



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Kristopher Apanian, TAIT & Associates, Inc.
FROM: Amber Wood Hicken, Planner I
DATE: 6/3/25
SUBJECT: Parker Pointe, Auto Parts Store, Site Plan
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Amber Wood Hicken

EMAIL: ahicken@parkerco.gov

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not send the application for referral without with this naming convention.
Example: "02" or "Second Submittal"

Site Plan and Project Details

1. Please see the attached redlines for planning comments.
2. Please submit photometric plan, landscape plan, elevations, and site plan as one document in future submittals.

OUTSIDE REFERRAL AGENCY COMMENTS

The following reviews in eTRAKiT have "Advisory Comments" or "Revisions Required:"

- Construction plans – environmental
- Construction plans – civil
- Fire life safety
- IREA (CORE)
- Parker Water and Sanitation
- Public Service Company of Colorado (Xcel)
- Site plan – civil

O'Reilly AUTO PARTS

O'REILLY AUTO PARTS PARKER, CO (PK2)

LOT 1 OF PARKER POINTE SUBDIVISION FILING NO 1

LOCATED IN THE NORTHEAST 1/4 SECTION OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST, OF THE 6TH P.M., TOWN OF PAKER, COUNTY OF DOUGLAS, STATE OF COLORADO

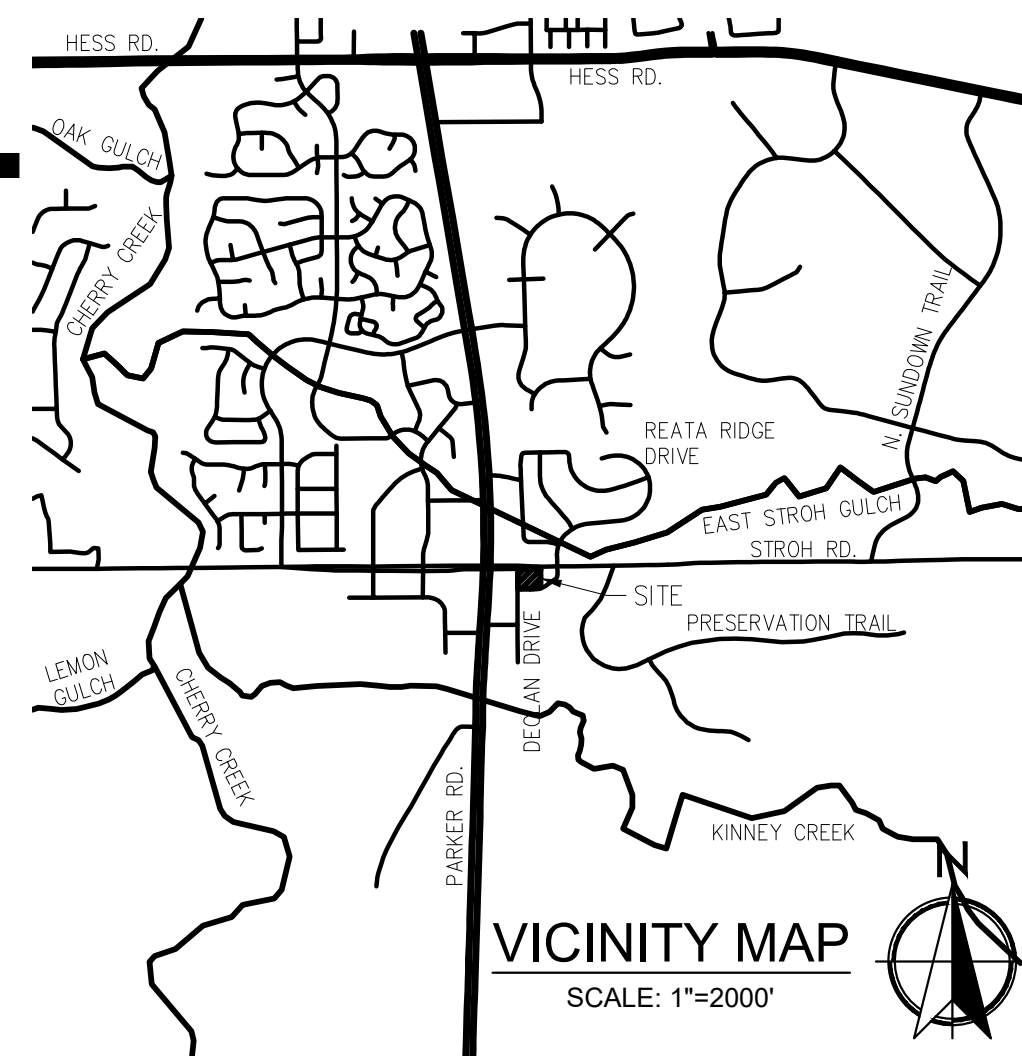
TOWN OF PARKER CONTACTS

BUILDING
JON NELSON
JNELSON@PARKERCO.GOV
(303) 805-3194

FIRE LIFE SAFETY
RANDY CAPRA
RCAPRA@PARKERCO.GOV
(303) 805-3163

ENGINEERING
ALEX MESTDAGH
AMESTDAGH@PARKERCO.GOV
(303) 805-3204

PLANNING
AMBER WOOD HICKEN
AHICKEN@PARKERCO.GOV
(303) 805-3338



VICINITY MAP
SCALE: 1"=2000'

UTILITY PURVEYORS

WATER/SEWER
PARKER WATER AND SANITATION DISTRICT
LISA SINDALL
(303) 841-4627

NATURAL GAS
XCEL ENERGY
(800) 628-2121

ELECTRIC
CORE ELECTRIC COOPERATIVE
BROOKS KAUFMAN
(303) 688-3100

TELEPHONE
CENTURYLINK
(720) 578-5142

SHEET INDEX

CT1.3	SITE PLAN COVER SHEET
C2.1	SITE DEVELOPMENT PLAN
C2.2	SITE DETAILS
C2.3	REFUSE ENCLOSURE
L1.0	LANDSCAPE PLAN
L1.5	LANDSCAPE DETAILS
L2.0	IRRIGATION PLAN
L2.5	IRRIGATION DETAILS
SP1	SITE LIGHTING PHOTOMETRICS
SP2	SITE LIGHTING DETAILS
SP3	SITE LIGHTING DETAILS
A2.1	EXTERIOR ELEVATIONS
CE1	COLOR ELEVATIONS

LAND USE SUMMARY

LOT AREA	0.999 AC / 43,516 SF
PROPOSED USE	COMMERCIAL RETAIL
DWELLING UNITS	NONE
TOTAL BUILDINGS	1
BUILDING GFA	8,000 SF

SETBACKS: REQUIRED	25' BUILDING SETBACK
	8' 1/4" LANDSCAPE BUFFER
PROVIDED	25' BUILDING SETBACK
	8' 1/4" LANDSCAPE BUFFER

PARKING: CALCULATION	1 SPACE PER 300 SF GFA
TOTAL REQUIRED	27
TOTAL PROVIDED	27
ACCESSIBLE REQUIRED	2
ACCESSIBLE PROVIDED	2

BICYCLE PARKING: CALCULATION	2 PER 10,000 SF GFA
REQUIRED	2
PROVIDED	2

PERCENTAGE LANDSCAPE REFER TO LANDSCAPE PLANS

O'Reilly AUTO PARTS

O'REILLY AUTO ENTERPRISES, LLC
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

BIDDING INFORMATION:
REFER TO OWNER'S WEB SITE:
[HTTP://WWW.OIREILLYPLANROOM.COM](http://www.oireillyplanroom.com)

NOTE: REFER TO CURRENT PROJECTS LIST, LOCATED AT BOTTOM OF SIGN IN PAGE, FOR INVITED GENERAL CONTRACTORS.

ALL SUB-CONTRACTOR BIDS TO BE SUBMITTED TO INVITED GENERAL CONTRACTORS ONLY.

CONTACT OWNER'S DESIGNATED REPRESENTATIVE FOR ADDITIONAL PROJECT INFORMATION.

CIVIL ENGINEER

TAIT & ASSOCIATES
Since 1964

320 North Lincoln Avenue
Loveland, CO 80537
p: 970.613.1447
www.tait.com

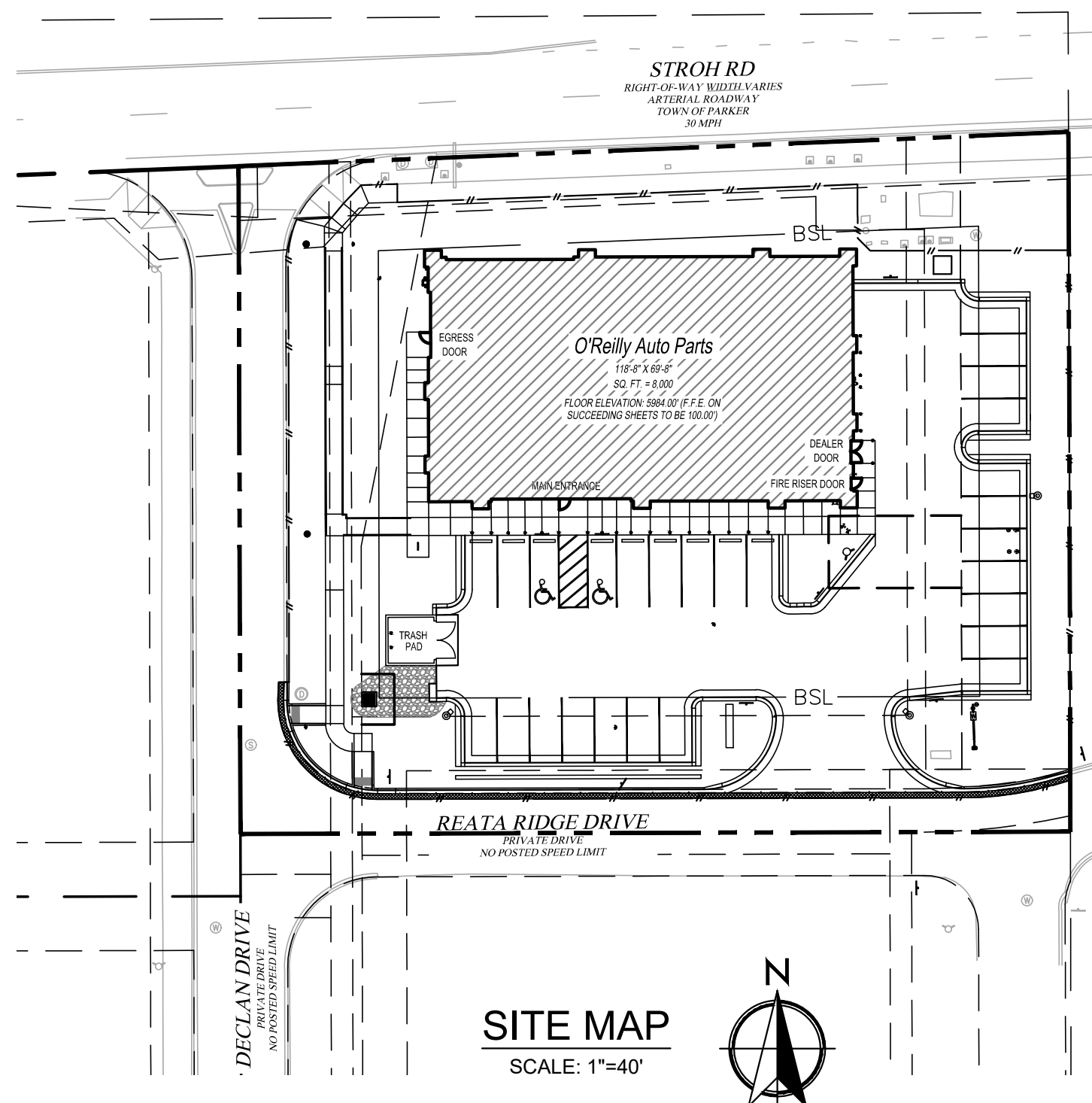
ENGINEERING ENVIRONMENTAL BUILDING LAND
Santa Ana Sacramento Denver Dallas
San Luis Obispo Riverside Boise

ABBREVIATIONS

BACK OF CURB	BC	FLOW LINE	FL
BOTTOM OF PIPE	BOP	FINISHED SURFACE	FS
CURB FACE	CF	INVERT	INV
EXPOSED FOUNDATION	EF	SIDEWALK	SW
EXISTING GROUND	EG	TOP OF CURB	TC
EXISTING SURFACE	ES	TOP OF GRATE	TOG
FINISHED FLOOR	FF	TOP OF PIPE	TOP

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.



SITE MAP
SCALE: 1"=40'

GENERAL NOTES

- CONTRACT ADMINISTRATION (LIMITED SERVICE):** THE ARCHITECT AND/OR ENGINEER OF RECORD INDICATED HEREIN ARE PROVIDING A LIMITED SERVICE AND NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT WHICH IS THE RESPONSIBILITY OF OTHERS. THE ARCHITECT AND/OR ENGINEER ARE NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT INSPECTION OF THE WORK IN PROGRESS. IF FIELD CONDITIONS ARE UNCOVERED THAT REQUIRE A CHANGE OR ADDITIONAL INFORMATION, THE ARCHITECT AND/OR ENGINEER DOES NOT DELEGATE AUTHORITY TO ANYONE ELSE FOR DETERMINING THE MEANING OF PLANS OR SPECIFICATIONS AS AUTHENTICATED HEREIN.
- QUALITY STANDARDS AND BUILDING CODES:** CONTRACTORS SHALL BE RESPONSIBLE FOR KNOWING THE QUALITY AND PUBLIC SAFETY REGULATIONS SET FORTH IN THE GOVERNING CODES AND OTHER APPLICABLE REGULATIONS OF LOCAL AND STATE AGENCIES HAVING JURISDICTION WHICH GOVERN EACH CONTRACTOR'S WORK.
- EXISTING CONDITIONS:** FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK. NOTIFY THE ARCHITECT AND/OR ENGINEER OF RECORD IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

QUALITY CONTROL

- REFER TO PROJECT MANUAL, SECTION 01 45 16 - QUALITY CONTROL PROCEDURES, FOR ADDITIONAL REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR SCHEDULE OF SPECIAL INSPECTIONS, IF INDICATED.
- WHERE REQUIRED, THE OWNER SHALL PROVIDE THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING AND SPECIAL INSPECTIONS INDICATED.

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

BENCHMARK

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BASIS OF BEARING

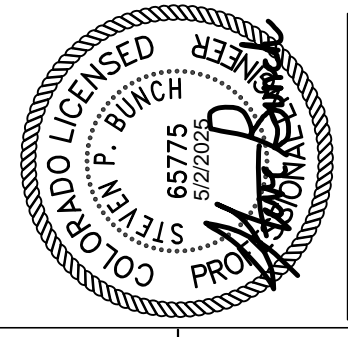
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UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.



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LEGAL DESCRIPTION

LOT 1, PARKER POINTE SUBDIVISION, FILING NO. 1 ACCORDING TO THE PLAT RECORDED JANUARY 7, 2022, AT RECEPTION NO. 2022001733, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED, AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION THREE (3), TOWNSHIP SEVEN (7) SOUTH, RANGE SIXTY-SIX (66) WEST OF THE SIXTH PRINCIPAL MERIDIAN AND CONSIDERING THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3 AS AN ASSUMED BEARING OF NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THENCE ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 3 SOUTH 00°09'20" EAST 33.18 FEET TO THE NORTHEAST CORNER OF LOT 1 OF PARKER POINTE SUBDIVISION, FILING NO. 1, SAID POINT BEING THE POINT OF BEGINNING.

THENCE ALONG THE EASTERLY, SOUTHERLY, WESTERLY, AND NORTHERLY LINES OF SAID LOT 1 THE FOLLOWING FOUR (4) COURSES:

- SOUTH 00°09'20" EAST 193.73 FEET;
- SOUTH 89°50'40" WEST 229.86 FEET;
- NORTH 00°09'20" WEST 184.90 FEET
- NORTH 87°38'41" EAST 230.03 FEET TO THE POINT OF BEGINNING

CONTAINING 43,516 SQUARE FEET OR 0.999 ACRES MORE OR LESS.

EARTHWORK SUMMARY

ESTIMATED CUT:	661 CUBIC YARDS
ESTIMATED FILL:	495 CUBIC YARDS
ESTIMATED NET:	166 CUBIC YARDS (EXPORT)
ESTIMATED OVER-EXCAVATION:	985 CUBIC YARDS
STEEPEST PROPOSED SLOPE:	3:1
TOTAL DISTURBANCE:	35,105 SF (0.81 AC)
EXISTING IMPERVIOUS AREA:	65,754 SF (0.16 AC)
PROPOSED IMPERVIOUS AREA:	30,270 SF (0.70 AC)
AREA OF LAND DISTURBANCE:	35,105 SF (0.81 AC)
TREATED BY WATER QUALITY CONTROL MEASURES	

NOTE:
EARTHWORK QUANTITIES ARE CALCULATED USING AUTOCAD CIVIL 3D TO COMPARE THE DIFFERENCE BETWEEN THE EXISTING SURFACE (CREATED FROM THE SURVEY POINTS PROVIDED BY TAIT & ASSOCIATES) AND THE PROPOSED SURFACE. QUANTITIES ARE RAW NUMBERS TO BE USED FOR PERMIT PURPOSES ONLY. THESE FIGURES TO NOT INCLUDE REMEDIAL QUANTITIES, BULKING OR SHRINKAGE FACTORS. CONTRACTOR SHALL VERIFY QUANTITIES FOR CONSTRUCTION BID PURPOSES.

OVER-EXCAVATION QUANTITY ESTIMATED USING 2' OVER-EXCAVATION AT THE BUILDING FOUNDATION AND 8 INCH OVER-EXCAVATION FOR ALL OTHER PAVED SURFACES. SEE GEOTECHNICAL REPORT FOR DETAILS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

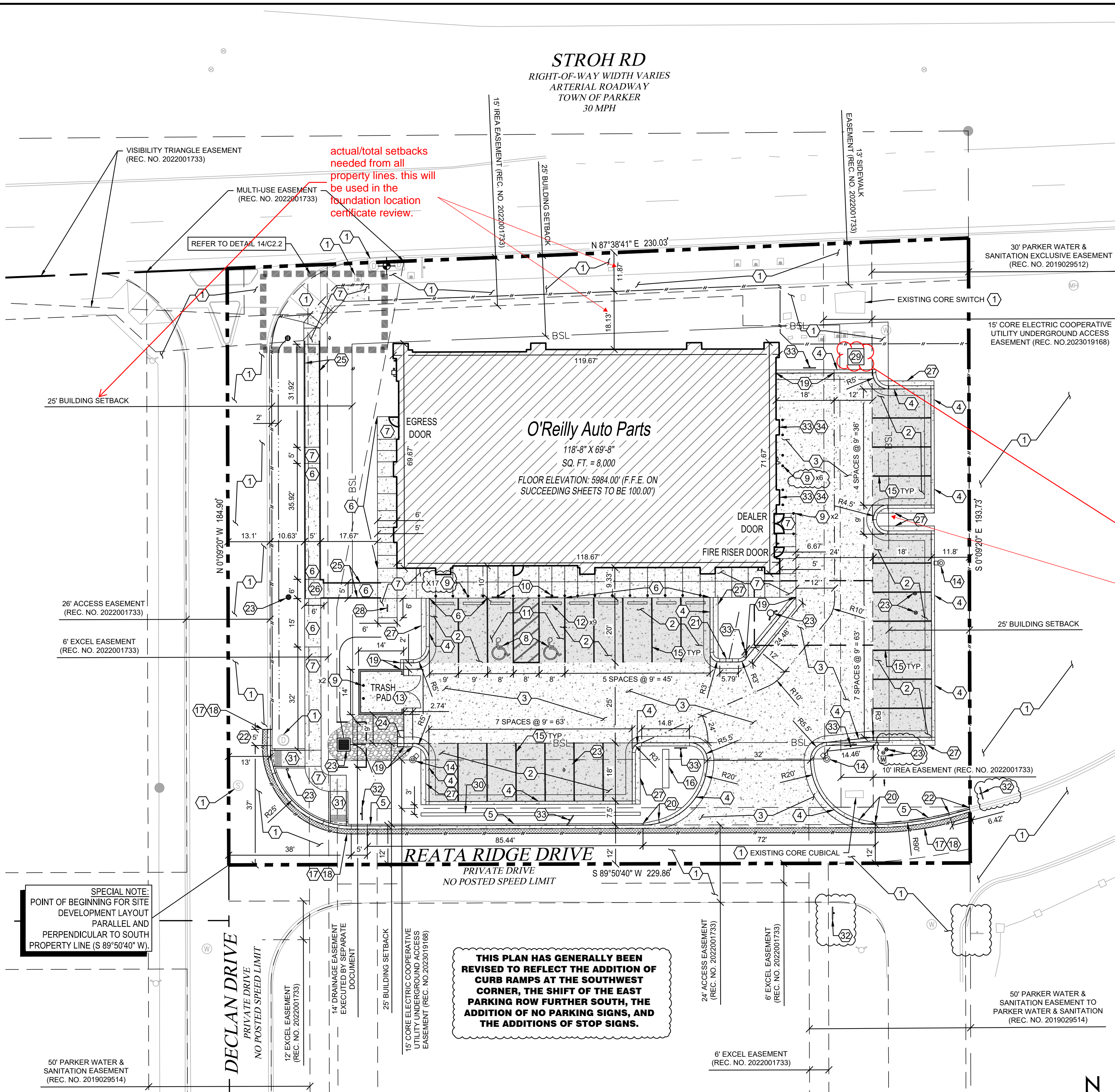
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

PROJECT: LOT 1 PARKER POINTE SUBDIVISION FILING 1

NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
SITE PLAN COVER SHEET

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4884
DATE: 05/02/2025
REVISION
DATE:



- ### KEY NOTES
- PROTECT EXISTING IMPROVEMENTS IN PLACE.
 - CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS. REFER TO DETAIL 2/C2.2
 - CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA. REFER TO DETAIL 1/C2.2
 - INSTALL CONCRETE CURB PER DETAIL 3/C2.2.
 - INSTALL TOWN OF PARKER MEDIAN CURB AND GUTTER SECTION PER DETAIL 13 ON SHEET C2.4.
 - INSTALL CONCRETE SIDEWALK CURB PER DETAIL 4/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
 - INSTALL CONCRETE SIDEWALK OR DOOR LANDING PER DETAIL 5/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT ADJACENT TO BUILDING PERIMETER.
 - INSTALL ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING PER DETAIL 6/C2.2.
 - INSTALL STEEL BOLLARD PER DETAIL 7/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, (6) ALONG EAST SIDE OF BUILDING AND PROVIDE (17) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR BOLLARDS ADJACENT TO BUILDING PERIMETER.
 - INSTALL ACCESSIBLE PARKING SIGN PER DETAIL 8/C2.2.
 - ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
 - INSTALL CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" L) ANCHORED TO PAVING WITH (2) 1'-6" LONG #4 REBAR.
 - REFUSE ENCLOSURE. REFER TO 1/C2.3.
 - PARKING LOT LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO SHEET US1 FOR MORE DETAIL.
 - INSTALL 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
 - SITE SIGN SHOWN FOR REFERENCE ONLY. REFER TO SHEET SG1.1 FOR CONSTRUCTION TYPE AND LOCATION. SIGN IS OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SHEET US1 FOR ADDITIONAL REQUIREMENTS. NOTE: SIGN APPROVAL NOT A PART OF THIS SITE PLAN AND SHALL BE APPROVED THROUGH SEPARATE PERMIT.
 - LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL 6" MINIMUM INTO EXISTING WITH #4 X 1'-6" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
 - 1.5' WIDE, 2" DEEP GRADE SX ASPHALT MILL & OVERLAY PER GEOTECHNICAL RECOMMENDATIONS.
 - TRANSITION TO 0" CURB OVER DISTANCE AS SHOWN.
 - 5' TRANSITION FROM 6" WIDE CURB TO 1' WIDE CURB.
 - 2' CURB CUT PER DETAIL 9/C2.2.
 - TRANSITION TO EXISTING 6" CURB AND GUTTER.
 - REFER TO SHEET C3.1 FOR STORM AND UTILITY IMPROVEMENT DETAILS.
 - INSTALL 5' X 2' CONCRETE SPLASH PAD RECESSED 2" MIN. FROM PARKING ACCESS AISLE PAVEMENT. REFER TO GRADING PLAN FOR ELEVATIONS.
 - INSTALL SIDEWALK RAMP RAILING PER DETAIL 16/C2.2.
 - 5' X 5' CLEAR SPACE AT RAMP CHANGE IN DIRECTION.
 - INSTALL 1.5' WIDE, 4" THICK CONCRETE STRIP ATTACHED TO PARKING STALL BACK OF CURB.
 - INSTALL INVERTED U BIKE RACK. SEE DETAIL 11/C2.2.
 - INSTALL TRANSFORMER PAD PER CORE ELECTRIC STANDARDS.
 - INSTALL PARKING LOT SCREENING WALL. REFER TO STRUCTURAL FOR MORE DETAIL.
 - INSTALL DIRECTIONAL CURB RAMP PER TOWN OF PARKER STANDARD DETAIL 15 ON SHEET C2.4. REFER TO DETAIL 14/C2.2 FOR SPECIFIC CONSTRUCTION DIMENSIONS.
 - INSTALL R1-1 STOP SIGN PER LATEST MUTCD STANDARDS.
 - INSTALL "NO PARKING FIRE LANE" SIGN PER DETAIL ON SHEET C2.4 AND THE LATEST MUTCD STANDARDS.
 - WALL MOUNT "NO PARKING FIRE LANE" SIGN PER DETAIL ON SHEET C2.4 TO BUILDING EXTERIOR PER ARCHITECT RECOMMENDATIONS.

ZONING CODE

ZONING CLASSIFICATION:	MIXED-USE COMMUNITY
PROPERTY AREA:	43,516 SF (0.999 AC)
PROPOSED BUILDING AREA:	8,000 SF
PROPOSED PARKING PAVEMENT:	12,900 SF
PROPOSED SIDEWALK PAVEMENT:	2,250 SF

PARKING SUMMARY	1 SP. PER 300 SF GFA
PARKING FORMULA:	9' X 20' AT BUILDING
SPACE SIZE:	9' X 18' ALL OTHER LOCATIONS
SPACES REQUIRED:	27
SPACES PROVIDED:	27
H.C. SPACES PROVIDED:	2

BUILDING SETBACK DISTANCE	
NORTH PROPERTY LINE	VARIABLE (25.4' MIN., 31.8' MAX)
EAST PROPERTY LINE	VARIABLE (58.8' MIN., 60.5' MAX)
SOUTH PROPERTY LINE	VARIABLE (59.8' MIN., 92.5' MAX)
WEST PROPERTY LINE	VARIABLE (51.4' MIN., 53.1' MAX)

- ### GENERAL NOTES
- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,500 PSI.
 - SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
 - COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
 - REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
 - PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

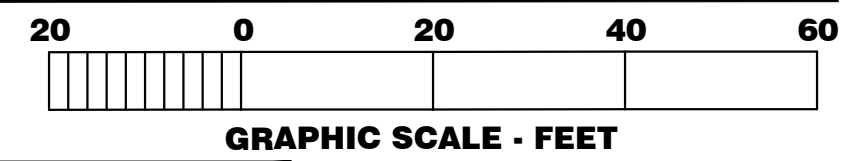
SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

---	RIGHT-OF-WAY
---	O'REILLY PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	BSL - BUILDING SETBACK LINE
---	ROAD CENTERLINE
---	LIMIT OF DISTURBANCE
---	PROPOSED SAWCUT
---	PROPOSED FLOWLINE
---	PROPOSED SIGN
---	PROPOSED WHEEL STC
---	PROPOSED BOLLARD
---	PROPOSED FDC
---	PROPOSED FIRE HYDR
---	PROPOSED GATE VALV
---	PROPOSED CLEANOUT
---	PROPOSED LIGHT POLE
---	PROPOSED BUILDING FOOTPRINT
---	PROPOSED LIGHT DUTY CONCRETE
---	PROPOSED HEAVY DUTY CONCRETE
---	PROPOSED MILL & OVERLAY
---	PROPOSED RIPRAP

1 SITE DEVELOPMENT PLAN

C2.1 SCALE: 1" = 20'-0"



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BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN ON THIS SURVEY PLAT AS BEARING NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

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THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

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ARCHITECT

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PROJECT: NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2

1.060032 SUBDIVISION FILING 1

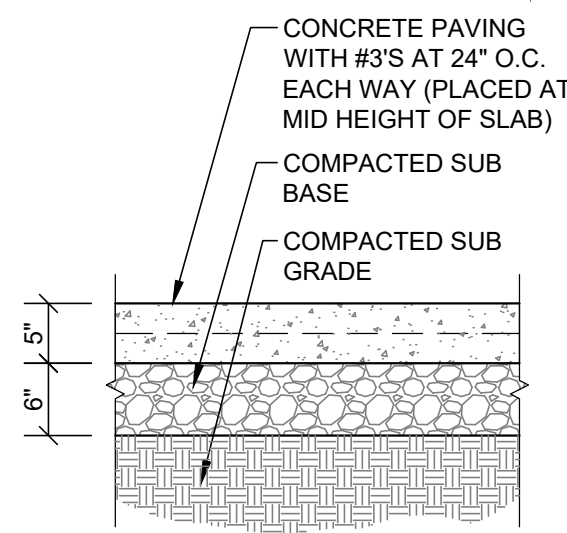
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM #	4884
DATE:	02/14/2025
REVISION	
DATE:	05/02/2025

PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)

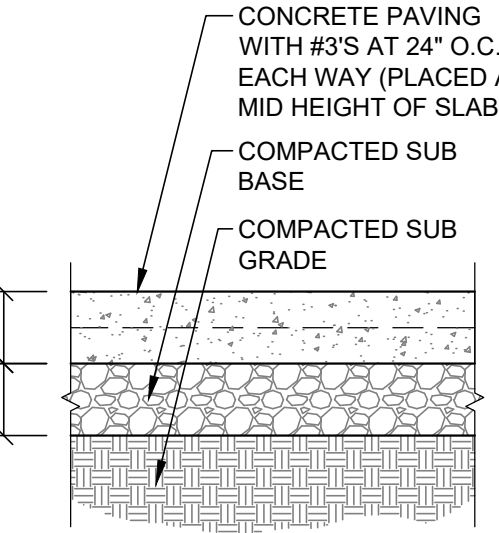


**PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT FROM GEG PROVIDED BY THE OWNER DATED 10/30/2024. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.

1 CONCRETE (STANDARD DUTY) PAVING SECTION

C2.2 SCALE: 3/4" = 1'-0"

PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)

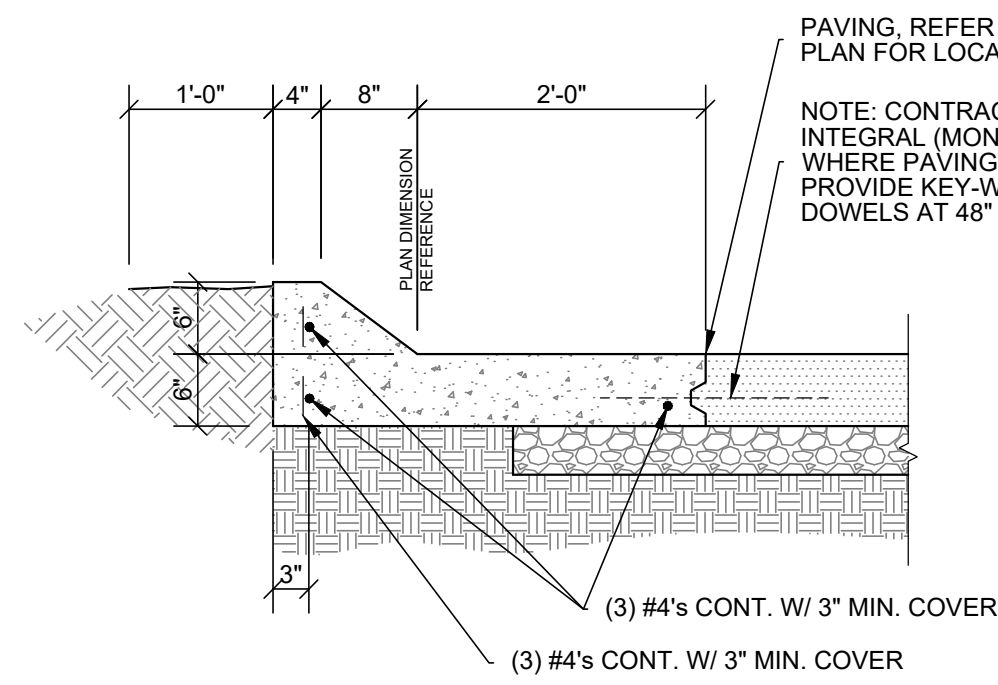


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2 CONCRETE (HEAVY DUTY) PAVING SECTION

C2.2 SCALE: 3/4" = 1'-0"

PROVIDE CONTROL JOINTS AT 10'-0" O.C. (25% SLAB THICKNESS)

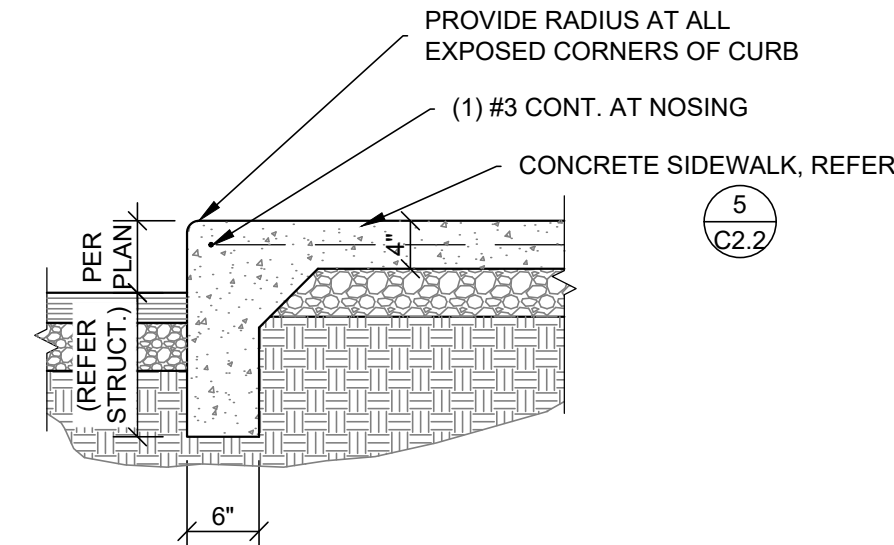


PAVING, REFER TO SITE DEVELOPMENT PLAN FOR LOCATION AND TYPE
NOTE: CONTRACTOR'S OPTION TO POUR INTEGRAL (MONOLITHIC) CURB AND PAVING. WHERE PAVING POURED SEPARATE, PROVIDE KEY-WAY OR #4 X 1'-0" DOWELS AT 48" O.C.

3 CONCRETE CURB SECTION

C2.2 SCALE: 3/4" = 1'-0"

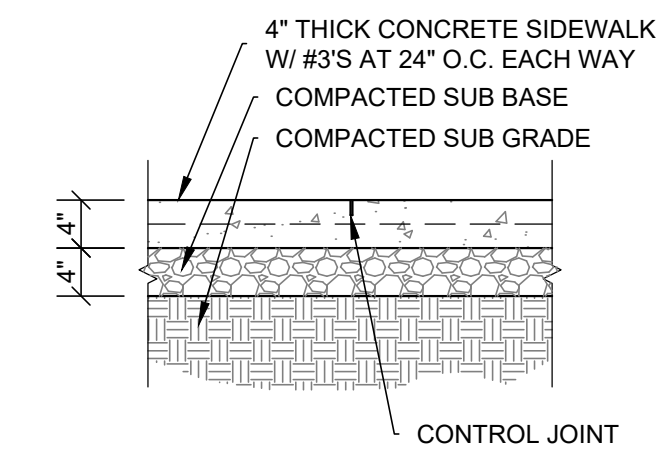
NOTE: REFER TO SITE GRADING PLAN FOR ELEVATIONS OF PAVEMENT ADJACENT TO SIDEWALKS.



4 CONCRETE SIDEWALK CURB SECTION

C2.2 SCALE: 3/4" = 1'-0"

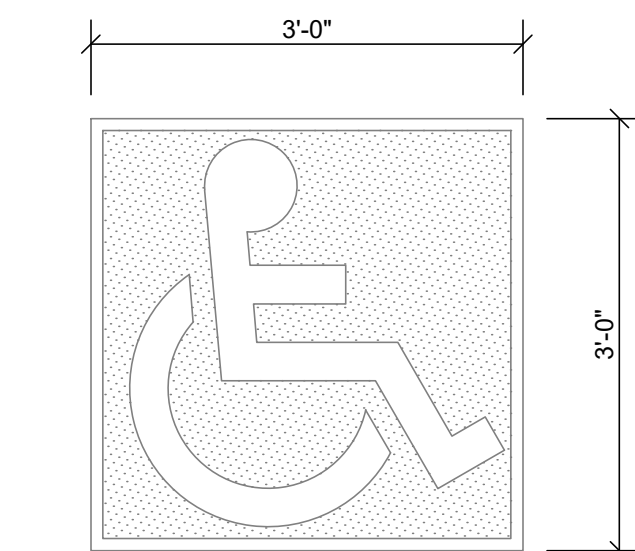
PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.



5 CONCRETE SIDEWALK SECTION

C2.2 SCALE: 3/4" = 1'-0"

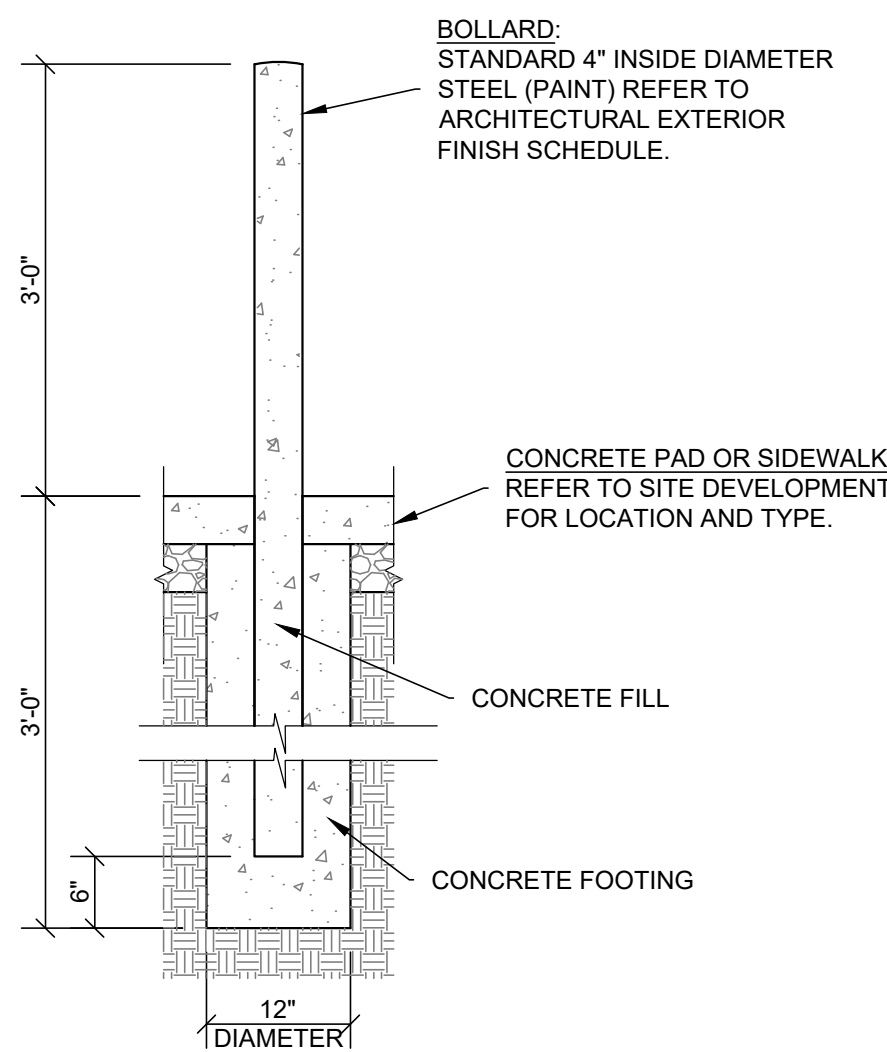
WHITE SYMBOL OF ACCESSIBILITY TO BE 36" HIGH BY 36" WIDE ON A BLUE BACKGROUND. (USE HIGHWAY GRADE MARKING PAINT)



6 ACCESSIBLE PARKING PAVEMENT STRIPING DETAIL

C2.2 SCALE: 3/4" = 1'-0"

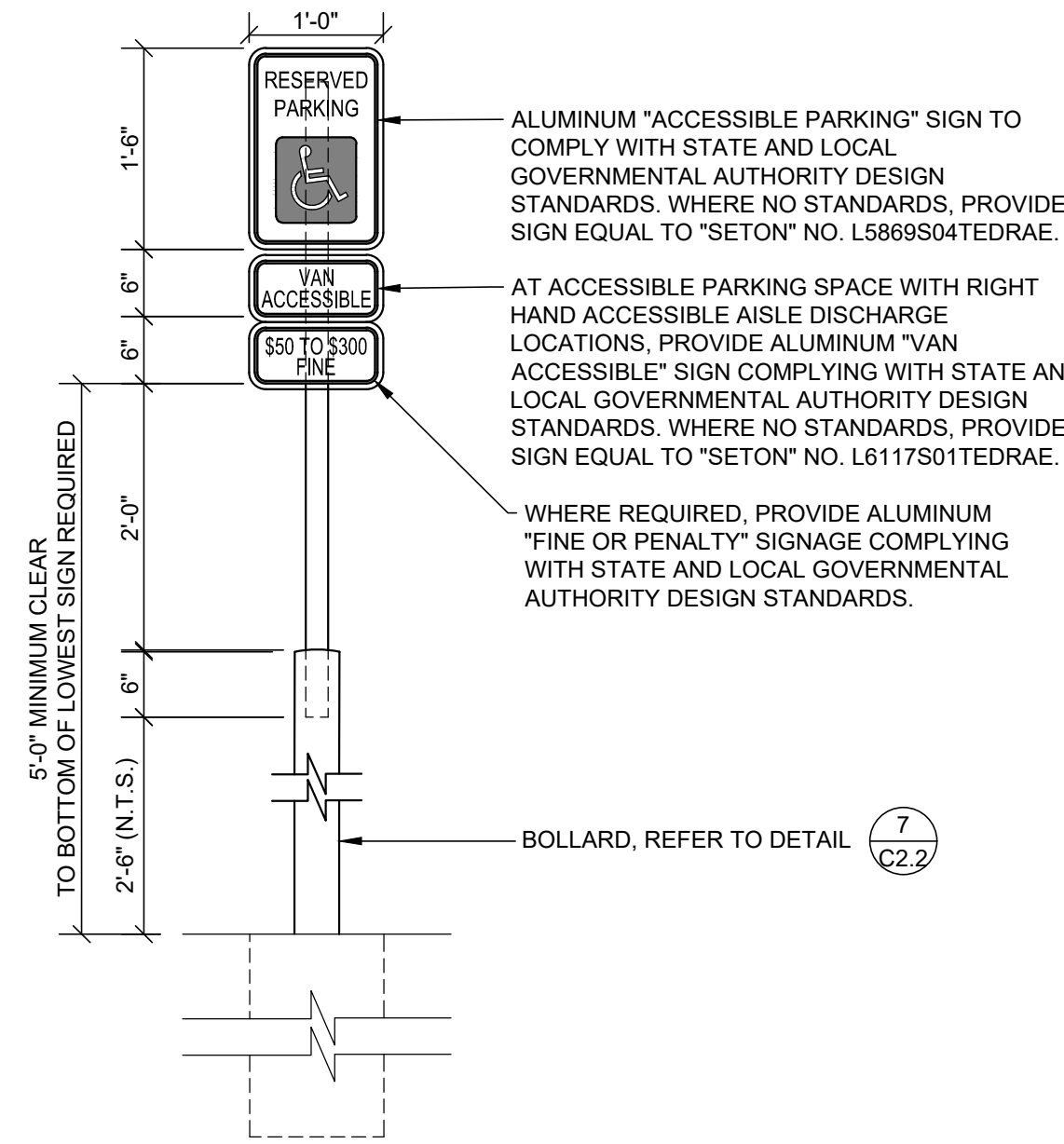
BOLLARD: STANDARD 4" INSIDE DIAMETER STEEL (PAINT) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE.



7 STEEL BOLLARD SECTION

C2.2 SCALE: 3/4" = 1'-0"

ALUMINUM "ACCESSIBLE PARKING" SIGN TO COMPLY WITH STATE AND LOCAL GOVERNMENTAL AUTHORITY DESIGN STANDARDS. WHERE NO STANDARDS, PROVIDE SIGN EQUAL TO "SETON" NO. L5869S04TEDRAE.

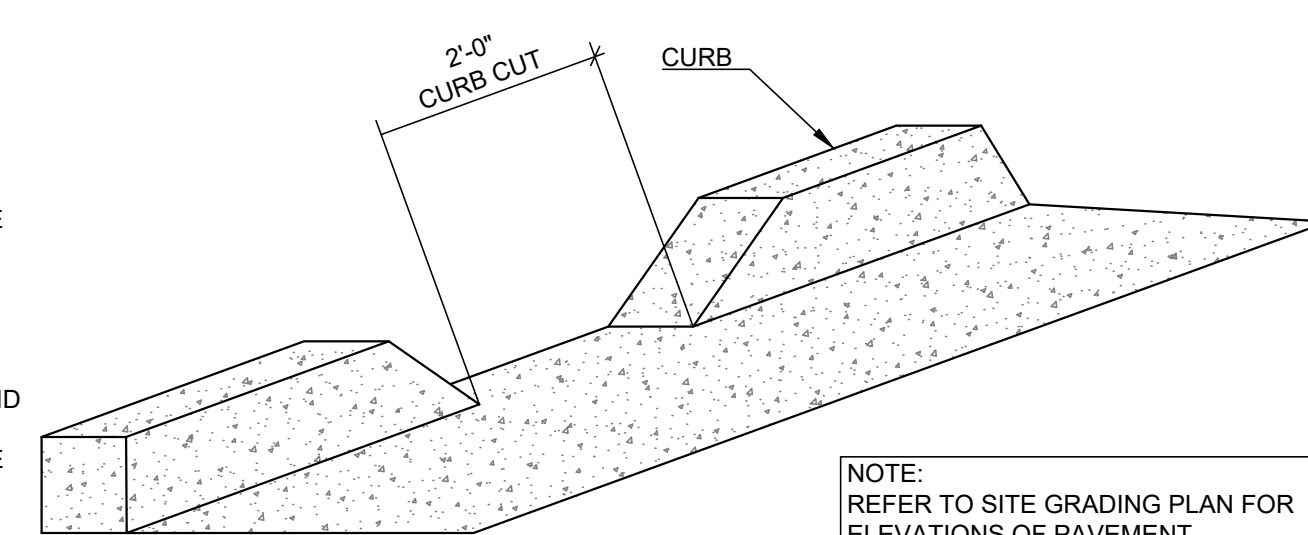


8 HANDICAP PARKING SIGN DETAIL

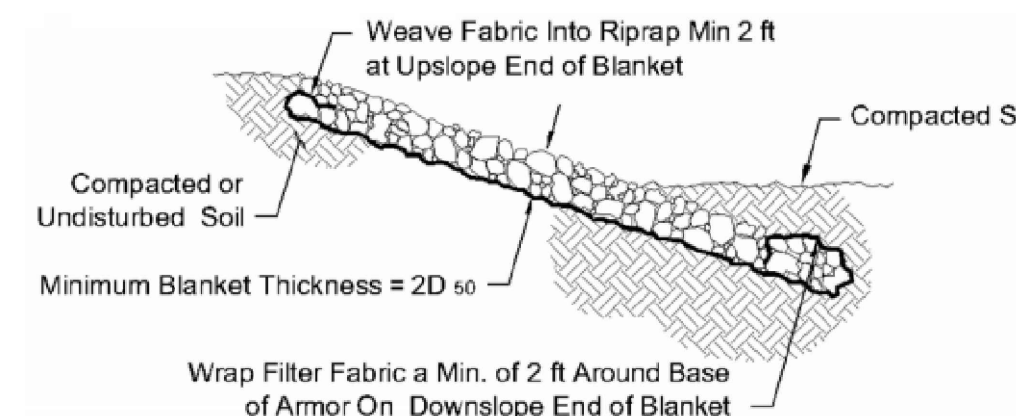
C2.2 SCALE: 3/4" = 1'-0"

9 2' WIDE CURB CUT

C2.2 SCALE: N.T.S.

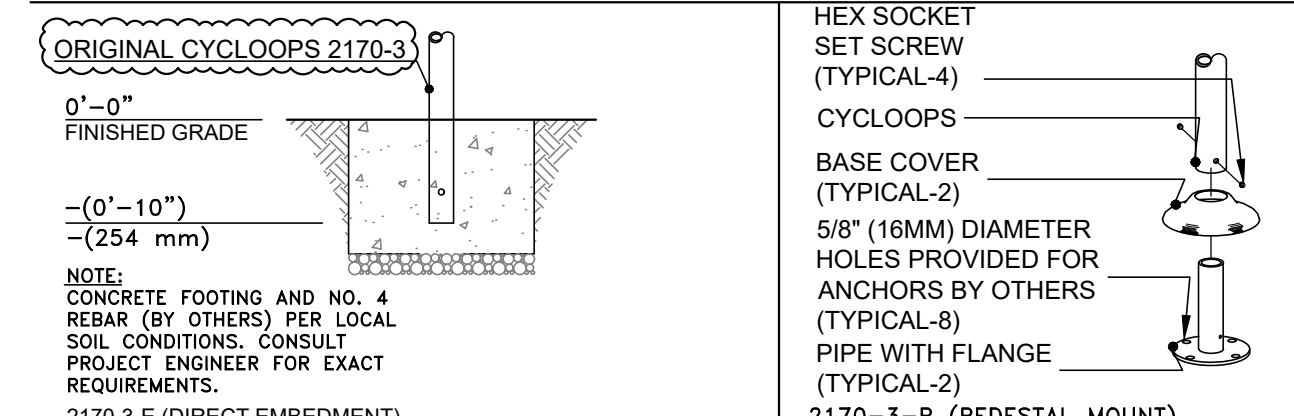
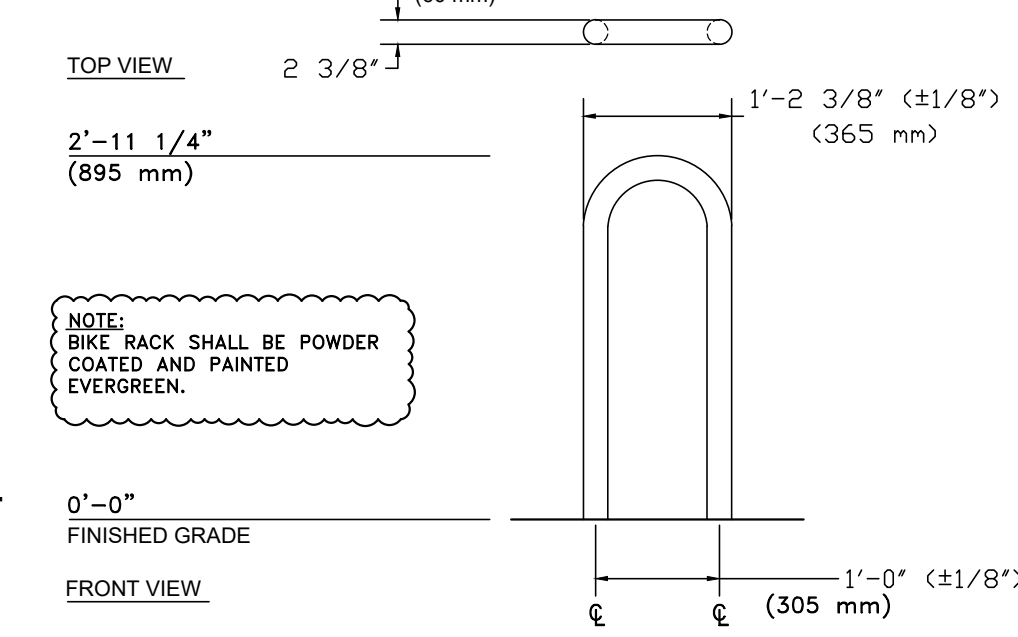


NOTE: REFER TO SITE GRADING PLAN FOR ELEVATIONS OF PAVEMENT ADJACENT TO SIDEWALKS.



