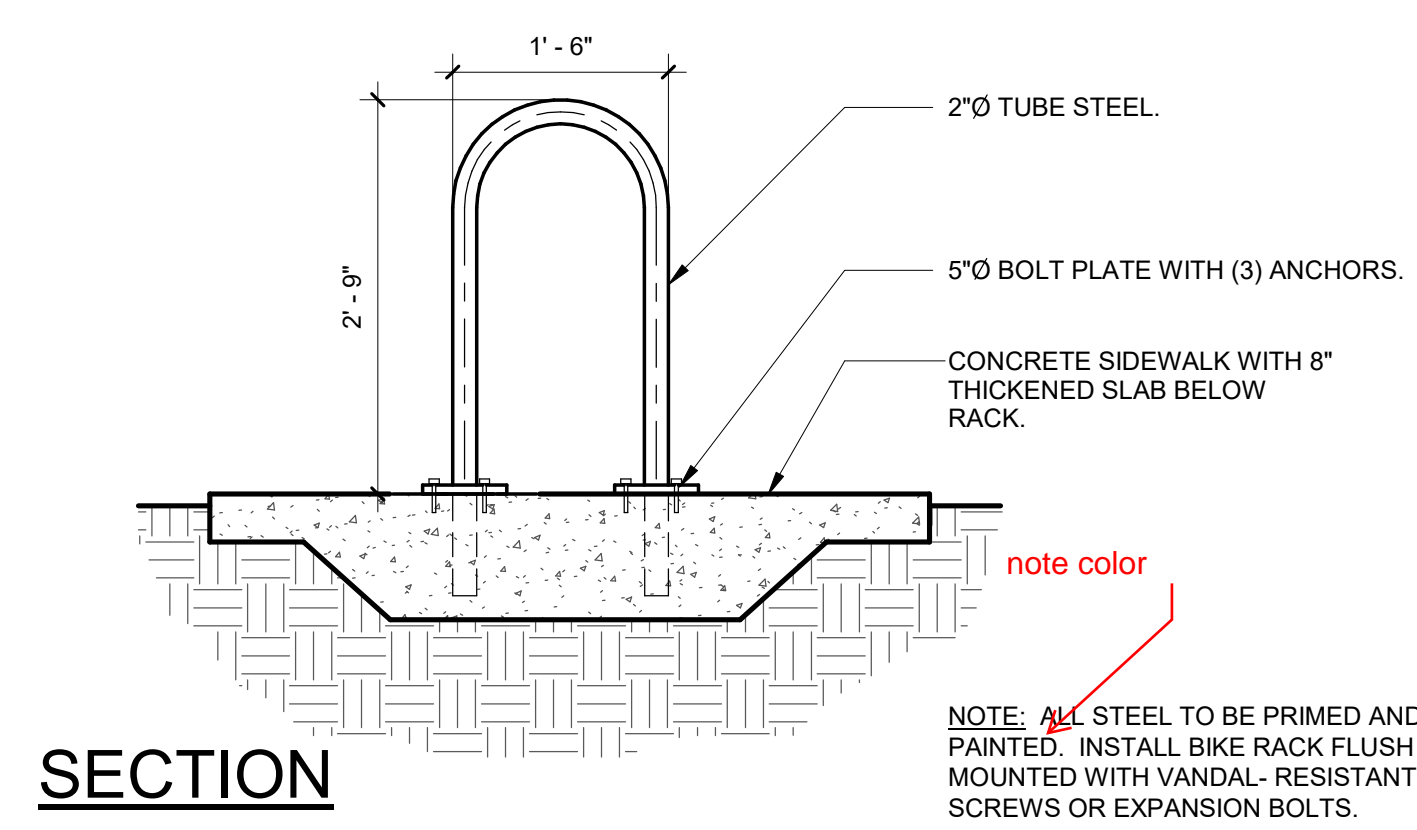
