



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Casey Adragna, Adragna Architecture
FROM: Elizabeth Steward, Associate Planner- Development Review
DATE: 10/27/25
SUBJECT: Douglas 234 Multitenant, Site Plan
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Elizabeth Steward

EMAIL: esteward@parkerco.gov

PHONE: 303.805.3331

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not send the application for referral without with this naming convention.
Example: "02" or "Second Submittal"

Site Plan and Project Details

1. Please see the attached redlines for all planning comments.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

The following reviews in eTRAKiT have "Advisory Comments" or "Revisions Required:"

- Construction plans – civil
- IREA (CORE)
- Site plan – civil
- Traffic impact study – civil

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

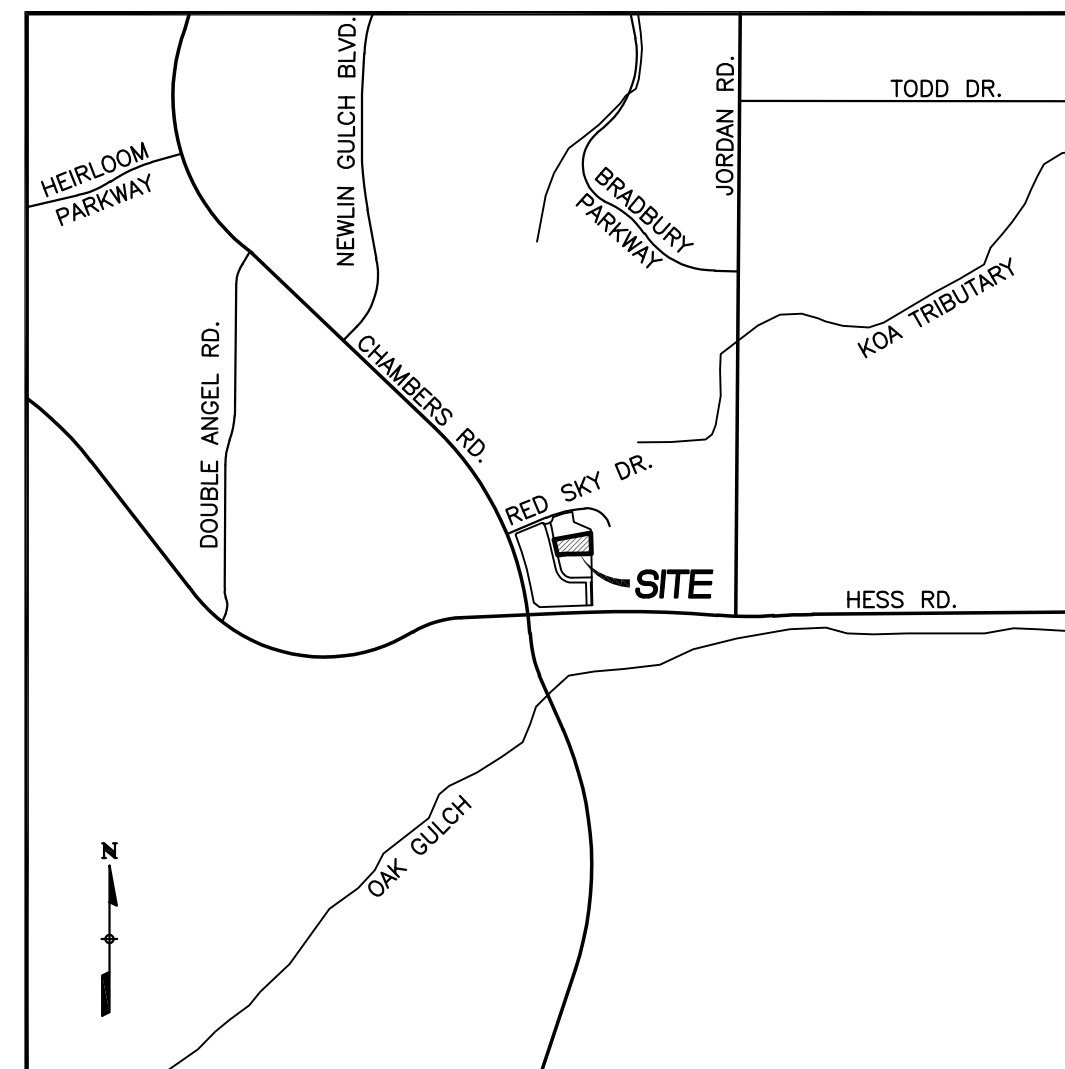
Property Owner

Date

Project Representative

Date

SITE PLAN
HORSE CREEK COMMERCIAL
 LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP
 SCALE: 1"=2000'

TOWN OF PARKER STANDARD NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
4. THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
7. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
8. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
9. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
10. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
11. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
12. PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
13. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
14. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
15. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
16. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
17. ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

LEGAL DESCRIPTION

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARINGS

THE WEST LINE OF 10B, DOUGLAS 235 FILING 6, AMENDMENT NO. 2 IS ASSUMED TO BEAR N13°07'09"W MONUMENTED AS SHOWN HEREON.

BENCHMARK

DOUGLAS COUNTY BENCHMARK: 1.080917
 DESCRIBED AS A 3.25 IN ALUMINUM CAP LOCATED AT THE SOUTH END OF AUBURN HILLS COMMUNITY PARK.
 ELEVATION = 6003.20 FEET (NAVD88)

TEMPORARY BENCHMARK (T.B.M.):
 DESCRIBED AS FOUND NAIL AND BRASS TAG, PLS 34850,
 LOCATED AT THE NORTHWEST CORNER OF LOT 10B, DOUGLAS
 235 FILING 6, AMENDMENT NO. 2.
 ELEVATION = 6077.37 FEET

SHEET INDEX

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| C5 | UTILITY PLAN |
| C6 | FIRETRUCK ACCESS PLAN |
| L1 | LANDSCAPE PLAN |
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| L3 | LANDSCAPE IRRIGATION PLAN |
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| LT1 | SITE PHOTOMETRIC PLAN |
| LT2 | SITE LIGHTING CUTSHEETS |
| A1 | BUILDING ELEVATIONS |
| A2 | SITE DETAILS |
| A3 | BUILDING FLOOR PLAN |

STATISTICAL INFORMATION

GROSS FLOOR AREA	15,877 S.F.
GROSS PROJECT (SITE) AREA	1.57 ACRES (68,488 S.F.)
NET PROJECT (SITE) AREA	1.57 ACRES (68,488 S.F.)
HEIGHT OF STRUCTURES (REQUIRED)	60 FEET
HEIGHT OF STRUCTURES (PROPOSED)	29.5 FEET (1 STORY)
ZONING:	PLANNED DEVELOPMENT (DOUGLAS 234)
PROPOSED USE:	RETAIL
BUILDING SETBACKS	REQUIRED PROVIDED
FRONT (WEST)	20 FEET 70.4 FEET
SIDE (NORTH)	10 FEET 24.8 FEET
SIDE (SOUTH)	10 FEET 39.0 FEET
REAR (EAST)	10 FEET 127.8 FEET
PARKING ANALYSIS	REQUIRED PROVIDED
TOTAL PARKING	32 (1/500 SF) 54
STANDARD PARKING (9' x 18')	50 51
ADA PARKING	3 3
BICYCLE PARKING	3 (2/10,000 SF) 4
LAND USE AREAS	
GROUND COVERAGE BY STRUCTURES	15,877 S.F. (23.1%)
GROUND COVERAGE BY OTHER IMPERVIOUS ELEMENTS	28,843 S.F. (42.1%)
GROUND COVERAGE BY LANDSCAPING	23,768 S.F. (34.7%)

specify that this is the Max Height of structures allowed. This reads that the buildings are required to be 60ft.

OWNER/DEVELOPER

VENTANA CAPITAL
 8678 CONCORD CENTER DR, SUITE 200
 ENGLEWOOD, CO 80112
 720-703-9036
 CONTACT: DALTON HORAN

CIVIL ENGINEER/SURVEYOR

VERMILION PEAK ENGINEERING
 1745 SHEA CENTER DRIVE, 4TH FLOOR
 HIGHLANDS RANCH, CO 80129
 720-402-6070
 CONTACT: BRIAN KROMBEIN, PE, PLS

ARCHITECT

ADRAGNA ARCHITECTURE + DEVELOPMENT
 8695 THUNDERBIRD CIRCLE
 PARKER, CO 80134
 719-244-4023
 CONTACT: CASEY ADRAGNA

LANDSCAPE ARCHITECT

PLANSAPES DESIGN GROUP
 970-988-5301
 CONTACT: ROB MOLLOY

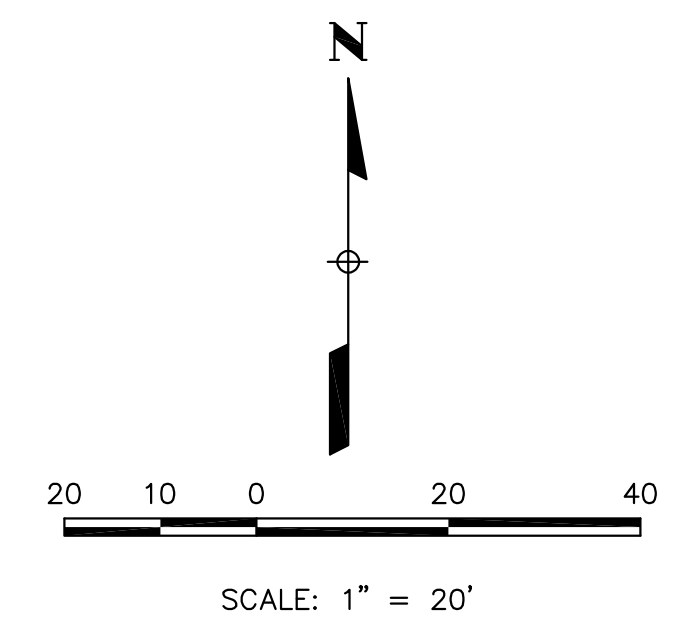
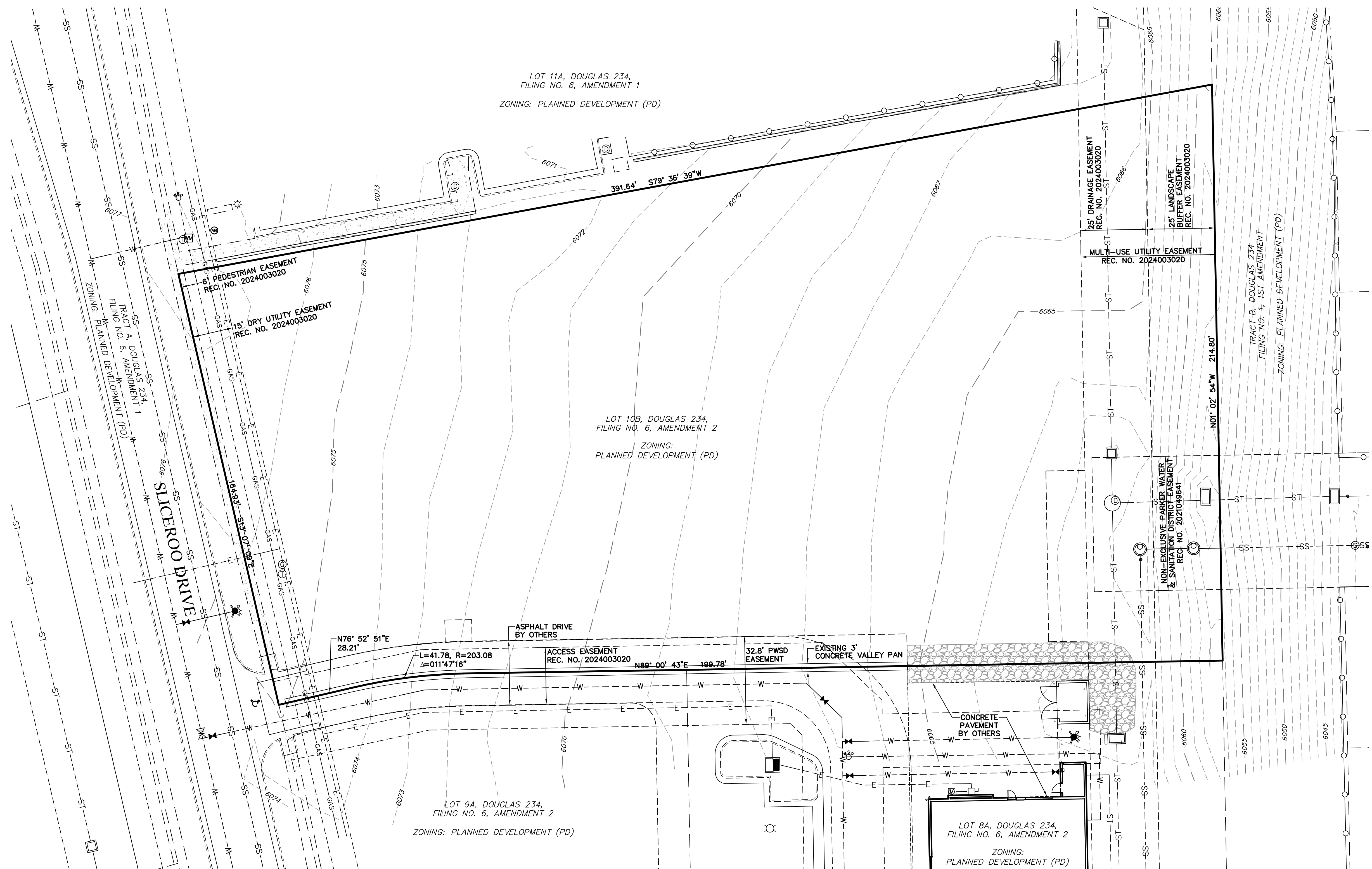
COVER SHEET
 DOUGLAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: OCTOBER 3, 2025
 SHEET C1



SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234, FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING GAS PIPE
	EXISTING STORM SEWER
	EXISTING ELECTRIC

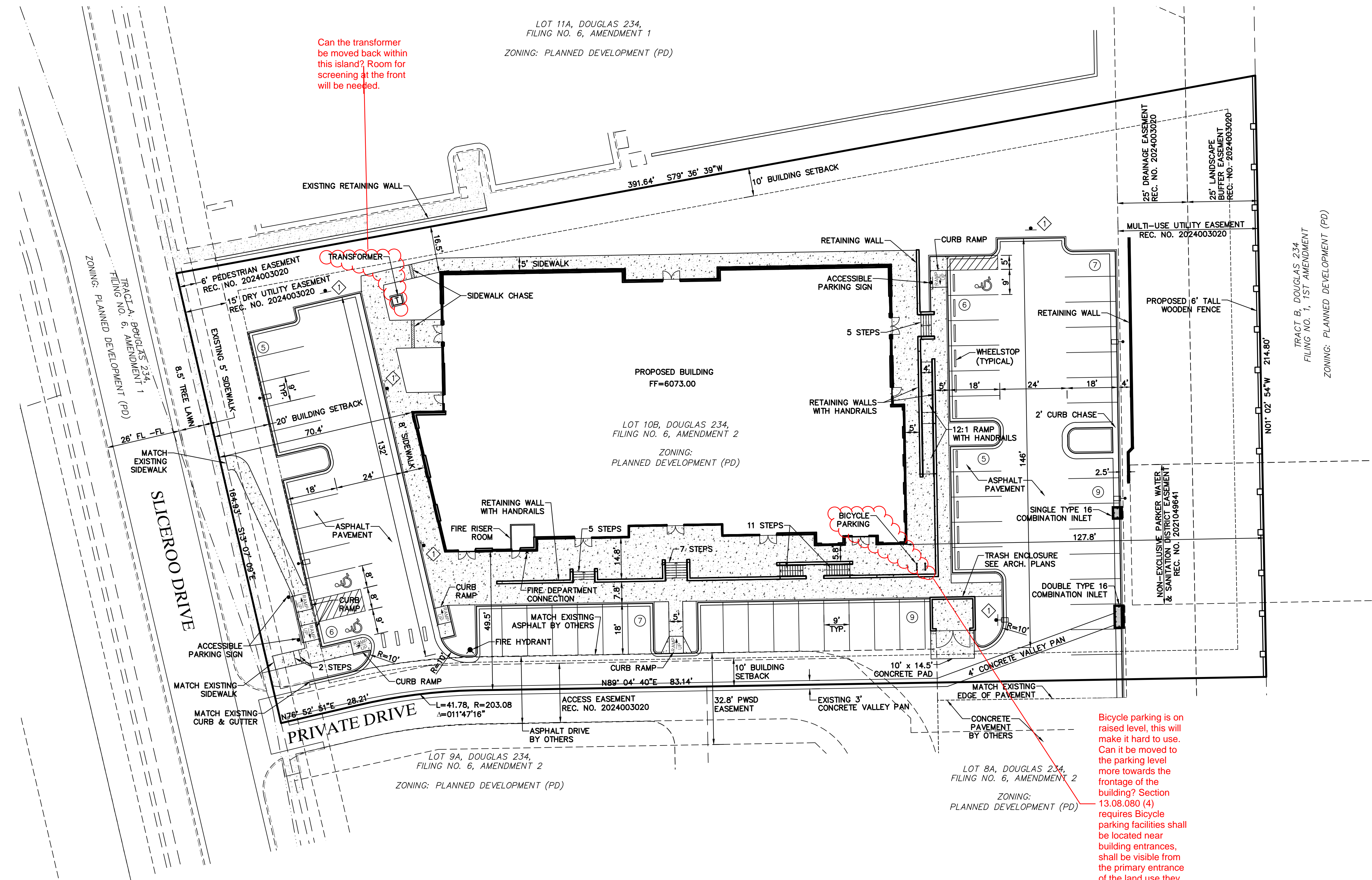
EXISTING CONDITIONS MAP
 DOUGAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: OCTOBER 3, 2025
 SHEET C2



SITE PLAN

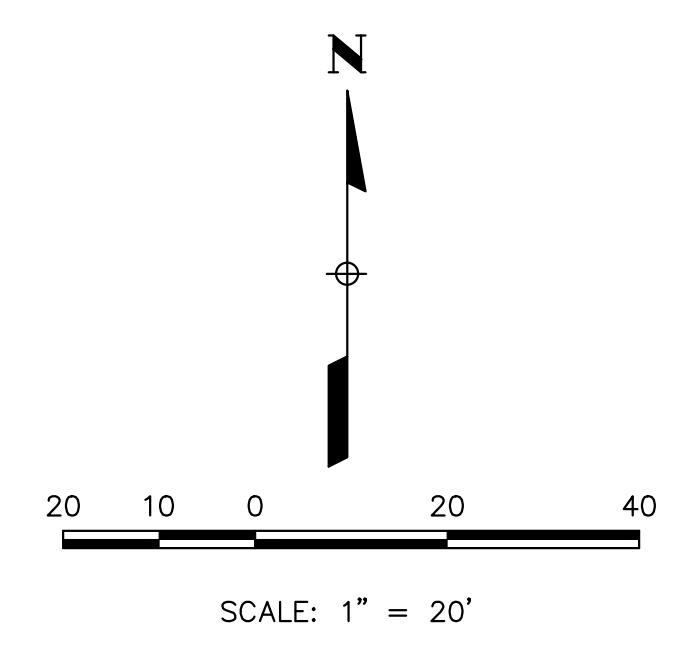
HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
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Can the transformer be moved back within this island? Room for screening at the front will be needed.

Bicycle parking is on raised level, this will make it hard to use. Can it be moved to the parking level more towards the frontage of the building? Section 13.08.080 (4) requires Bicycle parking facilities shall be located near building entrances, shall be visible from the primary entrance of the land use they serve



LEGEND

	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED 2' CATCH CURB & GUTTER
	PROPOSED 1' SPILL CURB & GUTTER
	EXISTING RIGHT-OF-WAY
	BUILDING SETBACK
	EXISTING EASEMENT
	PROPOSED RETAINING WALL
	PROPOSED 6' TALL WOODEN FENCE
	CONCRETE PAVEMENT
	PROPOSED LIGHT POLE
	PARKING COUNT
	NO PARKING - FIRE LANE SIGN

NOTES

1. RETAINING WALLS SHALL NOT EXCEED 9 FEET IN HEIGHT.

Retaining Walls Cannot exceed 6 feet in height. Correct.

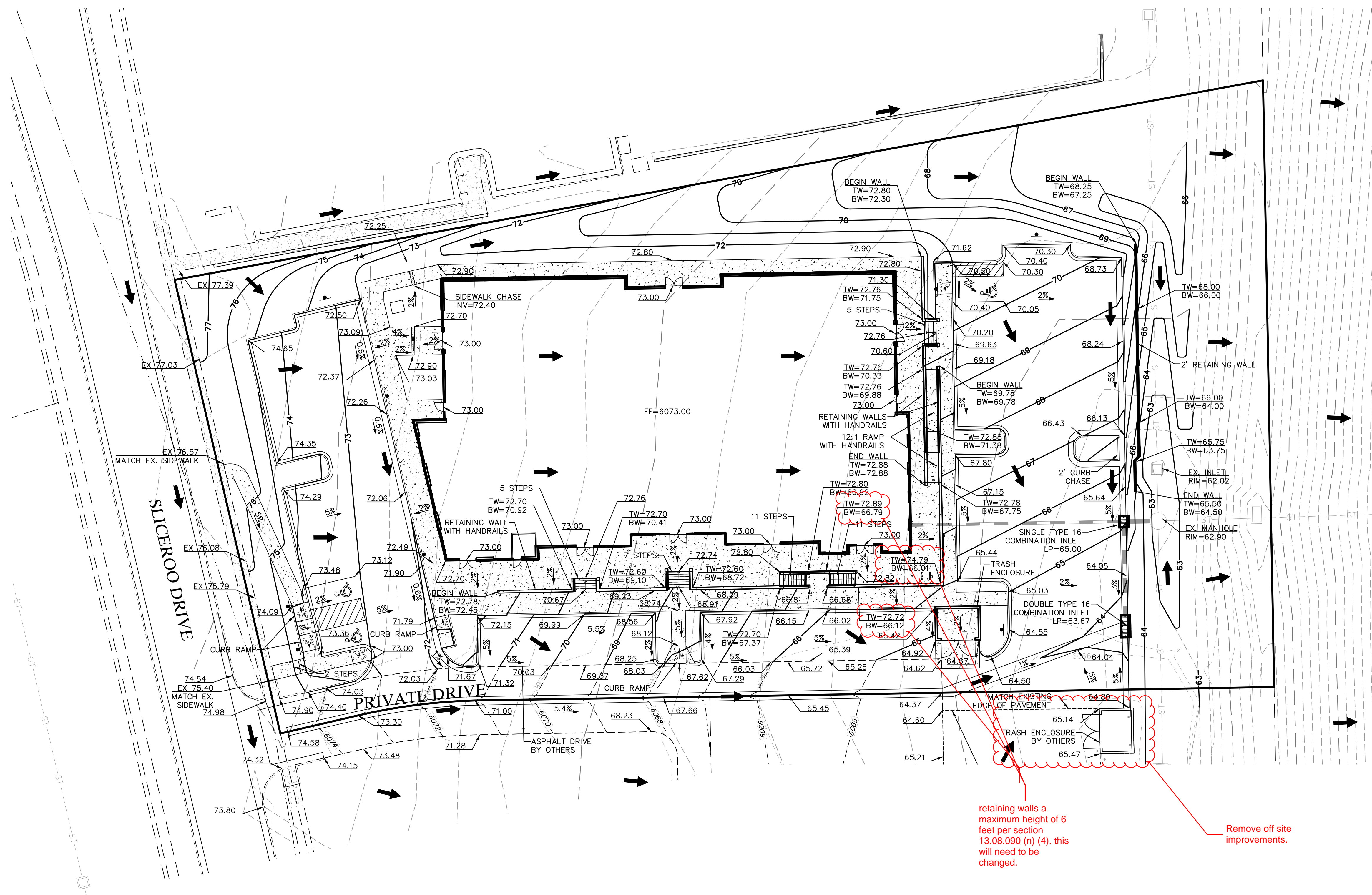
SITE PLAN
 DOUGAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: OCTOBER 3, 2025
 SHEET C3

Vermilion Peak Engineering
 Civil Engineering & Land Surveying
 1745 Shea Center Drive, 4th Floor
 Highlands Ranch, CO 80129
 720-402-6070 / vermillionpeak.com

SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE FLOW DIRECTION
	EXISTING CURB & GUTTER
	1' SPILL CURB
	2' CATCH CURB
	PROPOSED RETAINING WALL
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	CONCRETE PAVEMENT

NOTES
 1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

BENCHMARK
 BENCHMARK IS BY GPS OBSERVATION NAVD 88. SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200' +/- NORTH OF HESS RD.

retaining walls a maximum height of 6 feet per section 13.08.090 (n) (4), this will need to be changed.
 Remove off site improvements.

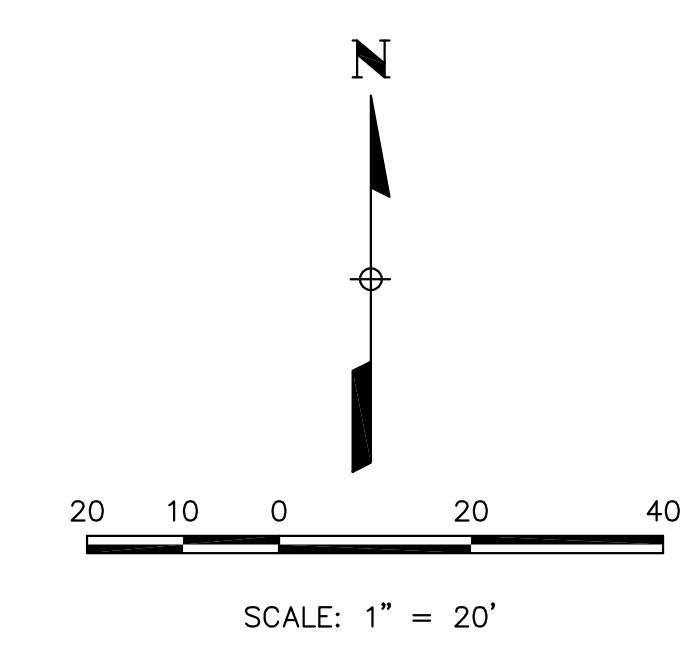
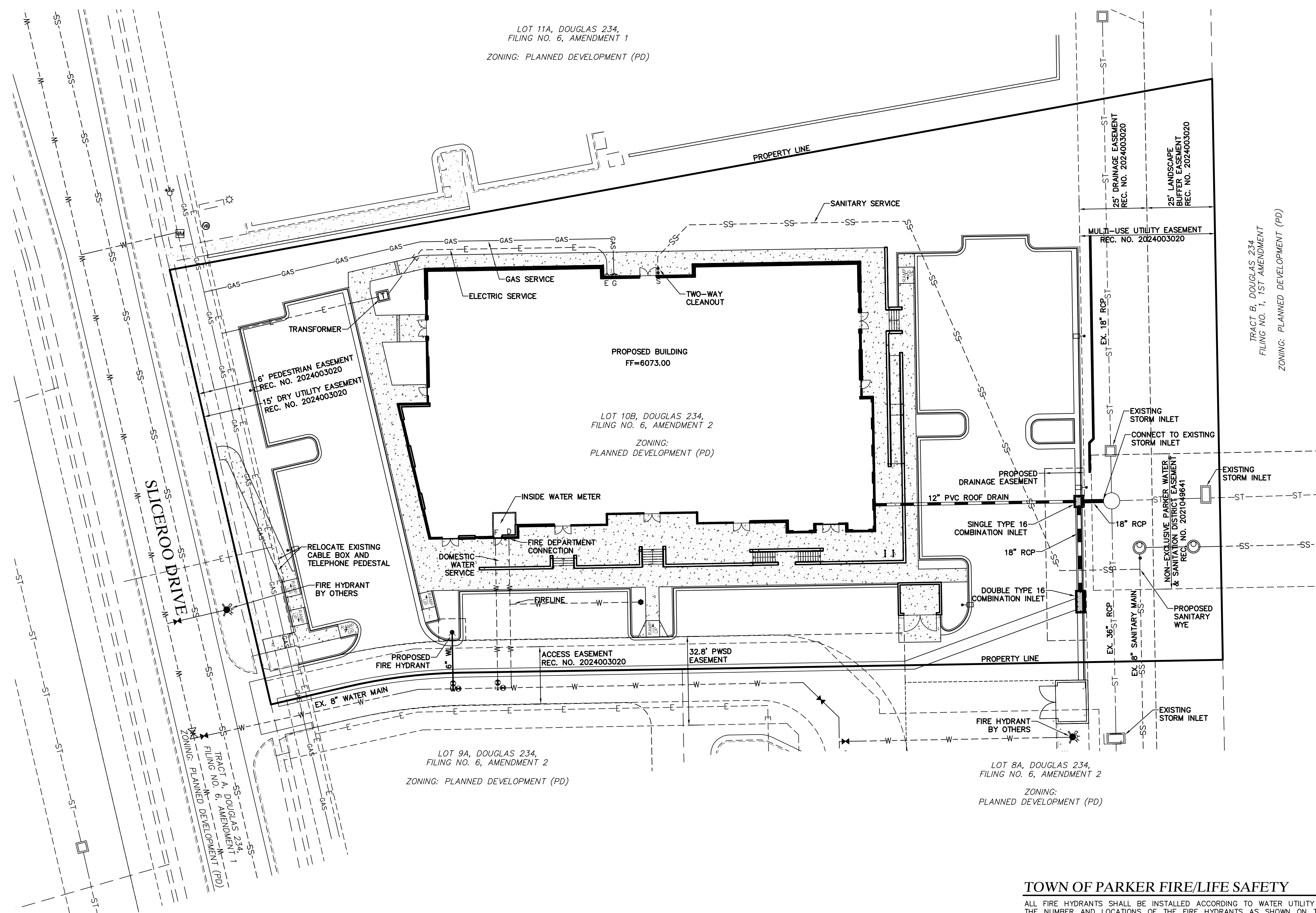
GRADING PLAN
 DOUGAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: OCTOBER 3, 2025
 SHEET C4

Vermilion Peak Engineering
 Civil Engineering & Land Surveying
 1745 Shea Center Drive, 4th Floor
 Highlands Ranch, CO 80129
 720-402-6070 / vermillionpeak.com

SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- EXISTING CURB & GUTTER
- PROPOSED 2' CATCH CURB & GUTTER
- PROPOSED 1' SPILL CURB & GUTTER
- EXISTING RIGHT-OF-WAY
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING GAS PIPE
- EXISTING STORM SEWER
- EXISTING ELECTRIC
- PROPOSED ELECTRIC
- PROPOSED STORM SEWER
- PROPOSED CURB & GUTTER
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- CONCRETE PAVEMENT
- EXISTING EASEMENT
- PROPOSED RETAINING WALL
- PROPOSED LIGHT POLE

FIRE FLOW

FIRE FLOW REQUIREMENTS ARE 2,750 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT. INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS: 2021 IFC
 OCCUPANCY GROUP(S): B, M
 CONSTRUCTION TYPE(S): IIB
 FIRE FLOW CALCULATION AREA: 15,877 SF
 THIS BUILDING IS NOT FULLY SPRINKLERED

TOWN OF PARKER FIRE/LIFE SAFETY

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

BY: _____ DATE _____
 FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE

(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

UTILITY PLAN
 DOUGLAS 234 FILING NO. 6, AMD. 2
 JOB NO. 24020
 DATE: OCTOBER 3, 2025
 SHEET C5



SITE DEVELOPMENT PLAN HORSE CREEK OFFICE BUILDING

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PLANT LEGEND

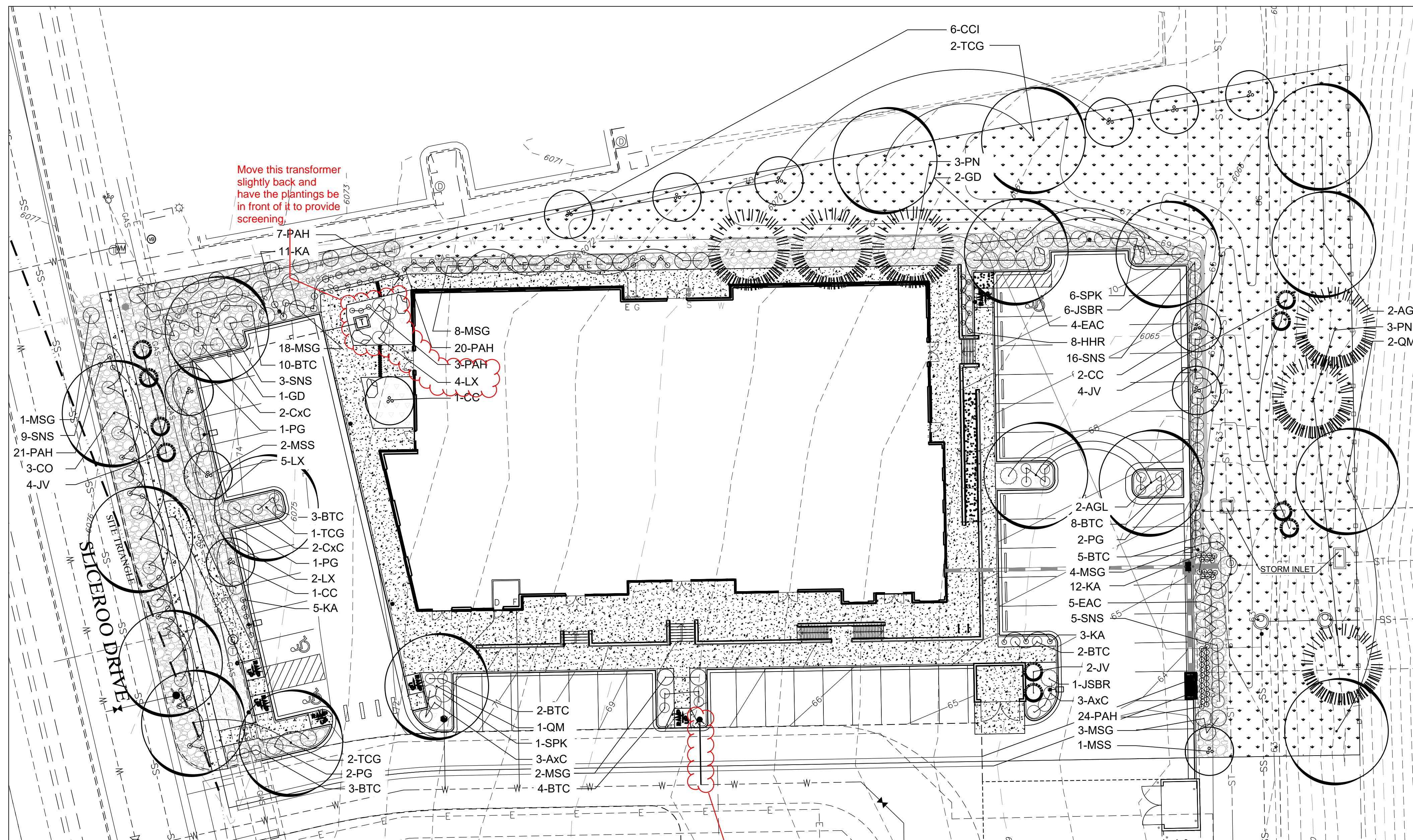
- | | | | |
|--|------------------------|--|----------------------------|
| | DECIDUOUS CANOPY TREES | | NATIVE GRASS |
| | ORNAMENTAL TREES | | 3/4" - 2" RIVER ROCK MULCH |
| | EVERGREEN TREES | | BLUEGRASS TURF |
| | EVERGREEN SHRUBS | | WOOD MULCH |
| | DECIDUOUS SHRUBS | | 6' Fence |
| | PERENNIALS | | |

NATIVE GRASS:

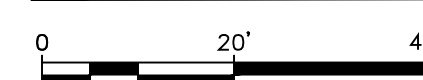
PBSI Foothills Native Mix
 Ingredients: Switchgrass, Rocky Mountain Fescue, Big Bluestem, Sandberg Bluegrass, Slender Wheatgrass, Thickspike/Streambank/Western Wheatgrass, Yellow Indiangrass, Blue Grama, Beardless Wheatgrass, Indian Ricegrass, Little Bluestem, Sand Dropseed, Sideoats Grama
 Seeding Rate: 25 lbs/Acre to be used between October 15th and March 30th
 Pawnee Buttes Seed, Inc.
 605 25th St.
 Greeley, Colorado
 (970) 356-7002

PROPOSED PLANT LIST

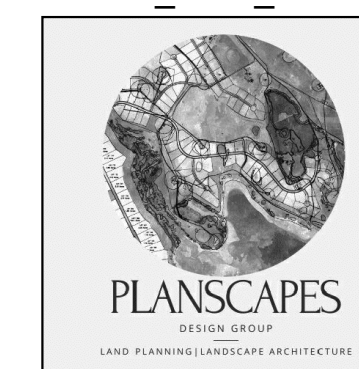
PLANTING SCHEDULE								
TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SIZE AT MATURITY	NOTES	WATER USE
Trees								
Deciduous	AGL	2	Aesculus glabra	Ohio Buckeye	2.5" Cal	20'-40'	B & B	M
	CO	3	Celtis Occidentalis	Western Hackberry	2.5" Cal	50'	B & B	M
	GD	3	Gumnocladus Dioicus	Kentucky Coffeetree	2.5" Cal	50'	B & B	L
	TCG	5	Tilia Cordata 'Greenspire'	Greenspire Linden	2.5" Cal	50'	B & B	M
	QM	3	Quercus macrocarpa	Bur Oak	2.5" Cal	60'	B & B	M
Ornamental	CCI	6	Crataegus crus-galli nermis	Thornless Cockspur Hawthorn	2" Cal	15'-20'	B & B	M
	CC	4	Cercis canadensis	Eastern Redbud	2" Cal	20'-30'	B & B	M
	MSS	3	Malus 'Spring Snow'	Spring Snow Crabapple	2" Cal	15'-20'	B & B	M
Evergreen	JV	10	Juniperus scopulorum	Rocky Mountain Juniper	6" Ht	15'-20'	B & B	L-M
	PN	6	Pinus Nigra 'Arnold's Sentinel'	Austrian Pine	6" Ht	40'-60'	B & B	M
Shrubs								
Deciduous	AxC	6	Arctostaphylos X Coloradoensis	Panchito Manzanita	5 Gal	3'	5' OC	L
	CxC	4	Arctostaphylos x coloradoensis	Panchito Manzanita	5 Gal	4'	4' OC	L
	BTC	37	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	5 Gal	2'-3'	5' OC	L
	EAC	9	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal	6'-8'	3' OC	L
	SNS	33	Spiraea nipponica 'Snowmound'	Snowmound Spiraea	5 Gal	3'-4'	3' OC	L
	SPK	7	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal	6'-8'	5' OC	L
	LX	11	Ligustrum x vicaryi	Golden Vicary Privet	5 Gal	6'-8'	4' OC	L
Evergreen	PG	6	Picea pungens 'Globosa'	Globe Spruce	5 Gal	3'-5'	5' OC	L
	JSBR	7	Juniperus sabina 'Broadmoor'	Broadmoor Juniper	5 Gal	1'-2'	5' OC	L
Perennials & Ornamental Grasses								
Perennials	MSG	34	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	5 Gal		4' OC	L
	PAH	75	Pennisetum alopecuroides 'Homeln'	Dwarf Fountain Grass	2 Gal		18" OC	L
	HHR	8	Hermerocallis 'Happy Returns'	Dwarf Yellow Daylily	1 Gal		18" OC	L
	KA	31	Calamagrostis X Acutiflora 'Karl Forester'	Karl Forester Grass	1 Gal		4' OC	L



Scale: 1"=20'



LANDSCAPE PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: OCTOBER 2, 2025
SHEET _ OF _



SITE DEVELOPMENT PLAN HORSE CREEK OFFICE BUILDING

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PERIMETER LANDSCAPING

LOCATION	LENGTH	TREE		EVERGREEN TREES		SHRUBS	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
EAST (RESIDENTIAL)	210 LF	11	11	50% OF TREES	50%	53	53*
WEST (ROW)	150 LF	6	6	N/A	33%	25	25
NORTH (COMMERCIAL)	390 LF	13	13	25% OF TREES	25%	65	65**

* 8 FIVE GALLON GRASSES & 36 ONE GALLON GRASSES DUE TO UTILITY CONFLICTS.
** 23 FIVE GALLON GRASSES & 38 ONE GALLON GRASSES DUE TO UTILITY CONFLICTS.

STREETSCAPE REQUIREMENTS

LOCATION	LENGTH	1 TREE/40 LF	
		REQUIRED	PROVIDED
WEST (SLICEROO DR)	150 LF	4	4

PARKING LOT LANDSCAPING

	REQUIRED	PROVIDED
MIN. LANDSCAPE AREA	10% (1,849 SF)	11% (2,102 SF)
1 TREE/ ISLAND	6	7
5 SHRUBS/ISLAND	30	30

TOTAL LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
MIN. SITE LANDSCAPING	15%	34% (23,768 SF)
MIN. LIVING MATERIAL COVERAGE	75%	75% (17,826 SF)

The parking lot table needs to break out each island separately

PLANT REQUIREMENTS

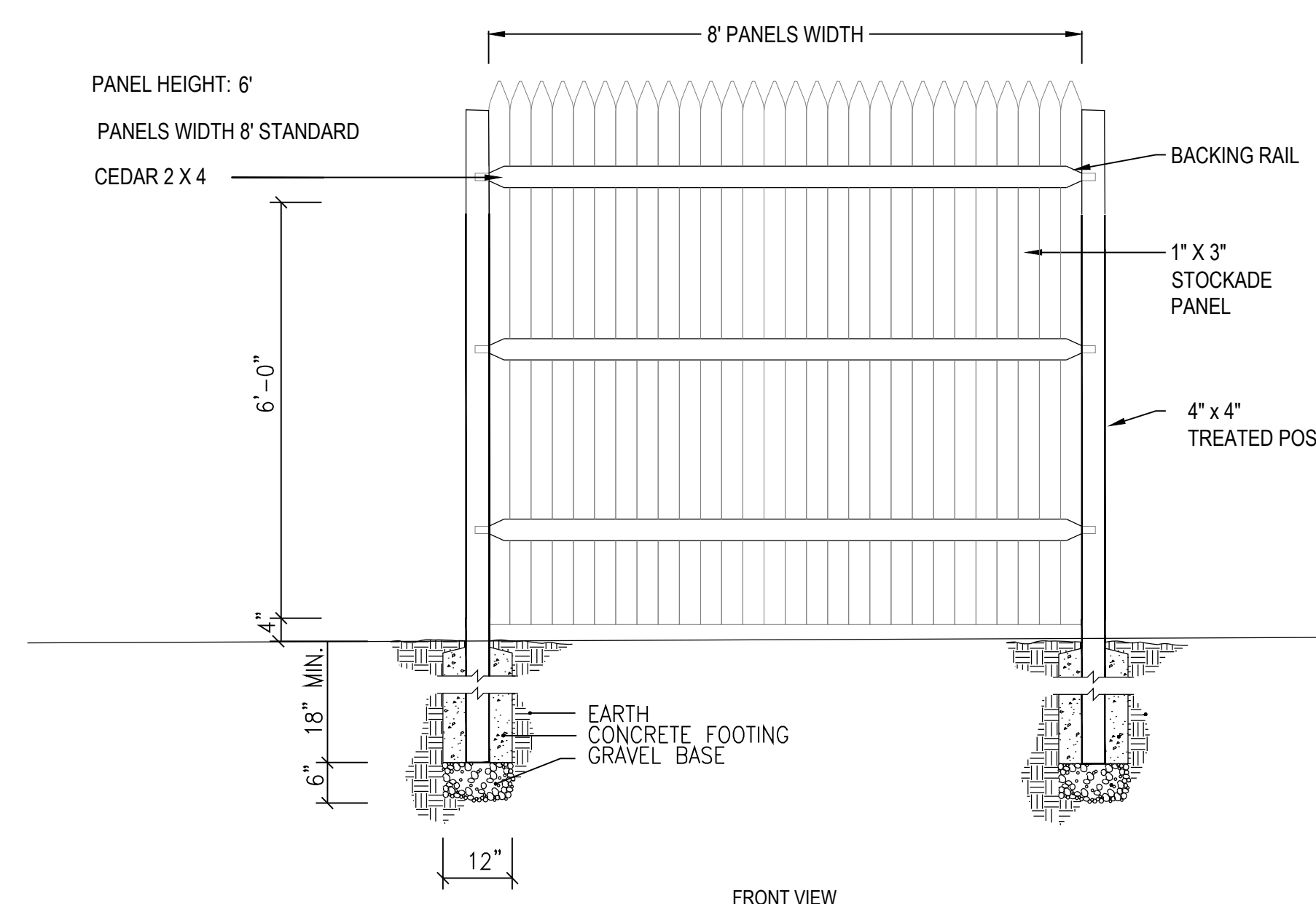
MINIMUM SITE LANDSCAPE CALCULATIONS (Total site 68,488 sf)		
DESCRIPTION	REQUIRED	PROVIDED
LANDSCAPE AREA 15% of Lot	10,273 sq ft	23,768 sq ft
TREES 1/1,500 sq ft	16	29
SHRUBS 5/1,500 sq ft	79	79
MAX. IRRIGATED TURF = 15%	1,155 sq ft max.	567 sq ft
EVERGREEN TREES	25% - 50% OVERALL 40% - 60% PERIMETER	16 EVERGREEN / 45 TREES 36% OVERALL 10 EVERGREEN / 22 TREES 45% PERIMETER
75% OF LIVE COVER	7,704 sq ft	17,826 sq ft

plant schedule shows 45 trees

plant schedule shows 120

PLANT NOTES

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. SOIL AMENDMENTS. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. 4 CU YDS/1000 SQ. FT. OF ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN (10) FEET OF POTABLE AND NONPOTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON POTABLE IRRIGATION MAINS AND SERVICES.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL TURF AREAS TO BE SODDED AND IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED 3" DEEP WITH 3/4" - 2" RIVER ROCK PLACED ON WEED BARRIER FABRIC.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/8" X 4" STEEL SET LEVEL WITH TOP OF GRADE.
- TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.

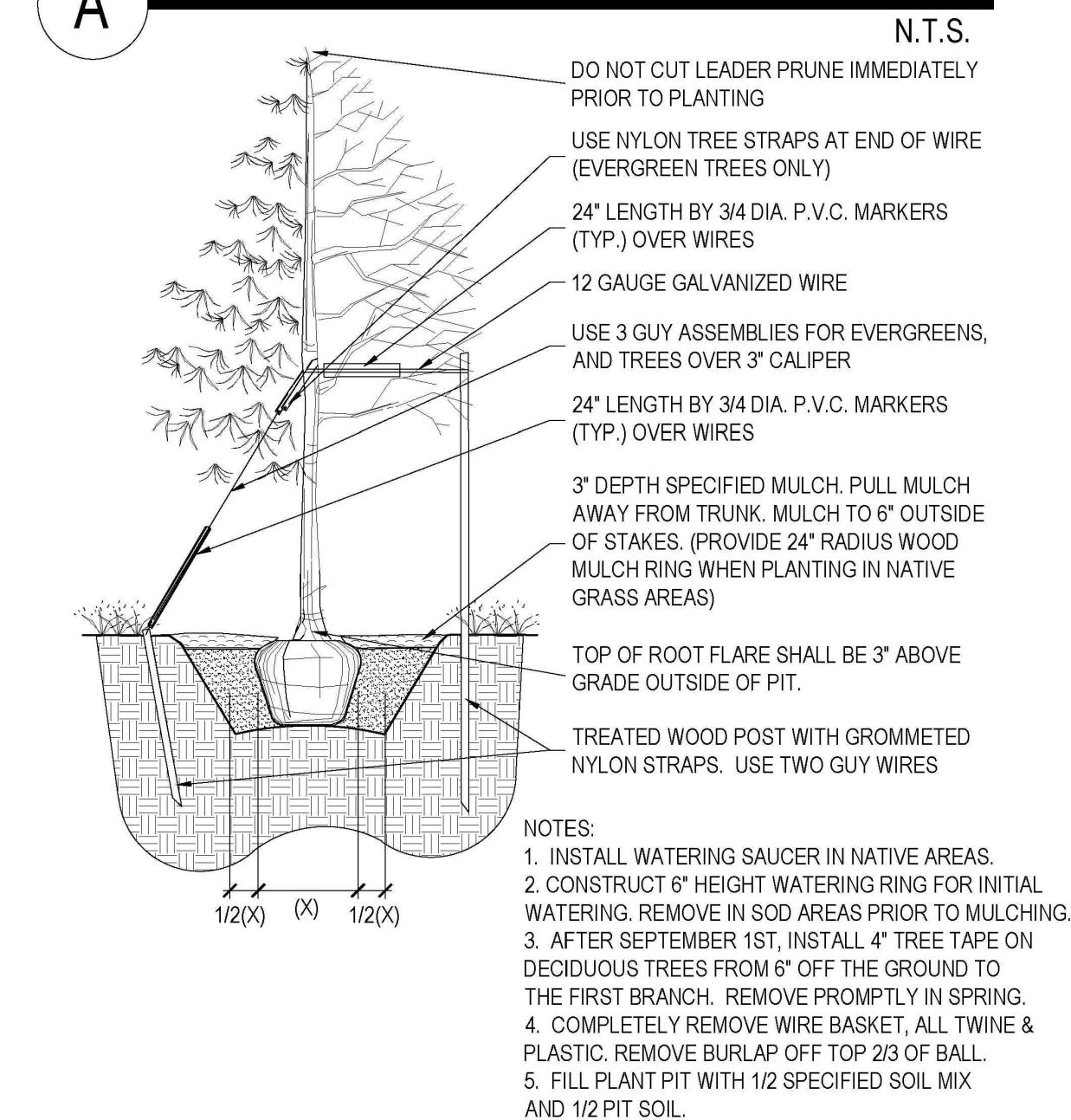


- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER LANDSCAPE PLAN HORSE CREEK_9.29.25.

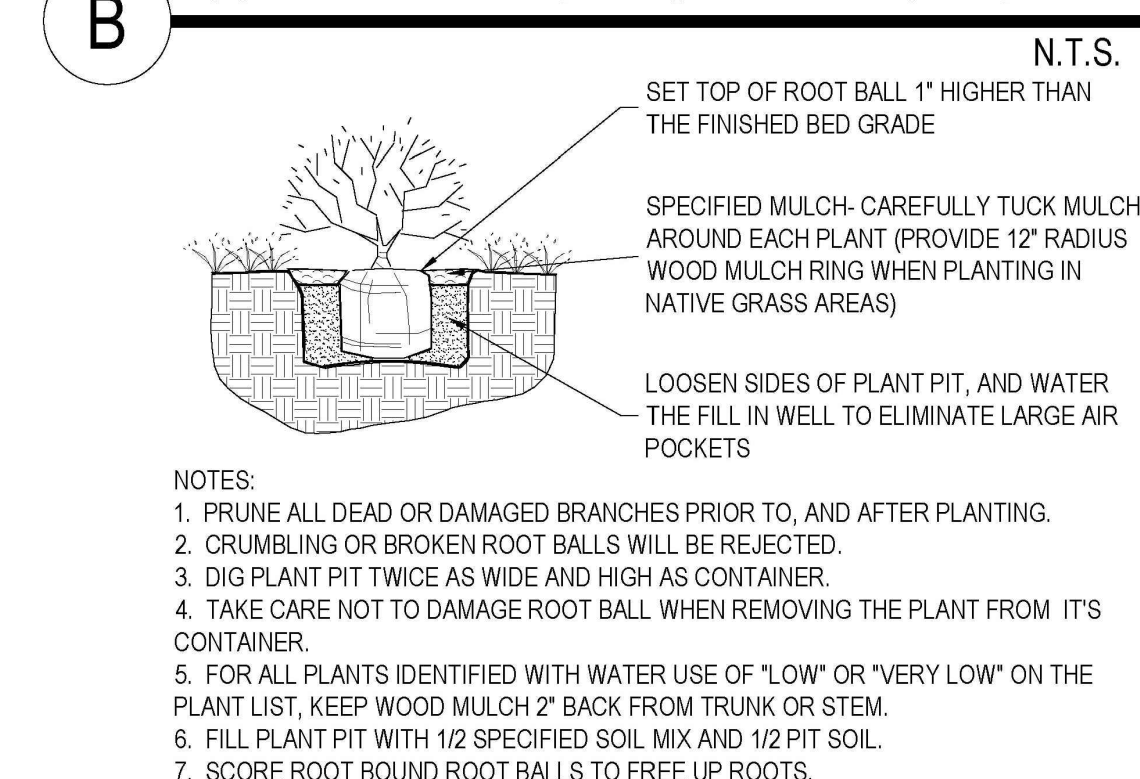
D CEDAR PRIVACY FENCE

DESIGN: STOCKADE PANEL

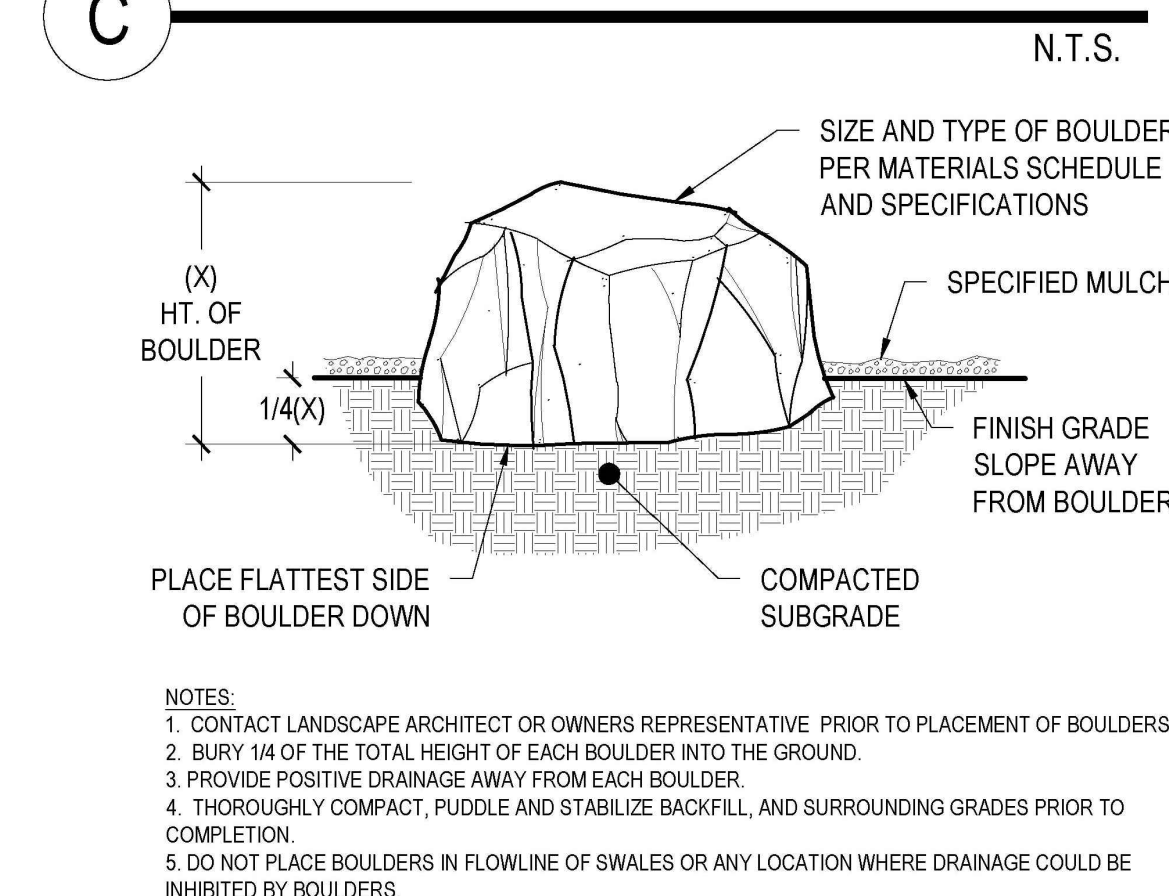
A PLANTING DETAIL FOR ALL TREES & B&B SHRUBS



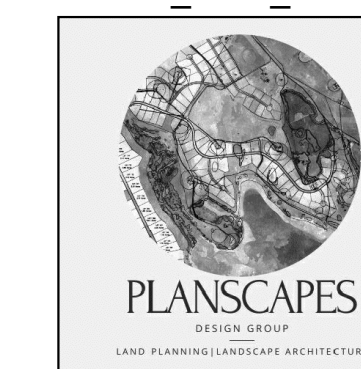
B PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON



C LANDSCAPE BOULDER

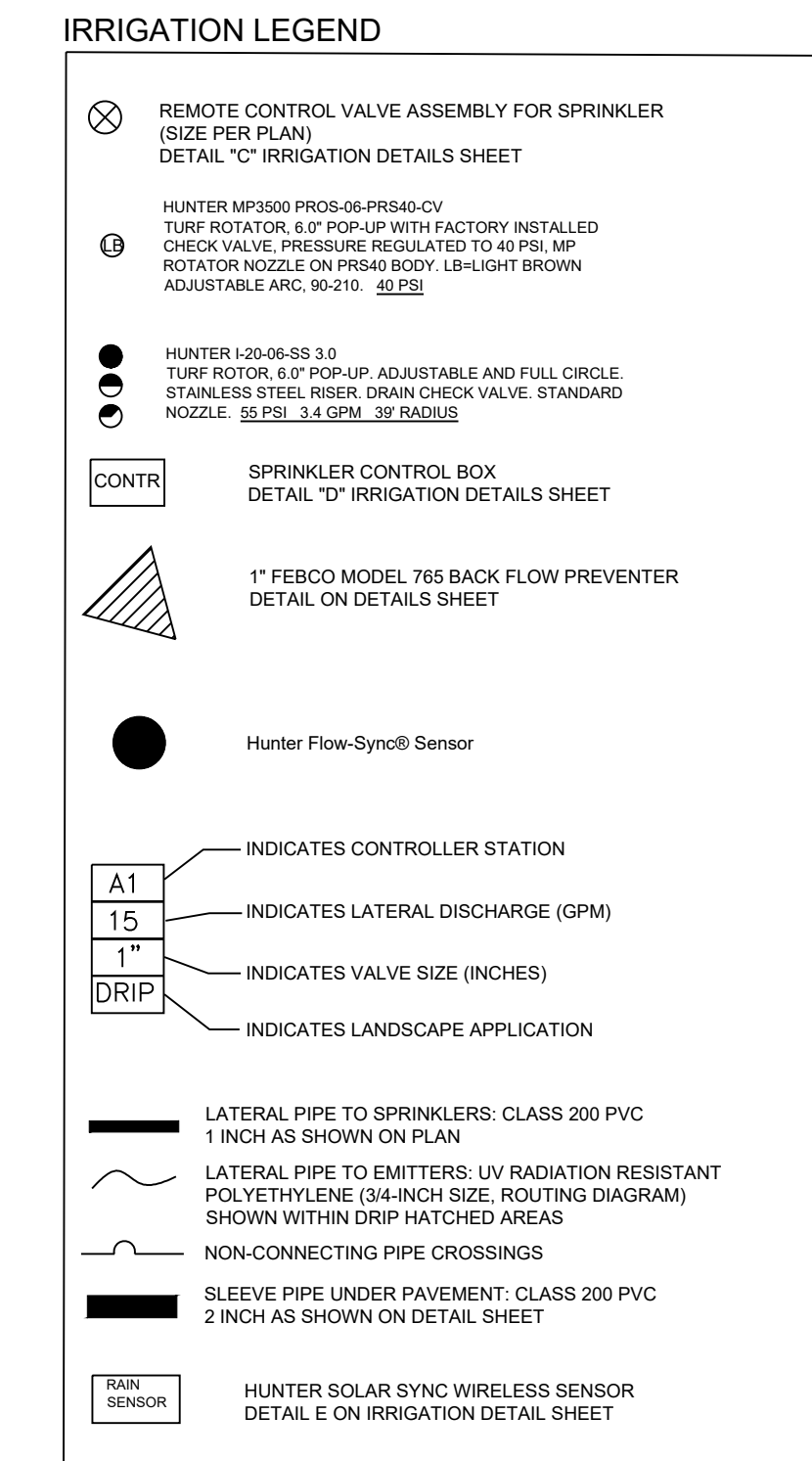
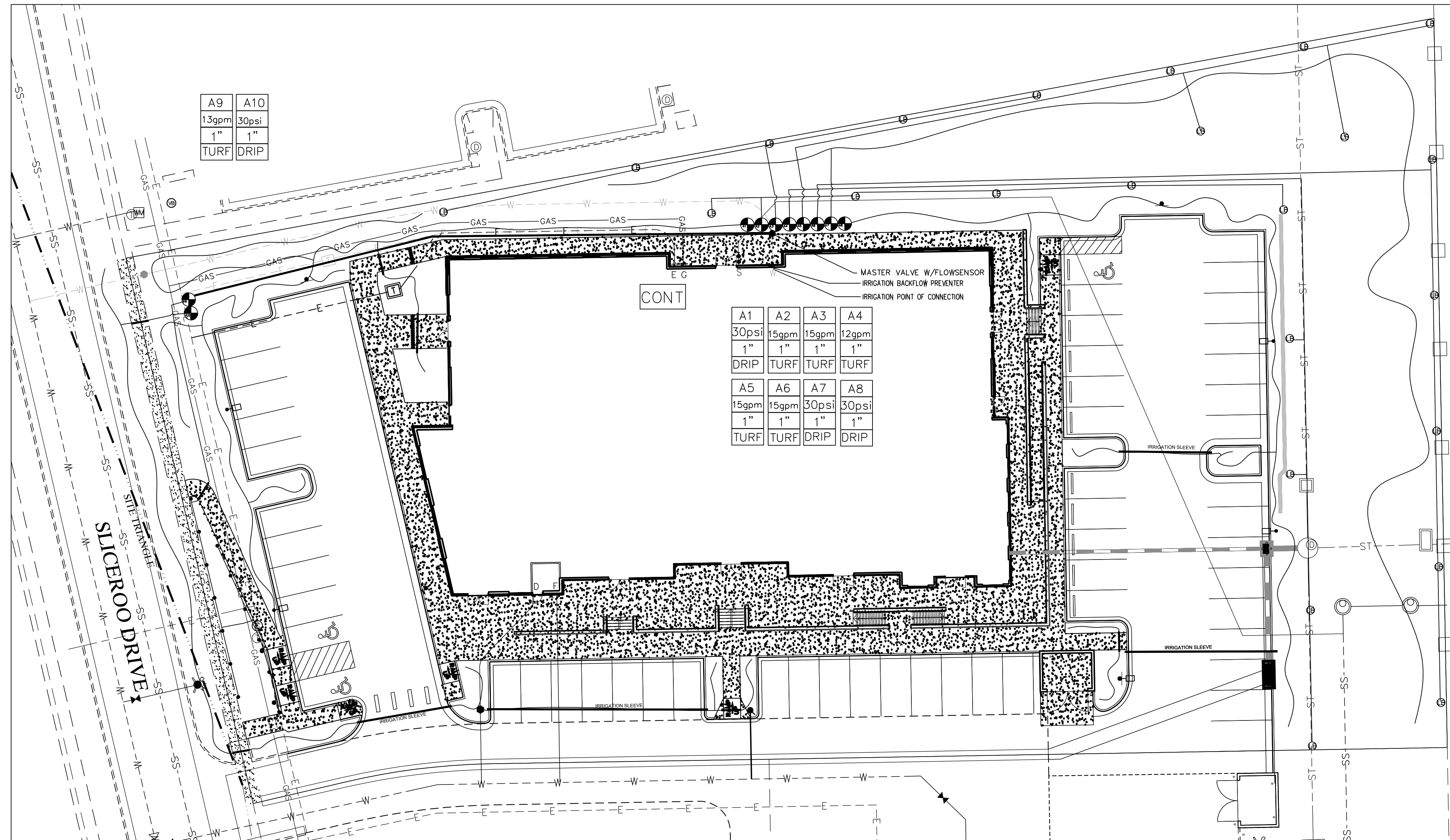


LANDSCAPE PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: OCTOBER 2, 2025
SHEET OF

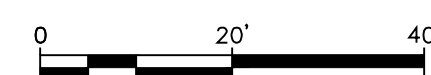


SITE DEVELOPMENT PLAN HORSE CREEK OFFICE BUILDING

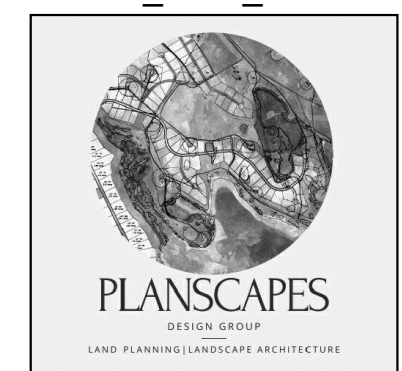
LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Scale: 1"=20'



LANDSCAPE PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: OCTOBER 2, 2025
SHEET _ OF _



SITE DEVELOPMENT PLAN

HORSE CREEK OFFICE BUILDING

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

1. THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 40 PSI. AT A MAXIMUM DISCHARGE OF 55 GPM AT THE IRRIGATION POINT OF CONNECTION 1 (POCI) VERIFY PRESSURE AND GLOW ON SITE PRIOR TO CONSTRUCTION.
2. READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. COORDINATE UTILITY LOCATES (CALL BEFORE YOU DIG)
4. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTION OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR DISCREPANCIES TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
5. THE DRAWING ARE DIAGRAMMATIC. THEREFORE THE FOLLOWING SHOULD BE NOTED.
 - A. ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY INSTALL IRRIGATION PIPE AND WIRING IN THE LANDSCAPED AREAS WHENEVER POSSIBLE.
 - B. TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
 - C. USE ONLY STANDARD TEE AND ELBOW FITTINGS. USE OF TEE FITTINGS IN THE BULL-NOSE CONFIGURATION, OR USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.
6. PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
 - A. TWO OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
 - B. TWO OF EACH SERVING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS/ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
 - C. "AS BUILT" IRRIGATION DRAWINGS
 - D. WATER BUDGET CHART
 - E. SMART IRRIGATION CONTROLLER DATA INPUT CHART SELECTED NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARC WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVER-SPRAY FOR THE CONDITION. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCES.

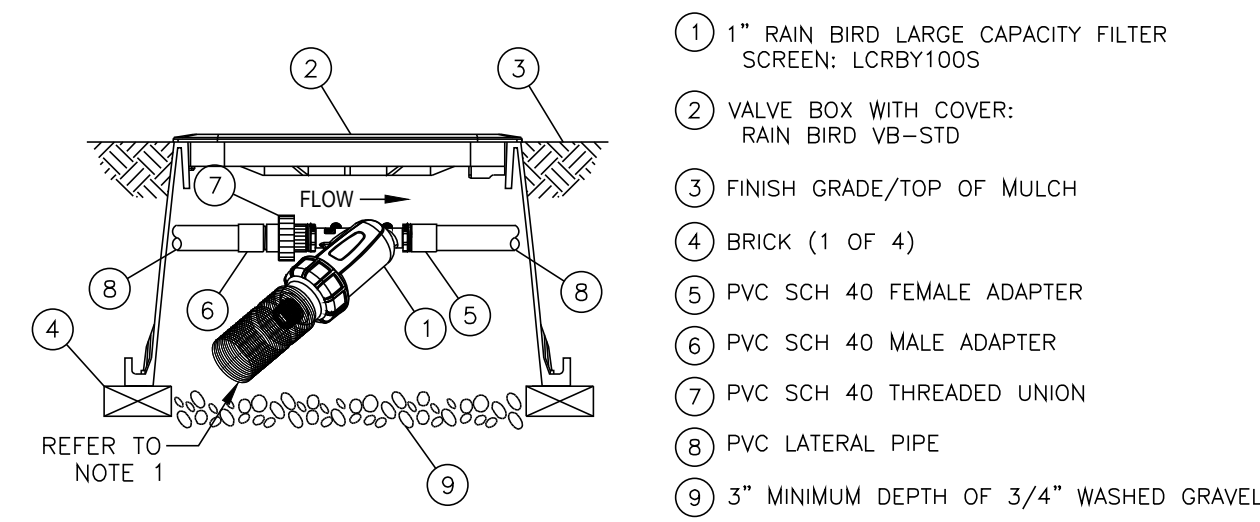
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARD-SCAPE CROSSING COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARD-SCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.
- SEPARATE SLEEVING USED FOR IRRIGATION LINES AND WIRING BUNDLES
 - FOR ALL SLEEVING LOCATED UNDER CONCRETE, THE PAVEMENT OR OTHER HARD SURFACING SHALL BE NOTCHED ON BOTH SIDES TO MARK THE SLEEVE LOCATION, AND TRACER WIRES SHALL BE INSTALLED ON THE UPPER SIDE AND BOTH ENDS OF THE SLEEVING.
 - THE DIAMETER OF SLEEVE SHALL BE A MINIMUM OF TWICE THAT OF THE PIPE AND WIRING BUNDLE BUT NO SMALLER THAN A TWO (2) INCH DIAMETER PIPE. THE ENDS OF THE SLEEVES SHALL EXTEND PAST THE EDGE OF THE CURB, GUTTER, SIDEWALK, OR OTHER HARDSCAPE A MINIMUM OF EIGHTEEN (18) INCHES.
 - THE SLEEVE MATERIAL BENEATH SIDEWALKS, DRIVES AND TREETOPS SHALL BE PVC CLASS 200 PIPE WITH SOLVENT WELDED JOINTS
 - CONTAINS NO JOINTS WHEN LENGTH IS LESS THAN TWENTY (20) FEET.
7. INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES. THE IRRIGATION CONTROLLER MUST BE WALL MOUNTED IN THE PARTS STAGING AREA ADJACENT TO ELECTRICAL OUTLET LOCATED IN THE JANITORS ROOM WITH BACKFLOW PREVENTER
 8. INSTALL TWO #14 AWG CONTROL WIRES FROM CONTROLLER LOCATION TO EACH DEAD END OF MAINLINE FOR USE AS SPARES IN CASE OF CONTROL WIRE FAILURE. COIL 3 FEET OF WIRE IN VALVE BOX.
 9. AUTOMATIC IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN DETECTION DEVICE.

EMITTER SCHEDULE

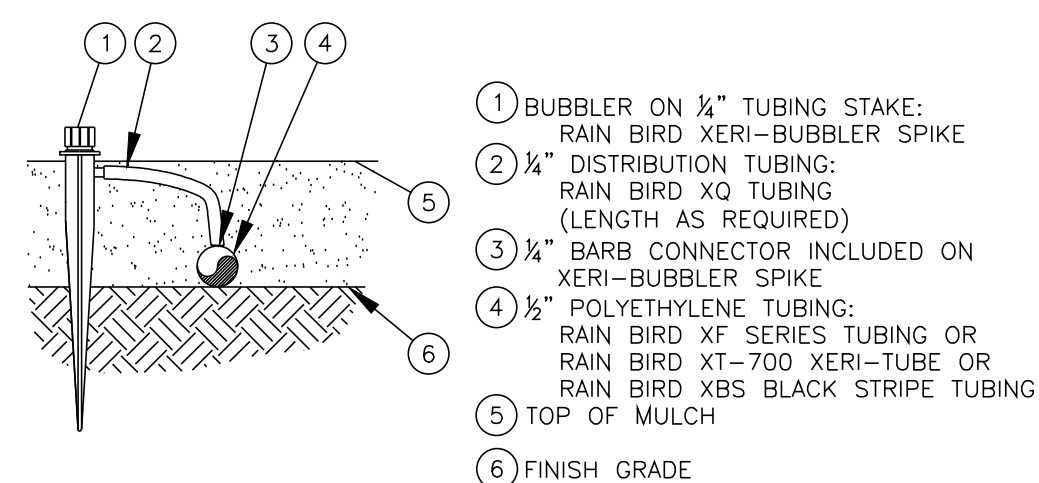
10. IN CLAY OR LOAM SOILS, CONSIDER TWO 0.5 GPH EMITTERS AT THE BASE OF A PERENNIAL FLOWER TO ENSURE WATERING IF ONE FAILS. A 1 TO 5 FOOT SHRUB AND SMALL TREE LESS THAN 15 FEET AT MATURITY WILL INITIALLY REQUIRE TWO, 1 GPH EMITTERS 12 INCHES FROM THE BASE OF THE PLANT. CHANGE TO 2 AND THEN 4 GPH HIGHER FLOW EMITTERS IF PLANTING A LARGER SIZED TREE AND AS THE SMALL TREE GROWS. A 5 FOOT OR LARGER SHRUB MAY REQUIRE THREE 1GPH EMITTERS.
11. A MEDIUM TREE 15 TO 25 FEET MAY ULTIMATELY REQUIRE FOUR EMITTERS TWO FEET FROM THE TRUNK. IF PLANTING A "WHIP", IT'S POSSIBLE TO START WITH TWO 0.5 GPH EMITTERS AND CHANGE TO HIGHER FLOW AND MORE EMITTERS AS THE TREE GROWS. BEGIN WITH THREE, 2 GPH EMITTERS ON A 1 INCH CALIPER TREE PLANTING AND THREE, 4 GPH EMITTERS ON A 2 INCH CALIPER TREE AT PLANTING.
12. TREES LARGER THAN 25 FEET AT MATURITY MAY BE IMPRACTICAL TO IRRIGATE WITH DRIP BECAUSE OF THE EXTENSIVE NATURE OF TREE ROOT SYSTEMS AND MASS OF THE TREES. INCREASE THE NUMBER OF EMITTERS AND CHANGE THEM TO 2 OR 4 GPH OR LARGER FLOWS AS TREES AND SHRUBS GROW.

EQUIPMENT

13. NON-POTABLE SYSTEMS MUST USE THE COLOR PURPLE TO IDENTIFY COMPONENTS SUCH AS VALVES, VALVE BOXES, SPRINKLER HEAD TOPS, ECT.
14. A MASTER SHUT-OFF VALVE SHALL BE INSTALLED DOWNSTREAM OF THE BACKFLOW DEVICE.
15. FLOW SENSORS INTEGRATED WITH SMART IRRIGATION CONTROLLER ARE REQUIRED FOR SINGLE OR COMBINED POINT OF CONNECTION FOR FLOWS OF 15 GALLONS PER MINUTE OR GREATER AND 1 INCH OR GREATER WATER TAPS.
16. ALL VALVES SHALL HAVE A MANUAL BALL VALVE INSTALLED PRIOR TO THE LATERAL VALVE
17. THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING. IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND. ENSURE SLEEVING MEETS ALL REQUIREMENTS UNDER 6.11.B.6 INCLUDING BUT NOT LIMITED TO SLEEVING SIZE BEING TWICE THAT OF THE PIPE, NOTCHING OF HARD SURFACE FOR SLEEVES RUNNING UNDER HARDSCAPE.
 - SEPARATE SLEEVING USED FOR IRRIGATION LINES AND WIRING BUNDLES.
 - THE DIAMETER OF SLEEVE SHALL BE A MINIMUM OF TWICE THAT OF THE PIPE AND WIRING BUNDLE BUT NO SMALLER THAN A TWO (2) INCH DIAMETER PIPE.
 - THE SLEEVE MATERIAL BENEATH SIDEWALKS, DRIVES AND STREETS SHALL BE PVC CLASS 200 PIPE WITH SOLVENT WELDED JOINTS.
 - FOR ALL SLEEVING LOCATED UNDER CONCRETE, THE PAVEMENT OR OTHER HARD SURFACING SHALL BE NOTCHED ON BOTH SIDES TO MARK THE SLEEVE LOCATION.
 - CONTAIN NO JOINTS WHEN LENGTH IS LESS THAN TWENTY (20) FEET.



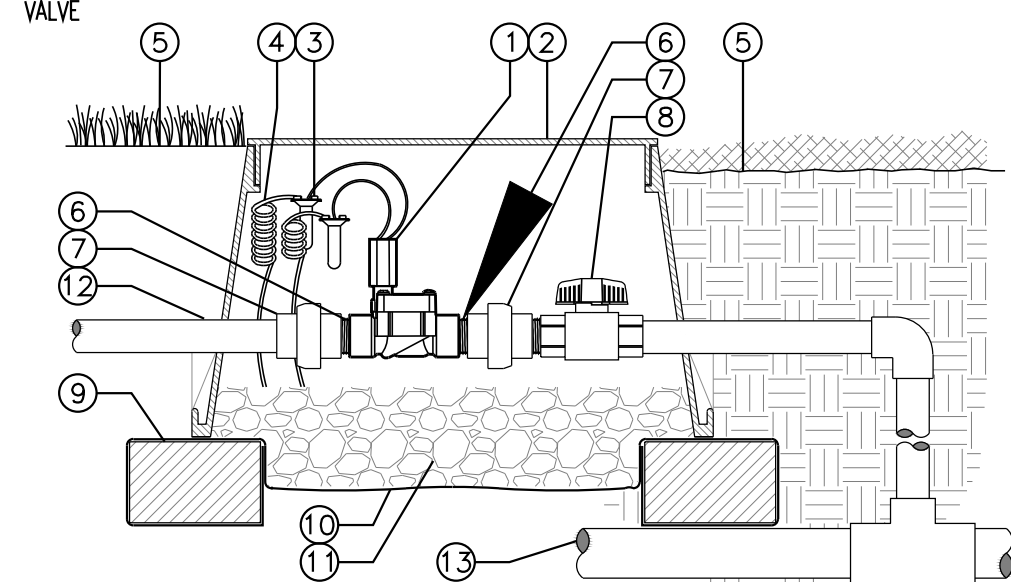
A RAINBIRD DRIP LINE FILTER AND PRESSURE REDUCER
LCRB1005 - 1 in



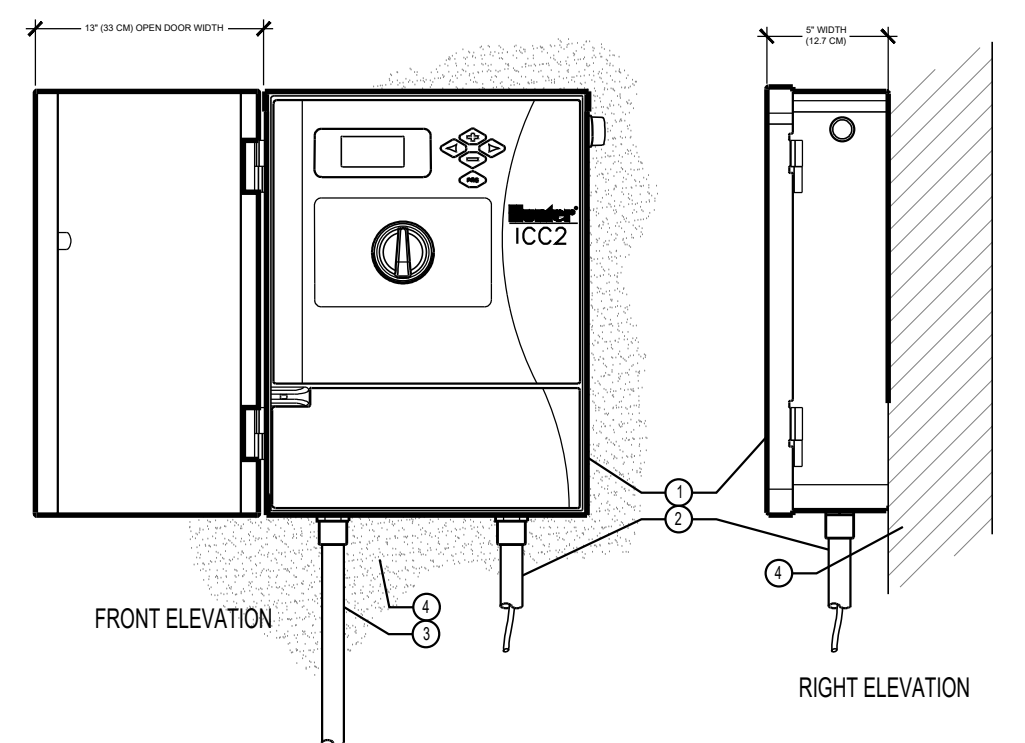
B RAINBIRD DRIP EMITTER
2005 (N.T.S.)

LEGEND

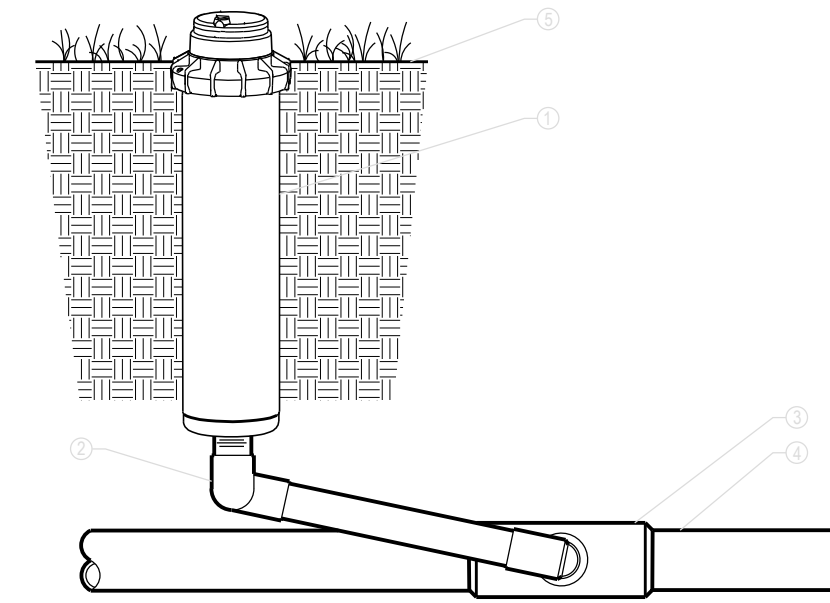
- | | |
|-----------------------------------------------------------------|-----------------------------------------------------|
| 1 HUNTER REMOTE CONTROL VALVE (PGV) | 7 PVC SLIP (OR FPT) X FPT UNION |
| 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS | 8 ISOLATION VALVE, SIZE AND TYPE PER PLAN |
| 3 WATERPROOF CONNECTORS (2) | 9 BRICK SUPPORTS (4) |
| 4 18"-24" COILED WIRE TO CONTROLLER | 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS |
| 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH) | 11 3/4" WASHED GRAVEL - 4" MIN. DEPTH |
| 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE | 12 IRRIGATION LATERAL |
| | 13 MAINLINE AND FITTINGS |



C IN-LINE VALVE (PGV-100G) WITH UNIONS AND ISOLATION VALVE
Hunter V.PGV.04 NO SCALE



D IRRIGATION CONTROLLER (12C-800-M)
Hunter C.ICC2.02 NOT TO SCALE



E ROTARY SPRINKLERS
ROTORS: POP ULTRA-06 WITH CHECK VALVE AND PRESSURE REGULATOR

- MP ROTATOR (1)
MODEL MPR40-00 (2)
ROTOR STAKING KIT PN 463551 (3)
FINISH GRADE (4)
#4 REBAR (5)
HUNTER "PLD-BLANK" SWING JOINT (6)
1/2"x17mm BARBED ADAPTER (7), & MARLEX STREET ELBOW (1)
LATERAL TEE OR ELL (7)
LATERAL PIPE (8)

TO USE THIS DETAIL
These are the common layers that should be left on for all options. All will have a '0' in front of them:
Hunter—earth
Hunter—no-pot viewpoint
Hunter—product
Hunter—title text

There are two types of risers. The default is currently turned on. The user must have one of these layers on and one off. The two types of risers are:
5/80 nipple with Hunter HCV-50F-50M check valve, located on layer Hunter HCV
5/80 nipple without check valve, located on layer Hunter HCV off

There are four varieties of swing joints associated with this sprinkler detail:
Rigid with PVC street elbows (layers start with a '1')
Rigid with Marlex street elbows (layers start with a '2')
Factory prefabricated (layers start with a '3')
Pro Flex, which is Contractor assembled (layers start with a '4')

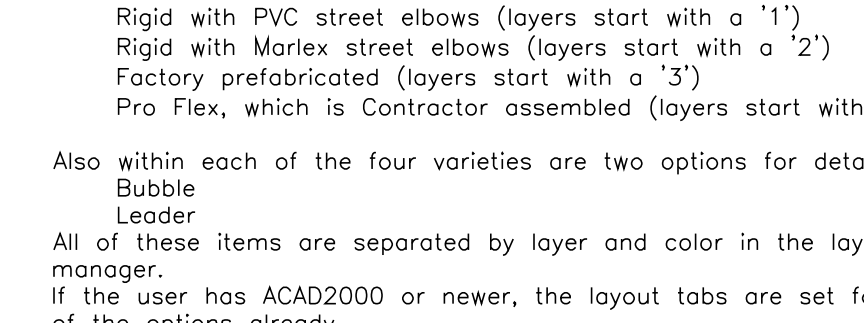
Also within each of the four varieties are two options for detail callout:
Bubble
Leader
All of these items are separated by layer and color in the layer manager.
If the user has ACAD2000 or newer, the layout tabs are set for each of the options already.

MPR40-00

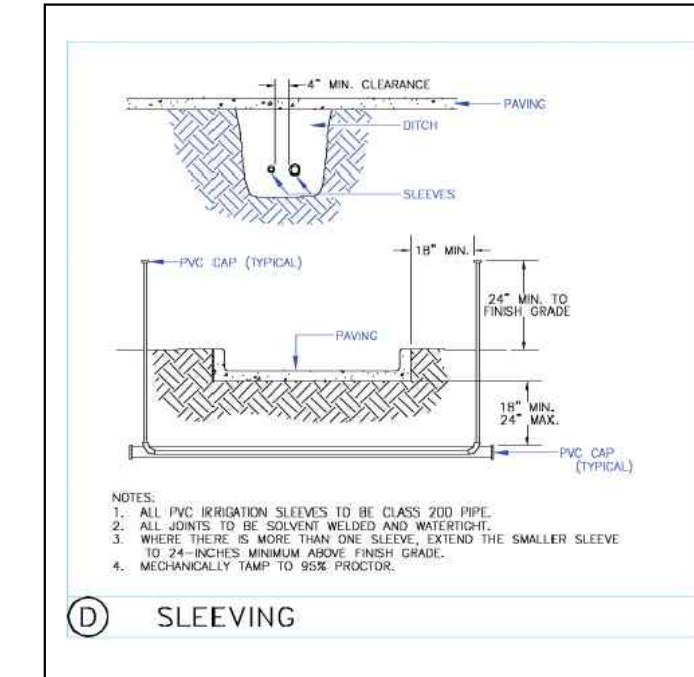
F MP ROTATOR SPRINKLER
SCALE: 3" = 1'-0" Hunter IRRIGATION DETAIL

NOTE:
MOUNT CONTROLLER LID SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDING 110 VAC POWER SOURCE

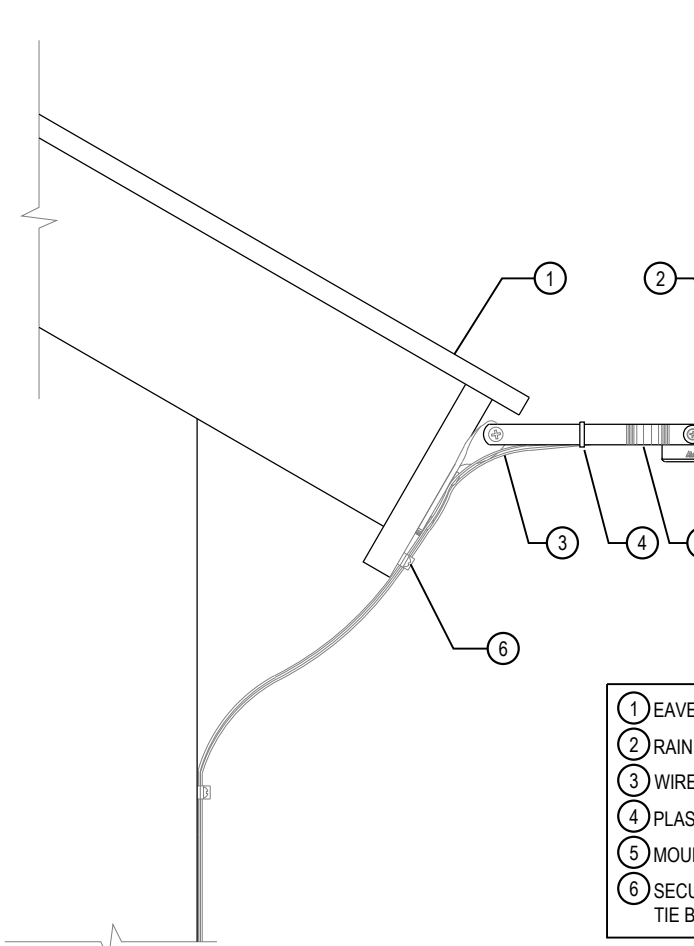
NOTE:
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CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER



H FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



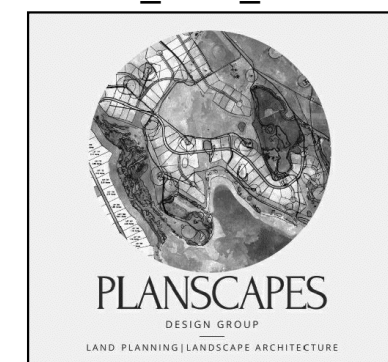
D SLEEVING



G RAIN SENSOR
RSD-BEX ROOF BRACKET (N.T.S.)

NOTE:
INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
DO NOT SCALE DRAWINGS.
CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 045-293.

LANDSCAPE PLAN
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: OCTOBER 2, 2025
SHEET _ OF _



SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

maximum height of mounted lighting is 15ft, please ensure this is below this, add label of height of mounting.

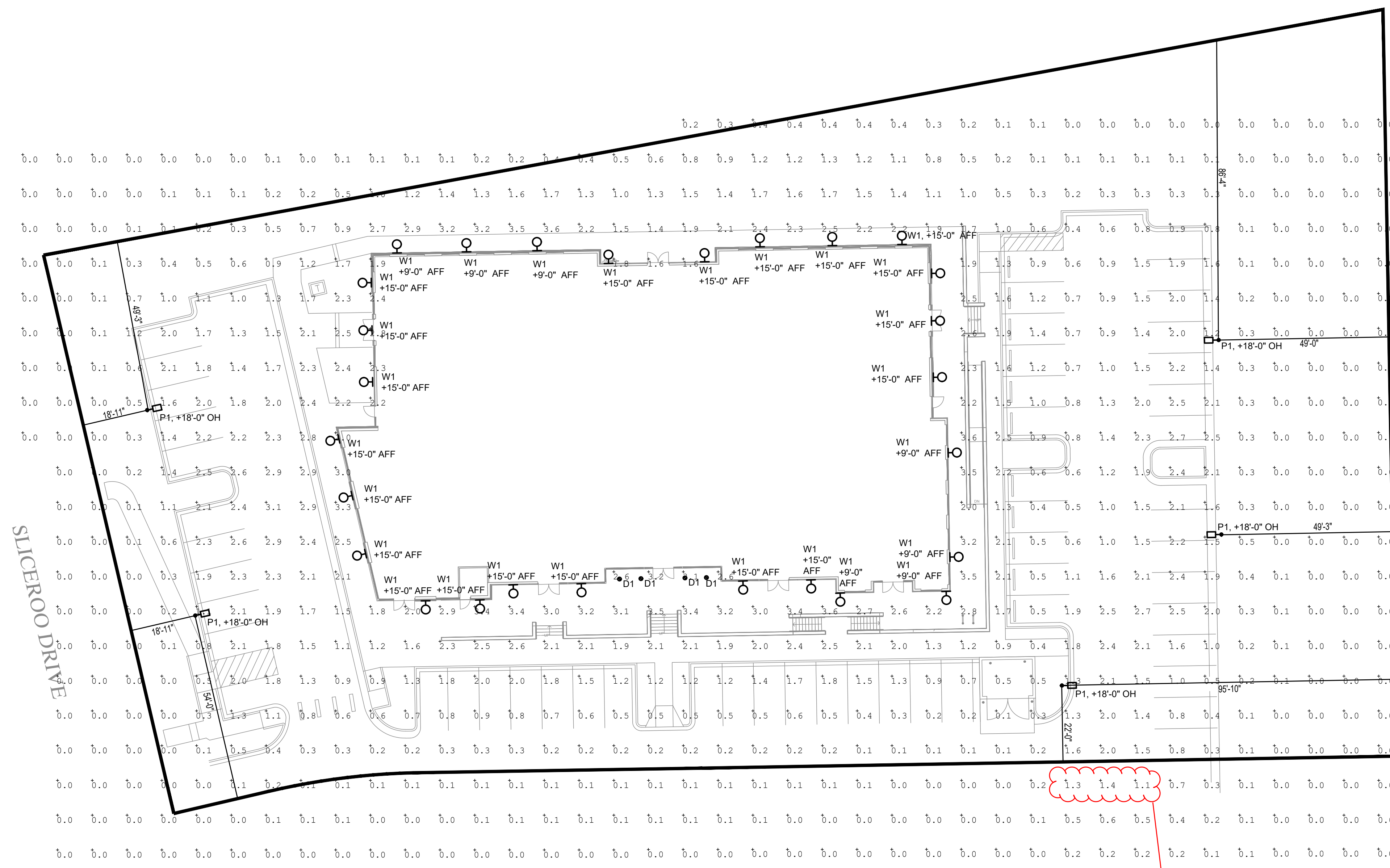
LUMINAIRE SCHEDULE															
TYPE	DESCRIPTION	MANUFACTURER OR APPROVED EQUIVALENT	CATALOG SERIES NUMBER OR APPROVED EQUIVALENT	LAMPS (QTY) TYPE	INPUT VA	DRIVER/ DIM PROTOCOL	LUMENS	VOLTAGE	BUG RATING	COLOR/ FINISH	MOUNTING				MOUNTING HEIGHTS
											R	S	P	W	
D1	8" SURFACE MOUNTED DOWNLIGHT, WIDE DISTRIBUTION	PRESCOLITE	LBSE-8RD-RM-30K8, LBSE-4RD-T-BL	LED 3000K	20	0-10V	1750	120/277	B2 U0 G1	BLACK		X			MOUNTED IN OVERHANG
P1	POLE MOUNTED AREA LIGHT, TYPE 4 WIDE DISTRIBUTION, FULL CUTOFF, BACKLIGHT CONTROL, DIMMING DRIVER, POLE BASE ABOVE GROUND +3'-0" AFF, POLE +15'-0", 18'-0" OVERALL HEIGHT	BEACON	VP-1-160L-35-3K8-4W-UNV-BLT-BC-ADT	LED 3000K	36.8	0-10V	3014	120/277	B0 U0 G1	BLACK MATTE TEXTURED (POLE & LUMINAIRE)			X		+18'-0" OH
W1	WALL SCONCE, TYPE 4 FORWARD DISTRIBUTION, FULL CUTOFF	BEACON	CY1-15-3K8-1-4-UNV-BLT-R-FPP	LED 3000K	10	0-10V	1161	120/277	B0 U0 G0	BLACK MATTE TEXTURED			X		VARIES (SEE PLANS)

ABBREVIATIONS: BF - BOTTOM OF FIXTURE; OH - OVERALL FIXTURE HEIGHT; RD - RECESSED FIXTURE DEPTH; AFF - ABOVE FINISHED FLOOR

SITE CALCULATION STATISTICS:					
AREA	AVG (FC)	MAX (FC)	MIN (FC)	MAX/MIN	AVG/MIN
SITE	0.9	3.6	0.0	N/A	N/A
DRIVE AISLE	0.9	3.1	0.0	N/A	N/A
PARKING	1.2	2.7	0.2	13.5:1	6:1
PROPERTY LINE	0.1	2.0	0.0	N/A	N/A

(*)NOTE: THESE VALUES ARE RATIOS, NOT FOOTCANDLES. RATIOS REPRESENT QUANTITATIVE RELATION BETWEEN TWO VALUES AND ARE UNITLESS

- (THIS SHEET)
- GENERAL NOTES**
- NO SUBSTITUTIONS, ADDITIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY THE TOWN OF PARKER.
 - PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY THE TOWN MAY REQUIRE CERTIFICATION THAT THE PROPERTY IS COMPLIANT WITH THE APPROVED PLANS AND REGULATIONS OF THE TOWN.
 - ALL CALCULATIONS ARE DONE WITH LIGHT LOSS FACTOR OF 1.0
 - ALL CALCULATION POINTS ARE AT GRADE.
 - ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE RIGHT OF WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
 - ALL OUTDOOR LIGHTING SHALL HAVE LIGHT SOURCES THAT ARE CONCEALED BY A FULL CUTOFF LIGHTING FIXTURE SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM ANY STREET RIGHT-OF-WAY OR ADJACENT PROPERTIES. IN ORDER TO DIRECT LIGHT DOWNWARD AND MINIMIZE THE AMOUNT OF LIGHT SPILL INTO THE NIGHT SKY AND ONTO ADJACENT PROPERTIES, ALL LIGHTING FIXTURES SHALL BE FULL CUTOFF LIGHTING FIXTURES.
 - SIGNAGE LIGHTING SHALL BE APPROVED AS PART OF A SEPARATE SIGN PERMIT.
 - LUMINAIRES SHALL BE SHIELDED AND DIRECTED TO AVOID GLARE AND OVERSPILL ONTO ADJACENT PROPERTY.
 - ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF FIXTURES THAT ARE DIRECTED DOWNWARD (90 DEGREES FROM TRUE VERTICAL) AND SHALL HAVE FLAT LENSES, EMITTING NO MORE THAN 10 PERCENT OF THE TOTAL LUMENS BETWEEN 80 AND 90 DEGREES FROM TRUE VERTICAL. FIXTURES SHALL BE CONFIGURED SO THAT LIGHTS DO NOT CAUSE GLARE.
 - ALL LIGHT FIXTURES ON STRUCTURES, POLES, BOLLARDS, STANDS, OR MOUNTED ON A BUILDING SHALL HAVE A SHIELD, ADJUSTABLE REFLECTOR, AND/OR NON-PROTRUDING DIFFUSER TO SHIELD THE LIGHT SOURCE FROM SIGHT FROM ADJACENT RESIDENTIAL ZONING DISTRICTS.
 - MOTION-ACTIVATED SECURITY LIGHTING SHALL BE TIMED TO TURN OFF AFTER NOT MORE THAN FIVE MINUTES AFTER MOTION ACTIVATION.
 - WALL PACKS ON THE EXTERIOR OF THE BUILDING SHALL BE FULLY SHIELDED (E.G., TRUE CUT-OFF TYPE BULB OR LIGHT SOURCE NOT VISIBLE FROM OFF-SITE) TO DIRECT THE LIGHT VERTICALLY DOWNWARD.



Maximum lumens at property line is 1 per section 13.08.110 (4)

SITE PHOTOMETRIC PLAN
 DOUGLAS 234 FILING NO. 6, AMD. 2
 DATE: OCTOBER 2, 2025
 SHEET LT1

SITE PLAN

HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

BUILDING ELEVATIONS STUCCO/EIFS CALCULATIONS					
ELEVATION	WALL AREA	AREA (SF)		TRANSPARENCY	
		STUCCO AREA	PROVIDED	REQUIRED	MAX.
NORTH	2,092	39	1.9%	30%	
EAST	4,069	937	23.0%	30%	
SOUTH	3,815	980	25.7%	30%	
WEST	2,650	39	1.5%	30%	

BUILDING ELEVATIONS TRANSPARENCY CALCULATIONS BETWEEN 2' AND 8'					
ELEVATION	TOTAL WALL 2'-8" HIGH	AREA (SF)		TRANSPARENCY	
		TRANSPARENCY 2'-8" HIGH	PROVIDED	REQUIRED	MIN.
NORTH	1,055	357	33.8%	25%	
EAST	600	323	53.8%	25%	
SOUTH	988	680	68.8%	30%	
WEST	601	361	60.1%	30%	

EXTERIOR FINISH LEGEND

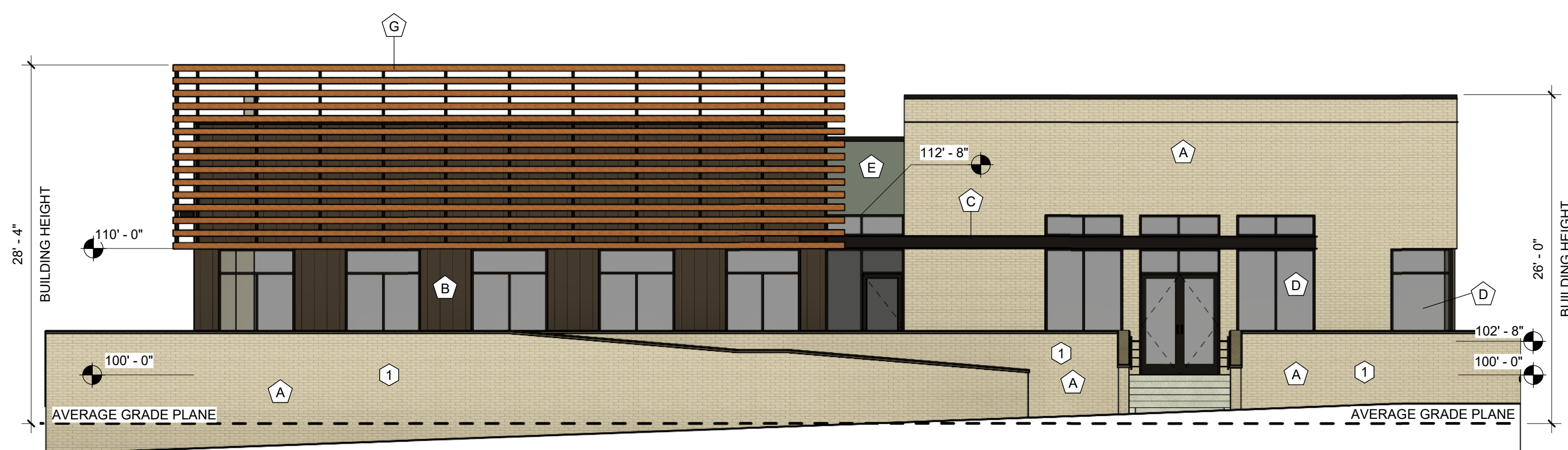
SYM.	MAT.	DESCRIPTION	MANUFACTURER / COLOR
A		BRICK VENEER	IVORY
B		FLUSH SEAM METAL PANELS	DARK BRONZE
C		ALUMINUM STOREFRONT/ PAINTED STEEL	DARK BRONZE
D		TINTED/INSULATED GLAZING	GRAY TINT
E		STUCCO	LIGHT GREY/GREEN
F		STUCCO/ TEXTURED CONCRETE AT RETAINING WALLS	DARK GRAY
G		COMPOSITE WOOD	INWOOD AMERICAN OAK

KEY NOTES:

1. SITE CAST CONCRETE RETAINING WALL AND GUARDRAIL WITH BRICK VENEER FINISH AND PRECAST CONCRETE SLOPED TOP CAP.



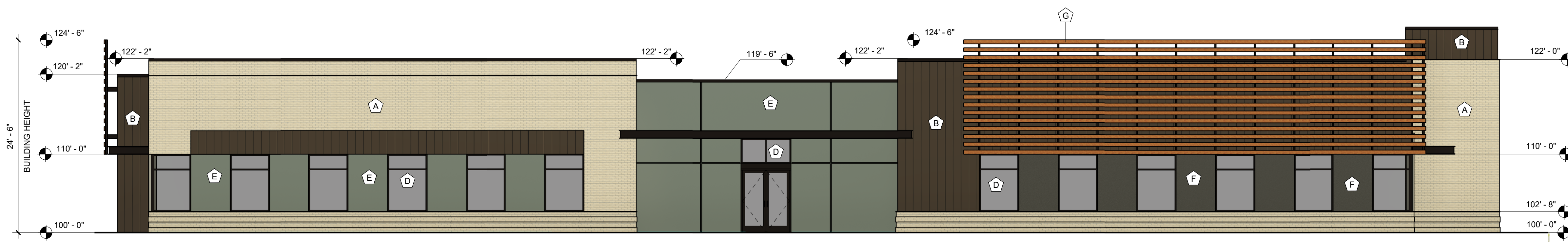
1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



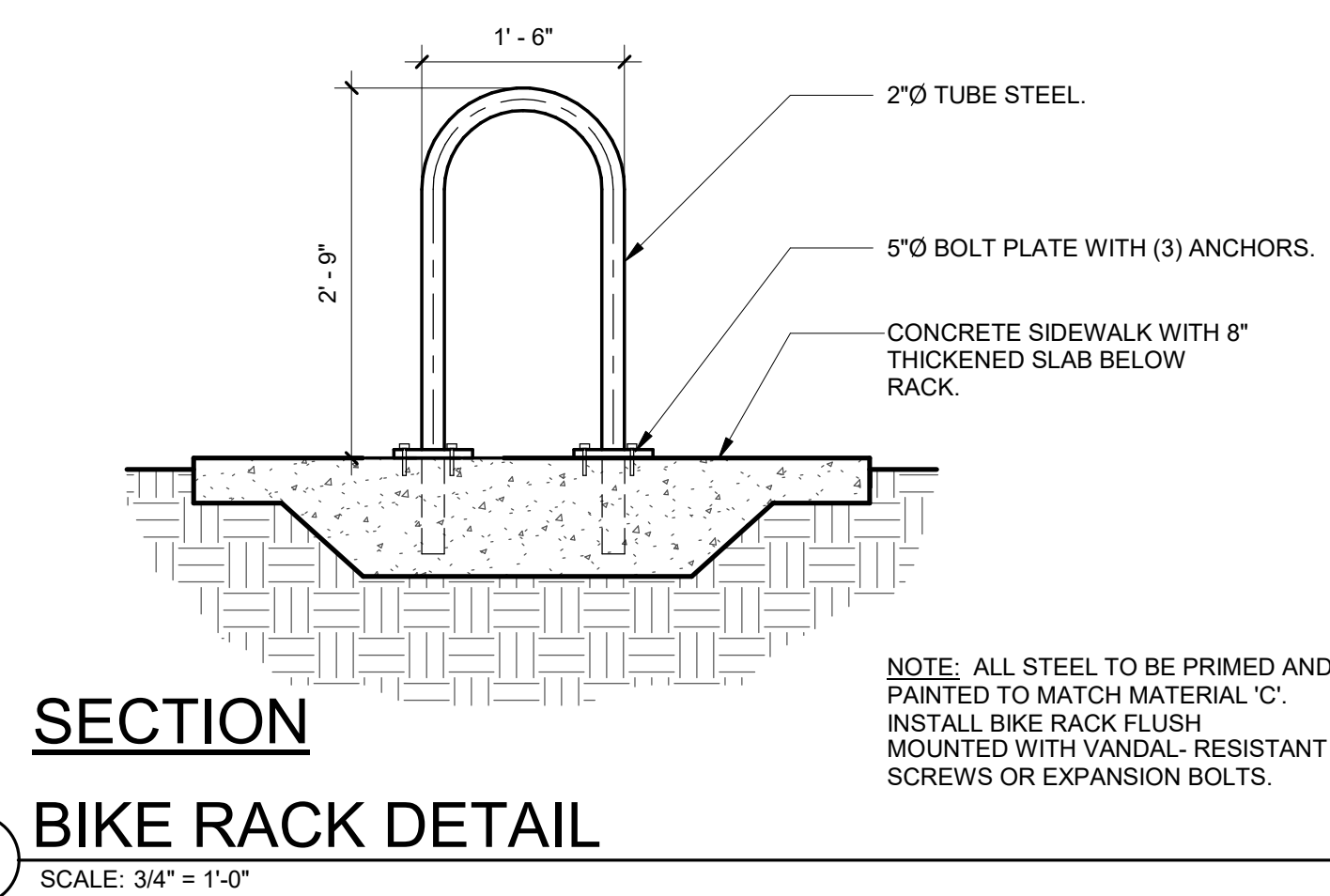
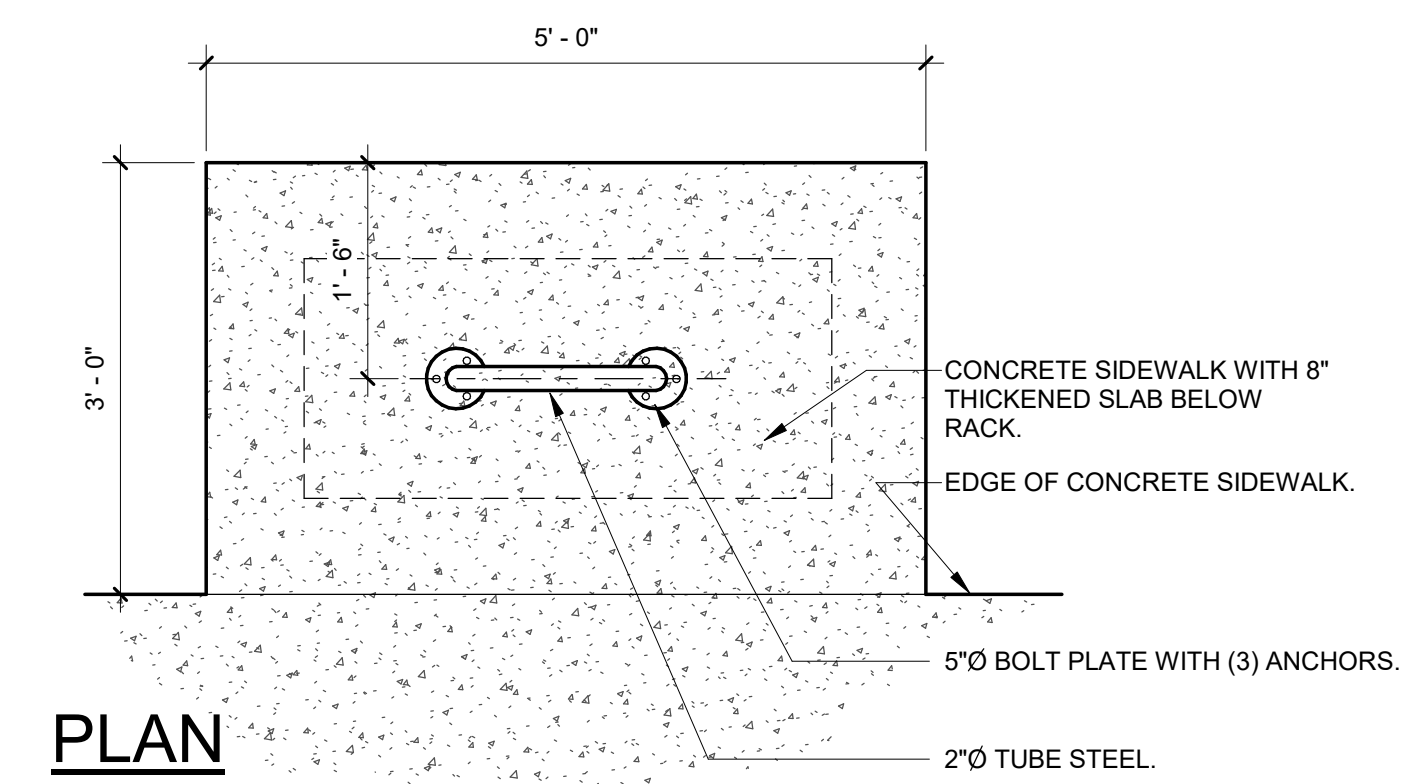
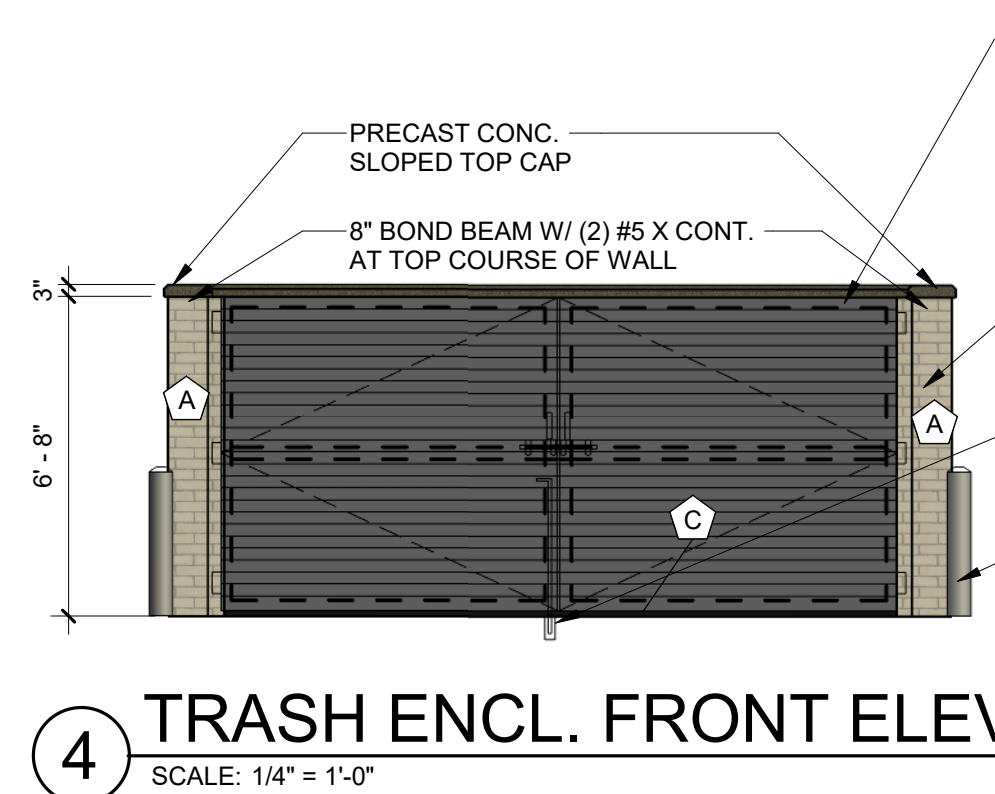
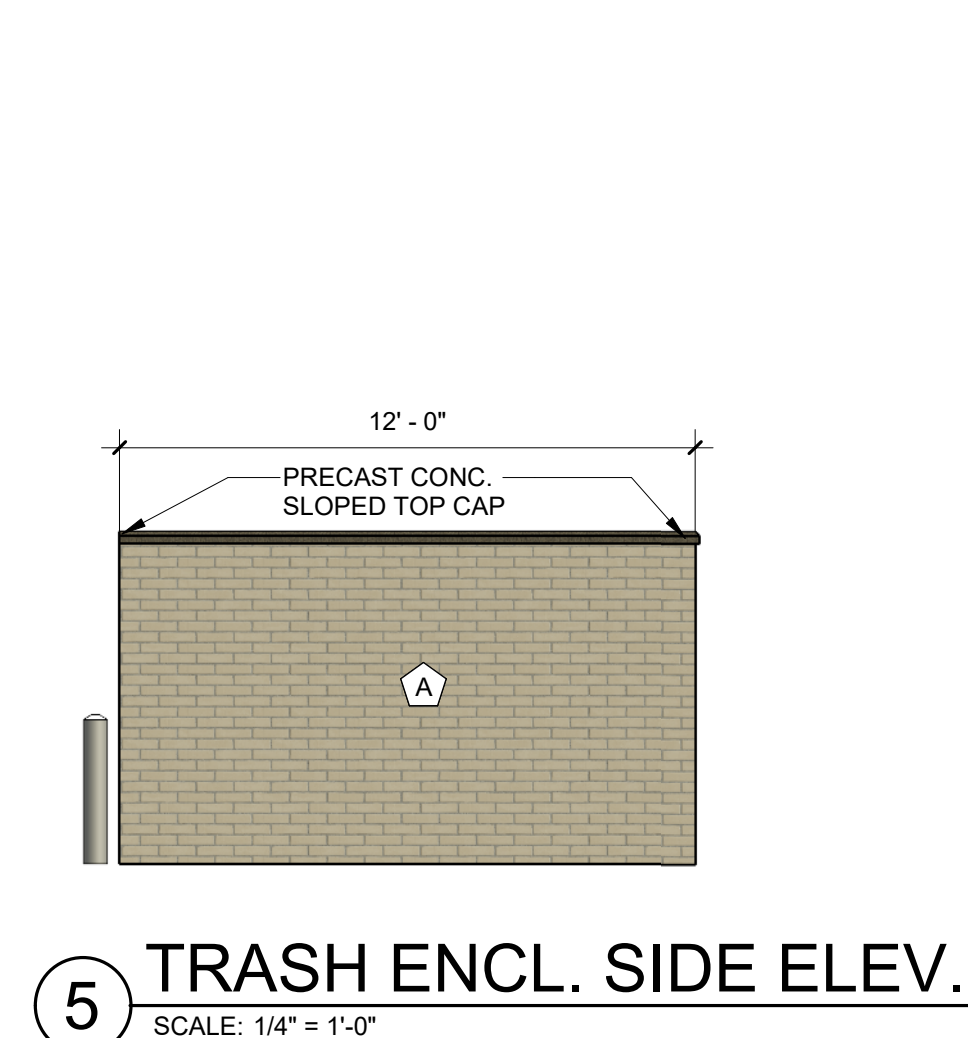
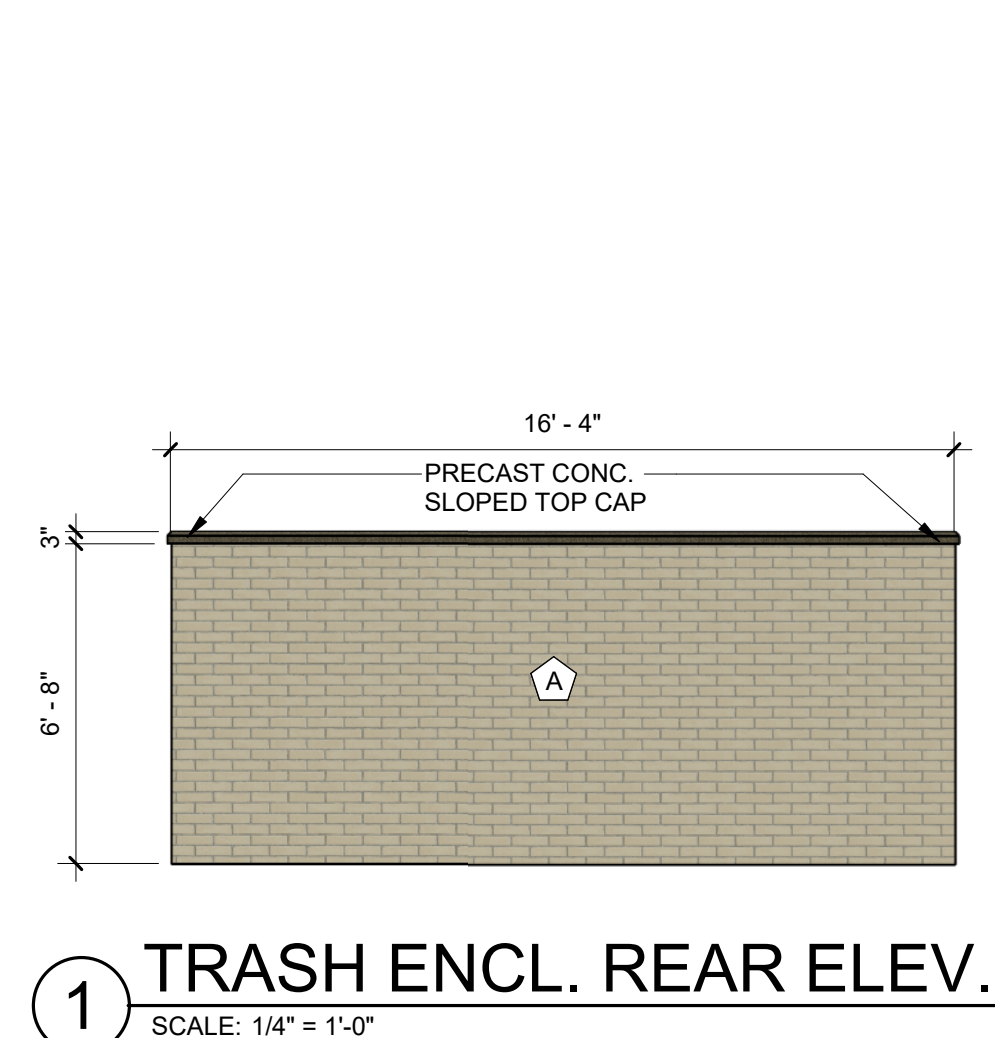
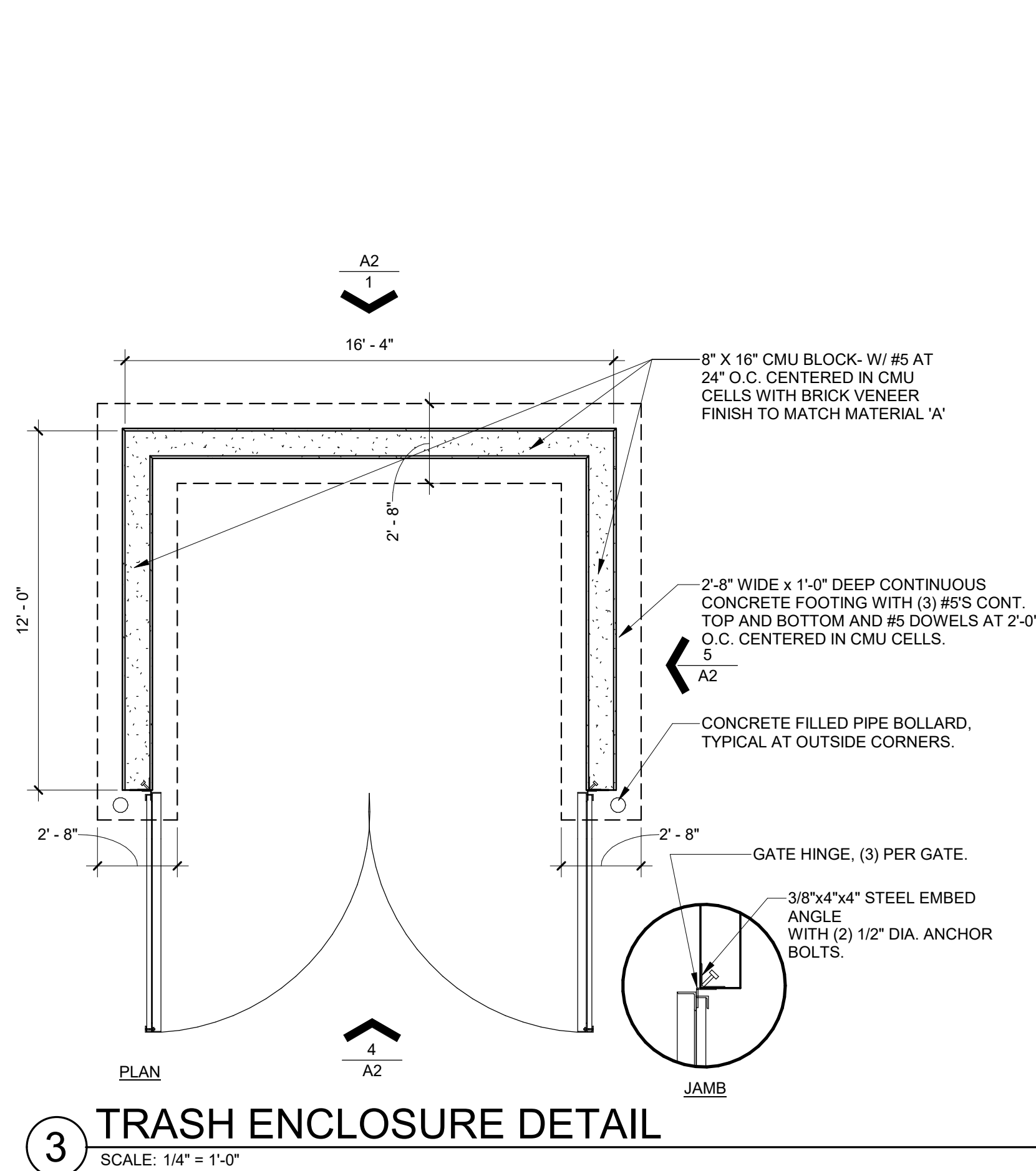
4 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS
 DOUGLAS 234 FILING NO. 6, AMD. 2
 DATE: FEBRUARY 17, 2025

SITE PLAN

HORSE CREEK COMMERCIAL

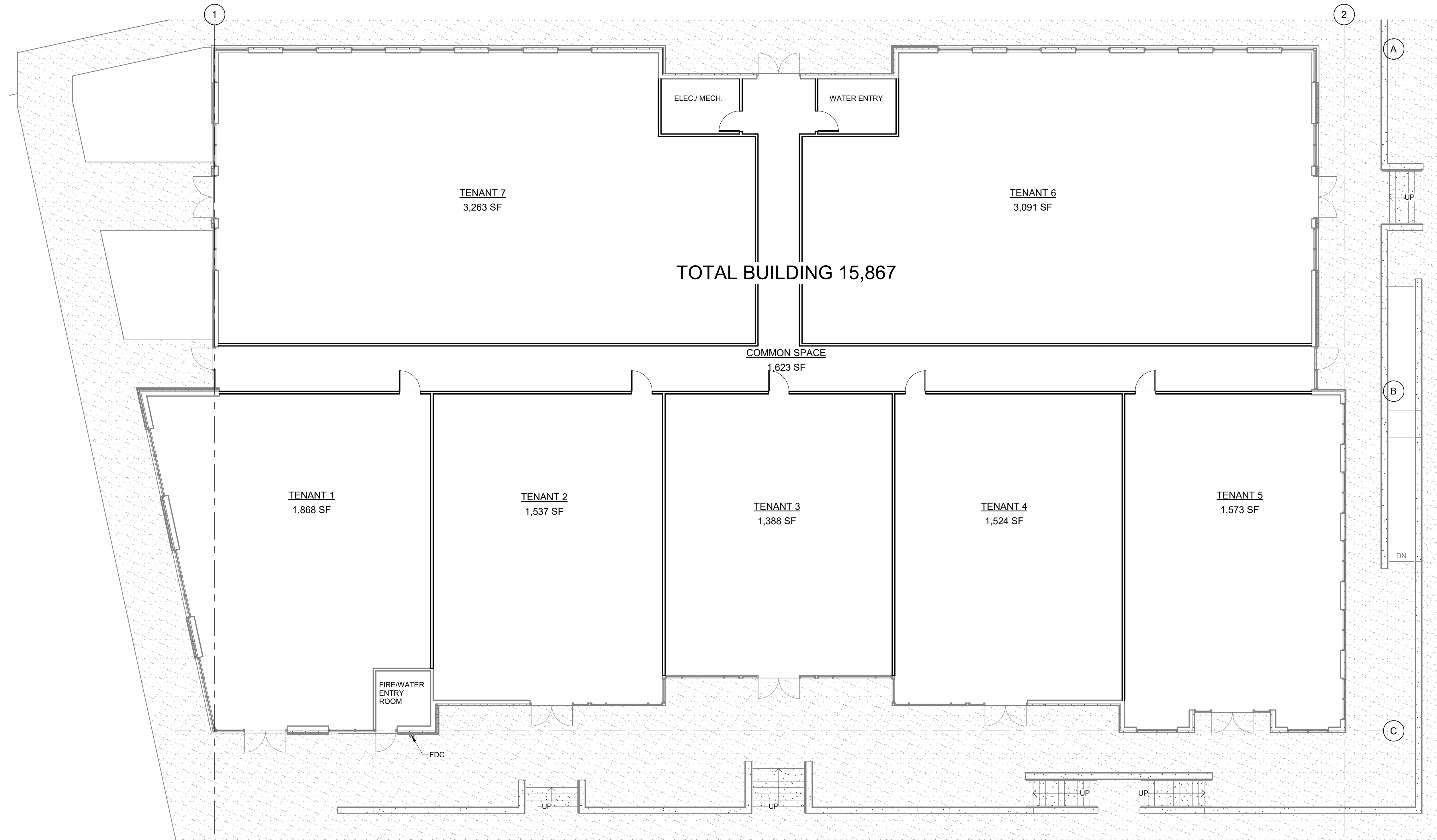
LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
 A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Spec needed for railings- color and material

SITE PLAN
HORSE CREEK COMMERCIAL

LOT 10B, DOUGLAS 234 FILING NO. 6, AMENDMENT 2
A PORTION OF THE SW 1/4, SE 1/4, SECTION 29, T6S, R66W, 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLANS
DOUGAS 234 FILING NO. 6, AMD. 2
DATE: FEBRUARY 17, 2025

A3
Adragna
architecture + development
7950 S. HANNIBAL CIRC. / 719.244.4023
ENGLEWOOD, CO 80112 / 719.351.4918
www.adragnaarch.com



Project Reviews Town of Parker

Project Number: SP25-021

Description: **Douglas 234 F6 AMD 2 L10B - Commercial Building**

Applied: **2/19/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: **PARKER, CO 80134**

Status: **UNDER REVIEW 2**

Applicant: **ADRAGNA ARCHITECTURE**

Parent Project: **SUB23-012**

Owner: **VR SLICEROO LLC**

Contractor: **<NONE>**

Details:

The applicant, Adragna Architecture, is proposing a Site Plan for a 15,877 sq. ft. commercial building. The site is located northeast of Hess Road and Chambers Road.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
2/24/2025	3/4/2025	3/4/2025	COMPLETENESS REVIEW	Amber Wood Hicken	REVISIONS REQUIRED	Fees
Notes:						
4/7/2025	4/7/2025	4/9/2025	COMPLETENESS REVIEW	Amber Wood Hicken	COMPLETED	
Notes:						
Review Group: AUTO						
2/19/2025			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
2/19/2025	2/25/2025	3/5/2025	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						
Review Group: SP						
10/6/2025	10/22/2025	10/27/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	APPROVED	
Notes: Revisions Completed.						



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10/6/2025	10/27/2025	10/27/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	ADVISORY COMMENTS	See uploaded Memo.
Notes: Please provide the name and title of the authorized signatory for drafting of the drainage easement when ready.						
10/6/2025	10/27/2025	10/27/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	COMPLETED	
Notes:						
10/6/2025	10/20/2025	10/27/2025	IREA 20	Brooks Kaufman	DENIED	Town approval for transformer
Notes: The applicant will be required to provide letter approval from the Town of Parker for the transformer location in the front setback. The applicant will be required to update the gas vs electric meter clearances and provide updated drawings for the EUSERC cabinet requirements for the building.						
10/6/2025	10/27/2025	10/27/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
10/6/2025		10/27/2025	SITE PLAN 20	Elizabeth Steward		
Notes:						
10/6/2025	10/10/2025	10/27/2025	SMFR PLANNING 20	South Metro Fire Rescue	APPROVED	
Notes:						
10/6/2025	10/27/2025	10/27/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						



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Project Reviews Town of Parker



Review Group: SP 1ST 20

4/7/2025	4/25/2025	5/5/2025	BUILDING 20	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:

Typically, accessible parking is required to meet the following:

1106.7 Location.

Accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible building entrance. In parking facilities that do not serve a particular building, accessible parking spaces shall be located on the shortest route to an accessible pedestrian entrance to the parking facility. Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrances.

The accessible parking provided does not appear to meet these requirements with a direct path to the access; the applicant shall revisit the parking and identify why the accessible parking cannot be provided on the southside of the building, west side of the site in order to meet the requirements of the code.

Typical comments are as follows:

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc.... Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then full plan review process may be able to begin.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72 and NFPA 13). NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

4/7/2025		5/5/2025	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

4/7/2025		5/5/2025	COMCAST 20	Butch Buster		
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Notes:



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Project Reviews Town of Parker



4/7/2025	5/2/2025	5/5/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP25-021 Douglas 234 F6 AMD 2 L10B - Commercial Building– 1st Environmental Review, 5-2-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend of Keys/Symbols, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
2. Please label and identify the ratio of all slopes that are 4:1 or steeper. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1.
3. NO WORK SHALL OCCUR AREAS must be shaded for easy identification.
4. Provide and identify the appropriate type of inlet protection from the Town’s four standard types for the existing and proposed inlets on the site and the adjacent site to the south. The site to the south has not been developed and the inlet protection should be for Area Inlets Not in Pavement. See the REDLINED EROSION CONTROL Plan Sheets in eTRAKiT attachments.
5. Please add the additional general note (#9): TOTAL DISTURBANCE AREA = 1.42 ACRES

INITIAL CBMP PLANS

6. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.

INTERIM/FINAL CBMP PLANS

7. Show Masonry Work Protection (MWP) on the plans in two locations for Construction of the building.
8. Identify Erosion Control Blanket (ECB) for all slopes steeper than 4:1 on the Interim and Final plan sheets.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:
https://drive.google.com/file/d/1oE5TRyFktV-bdRygdwIqhwaf3eQJxzs/view?usp=drive_link

4/7/2025	5/2/2025	5/5/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

4/7/2025	5/6/2025	5/5/2025	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward	NO COMMENT	
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Notes:

4/7/2025	4/7/2025	5/5/2025	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals	NOT APPLICABLE	
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Notes:

N/A



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Project Reviews Town of Parker



4/7/2025	5/1/2025	5/5/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals	ADVISORY COMMENTS	
Notes: See the attached Referral Comments Report.						
4/7/2025	5/2/2025	5/5/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
4/7/2025	4/10/2025	5/5/2025	ECONOMIC DEVELOPMENT 20	Weldy Feazell	NO COMMENT	
Notes:						
4/7/2025	4/28/2025	5/5/2025	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	SeeNotes
Notes: Address all comments in response letter, as required. A written response to this letter shall be uploaded to this application identifying how the modification was made and where/what document and sheet number the correction can be found. Response letter is uploaded to this application.						
4/7/2025	5/4/2025	5/5/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	
Notes: The applicant will be required to revise transformer location to meet the Town of Parker requirements. The proposed electric metering location to be revised to meet clearances from gas and door openings. Revise landscape plan to meet the Town of Parker location requirements and CORE's clearance requirements.						
4/7/2025	5/1/2025	5/5/2025	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
Notes: please see attached						
4/7/2025	5/2/2025	5/5/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
4/7/2025	5/5/2025	5/5/2025	SITE PLAN 20	Amber Wood Hicken	REVISIONS REQUIRED	
Notes: see planning comments 01						
4/7/2025		5/5/2025	SOUTH METRO FIRE 20	South Metro Fire		
Notes:						



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Project Reviews Town of Parker



4/7/2025	5/2/2025	5/5/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
Review Group: SP 1ST 20 ADD						
4/7/2025	4/30/2025	5/5/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes:						
Please see uploaded review letter.						
Please feel free to reach out with any questions you may have.						
Review Group: SP ADD						
10/6/2025	10/21/2025	10/27/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	APPROVED	See notes
Notes:						
Site plans approved PWSD.						