

# CIVIL CONSTRUCTION PLANS

# HORSE CREEK COMMERCIAL

## LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2

### A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.

### TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

#### STORM DRAINAGE INFRASTRUCTURE NOTES

- All storm drainage improvements are subject to compliance with the Colorado Department of Transportation (CDOT) current edition of the Standard Specifications for Road and Bridge Construction, M & S Standards, and all standard special provisions currently used by CDOT, with the modifications set forth in the Town of Parker's Storm Drainage and Environmental Criteria Manual (SDECM), as amended.
- The contractor shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8 CRS), the "Protection of Fishing Streams" Title 33, Article 5, CRS), the "Clean Water Act" (33 USC 1344), Cherry Creek Reservoir Control Regulation No. 72" (5 CCR 1002-72), the regulation promulgated, certification or permits issues, and the requirements presented in the SDECM Revision to Section 107 and the Construction BMP Plan. In the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal, or State agencies, the more restrictive laws, rules, or regulations shall apply.
- Inspections: Construction shall not begin until a grading permit has been issued for the project. The contractor shall notify the Town of Parker Engineering Department (Public Works) to schedule inspections a minimum of 48 hours prior to the construction of all drainage infrastructure (storm sewers, inlets, manholes, energy dissipaters, riprap, grouted boulders, detention pond outlet structures, forebays, trickle channels, etc). Failure to notify the engineering department for inspections may result in non-acceptance of the infrastructure by the Town. Urban Drainage and Flood Control District must also be notified in a similar manner for all maintenance eligible drainage infrastructures (consult with Stormwater Engineering Division).
- Structural backfill (CDOT Class 1) shall be compacted to conform to CDOT Standard Specification 203.03. Structural backfill (CDOT Class 2) shall conform to CDOT Standard Specification 203.07. At the contractor's option, Structural Backfill (Squeeze) meeting the gradation requirements contained in Revision of Section 206 of the CDOT Standard Specifications as presented in the SDECM, may be substituted for Structure backfill (Class 1) or Class 2) for backfilling of culvert pipes, storm sewer pipes, manholes and inlet structures; however, the top 2 feet below subgrade elevation shall be the required embankment material.
- All excavations shall meet OSHA requirements.
- Testing: Probationary acceptance of storm drainage improvements will be contingent upon satisfactory testing results. In all cases where tests indicate compaction less than that required by Town specifications, additional compaction and tests will be required until the specifications are met. Frequency of testing will be as follows:
  - 1 test for subgrade and 1 test for backfill at every above ground appurtenance (manholes, inlets, etc)
  - 1 test every 200 LF of mainline trench every 1 foot of backfill lift and within 1 foot from all structures.
- Allowable storm sewer conduit material within the Town of Parker shall be limited to Reinforced Concrete Pipe (RCP) conforming to CDOT Standard Specification 706.02.
- All RCP joints shall be manufactured in accordance with ASTM C443. Rubber gaskets shall be used on all pipe joints conforming to ASTM C443. All RCP sections shall be joined in such a manner that the ends are fully entered and the inner surfaces are reasonable flush. Average joint gap that exceeds 1/8 inch shall be filled with an approved flexible plastic sealant.
- Joint restraints and toe-walls, conforming to CDOT M&S Standard Plan No. M-601-11 shall be used on all RCP flared end section outfalls.
- Epoxy coated rebar shall be used as reinforcing steel on all storm inlets and structures. Reference CDOT M&S Standard Plan No. M-604-10, 11, 12, and 13.
- CDOT Class D concrete shall be used for all concrete drainage structures.
- Pre-cast inlets and manhole bases shall not be used within the Town of Parker Right-of-way, with the exception of CDOT Type C and D inlets.
- Two- (2) manhole access points are required on all Type "R" curb inlets greater than or equal to ten (10) feet in length as presented in CDOT M&S Standard Plan No. M-604-12.
- All grouting (boulders, riprap) shall be in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- All boulders and riprap shall be selected and placed in accordance with the Revision of Section 506 of the CDOT Standard Specifications as presented in the SDECM.
- Contractor shall refer to the Town of Parker's Construction Best Management Practices details and notes for all requirements relating to re-vegetation, sediment and erosion control requirements for construction activities.
- Pipe bells shall not be cast into manhole bases or inlets.

#### NOTICE TO CONTRACTOR

- BY ACCEPTING AND UTILIZING THESE PLANS THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSON AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CIVIL ENGINEER.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED FROM RECORDS MADE AVAILABLE BY THE SERVICE PROVIDER. VERMILION PEAK ENGINEERING ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO LOCATE AND PROTECT ALL UTILITIES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE LOCATION, PROTECTION OF AND ANY DAMAGE TO SAID FACILITIES.
- THE CONTRACTOR SHALL CONTACT VERMILION PEAK ENGINEERING (720-402-6070) PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS, IF ANY DISCREPANCY BETWEEN THE PLANS AND THE EXISTING CONDITIONS, OR IF ANY ERROR OR OMISSION, IS DISCOVERED IN THE PLANS.

#### SIGNAGE AND STRIPING NOTES

In addition to the notes in the above section of these roadway standards, the following notes shall appear on the cover sheet of all submittals containing roadways. The following notes shall be on all signage and striping plans:

- All traffic control devices shall conform to the most recent version of the federal Manual on Uniform Traffic Control Devices (MUTCD), Colorado Supplemental MUTCD, and the Town of Parker Roadway Design and Construction Criteria Manual. Further specifications and illustrations are located in the Colorado Department of Transportation (CDOT) M and S Standards.
- A field inspection of location and installation of all signs and markings shall be performed by the Town of Parker.
- The contractor installing signs shall be responsible for the locating and protecting of all underground utilities.
- Type III (lighted) barricades shall be set at the ends of roadways separating finished (and/or accepted) and unfinished construction areas and shall be maintained by the contractor/developer. A "Road Closed Ahead" and "To Be Extended" warning signs shall be installed appropriately in advance of the Type III barricades.
- Special care shall be taken in sign locations to ensure an unobstructed view of each sign.
- Where stop sign control is appropriate, 36 inch stop signs shall be used for approaches to any roadway that is classified as a collector or greater.
- A 7 foot minimum post length shall be maintained from the bottom of the sign panel to the ground. This requirement for vertical clearance is for all signs.
- Delineation of roadways shall be as specified in the Colorado Department of Transportation M and S Standards.
- Raised median island noses shall have R4-7 signs at each end and a 4"x12" high intensity yellow sign blank located midway between the R4-7 sign and finished grade on each post.
- Signage and striping has been determined by information available at the time of review. Prior to the initiation of any warranty period, the Town of Parker reserves the right to require modifications to existing, or installation of, additional signage and/or pavement marking if it is determined that conditions warrant such modification according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the two-year warranty period for new construction. Additionally, all pavement markings shall not lift or peel during the first year after installation.
- Diamond grade material shall be used on all stop signs and overhead signs. All other roadside traffic control devices shall use high intensity grade sheeting. No fluorescent yellow green sheeting shall be used unless specifically approved by the Town of Parker.
- All street name signs shall be high intensity, extruded, green and white blades. Arterial and collector street name signs shall be 9 inch blades and have mixed case lettering. Local street name signs shall be 6 inches blades with mixed case lettering.
- All layouts for internally illuminated street name signs shall be submitted to the Town for review and approval prior to fabrication.
- All removed signs shall be returned to the Town of Parker.
- Crosswalks: Shall be constructed using preformed thermo-plastic or an approved equal.
  - Shall be Longitudinal 2 feet by 10 feet (Continental) type or other approved by the Town of Parker.
  - Shall line up with handicap ramps.
  - Shall be centered within lanes and placed on lane and curb lines so as to avoid vehicle wheel paths.
- All pavement marking material (including words and symbols) shall be as follows:
  - For Concrete Surface:** Long line markings (channelization lines, skips, etc) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.
  - Words, symbols, and crosswalks/stop bars shall be methyl-mythacralate, preformed thermoplastic (90 mil), preformed plastic (90 mil), inlaid tape (STAMARK), or as specified.
  - (Sand or water blast curing compound prior to installation of markings.)
  - For Asphalt Surface:** Long line markings (channelization lines, skips, etc) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.
  - Words, symbols, and crosswalks/stop bars shall be hot applied thermoplastic (90 mil), preformed plastic (90 mil), inlaid tape (STAMARK), Methyl-Mythacralate, or as specified.
- Inspection and approval of striping and crosswalk layout to be done by Town of Parker Development Review Engineer (call 303-840-9546) prior to application of final striping.

#### DEVELOPER

VENTANA CAPITAL  
8678 CONCORD CENTER DR, SUITE 200  
ENGLEWOOD, CO 80112  
720-703-9036  
CONTACT: DALTON HORAN

#### ARCHITECT

ADRAGNA ARCHITECTURE + DEVELOPMENT  
8695 THUNDERBIRD CIRCLE  
PARKER, CO 80134  
719-244-4023  
CONTACT: CASEY ADRAGNA

#### ENGINEER/SURVEYOR

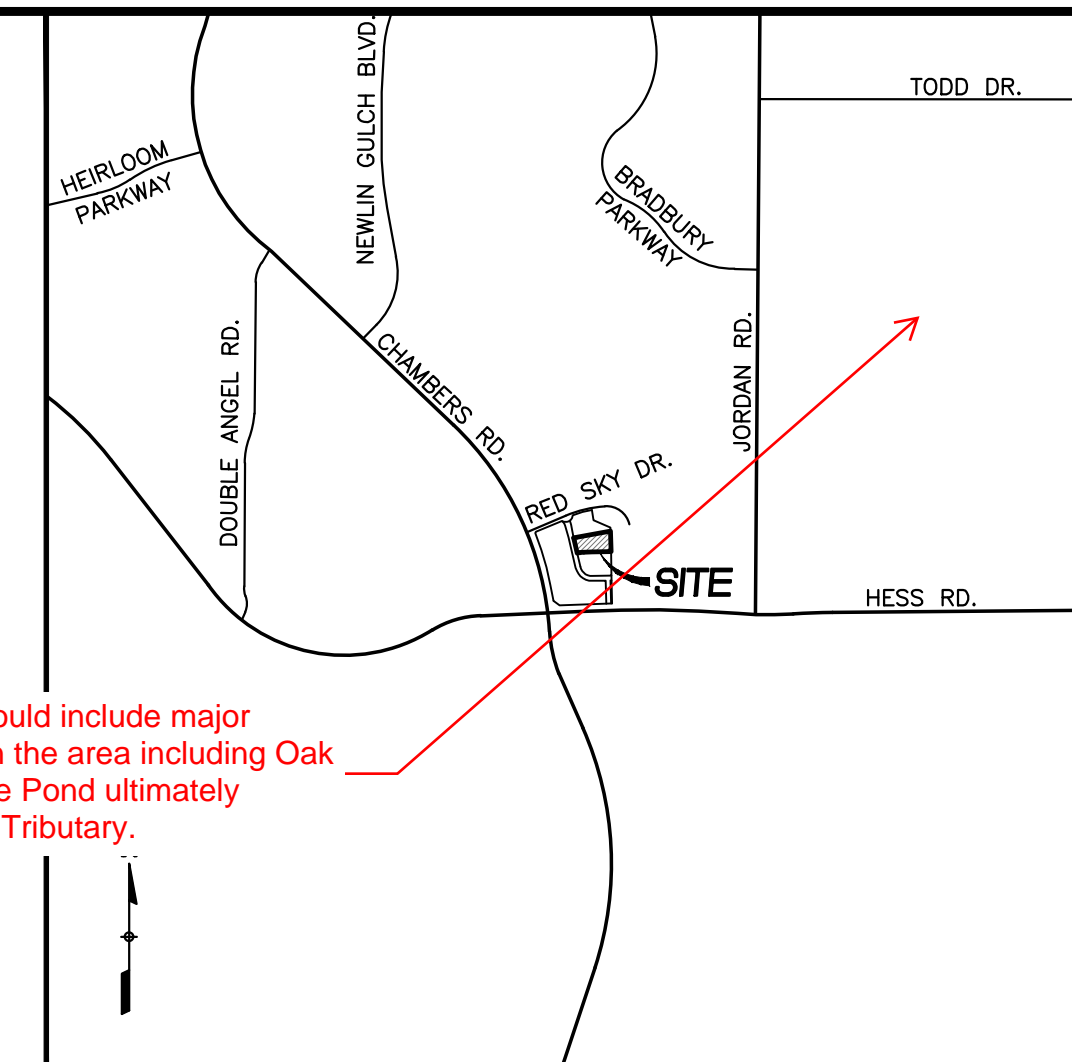
BRIAN KROMBEIN, PE, PLS  
VERMILION PEAK ENGINEERING LLC  
1745 SHEA CENTER DRIVE, 4TH FLOOR  
HIGHLANDS RANCH, CO 80129  
720-402-6070

#### TOWN OF PARKER DEPARTMENT OF ENGINEERING/PUBLIC WORKS

##### STANDARD CONSTRUCTION NOTES

These notes shall appear on the cover sheet. If a cover sheet has not been used they shall be put on every sheet of the submittal.

- All materials and construction shall be in conformance with the latest edition of the Colorado Department of Transportation Standard Specifications for Road and Bridge Construction, the latest edition of the Town of Parker Roadway Design and Construction Criteria Manual, and the Town of Parker Storm Drainage and Environmental Criteria Manual.
- All materials and workmanship shall be subject to inspection by the Town of Parker Public Works Department. The Town reserves the right to accept or reject any such materials and workmanship that does not conform to its standards and specifications.
- A preconstruction meeting shall be scheduled a minimum of 48 hours and a maximum of 96 hours prior to the start of construction. A preconstruction meeting will not be scheduled until the grading permit and all other necessary permits have been obtained.
- The Town Inspector shall be contacted a minimum of 24 hours prior to a necessary inspection. If a Town Inspector is not available after proper notice of construction activity has been provided, the permittee may commence work in the Town Inspector's absence. However, the Town of Parker reserves the right to reject the improvement if subsequent testing reveals an improper installation.
- Location of existing utilities shall be verified by the contractor prior to actual construction in accordance with all state and local laws. The contractor shall field verify size and horizontal and vertical locations of existing facilities prior to construction, and notify the engineer of any discrepancies.
- The contractor shall have one (1) signed copy of the plans, approved by the Town of Parker Director of Engineering/Public Works, and one (1) copy of the Roadway Design and Construction Criteria at the job site at all times.
- A plan for traffic control during construction shall be submitted to the Town of Parker for acceptance with the Right-of-Way Use Permit application. A permit will not be issued without an approved traffic control plan for use during construction.
- All trenches shall be adequately supported and the safety of workers provided for as required by the most recent Occupational Safety and Health Administration (OSHA) "Safety and Health Regulations for Construction."
- Compaction of all trenches must be attained and compaction test results submitted to the Development Review Engineer in preliminary form prior to paving and in final form prior to probationary acceptance.
- The contractor is responsible for implementing and maintaining erosion and sediment control measures at all times during construction. The plan may be modified as field conditions warrant with approval from the Town of Parker Public Works Department.
- The contractor shall provide, erect and maintain proper traffic control devices until the site is open to traffic. The contractor shall submit a traffic control plan to the Town of Parker Public Works Department for approval prior to construction.
- Plans are approved for period of 1 (one) year from the date shown on the Town of Parker signature block. Plans shall be resubmitted to the Town for approval after 1 year. The cost of the plan re-review and re-acceptance will be charged back to the developer including all time and expenses of the Town of Parker Public Works Department.
- Repair of any damage to existing improvements or landscaping is the responsibility of the contractor. Such restoration may be required to be completed prior to acceptance of completed improvements.
- All damaged existing curb, gutter, and sidewalk shall be repaired prior to acceptance of completed improvements.
- All construction activities must comply with the State of Colorado permitting process for "Stormwater Discharges Associated with Construction Activity." For information, please contact Colorado Department of Health, Water Quality Control Division, WQCD-PE-B2, 4300 Cherry Drive South, Denver, Colorado 80222-1530. Attention: Permits and Enforcement Section. Phone (303) 692-3500.
- If dewatering is required, a state construction dewatering discharge permit is required for discharges to a storm sewer, channel, irrigation ditch, any street that is tributary to the aforementioned facilities, or any water of the United States.
- All references to books, pages, maps, and reception number are public documents on file with the County Clerk and Recorder's Office.



VICINITY MAP  
SCALE: 1"=2000'

The vicinity Map should include major drainageways within the area including Oak Gulch and where the Pond ultimately outfalls to, the KOA Tributary.

added

Please provide on the cover sheet a table of the volume of cut, volume of fill, volume of material to be exported offsite, the steepest proposed slopes, the total area of land disturbance, the existing impervious area, the proposed impervious area (total impervious area for the site) and the area of land disturbance treated by a water quality control measure per the SDECM.

#### SHEET INDEX

C1	COVER SHEET
C2	CIVIL SITE PLAN
C3	FINAL GRADING PLAN
C4	OVERALL UTILITY PLAN / STORM SEWER PLAN & PROFILE
C5	INITIAL EROSION AND SEDIMENT CONTROL PLAN
C6	INTERIM EROSION AND SEDIMENT CONTROL PLAN
C7	FINAL EROSION AND SEDIMENT CONTROL PLAN
C8-C12	EROSION CONTROL DETAILS
C13-C16	SITE CONSTRUCTION DETAILS
C17	UTILITY DETAILS

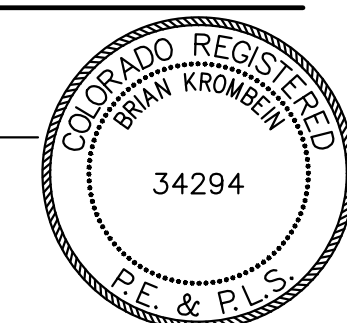
#### BENCHMARK

BENCHMARK IS BY GPS OBSERVATION NAVD 88. SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200' +/- NORTH OF HESS RD.

#### ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE 2/12/25  
COLORADO PE NO. 34294  
FOR AND ON BEHALF OF  
VERMILION PEAK ENGINEERING LLC



#### TOWN OF PARKER

20120 E MAINSTREET  
PARKER, CO 80138  
(303) 841-0353

#### PARKER WATER AND SANITATION DISTRICT

18100 E. WOODMAN DRIVE  
PARKER, CO 80134  
(303) 841-4627

#### SOUTH METRO FIRE PROTECTION DISTRICT

10235 PARKGLENN WAY  
PARKER, CO 80138  
(303) 805-0224

#### CORE ELECTRIC COOPERATIVE

5496 NORTH U.S. HIGHWAY 85  
SEDALIA, CO 80135  
(303) 688-3100

corrected

The contact information on the cover sheet provides the phone number for Parker Pinery HOA, Please provide the phone number for Town of Parker Engineering and Public Works 303-840-9546

revised

#### TOWN OF PARKER APPROVAL BLOCK

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

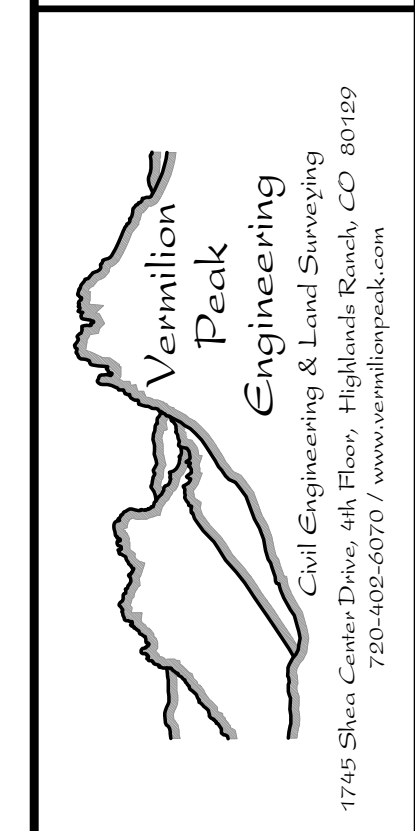
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, PUBLIC WORKS DIRECTOR OF ENGINEERING/PUBLIC WORKS	DATE
<del>TOWN OF PARKER, PUBLIC WORKS MANAGER - STORMWATER</del>	<del>DATE</del>
<del>TOWN OF PARKER, PUBLIC WORKS MANAGER - TRANSPORTATION</del>	<del>DATE</del>

Please ensure signature review block matches the latest shown in the Parker Roadway Design and Construction Criteria Manual Appendix B (RDCCM).

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE TOWN ENGINEER, VERMILION PEAK ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
VENTANA CAPITAL  
8678 CONCORD CENTER DR, SUITE 200  
ENGLEWOOD, CO 80112  
720-703-9036  
CONTACT: DALTON HORAN

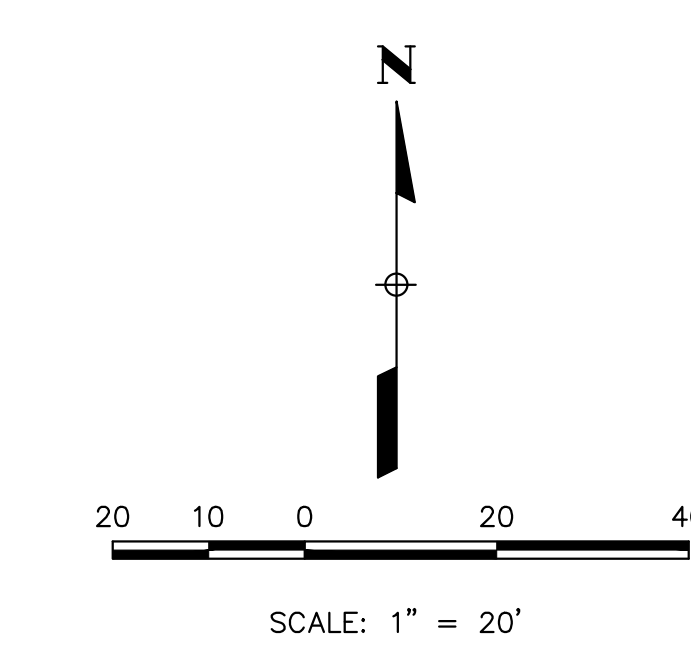
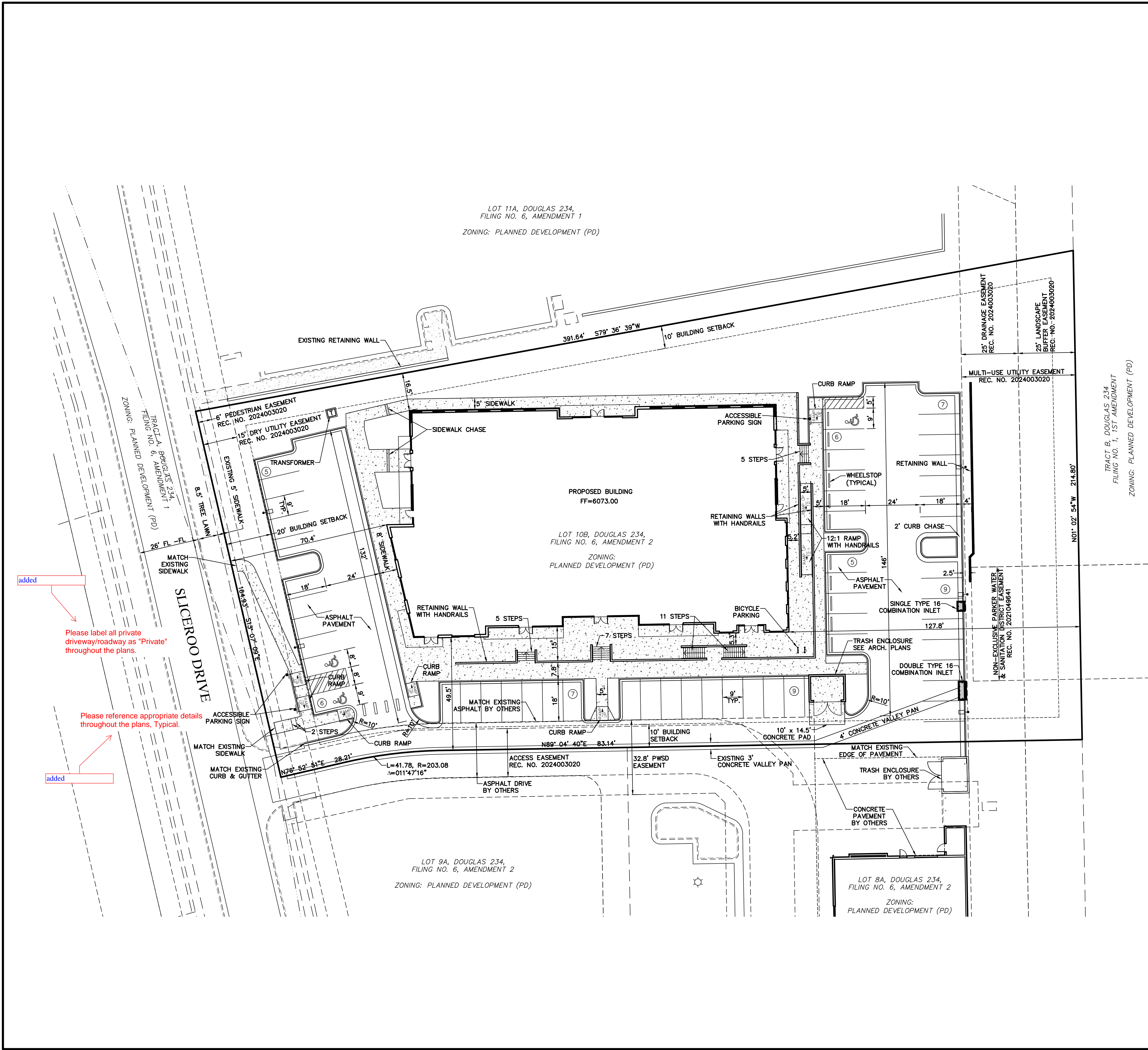


BY	DATE

No.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		2/12/25	BK	BK	

HORSE CREEK COMMERCIAL  
CIVIL CONSTRUCTION PLANS

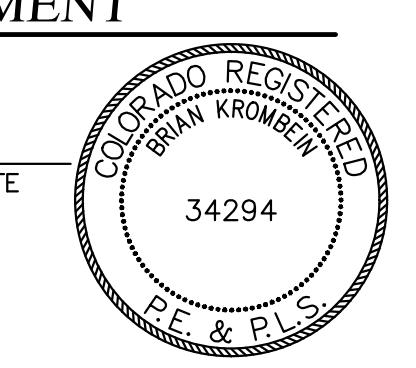


**LEGEND**

	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED 2' CATCH CURB & GUTTER
	PROPOSED 1' SPILL CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	BUILDING SETBACK
	EXISTING EASEMENT
	CONCRETE PAVEMENT
	PROPOSED LIGHT POLE
	PARKING COUNT

**ENGINEER'S STATEMENT**

PREPARED UNDER MY SUPERVISION  
 BRIAN KROMBEIN, PE, PLS DATE  
 COLORADO PE NO. 34294  
 FOR AND ON BEHALF OF  
 VERMILION PEAK ENGINEERING LLC



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE VERMILION PEAK ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

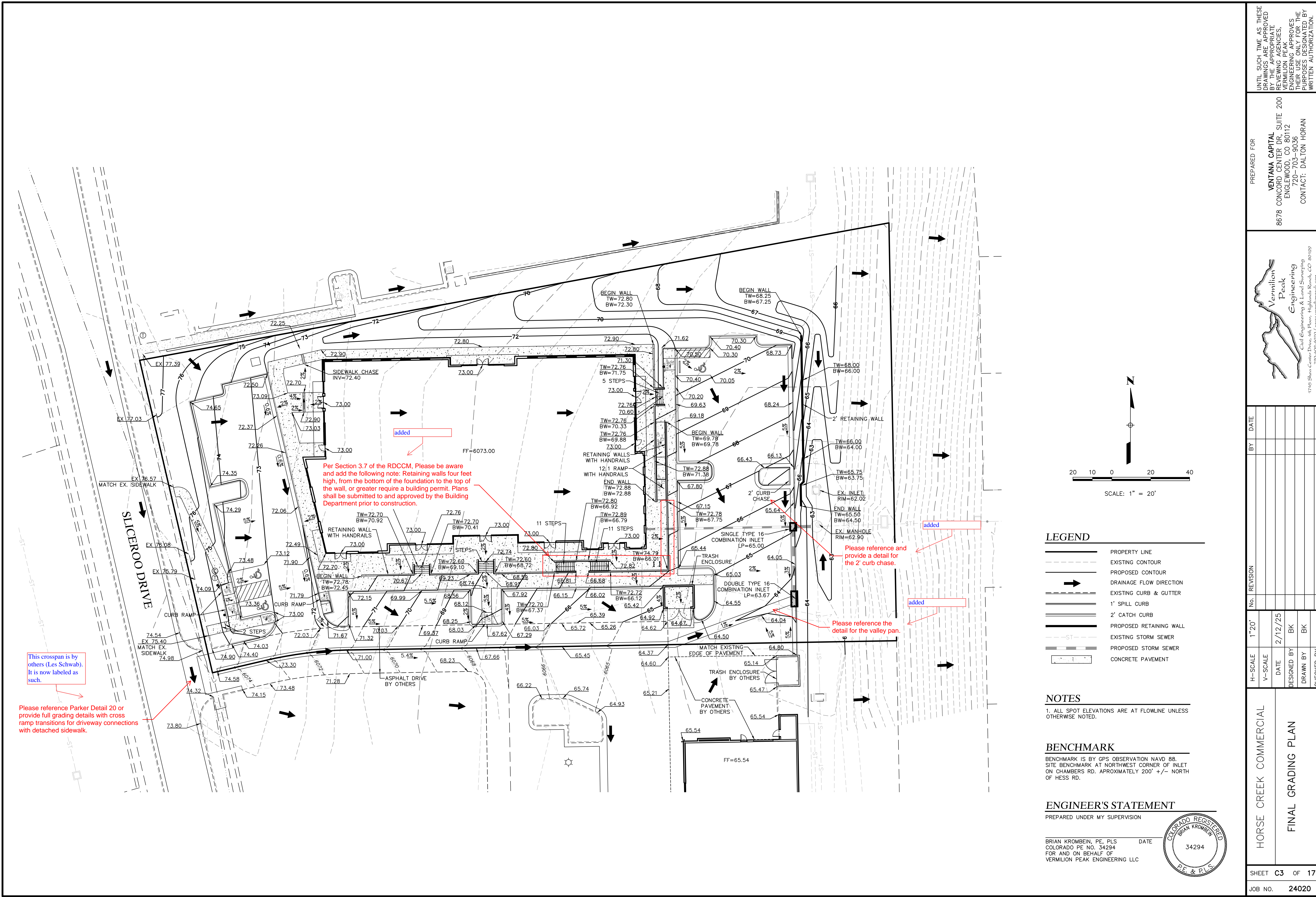
PREPARED FOR  
**VENTANA CAPITAL**  
 8678 CONCORD CENTER DR, SUITE 200  
 ENGLEWOOD, CO 80112  
 720-703-9036  
 CONTACT: DALTON HORAN



No.	REVISION	BY	DATE

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=20'		2/12/25	BK	BK	BK

HORSE CREEK COMMERCIAL  
 CIVIL SITE PLAN



Per Section 3.7 of the RDCCM, Please be aware and add the following note: Retaining walls four feet high, from the bottom of the foundation to the top of the wall, or greater require a building permit. Plans shall be submitted to and approved by the Building Department prior to construction.

Please reference and provide a detail for the 2' curb chase.

Please reference the detail for the valley pan.

This crosspan is by others (Les Schwab). It is now labeled as such.

Please reference Parker Detail 20 or provide full grading details with cross ramp transitions for driveway connections with detached sidewalk.

**LEGEND**

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- DRAINAGE FLOW DIRECTION
- - - EXISTING CURB & GUTTER
- 1' SPILL CURB
- 2' CATCH CURB
- - - PROPOSED RETAINING WALL
- - - EXISTING STORM SEWER
- - - PROPOSED STORM SEWER
- CONCRETE PAVEMENT

**NOTES**

1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

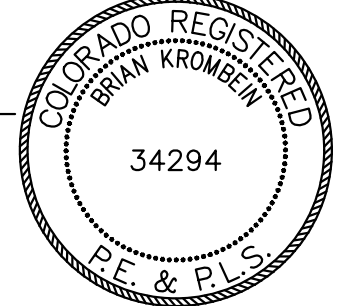
**BENCHMARK**

BENCHMARK IS BY GPS OBSERVATION NAVD 88. SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200' +/- NORTH OF HESS RD.

**ENGINEER'S STATEMENT**

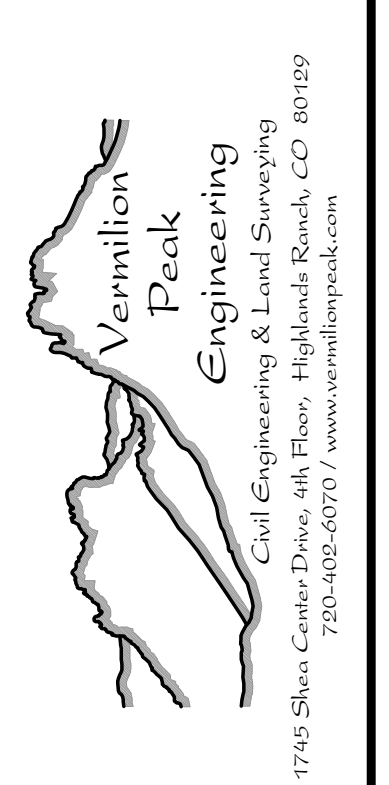
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE 3/21/25  
 COLORADO PE NO. 34294  
 FOR AND ON BEHALF OF VERMILION PEAK ENGINEERING LLC

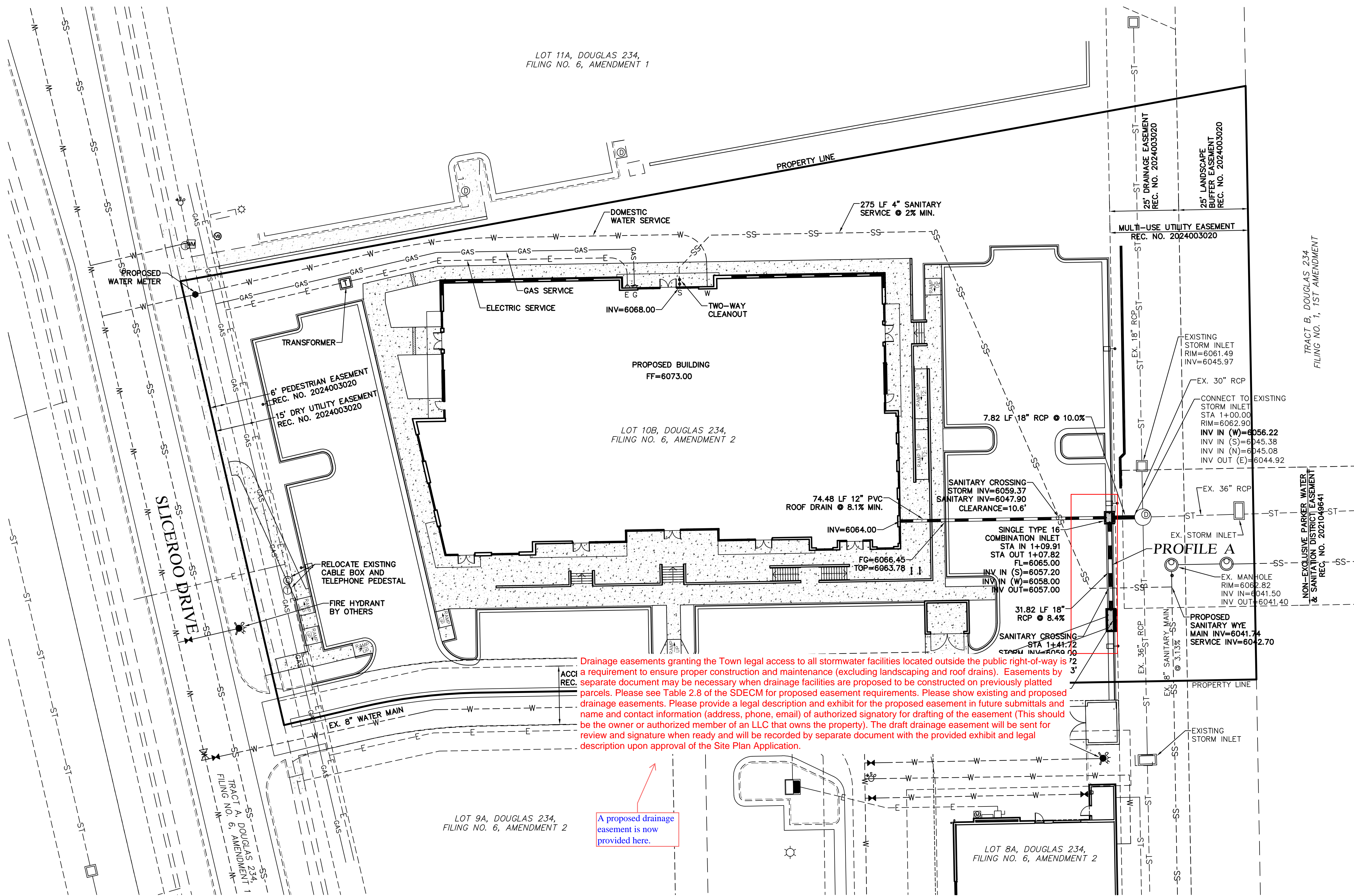


UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE AGENCIES, THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**VENTANA CAPITAL**  
 8678 CONCORD CENTER DR, SUITE 200  
 ENGLEWOOD, CO 80112  
 720-703-9036  
 CONTACT: DALTON HORAN

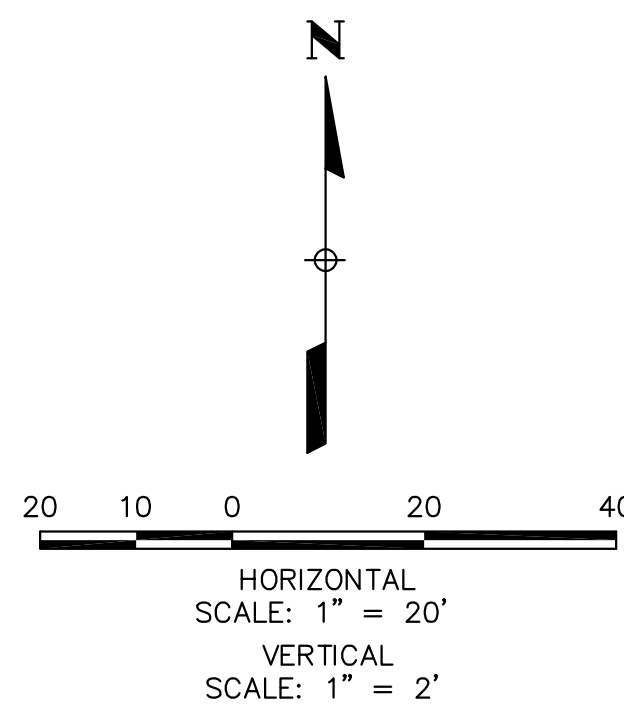


NO.	REVISION	DATE	BY



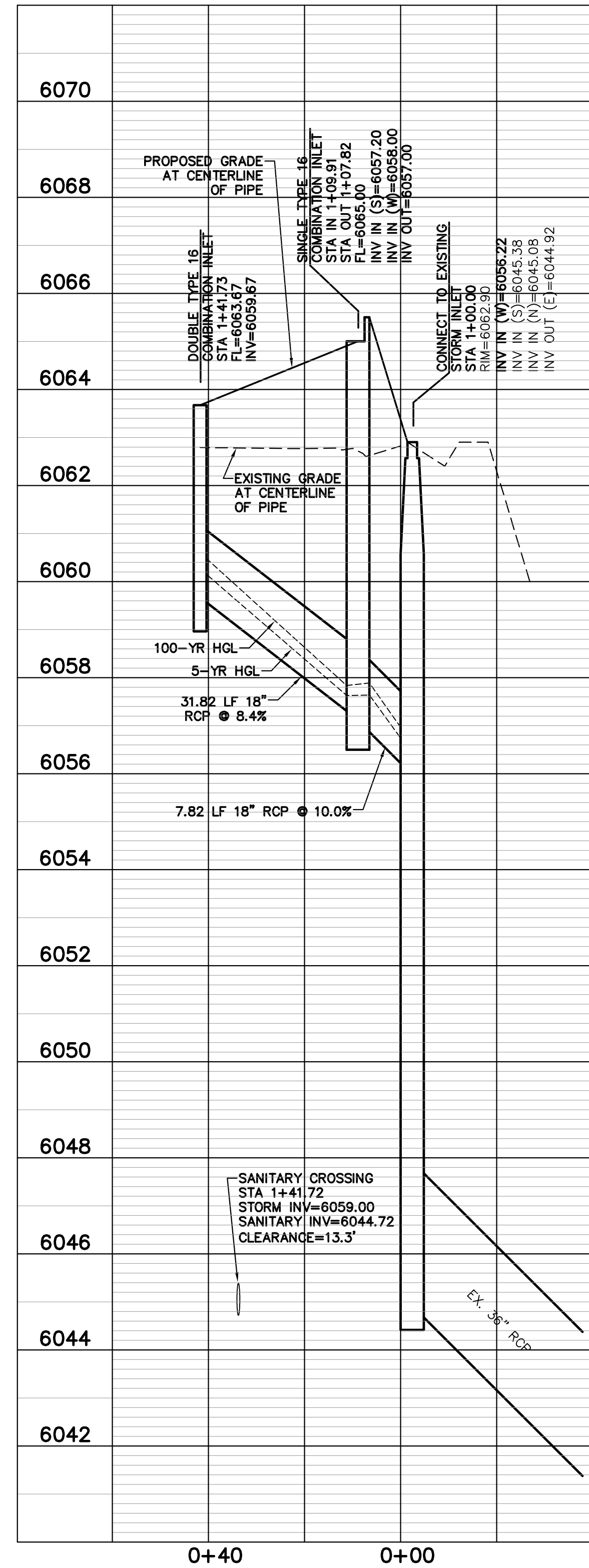
Drainage easements granting the Town legal access to all stormwater facilities located outside the public right-of-way is a requirement to ensure proper construction and maintenance (excluding landscaping and roof drains). Easements by separate document may be necessary when drainage facilities are proposed to be constructed on previously platted parcels. Please see Table 2.8 of the SDECM for proposed easement requirements. Please show existing and proposed drainage easements. Please provide a legal description and exhibit for the proposed easement in future submittals and name and contact information (address, phone, email) of authorized signatory for drafting of the easement (This should be the owner or authorized member of an LLC that owns the property). The draft drainage easement will be sent for review and signature when ready and will be recorded by separate document with the provided exhibit and legal description upon approval of the Site Plan Application.

A proposed drainage easement is now provided here.



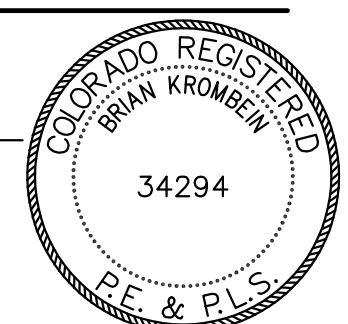
LEGEND			
	PROPERTY LINE		PROPOSED ELECTRIC
	EXISTING CURB & GUTTER		PROPOSED STORM SEWER
	PROPOSED 2' CATCH CURB & GUTTER		PROPOSED CURB & GUTTER
	PROPOSED 1' SPILL CURB & GUTTER		PROPOSED WATER SERVICE
	EXISTING RIGHT-OF-WAY		PROPOSED SANITARY SERVICE
	EXISTING SANITARY SEWER		CONCRETE PAVEMENT
	EXISTING WATERLINE		EXISTING EASEMENT
	EXISTING GAS PIPE		PROPOSED RETAINING WALL
	EXISTING STORM SEWER		PROPOSED LIGHT POLE
	EXISTING ELECTRIC		

**FIRE FLOW**  
 FIRE FLOW REQUIREMENTS ARE 2,750 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT. INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.  
 CODE USED FOR ANALYSIS: 2021 IFC  
 OCCUPANCY GROUP(S): B, M  
 CONSTRUCTION TYPE(S): IIB  
 FIRE FLOW CALCULATION AREA: 15,877 SF  
 THIS BUILDING IS NOT FULLY SPRINKLERED



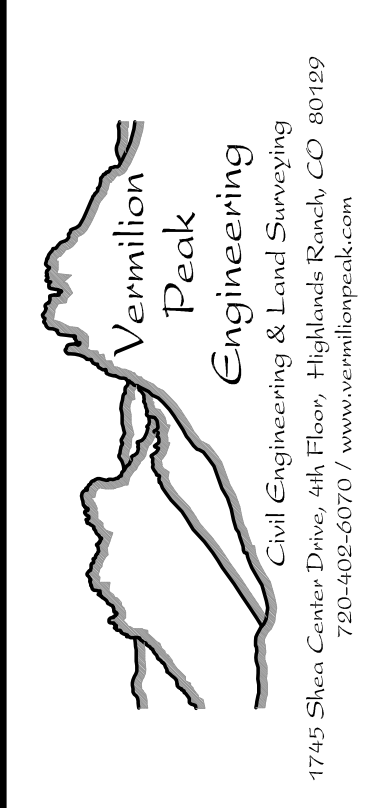
**ENGINEER'S STATEMENT**

PREPARED UNDER MY SUPERVISION  
 BRIAN KROMBEIN, PE, PLS  
 COLORADO PE NO. 34294  
 FOR AND ON BEHALF OF  
 VERMILION PEAK ENGINEERING LLC



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
 VENTANA CAPITAL  
 8678 CONCORD CENTER DR, SUITE 200  
 ENGLEWOOD, CO 80112  
 720-703-9036  
 CONTACT: DALTON HORAN



No.	REVISION	BY	DATE
6070			
6068			
6066			
6064			
6062			
6060			
6058			
6056			
6054			
6052			
6050			
6048			
6046			
6044			
6042			

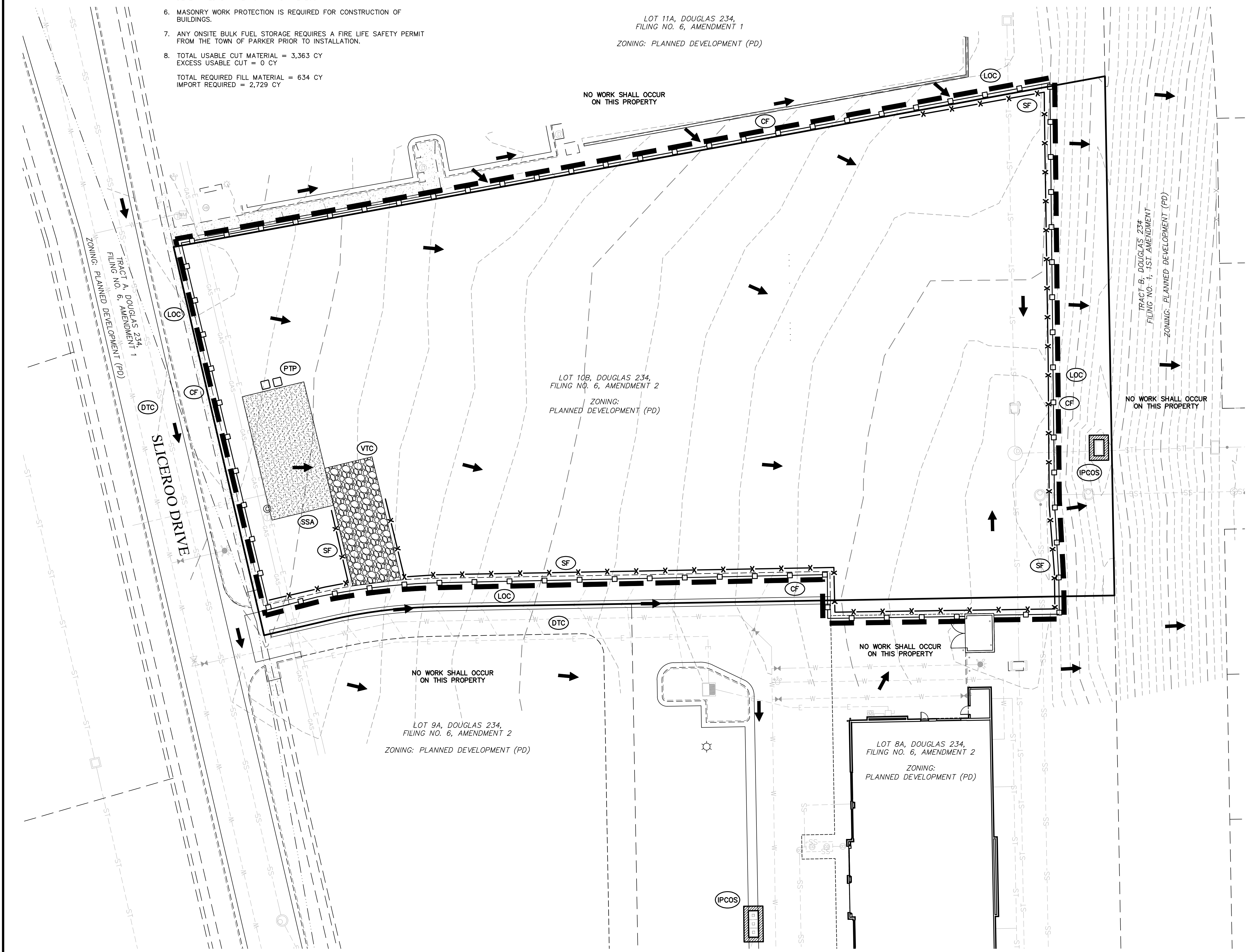
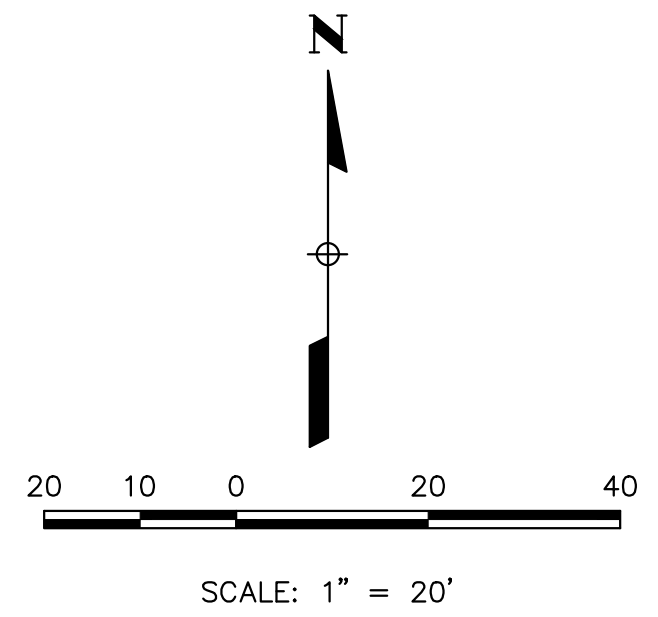
HORSE CREEK COMMERCIAL  
 OVERALL UTILITY PLAN/  
 STORM SEWER PLAN & PROFILE

**NOTES**

1. THE DISTURBED AREA IS 1.5 ACRES.
2. THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
3. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
4. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
5. THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS.
6. MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
7. ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.
8. TOTAL USABLE CUT MATERIAL = 3,363 CY  
EXCESS USABLE CUT = 0 CY  
TOTAL REQUIRED FILL MATERIAL = 634 CY  
IMPORT REQUIRED = 2,729 CY

**EROSION CONTROL MEASURE SUMMARY TABLE**

	SILT FENCE	STABILIZED STAGING AREA	CONCRETE WASHOUT AREA	VEHICLE TRACKING CONTROL	INLET PROTECTION	EROSION CONTROL BLANKET	SEEDING & MULCHING	PORTABLE TOILET PROTECTION	DEBRIS AND TRASH CONTROL	SEDIMENT CONTROL LOG	CONSTRUCTION FENCE
INITIAL CONDITION	659 LF	150 SY	0	1 EA	2 EA	0	0	1 EA	1 EA	0	1,075 LF



**LEGEND**

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- DRAINAGE FLOW DIRECTION
- EXISTING CURB & GUTTER
- PROPOSED 1' SPILL CURB & GUTTER
- PROPOSED 2' CATCH CURB & GUTTER
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- - - EXISTING SANITARY SEWER
- - - EXISTING WATERLINE
- - - EXISTING GAS PIPE
- - - EXISTING UNDERGROUND ELECTRIC
- - - EXISTING STORM SEWER
- ⊗ CD CHECK DAM
- ⊗ CB COMPOST BLANKET
- ⊗ CFB COMPOST FILTER BERM
- ⊗ CWA CONCRETE WASHOUT AREA
- ⊗ CF CONSTRUCTION FENCE
- ⊗ CM CONSTRUCTION MARKER
- ⊗ DW DEWATERING
- ⊗ DD DIVERSION DITCH
- ⊗ ECB EROSION CONTROL BLANKET (STRAW-COCONUT)
- ⊗ GMS GROUT MIXING STATION
- ⊗ IP INLET PROTECTION
- ⊗ RCD REINFORCED CHECK DAM
- ⊗ RRB REINFORCED ROCK BERM
- ⊗ RRC RRB FOR CULVERT PROTECTION
- ⊗ SB SEDIMENT BASIN
- ⊗ SCL SEDIMENT CONTROL LOG
- ⊗ SS STREET SWEEPING
- ⊗ ST SEDIMENT TRAP
- ⊗ SM SEEDING AND MULCHING
- ⊗ SF SILT FENCE
- ⊗ SSA STABILIZED STAGING AREA
- ⊗ SR SURFACE ROUGHENING
- ⊗ TSD TEMPORARY SLOPE DRAIN
- ⊗ TSC TEMPORARY STREAM CROSSING
- ⊗ TER TERRACING
- ⊗ VTC VEHICLE TRACKING CONTROL
- ⊗ VTC WITH WHEEL WASH
- ⊗ LOC LIMITS OF CONSTRUCTION
- ⊗ RS ROCK SOCKS
- ⊗ PTP POTABLE TOILET PROTECTION
- ⊗ DTC DEBRIS AND TRASH CONTROL

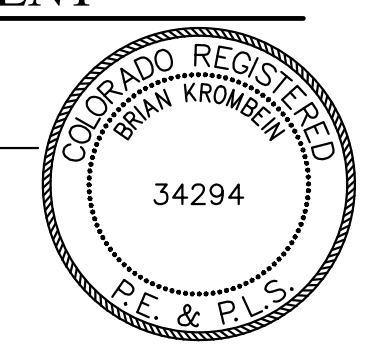
**BENCHMARK**

BENCHMARK IS BY GPS OBSERVATION NAVD 88. SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200' +/- NORTH OF HESS RD.

**ENGINEER'S STATEMENT**

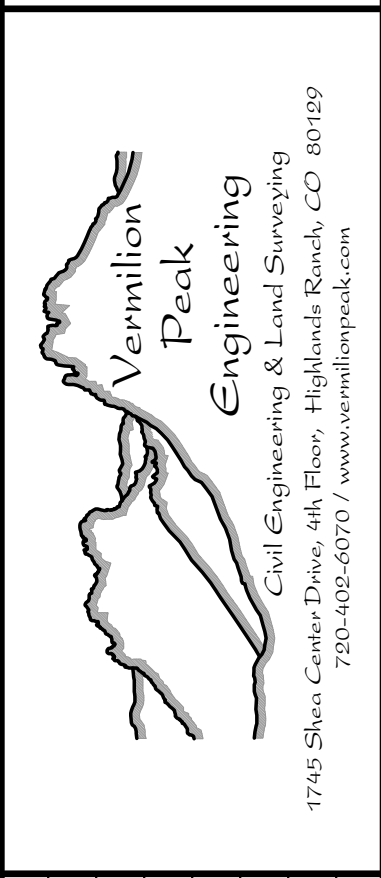
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS  
COLORADO PE NO. 34294  
DATE  
FOR AND ON BEHALF OF  
VERMILION PEAK ENGINEERING LLC



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE AGENCIES, VERMILION PEAK ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
VENTANA CAPITAL  
8678 CONCORD CENTER DR, SUITE 200  
ENGLEWOOD, CO 80112  
720-703-9036  
CONTACT: DALTON HORAN



No.	REVISION	DATE	BY

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=20'	2/12/25		BK	BK	

HORSE CREEK COMMERCIAL  
INITIAL  
EROSION CONTROL PLAN

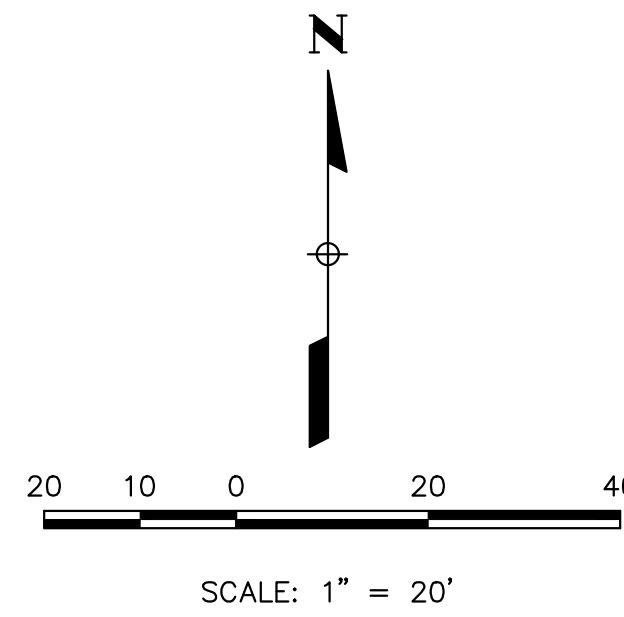


**NOTES**

1. THE DISTURBED AREA IS 1.5 ACRES.
2. THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
3. THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
4. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
5. THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS.
6. MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
7. ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.
8. TOTAL USABLE CUT MATERIAL = 3,363 CY  
EXCESS USABLE CUT = 0 CY  
TOTAL REQUIRED FILL MATERIAL = 634 CY  
IMPORT REQUIRED = 2,729 CY

**EROSION CONTROL MEASURE SUMMARY TABLE**

	SILT FENCE	STABILIZED STAGING AREA	CONCRETE WASHOUT AREA	VEHICLE TRACKING CONTROL	INLET PROTECTION	EROSION CONTROL BLANKET	SEEDING & MULCHING	PORTABLE TOILET PROTECTION	DEBRIS AND TRASH CONTROL	SEDIMENT CONTROL LOG	CONSTRUCTION FENCE
FINAL CONDITION	0	0	0	0	0	0	0.5 AC.	0	1 EA	0	0



LOT 11A, DOUGLAS 234,  
FILING NO. 6, AMENDMENT 1  
ZONING: PLANNED DEVELOPMENT (PD)

NO WORK SHALL OCCUR  
ON THIS PROPERTY

REMOVE CONSTRUCTION FENCE

REMOVE SILT FENCE

REMOVE SEDIMENT CONTROL LOGS

REMOVE PORTABLE TOILET PROTECTION

REMOVE STABILIZED STAGING AREA

REMOVE CONCRETE WASHOUT AREA

REMOVE VEHICLE TRACKING CONTROL

REMOVE SILT FENCE

REMOVE INLET PROTECTION

REMOVE SEDIMENT CONTROL LOGS

REMOVE SEDIMENT CONTROL LOGS

REMOVE CONSTRUCTION FENCE

REMOVE INLET PROTECTION

NO WORK SHALL OCCUR ON THIS PROPERTY

LOT 9A, DOUGLAS 234,  
FILING NO. 6, AMENDMENT 2  
ZONING: PLANNED DEVELOPMENT (PD)

LOT 8A, DOUGLAS 234,  
FILING NO. 6, AMENDMENT 2  
ZONING: PLANNED DEVELOPMENT (PD)

REMOVE INLET PROTECTION

**LEGEND**

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- DRAINAGE FLOW DIRECTION
- EXISTING CURB & GUTTER
- PROPOSED 1' SPILL CURB & GUTTER
- PROPOSED 2' CATCH CURB & GUTTER
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- - - EXISTING SANITARY SEWER
- - - EXISTING WATERLINE
- - - EXISTING GAS PIPE
- - - EXISTING UNDERGROUND ELECTRIC
- - - EXISTING STORM SEWER
- ⊠ CD CHECK DAM
- ⊠ CB COMPOST BLANKET
- ⊠ CFB COMPOST FILTER BERM
- ⊠ CWA CONCRETE WASHOUT AREA
- ⊠ CF CONSTRUCTION FENCE
- ⊠ CM CONSTRUCTION MARKER
- ⊠ DW DEWATERING
- ⊠ DD DIVERSION DITCH
- ⊠ ECB EROSION CONTROL BLANKET (STRAW-COCOONUT)
- ⊠ GMS GROUT MIXING STATION
- ⊠ IP INLET PROTECTION
- ⊠ RCD REINFORCED CHECK DAM
- ⊠ RRB REINFORCED ROCK BERM
- ⊠ RRC RRB FOR CULVERT PROTECTION
- ⊠ SB SEDIMENT BASIN
- ⊠ SCL SEDIMENT CONTROL LOG
- ⊠ SS STREET SWEEPING
- ⊠ ST SEDIMENT TRAP
- ⊠ SM SEEDING AND MULCHING
- ⊠ SF SILT FENCE
- ⊠ SSA STABILIZED STAGING AREA
- ⊠ SR SURFACE ROUGHENING
- ⊠ TSD TEMPORARY SLOPE DRAIN
- ⊠ TSC TEMPORARY STREAM CROSSING
- ⊠ TER TERRACING
- ⊠ VTC VEHICLE TRACKING CONTROL
- ⊠ WW VTC WITH WHEEL WASH
- ⊠ LOC LIMITS OF CONSTRUCTION
- ⊠ RS ROCK SOCKS
- ⊠ PTP PORTABLE TOILET PROTECTION
- ⊠ DTC DEBRIS AND TRASH CONTROL

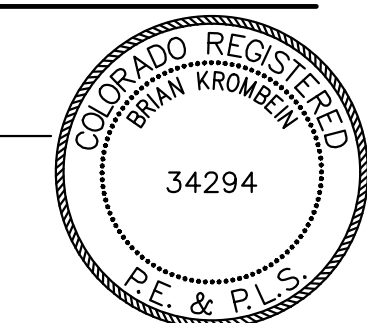
**BENCHMARK**

BENCHMARK IS BY GPS OBSERVATION NAVD 88.  
SITE BENCHMARK AT NORTHWEST CORNER OF INLET  
ON CHAMBERS RD. APPROXIMATELY 200' +/- NORTH  
OF HESS RD.

**ENGINEER'S STATEMENT**

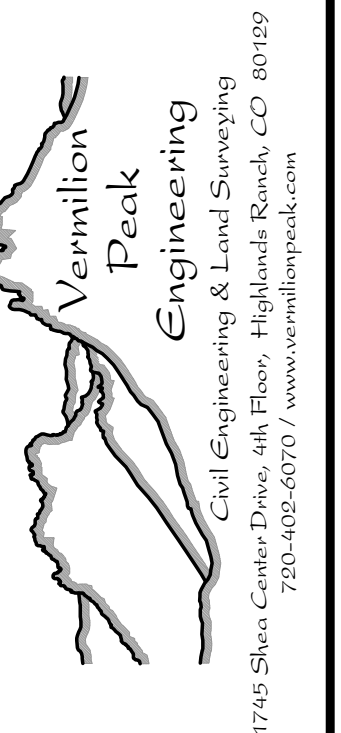
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE  
COLORADO PE NO. 34294  
FOR AND ON BEHALF OF  
VERMILION PEAK ENGINEERING LLC



UNTIL SUCH TIME AS THESE  
DRAWINGS ARE APPROVED  
BY THE APPROPRIATE  
VERMILION PEAK ENGINEERS,  
VERMILION PEAK ENGINEERING APPROVES  
THEIR USE ONLY FOR THE  
PURPOSES DESIGNATED BY  
WRITTEN AUTHORIZATION.

PREPARED FOR  
VENTANA CAPITAL  
8678 CONCORD CENTER DR., SUITE 200  
ENGLEWOOD, CO 80112  
720-703-9036  
CONTACT: DALTON HORAN



No.	REVISION	DATE	BY

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=20'	2 1/2"/25'	2/12/25	BK	BK	BK

1. GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
2. THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
3. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
4. THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
5. THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
6. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (o.n.s.), CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORT(S), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
7. THE EROSION CONTROL SUPERVISOR SHALL BE RELATIVELY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
8. IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW FLOWING AND SNOW REMOVAL.
9. AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
10. AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SHELING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
  - (i) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (ii) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (iii) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 4  
Oct. 2013

- LP LOT PROTECTION
- MWP MASONRY WORK PROTECTION
- PTP PORTABLE TOILET PROTECTION
- RCSC ROUGH CUT STREET CONTROL
- RS ROCK SOCK
- RSS ROCK SOCK IN SWALE
- SB STRAW BALE
- SCL SEDIMENT CONTROL LOGS
- SF SILT FENCE
- SMC SEEDING, MULCHING AND CRIMPING
- SR SURFACE ROUGHING
- SSA STABILIZED STAGING AREA
- STP SIDEWALK TRANSITION PROTECTION

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 3  
Oct. 2013

11. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
12. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
13. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
14. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
15. ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
16. ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
17. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
18. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
19. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
20. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO, RESIDENTIAL, CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
21. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
22. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKETS. TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
23. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
24. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

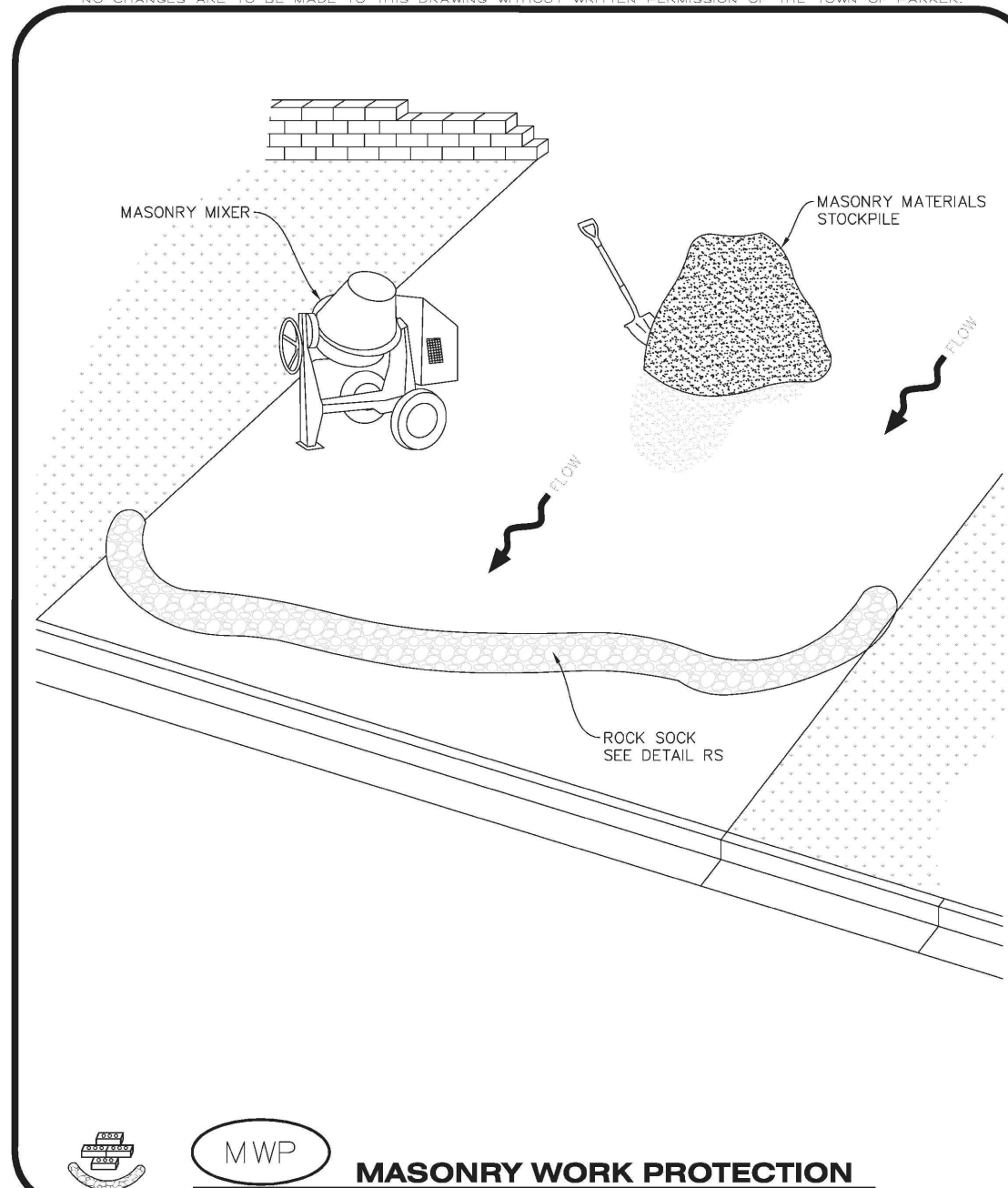
**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 4  
Oct. 2013

- TI TEMPORARY IRRIGATION
- TSB TEMPORARY SEDIMENT BASIN
- VTC VEHICLE TRACKING CONTROL

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
3 OF 3  
Oct. 2013

25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-401, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 110) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
27. VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
30. APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
31. GRADING SECURITY RELEASE REQUIREMENTS:
  - (i) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
    - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
    - C. ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
    - E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
    - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - (ii) NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
    - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - B. ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - C. EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
    - D. THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OR DESIRABLE VEGETATION, INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
    - E. WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON THE SITE.
    - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
    - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
    - J. ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
- DEFINITIONS:
  - DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
  - NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DEVELOPED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
3 OF 2  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 2  
Oct. 2013

32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
4 OF 4  
Oct. 2013

- MASONRY WORK PROTECTION INSTALLATION NOTES**
1. MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
  2. A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
  3. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
  4. ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
  5. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
  2. ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
  3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

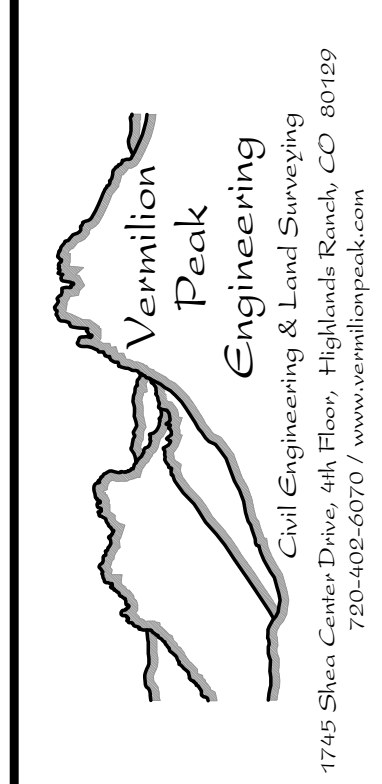
**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 2  
Oct. 2013

- CD CHECK DAM
- CF CONSTRUCTION FENCE
- CP CULVERT PROTECTION
- CWA CONCRETE WASHOUT AREA
- D DEWATERING
- DD DIVERSION DITCH
- DP DETENTION POND PROTECTION
- DTC DEBRIS TRASH CONTROL
- ECB EROSION CONTROL BLANKET
- IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
- IPAP INLET PROTECTION FOR AREA INLETS IN PAVEMENT
- IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
- IPCOS INLET PROTECTION, CURB ON SUMP, TYPE R INLET

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 3  
Oct. 2013

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE VERMILION PEAK ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
VENTANA CAPITAL  
8678 CONCORD CENTER DR, SUITE 200  
ENGLEWOOD, CO 80112  
720-703-9036  
CONTACT: DALTON HORAN



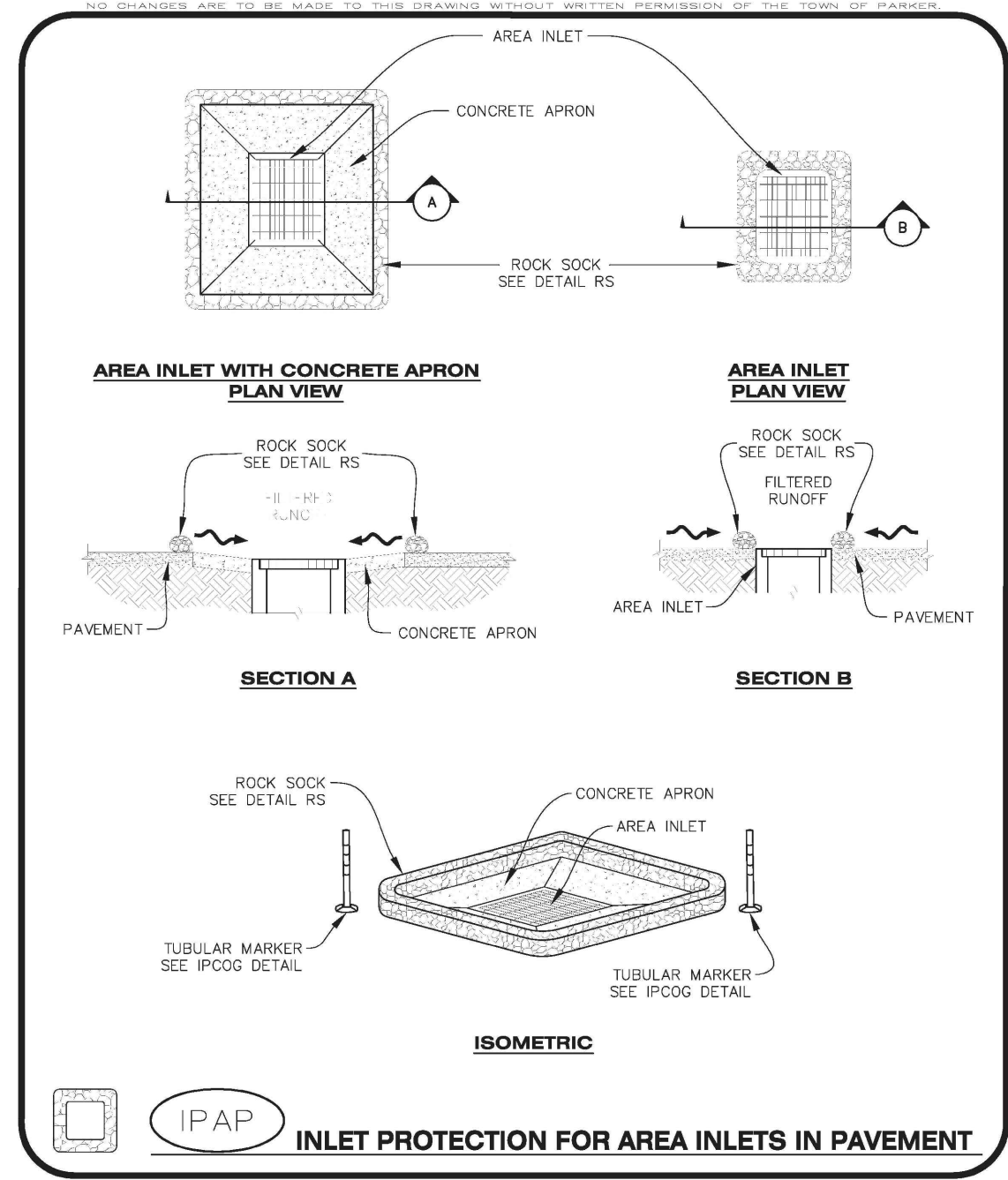
H-SCALE	AS SHOWN	NO.	REVISION	BY	DATE
V-SCALE	2/12/25				
DESIGNED BY	BK				
DRAWN BY	BK				
CHECKED BY					

HORSE CREEK COMMERCIAL  
EROSION CONTROL DETAILS  
SHEET C8 OF 17  
JOB NO. 24020

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE  
COLORADO PE NO. 34294  
FOR AND ON BEHALF OF  
VERMILION PEAK ENGINEERING LLC

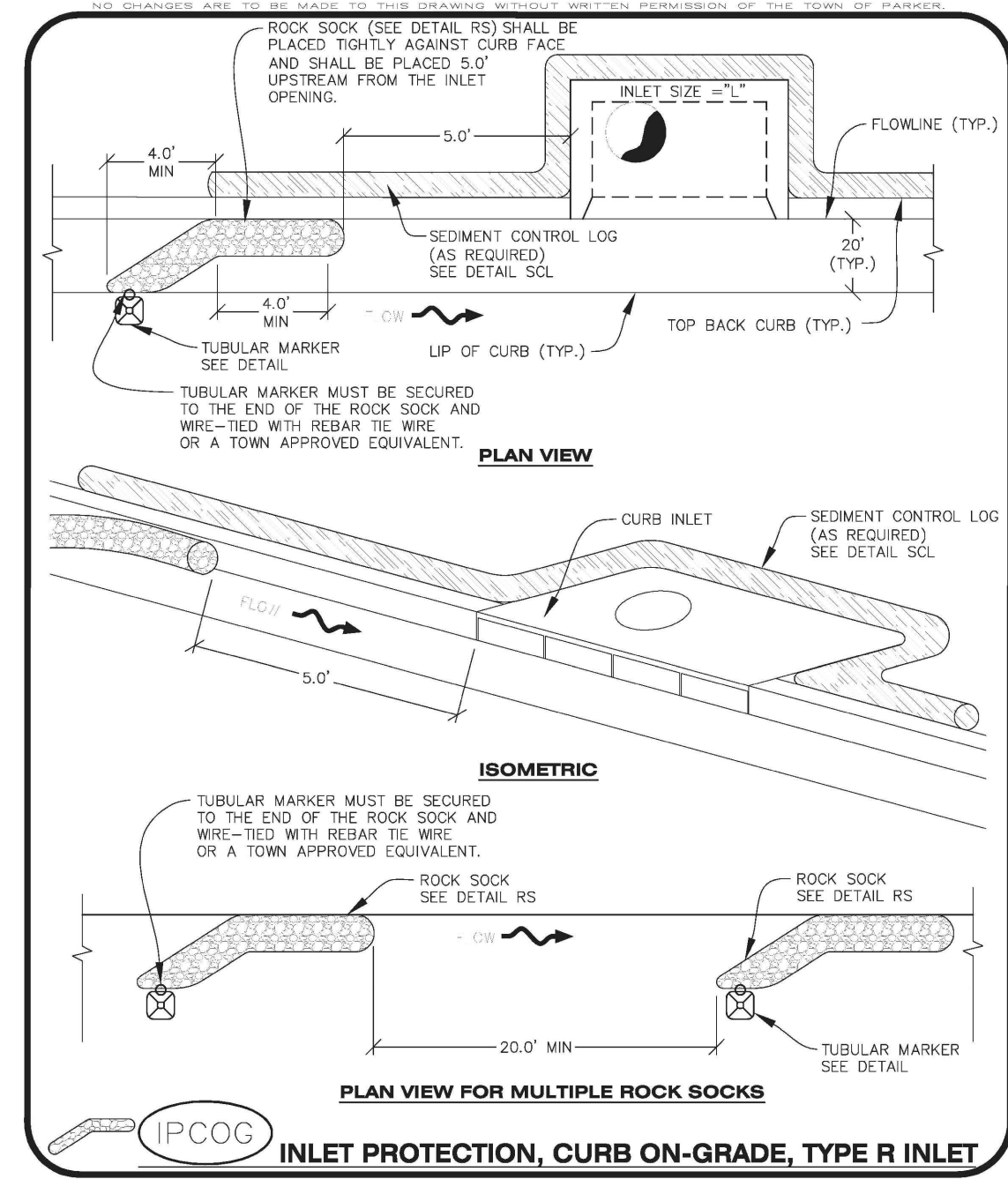
CALL UNCC  
TWO WORKING DAYS  
BEFORE YOU DIG  
CALL 811  
METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO



**IPAP**  
INLET PROTECTION FOR AREA INLETS IN PAVEMENT

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

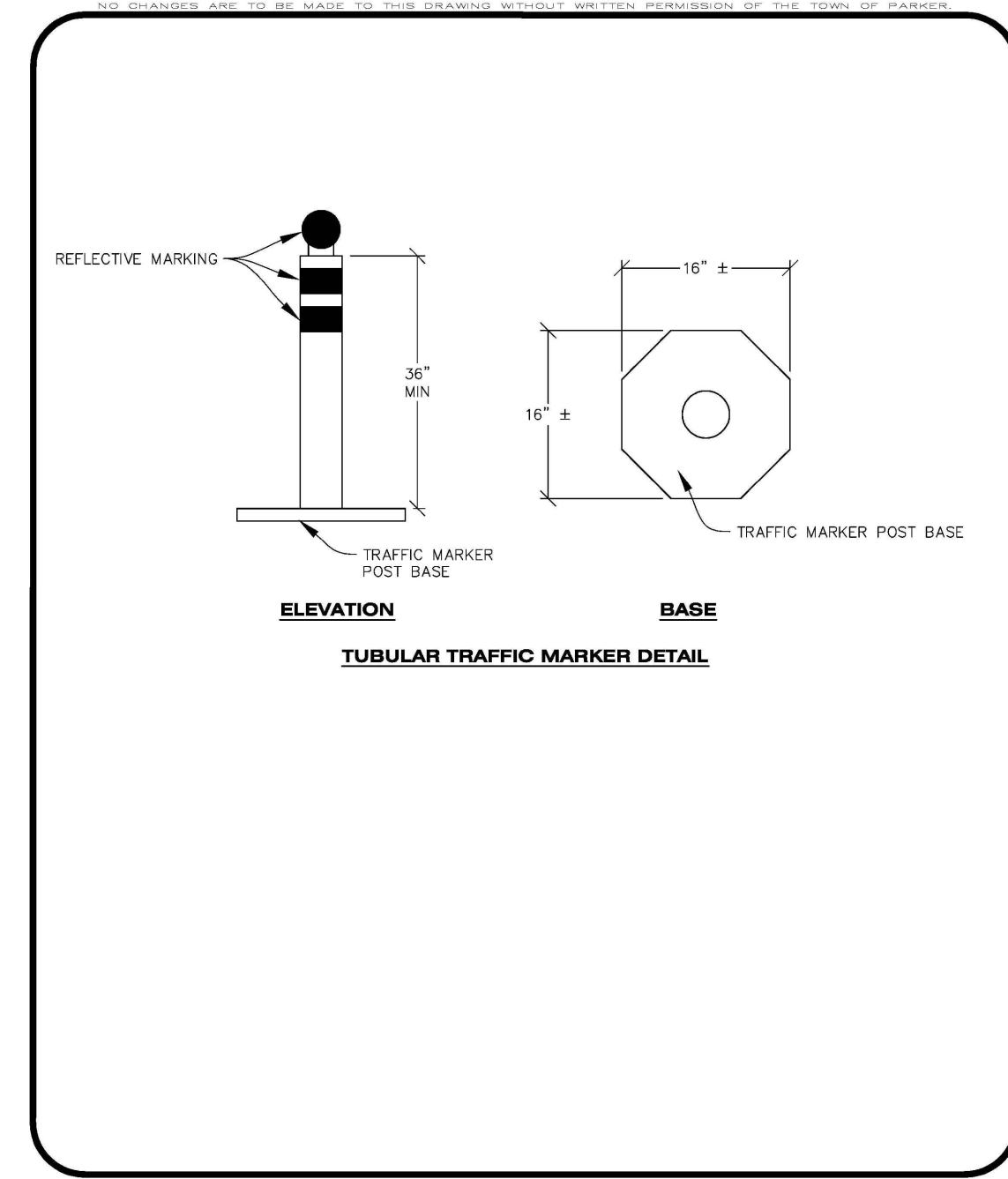
**IPAP**  
1 OF 1  
Oct. 2013



**IPCOG**  
INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG**  
1 OF 3  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG**  
2 OF 3  
Oct. 2013

**INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES**

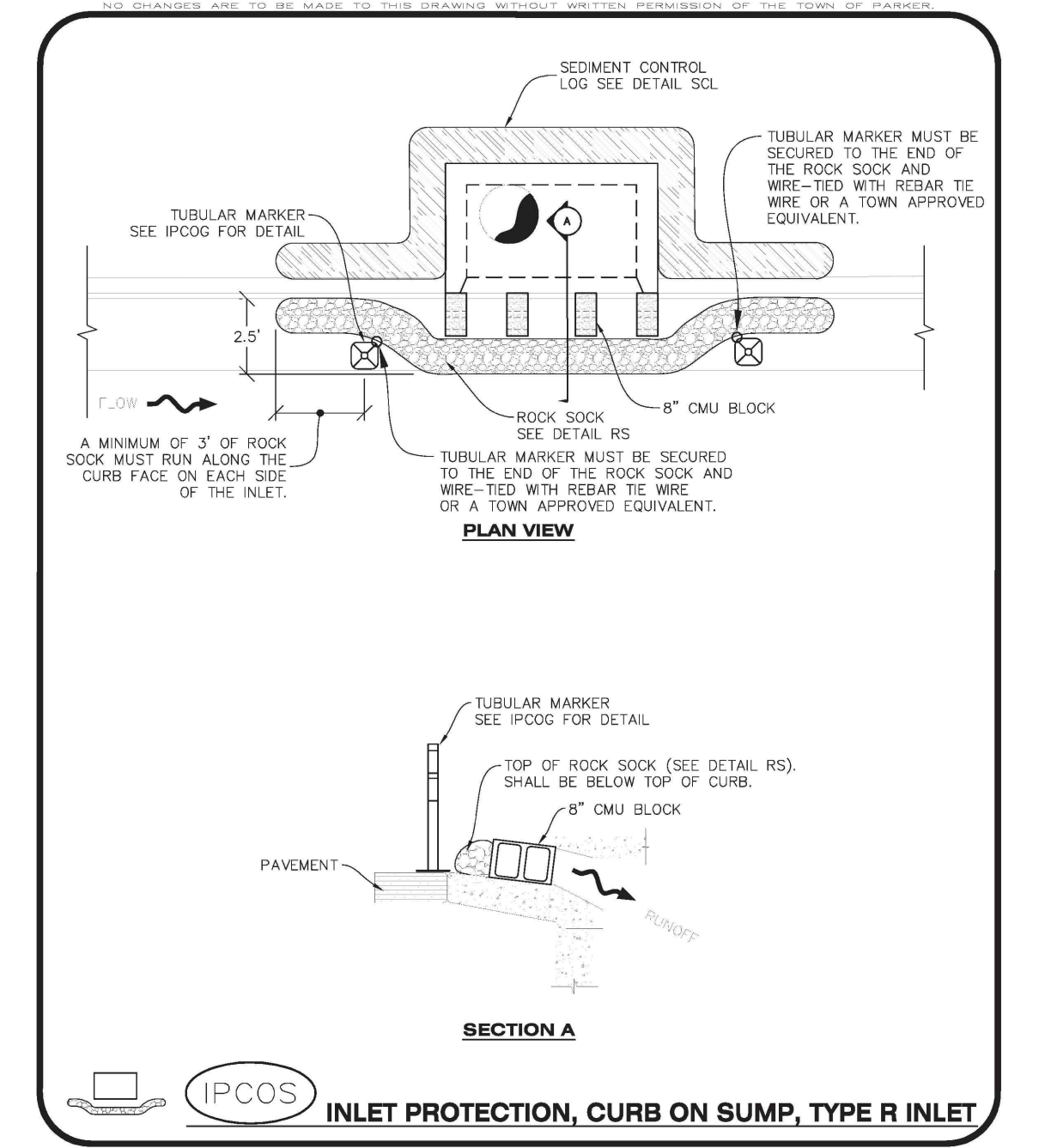
- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

**ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

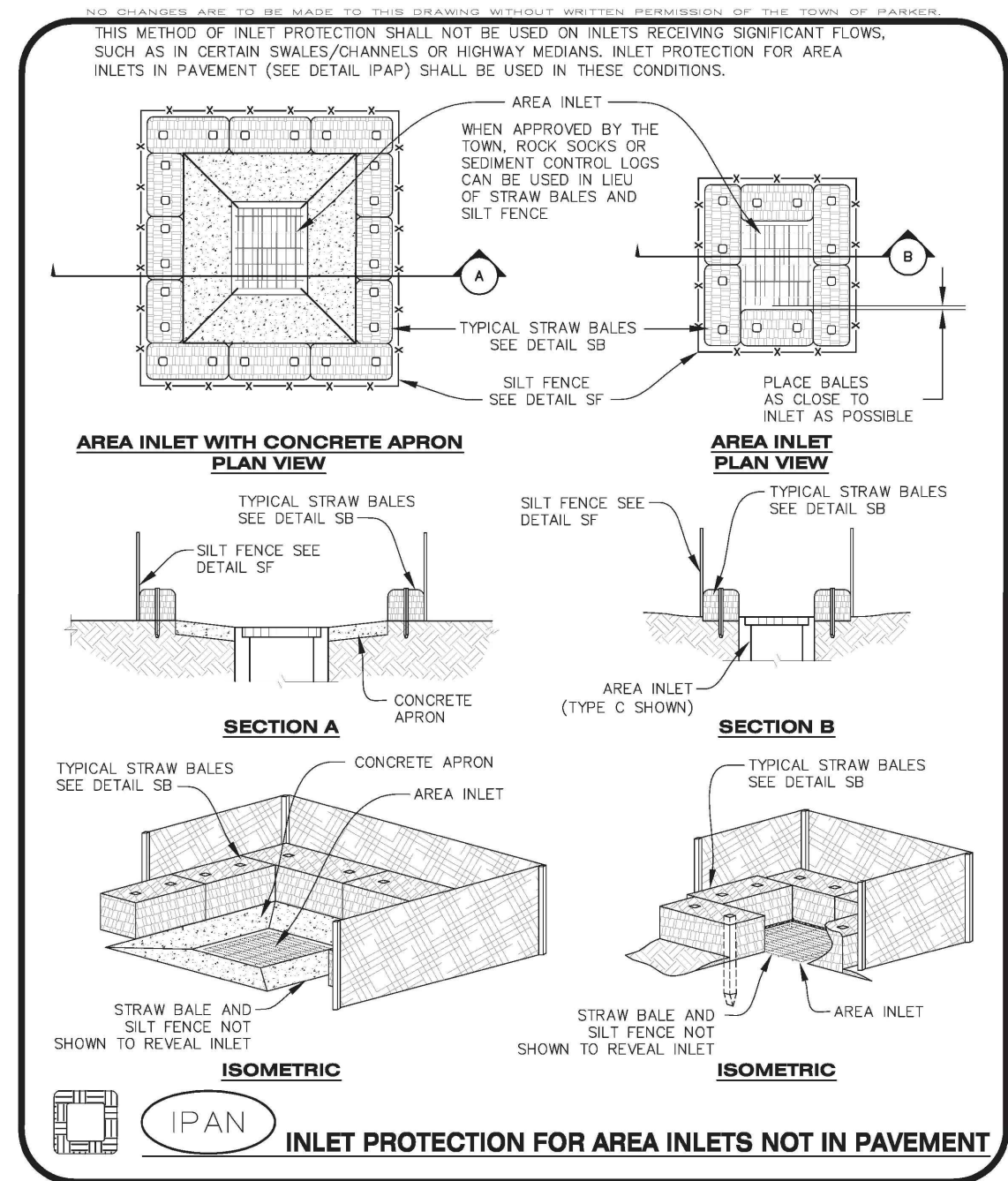
**IPCOG**  
3 OF 3  
Oct. 2013



**IPCOS**  
INLET PROTECTION, CURB ON SUMP, TYPE R INLET

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOS**  
1 OF 2  
Oct. 2013



**IPAN**  
INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPAN**  
1 OF 1  
Oct. 2013

**CURB INLET PROTECTION INSTALLATION NOTES**

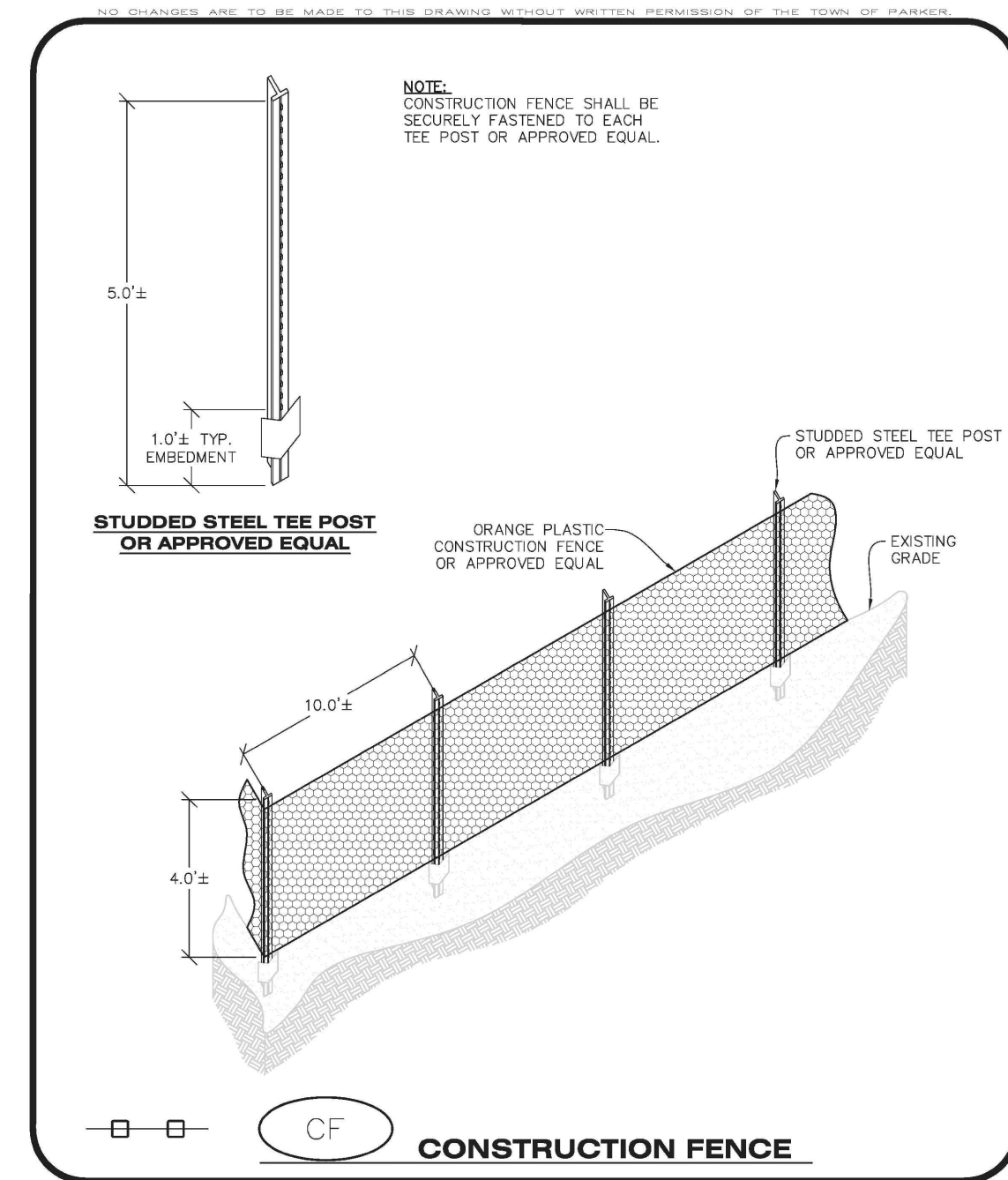
- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

**CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**IPCOG**  
2 OF 2  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**CF**  
1 OF 2  
Oct. 2013

**CONSTRUCTION FENCE INSTALLATION NOTES**

- THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

**CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
- CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES

**CF**  
2 OF 2  
Oct. 2013

CALL UNCC  
TWO WORKING DAYS  
BEFORE YOU DIG  
CALL 811  
METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS  
COLORADO PE NO. 34294  
FOR AND ON BEHALF OF  
VERMILION PEAK ENGINEERING LLC

DATE  
2/12/25

DESIGNED BY  
BK

DRAWN BY  
BK

CHECKED BY

34294  
PE & PLS

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE AGENCIES, VERMILION PEAK ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

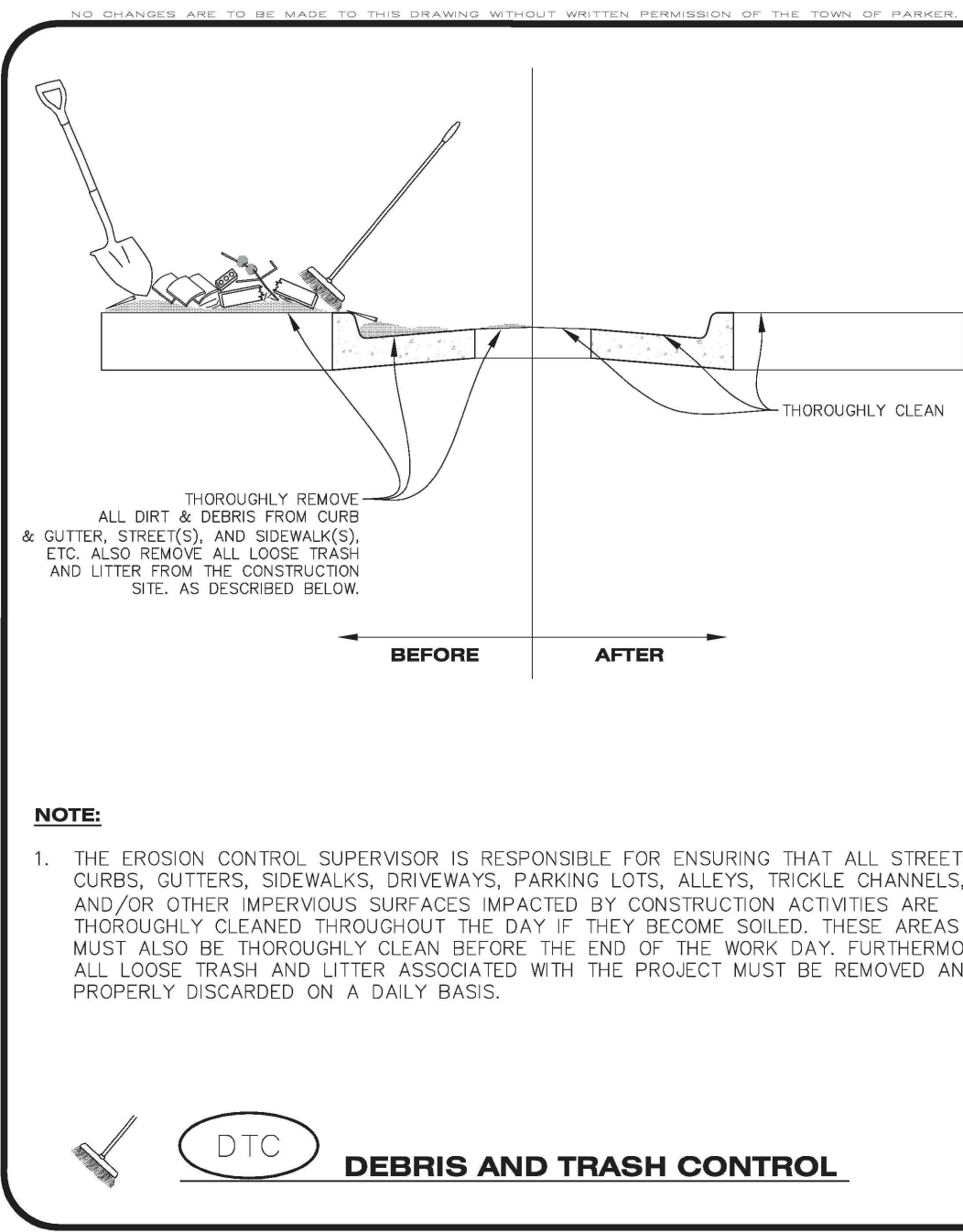
PREPARED FOR  
VENTANA CAPITAL  
CONCORD CENTER DR, SUITE 200  
ENGLEWOOD, CO 80112  
720-703-9036  
CONTACT: DALTON HORAN

VERMILION PEAK ENGINEERING  
Civil Engineering & Land Surveying  
1745 Shen Center Drive 4th Floor, Highlands Ranch, CO 80129  
720-482-6070 / www.vermilionpeak.com

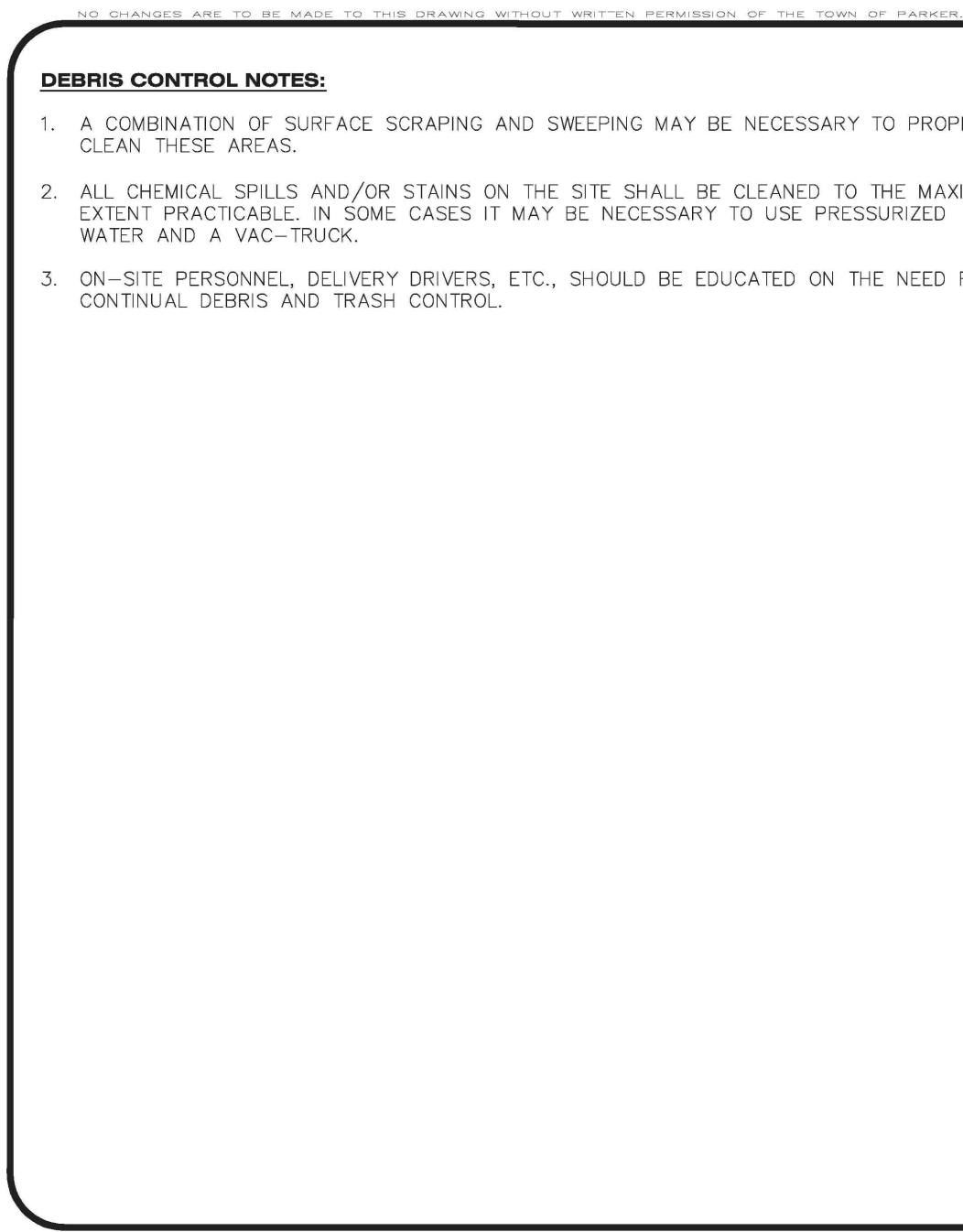
H-SCALE	AS SHOWN	NO.	REVISION	BY	DATE
V-SCALE	2/12/25				
DESIGNED BY	BK				
DRAWN BY	BK				
CHECKED BY					

HORSE CREEK COMMERCIAL  
EROSION CONTROL DETAILS

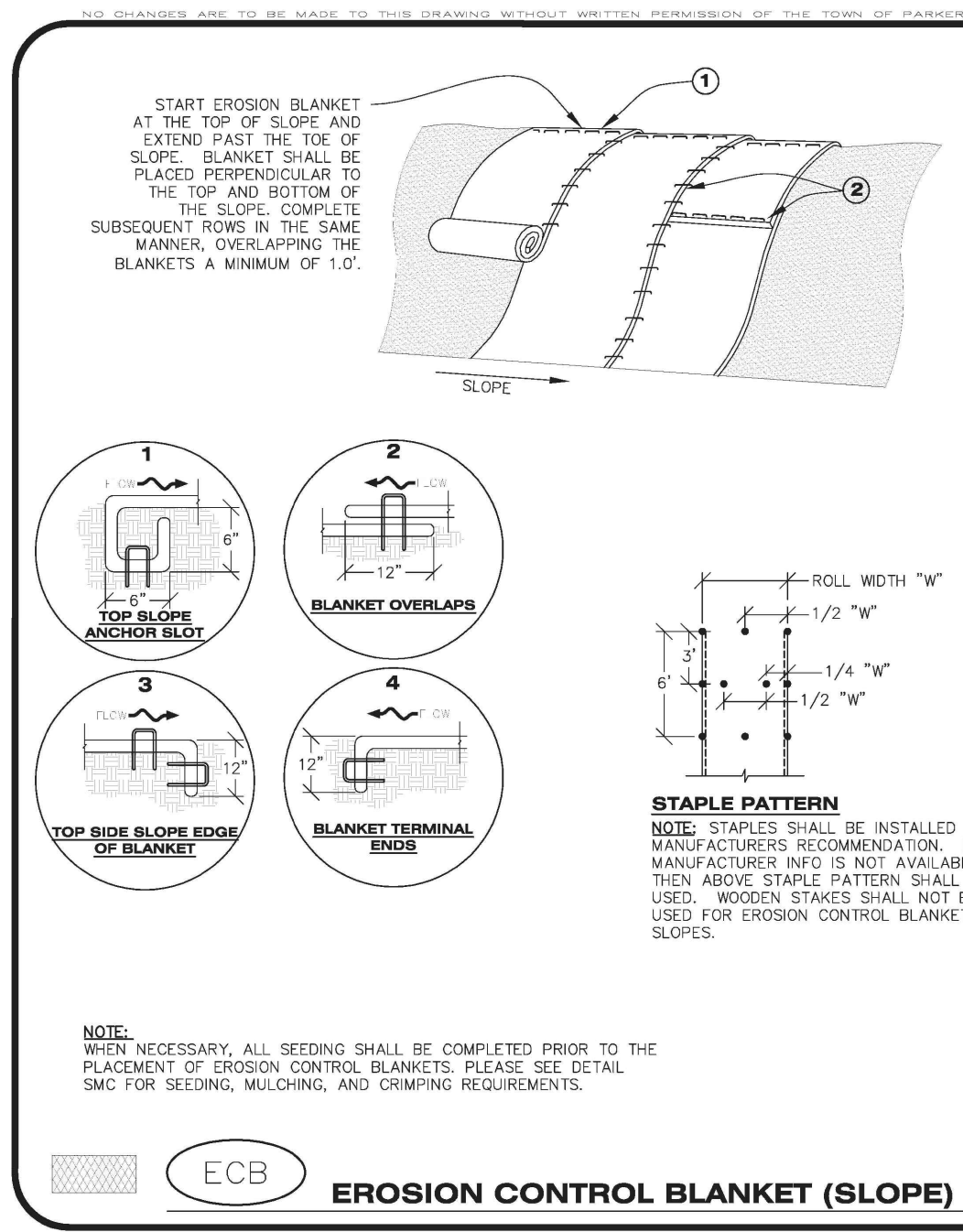
SHEET **C9** OF **17**  
JOB NO. **24020**



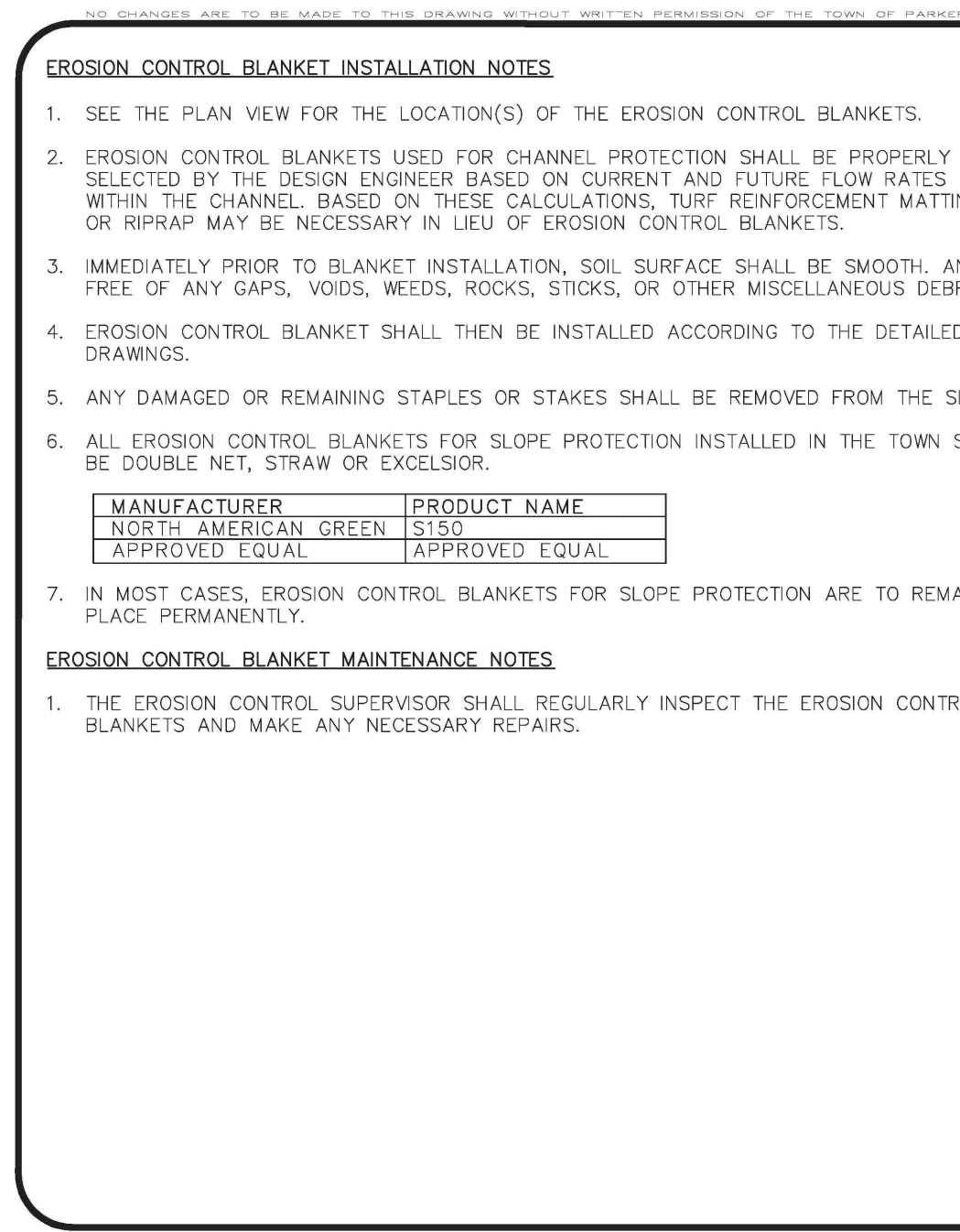
**Parker COLORADO** | **CBMP** | **DTC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013



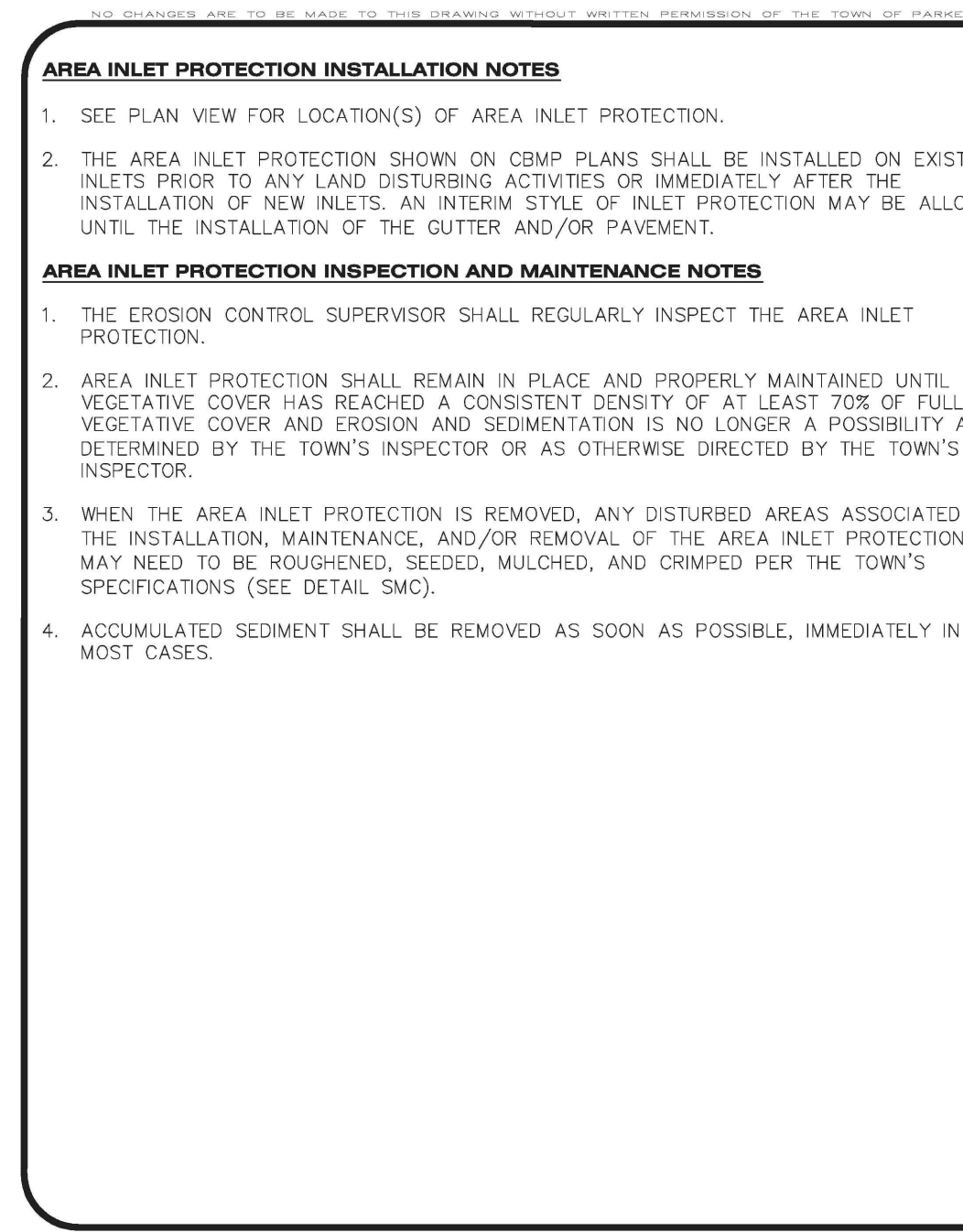
**Parker COLORADO** | **CBMP** | **DTC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013



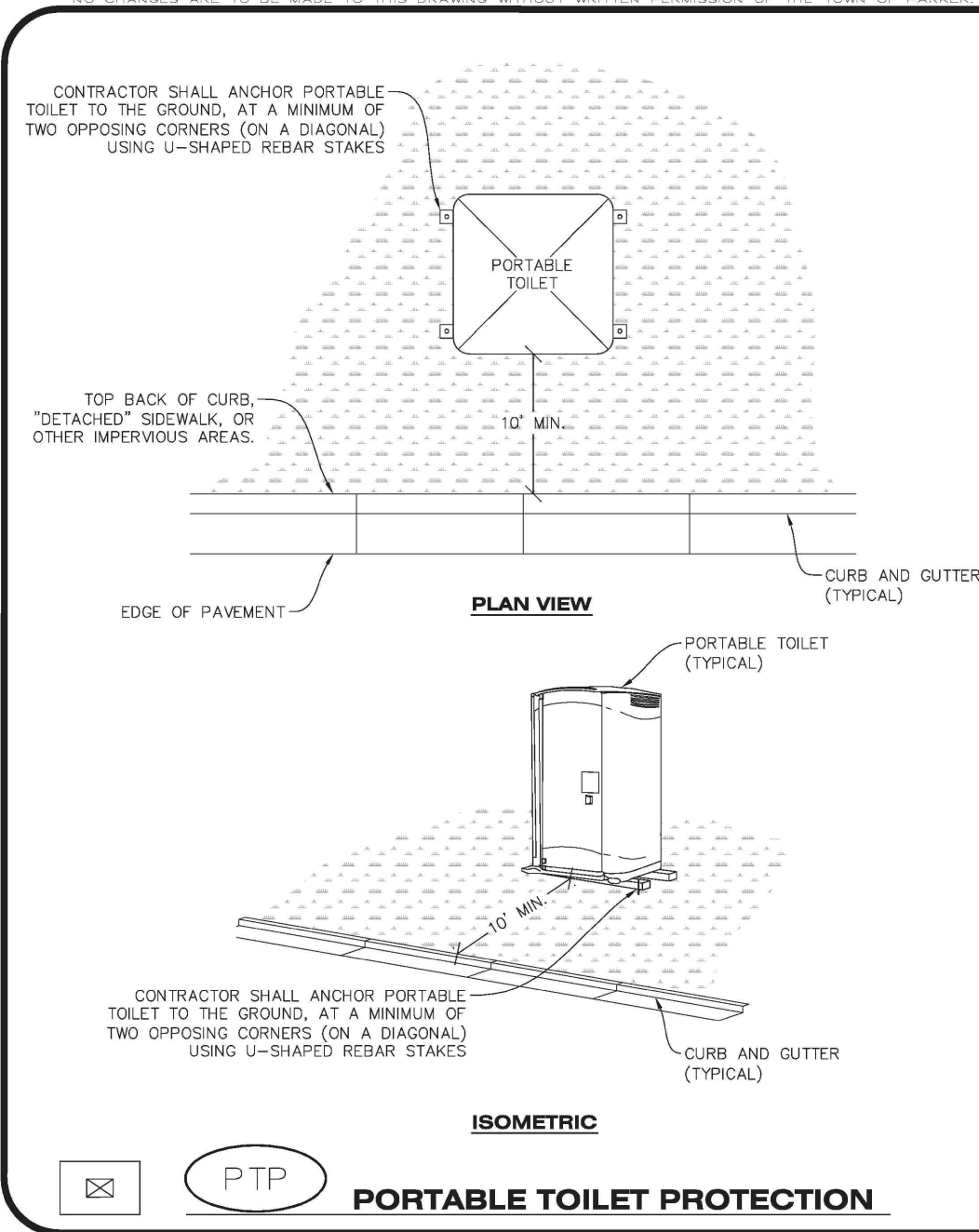
**Parker COLORADO** | **CBMP** | **ECB**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
 Oct. 2013



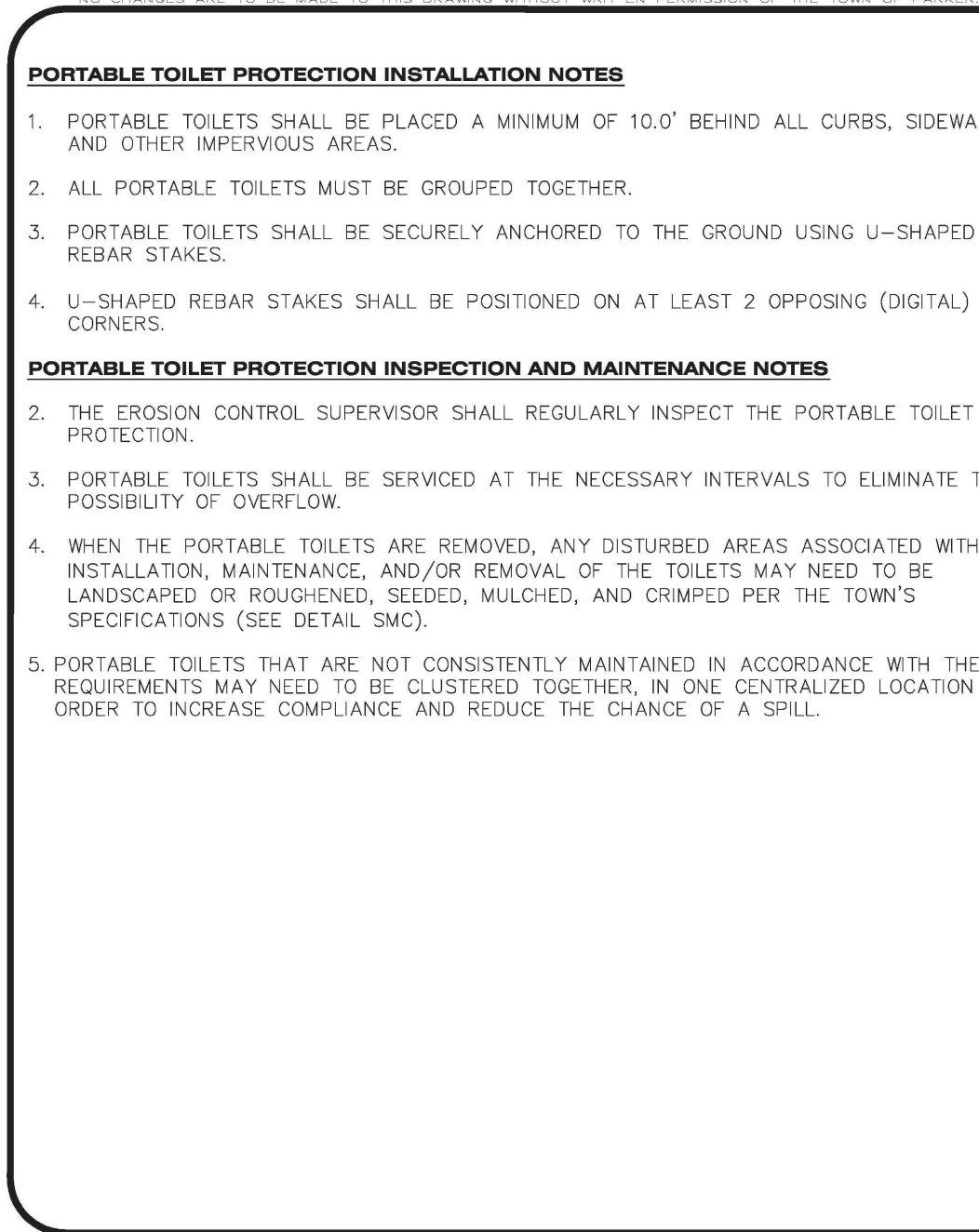
**Parker COLORADO** | **CBMP** | **ECB**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
 Oct. 2013



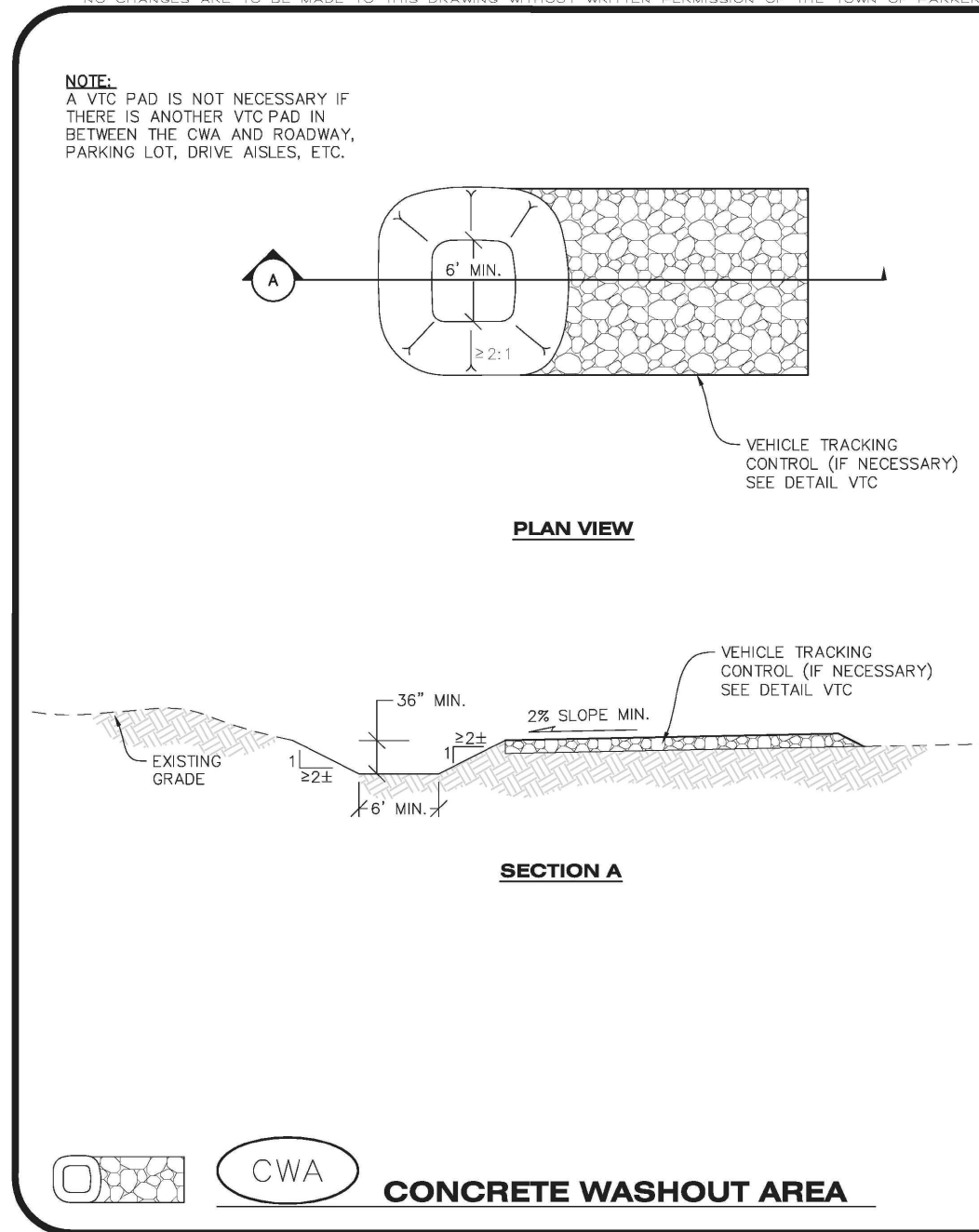
**Parker COLORADO** | **CBMP** | **IPB**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013



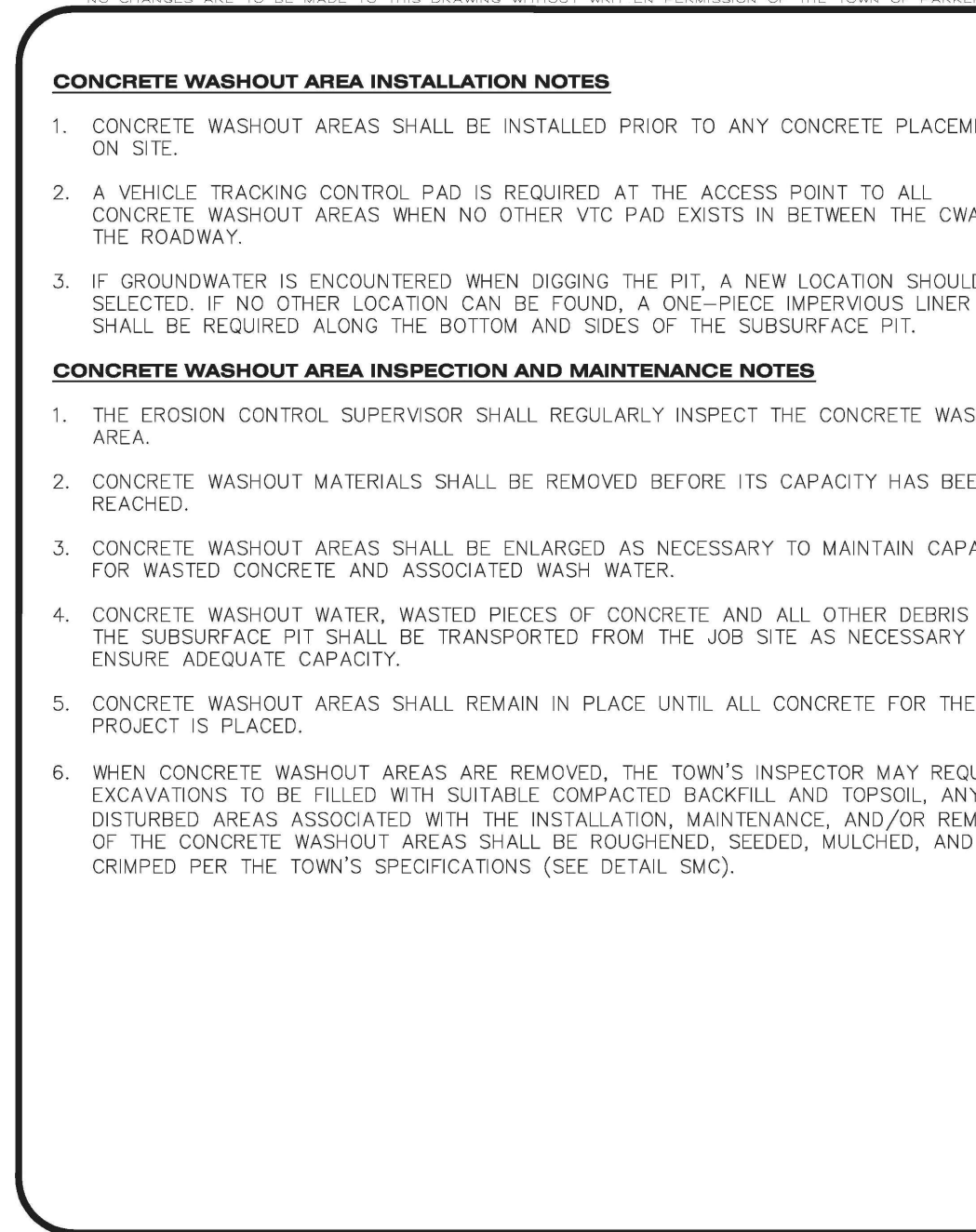
**Parker COLORADO** | **CBMP** | **PTP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013



**Parker COLORADO** | **CBMP** | **PTP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013



**Parker COLORADO** | **CBMP** | **CWA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013



**Parker COLORADO** | **CBMP** | **CWA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE VENTILATION PERMITS ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**VENTANA CAPITAL**  
 8678 CONCORD CENTER DR, SUITE 200  
 ENGLEWOOD, CO 80112  
 720-703-9036  
 CONTACT: DALTON HORAN

**Vermilion Peak Engineering**  
 Civil Engineering & Land Surveying  
 1745 Shen Carter Drive 4th Floor, Highlands Ranch, CO 80129  
 720-485-6070 / www.vermilionpeak.com

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		2/12/25	BK	BK	BK

HORSE CREEK COMMERCIAL  
 EROSION CONTROL DETAILS

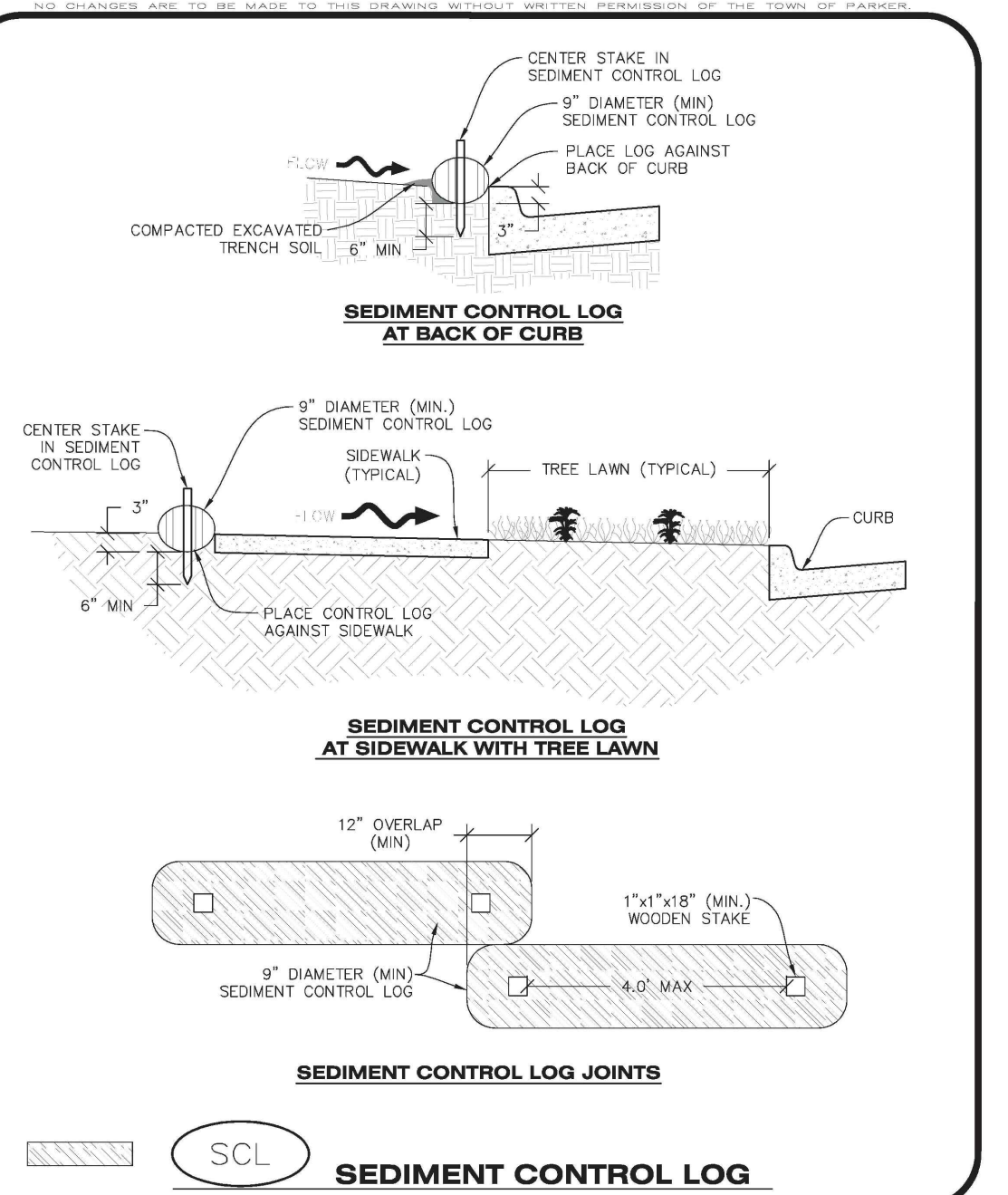
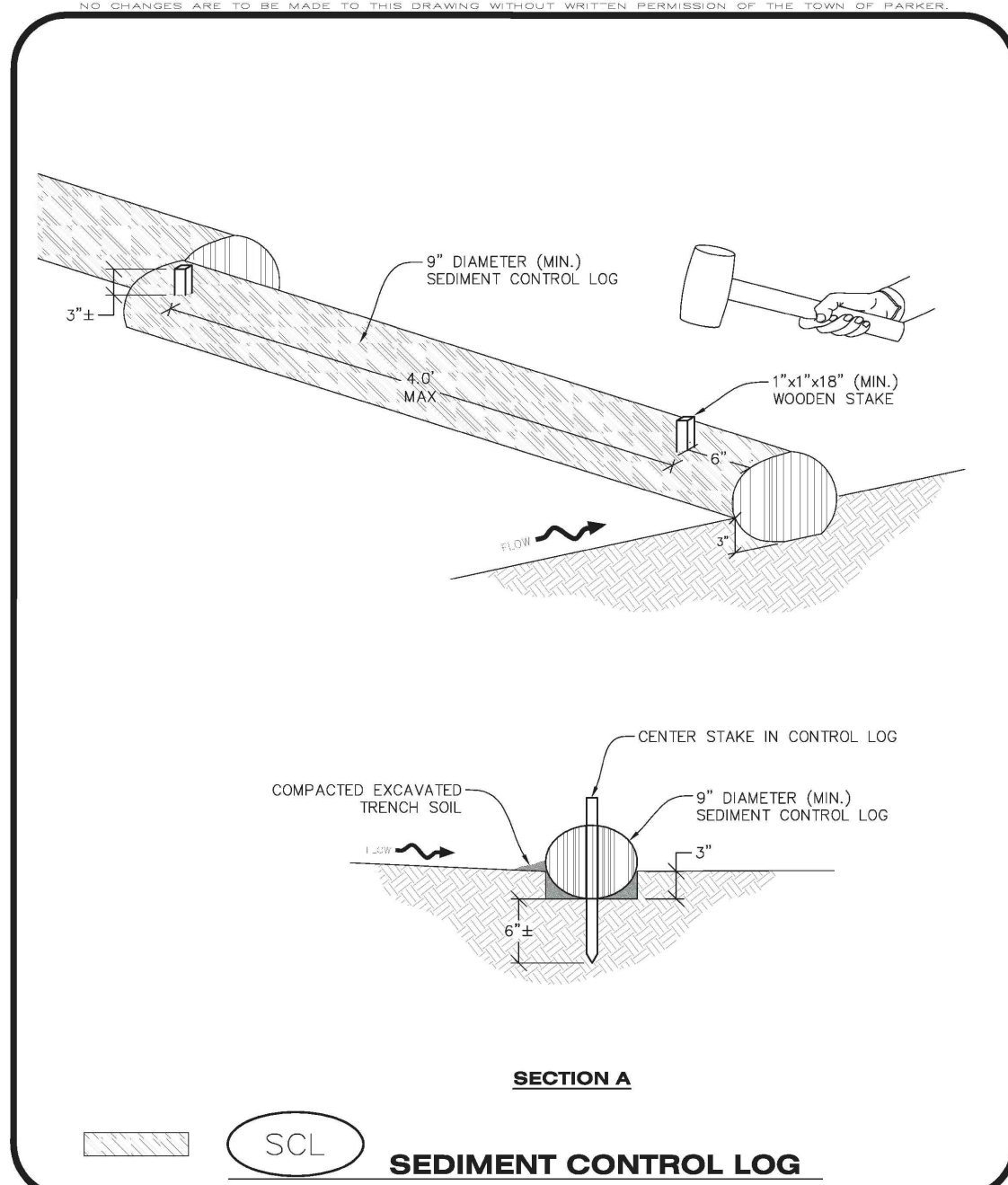
SHEET **C10** OF **17**  
 JOB NO. **24020**

**ENGINEER'S STATEMENT**  
 PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE  
 COLORADO PE NO. 34294  
 FOR AND ON BEHALF OF  
 VERMILION PEAK ENGINEERING LLC

**COLORADO REGISTERED**  
 BRIAN KROMBEIN  
 34294  
 PE & PLS

CALL UNCC  
 TWO WORKING DAYS  
 BEFORE YOU DIG  
 CALL 811  
 METRO DENVER AREA  
 UTILITY NOTIFICATION CENTER OF COLORADO



**SEDIMENT CONTROL LOG**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SCL** 1 OF 3 Oct. 2013

**SEDIMENT CONTROL LOG**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

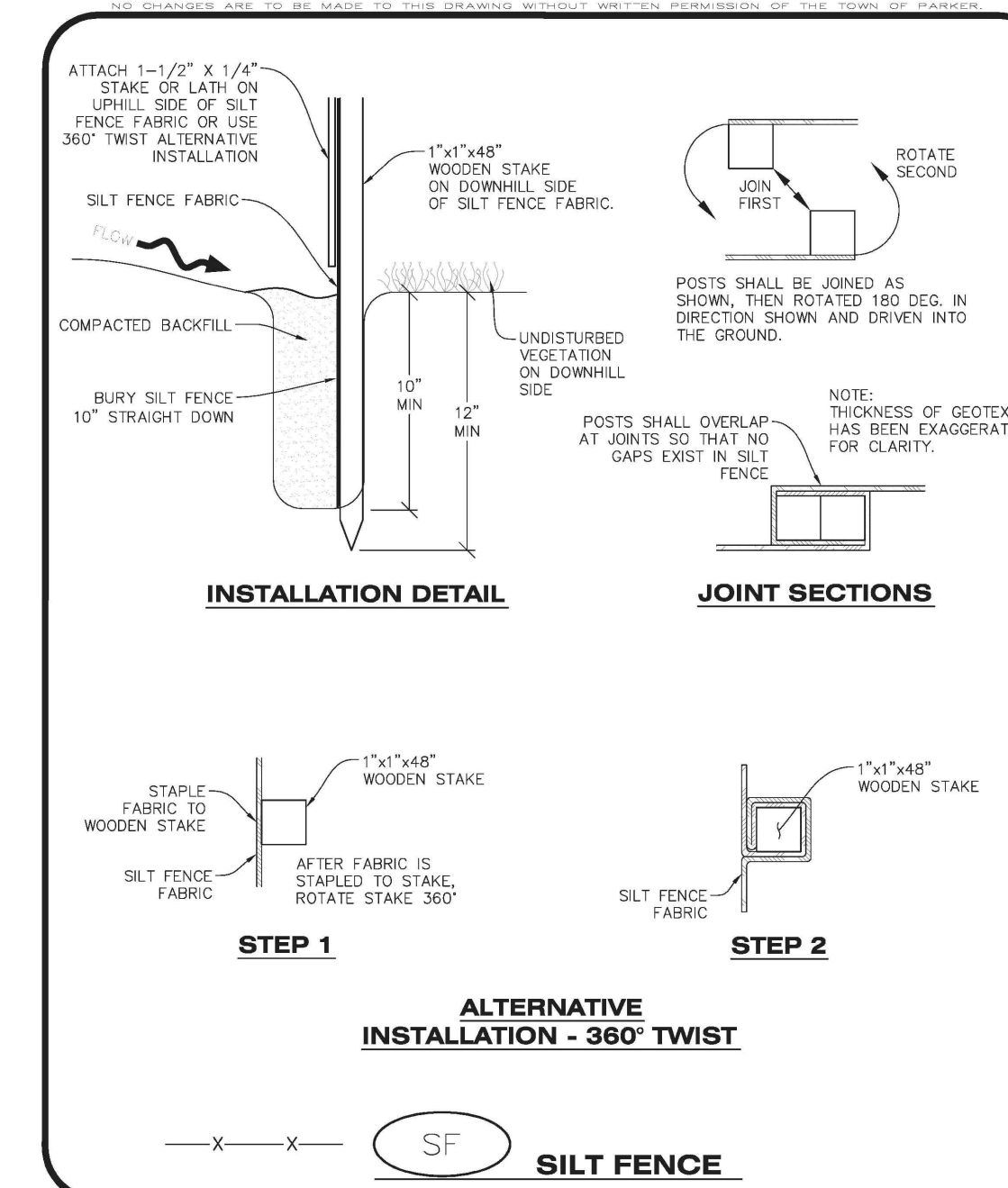
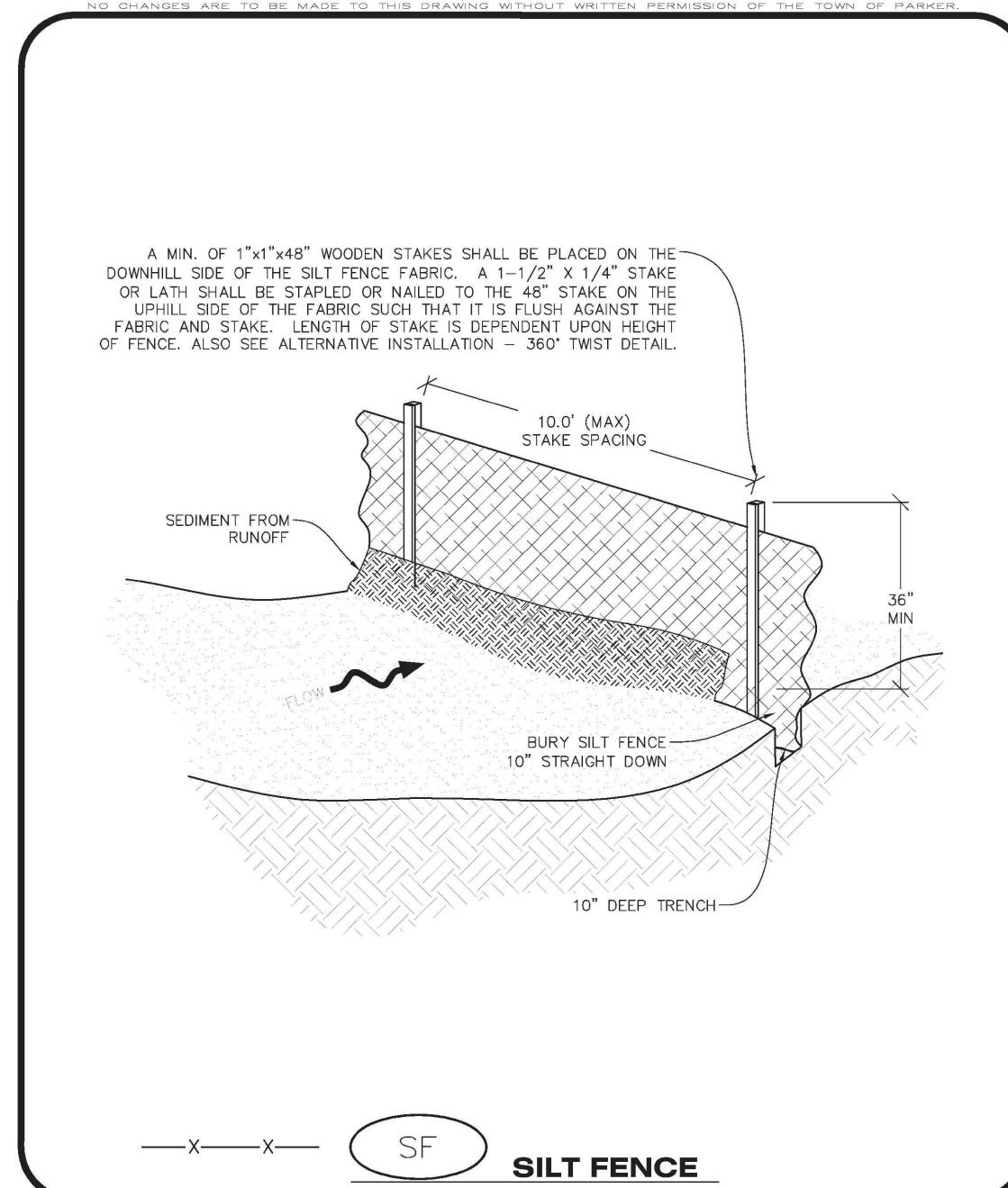
**SCL** 2 OF 3 Oct. 2013

- SEDIMENT CONTROL LOG INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
  - ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
  - SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
  - A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPACE-SHAPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
  - ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
  - ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
  - THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL OR SIMILAR DEVICE.
  - SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE LOG IN PLACE.
  - STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
  - SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADE SIDE OF THE LOGS.
  - SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
  - SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.
- SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
  - SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
  - SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE LOG FROM FUNCTIONING AS DESIGNED.
  - WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**SEDIMENT CONTROL LOG**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SCL** 3 OF 3 Oct. 2013



**SILT FENCE**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 1 OF 4 Oct. 2013

**SILT FENCE**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 2 OF 4 Oct. 2013

- SILT FENCE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
  - ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
  - A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
  - A 10" DEEP ANCHOR SILT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
  - ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
  - THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
  - ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRADE SIDE OF THE SILT FENCE.
  - STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x4"x24".
  - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
  - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH. ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
  - SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:
- | PROPERTIES               | TEST METHOD | MANDATORY REQUIREMENTS            |
|--------------------------|-------------|-----------------------------------|
| GRAB TENSILE STRENGTH    | ASTM D 4632 | ≥ 124 LBS                         |
| MULLEN BURST STRENGTH    | ASTM D 3786 | ≥ 300 PSI                         |
| PUNCTURE STRENGTH        | ASTM D 4833 | ≥ 60 LBS                          |
| TRIANGULAR TEAR STRENGTH | ASTM D 4533 | ≥ 65 LBS                          |
| UV RESISTANCE            | ASTM D 4355 | ≥ 80% AT 500 HOURS OF UV EXPOSURE |
| FLOW RATE                | ASTM D 4491 | > 10 GAL/MIN/FT <sup>2</sup>      |
- AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
  - SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
  - SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

**SILT FENCE**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 3 OF 4 Oct. 2013

- SILT FENCE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
  - SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
  - SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
  - WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**SILT FENCE**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 4 OF 4 Oct. 2013

- SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE**
- SEE PLAN VIEW FOR:
    - LOCATION(S) OF SEEDING AND MULCHING
    - TYPE OF SEED MIX.
  - SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
  - SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
  - AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
  - IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.
  - ALL AREAS TO BE SEEDED AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
  - WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF 1/4" - 1/2" INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
  - ALL AREAS INCAPABLE OF BEING DRILL SEEDER SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDER RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF 1/4" - 1/2" INCH.
  - AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
  - IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

**SEEDING AND MULCHING**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SMC** 1 OF 3 Oct. 2013

- SEEDING AND MULCHING MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
  - ANY SEEDED AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.
- WEED MANAGEMENT**
- ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
  - HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
  - AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
  - HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

**SEEDING AND MULCHING**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SMC** 2 OF 3 Oct. 2013

- TOWN OF PARKER, SEED MIX 1**
- 20% CANADA BLUEGRASS
  - 15% CRESTED WHEATGRASS
  - 15% SLENDER WHEATGRASS
  - 10% ANNUAL RYEGRASS
  - 10% SHEEP FESCUE
  - 10% BIG BLUESTEM
  - 10% SIDEDATS GRAMA
  - 5% CANADA BLUEGRASS
  - 5% BLUE GRAMA
- SEEDING RATE:**  
DRILLED: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE
- TOWN OF PARKER, SEED MIX 2**
- 25% SLENDER WHEATGRASS
  - 18% SODAR STREMBANK WHEATGRASS
  - 13% ARIZONA FESCUE
  - 13% BLUE GRAMA
  - 12% BUFFALOGRASS
  - 10% BARLEY OR OATS
  - 5% SPIKE MUHLY
  - 5% INDIAN RICEGRASS
- SEEDING RATE:**  
DRILLED: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE
- TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)**
- 25% EPHRAM CRESTED WHEATGRASS
  - 23% SHEEP FESCUE
  - 18% PERENNIAL RYEGRASS
  - 13% CANADA BLUEGRASS
  - 12% BARLEY OR OATS
  - 5% BLUE FESCUE
- SEEDING RATE:**  
DRILLED: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE
- SEED MIX 4:**  
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

**SEEDING AND MULCHING**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SMC** 3 OF 3 Oct. 2013

CALL UNCC  
TWO WORKING DAYS  
BEFORE YOU DIG  
CALL 811  
METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE  
COLORADO PE NO. 34294  
FOR AND ON BEHALF OF  
VERMILION PEAK ENGINEERING LLC

**VERMILION PEAK ENGINEERING**  
BRIAN KROMBEIN  
PE & PLS  
34294

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE VERMILION PEAK ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
VENTANA CAPITAL  
8678 CONCORD CENTER DR, SUITE 200  
ENGLEWOOD, CO 80112  
720-703-9036  
CONTACT: DALTON HORAN

VERMILION PEAK ENGINEERING  
Civil Engineering & Land Surveying  
1745 Shen Carter Drive 4th Floor Highlands Ranch, CO 80129  
720-482-6070 / www.vermilionpeak.com

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
		2/12/25	BK	BK	

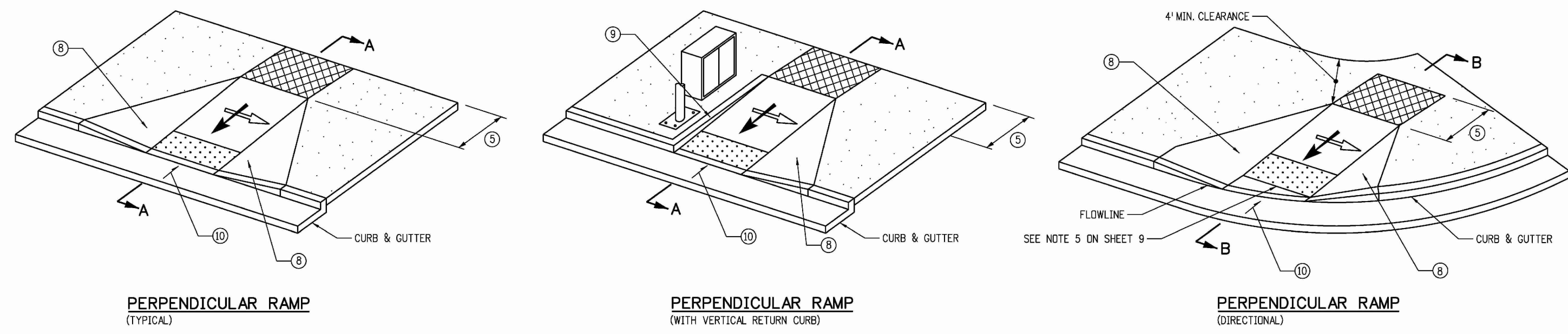
HORSE CREEK COMMERCIAL  
EROSION CONTROL DETAILS

SHEET C11 OF 17  
JOB NO. 24020



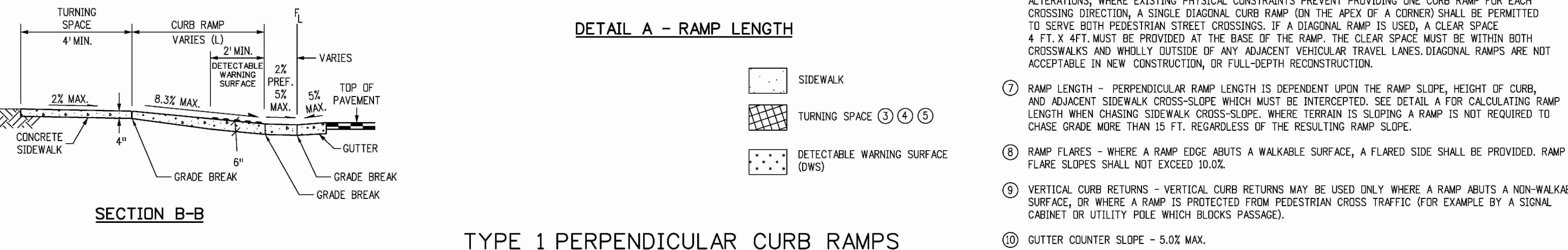
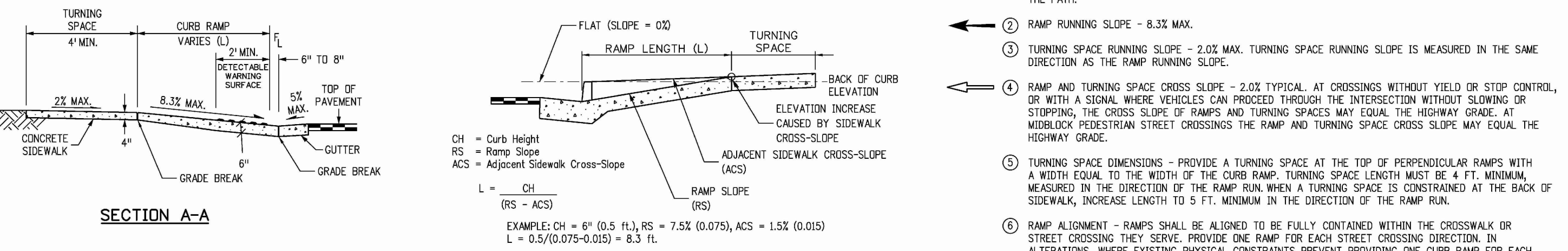




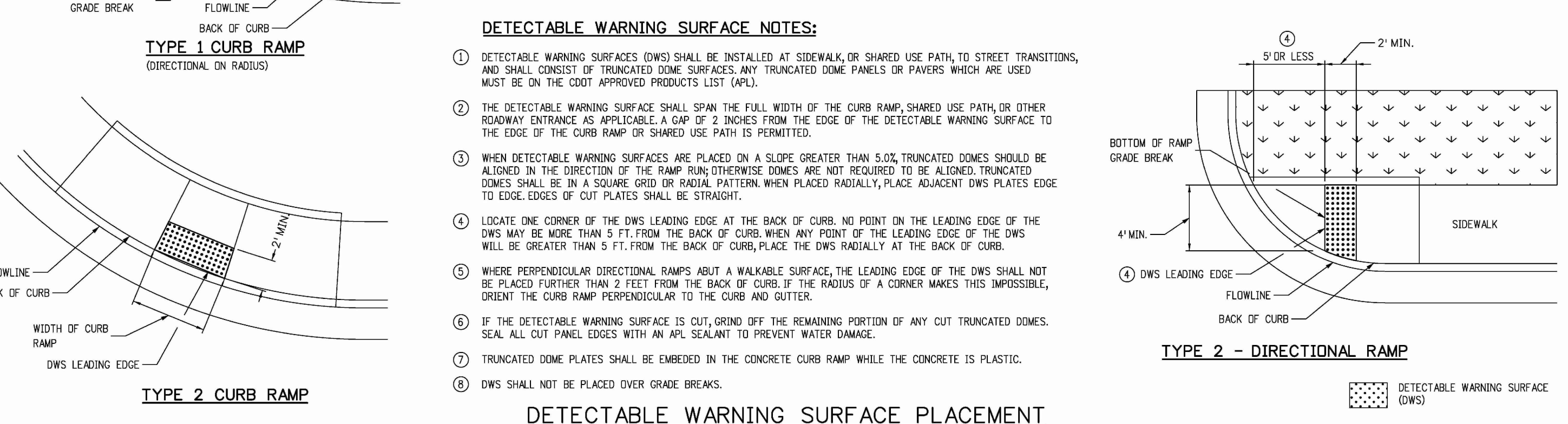
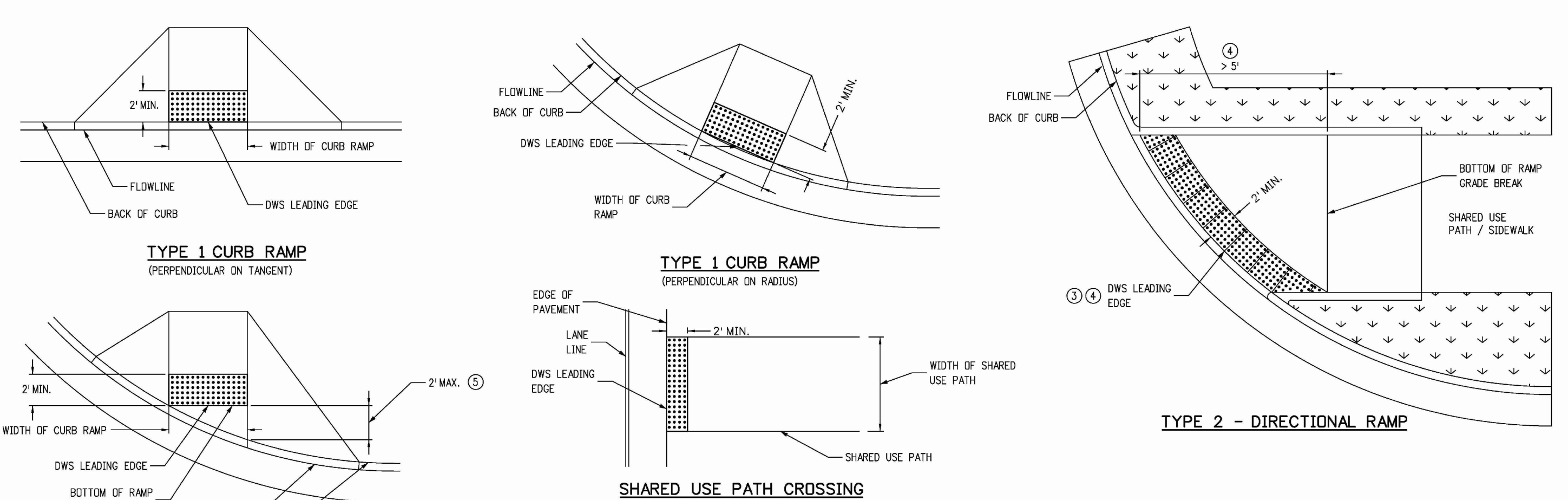


**PERPENDICULAR RAMP NOTES**

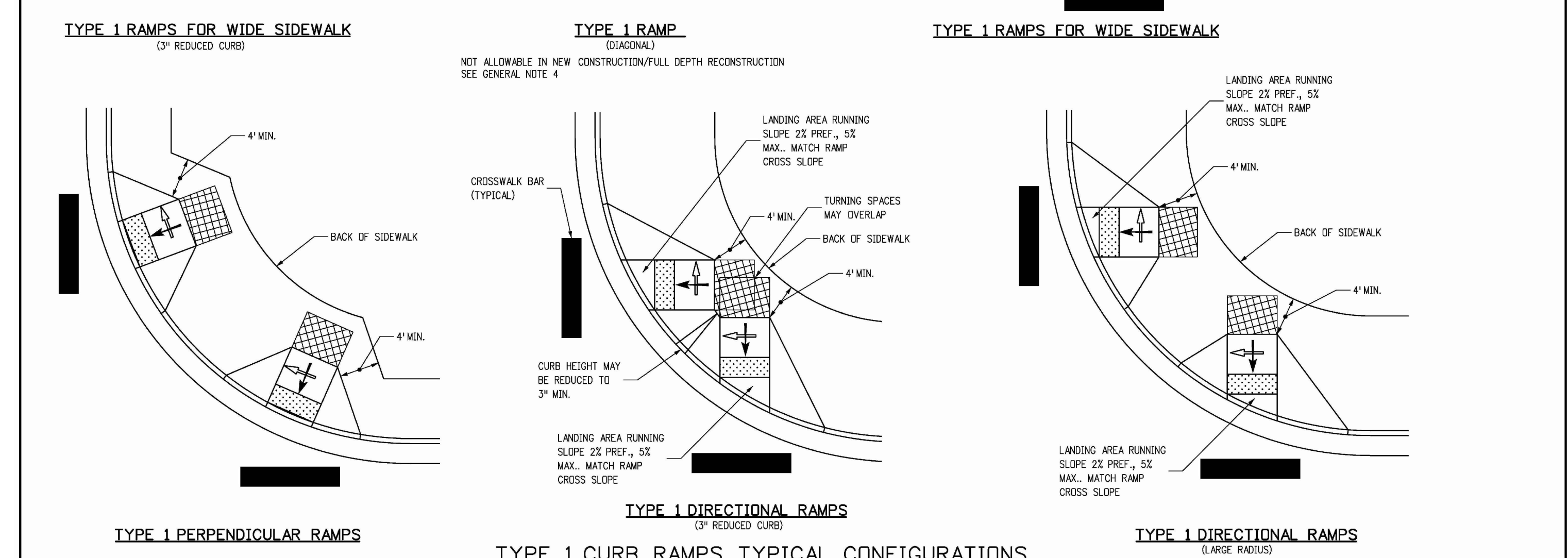
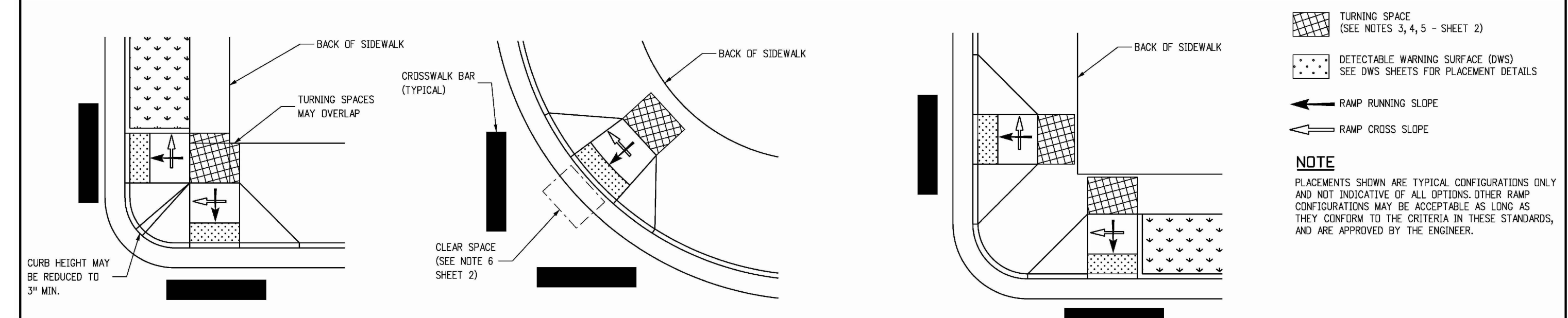
- RAMP WIDTH - PROVIDE 5 FT. OR GREATER WHERE POSSIBLE IF SITE CONSTRAINTS DO NOT PERMIT, PROVIDE 4 FT. MINIMUM. RAMP WIDTH SERVING SHARED USE PATHS SHALL MATCH THE WIDTH OF THE PATH.
- RAMP RUNNING SLOPE - 8.3% MAX.
- TURNING SPACE RUNNING SLOPE - 2.0% MAX. TURNING SPACE RUNNING SLOPE IS MEASURED IN THE SAME DIRECTION AS THE RAMP RUNNING SLOPE.
- RAMP AND TURNING SPACE CROSS SLOPE - 2.0% TYPICAL. AT CROSSINGS WITHOUT YIELD OR STOP CONTROL, OR WITH A SIGNAL WHERE VEHICLES CAN PROCEED THROUGH THE INTERSECTION WITHOUT SLOWING OR STOPPING, THE CROSS SLOPE OF RAMP AND TURNING SPACE MAY EQUAL THE HIGHWAY GRADE. AT MIDBLOCK PEDESTRIAN STREET CROSSINGS THE RAMP AND TURNING SPACE CROSS SLOPE MAY EQUAL THE HIGHWAY GRADE.
- TURNING SPACE DIMENSIONS - PROVIDE A TURNING SPACE AT THE TOP OF PERPENDICULAR RAMP WITH A WIDTH EQUAL TO THE WIDTH OF THE CURB RAMP. TURNING SPACE LENGTH MUST BE 4 FT. MINIMUM, MEASURED IN THE DIRECTION OF THE RAMP RUN. WHEN A TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, INCREASE LENGTH TO 5 FT. MINIMUM IN THE DIRECTION OF THE RAMP RUN.
- RAMP ALIGNMENT - RAMP SHALL BE ALIGNED TO BE FULLY CONTAINED WITHIN THE CROSSWALK OR STREET CROSSING THEY SERVE. PROVIDE ONE RAMP FOR EACH STREET CROSSING DIRECTION. IN ALTERATIONS, WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT PROVIDING ONE CURB RAMP FOR EACH CROSSING DIRECTION, A SINGLE DIAGONAL CURB RAMP (ON THE PEAK OF A CORNER) SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS. IF A DIAGONAL RAMP IS USED, A CLEAR SPACE 4 FT. X 4 FT. MUST BE PROVIDED AT THE BASE OF THE RAMP. THE CLEAR SPACE MUST BE WITHIN BOTH CROSSWALKS AND WHOLLY OUTSIDE OF ANY ADJACENT VEHICULAR TRAVEL LANES. DIAGONAL RAMP IS NOT ACCEPTABLE IN NEW CONSTRUCTION, OR FULL-DEPTH RECONSTRUCTION.
- RAMP LENGTH - PERPENDICULAR RAMP LENGTH IS DEPENDENT UPON THE RAMP SLOPE, HEIGHT OF CURB, AND ADJACENT SIDEWALK CROSS-SLOPE WHICH MUST BE INTERCEPTED. SEE DETAIL A FOR CALCULATING RAMP LENGTH WHEN CHASING SIDEWALK CROSS-SLOPE. WHERE TERRAIN IS SLOPING A RAMP IS NOT REQUIRED TO CHASE GRADE MORE THAN 15 FT. REGARDLESS OF THE RESULTING RAMP SLOPE.
- RAMP FLARES - WHERE A RAMP EDGES ABUTS A WALKABLE SURFACE, A FLARED SIDE SHALL BE PROVIDED. RAMP FLARE SLOPES SHALL NOT EXCEED 10.0%.
- VERTICAL CURB RETURNS - VERTICAL CURB RETURNS MAY BE USED ONLY WHERE A RAMP ABUTS A NON-WALKABLE SURFACE, OR WHERE A RAMP IS PROTECTED FROM PEDESTRIAN CROSS TRAFFIC (FOR EXAMPLE BY A SIGNAL CABINET OR UTILITY POLE WHICH BLOCKS PASSAGE).
- GUTTER COUNTER SLOPE - 5.0% MAX.



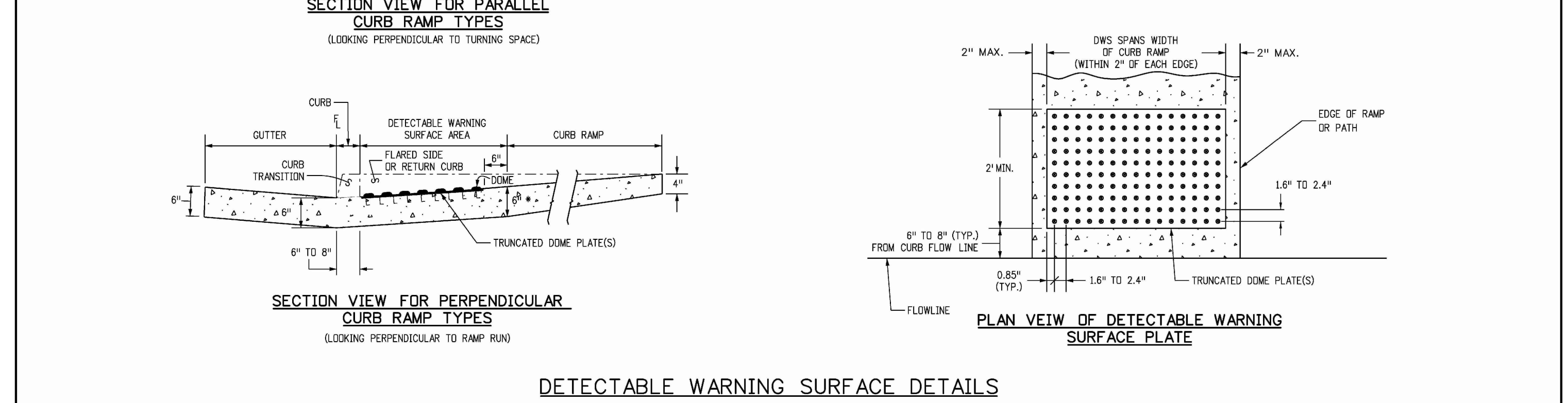
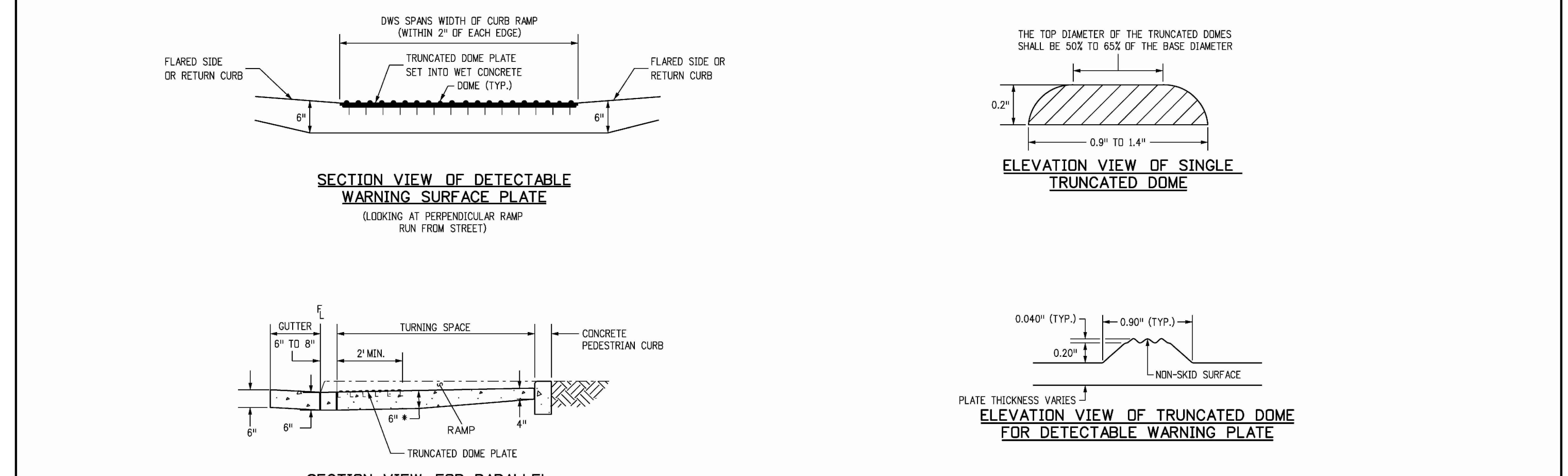
<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>STANDARD PLAN NO.</b>
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	M-608-1
Designer Initials: JBK	Comments: _____	<b>Project Development Branch</b> JBK	Standard Sheet No. 2 of 10
Last Modification Date: 07/31/19	_____		Issued by the Project Development Branch: July 31, 2019
Detailer Initials: LTA	_____		Project Sheet Number: _____
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	_____		



<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>STANDARD PLAN NO.</b>
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	M-608-1
Designer Initials: JBK	Comments: _____	<b>Project Development Branch</b> JBK	Standard Sheet No. 9 of 10
Last Modification Date: 07/31/19	_____		Issued by the Project Development Branch: July 31, 2019
Detailer Initials: LTA	_____		Project Sheet Number: _____
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	_____		



<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>STANDARD PLAN NO.</b>
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	M-608-1
Designer Initials: JBK	Comments: _____	<b>Project Development Branch</b> JBK	Standard Sheet No. 3 of 10
Last Modification Date: 07/31/19	_____		Issued by the Project Development Branch: July 31, 2019
Detailer Initials: LTA	_____		Project Sheet Number: _____
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	_____		



<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>STANDARD PLAN NO.</b>
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	M-608-1
Designer Initials: JBK	Comments: _____	<b>Project Development Branch</b> JBK	Standard Sheet No. 10 of 10
Last Modification Date: 07/31/19	_____		Issued by the Project Development Branch: July 31, 2019
Detailer Initials: LTA	_____		Project Sheet Number: _____
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	_____		

CALL UNCC  
TWO WORKING DAYS  
BEFORE YOU DIG  
CALL 811  
METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO

**ENGINEER'S STATEMENT**  
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE \_\_\_\_\_  
 COLORADO PE NO. 34294  
 FOR AND ON BEHALF OF  
 VERMILION PEAK ENGINEERING LLC



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE AGENCIES, VERMILION PEAK ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**VENTANA CAPITAL**  
 8678 CONCORD CENTER DR, SUITE 200  
 ENGLEWOOD, CO 80112  
 720-703-9036  
 CONTACT: DALTON HORAN

1745 Shen Center Drive 4th Floor, Highlands Ranch, CO 80129  
 720-482-6070 / www.vermilionpeak.com

DATE	BY	REVISION	AS SHOWN	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
			2/12/25				BK	BK	BK

HORSE CREEK COMMERCIAL  
 SITE CONSTRUCTION DETAILS

SHEET C15 OF 17  
 JOB NO. 24020