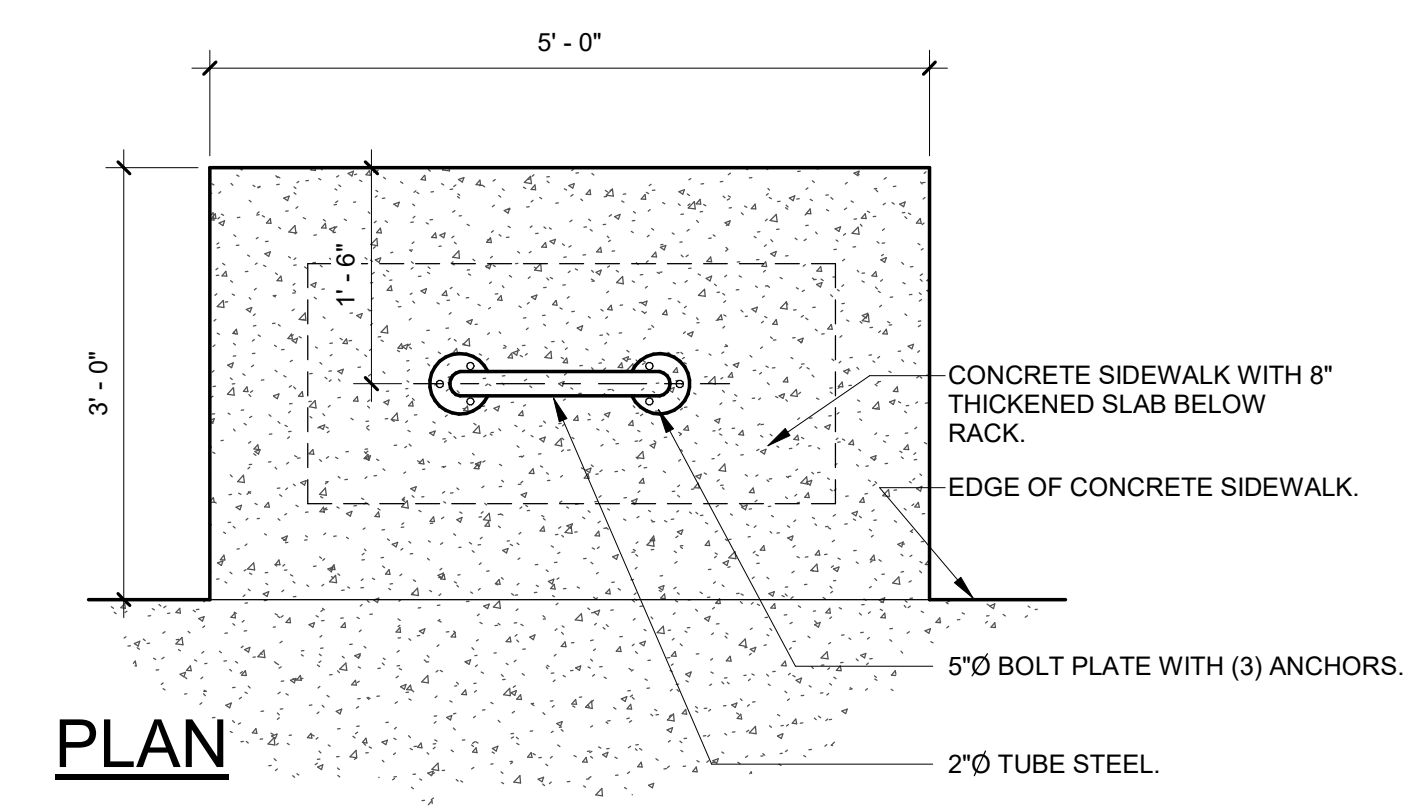
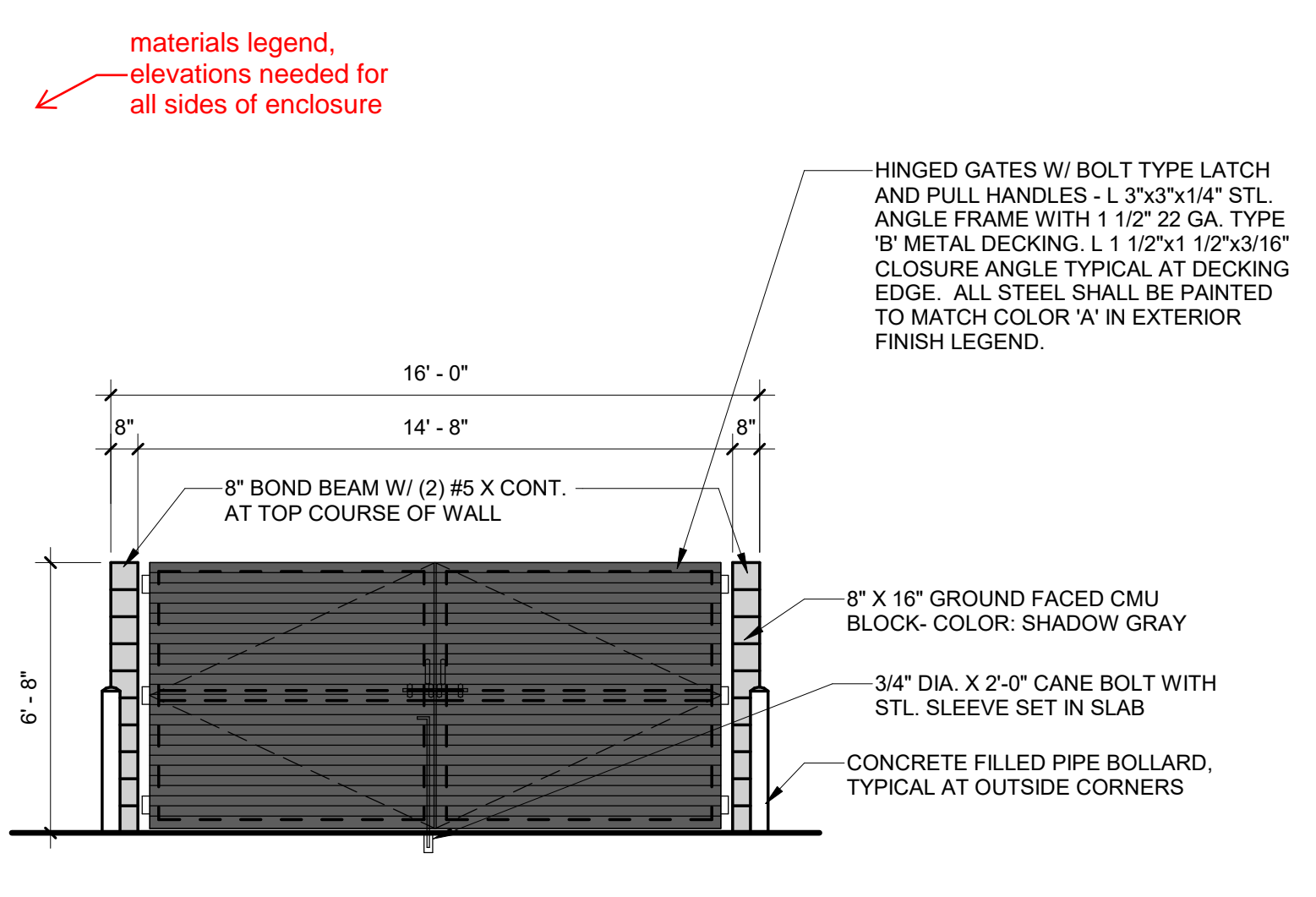
SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



1 TRASH ENCLOSURE
 SCALE: 1/4" = 1'-0"



2 BIKE RACK DETAIL
 SCALE: 3/4" = 1'-0"

spec needed for free standing retaining wall. image, height, color, material.

spec needed for railing - color, material

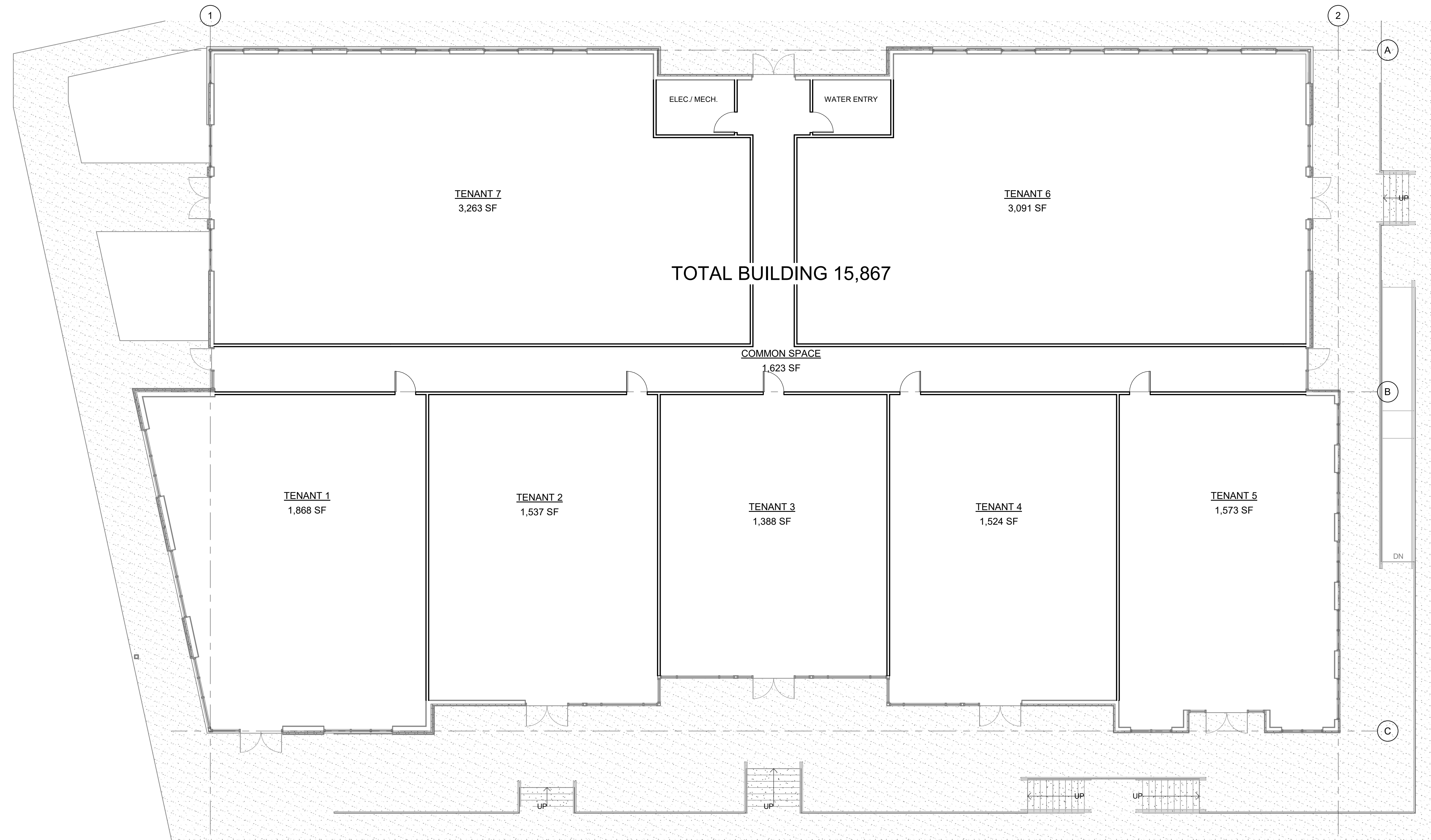
SITE DETAILS
 DOUGAS 234 FILING NO. 6, AMD. 2
 DATE: FEBRUARY 17, 2025

A2
Adragna
 architecture + development

7950 S. HANNIBAL CIRC. / 719.244.4023
 ENGLEWOOD, CO 80112 / 719.351.4918
 www.adragnaarch.com

SITE PLAN
HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLANS
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: FEBRUARY 17, 2025

A3
Adragna
architecture + development
7950 S. HANNIBAL CIRC. / 719.244.4023
ENGLEWOOD, CO 80112 / 719.351.4918
www.adragnaarch.com



Project Reviews Town of Parker

Project Number: SP25-021

Description: **Douglas 234 F6 AMD 2 L10B - Commercial Building**

Applied: **2/19/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: **PARKER, CO 80134**

Status: **UNDER REVIEW 1**

Applicant: **ADRAGNA ARCHITECTURE**

Parent Project: **SUB23-012**

Owner: **VR SLICEROO LLC**

Contractor: **<NONE>**

Details:

The applicant, Adragna Architecture, is proposing a Site Plan for a 15,877 sq. ft. commercial building. The site is located northeast of Hess Road and Chambers Road.

LIST OF REVIEWS						
SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
2/24/2025	3/4/2025	3/4/2025	COMPLETENESS REVIEW	Amber Wood Hicken	REVISIONS REQUIRED	Fees
Notes:						
4/7/2025	4/7/2025	4/9/2025	COMPLETENESS REVIEW	Amber Wood Hicken	COMPLETED	
Notes:						
Review Group: AUTO						
2/19/2025			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
2/19/2025	2/25/2025	3/5/2025	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						



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Project Reviews Town of Parker



Review Group: SP 1ST 20

4/7/2025	4/25/2025	5/5/2025	BUILDING 20	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:

Typically, accessible parking is required to meet the following:

1106.7 Location.

Accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible building entrance. In parking facilities that do not serve a particular building, accessible parking spaces shall be located on the shortest route to an accessible pedestrian entrance to the parking facility. Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrances.

The accessible parking provided does not appear to meet these requirements with a direct path to the access; the applicant shall revisit the parking and identify why the accessible parking cannot be provided on the southside of the building, west side of the site in order to meet the requirements of the code.

Typical comments are as follows:

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEPs, energy, structural, fire, etc.... Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then full plan review process may be able to begin.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72 and NFPA 13). NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

4/7/2025		5/5/2025	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

4/7/2025		5/5/2025	COMCAST 20	Butch Buster		
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Notes:



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Project Reviews Town of Parker



4/7/2025	5/2/2025	5/5/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP25-021 Douglas 234 F6 AMD 2 L10B - Commercial Building- 1st Environmental Review, 5-2-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend of Keys/Symbols, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
2. Please label and identify the ratio of all slopes that are 4:1 or steeper. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1.
3. NO WORK SHALL OCCUR AREAS must be shaded for easy identification.
4. Provide and identify the appropriate type of inlet protection from the Town’s four standard types for the existing and proposed inlets on the site and the adjacent site to the south. The site to the south has not been developed and the inlet protection should be for Area Inlets Not in Pavement. See the REDLINED EROSION CONTROL Plan Sheets in eTRAKiT attachments.
5. Please add the additional general note (#9): TOTAL DISTURBANCE AREA = 1.42 ACRES

INITIAL CBMP PLANS

6. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.

INTERIM/FINAL CBMP PLANS

7. Show Masonry Work Protection (MWP) on the plans in two locations for Construction of the building.
8. Identify Erosion Control Blanket (ECB) for all slopes steeper than 4:1 on the Interim and Final plan sheets.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:
https://drive.google.com/file/d/1oE5TRYFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive_link

4/7/2025	5/2/2025	5/5/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

4/7/2025		5/5/2025	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward		
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Notes:

4/7/2025	4/7/2025	5/5/2025	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals	NOT APPLICABLE	
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Notes:

N/A



PARKER
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Project Reviews Town of Parker



4/7/2025	5/1/2025	5/5/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals	ADVISORY COMMENTS	
Notes: See the attached Referral Comments Report.						
4/7/2025	5/2/2025	5/5/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
4/7/2025	4/10/2025	5/5/2025	ECONOMIC DEVELOPMENT 20	Weldy Feazell	NO COMMENT	
Notes:						
4/7/2025	4/28/2025	5/5/2025	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	SeeNotes
Notes: Address all comments in response letter, as required. A written response to this letter shall be uploaded to this application identifying how the modification was made and where/what document and sheet number the correction can be found. Response letter is uploaded to this application.						
4/7/2025	5/4/2025	5/5/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	
Notes: The applicant will be required to revise transformer location to meet the Town of Parker requirements. The proposed electric metering location to be revised to meet clearances from gas and door openings. Revise landscape plan to meet the Town of Parker location requirements and CORE's clearance requirements.						
4/7/2025	5/1/2025	5/5/2025	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
Notes: please see attached						
4/7/2025	5/2/2025	5/5/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
4/7/2025		5/5/2025	SITE PLAN 20	Amber Wood Hicken		
Notes:						
4/7/2025		5/5/2025	SOUTH METRO FIRE 20	South Metro Fire		
Notes:						



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Project Reviews Town of Parker

4/7/2025	5/2/2025	5/5/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
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Notes:

Review Group: SP 1ST 20 ADD

4/7/2025	4/30/2025	5/5/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
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Notes:

Please see uploaded review letter.

Please feel free to reach out with any questions you may have.