10 RIPRAP DETAIL

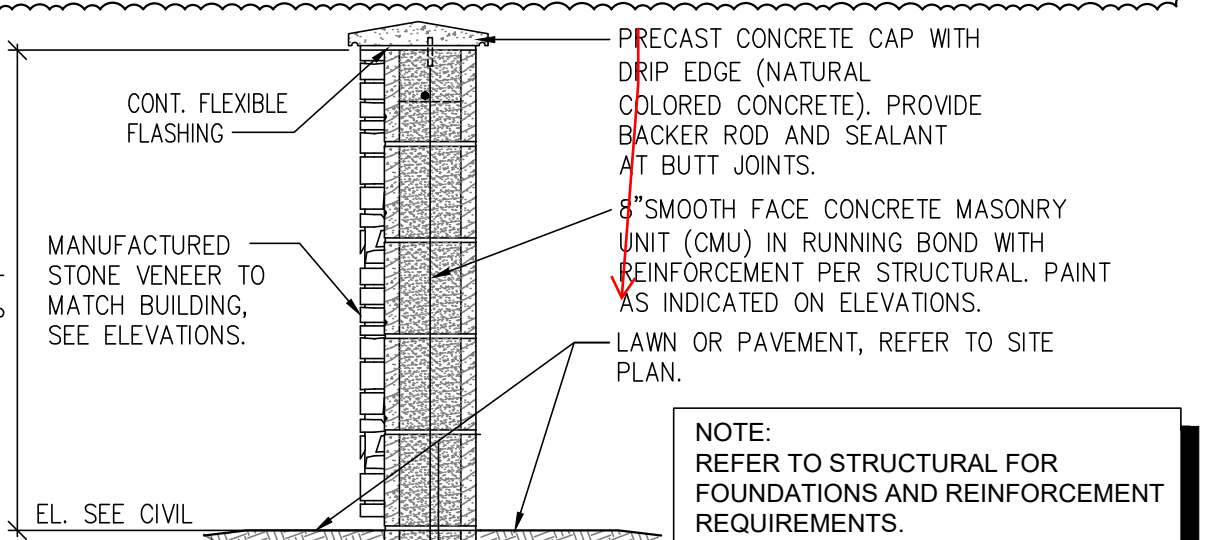
C2.2 SCALE: N.T.S.



11 BICYCLE PARKING (INVERTED "U")

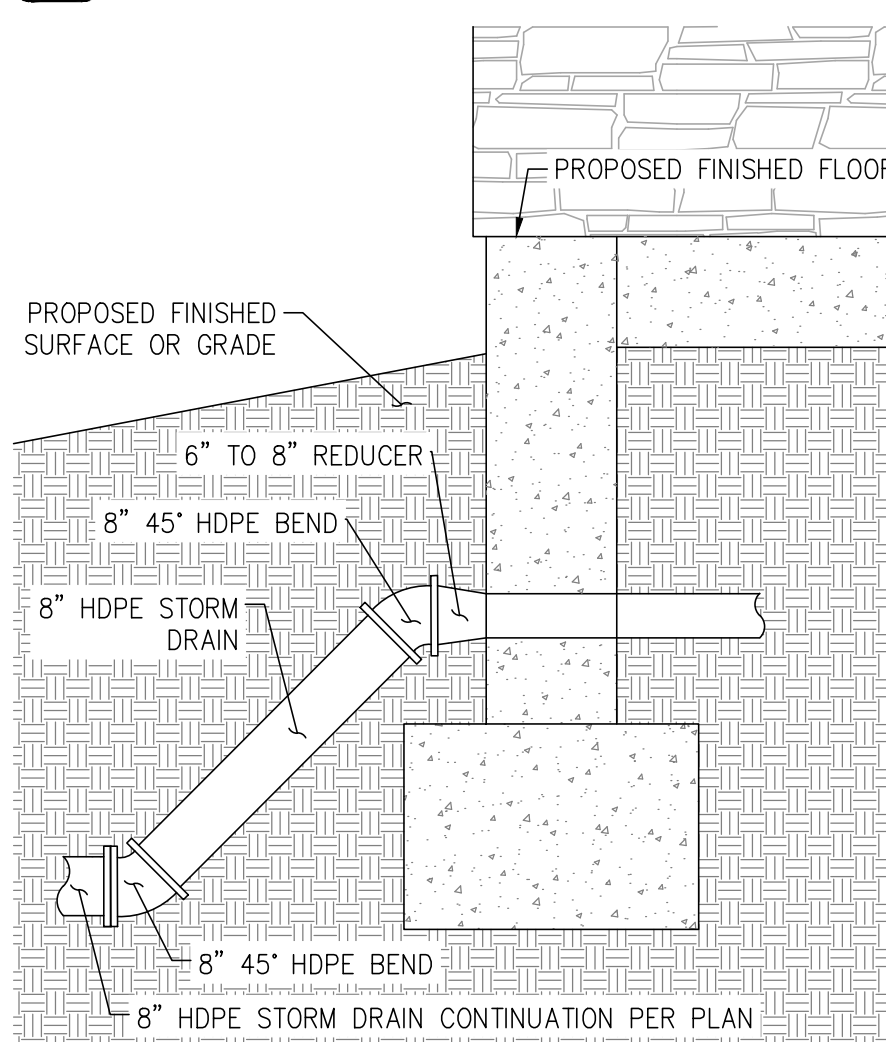
C2.2 SCALE: 3/4" = 1'-0"

indicate color on this sheet. should match building.



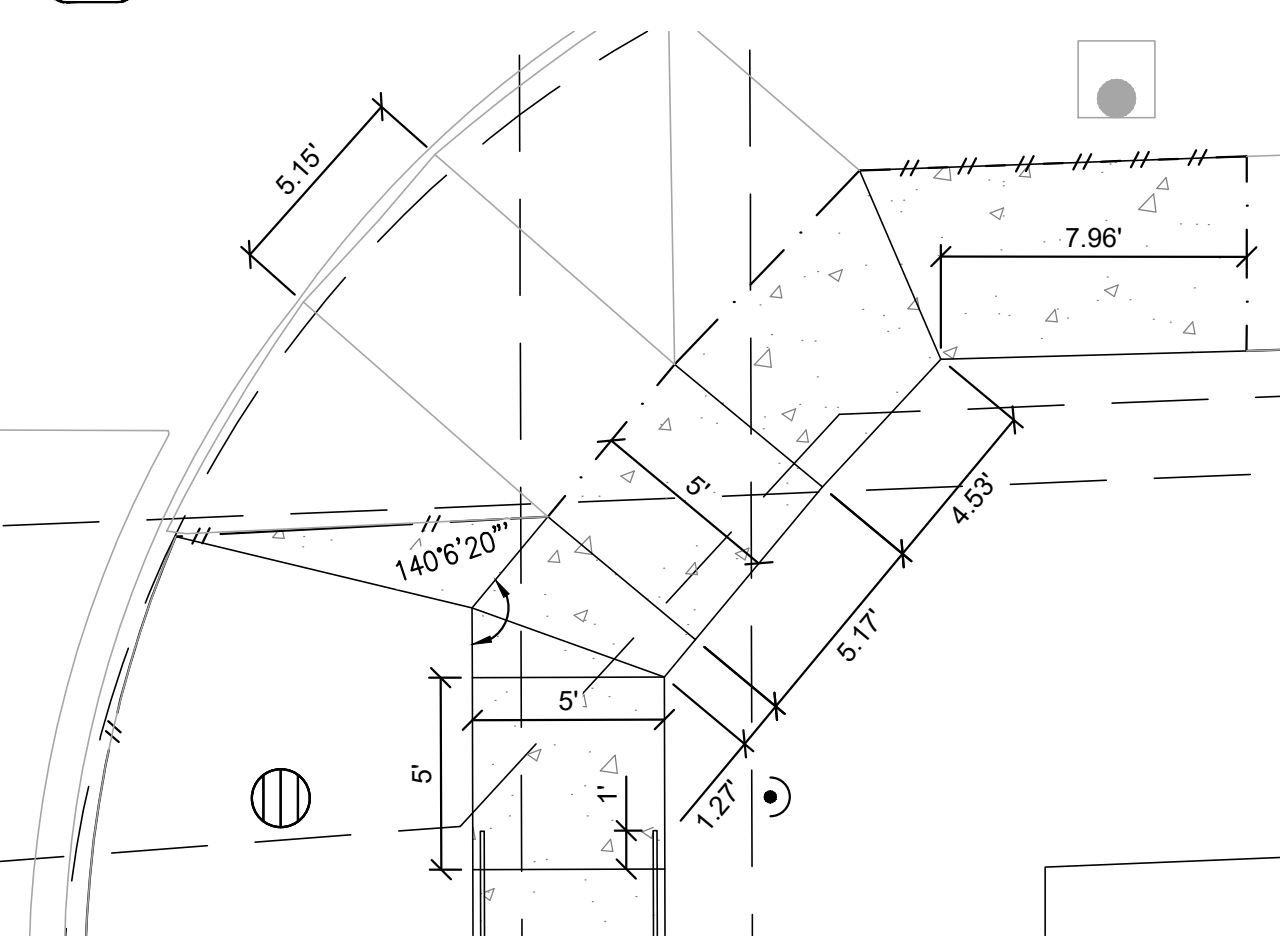
13 LANDSCAPE SCREEN WALL

C2.2 SCALE: 3/4" = 1'-0"



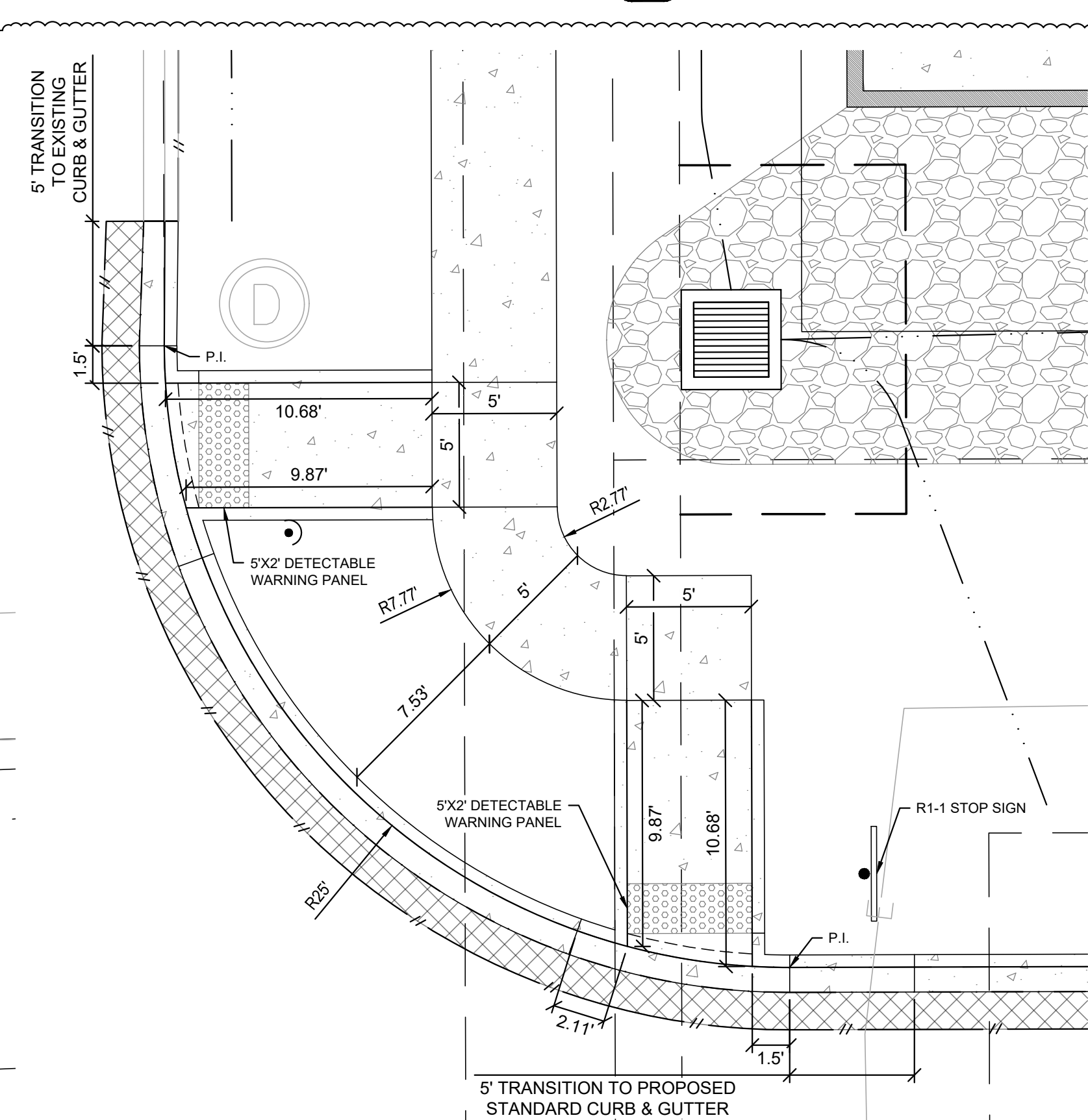
12 DOWNSPOUT CONNECTION

C2.2 SCALE: N.T.S.



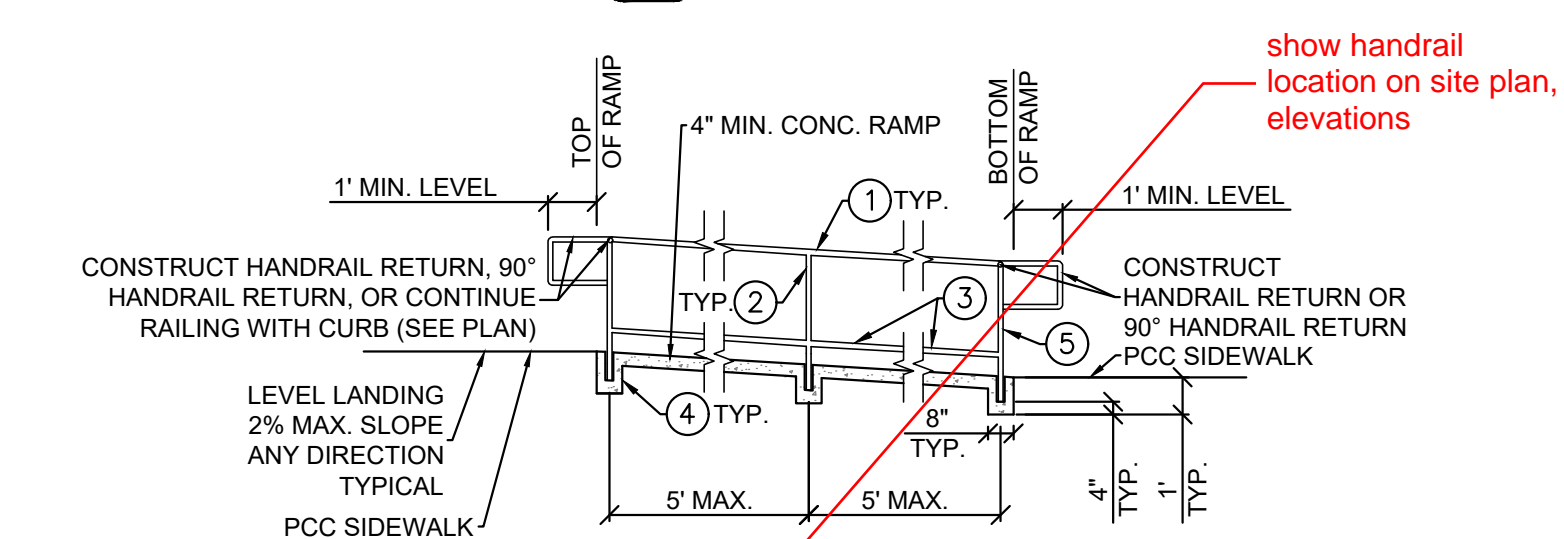
14 NORTH WEST ACCESSIBLE RAMP TIE-IN DETAIL

C2.2 SCALE: 1" = 5'



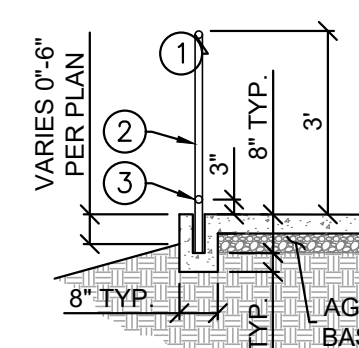
15 PROPOSED CURB RAMP DIMENSION DETAIL

C2.2 SCALE: 1" = 5'



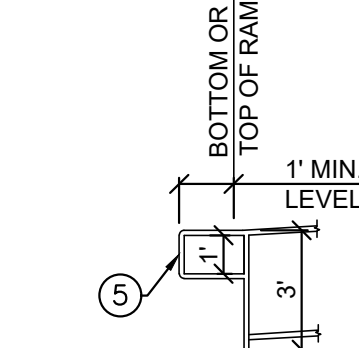
RAMP HANDRAIL DETAIL

N.T.S.



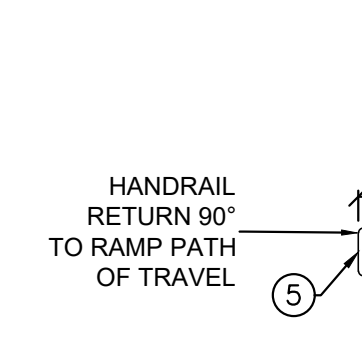
TYPICAL HANDRAIL SECTION

N.T.S.



RAMP HANDRAIL RETURN

N.T.S.



RAMP 90° HANDRAIL RETURN

N.T.S.

(16) HANDRAIL DETAILS

C2.2 SCALE: N.T.S.

NOTE:
1. ALL HANDRAILS, POSTS, AND APPURTENANCES TO BE PAINTED "CYBERSPACE" SW7076 (OR EQUAL) PER O'REILLY SPECIFICATIONS AND ARCHITECT RECOMMENDATIONS.
2. HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES.
3. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

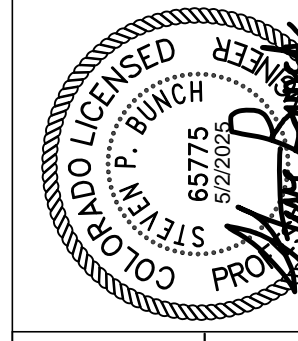
LEGEND:

- 1 1 1/2" O.D. GALVANIZED STEEL HANDRAIL.
 - 2 1 1/2" O.D. GALVANIZED STEEL POST.
 - 3 1 1/2" O.D. GALVANIZED STEEL GUIDE RAIL.
 - 4 BLOCK OUT 2 1/2" x 2 1/2" x 8" DEEP SQUARE POST OPENING PRIOR TO POURING CONCRETE. FILL WITH NON-SHRINK GROUT AFTER POST IS PLACED, ALIGNED AND LEVELED.
 - 5 1 1/2" STEEL HANDRAIL EXTENSION RETURN. EXTENSION SHALL EXTEND A MINIMUM OF 1' IN DIRECTION OF RAMP. IF EXTENSION WOULD CREATE A HAZARD, THE EXTENSION MAY BE TURNED 90 DEGREES TO THE RUN OF THE RAMP.
- ANY WELDS SHALL BE SLOT OR FILLET WELDS EQUAL TO THICKNESS OF PIPE. WELD ALL JOINTS ALL AROUND.

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LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2

TIMOTHY M. GUILLOT
ARCHITECT

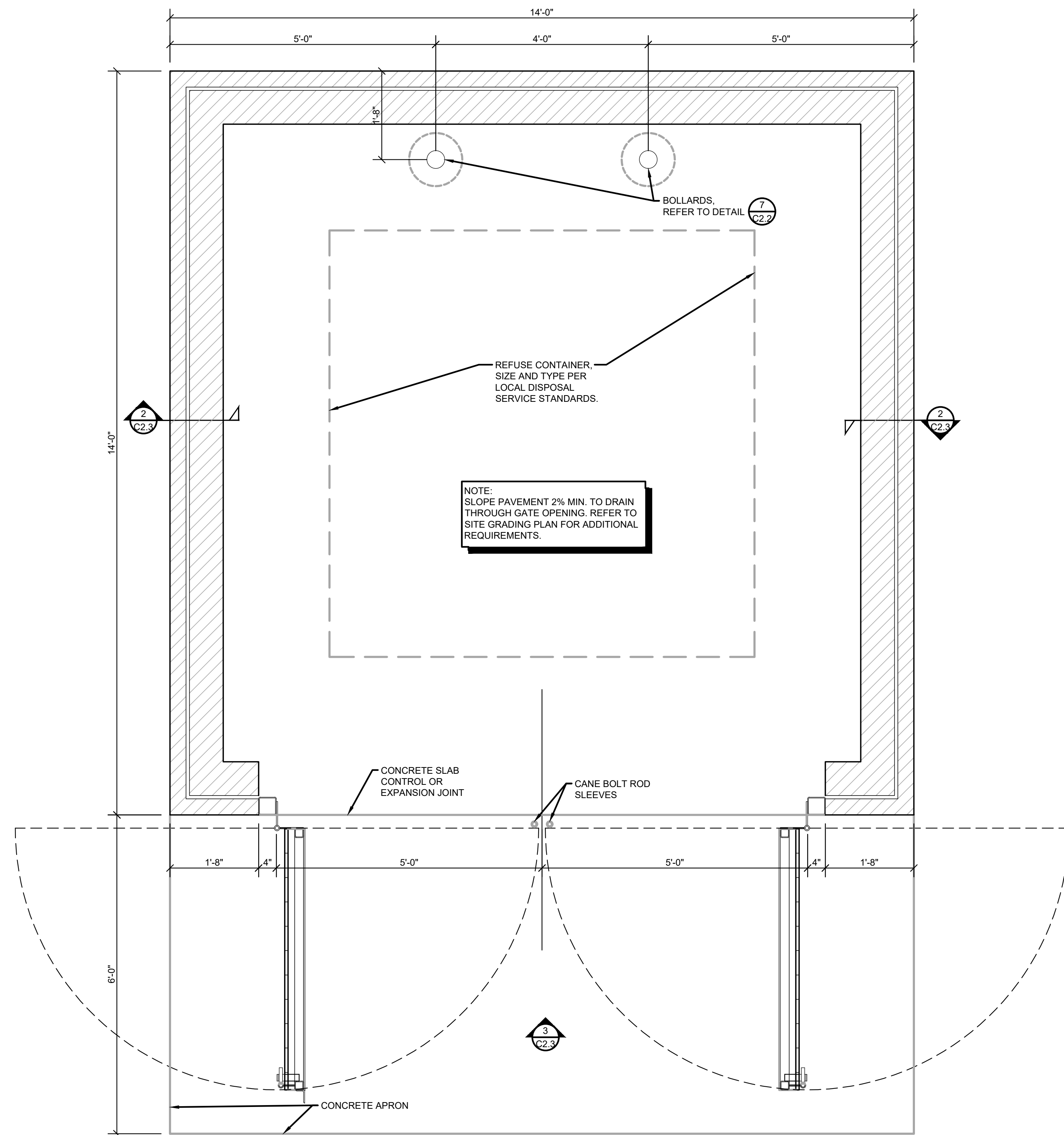
417.862.6558

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e-mail: architect@esterlyschneider.com

O'Reilly AUTO PARTS
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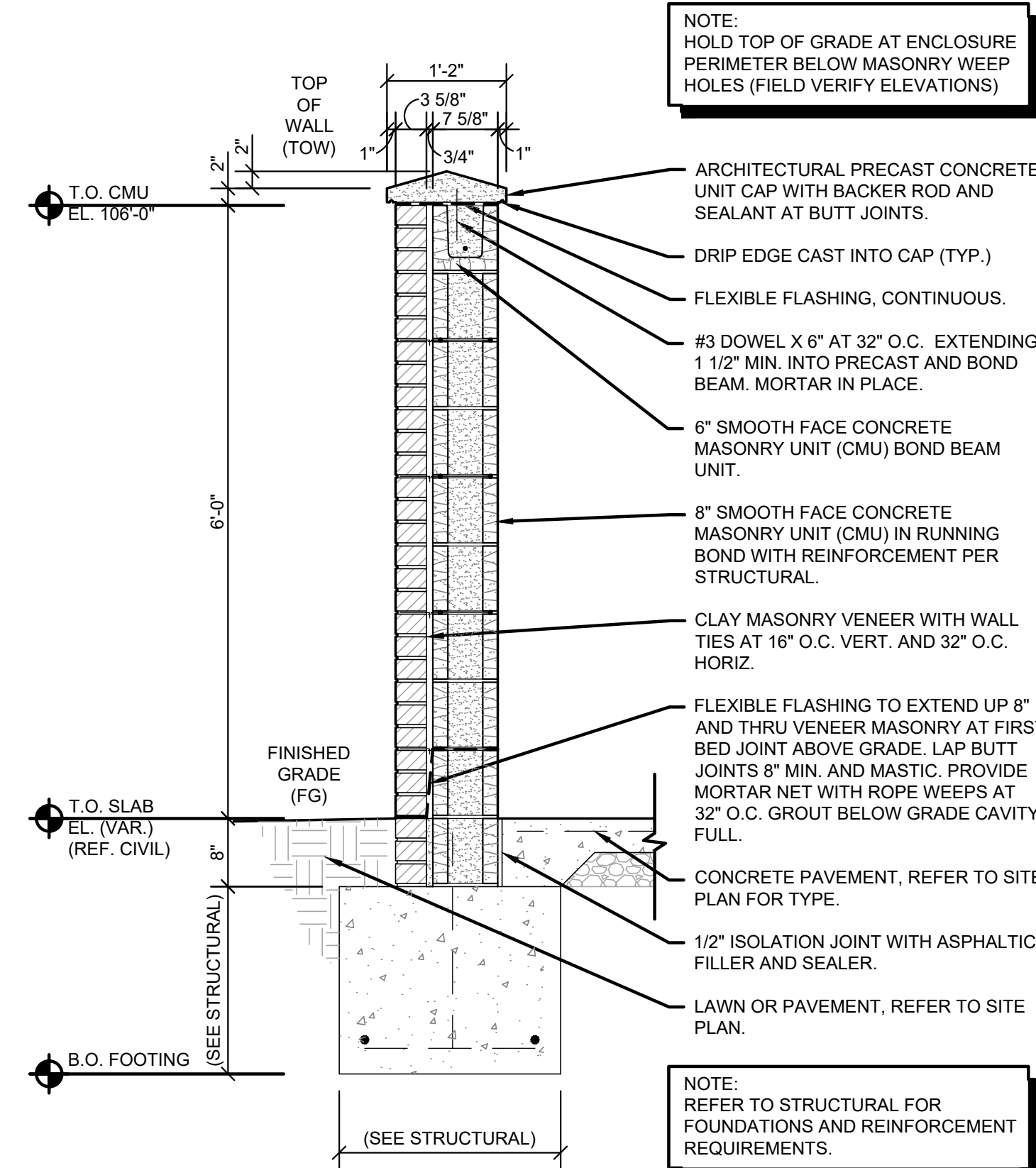
COMM # 4884
DATE: 02/14/2025
REVISION
DATE: 05/02/2025



1 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN

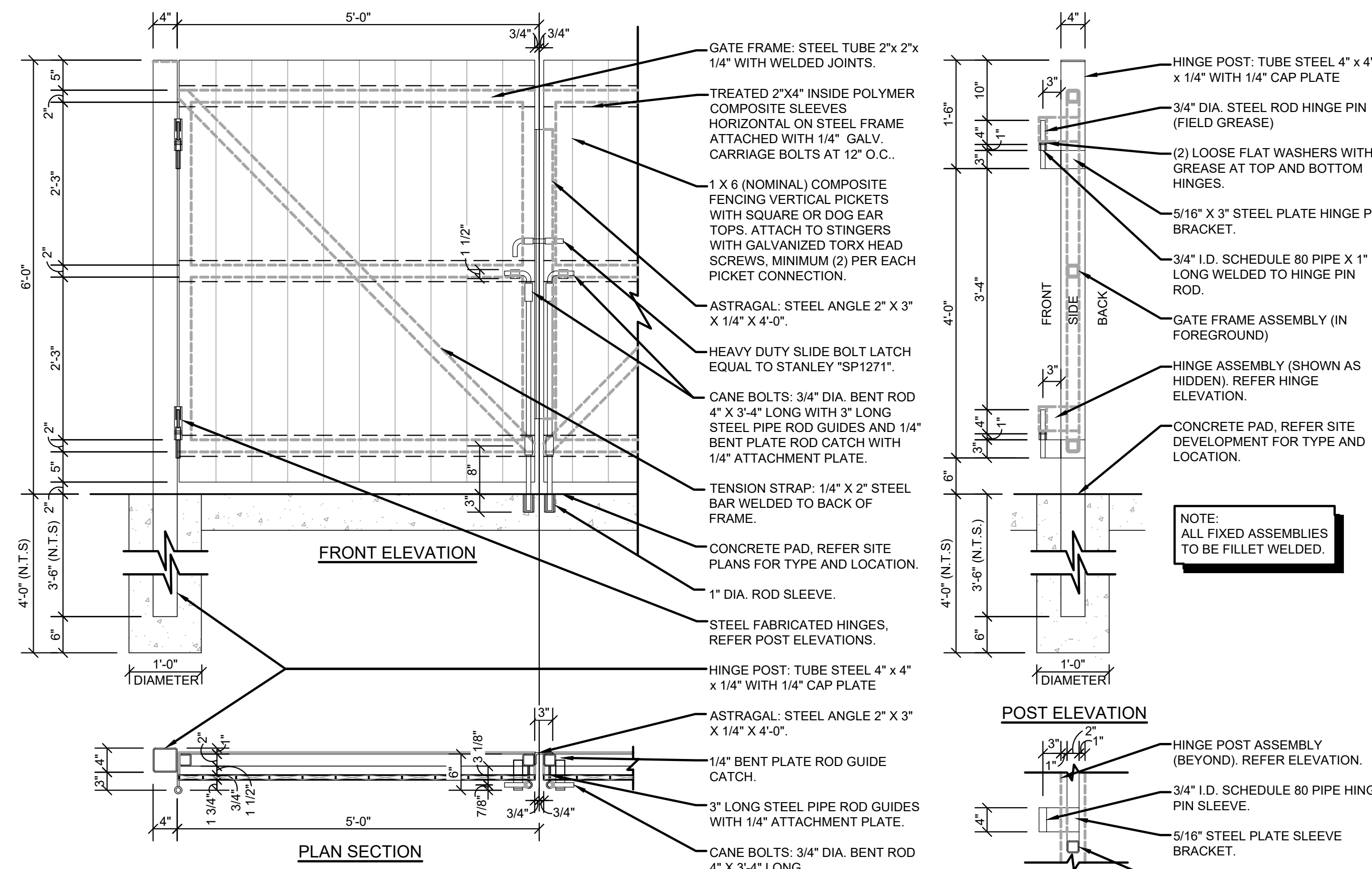
C2.3 SCALE: 3/4" = 1'-0"

NOTE: REFER TO SITE DEVELOPMENT PLAN FOR REFUSE ENCLOSURE LOCATION AND ORIENTATION.



2 MASONRY SCREEN FENCE SECTION

C2.3 SCALE: 3/4" = 1'-0"



3 SCREEN FENCE GATE DETAILS

C2.3 SCALE: 3/4" = 1'-0"

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GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:

1. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".
2. COMPOSITE FENCING MATERIAL COLOR TO BE EQUAL TO LOUISIANA-PACIFIC - LP ELEMENTS ATLAS COLLECTION-76 SERIES "PORTLAND STORM" OR MIDWEST MANUFACTURING - ULTRADECK "NEW".

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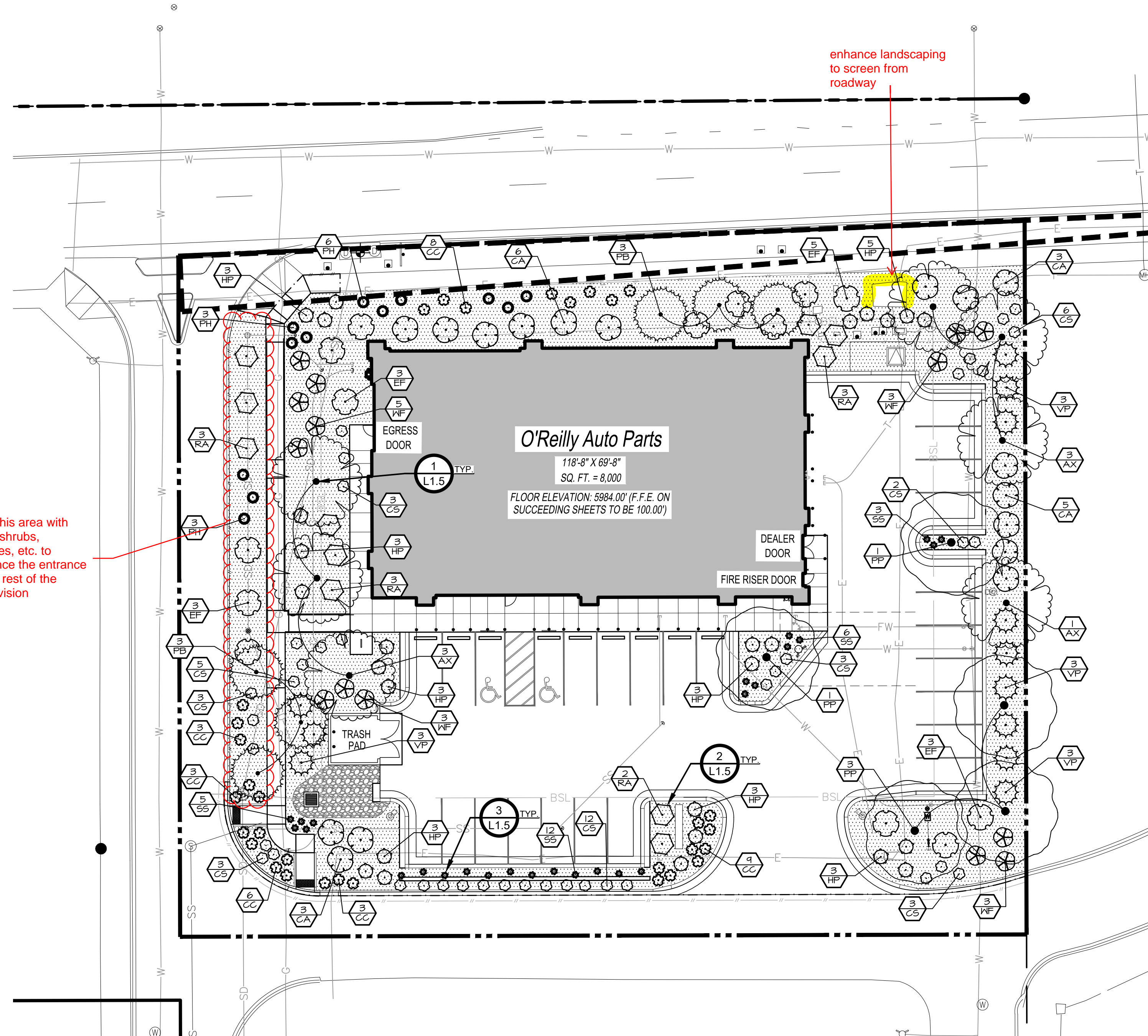
PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2

REFUSE ENCLOSURE

O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
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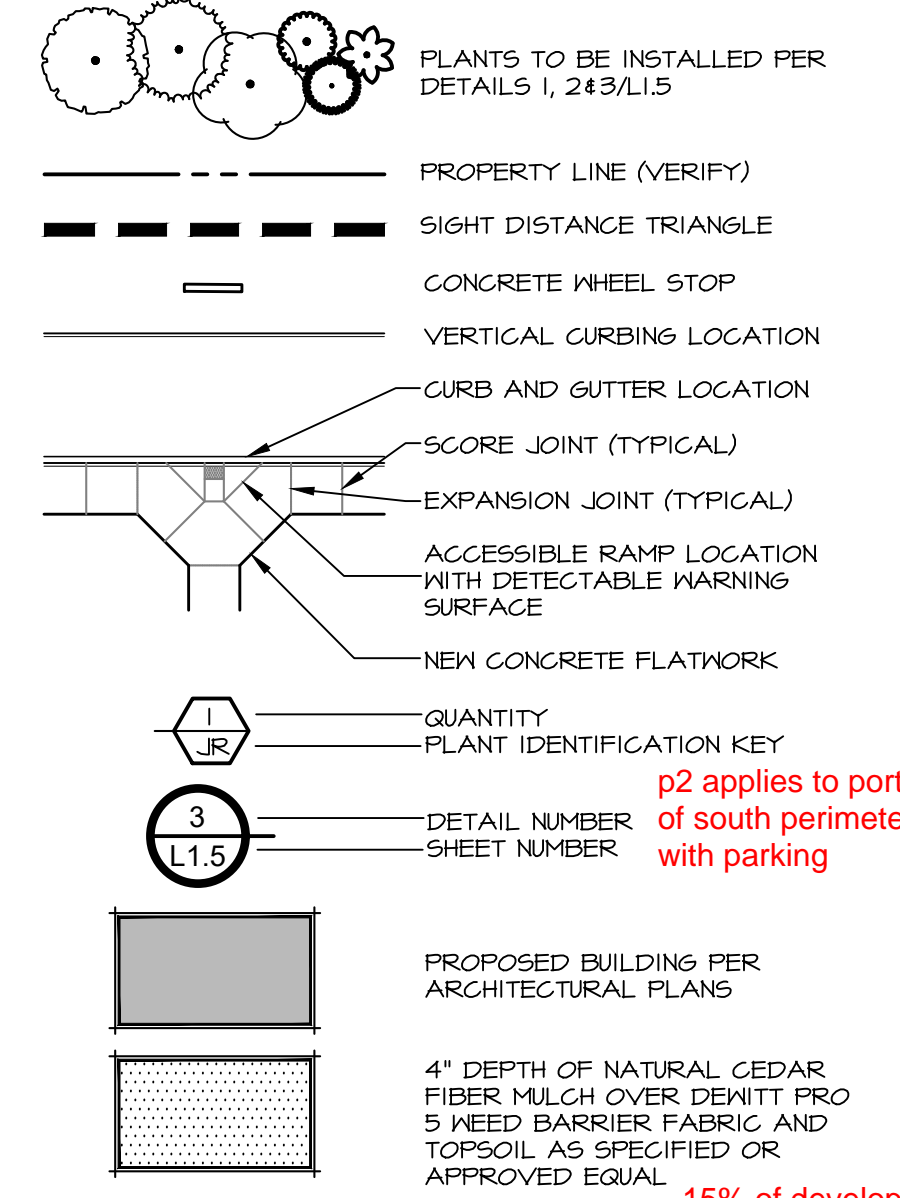


fill in this area with more shrubs, grasses, etc. to enhance the entrance to the rest of the subdivision

enhance landscaping to screen from roadway

show required/provided buffer widths for perimeter landscaping (if width varies, use minimum)

LANDSCAPE LEGEND



LANDSCAPE REQUIREMENTS

Requirements	REQUIRED	PROVIDED
EAST PARKING LOT ISLAND - 71 SF		
1 TREE / ISLAND	1 TREES	1 TREES
5 SHRUBS / ISLAND	5 SHRUBS	5 SHRUBS
SOUTH PARKING LOT ISLAND - 286 SF		
1 TREE / ISLAND	1 TREES	12 TREES
5 SHRUBS / ISLAND	5 SHRUBS	12 SHRUBS
NORTH PERIMETER - 216 LF		
1 TREE / 40 LF	5 TREES	5 TREES
5 SHRUBS / 40 LF	21 SHRUBS	47 SHRUBS
* REPLACE 1 TREE WITH 10 SHRUBS		
EAST PERIMETER - 164 LF		
1 TREE / 40 LF	4 TREES	4 TREES
5 SHRUBS / 40 LF	21 SHRUBS	22 SHRUBS
* REPLACE 1 TREE WITH 10 SHRUBS		
SOUTH PERIMETER - 217 LF		
1 TREE / 40 LF	5 TREES	1 TREES*
5 SHRUBS / 40 LF	21 SHRUBS	68 SHRUBS*
* REPLACE 1 TREE WITH 10 SHRUBS		
WEST PERIMETER - 156 LF		
1 TREE / 40 LF	4 TREES	5 TREES
5 SHRUBS / 40 LF	20 SHRUBS	21 SHRUBS
* REPLACE 1 TREE WITH 10 SHRUBS		
GENERAL		
Requirements:	TOTAL TREES	EVERGREEN TREES
25-50% EVERGREEN	10 TREES	6 TREES
		33%
1500 SF LANDSCAPE AREA	TOTAL TREES	TOTAL SHRUBS
REPLACE 1 TREE WITH 10 SHRUBS	10 TREES	204 SHRUBS

15% of developed area must be landscaped

75% of required landscaping must be live cover

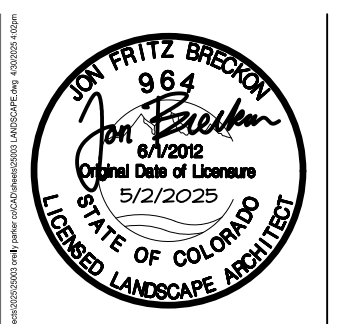
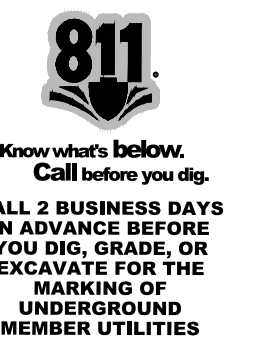
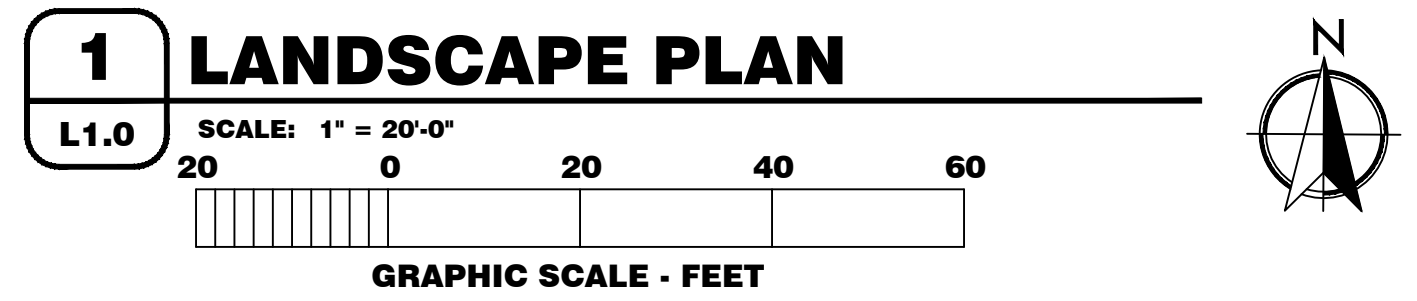
(show square footage and percentage)

note required tree/shrub amounts

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES						
AX		7	Acer truncatum x platanoides 'Warrenred'	Pacific Sunset Maple	2" Cal. B4B	30' X 25' W
PP		5	Parrotia persica	Persian Ironwood	2" Cal. B4B	40' X 30' W
PB		6	Picea pungens glauca 'Baby Blue Eyes'	Baby Blue Eyes Colorado Blue Spruce	2" Cal. B4B	30' X 15' W
SHRUBS						
CC		32	Cornopsis x 'Creme Brulee'	Creme Brulee Tickseed	1 gal.	1'-2" H x 2'-3" W
CA		17	Cornus alba 'Ballhalo' TM	Ivory Halo Dogwood	5 gal.	6'-8" H & W
CS		40	Cornus sericea 'Kelsey'	Kelsey Dwarf Redtwig Dogwood	2 gal.	24"-30" H x 24"-30" W
EF		14	Euonymus fortunei 'Colorata'	Purple-leaf Winter Creeper	2 gal.	2'-3" H & 6'-8" W
HP		26	Hydrangea paniculata 'Little Lime'	Little Lime Panicle Hydrangea	5 gal.	3'-5" H & W
PH		12	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 gal.	2'-3" H x 2'-3" W
RA		11	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal.	2'-3" H x 5'-7" W
SS		26	Salvia x sylvestris 'May Night'	May Night Sage	1 gal.	18"-24" H & W
VP		12	Viburnum plicatum 'Popcorn'	Popcorn Japanese Snowball	5 gal.	6'-8" H & 6'-8" W
WF		14	Weigela florida 'Red Prince'	Red Prince Weigela	5 gal.	5'-6" H & W

** The minimum offset distance of any tree to edge of storm pipe/ inlet is 7 feet per SDECM Section 6.3.3.2.



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PROJECT: NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
LANDSCAPE PLAN



COMM #	4884
DATE:	2-14-2025
REVISION DATE:	5-2-2025

LANDSCAPE AREA PREPARATION NOTES:

- LIMIT TURF SUBGRADE PREPARATION TO AREAS TO BE PLANTED.
- NEWLY GRADED SUBGRADES, LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES, REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD PLANTING SOIL TO A DEPTH OF 12 INCHES IN TURF AREAS AND 18 INCHES AT SHRUB BED AREAS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
 - SPREAD PLANTING SOIL OVER LOOSENEED SUBGRADE.
 - REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF SOG OR SEED.
- UNCHANGED SUBGRADES: IF TURF IS TO BE PLANTED IN AREAS UNALTERED OR UNDISTURBED BY EXCAVATING, GRADING, OR SURFACE-SOIL STRIPPING OPERATIONS, PREPARE SURFACE SOIL AS FOLLOWS:
 - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. PROVIDE WEED ABATEMENT PROCEDURE, APPLY SOIL AMENDMENTS AND FERTILIZERS ACCORDING TO PLANTING SOIL MIX PROPORTIONS AND MIX THOROUGHLY INTO TOP 6 INCHES OF SOIL. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
 - APPLY SOIL AMENDMENTS DIRECTLY TO SURFACE SOIL BEFORE LOOSENING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, TRASH, AND OTHER EXTRANEUS MATTER.
 - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF, OFF OWNER'S PROPERTY.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
- BEFORE PLANTING, OBTAIN DESIGN PROFESSIONAL'S ACCEPTANCE OF FINISH GRADING; RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.
- DO NOT SOAK IMMEDIATELY FOLLOWING RAIN, OR WHEN GROUND IS TOO DRY. TEMPERATURE SHALL BE BETWEEN 55 F AND 95 F FOR A 24 HOUR PERIOD. WIND SHALL BE LESS THAN 5 MPH.

TOPSOIL NOTES

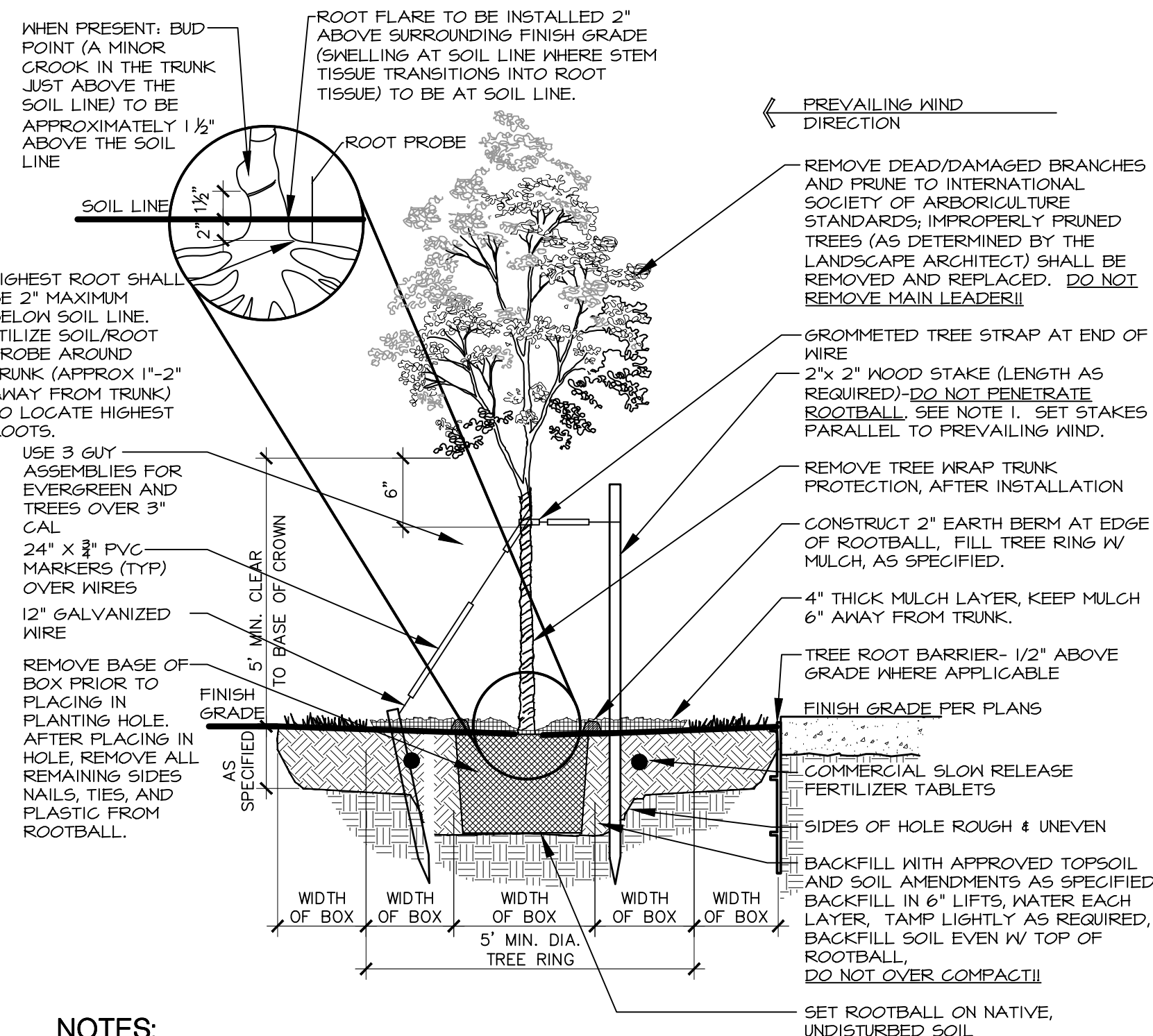
- TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7.0, FOUR PERCENT ORGANIC MATERIAL MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
- REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
- PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED, PLACE TOPSOIL DURING DRY WEATHER, PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
- COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
 - LAWN AREAS, 12 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRADES WITH SURROUNDING LAWN AREAS.
 - PLANTER BEDS, 18 INCHES MINIMUM
- FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE, REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVEMENTS AREAS FOR SOG AND 1" FOR SEED.
- TOPSOIL STOCKPILE LOCATIONS TO BE COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
- ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL, SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO DESIGN PROFESSIONAL AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.

LANDSCAPE NOTES:

- CONTRACTOR SHALL REPORT TO DESIGN PROFESSIONAL ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGN PROFESSIONAL'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 4" DEPTH OF NATURAL CEDAR FIBER MULCH. SUBMIT SAMPLE FOR APPROVAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOG AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND HAVE A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE DESIGN PROFESSIONAL.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH 5.5 TO 7.0.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- SEEDAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.

WEED ABATEMENT NOTES:

- ALL AREAS TO BE PLANTED OR HYDROSEEDING SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH GROUND-UP/A (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF GROUND-UP/A TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

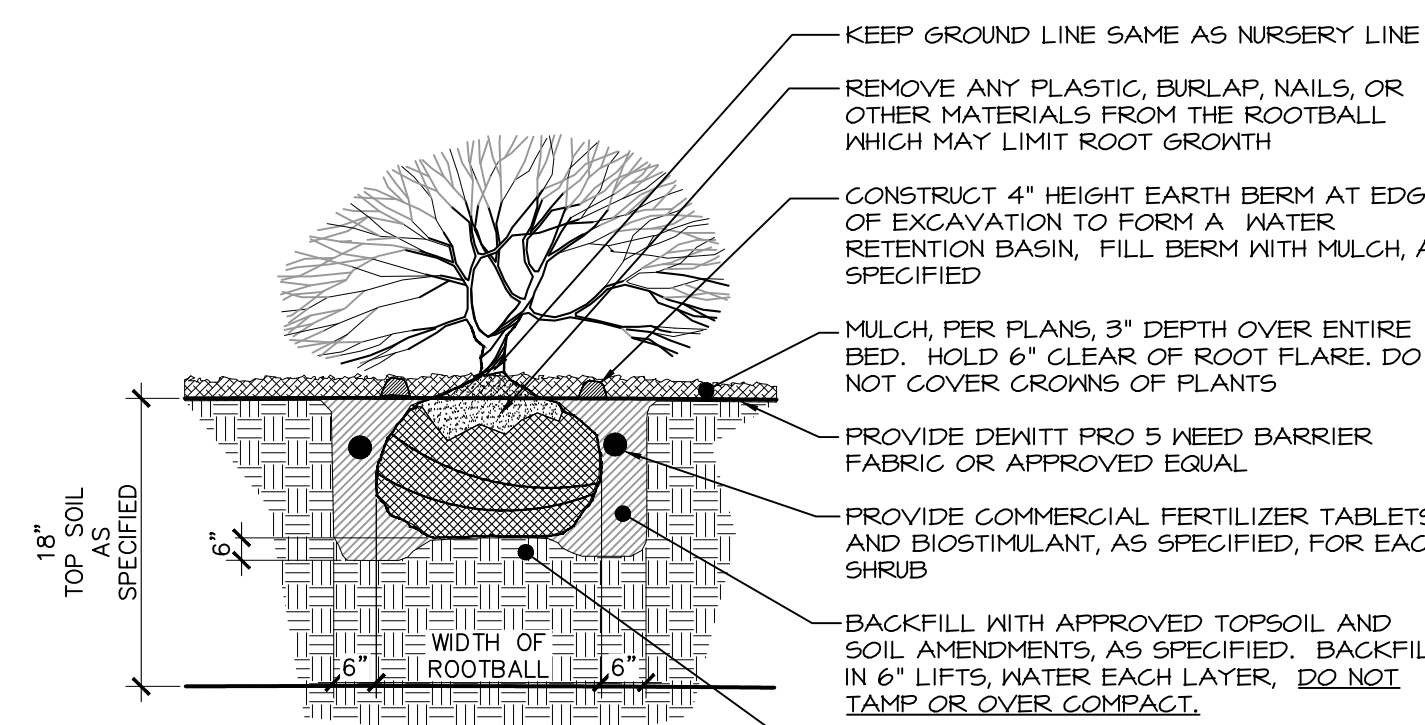


NOTES:

- EXCAVATE PLANTING HOLES WITH SLOPING SIDES, MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL.
- BACKFILL SHALL CONSIST OF APPROVED ON-SITE TOPSOIL BLENDED W/ COMPOST AMENDMENT. IF ON-SITE TOP SOILS ARE NOT APPROVED FOR USE, BACKFILL W/ IMPORTED TOPSOIL BLENDED WITH COMPOST AMENDMENT. REFER TO TOWN OF PARKER SPECIFICATION SECTION 324113 FOR ADDITIONAL INFORMATION.
- TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1' TO 2' OF THE ROOT BALL/FINISH GRADE MEASURED 3' TO 4' FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES. TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
- WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL. FORM SOIL INTO A 6" TALL WATERING RING (SAUCERS) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
- STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
- TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.
- RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY IN THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
- IN THE EVENT HARDSCAPE SURFACES PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE 24" TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

1 DECIDUOUS TREE BOX PLANTING

NOT TO SCALE

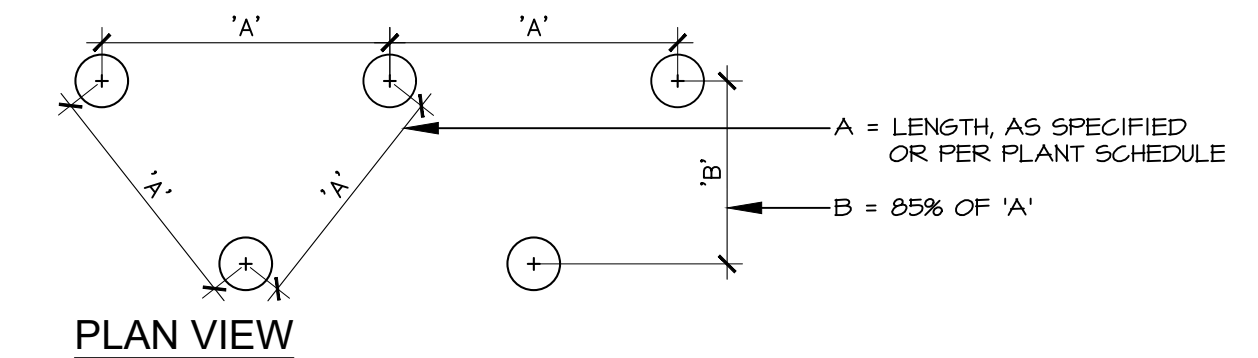


NOTE:

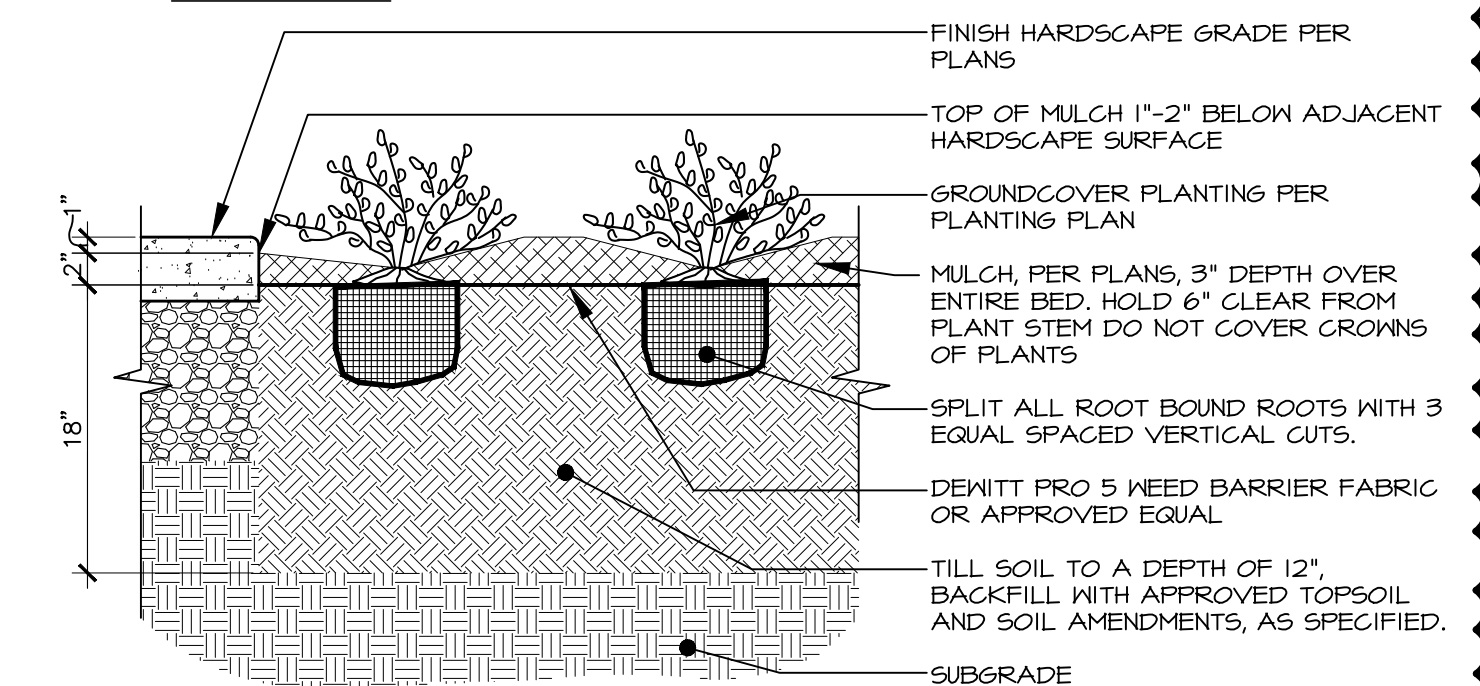
- PRUNE ALL DAMAGED, DISEASED OR WEAK LIMBS
- CLEANLY PRUNE ALL DAMAGED ROOT ENDS.
- DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS
- WATER SHRUB TWICE WITHIN FIRST 24 HOURS
- APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUND-COVER BEDS.

2 SHRUB PLANTING

NOT TO SCALE



PLAN VIEW



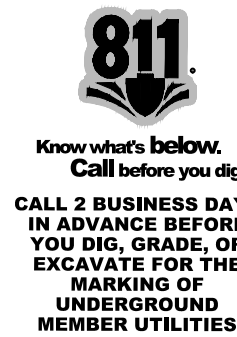
SECTION

NOTES:

- ALL GROUND-COVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
- APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUND-COVER BEDS.

3 PERENNIAL & GROUND-COVER PLANTING

Scale: 1"=1'-0"



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LANDSCAPE DETAILS

O'Reilly AUTO PARTS
CORPORATE OFFICES
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(417) 982-2674 TELEPHONE

COMM # 4884
DATE: 2-14-2025
REVISION
DATE: 5-2-2025

IRRIGATION NOTES

- SYSTEM DESIGN BASED ON THE ASSUMPTION OF THE AVAILABILITY OF 14 G.P.M. WITH 65 P.S.I. AT THE SOURCE AND 45 P.S.I. AT THE HEADS.
- ALL LATERAL LINES THAT ARE NOT LABELED SHALL BE 3/4" DIAMETER.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- COORDINATE ALL IRRIGATION INSTALLATION OPERATIONS WITH CIVIL, MECHANICAL, AND ELECTRICAL ENGINEERING SHEETS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION CONDUIT AND SLEEVES UNDER HARD SURFACES WITH RESPECTIVE CONTRACTORS.
- ALL SLEEVES SHALL BE INSTALLED AS PART OF IRRIGATION CONTRACT. APPROXIMATE LOCATION OF SLEEVES ARE SHOWN ON THE IRRIGATION PLAN. FIELD VERIFY LOCATION. ALL ENDS OF SLEEVES SHALL BE TAPERED OR CAPPED AND MARKED WITH A 2" X 4" PAINTED STAKE EXTENDING TO 24" ABOVE GRADE. STAKES SHALL NOT BE REMOVED UNTIL THE IRRIGATION SYSTEM IS COMPLETE. ALL SLEEVES SHALL EXTEND A MINIMUM OF 18" BEYOND BACK OF CURB OR EDGE OF PAVEMENT. PROVIDE COMPACTED BACKFILL AS NECESSARY AT HARD SURFACE LOCATIONS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK.
- IRRIGATION CONTROLLER(S) ARE TO BE LOCATED AS SHOWN ON THE PLAN. CONTROLLERS SHALL BE WIRED TO POWER SUPPLY BY A LICENSED ELECTRICIAN PER LOCAL CODES. IRRIGATION CONTRACTOR TO PROVIDE ALL REQUIRED CONNECTIONS TO 24 VOLT IRRIGATION CONTROL WIRE INSIDE THE BUILDING THROUGH APPROPRIATE SIZED CONDUIT.
- ALL HEADS ARE TO BE 4" POP-UP IN LAWN AREAS. IRRIGATED AREAS CONTAINING VEGETATION WHICH POTENTIALLY MAY IMPEDE PERFORMANCE OF A 4" POP-UP SPRINKLER ARE TO BE REPLACED WITH A 12" HIGH POP-UP SPRINKLER. ALL ELECTRICAL WORK TO MEET OR EXCEED N.E.C., STATE CODES, LOCAL CODES, AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROCK AND DEBRIS BROUGHT TO THE SURFACE AS A RESULT OF TRENCHING OPERATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL 24 VOLT POWER WIRES SHALL BE #14 AWG SOLID COPPER. ALL ABOVE GROUND 120 VOLT AND 24 VOLT WIRE SHALL BE IN PVC CONDUIT. ALL 24 VOLT CONTROL WIRES SHALL BE LOCATED IN A 3/4" CONDUIT.
- INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- IRRIGATION CONTRACTOR SHALL PROVIDE A COMPLETE AS-BUILT DRAWING IN PDF FORMAT UPON COMPLETION OF INSTALLATION AND PRIOR TO FINAL PAYMENT.
- THE ENTIRE SYSTEM SHALL BE GUARANTEED TO BE COMPLETE AND PERFECT IN EVERY DETAIL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE. REPAIRS OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT ONE YEAR SHALL BE FREE OF EXPENSE TO THE OWNER.
- AS PART OF THIS CONTRACT, PERFORM AT NO EXTRA COST WINTERIZATION AND SPRING START UP OF THE SYSTEM DURING THE GUARANTEE PERIOD (1 YEAR).
- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF THE QUALITY AND PERFORMANCE SPECIFIED, AND SHALL MEET THE REQUIREMENTS OF THIS SYSTEM. USE MATERIALS AS SPECIFIED, NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE OWNER OR DESIGN PROFESSIONAL.
- IRRIGATION CONTRACTOR SHALL MAKE NECESSARY MINOR FIELD ADJUSTMENTS TO SPRINKLER NOZZLES, SPRINKLERS, PIPE, AND OTHER IRRIGATION EQUIPMENT LOCATIONS TO FIT SITE. ADJUST HEAD AND PIPE LOCATIONS AS REQUIRED TO AVOID DAMAGING EXISTING TREE ROOTS. ADJUSTMENTS SHALL ENSURE HEAD TO HEAD COVERAGE AND NOT OVER SPRAY THE BUILDING OR OTHER IMPROVEMENTS.
- IRRIGATION PIPING LAYOUT IS SCHEMATIC. WHERE LINES ARE SHOWN BELOW PAVEMENT ADJACENT TO LANDSCAPE AREAS, THEY SHALL BE LOCATED IN THE LANDSCAPE AREA UNLESS SHOWN WITH A SLEEVE SYMBOL.
- BASE PLAN AND LOCATION OF EXISTING EQUIPMENT ARE SCHEMATIC IN NATURE. FIELD VERIFY ALL BASE AND EXISTING IRRIGATION ELEMENTS AND CONDITIONS PRIOR TO CONSTRUCTION AND PROVIDE NECESSARY ADJUSTMENTS.
- IRRIGATION CONTRACTOR SHALL USE THE MANUFACTURER'S APPROVED PRESSURE REGULATING MODULE AS SPECIFIED TO ADJUST ZONE OPERATING PRESSURES TO AN AVERAGE OF 30 P.S.I. IN SPRAY ZONES AND 45 P.S.I. IN ROTOR ZONES.
- ALL MAIN LINE FITTINGS SHALL BE SCHEDULE 40 SOLVENT WELD TYPE UNLESS NOTED FOR LATERAL SERVICE.
- IN THE EVENT OF A DISCREPANCY, IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE CERTIFICATE OF COMPLETION IRRIGATION SCHEDULING, LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULES, IRRIGATION AUDIT, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS.

DRIP IRRIGATION NOTES

- ALL PLANTER BEDS SHALL BE IRRIGATED WITH AN INLINE EMITTER DRIP LINE IRRIGATION SYSTEM, HUNTER HDL OR APPROVED EQUAL. ALL TREES IN THE NOTED AREA ARE TO BE IRRIGATED AS PER DETAIL 10/L2.5. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE DRIP SYSTEM AS PER MANUFACTURER'S RECOMMENDATIONS AND THE FOLLOWING REQUIREMENTS:
 - AN INLINE EMITTER DRIP LINE TUBING SHALL BE USED. THE EMITTER SPACING SHALL BE TWELVE INCHES (12") AND THE EMITTER FLOWS ARE TO BE 6 G.P.H. LATERALS SHALL BE SPACED AT TWELVE INCHES (12").
 - A MANUAL BASKET FILTER SHALL BE INSTALLED ON EACH ZONE SEE LEGEND FOR MODEL NUMBER. THE FILTER SHALL BE INSTALLED IN CONJUNCTION WITH AN ELECTRIC REMOTE CONTROL VALVE AS SPECIFIED (SIZE AS NOTED ON SCHEDULE). THE FILTER SHALL INCLUDE A 200 MESH STAINLESS STEEL SCREEN.
 - ALL ZONES SHALL BE INSTALLED WITH A MANUAL LINE FLUSHING VALVE. INSTALL WITH COLLAR. SEE DETAIL 2/L2.0.
 - ALL TUBING SHALL BE STAKED DOWN WITH T156 SIX INCH (6") SOIL STAPLES EVERY 3'-5' PLUS TWO ON EACH TEE, ELBOW OR CROSS.
- THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A MEETING WITH THE DESIGN PROFESSIONAL AND THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH ANY IRRIGATION INSTALLATION IN ORDER TO REVIEW WORK TO BE DONE. NO CHANGES IN MATERIAL SPECIFIED OR TO THE DESIGN OF THE SYSTEM SHALL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE DESIGN PROFESSIONAL.
- ALL PVC LATERAL LINES FROM VALVES TO HEADERS ARE TO BE BURIED AT MINIMUM DEPTH OF TWELVE INCHES (12"). SIZE AS NECESSARY. (SEE PIPE SIZING NOTES ON THIS SHEET)
- AFTER INSTALLATION OF THE IRRIGATION SYSTEM THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER WITH AS-BUILT DRAWINGS AND INSTRUCTIONS FOR MAINTENANCE OF THE DRIP SYSTEM. PROVIDE DRIP LINE TO ENSURE EACH SHRUB AND TREE RECEIVES ADEQUATE IRRIGATION SO THAT THE OPTIMUM AMOUNT OF WATER IS APPLIED TO ENSURE THE HEALTH OF ALL PLANT MATERIAL. BURY DRIP LINE AT 5" MIN. BELOW GRADE, SEE DETAIL 9/L2.5. LOCATE DRIP LINE TO OBTAIN COMPLETE COVERAGE OF PLANTER AREAS, SEE DETAIL 10/L2.5. REFER TO NOTES, SPECIFICATIONS, AND DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SYSTEM OPERATIONAL NOTES

SYSTEM OPERATION:
(BASED ON HISTORICAL CLIMATE)
CONTROLLER SETUP:

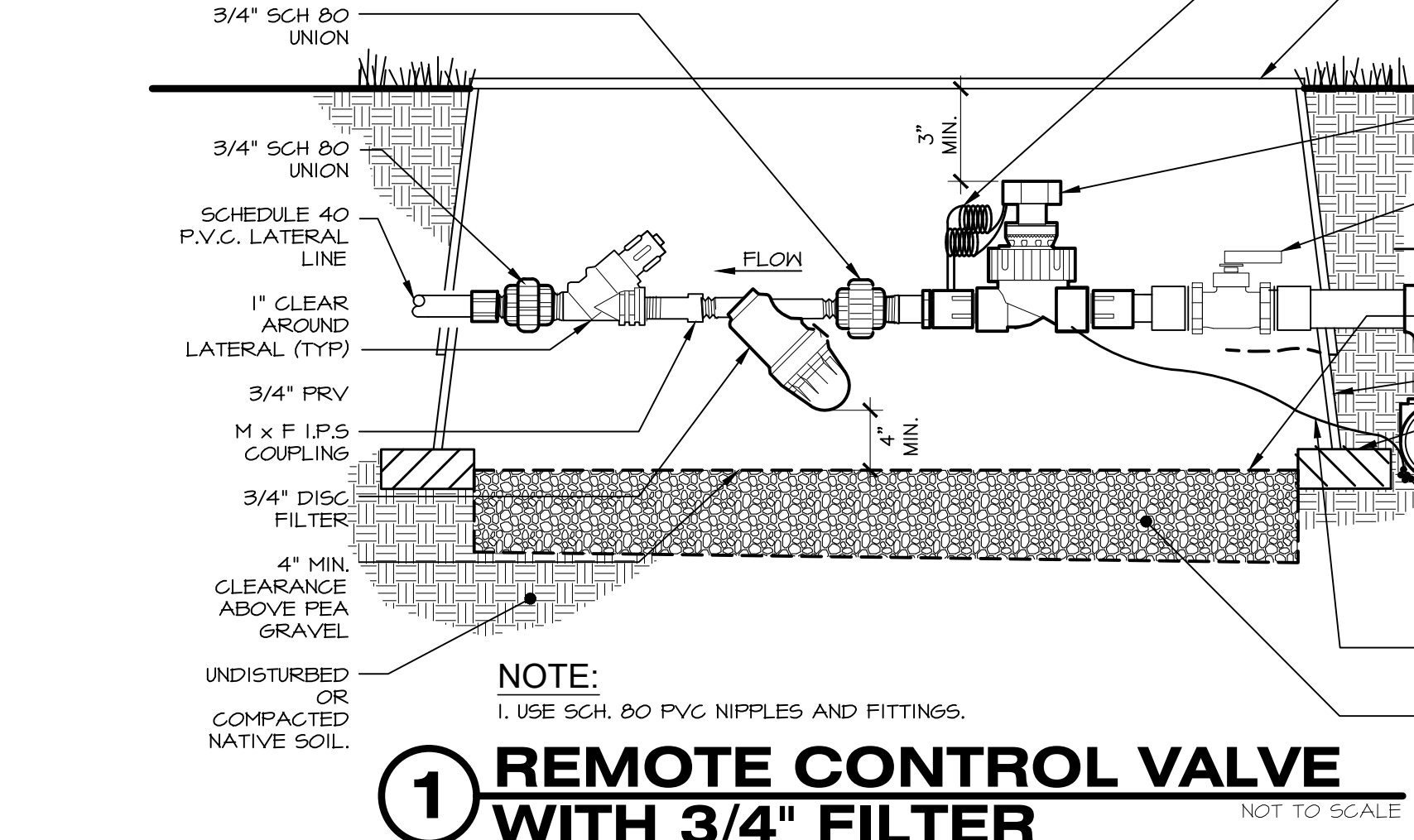
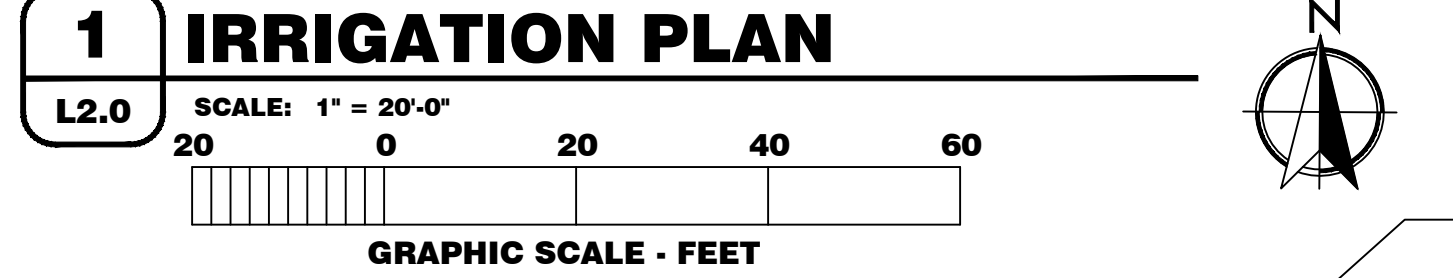
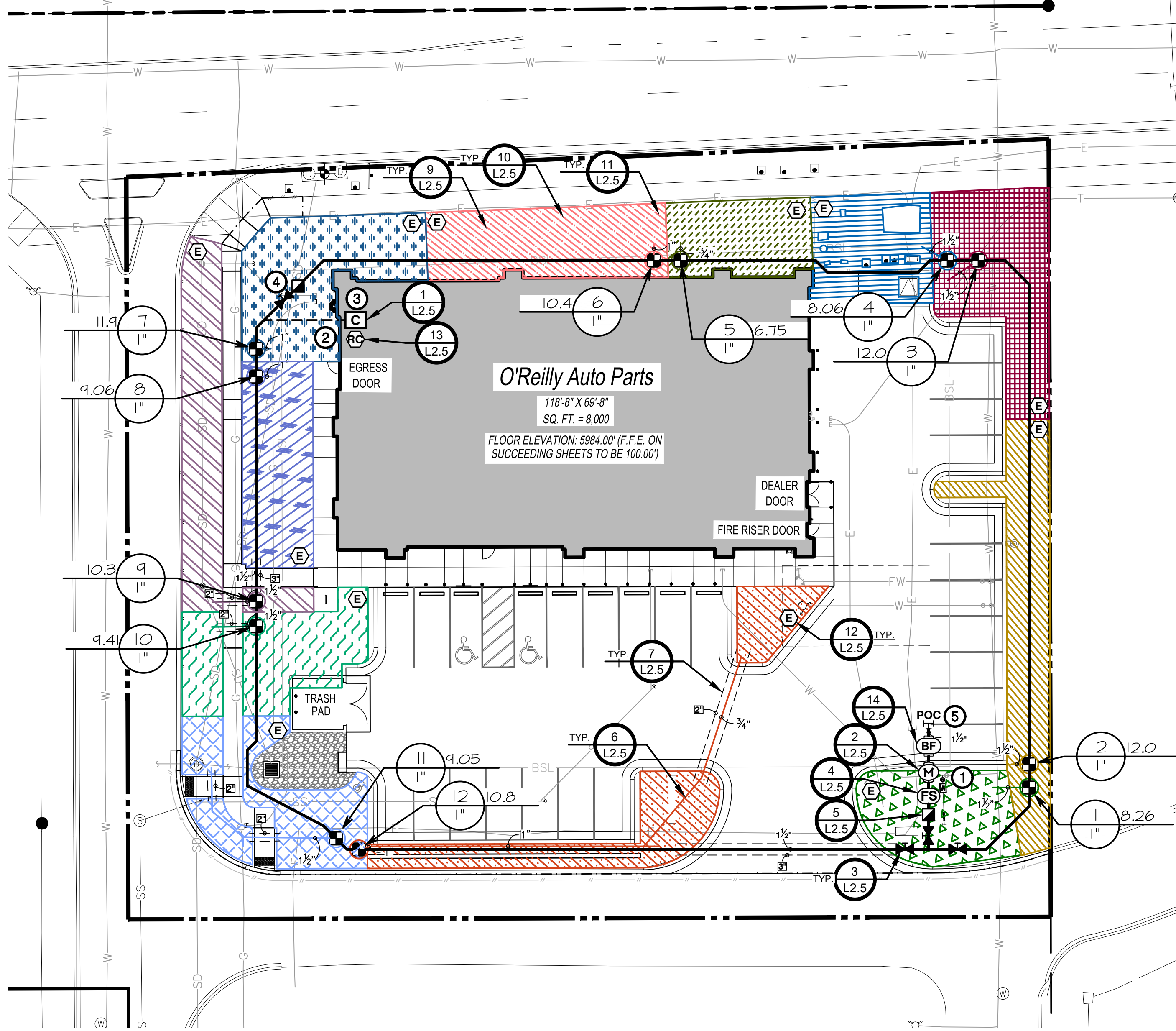
A CYCLING TECHNIQUE WILL BE USED FOR APPLICATION OF WATER, EACH STATION RUN TIME WILL BE APPLIED WITH THREE (3) DIFFERENT START TIMES, THEREFORE STATION RUN TIMES REFLECT ONE THIRD (1/3) THE TOTAL APPLICATION. PEAK WATER APPLICATION WILL REQUIRE IRRIGATION EVERY NIGHT. CONTROLLER SETTINGS FOR START TIME #1 AT 7:30P.M., START TIME #2 AT 12:00A.M., AND START TIME #3 AT 5:30A.M. EXTEND WATER WINDOW IF REQUIRED TO MEET PEAK WATER REQUIREMENTS.

INITIAL STATION RUN TIMES:

DRIP ZONES: SHRUBS - 10 MINUTE CYCLES. (5 CYCLES MINIMUM SPACED EVENLY THROUGHOUT WATER WINDOW AS NOTED ABOVE)
SPRAY ZONES: TURF - 5 MINUTE CYCLES.

SYSTEM BALANCING:

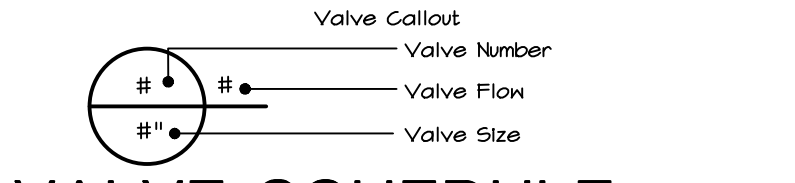
AS THE SYSTEM OPERATES, SOME ZONES WILL BE WET WHILE OTHERS ARE DRY. ADJUST ONLY THOSE STATIONS WHICH REQUIRE ADDITIONAL OR LESS WATER. FOR EXAMPLE, IF STATION T51, A 15' TURF SPRAY ZONE IS ALWAYS DRY, CHANGE THE STATION T51 RUN TIME FROM FIFTEEN (15) MINUTES TO SIXTEEN (16) MINUTES. CONTINUE MAKING ADJUSTMENTS UNTIL THE ZONE MOISTURE CONTENT IS ACCEPTABLE. USE NOZZLE CHANGES OR NOZZLE SCREEN ADJUSTMENTS TO ADJUST WET AND DRY AREAS WITHIN A ZONE.



- 36" SLACK WIRE ROLLED NEATLY, USE 3M DRY WATER PROOF WIRE CONNECTORS
- RECTANGULAR HEAVY DUTY PLASTIC VALVE BOX WITH LOCKING LID AND LABELED "IRRIGATION" (PROVIDE BOLTS AND SECURE PER MANUFACTURER'S RECOMMENDATIONS) BOX TO BE LEVEL AND FLUSH WITH FINISH GRADE.
- FINISH GRADE
- REMOTE CONTROL VALVE AS SPECIFIED (ONE VALVE PER BOX) 12" MIN. VALVE DEPTH.
- INSTALL FPTXFTPT BALL VALVE IN VALVE BOX. (2" DIA. PIPE AND ABOVE USE SCH. 80 BALL VALVES, ANY PIPE SIZES UNDER 2" DIA. PIPE USE SCH. 40 BALL VALVES)
- LOCATOR TAPE
- FILTER FABRIC BARRIER
- VALVE BOX EXTENSION AS REQUIRED
- PAVING BRICK (1 OF 4)
- HARGO SCH 40 PVC GASKETED SERVICE TEE OR APPROVED EQUAL OR DOWAC 202N PIPE SADDLE OR APPROVED EQUAL
- MAINLINE AS SPECIFIED (24" MIN. BURY)
- TAPE AND BUNDLE CONTROL WIRE AT 10'-0" O.G. INTERVALS ALONG MAIN LINE
- 24 VOLT COMMON AND CONTROL WIRE TO VALVE
- 6" DEEP (MIN) BED OF 3/8" CLEANED AND WASHED PEA GRAVEL

IRRIGATION SCHEDULE

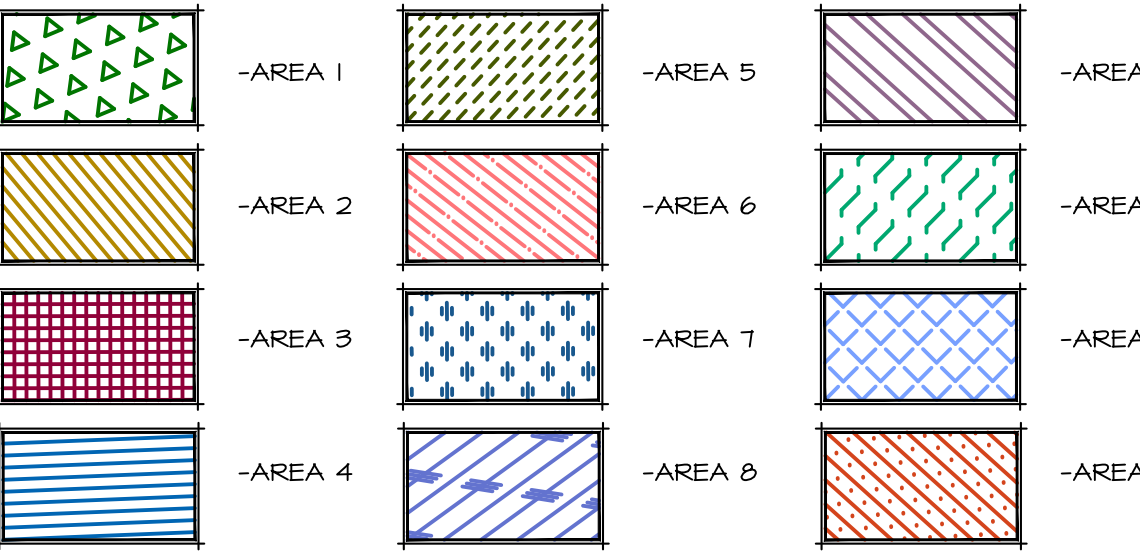
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
■	Hunter ICZ-101-25-LF Drip Control Zone Kit, In. 1CV Globe Valve with In. HY100 Filter system. Pressure Regulation 25psi. Flow Range: 5 GPM to 15 GPM. 150 mesh stainless steel screen. See Detail 1/L2.0
SEE DRIP MATERIAL LEGEND	Area to Receive Drip Line Hunter HDL-06-12-CV HDL-06-12-CV; Hunter Drip Line w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Drip line laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings. See Details 8-1/L2.5
■	Hunter HQ-5RC Quick coupler valve, yellow rubber cover, red brass and stainless steel, with In. NPT inlet, 1-piece body. See Detail 5/L2.5
■	Mueller's Brass Valve or approved equal. Threaded. See Detail 3/L2.5
M	Hunter ICV-6-FS Size to match mainline. Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for commercial/Multipurpose Uses. With Filter Sentry Factory Installed Option. See Detail 3/L2.5
BF	Zurn 350 Size to match mainline. Backflow Preventer w/ EZ5nap. See Detail 14/L2.5
C	Hunter PHC-12001 NI-FI enabled, full-functioning controller with touchscreen, 12-Station fixed controller, 120 VAC, indoor model. See Detail 1/L2.5
RC	Hunter RAIN-CLIK Rain Sensor, with conduit installation, mount as noted. Normally closed switch. See Detail 13/L2.5
FS	Hunter HC-100-FLOW Size to match mainline. Flow meter for use with Hydralise and/or Solis controller to monitor flow and provide system alerts. Also functions as stand alone flow totalizer/sub meter on any residential or commercial irrigation system. See Detail 4/L2.5
POC	Point of Connection 1/2"
—	Irrigation Lateral Line: PVC Schedule 40 Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4". See Detail 64/L2.5
—	1/2" Irrigation Mainline: PVC Schedule 40. See Detail 64/L2.5
---	Schedule 40 PVC for electrical control wires, size as indicated on plans. Coordinate with Electrical.
---	Pipe Sleeve: PVC Schedule 40.



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
1	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	8.26
2	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	12.01
3	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	11.97
4	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	8.06
5	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	6.15
6	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	10.44
7	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	11.85
8	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	9.06
9	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	10.33
10	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	4.41
11	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	9.05
12	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	10.74

DRIP MATERIAL LEGEND



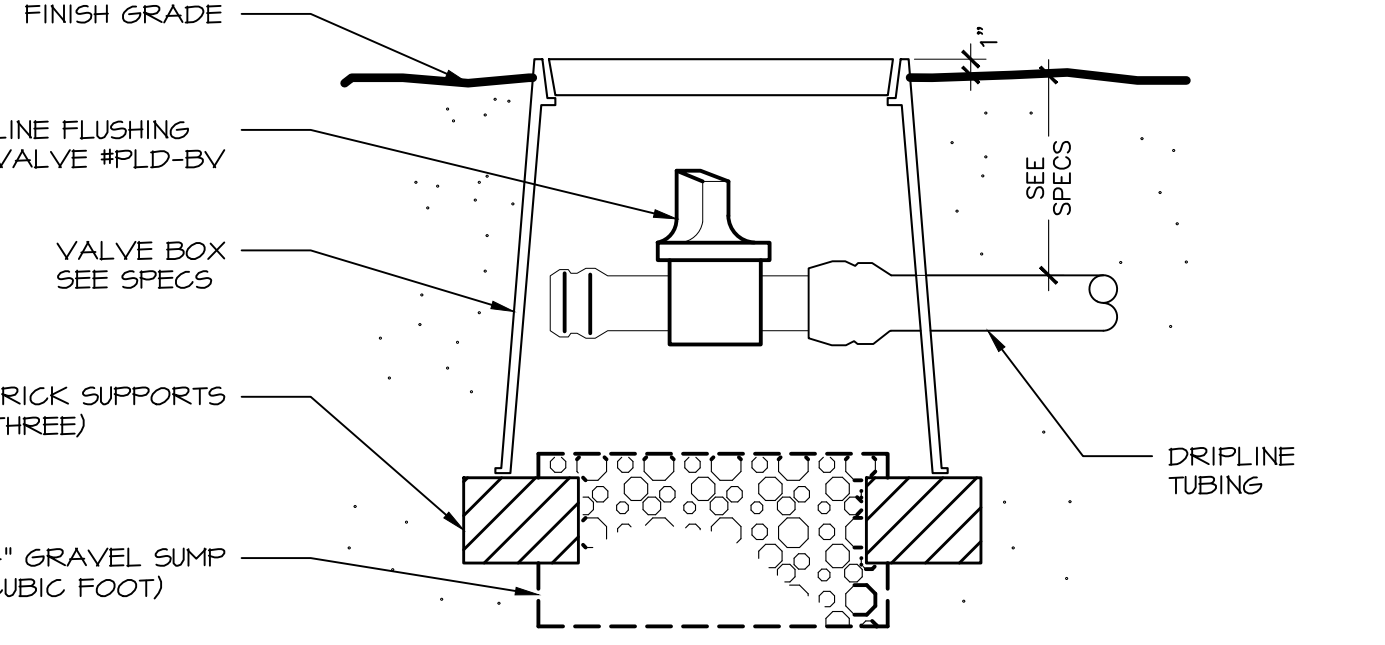
CALLOUT LEGEND

- CONNECT NEW 1/2" MAINLINE TO SERVICE IN THIS APPROXIMATE LOCATION (FIELD VERIFY). SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 2" WIRE SLEEVE, ROUTE TO CONTROLLER LOCATION PER LOCAL CODES AS REQUIRED.
- INDOOR WALL MOUNT IRRIGATION CONTROLLER IN THIS APPROXIMATE LOCATION AS REQUIRED. CONNECT 120 VOLT AS REQUIRED. ALL ABOVE GRADE WIRES SHALL BE LOCATED IN APPROPRIATELY SIZED CONDUIT (2" MINIMUM). IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH CERTIFIED ELECTRICAL CONTRACTOR FOR ALL ELECTRICAL CONNECTIONS. IRRIGATION CONTRACTOR SHALL ENSURE ALL CONTROLLER OPTIONS AND ZONES ARE FULLY OPERATIONAL AFTER TRENCHING HAS FINISHED. CONTROLLER LOCATION TO BE OWNER APPROVED. REVISE LOCATION AS REQUIRED FOR OWNER APPROVAL.
- EXTEND EXTRA WIRES TO THIS POINT, COIL APPROXIMATELY 24" LENGTH OF EXTRA WIRES IN SEPARATE VALVE BOX AT THIS LOCATION.
- IRRIGATION MATERIALS SHOWN IN HARDSCAPE IS FOR GRAPHIC CLARITY ONLY AND SHALL BE LOCATED IN ADJACENT LANDSCAPING.

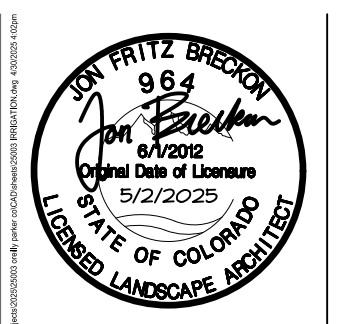
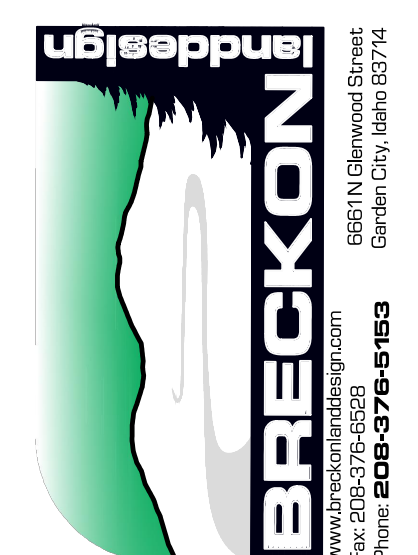
PRESSURE ANALYSIS

P.O.C. NUMBER: 01
Water Source Information:
FLOW AVAILABLE
Point of Connection Size: 1 1/2"
Flow Available: 46.54 GPM
PRESSURE AVAILABLE
Static Pressure at POC: 60 PSI
Pressure Available: 60 PSI
DESIGN ANALYSIS
Maximum Station Flow: 11.85 GPM
Flow Available at POC: 46.54 GPM
Residual Flow Available: 34.71 GPM
Critical Station:
Design Pressure: 25 PSI
Friction Loss: 0.36 PSI
Fittings Loss: 0.03 PSI
Elevation Loss: 0 PSI
Loss through Valve: 4.21 PSI
Pressure Req. at Critical Station: 37.3 PSI
Loss for Fittings: 0.03 PSI
Loss for Main Line: 0.28 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 4.14 PSI
Loss for Master Valve: 3 PSI
Critical Station Pressure at POC: 44.8 PSI
Pressure Available: 60 PSI
Residual Pressure Available: 15.2 PSI

MANUAL LINE FLUSHING VALVE PLUMBED TO TUBING



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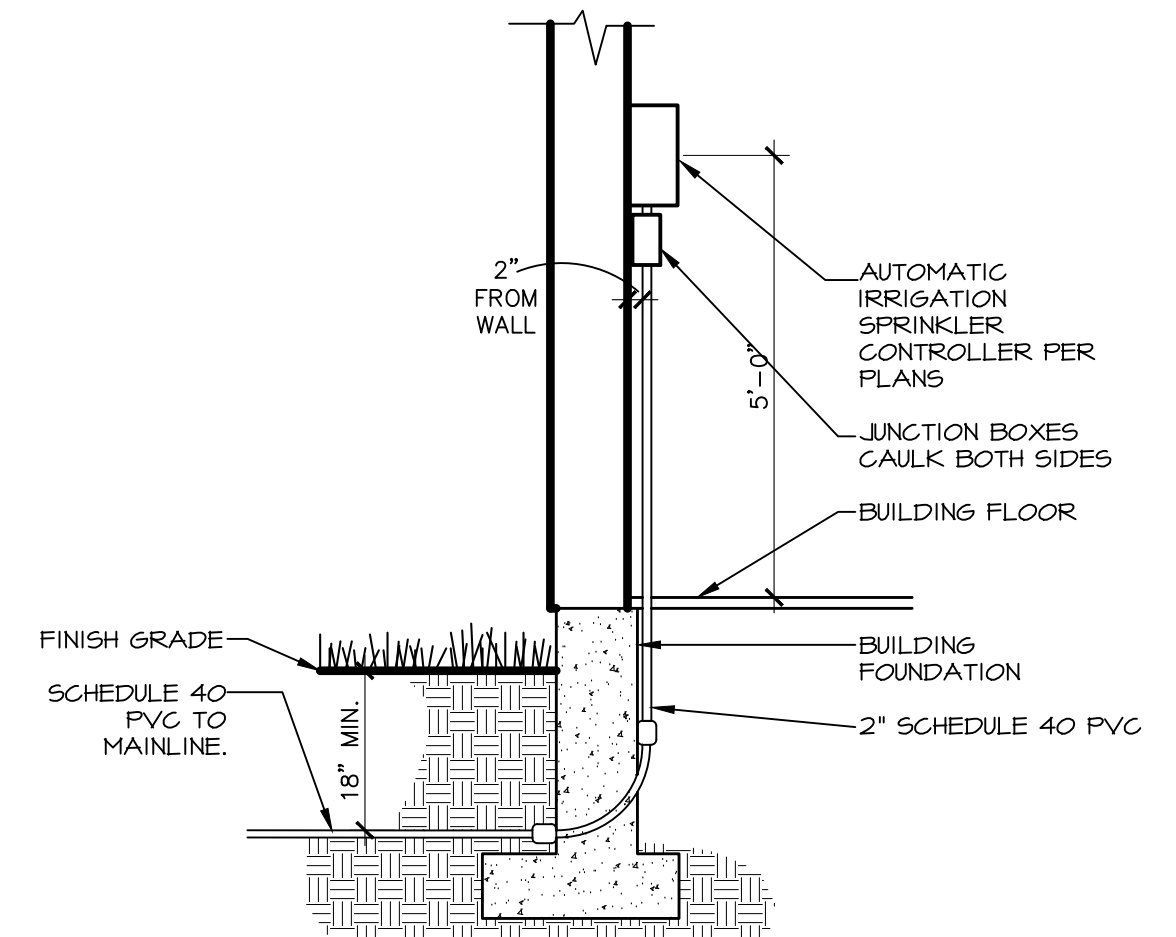


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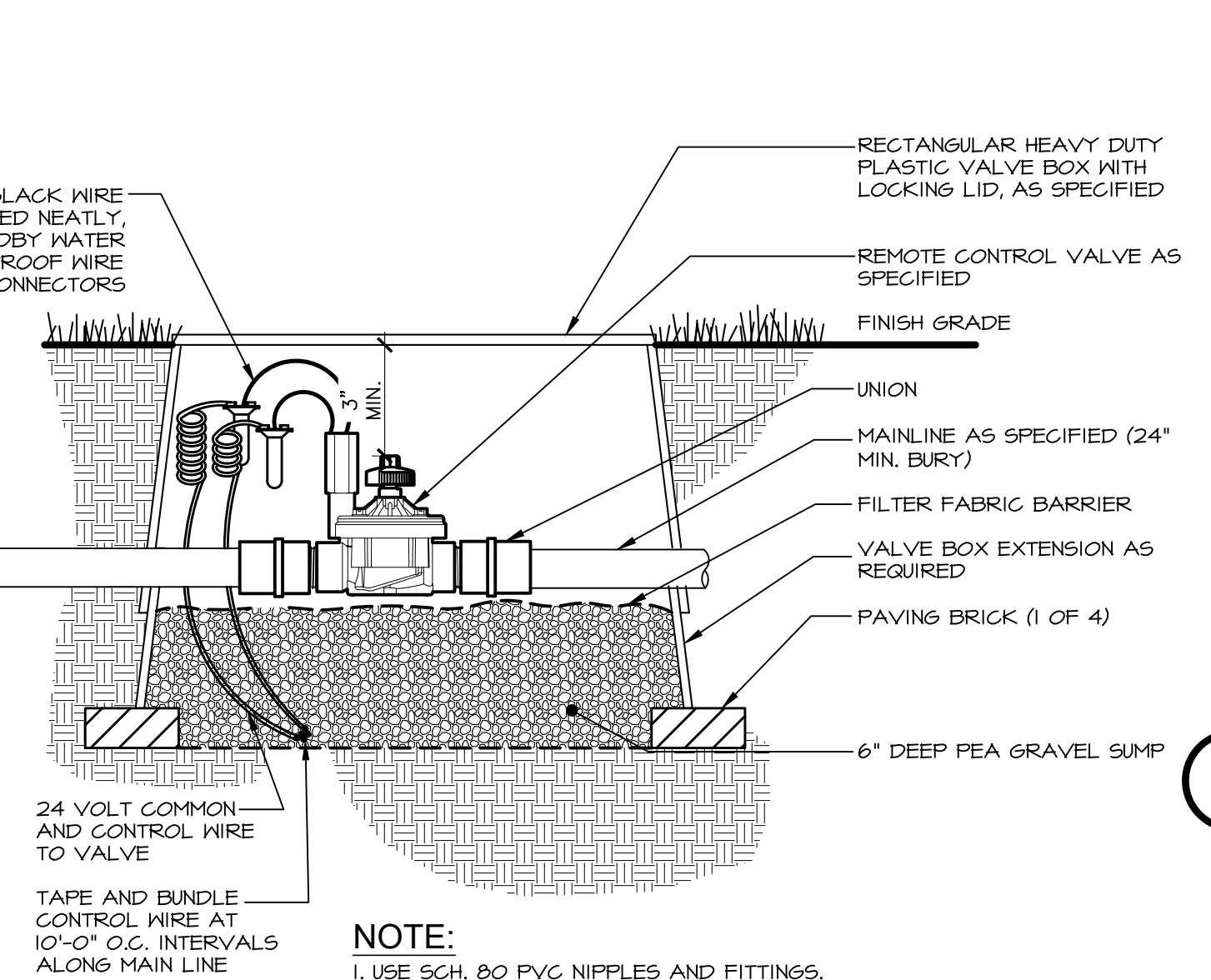
PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
IRRIGATION PLAN



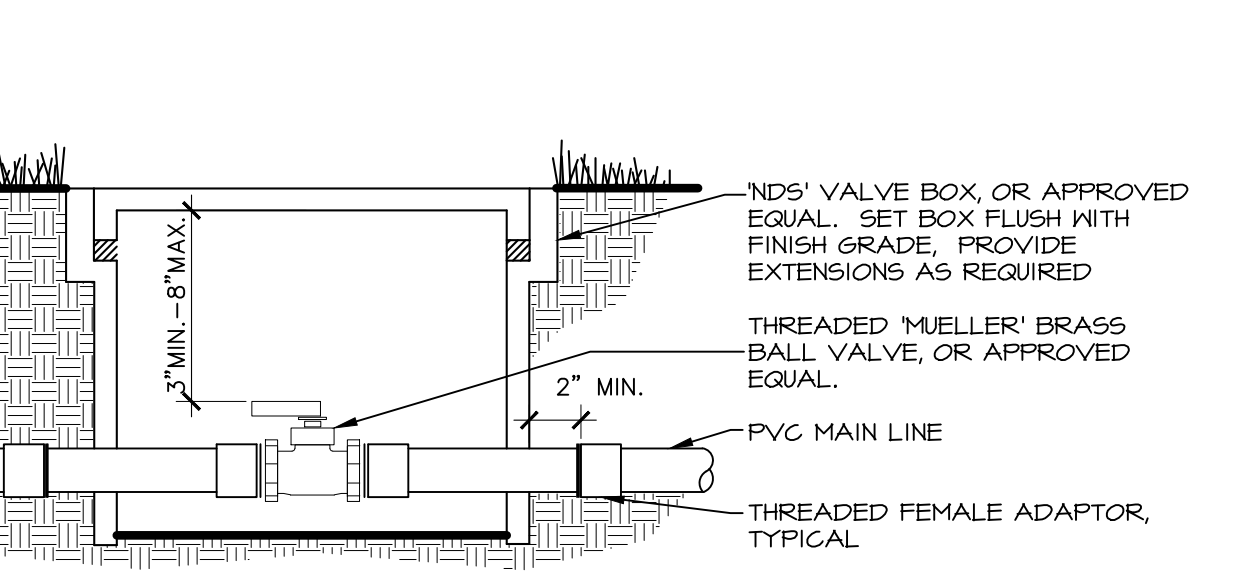
COMM # 4884
DATE: 2-14-2025
REVISION
DATE: 5-2-2025



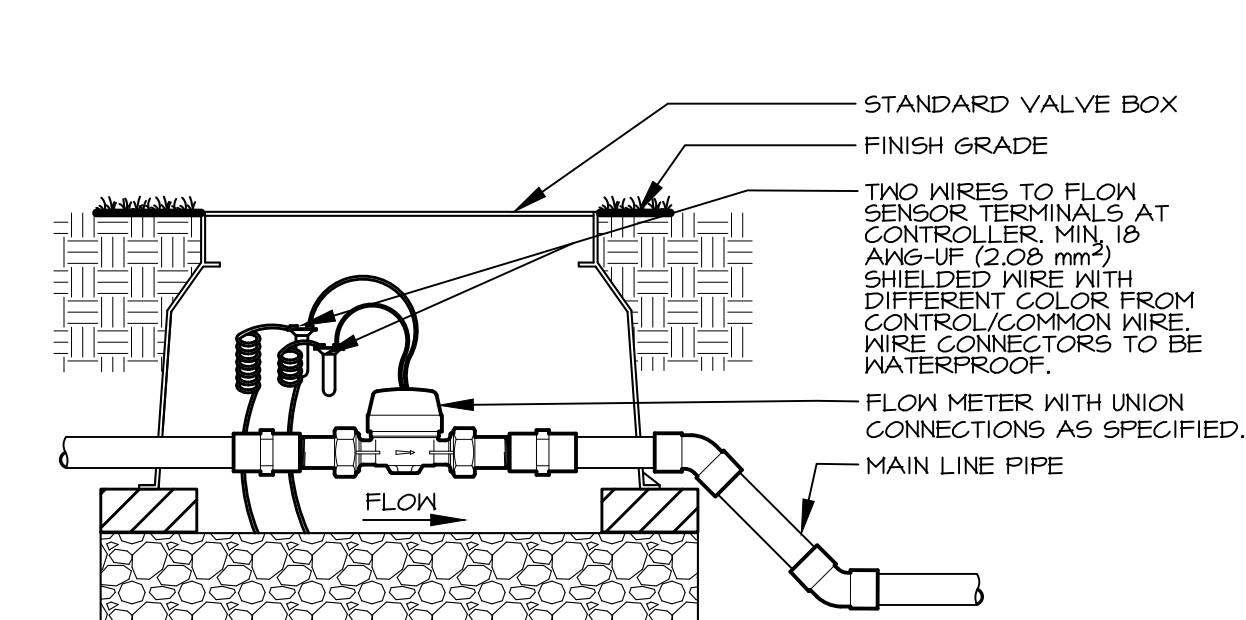
1 AUTOMATIC IRRIGATION CONTROLLER
NOT TO SCALE



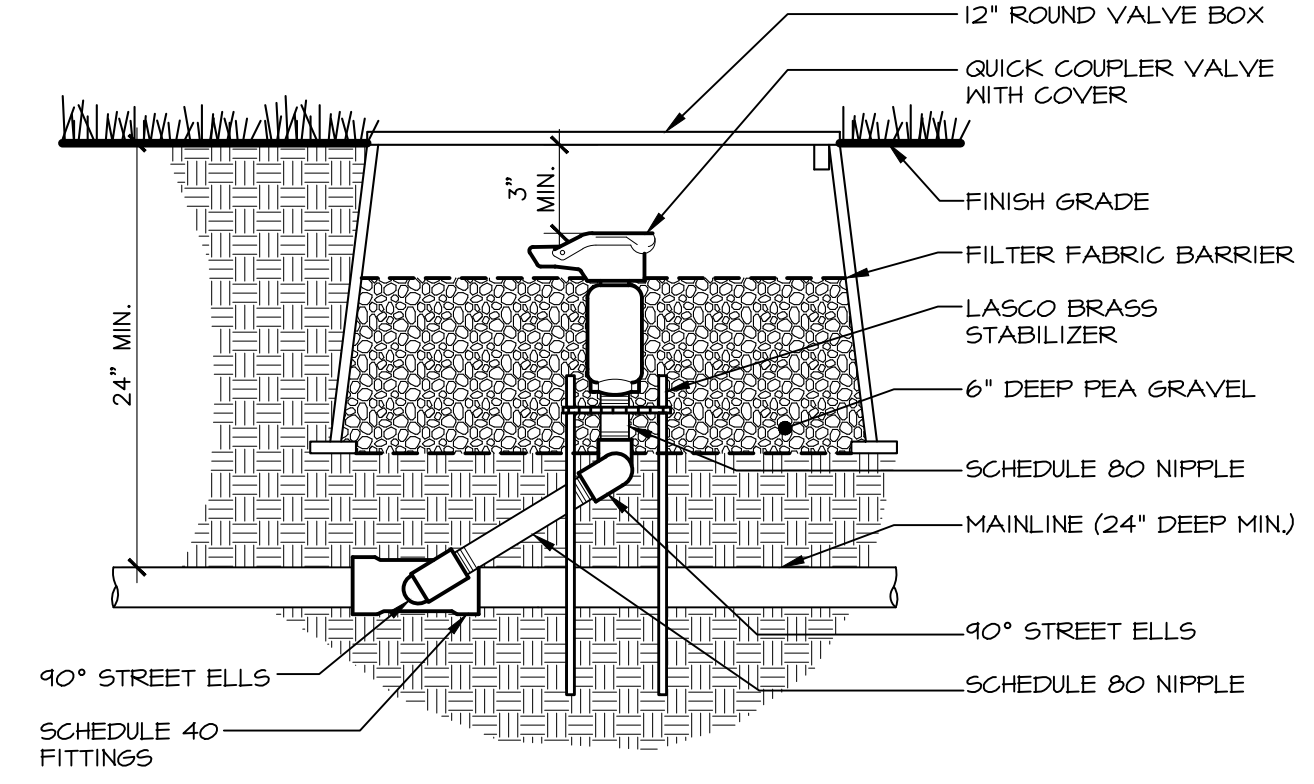
2 MASTER VALVE
NOT TO SCALE



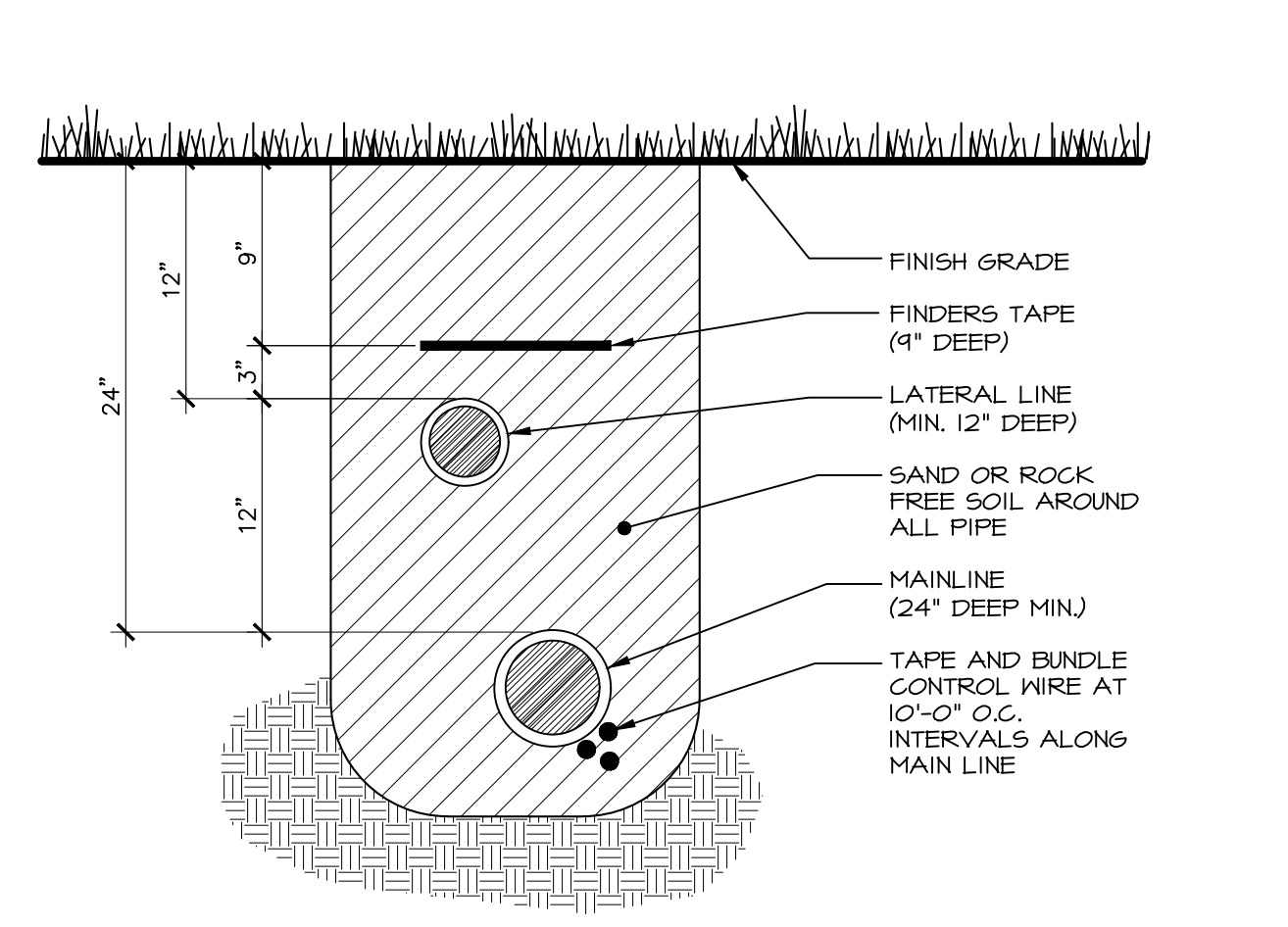
3 ISOLATION VALVE
NOT TO SCALE



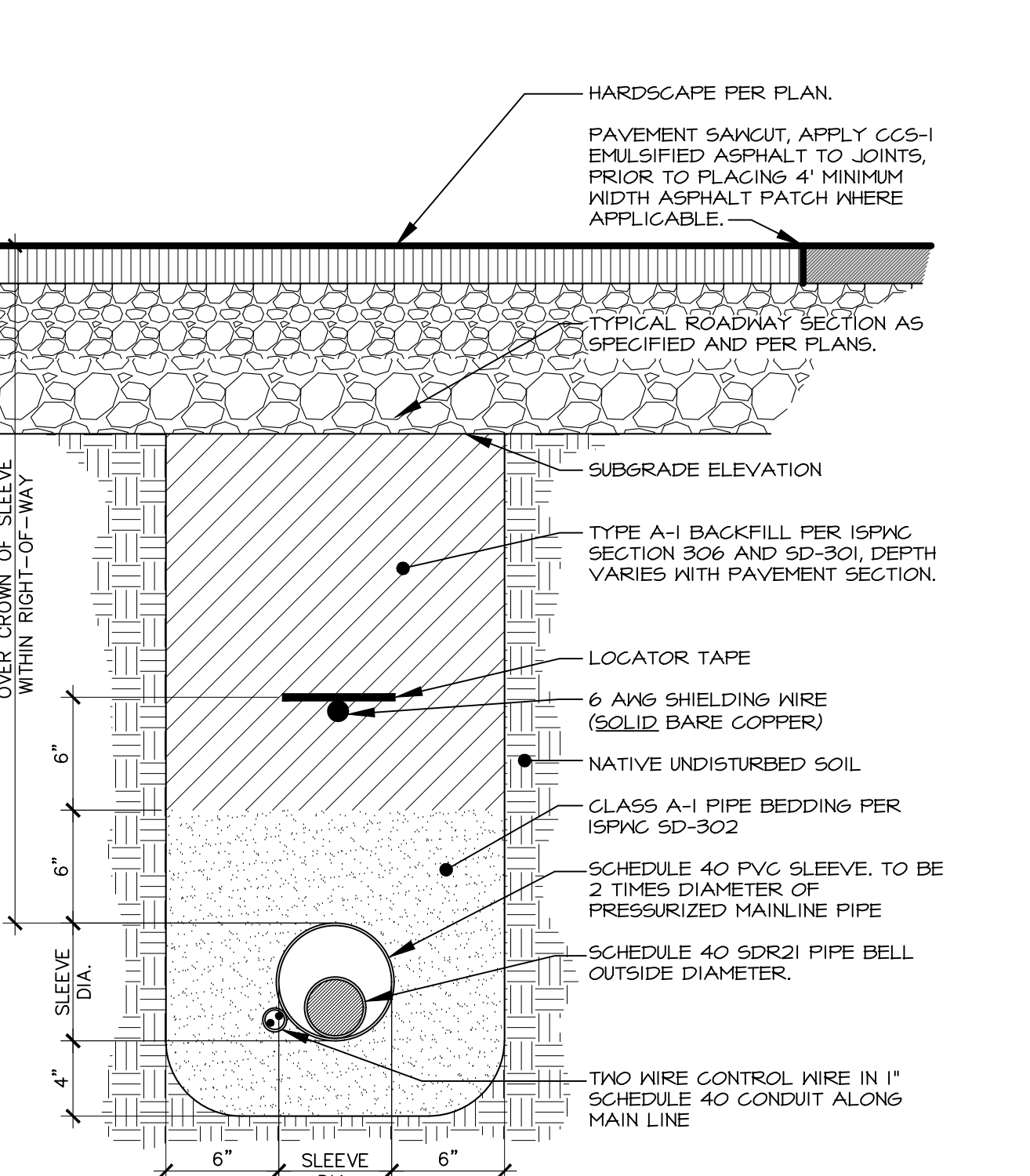
4 FLOW METER
Scale: NTS



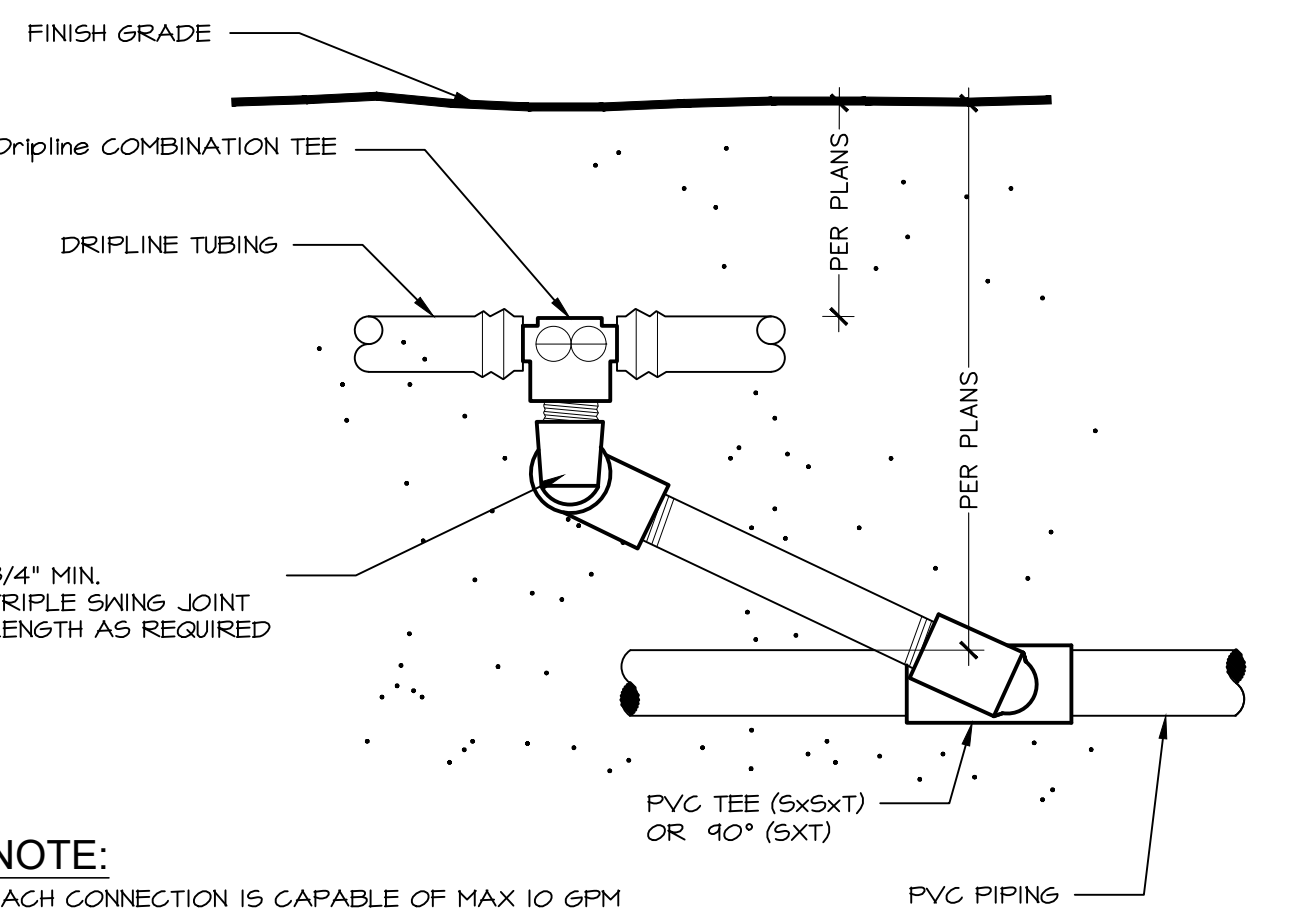
5 QUICK COUPLER VALVE
NOT TO SCALE



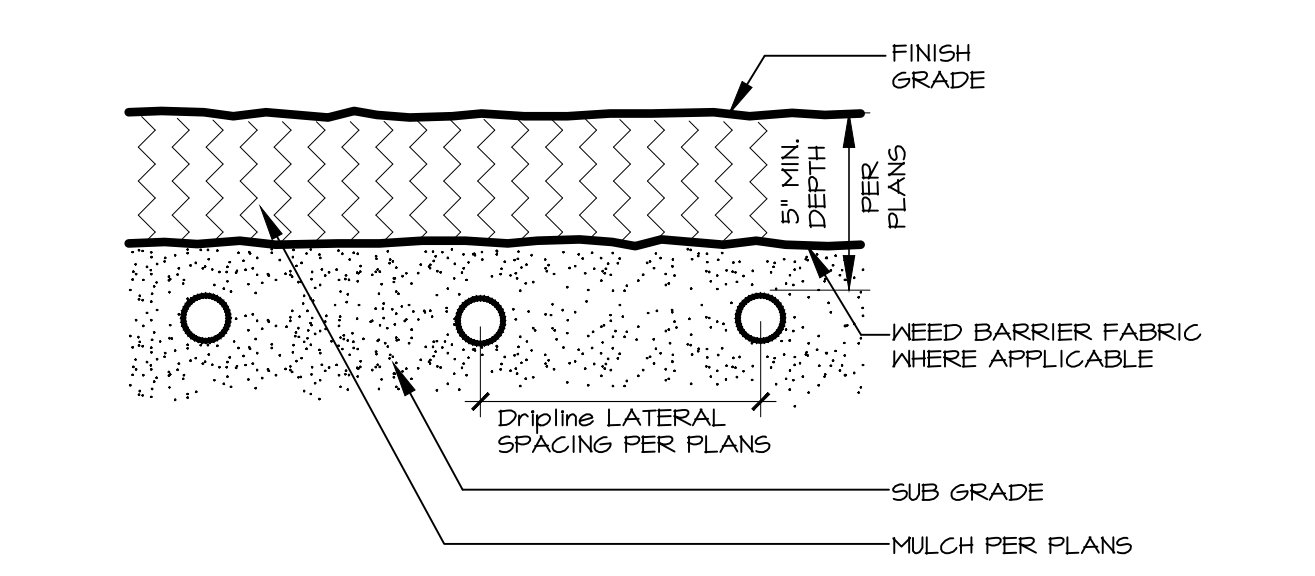
6 TRENCH SECTION
NOT TO SCALE



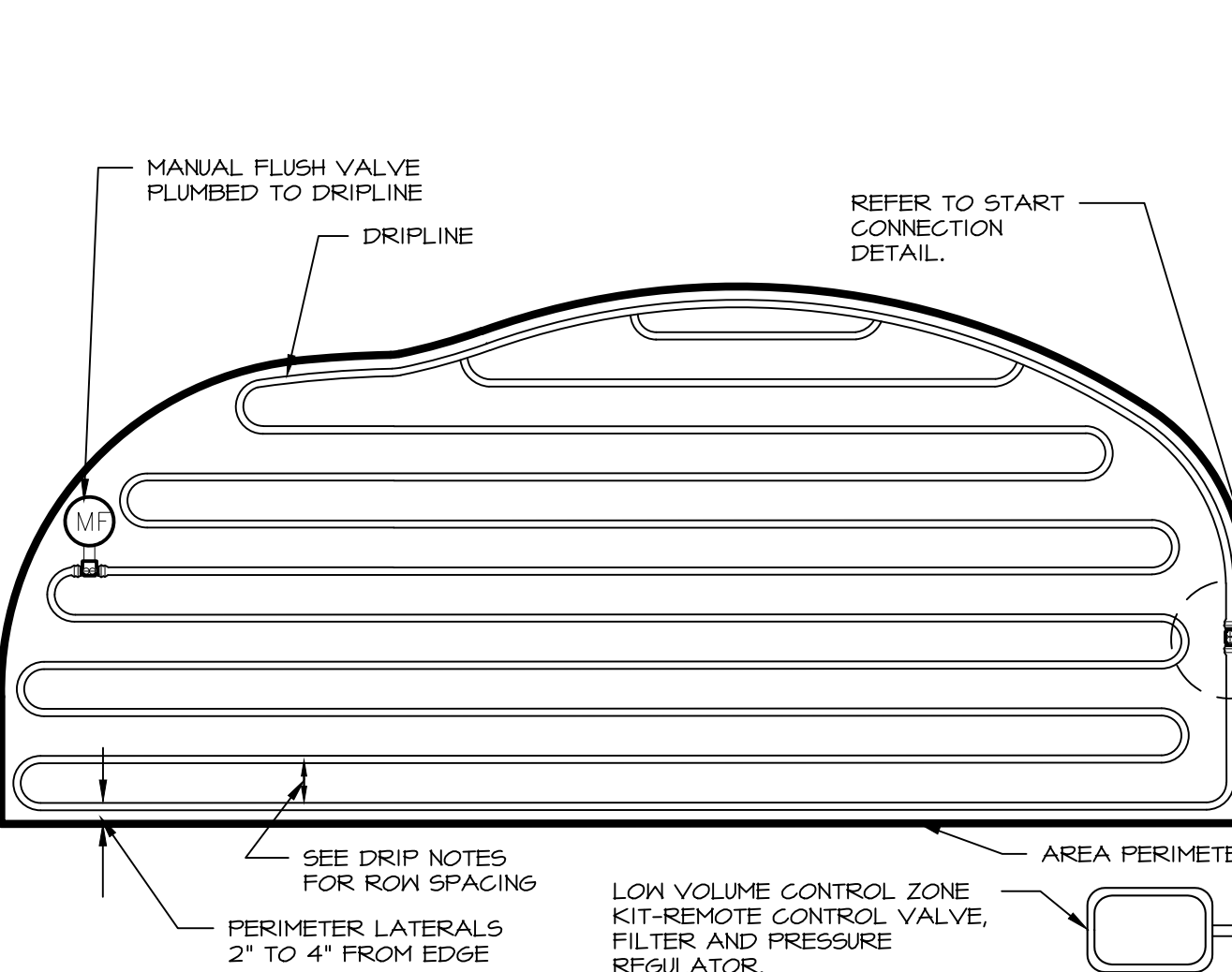
7 HARDSCAPE CROSSING TRENCH SECTION
Scale: 1/12" = 1'-0"



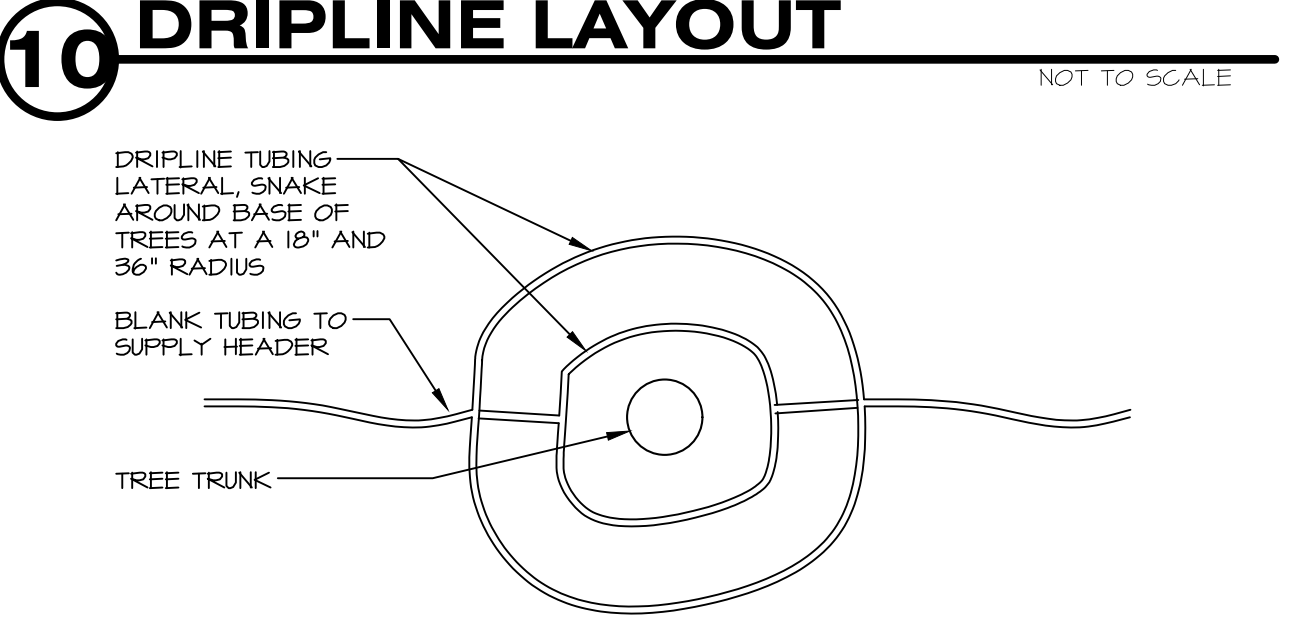
8 DRIPLINE START CONNECTION
NOT TO SCALE



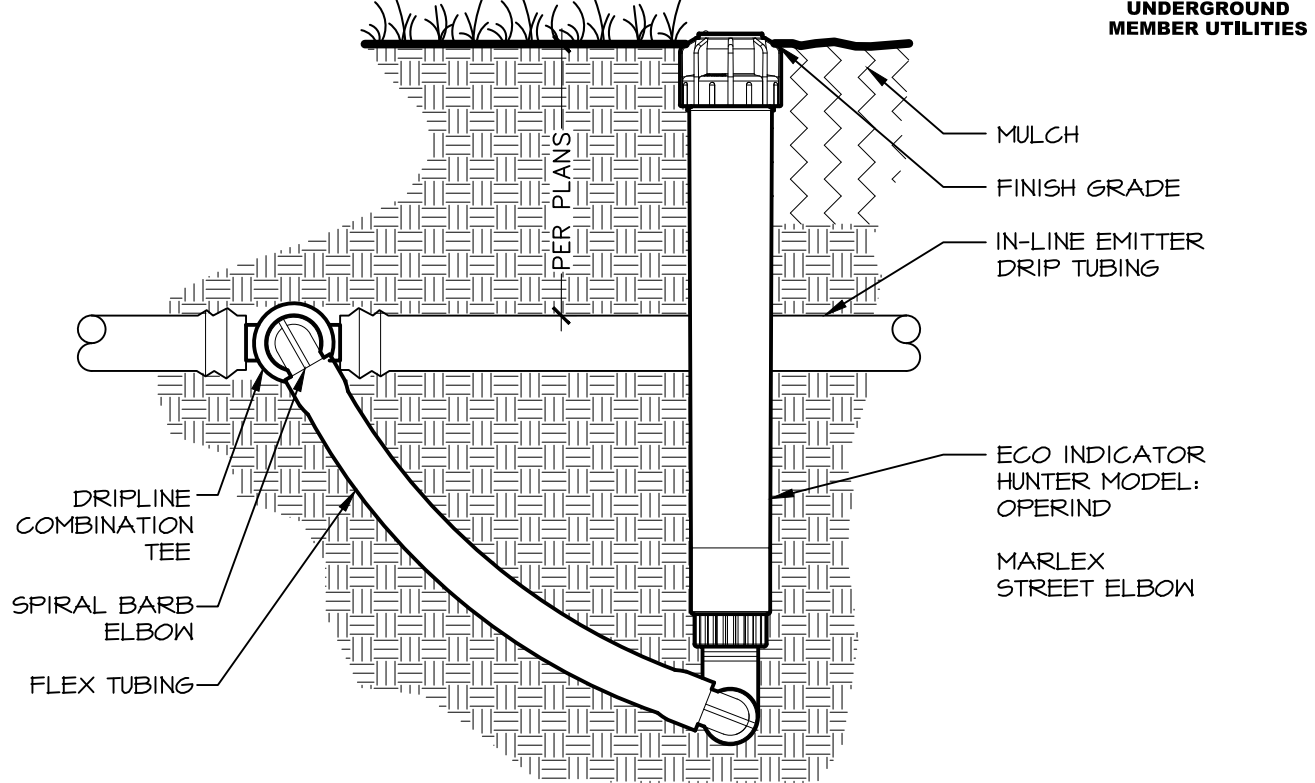
9 DRIPLINE SUBGRADE INSTALLATION
NOT TO SCALE



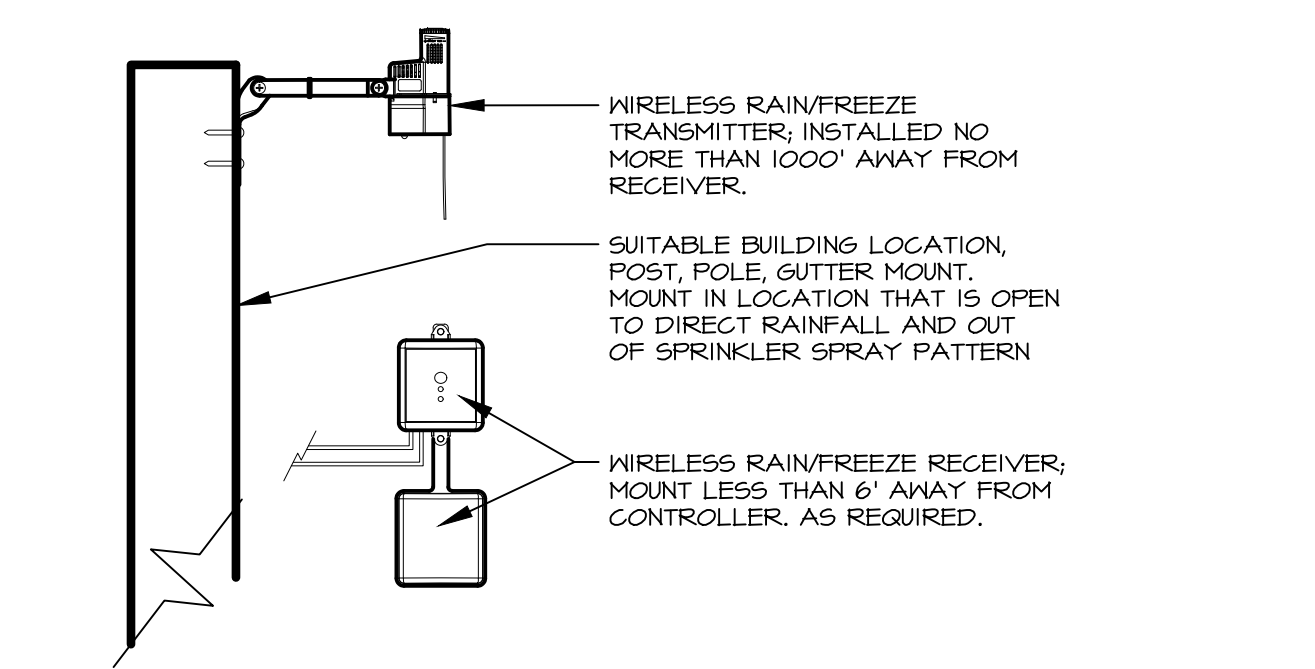
10 DRIPLINE LAYOUT
NOT TO SCALE



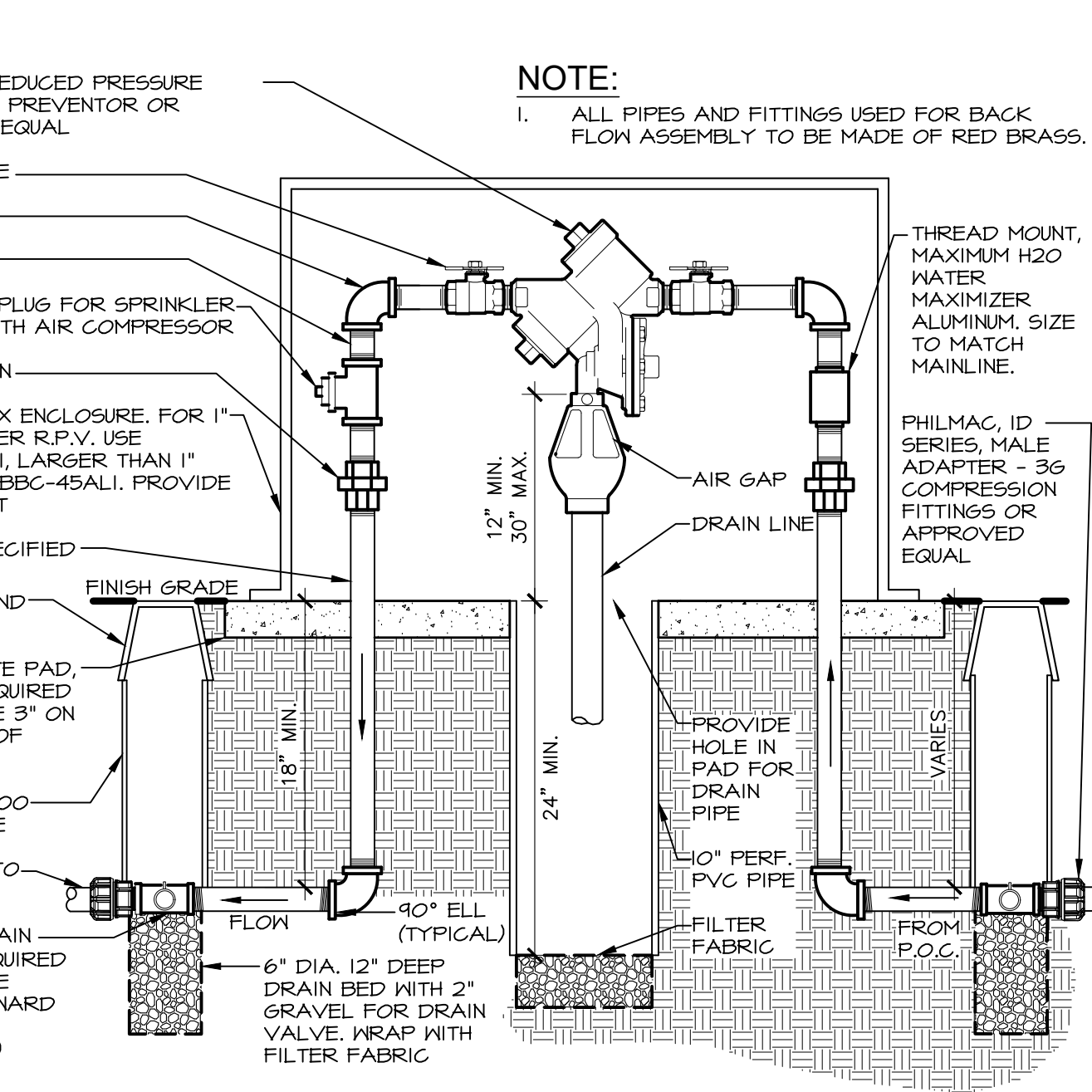
11 DRIPLINE LAYOUT AT TREES
NOT TO SCALE



12 ECO INDICATOR
NOT TO SCALE



13 WIRELESS RAIN/FREEZE CLIK SYSTEM
Scale: NTS



14 REDUCED PRESSURE BACK FLOW PREVENTER
NOT TO SCALE



811
Know what's below. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

S:\projects\2025\25003 oreilly parker co\CAD\sheets\25003 IRRIGATION.dwg

PROJECT: NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
IRRIGATION DETAILS

O'Reilly AUTO PARTS
CORPORATE OFFICES
283 SOUTH PATTERSON
STYLING, MISSOURI 65602
(417) 592-2674 TELEPHONE

TIMOTHY M. GUILLOT
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1736 East Sunshine, Suite 417
Springfield, Missouri 65804
e-mail: architect@estertyschneider.com
417.862.0558
417.862.3265

COMM # 4884
DATE: 2-14-2025
REVISION DATE:

L2.5

EXTERIOR LIGHT FIXTURE SCHEDULE													
ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER (O'REILLY). ITEMS SHALL BE DIRECT ORDERED AND OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR:				SOURCEONE SOLUTIONS 4341 GREEN ASH DRIVE EARTH CITY, MO 63045				SOURCEONE SOLUTIONS O'REILLY TEAM EMAIL: noreilly@sourceonesolutions.com PHONE: 314-499-6400					
MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	FINISH	MOUNTING			LAMPS			WATTAGE	NOTES	FIXTURE QUANTITY
					SURFACE WALL	SURF. CEILING	OTHER	TYPE	FLUORESCENT	LED			
LED EXTERIOR LIGHTS													
WS1	LSI	XWM-FT-LED-06L-50-UE-BRZ NO SUBSTITUTIONS	120	DARK BRONZE	X			X			45	FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.	5
WSP	LSI	XWM-FT-LED-06L-50-UE-BRZ-PC120 NO SUBSTITUTIONS	120	DARK BRONZE	X			X			45	FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.	1
LED POLE LIGHTS													
P1	LSI	MRM-LED-18L-SIL-FT-UNV-DIM-50-70CRI-BRZ-IL		DARK BRONZE				X	X		135	25' POLE LENGTH, ADVANCE BALLASTS, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE SIDE SHIELD, BUG RATING B2-U0-G3	3
FIXTURE QUANTITY TO BE VERIFIED WITH SITE PLAN QUANTITY													

BACKLIGHT-UGLIGHT-GLARE (BUG) RATING / FULL CUTOFF															
DELIVERED LUMENS*															
Lumen Package	Distribution	CRI	2700K			3000K			4000K			5000K			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
03L	2	70	2703	120	B1-U0-G1	2922	125	B1-U0-G1	3088	137	B1-U0-G1	3068	137	B1-U0-G1	22.6
	3	70	2752	122	B1-U0-G1	2973	127	B1-U0-G1	3144	139	B1-U0-G1	3144	139	B1-U0-G1	
	FT	70	2718	120	B1-U0-G1	2838	126	B1-U0-G1	3105	137	B1-U0-G1	3105	137	B1-U0-G1	
04L	2	70	3646	120	B1-U0-G1	3702	125	B1-U0-G1	4051	137	B1-U0-G1	4051	137	B1-U0-G1	29.5
	3	70	3610	122	B1-U0-G1	3769	128	B1-U0-G1	4124	140	B1-U0-G1	4124	140	B1-U0-G1	
	FT	70	3655	121	B1-U0-G1	3722	126	B1-U0-G1	4073	138	B1-U0-G1	4073	138	B1-U0-G1	
06L	2	70	5274	118	B2-U0-G2	5506	123	B2-U0-G2	6025	135	B2-U0-G2	6025	135	B2-U0-G2	44.7
	3	70	5369	120	B1-U0-G1	5606	125	B1-U0-G1	6134	137	B1-U0-G2	6134	137	B1-U0-G2	
	FT	70	5303	119	B1-U0-G2	5536	124	B1-U0-G2	6058	136	B1-U0-G2	6058	136	B1-U0-G2	
08L	2	70	6996	113	B2-U0-G2	7304	116	B2-U0-G2	7993	129	B2-U0-G2	7993	129	B2-U0-G2	62.0
	3	70	7123	115	B1-U0-G2	7437	120	B1-U0-G2	8136	131	B2-U0-G2	8136	131	B2-U0-G2	
	FT	70	7035	113	B1-U0-G2	7345	116	B2-U0-G2	8037	130	B2-U0-G2	8037	130	B2-U0-G2	
12L	2	70	10616	103	B2-U0-G2	10979	107	B3-U0-G3	12014	118	B3-U0-G3	12014	118	B3-U0-G3	102.2
	3	70	10707	105	B2-U0-G2	11178	109	B2-U0-G2	12232	120	B2-U0-G2	12232	120	B2-U0-G2	
	FT	70	10574	103	B2-U0-G3	11040	108	B2-U0-G3	12080	118	B2-U0-G3	12080	118	B2-U0-G3	

AUTOMATIC LIGHTING CONTROL

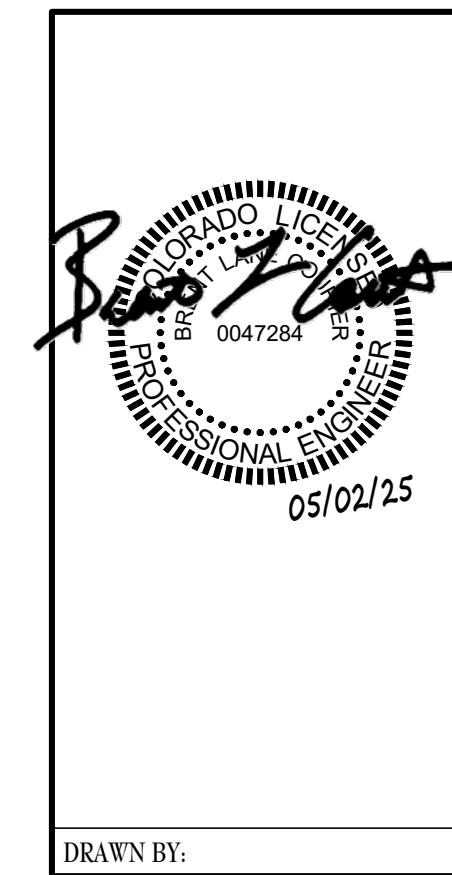
COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

- ONCE THE EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE EM SHEETS.
- INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
- INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.
- EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH OUTSIDE ANYTIME DURING STORE HOURS, AND WILL TURN OFF AT STORE CLOSING.
- EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.

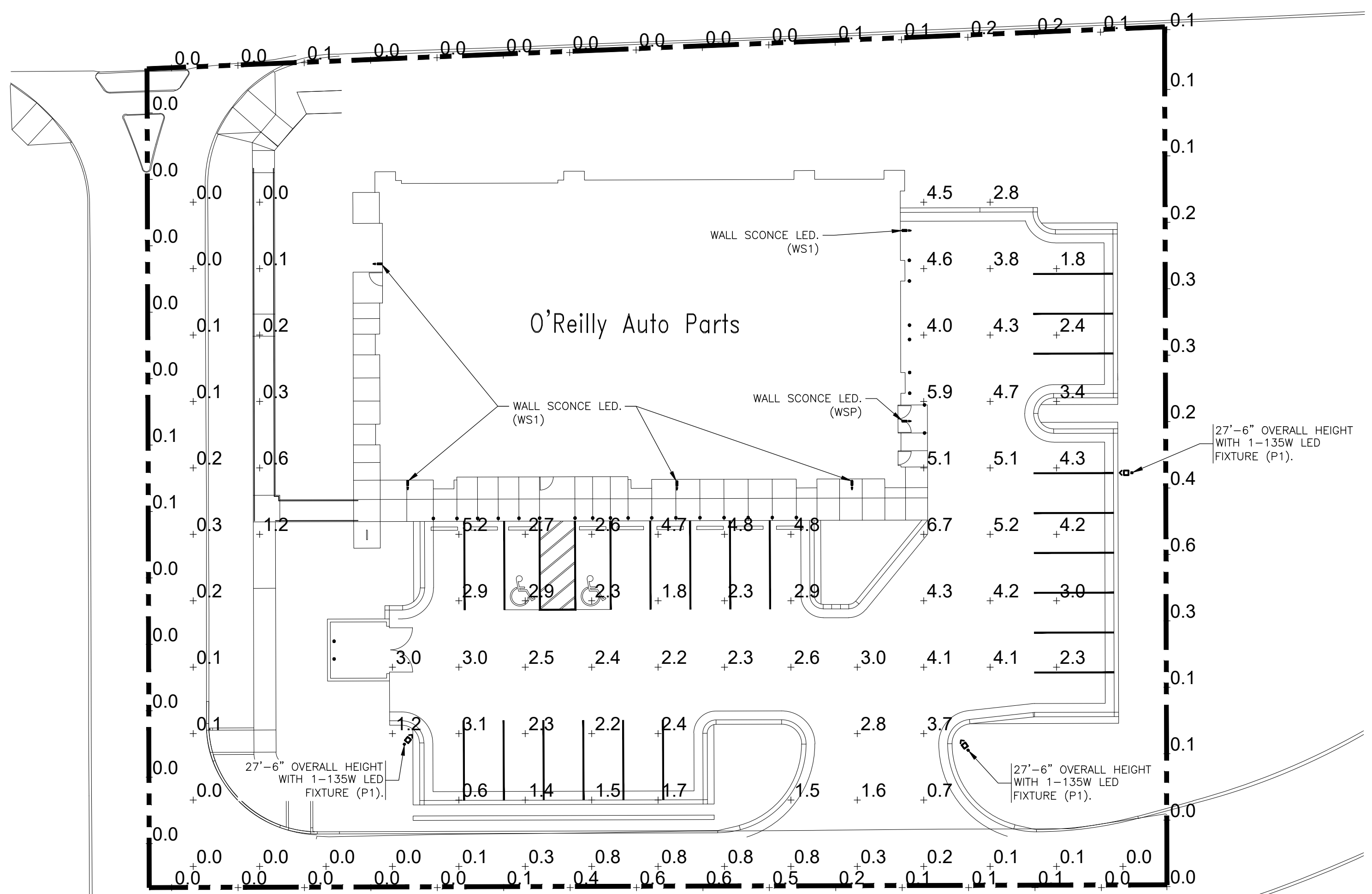
FOR NEW CONSTRUCTION LOCATIONS ONLY, THERE IS A TEMPORARY PROGRAM TO KEEP SIGN AND SITE LIGHTS ON UNTIL MIDNIGHT RATHER THAN THE TIMES INDICATED ABOVE. O'REILLY WILL DISABLE THIS PROGRAM ONE YEAR AFTER STORE OPENING.

(EXCLUDING TX, EXTERIOR LIGHTS STAY ON OVERNIGHT FOR SECURITY PURPOSES.)

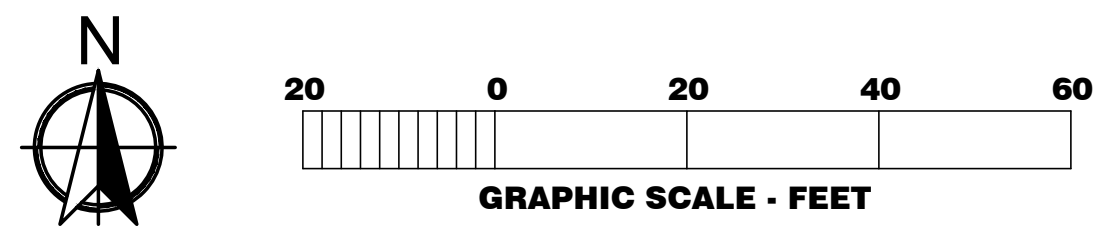
- RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.



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SITE LIGHTING PHOTOMETRICS
SCALE: 1"=20'



05-02-25
SHEET CHANGED IN ITS ENTIRETY.



PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
SITE LIGHTING PHOTOMETRICS

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

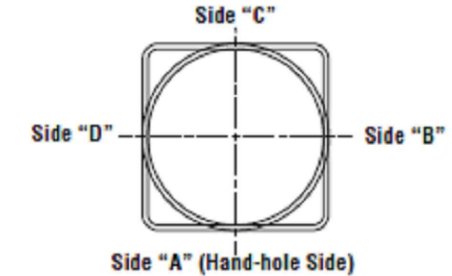
COMM # 4884
DATE: 02-14-2025
REVISION
DATE: 05-02-25



Steel Poles - Square Straight

DRILLING LOCATIONS

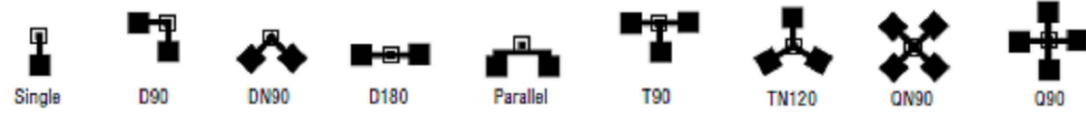
Sides	A	B	C	D
Single	X			
D180	X	X	X	
D300	X	X	X	X
D360	X	X	X	X
D420	X	X	X	X
D480	X	X	X	X
D540	X	X	X	X
D600	X	X	X	X
D660	X	X	X	X
D720	X	X	X	X
D780	X	X	X	X
D840	X	X	X	X
D900	X	X	X	X



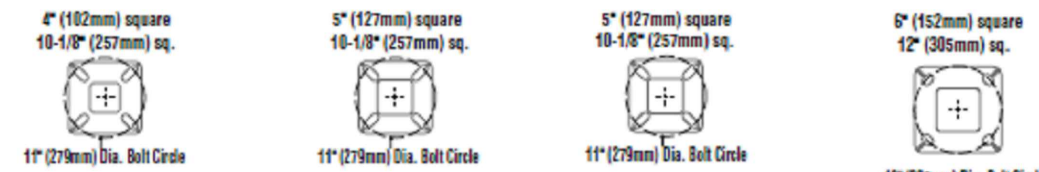
NOTES:
 1- Two locations will be 45° to the left and right of Side A.
 2- Other two locations will be 120° to the left and right of Side A.
 3- Two locations will be 45° to the left and right of Side A and two locations will be 120° to the left and right of Side A.

Consult factory for custom variations. Standard SF and DF pole preparations are located 1/4" of the height of the pole from the base, except on 20' poles. Maximum height for SF and DF pole preparations on 20' poles is 13' from the base.

FIXTURE CONFIGURATIONS



BOLT CIRCLE



Bolt Circle Designator	B	C	D	J
Bolt Circle	8'-11" (2665mm)	9'-11" (2981mm)	10'-11" (3281mm)	12" (3048mm)
Anchor Bolt Size	3/4" x 32" (19mm x 814mm)	3/4" x 32" (19mm x 814mm)	7/8" x 32" (22mm x 814mm)	1" x 32" (25mm x 814mm)
Anchor Bolt Projection	5-1/4" (138mm)	5-1/4" (138mm)	6" (152mm)	6" (152mm)
Base Plate Opening for Wireway Entry	3-5/8" (92mm)	4-3/4" (121mm)	4-5/8" (117mm)	5-3/8" (136mm)
Base Plate Dimensions	10-1/8" sq. x 1-3/4" Hk. (257mm x 37mm)	10-1/8" sq. x 2-3/4" Hk. (257mm x 69mm)	10-1/8" sq. x 1" Hk. (257mm x 25mm)	12" sq. x 1-1/8" Hk. (305mm x 29mm)
Pole Gauge	11	11	7	7

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the appropriate anchor bolt template.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsi-industries.com
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Steel Poles - Square Straight

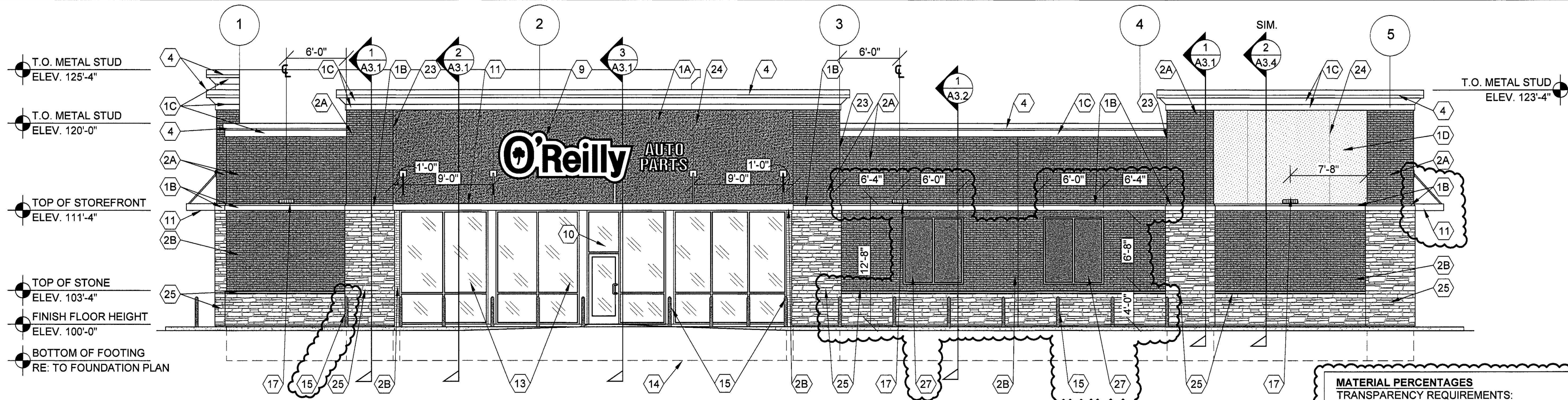
ORDERING GUIDE

TYPICAL ORDER EXAMPLE: 4SQ B3 S11G 24 S P L P D G P

Pole Series	Mounting Method	Material	Height	Mounting Configuration	Pole Finish	Options
4SQ - 4" x 4" Square Straight Pole	Bolt-On Mount - See pole selection guide for patterns and future materials.	S11G - 11 Ga. Steel (60K and 55K only)	8'	B - Single/Parallel	B3 - Bronze	GA - Galvanized Anchor Bolts DF - Single Flood SF - Double Flood
5SQ - 5" x 5" Square Straight Pole	Bolt-On Mount - See pole selection guide for patterns and future materials.	301G - 10 Ga. Steel	10'	D180 - Double D360 - Double D540 - Double D720 - Triple D900 - Quad	BLK - Black PLP - Platinum Plus WH - White DVS - Salt Vastle Cream GFT - Graphite MSV - