



## Development Review Division

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**Community Development Department:** *Town Hall / 20120 East Mainstreet Parker, CO 80138* **Phone:** 303.841.2332 **Fax:** 303.841.3223

### MEMORANDUM

**TO:** Casey Adragna, Adragna Architecture  
**FROM:** Elizabeth Steward, Associate Planner- Development Review  
**DATE:** 10/27/25  
**SUBJECT:** Douglas 234 Multitenant, Site Plan  
Review Comments 02

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Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Elizabeth Steward

**EMAIL:** esteward@parkerco.gov

**PHONE:** 303.805.3331

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not send the application for referral without with this naming convention.  
Example: "02" or "Second Submittal"

### Site Plan and Project Details

1. Please see the attached redlines for all planning comments.

Comment Addressed:  Yes  No

Response:

All comments have been addressed.

### OUTSIDE REFERRAL AGENCY COMMENTS

The following reviews in eTRAKiT have "Advisory Comments" or "Revisions Required:"

- Construction plans – civil
- IREA (CORE)
- Site plan – civil
- Traffic impact study – civil

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:  Yes  No

Response:

All comments have been addressed.

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date

Brian Krombein, PE  
\_\_\_\_\_

4/10/26  
\_\_\_\_\_

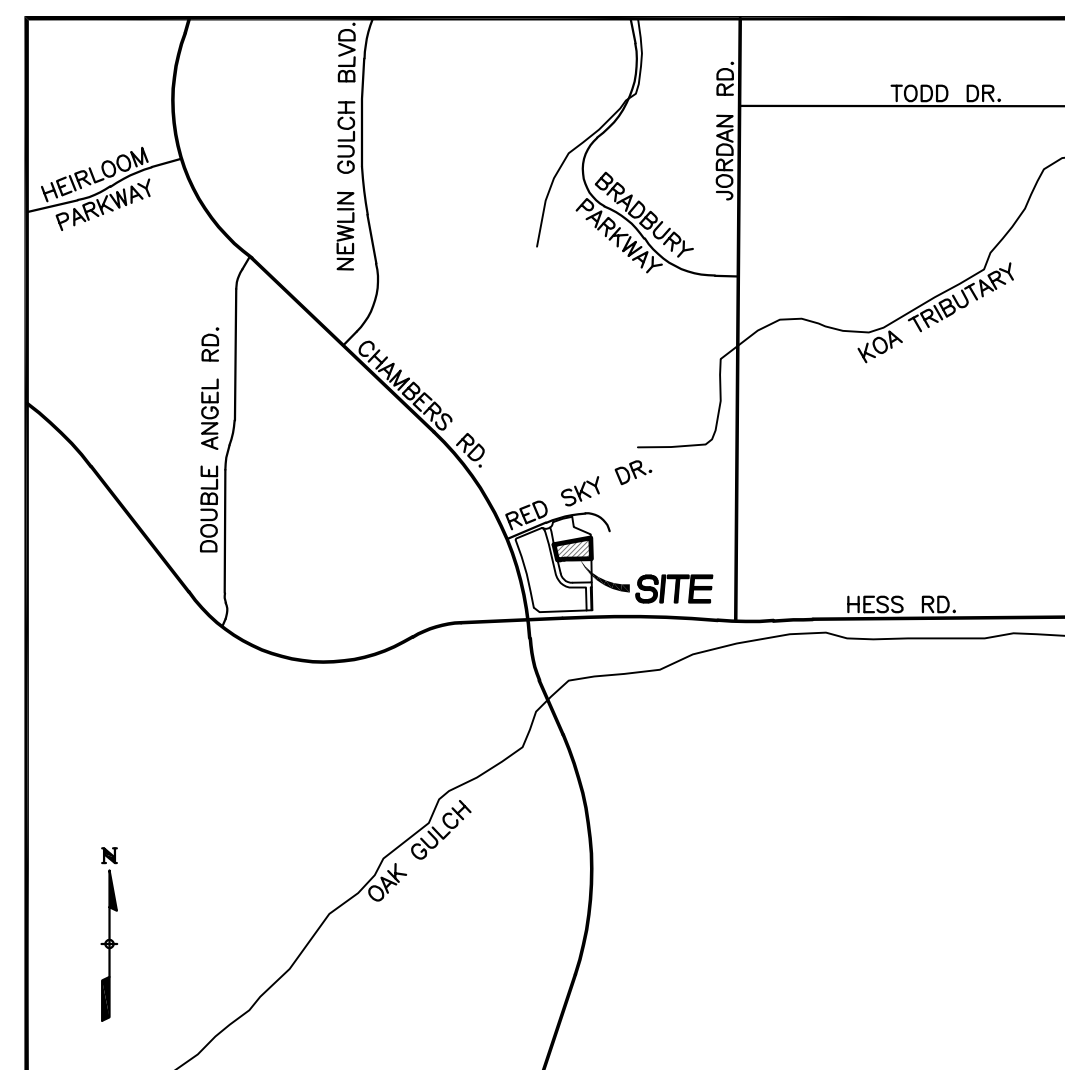
Project Representative

Date

SITE PLAN  
**HORSE CREEK COMMERCIAL**  
 LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**TOWN OF PARKER STANDARD NOTES**

1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
4. THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
7. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
8. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
9. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
10. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
11. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
12. PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
13. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
14. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
15. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
16. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
17. ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



**VICINITY MAP**  
 SCALE: 1"=2000'

**LEGAL DESCRIPTION**

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
 COUNTY OF DOUGLAS, STATE OF COLORADO.

**BASIS OF BEARINGS**

THE WEST LINE OF 10B, DOUGLAS 235 FILING 6, AMENDMENT NO. 2 IS ASSUMED TO BEAR N13°07'09"W MONUMENTED AS SHOWN HEREON.

**BENCHMARK**

DOUGLAS COUNTY BENCHMARK: 1.080917  
 DESCRIBED AS A 3.25 IN ALUMINUM CAP LOCATED AT THE SOUTH END OF AUBURN HILLS COMMUNITY PARK.  
 ELEVATION = 6003.20 FEET (NAVD88)

TEMPORARY BENCHMARK (T.B.M.):  
 DESCRIBED AS FOUND NAIL AND BRASS TAG, PLS 34850,  
 LOCATED AT THE NORTHWEST CORNER OF LOT 10B, DOUGLAS 235 FILING 6, AMENDMENT NO. 2.  
 ELEVATION = 6077.37 FEET

**SHEET INDEX**

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C4	GRADING PLAN
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C6	FIRETRUCK ACCESS PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS
L3	LANDSCAPE IRRIGATION PLAN
L4	LANDSCAPE IRRIGATION DETAILS
LT1	SITE PHOTOMETRIC PLAN
LT2	SITE LIGHTING CUTSHEETS
A1	BUILDING ELEVATIONS
A2	SITE DETAILS
A3	BUILDING FLOOR PLAN

revised

specify that this is the Max Height of structures allowed. This reads that the buildings are required to be 60ft.

**STATISTICAL INFORMATION**

GROSS FLOOR AREA	15,877 S.F.
GROSS PROJECT (SITE) AREA	1.57 ACRES (68,488 S.F.)
NET PROJECT (SITE) AREA	1.57 ACRES (68,488 S.F.)
HEIGHT OF STRUCTURES (REQUIRED)	60 FEET
HEIGHT OF STRUCTURES (PROPOSED)	29.5 FEET (1 STORY)
ZONING:	PLANNED DEVELOPMENT (DOUGLAS 234)
PROPOSED USE:	RETAIL
<b>BUILDING SETBACKS</b>	<b>REQUIRED</b> <b>PROVIDED</b>
FRONT (WEST)	20 FEET      70.4 FEET
SIDE (NORTH)	10 FEET      24.8 FEET
SIDE (SOUTH)	10 FEET      39.0 FEET
REAR (EAST)	10 FEET      127.8 FEET
<b>PARKING ANALYSIS</b>	<b>REQUIRED</b> <b>PROVIDED</b>
TOTAL PARKING	32 (1/500 SF)      54
STANDARD PARKING (9' x 18')	50      51
ADA PARKING	3      3
BICYCLE PARKING	3 (2/10,000 SF)      4
<b>LAND USE AREAS</b>	
GROUND COVERAGE BY STRUCTURES	15,877 S.F. (23.1%)
GROUND COVERAGE BY OTHER IMPERVIOUS ELEMENTS	28,843 S.F. (42.1%)
GROUND COVERAGE BY LANDSCAPING	23,768 S.F. (34.7%)

**OWNER/DEVELOPER**

VENTANA CAPITAL  
 8678 CONCORD CENTER DR, SUITE 200  
 ENGLEWOOD, CO 80112  
 720-703-9036  
 CONTACT: DALTON HORAN

**CIVIL ENGINEER/SURVEYOR**

VERMILION PEAK ENGINEERING  
 1745 SHEA CENTER DRIVE, 4TH FLOOR  
 HIGHLANDS RANCH, CO 80129  
 720-402-6070  
 CONTACT: BRIAN KROMBEIN, PE, PLS

**ARCHITECT**

ADRAGNA ARCHITECTURE + DEVELOPMENT  
 8695 THUNDERBIRD CIRCLE  
 PARKER, CO 80134  
 719-244-4023  
 CONTACT: CASEY ADRAGNA

**LANDSCAPE ARCHITECT**

PLANSAPES DESIGN GROUP  
 970-988-5301  
 CONTACT: ROB MOLLOY

COVER SHEET  
 DOUGLAS 234 FILING NO. 6, AMD. 2  
 JOB NO. 24020  
 DATE: OCTOBER 3, 2025  
 SHEET C1

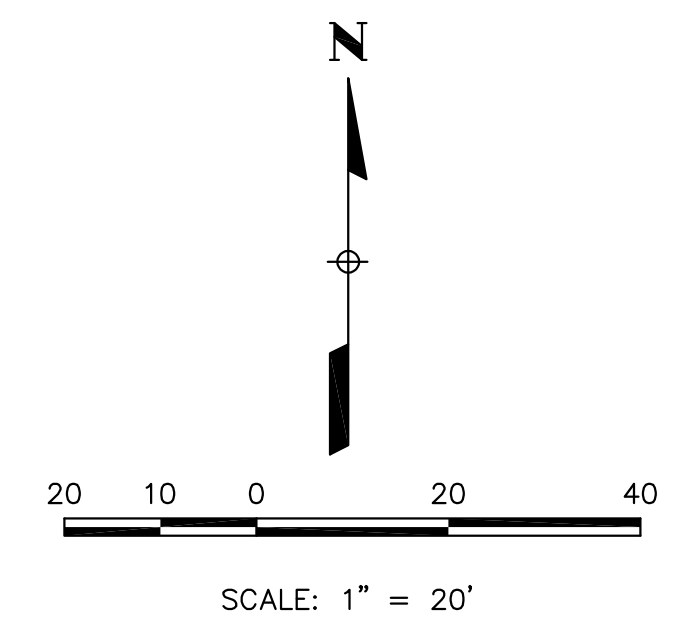
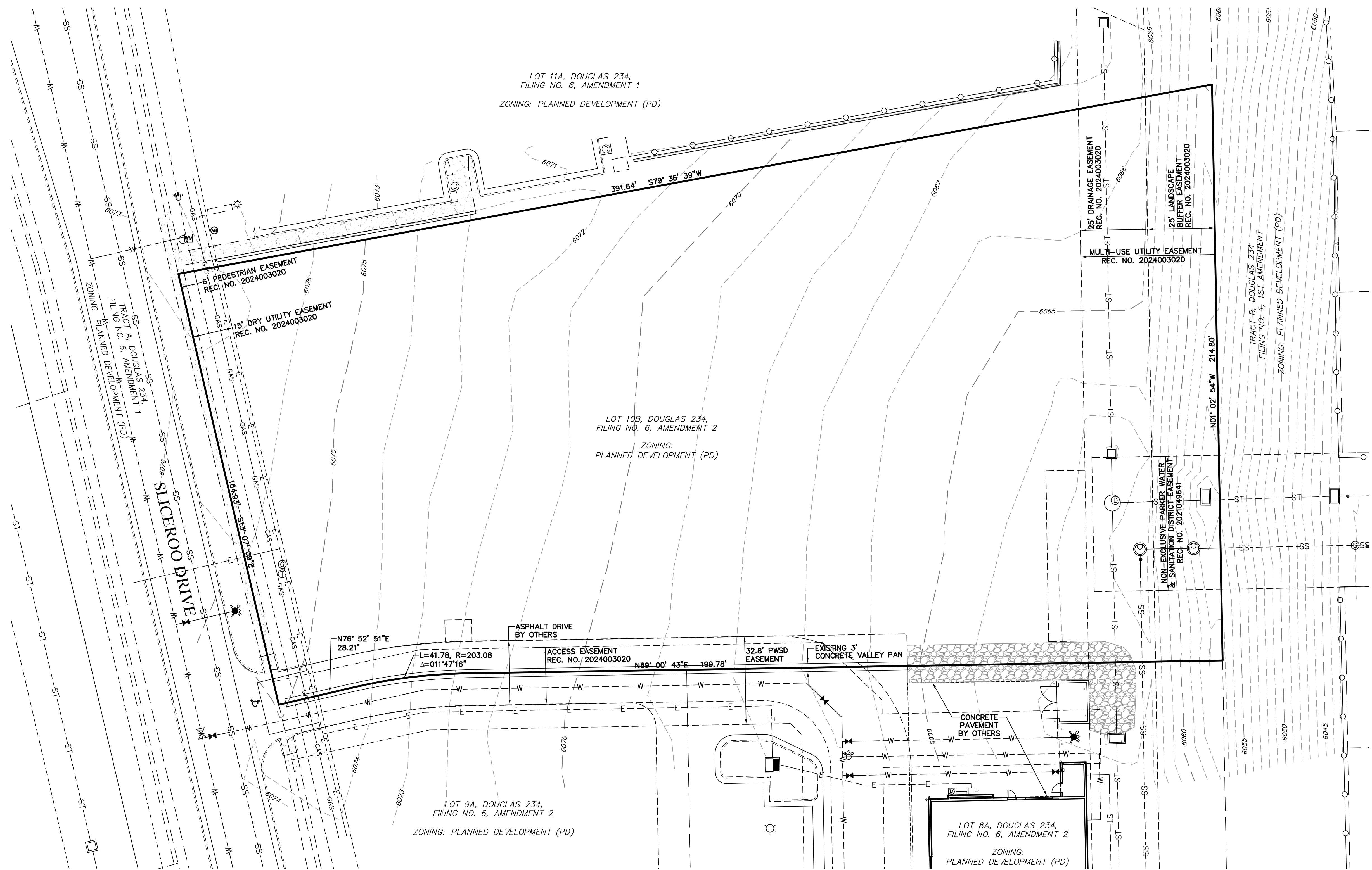


Civil Engineering & Land Surveying  
 1745 Shea Center Drive, 4th Floor  
 Highlands Ranch, CO 80129  
 720-402-6070 / www.vermilionpeak.com

# SITE PLAN

## HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234, FILING NO. 6, AMENDMENT 2  
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



**LEGEND**

	PROPERTY LINE
	EXISTING CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING GAS PIPE
	EXISTING STORM SEWER
	EXISTING ELECTRIC

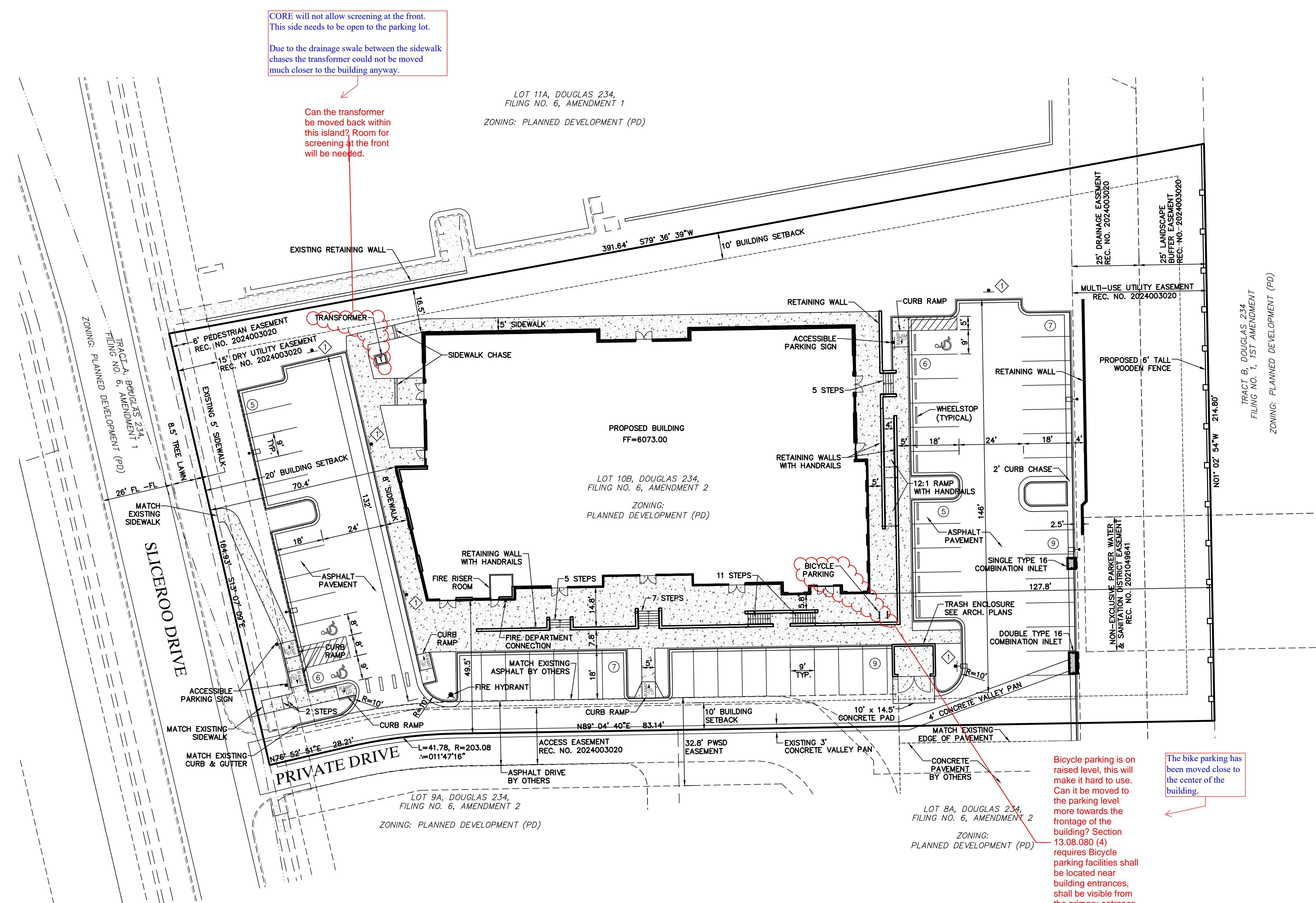
EXISTING CONDITIONS MAP  
 DOUGAS 234 FILING NO. 6, AMD. 2  
 JOB NO. 24020  
 DATE: OCTOBER 3, 2025  
 SHEET C2



# SITE PLAN

## HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



CORE will not allow screening at the front. This side needs to be open to the parking lot.

Due to the drainage swale between the sidewalk chases the transformer could not be moved much closer to the building anyway.

Can the transformer be moved back within this island? Room for screening at the front will be needed.

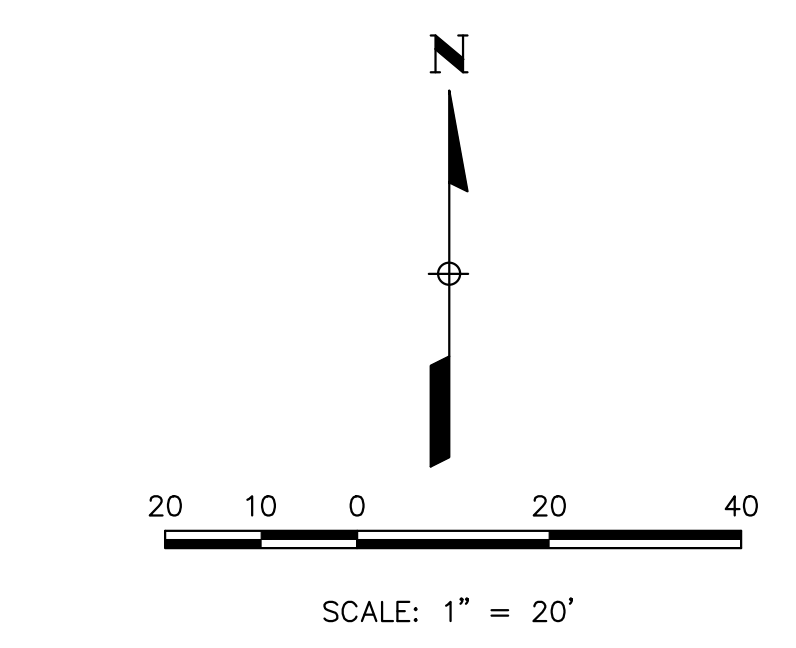
Bicycle parking is on raised level, this will make it hard to use. Can it be moved to the parking level more towards the frontage of the building? Section 13.08.080 (4) requires Bicycle parking facilities shall be located near building entrances, shall be visible from the primary entrance of the land use they serve

The bike parking has been moved close to the center of the building.

NOTES  
 1. RETAINING WALLS SHALL NOT EXCEED 9 FEET IN HEIGHT.

Retaining Walls Cannot exceed 6 feet in height. Correct.

revised



**LEGEND**

	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED 2' CATCH CURB & GUTTER
	PROPOSED 1' SPILL CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	BUILDING SETBACK
	EXISTING EASEMENT
	PROPOSED RETAINING WALL
	PROPOSED 6' TALL WOODEN FENCE
	CONCRETE PAVEMENT
	PROPOSED LIGHT POLE
	PARKING COUNT
	NO PARKING - FIRE LANE SIGN

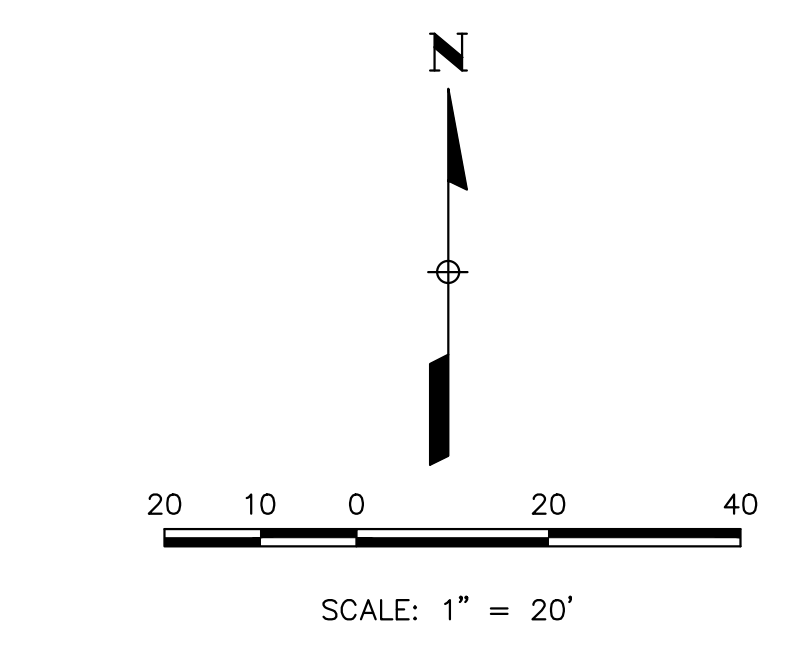
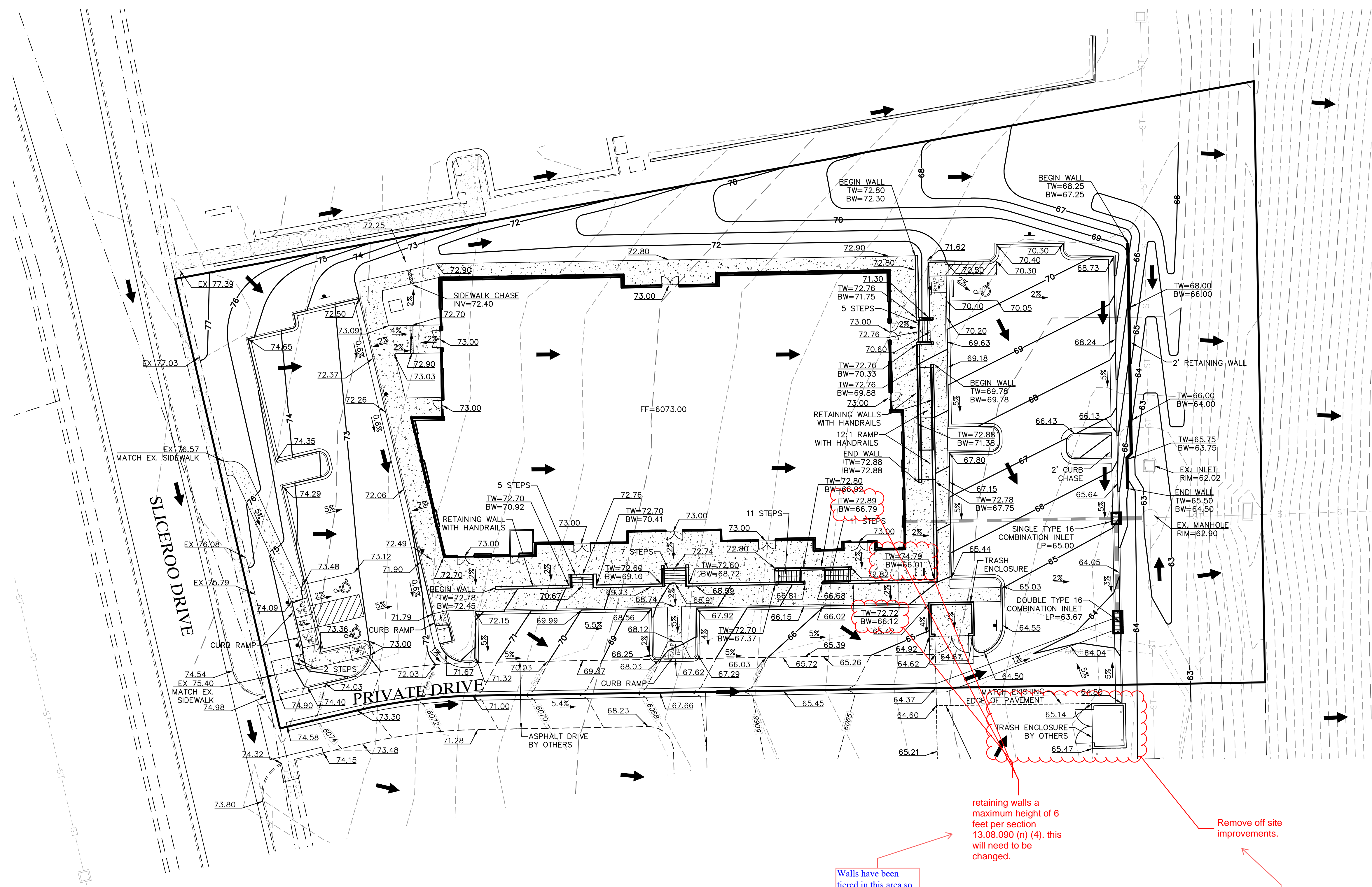
SITE PLAN  
 DOUGAS 234 FILING NO. 6, AMD. 2  
 JOB NO. 24020  
 DATE: OCTOBER 3, 2025  
 SHEET C3

Vermilion  
 Peak  
 Engineering  
 Civil Engineering & Land Surveying  
 1745 Shea Center Drive, 4th Floor  
 Highlands Ranch, CO 80129  
 720-402-6070 / vermillionpeak.com

# SITE PLAN

## HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE FLOW DIRECTION
	EXISTING CURB & GUTTER
	1' SPILL CURB
	2' CATCH CURB
	PROPOSED RETAINING WALL
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	CONCRETE PAVEMENT

**NOTES**  
 1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

**BENCHMARK**  
 BENCHMARK IS BY GPS OBSERVATION NAVD 88. SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200' +/- NORTH OF HESS RD.

retaining walls a maximum height of 6 feet per section 13.08.090 (n) (4), this will need to be changed.

Walls have been tiered in this area so they do not exceed 6 feet in height.

Remove off site improvements.

OK

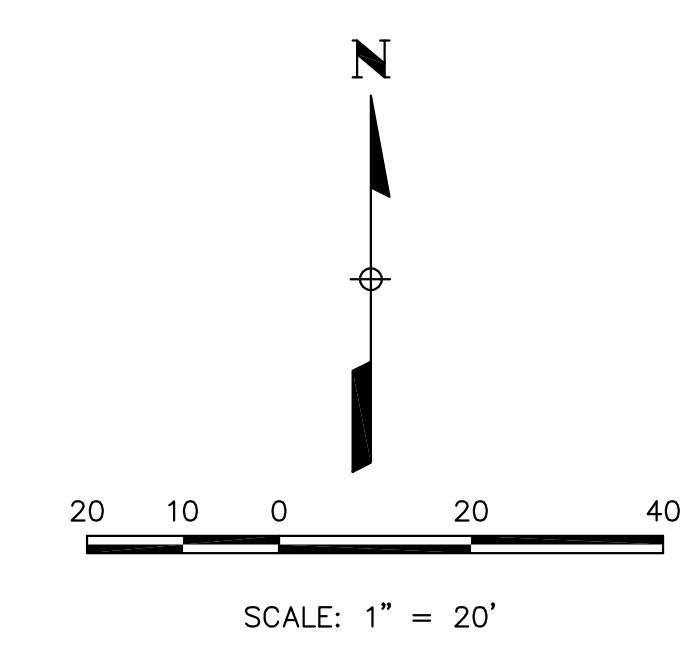
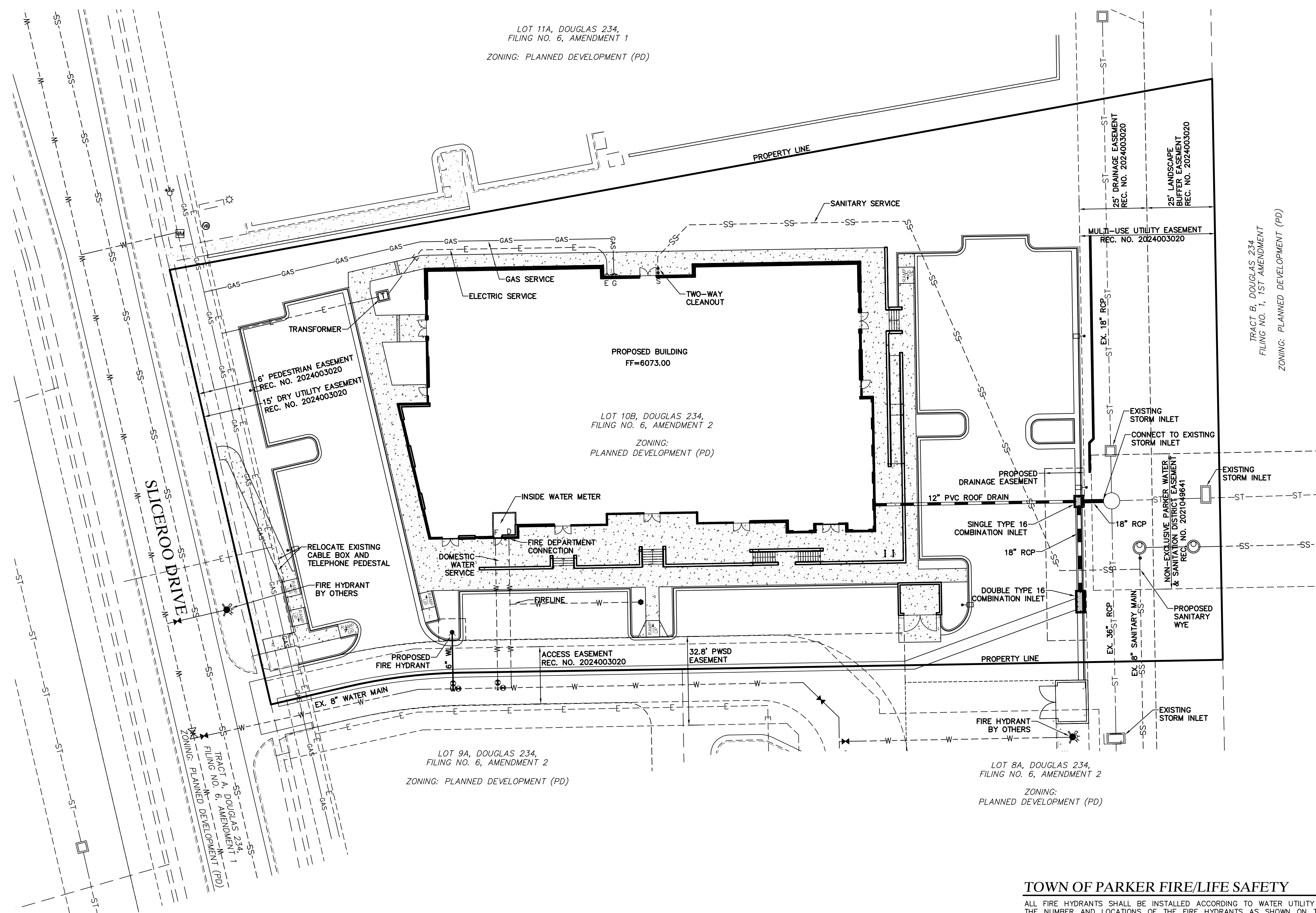
GRADING PLAN  
 DOUGLAS 234 FILING NO. 6, AMD. 2  
 JOB NO. 24020  
 DATE: OCTOBER 3, 2025  
 SHEET C4

**Vermilion Peak Engineering**  
 Civil Engineering & Land Surveying  
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# SITE PLAN

## HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



### LEGEND

- PROPERTY LINE
- EXISTING CURB & GUTTER
- PROPOSED 2' CATCH CURB & GUTTER
- PROPOSED 1' SPILL CURB & GUTTER
- EXISTING RIGHT-OF-WAY
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING GAS PIPE
- EXISTING STORM SEWER
- EXISTING ELECTRIC
- PROPOSED ELECTRIC
- PROPOSED STORM SEWER
- PROPOSED CURB & GUTTER
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- CONCRETE PAVEMENT
- EXISTING EASEMENT
- PROPOSED RETAINING WALL
- PROPOSED LIGHT POLE

### FIRE FLOW

FIRE FLOW REQUIREMENTS ARE 2,750 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT. INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS: 2021 IFC  
 OCCUPANCY GROUP(S): B, M  
 CONSTRUCTION TYPE(S): IIB  
 FIRE FLOW CALCULATION AREA: 15,877 SF  
 THIS BUILDING IS NOT FULLY SPRINKLERED

### TOWN OF PARKER FIRE/LIFE SAFETY

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

BY: \_\_\_\_\_ FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE \_\_\_\_\_

(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)


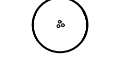
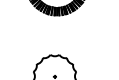
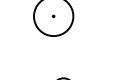
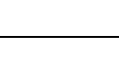


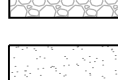
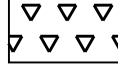


UTILITY PLAN  
 DOUGLAS 234 FILING NO. 6, AMD. 2  
 JOB NO. 24020  
 DATE: OCTOBER 3, 2025  
 SHEET C5

**Vermilion Peak Engineering**  
 Civil Engineering & Land Surveying  
 1745 Shea Center Drive, 4th Floor  
 Highlands Ranch, CO 80129  
 720-402-6070 / vermillionpeak.com

# SITE DEVELOPMENT PLAN HORSE CREEK OFFICE BUILDING

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## PLANT LEGEND

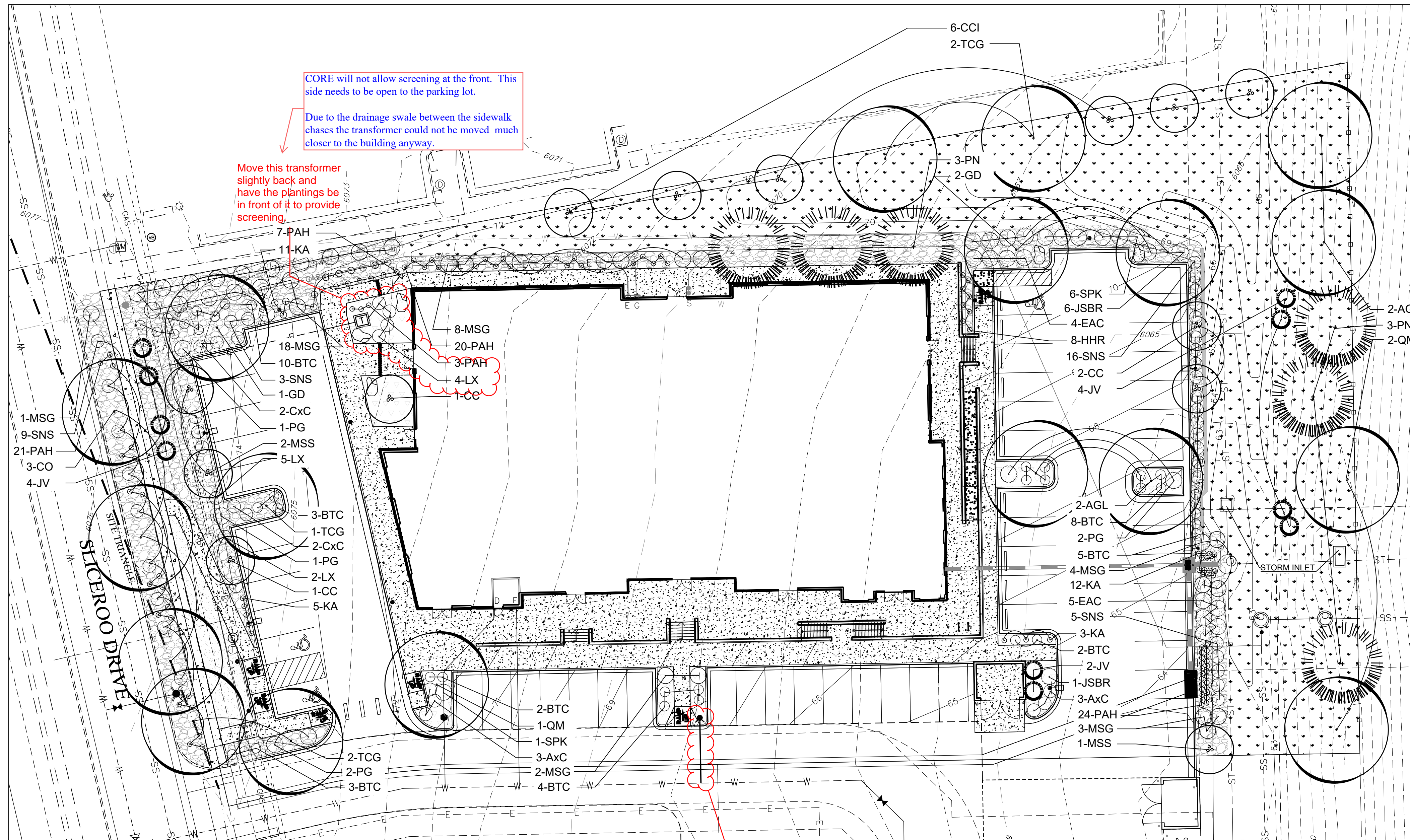
-  DECIDUOUS CANOPY TREES
-  ORNAMENTAL TREES
-  EVERGREEN TREES
-  EVERGREEN SHRUBS
-  DECIDUOUS SHRUBS
-  PERENNIALS
-  NATIVE GRASS
-  3/4" - 2" RIVER ROCK MULCH
-  BLUEGRASS TURF
-  WOOD MULCH
-  6' Fence

## NATIVE GRASS:

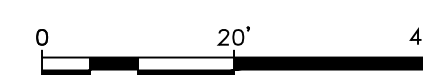
**PBSI Foothills Native Mix**  
 Ingredients: Switchgrass, Rocky Mountain Fescue, Big Bluestem, Sandberg Bluegrass, Slender Wheatgrass, Thickspike/Streambank/Western Wheatgrass, Yellow Indiangrass, Blue Grama, Beardless Wheatgrass, Indian Ricegrass, Little Bluestem, Sand Dropseed, Sideoats Grama  
 Seeding Rate: 25 lbs/Acre to be used between October 15th and March 30th  
 Pawnee Buttes Seed, Inc.  
 605 25th St.  
 Greeley, Colorado  
 (970) 356-7002

## PROPOSED PLANT LIST

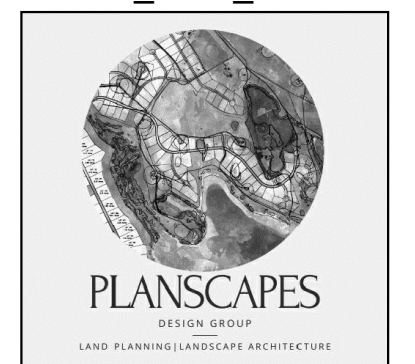
PLANTING SCHEDULE								
TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SIZE AT MATURITY	NOTES	WATER USE
Trees								
Deciduous	AGL	2	Aesculus glabra	Ohio Buckeye	2.5" Cal	20'-40'	B & B	M
	CO	3	Celtis Occidentalis	Western Hackberry	2.5" Cal	50'	B & B	M
	GD	3	Gumnocladus Dioicus	Kentucky Coffeetree	2.5" Cal	50'	B & B	L
	TCG	5	Tilia Cordata 'Greenspire'	Greenspire Linden	2.5" Cal	50'	B & B	M
	QM	3	Quercus macrocarpa	Bur Oak	2.5" Cal	60'	B & B	M
Ornamental	CCI	6	Crataegus crus-galli nermis	Thornless Cockspur Hawthorn	2" Cal	15'-20'	B & B	M
	CC	4	Cercis canadensis	Eastern Redbud	2" Cal	20'-30'	B & B	M
	MSS	3	Malus 'Spring Snow'	Spring Snow Crabapple	2" Cal	15'-20'	B & B	M
Evergreen	JV	10	Juniperus scopulorum	Rocky Mountain Juniper	6" Ht	15'-20'	B & B	L-M
	PN	6	Pinus Nigra 'Arnold's Sentinel'	Austrian Pine	6" Ht	40'-60'	B & B	M
Shrubs								
Deciduous	AxC	6	Arctostaphylos X Coloradoensis	Panchito Manzanita	5 Gal	3'	5' OC	L
	CxC	4	Arctostaphylos x coloradoensis	Panchito Manzanita	5 Gal	4'	4' OC	L
	BTC	37	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	5 Gal	2'-3'	5' OC	L
	EAC	9	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal	6'-8'	3' OC	L
	SNS	33	Spiraea nipponica 'Snowmound'	Snowmound Spiraea	5 Gal	3'-4'	3' OC	L
	SPK	7	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal	6'-8'	5' OC	L
	LX	11	Ligustrum x vicaryi	Golden Vicary Privet	5 Gal	6'-8'	4' OC	L
Evergreen	PG	6	Picea pungens 'Globosa'	Globe Spruce	5 Gal	3'-5'	5' OC	L
	JSBR	7	Juniperus sabina 'Broadmoor'	Broadmoor Juniper	5 Gal	1'-2'	5' OC	L
Perennials & Ornamental Grasses								
Perennials	MSG	34	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	5 Gal		4' OC	L
	PAH	75	Pennisetum alopecuroides 'Homeln'	Dwarf Fountain Grass	2 Gal		18" OC	L
	HHR	8	Hermerocallis 'Happy Returns'	Dwarf Yellow Daylily	1 Gal		18" OC	L
	KA	31	Calamagrostis X Acutiflora 'Karl Forester'	Karl Forester Grass	1 Gal		4' OC	L



Scale: 1"=20'



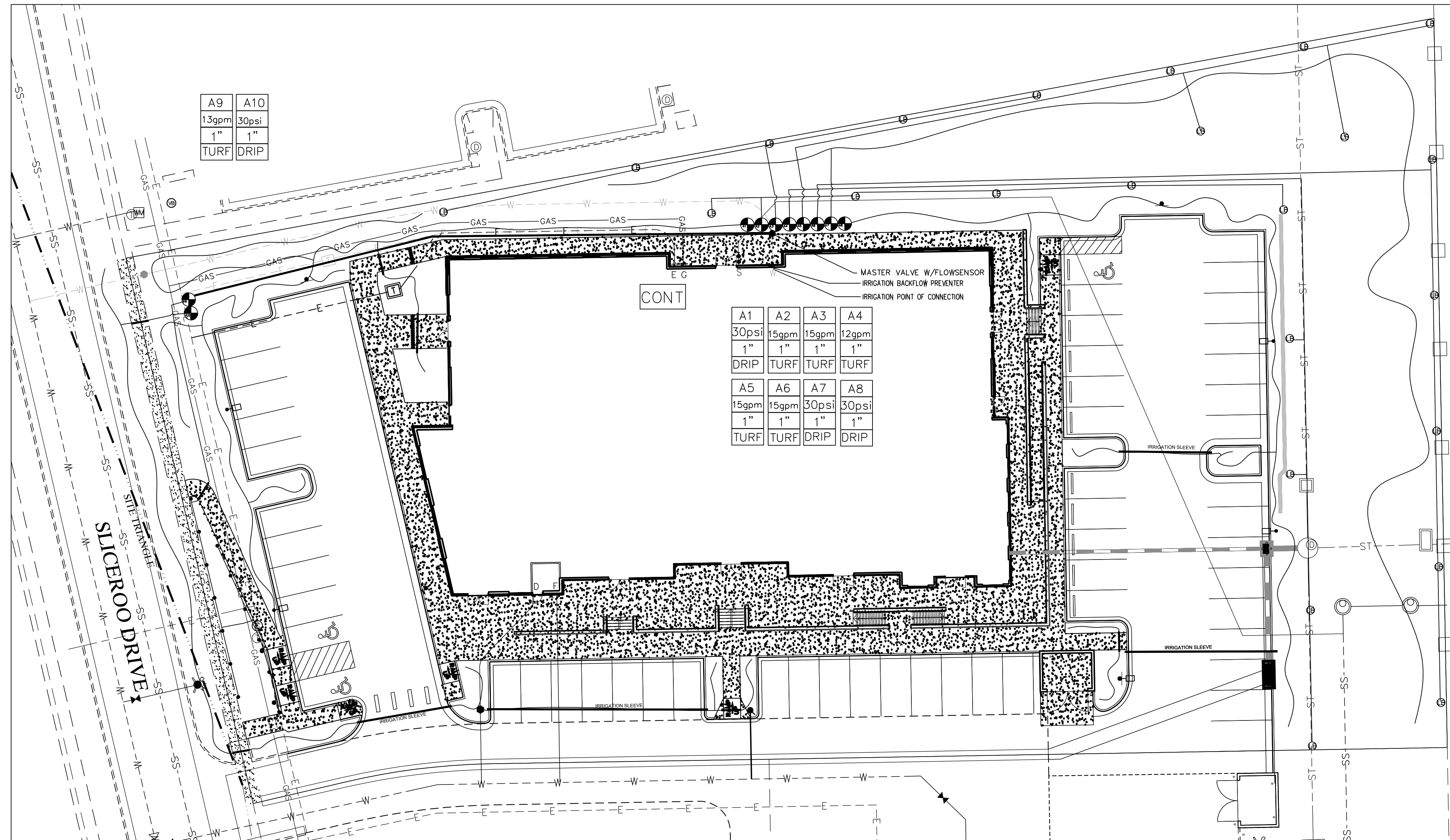
LANDSCAPE PLAN  
DOUGAS 234 FILING NO. 6, AMD. 2  
DATE: OCTOBER 2, 2025  
SHEET \_ OF \_





# SITE DEVELOPMENT PLAN HORSE CREEK OFFICE BUILDING

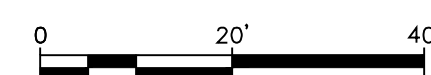
LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



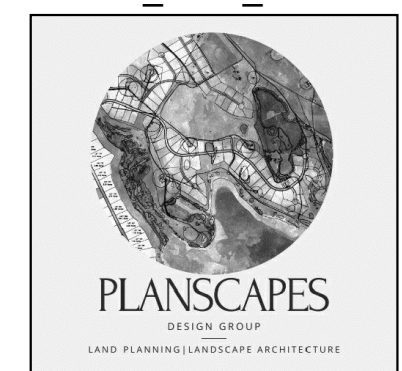
### IRRIGATION LEGEND

- REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER (SIZE PER PLAN) DETAIL "C" IRRIGATION DETAILS SHEET
- HUNTER M93500 PRO6-06-PR540-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PR540 BODY, LB-LIGHT BROWN, ADJUSTABLE ARC, 90-210; 90-210
- HUNTER 120-06 SS 3.0 TURF ROTATOR, 6" POP-UP, ADJUSTABLE AND FULL CIRCLE, STAINLESS STEEL ROSE, DRAIN CHECK VALVE, STANDARD NOZZLE; 90-210; 3.4 GPM; 30' NOZZLE
- SPRINKLER CONTROL BOX, DETAIL "D" IRRIGATION DETAILS SHEET
- 1" FIBCO MODEL 765 BACK FLOW PREVENTER, DETAIL ON DETAILS SHEET
- Hunter Flow-Sync® Sensor
- INDICATES CONTROLLER STATION
- INDICATES LATERAL DISCHARGE (GPM)
- INDICATES VALVE SIZE (INCHES)
- INDICATES LANDSCAPE APPLICATION
- LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC 1 INCH AS SHOWN ON PLAN
- LATERAL PIPE TO EMITTERS: UV RADIATION RESISTANT POLYETHYLENE (5/4-INCH SIZE, ROUTING DIAGRAM) SHOWN WITHIN DRIP HATCHED AREAS
- NON-CONNECTING PIPE CROSSINGS
- SLEEVE PIPE UNDER PAVEMENT: CLASS 200 PVC 2 INCH AS SHOWN ON DETAIL SHEET
- RAIN SENSOR  
HUNTER SOLAR SYNC WIRELESS SENSOR, DETAIL E ON IRRIGATION DETAIL SHEET

Scale: 1"=20'



LANDSCAPE PLAN  
DOUGAS 234 FILING NO. 6, AMD. 2  
DATE: OCTOBER 2, 2025  
SHEET \_ OF \_



# SITE DEVELOPMENT PLAN

# HORSE CREEK OFFICE BUILDING

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

1. THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 40 PSI. AT A MAXIMUM DISCHARGE OF 55 GPM AT THE IRRIGATION POINT OF CONNECTION 1 (POCI) VERIFY PRESSURE AND GLOW ON SITE PRIOR TO CONSTRUCTION.
2. READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. COORDINATE UTILITY LOCATES (CALL BEFORE YOU DIG)
4. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTION OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR DISCREPANCIES TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
5. THE DRAWING ARE DIAGRAMMATIC. THEREFORE THE FOLLOWING SHOULD BE NOTED.
  - A. ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY INSTALL IRRIGATION PIPE AND WIRING IN THE LANDSCAPED AREAS WHENEVER POSSIBLE.
  - B. TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
  - C. USE ONLY STANDARD TEE AND ELBOW FITTINGS. USE OF TEE FITTINGS IN THE BULL-NOSE CONFIGURATION, OR USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.
6. PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
  - A. TWO OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
  - B. TWO OF EACH SERVING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS/ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
  - C. "AS BUILT" IRRIGATION DRAWINGS
  - D. WATER BUDGET CHART
  - E. SMART IRRIGATION CONTROLLER DATA INPUT CHART SELECTED NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARC WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVER-SPRAY FOR THE CONDITION. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCES.

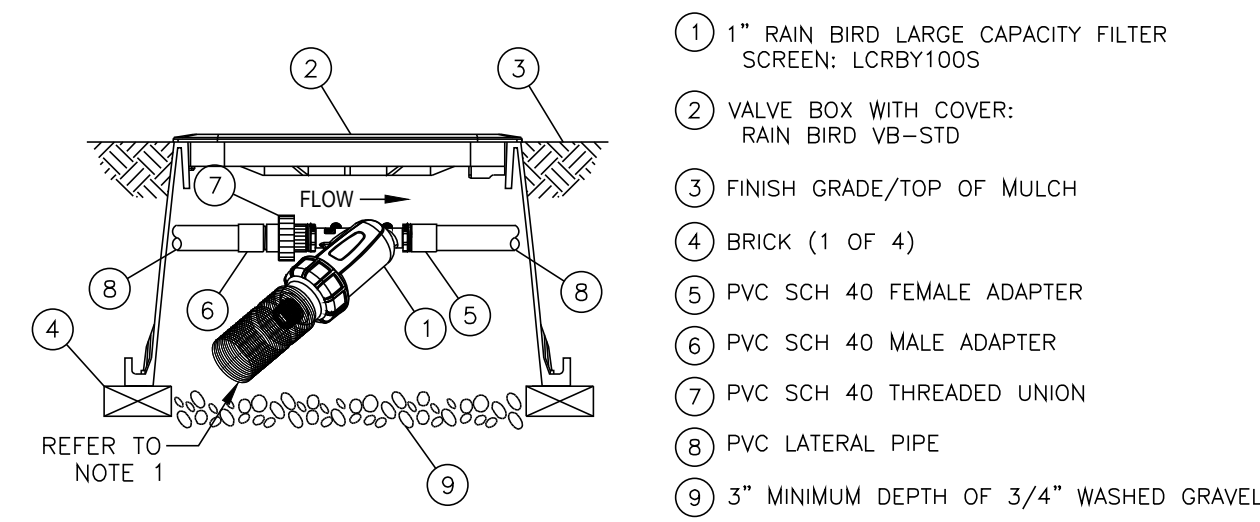
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARD-SCAPE CROSSING COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARD-SCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.
- SEPARATE SLEEVING USED FOR IRRIGATION LINES AND WIRING BUNDLES
  - FOR ALL SLEEVING LOCATED UNDER CONCRETE, THE PAVEMENT OR OTHER HARD SURFACING SHALL BE NOTCHED ON BOTH SIDES TO MARK THE SLEEVE LOCATION, AND TRACER WIRES SHALL BE INSTALLED ON THE UPPER SIDE AND BOTH ENDS OF THE SLEEVING.
  - THE DIAMETER OF SLEEVE SHALL BE A MINIMUM OF TWICE THAT OF THE PIPE AND WIRING BUNDLE BUT NO SMALLER THAN A TWO (2) INCH DIAMETER PIPE. THE ENDS OF THE SLEEVES SHALL EXTEND PAST THE EDGE OF THE CURB, GUTTER, SIDEWALK, OR OTHER HARDSCAPE A MINIMUM OF EIGHTEEN (18) INCHES.
  - THE SLEEVE MATERIAL BENEATH SIDEWALKS, DRIVES AND TREETOPS SHALL BE PVC CLASS 200 PIPE WITH SOLVENT WELDED JOINTS
  - CONTAINS NO JOINTS WHEN LENGTH IS LESS THAN TWENTY (20) FEET.
7. INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES. THE IRRIGATION CONTROLLER MUST BE WALL MOUNTED IN THE PARTS STAGING AREA ADJACENT TO ELECTRICAL OUTLET LOCATED IN THE JANITORS ROOM WITH BACKFLOW PREVENTER
  8. INSTALL TWO #14 AWG CONTROL WIRES FROM CONTROLLER LOCATION TO EACH DEAD END OF MAINLINE FOR USE AS SPARES IN CASE OF CONTROL WIRE FAILURE. COIL 3 FEET OF WIRE IN VALVE BOX.
  9. AUTOMATIC IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN DETECTION DEVICE.

### EMITTER SCHEDULE

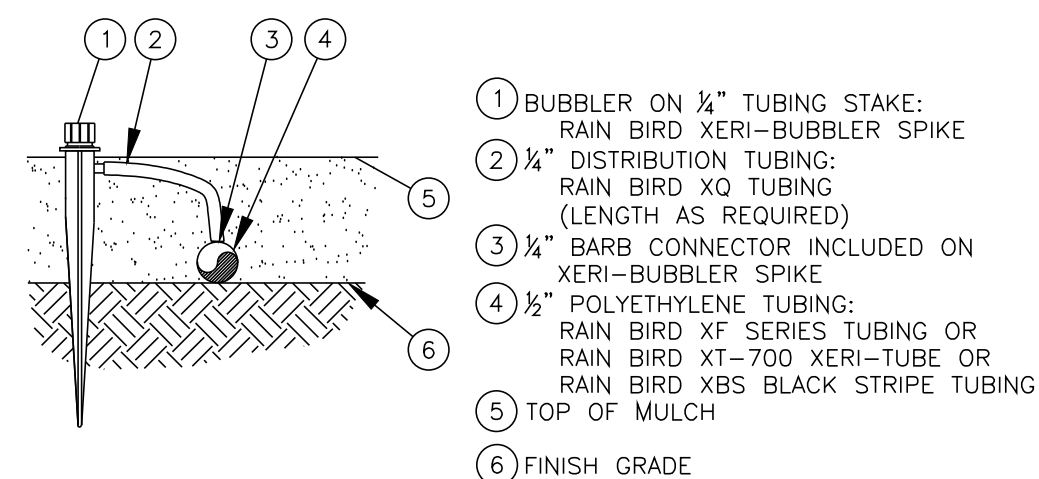
10. IN CLAY OR LOAM SOILS, CONSIDER TWO 0.5 GPH EMITTERS AT THE BASE OF A PERENNIAL FLOWER TO ENSURE WATERING IF ONE FAILS. A 1 TO 5 FOOT SHRUB AND SMALL TREE LESS THAN 15 FEET AT MATURITY WILL INITIALLY REQUIRE TWO, 1 GPH EMITTERS 12 INCHES FROM THE BASE OF THE PLANT. CHANGE TO 2 AND THEN 4 GPH HIGHER FLOW EMITTERS IF PLANTING A LARGER SIZED TREE AND AS THE SMALL TREE GROWS. A 5 FOOT OR LARGER SHRUB MAY REQUIRE THREE 1GPH EMITTERS.
11. A MEDIUM TREE 15 TO 25 FEET MAY ULTIMATELY REQUIRE FOUR EMITTERS TWO FEET FROM THE TRUNK. IF PLANTING A "WHIP", IT'S POSSIBLE TO START WITH TWO 0.5 GPH EMITTERS AND CHANGE TO HIGHER FLOW AND MORE EMITTERS AS THE TREE GROWS. BEGIN WITH THREE, 2 GPH EMITTERS ON A 1 INCH CALIPER TREE PLANTING AND THREE, 4 GPH EMITTERS ON A 2 INCH CALIPER TREE AT PLANTING.
12. TREES LARGER THAN 25 FEET AT MATURITY MAY BE IMPRACTICAL TO IRRIGATE WITH DRIP BECAUSE OF THE EXTENSIVE NATURE OF TREE ROOT SYSTEMS AND MASS OF THE TREES. INCREASE THE NUMBER OF EMITTERS AND CHANGE THEM TO 2 OR 4 GPH OR LARGER FLOWS AS TREES AND SHRUBS GROW.

### EQUIPMENT

13. NON-POTABLE SYSTEMS MUST USE THE COLOR PURPLE TO IDENTIFY COMPONENTS SUCH AS VALVES, VALVE BOXES, SPRINKLER HEAD TOPS, ECT.
14. A MASTER SHUT-OFF VALVE SHALL BE INSTALLED DOWNSTREAM OF THE BACKFLOW DEVICE.
15. FLOW SENSORS INTEGRATED WITH SMART IRRIGATION CONTROLLER ARE REQUIRED FOR SINGLE OR COMBINED POINT OF CONNECTION FOR FLOWS OF 15 GALLONS PER MINUTE OR GREATER AND 1 INCH OR GREATER WATER TAPS.
16. ALL VALVES SHALL HAVE A MANUAL BALL VALVE INSTALLED PRIOR TO THE LATERAL VALVE
17. THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING. IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND. ENSURE SLEEVING MEETS ALL REQUIREMENTS UNDER 6.11.B.6 INCLUDING BUT NOT LIMITED TO SLEEVING SIZE BEING TWICE THAT OF THE PIPE, NOTCHING OF HARD SURFACE FOR SLEEVES RUNNING UNDER HARDSCAPE.
  - SEPARATE SLEEVING USED FOR IRRIGATION LINES AND WIRING BUNDLES.
  - THE DIAMETER OF SLEEVE SHALL BE A MINIMUM OF TWICE THAT OF THE PIPE AND WIRING BUNDLE BUT NO SMALLER THAN A TWO (2) INCH DIAMETER PIPE.
  - THE SLEEVE MATERIAL BENEATH SIDEWALKS, DRIVES AND STREETS SHALL BE PVC CLASS 200 PIPE WITH SOLVENT WELDED JOINTS.
  - FOR ALL SLEEVING LOCATED UNDER CONCRETE, THE PAVEMENT OR OTHER HARD SURFACING SHALL BE NOTCHED ON BOTH SIDES TO MARK THE SLEEVE LOCATION.
  - CONTAIN NO JOINTS WHEN LENGTH IS LESS THAN TWENTY (20) FEET.



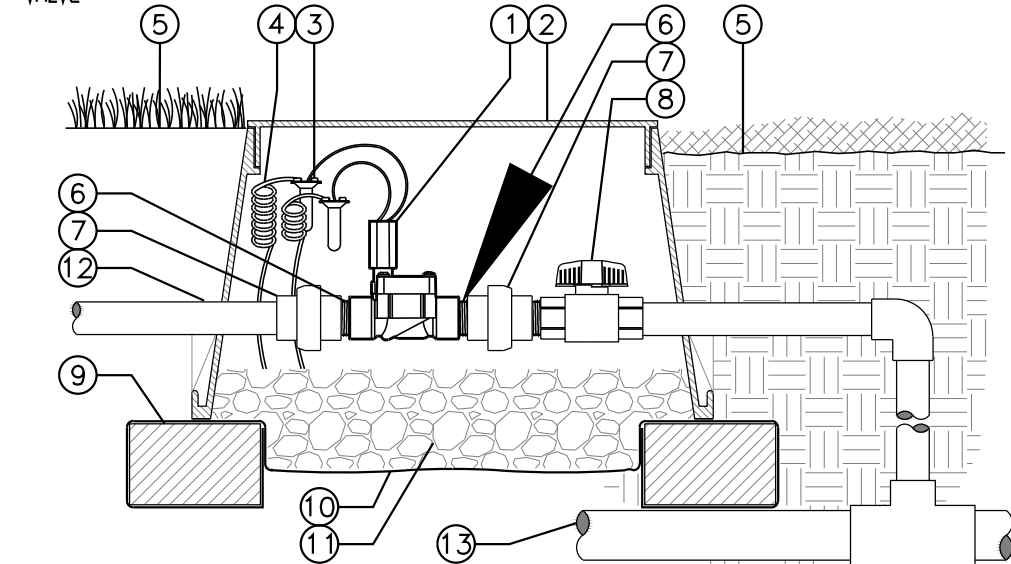
**A RAINBIRD DRIP LINE FILTER AND PRESSURE REDUCER**  
LCRB1005 - 1 in



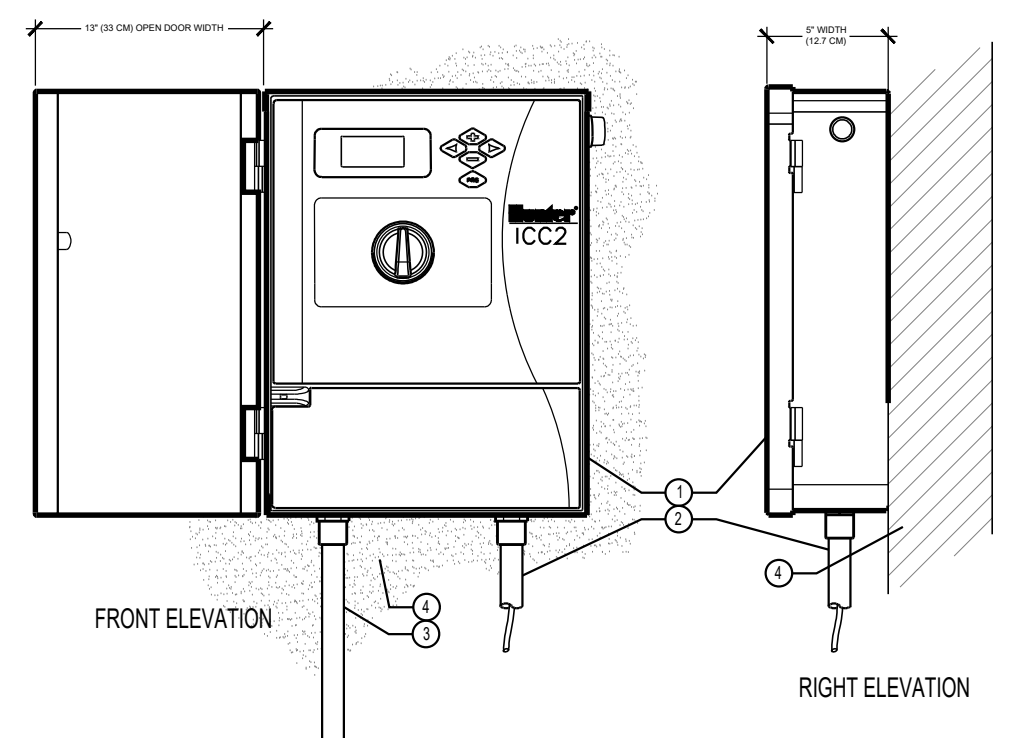
**B RAINBIRD DRIP EMITTER**  
2005 (N.T.S.)

### LEGEND

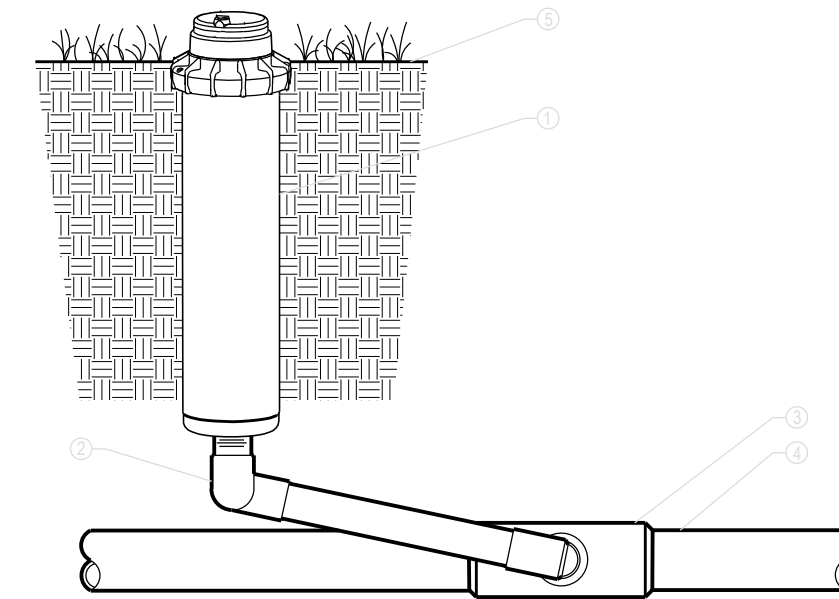
- |   |   |
|---|---|
| 1 HUNTER REMOTE CONTROL VALVE (PGV)                             | 7 PVC SLIP (OR FPT) X FPT UNION                     |
| 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS | 8 ISOLATION VALVE, SIZE AND TYPE PER PLAN           |
| 3 WATERPROOF CONNECTORS (2)                                     | 9 BRICK SUPPORTS (4)                                |
| 4 18"-24" COILED WIRE TO CONTROLLER                             | 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS |
| 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)              | 11 3/4" WASHED GRAVEL - 4" MIN. DEPTH               |
| 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE                     | 12 IRRIGATION LATERAL                               |
|   | 13 MAINLINE AND FITTINGS                            |



**C IN-LINE VALVE (PGV-100G) WITH UNIONS AND ISOLATION VALVE**  
Hunter V.PGV.04 NO SCALE



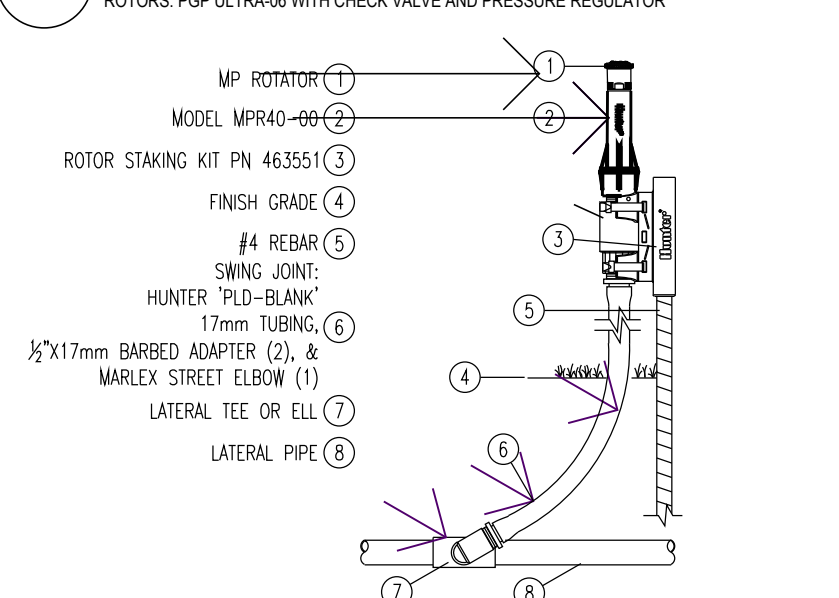
**D IRRIGATION CONTROLLER (12C-800-M)**  
Hunter C.ICC2.02 NOT TO SCALE



**E ROTARY SPRINKLERS**  
ROTORS: PGP ULTRA-06 WITH CHECK VALVE AND PRESSURE REGULATOR

- LEGEND:**
- 1 HUNTER POP UP ROTATOR
  - 2 SWING JOINT ASSEMBLY HUNTER H50 SERIES, 1" OR 1.5" MODELS: H50 + 50-210 OR H50 + 1.50-210
  - 3 1" OR 1.5" MARLEX STREET ELBOW (PREFER TO HUNTER CATALOG FOR OPTIONS) INSTALL AS FOLLOWS:
    - \* HAND TIGHTEN DRIVING JOINTS. BACK OFF ONE FULL TURN TO ALLOW FOR DRIVING ACTION.
    - \* PRESSURE SWING JOINTS: LAY AWAY AT 30°-45° ANGLE TO THE LATERAL.
  - 4 LATERAL TEE OR ELL CONNECTION PER LATERAL LINE FITTING SPECIFICATIONS
  - 5 LATERAL PIPE PER LATERAL LINE SPECIFICATIONS. SIZE, DEPTH AS SPECIFIED
  - 6 FINISH GRADE

- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWINGS.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADetails.com/info](http://www.CADetails.com/info) AND ENTER REFERENCE NUMBER.



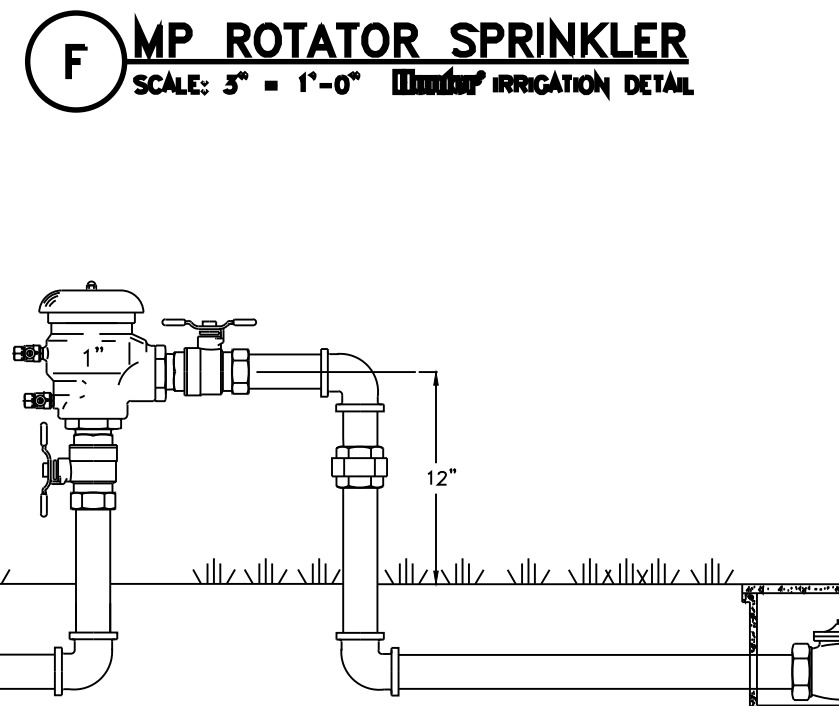
**F MP ROTATOR SPRINKLER**  
SCALE: 3" = 1'-0" Hunter IRRIGATION DETAIL

- TO USE THIS DETAIL**  
These are the common layers that should be left on for all options. All will have a '0' in front of them:  
0 Hunter-earth  
0 Hunter-no-pilot viewport  
0 Hunter-product  
0 Hunter-title text

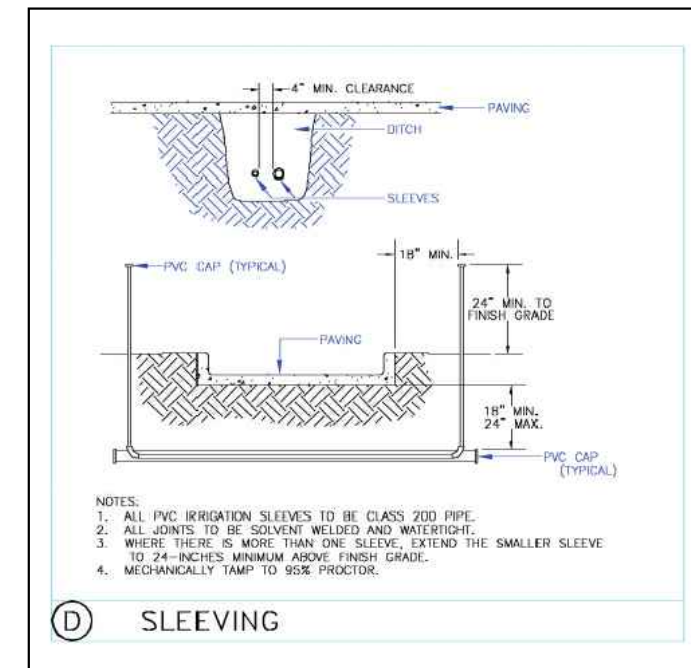
- There are two types of risers. The default is currently turned on. The user must have one of these layers on and one off. The two types of risers are:  
S/80 nipple with Hunter HCV-50F-50M check valve, located on layer 0 Hunter HCV  
S/80 nipple without check valve, located on layer 0 Hunter HCV off

- There are four varieties of swing joints associated with this sprinkler detail:  
Rigid with PVC street elbows (layers start with a '1')  
Rigid with Marlex street elbows (layers start with a '2')  
Factory prefabricated (layers start with a '3')  
Pro Flex, which is Contractor assembled (layers start with a '4')
- Also within each of the four varieties are two options for detail callout:  
Bubble  
Leader
- All of these items are separated by layer and color in the layer manager.  
If the user has ACAD2000 or newer, the layout tabs are set for each of the options already.

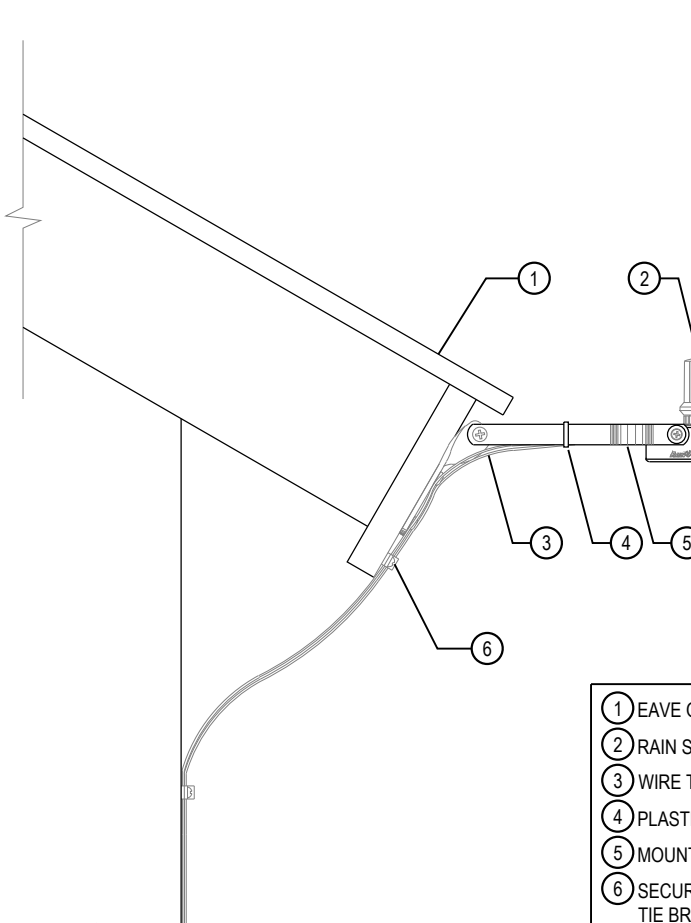
**F MP ROTATOR SPRINKLER**  
SCALE: 3" = 1'-0" Hunter IRRIGATION DETAIL



**H FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation**



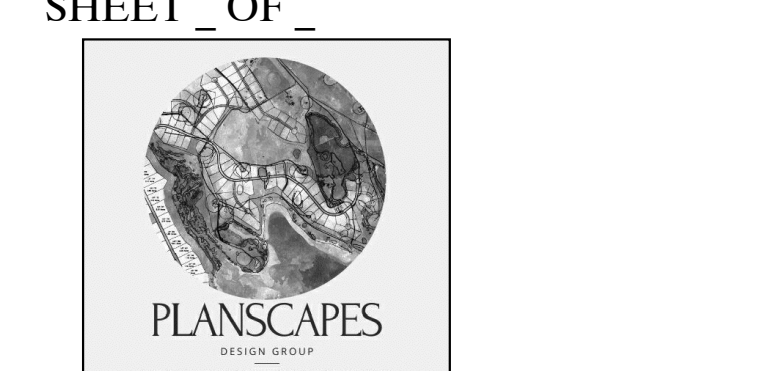
**D SLEEVING**



**G RAIN SENSOR**  
RSD-BEX ROOF BRACKET (N.T.S.)

- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWINGS.
  3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADetails.com/info](http://www.CADetails.com/info) REFERENCE NUMBER 045-293.

LANDSCAPE PLAN  
DOUGAS 234 FILING NO. 6, AMD. 2  
DATE: OCTOBER 2, 2025  
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# SITE PLAN

## HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

maximum height of mounted lighting is 15ft, please ensure this is below this, add label of height of mounting.

REVISED

### LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER OR APPROVED EQUIVALENT	CATALOG SERIES NUMBER OR APPROVED EQUIVALENT	LAMPS (QTY) TYPE	INPUT VA	DRIVER/ DIM PROTOCOL	LUMENS	VOLTAGE	BUG RATING	COLOR/ FINISH	MOUNTING				MOUNTING HEIGHTS
											R	S	T	W	
D1	8" SURFACE MOUNTED DOWNLIGHT, WIDE DISTRIBUTION	PRESCOLITE	LBSE-8RD-RM-30K8, LBSE-4RD-T-BL	LED 3000K	20	0-10V	1750	120/277	B2 U0 G1	BLACK		X			MOUNTED IN OVERHANG +18'-0" OH
P1	POLE MOUNTED AREA LIGHT, TYPE 4 WIDE DISTRIBUTION, FULL CUTOFF, BACKLIGHT CONTROL, DIMMING DRIVER, POLE BASE ABOVE GROUND +3'-0" AFF, POLE +15'-0", 18'-0" OVERALL HEIGHT	BEACON	VP-1-160L-35-3K8-4W-UNV-BLT-BC-ADT	LED 3000K	36.8	0-10V	3014	120/277	B0 U0 G1	BLACK MATTE TEXTURED (POLE & LUMINAIRE)			X		VARIABLE (SEE PLANS)
W1	WALL SCONCE, TYPE 4 FORWARD DISTRIBUTION, FULL CUTOFF	BEACON	CY1-15-3K8-1-4-UNV-BLT-R-FPP	LED 3000K	10	0-10V	1161	120/277	B0 U0 G0	BLACK MATTE TEXTURED			X		

ABBREVIATIONS: BF - BOTTOM OF FIXTURE; OH - OVERALL FIXTURE HEIGHT; RD - RECESSED FIXTURE DEPTH; AFF - ABOVE FINISHED FLOOR

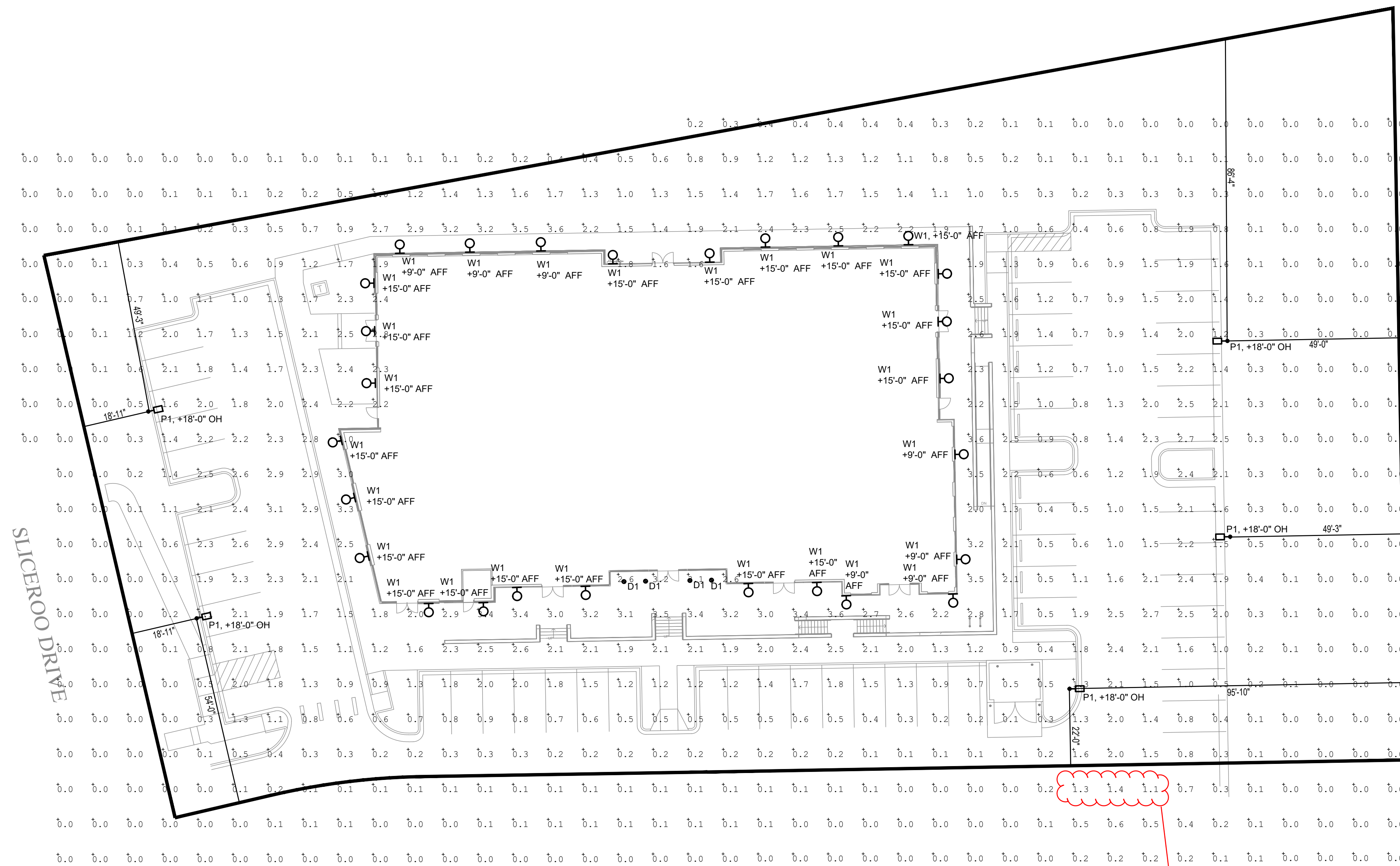
SITE CALCULATION STATISTICS:					
AREA	AVG (FC)	MAX (FC)	MIN (FC)	MAX/MIN	AVG/MIN
SITE	0.9	3.6	0.0	N/A	N/A
DRIVE AISLE	0.9	3.1	0.0	N/A	N/A
PARKING	1.2	2.7	0.2	13.5:1	6:1
PROPERTY LINE	0.1	2.0	0.0	N/A	N/A

(\*)NOTE: THESE VALUES ARE RATIOS, NOT FOOTCANDLES. RATIOS REPRESENT QUANTITATIVE RELATION BETWEEN TWO VALUES AND ARE UNITLESS

### GENERAL NOTES

(THIS SHEET)

- NO SUBSTITUTIONS, ADDITIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY THE TOWN OF PARKER.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY THE TOWN MAY REQUIRE CERTIFICATION THAT THE PROPERTY IS COMPLIANT WITH THE APPROVED PLANS AND REGULATIONS OF THE TOWN.
- ALL CALCULATIONS ARE DONE WITH LIGHT LOSS FACTOR OF 1.0
- ALL CALCULATION POINTS ARE AT GRADE.
- ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE RIGHT OF WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
- ALL OUTDOOR LIGHTING SHALL HAVE LIGHT SOURCES THAT ARE CONCEALED BY A FULL CUTOFF LIGHTING FIXTURE SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM ANY STREET RIGHT-OF-WAY OR ADJACENT PROPERTIES. IN ORDER TO DIRECT LIGHT DOWNWARD AND MINIMIZE THE AMOUNT OF LIGHT SPILL INTO THE NIGHT SKY AND ONTO ADJACENT PROPERTIES, ALL LIGHTING FIXTURES SHALL BE FULL CUTOFF LIGHTING FIXTURES.
- SIGNAGE LIGHTING SHALL BE APPROVED AS PART OF A SEPARATE SIGN PERMIT.
- LUMINAIRES SHALL BE SHIELDED AND DIRECTED TO AVOID GLARE AND OVERSPILL ONTO ADJACENT PROPERTY.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF FIXTURES THAT ARE DIRECTED DOWNWARD (90 DEGREES FROM TRUE VERTICAL) AND SHALL HAVE FLAT LENSES, EMITTING NO MORE THAN 10 PERCENT OF THE TOTAL LUMENS BETWEEN 80 AND 90 DEGREES FROM TRUE VERTICAL. FIXTURES SHALL BE CONFIGURED SO THAT LIGHTS DO NOT CAUSE GLARE.
- ALL LIGHT FIXTURES ON STRUCTURES, POLES, BOLLARDS, STANDS, OR MOUNTED ON A BUILDING SHALL HAVE A SHIELD, ADJUSTABLE REFLECTOR, AND/OR NON-PROTRUDING DIFFUSER TO SHIELD THE LIGHT SOURCE FROM SIGHT FROM ADJACENT RESIDENTIAL ZONING DISTRICTS.
- MOTION-ACTIVATED SECURITY LIGHTING SHALL BE TIMED TO TURN OFF AFTER NOT MORE THAN FIVE MINUTES AFTER MOTION ACTIVATION.
- WALL PACKS ON THE EXTERIOR OF THE BUILDING SHALL BE FULLY SHIELDED (E.G., TRUE CUT-OFF TYPE BULB OR LIGHT SOURCE NOT VISIBLE FROM OFF-SITE) TO DIRECT THE LIGHT VERTICALLY DOWNWARD.



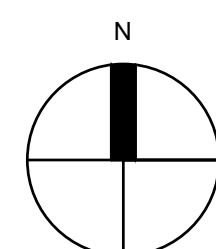
Maximum lumens at property line is 1 per section 13.08.110 (4)

REVISED

SITE PHOTOMETRIC PLAN  
DOUGLAS 234 FILING NO. 6, AMD. 2  
DATE: OCTOBER 2, 2025  
SHEET LT1

**Ramirez, Johnson, & Associates**

3301 Lawrence St. Ste 2  
Denver, CO 80205  
720.598.0774  
www.rja-eng.com



1 SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"



# SITE PLAN

# HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

BUILDING ELEVATIONS STUCCO/EIFS CALCULATIONS					
ELEVATION	WALL AREA	AREA (SF)		TRANSPARENCY	
		STUCCO AREA	PROVIDED	REQUIRED	MAX.
NORTH	2,092	39	1.9%	30%	
EAST	4,069	937	23.0%	30%	
SOUTH	3,815	980	25.7%	30%	
WEST	2,650	39	1.5%	30%	

BUILDING ELEVATIONS TRANSPARENCY CALCULATIONS BETWEEN 2' AND 8'					
ELEVATION	TOTAL WALL 2'-8" HIGH	AREA (SF)		TRANSPARENCY	
		TRANSPARENCY 2'-8" HIGH	PROVIDED	REQUIRED	MIN.
NORTH	1,055	357	33.8%	25%	
EAST	600	323	53.8%	25%	
SOUTH	988	680	68.8%	30%	
WEST	601	361	60.1%	30%	

### EXTERIOR FINISH LEGEND

SYM.	MAT.	DESCRIPTION	MANUFACTURER / COLOR
A		BRICK VENEER	IVORY
B		FLUSH SEAM METAL PANELS	DARK BRONZE
C		ALUMINUM STOREFRONT/ PAINTED STEEL	DARK BRONZE
D		TINTED/INSULATED GLAZING	GRAY TINT
E		STUCCO	LIGHT GREY/GREEN
F		STUCCO/ TEXTURED CONCRETE AT RETAINING WALLS	DARK GRAY
G		COMPOSITE WOOD	INWOOD AMERICAN OAK

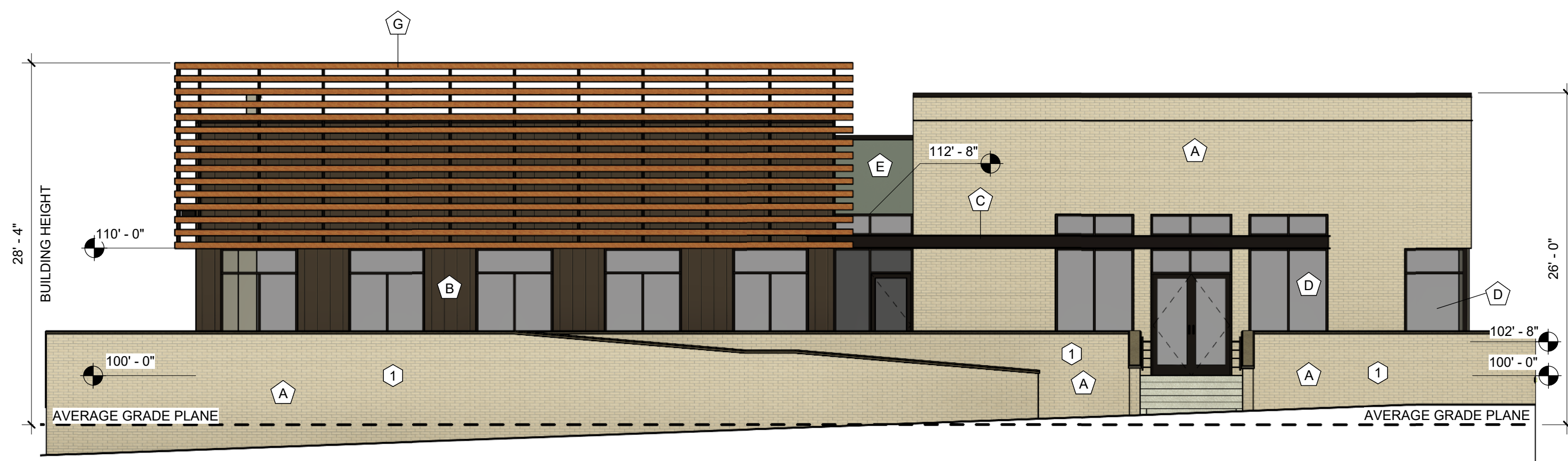
### KEY NOTES:

1. SITE CAST CONCRETE RETAINING WALL AND GUARDRAIL WITH BRICK VENEER FINISH AND PRECAST CONCRETE SLOPED TOP CAP.



**1 SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



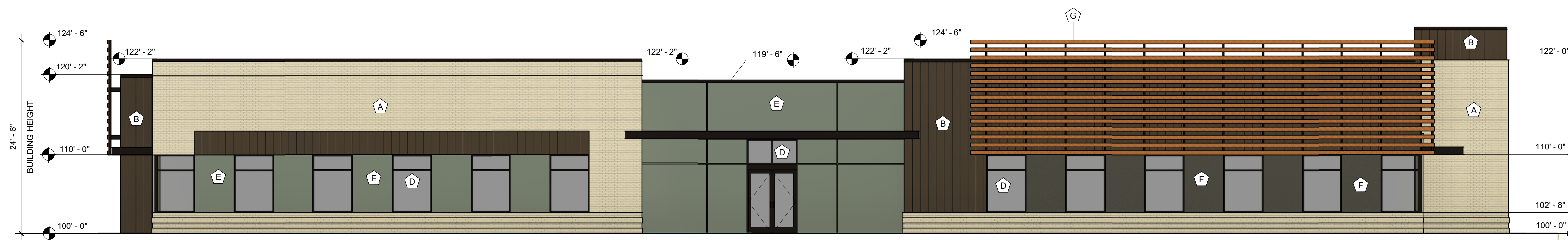
**2 EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**4 NORTH ELEVATION**

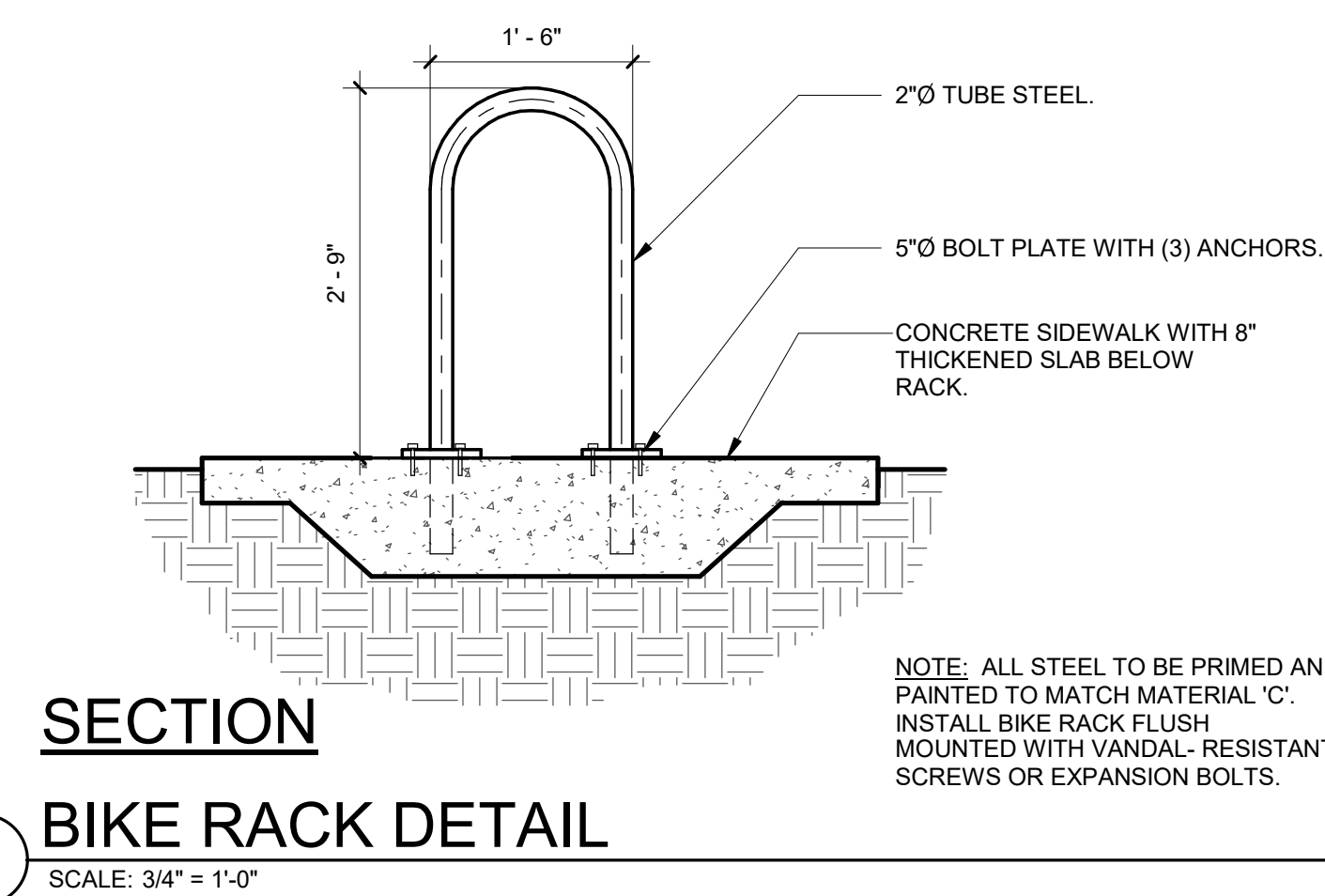
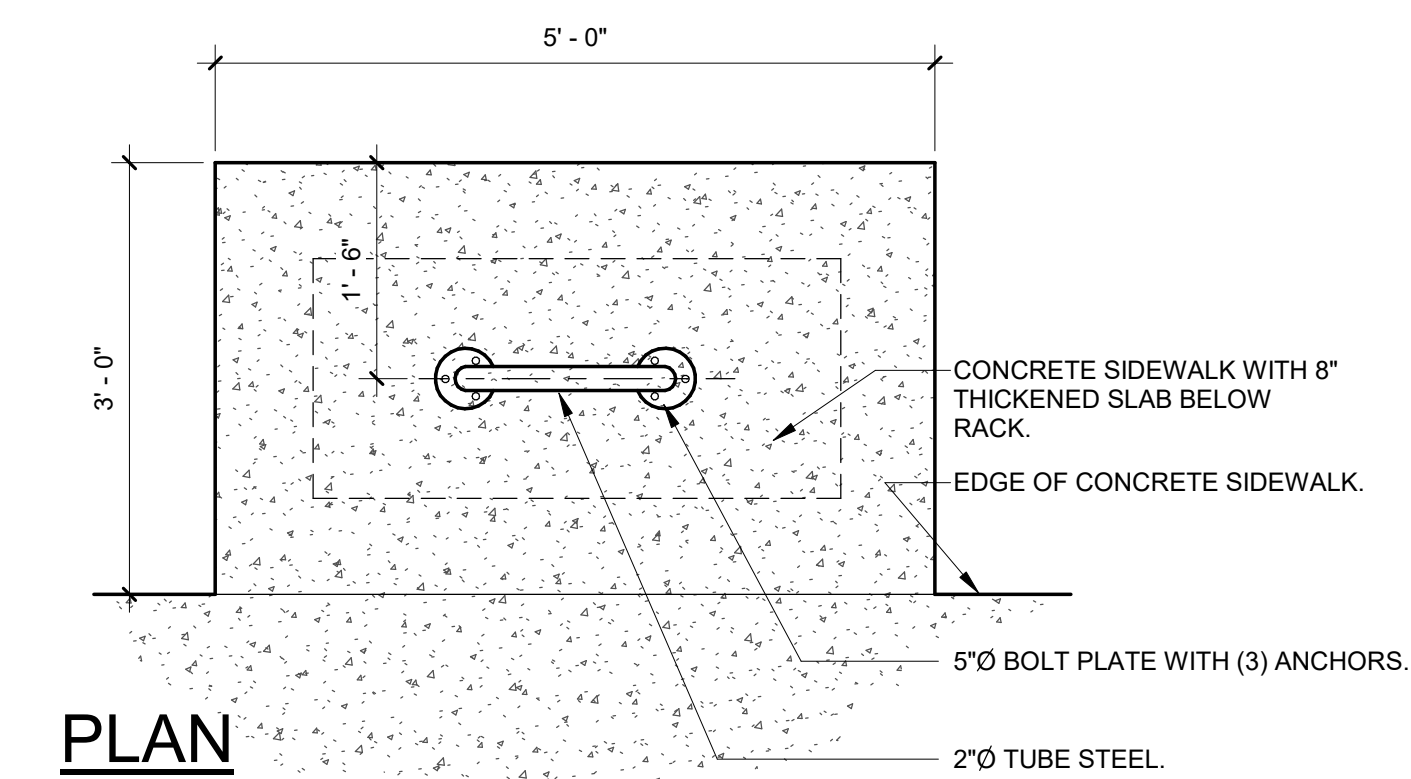
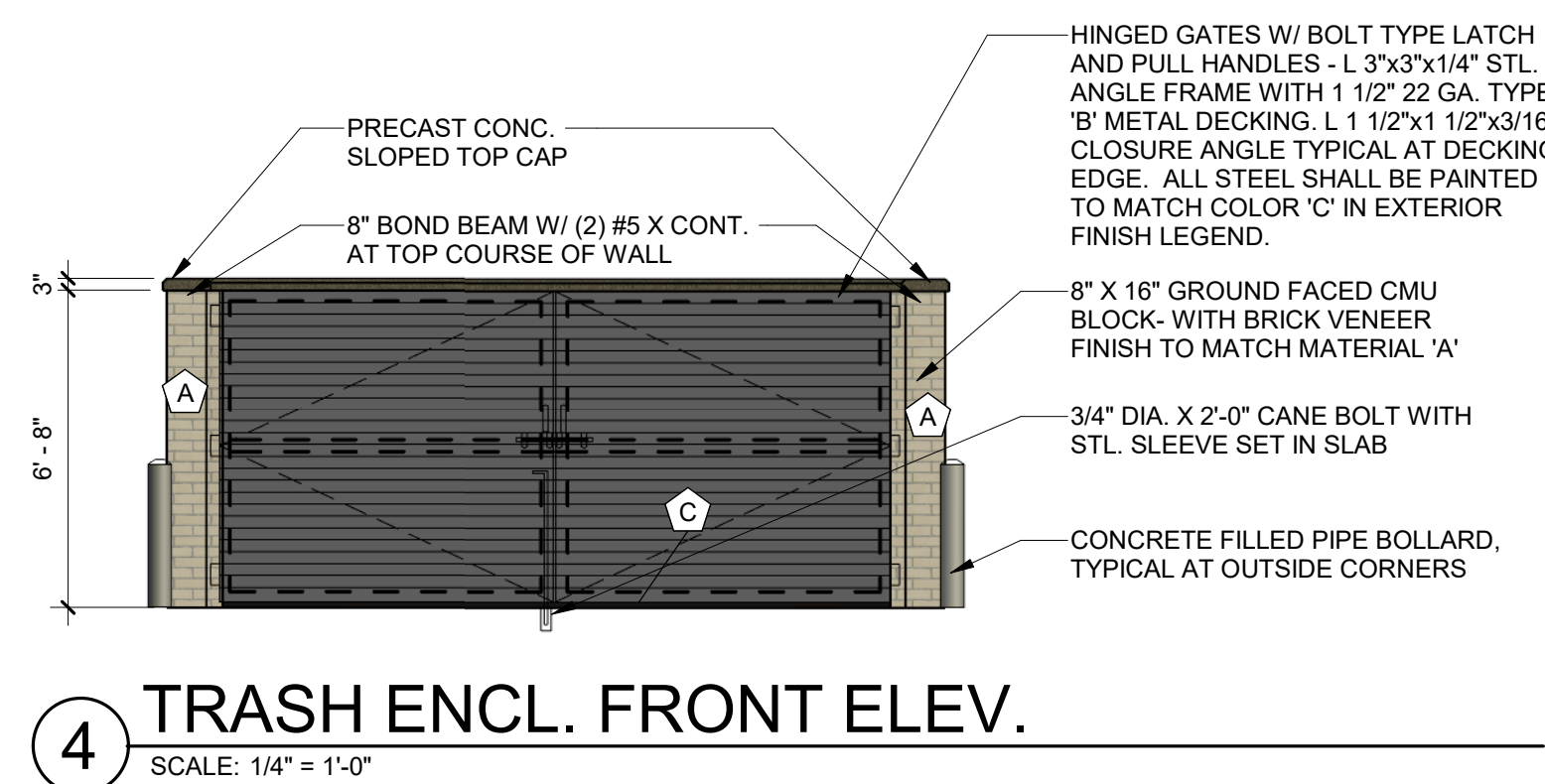
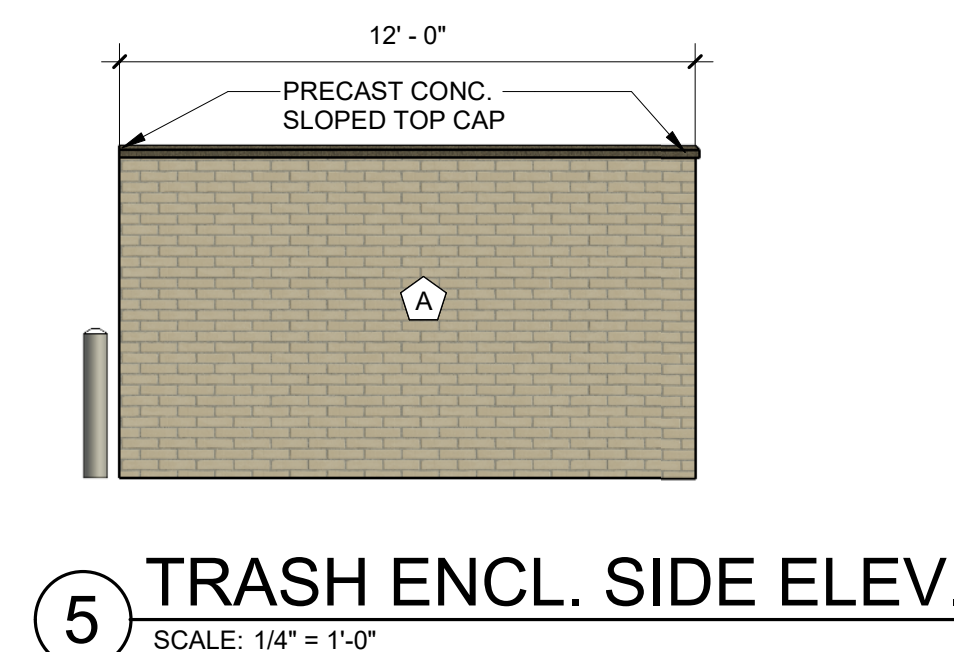
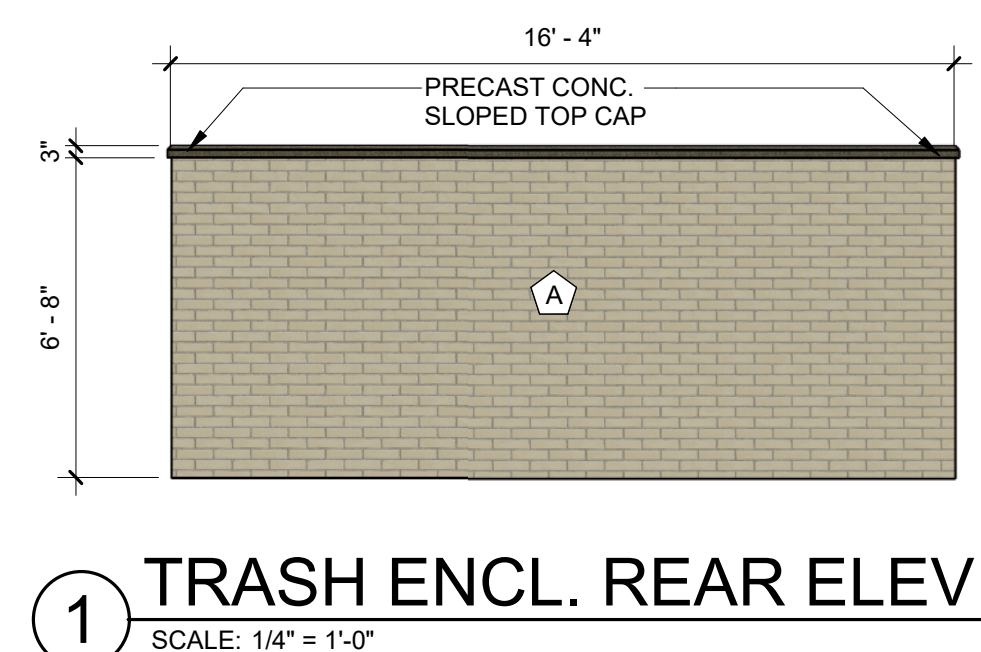
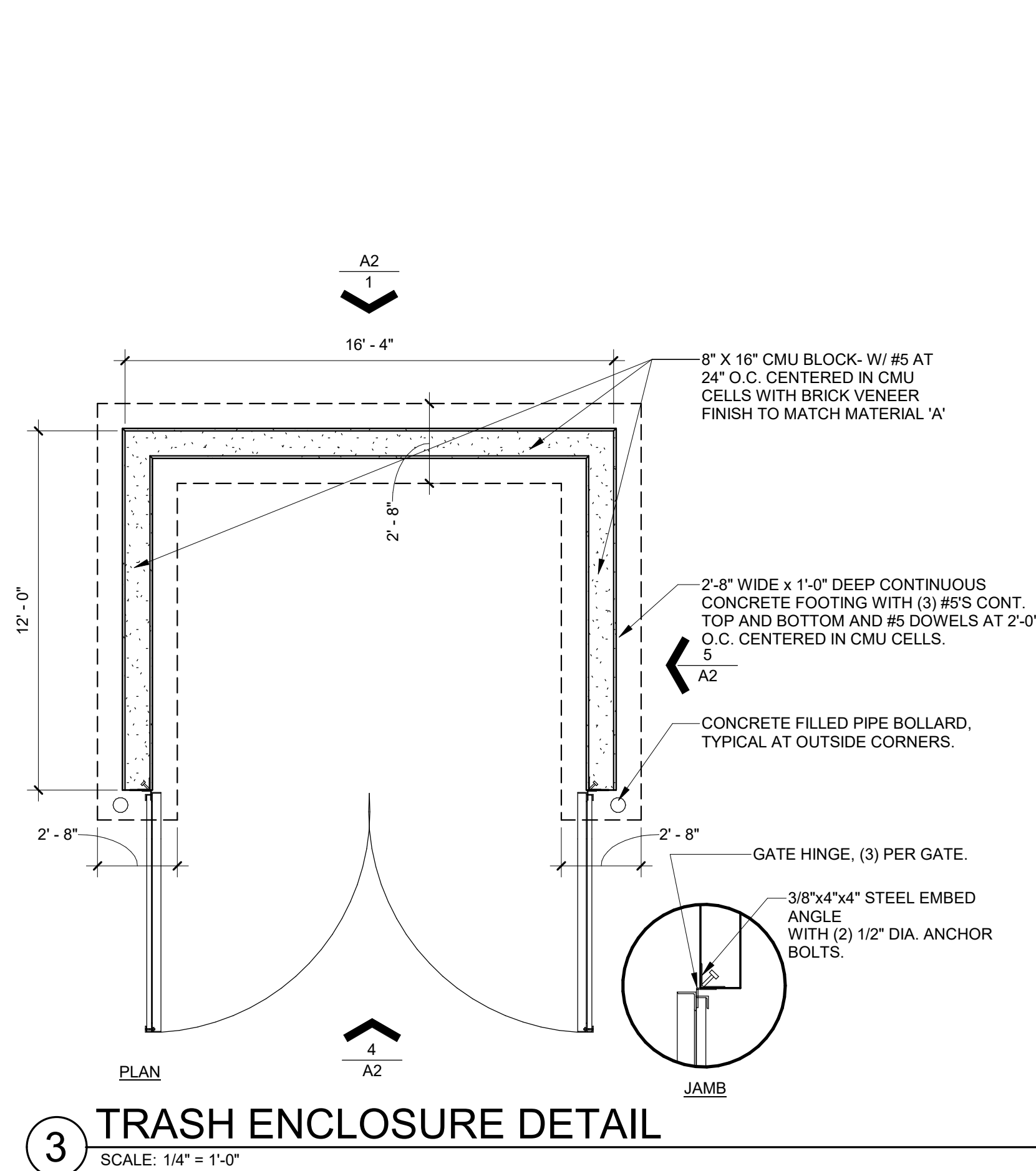
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS  
 DOUGLAS 234 FILING NO. 6, AMD. 2  
 DATE: FEBRUARY 17, 2025

# SITE PLAN

## HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Spec needed for railings-  
 color and material  
 Guardrail detail has been added.

NOTE: ALL STEEL TO BE PRIMED AND  
 PAINTED TO MATCH MATERIAL 'C'.  
 INSTALL BIKE RACK FLUSH  
 MOUNTED WITH VANDAL-RESISTANT  
 SCREWS OR EXPANSION BOLTS.

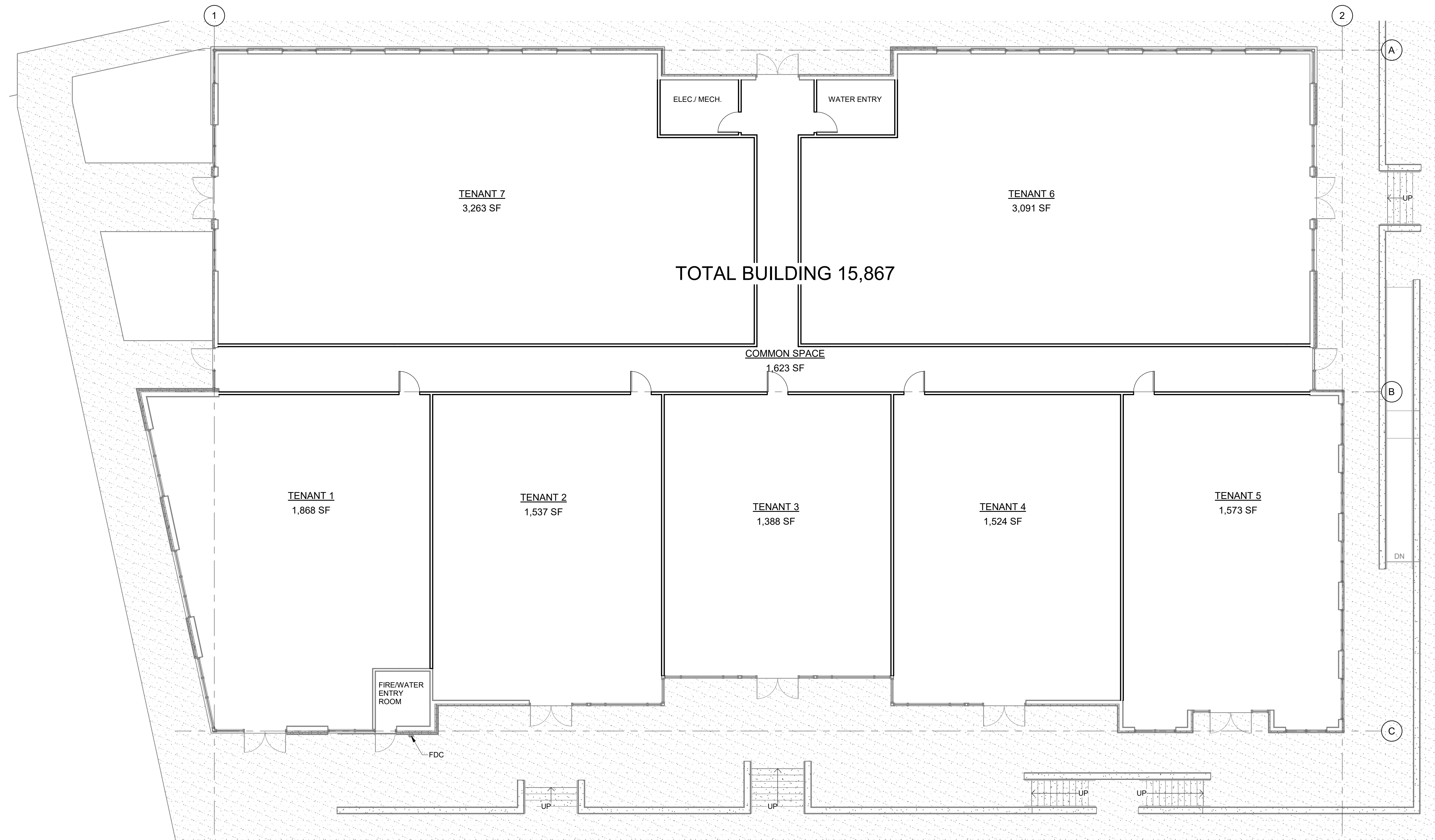
**SITE DETAILS**  
 DOUGAS 234 FILING NO. 6, AMD. 2  
 DATE: FEBRUARY 17, 2025

**A2**  
**Adragna**  
 architecture + development

7950 S. HANNIBAL CIRC. / 719.244.4023  
 ENGLEWOOD, CO 80112 / 719.351.4918  
 www.adragnaarch.com

SITE PLAN  
**HORSE CREEK COMMERCIAL**

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2  
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLANS  
DOUGAS 234 FILING NO. 6, AMD. 2  
DATE: FEBRUARY 17, 2025

A3  
**Adragna**  
architecture + development  
7950 S. HANNIBAL CIRC. / 719.244.4023  
ENGLEWOOD, CO 80112 / 719.351.4918  
www.adragnaarch.com



# Project Reviews Town of Parker

**Project Number: SP25-021**

Description: **Douglas 234 F6 AMD 2 L10B - Commercial Building**

Applied: **2/19/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: **PARKER, CO 80134**

Status: **UNDER REVIEW 2**

Applicant: **ADRAGNA ARCHITECTURE**

Parent Project: **SUB23-012**

Owner: **VR SLICEROO LLC**

Contractor: **<NONE>**

Details:

The applicant, Adragna Architecture, is proposing a Site Plan for a 15,877 sq. ft. commercial building. The site is located northeast of Hess Road and Chambers Road.

## LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
2/24/2025	3/4/2025	3/4/2025	COMPLETENESS REVIEW	Amber Wood Hicken	REVISIONS REQUIRED	Fees
Notes:						
4/7/2025	4/7/2025	4/9/2025	COMPLETENESS REVIEW	Amber Wood Hicken	COMPLETED	
Notes:						
Review Group: AUTO						
2/19/2025			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
2/19/2025	2/25/2025	3/5/2025	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						
Review Group: SP						
10/6/2025	10/22/2025	10/27/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	APPROVED	
Notes: Revisions Completed.						



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COLORADO

# Project Reviews Town of Parker



10/6/2025	10/27/2025	10/27/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	ADVISORY COMMENTS	See uploaded Memo.
Notes: Please provide the name and title of the authorized signatory for drafting of the drainage easement when ready.					Darwin Horan Property Owner	
10/6/2025	10/27/2025	10/27/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	COMPLETED	
Notes:						
10/6/2025	10/20/2025	10/27/2025	IREA 20	Brooks Kaufman	DENIED	Town approval for transformer
Notes: The applicant will be required to provide letter approval from the Town of Parker for the transformer location in the front setback. <b>Noted.</b> The applicant will be required to update the gas vs electric meter clearances and provide updated drawings for the EUSERC cabinet requirements for the building. <b>Noted.</b>						
10/6/2025	10/27/2025	10/27/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
10/6/2025		10/27/2025	SITE PLAN 20	Elizabeth Steward		
Notes:						
10/6/2025	10/10/2025	10/27/2025	SMFR PLANNING 20	South Metro Fire Rescue	APPROVED	
Notes:						
10/6/2025	10/27/2025	10/27/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						



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# Project Reviews Town of Parker



Review Group: SP 1ST 20

4/7/2025	4/25/2025	5/5/2025	BUILDING 20	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:

Typically, accessible parking is required to meet the following:

1106.7 Location.

Accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible building entrance. In parking facilities that do not serve a particular building, accessible parking spaces shall be located on the shortest route to an accessible pedestrian entrance to the parking facility. Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrances.

The accessible parking provided does not appear to meet these requirements with a direct path to the access; the applicant shall revisit the parking and identify why the accessible parking cannot be provided on the southside of the building, west side of the site in order to meet the requirements of the code.

The existing drive aisle on the south side of the property slopes at approximately 6%. Therefore, no accessible parking may be located adjacent to this drive. The accessible parking is located in the nearest location that meet slope requirements of 2% max.

Typical comments are as follows:

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc.... Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then full plan review process may be able to begin.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72 and NFPA 13). NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall. **Noted.**

4/7/2025		5/5/2025	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

4/7/2025		5/5/2025	COMCAST 20	Butch Buster		
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Notes:



**PARKER**  
COLORADO

# Project Reviews Town of Parker



4/7/2025	5/2/2025	5/5/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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**Notes:**

SP25-021 Douglas 234 F6 AMD 2 L10B - Commercial Building- 1st Environmental Review, 5-2-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval. **Noted.**

**GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)**

1. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend of Keys/Symbols, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use. **Details have been provided.**
2. Please label and identify the ratio of all slopes that are 4:1 or steeper. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1. **Slopes are labeled on the grading plan.**
3. NO WORK SHALL OCCUR AREAS must be shaded for easy identification. **Now provided.**
4. Provide and identify the appropriate type of inlet protection from the Town’s four standard types for the existing and proposed inlets on the site and the adjacent site to the south. The site to the south has not been developed and the inlet protection should be for Area Inlets Not in Pavement. See the REDLINED EROSION CONTROL Plan Sheets in eTRAKiT attachments. **Addressed as requested.**
5. Please add the additional general note (#9): TOTAL DISTURBANCE AREA = 1.42 ACRES **Note has been added.**

**INITIAL CBMP PLANS**

6. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad. **Construction fence is now provided in this area.**

**INTERIM/FINAL CBMP PLANS**

7. Show Masonry Work Protection (MWP) on the plans in two locations for Construction of the building. **Now provided.**
8. Identify Erosion Control Blanket (ECB) for all slopes steeper than 4:1 on the Interim and Final plan sheets. **ECB is now shown.**

**Links:**

72-page layout of CBMP Legend, General Notes and Details Link:  
[https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive\\_link](https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive_link)

4/7/2025	5/2/2025	5/5/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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**Notes:**

4/7/2025	5/6/2025	5/5/2025	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward	NO COMMENT	
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**Notes:**

4/7/2025	4/7/2025	5/5/2025	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals	NOT APPLICABLE	
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**Notes:**

N/A



**PARKER**  
COLORADO

# Project Reviews Town of Parker



4/7/2025	5/1/2025	5/5/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals	ADVISORY COMMENTS	
Notes: See the attached Referral Comments Report.						
4/7/2025	5/2/2025	5/5/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
4/7/2025	4/10/2025	5/5/2025	ECONOMIC DEVELOPMENT 20	Weldy Fezell	NO COMMENT	
Notes:						
4/7/2025	4/28/2025	5/5/2025	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	SeeNotes
Notes: Address all comments in response letter, as required. A written response to this letter shall be uploaded to this application identifying how the modification was made and where/what document and sheet number the correction can be found. Response letter is uploaded to this application.						
4/7/2025	5/4/2025	5/5/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	
Notes: The applicant will be required to revise transformer location to meet the Town of Parker requirements. The proposed electric metering location to be revised to meet clearances from gas and door openings. Revise landscape plan to meet the Town of Parker location requirements and CORE's clearance requirements.						
4/7/2025	5/1/2025	5/5/2025	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
Notes: please see attached						
4/7/2025	5/2/2025	5/5/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
4/7/2025	5/5/2025	5/5/2025	SITE PLAN 20	Amber Wood Hicken	REVISIONS REQUIRED	
Notes: see planning comments 01						
4/7/2025		5/5/2025	SOUTH METRO FIRE 20	South Metro Fire		
Notes:						



**PARKER**  
C O L O R A D O

# Project Reviews Town of Parker



4/7/2025	5/2/2025	5/5/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
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Notes:

Review Group: SP 1ST 20 ADD

4/7/2025	4/30/2025	5/5/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
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Notes:  
Please see uploaded review letter.  
Please feel free to reach out with any questions you may have.

Review Group: SP ADD

10/6/2025	10/21/2025	10/27/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	APPROVED	See notes
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Notes:  
Site plans approved PWSD.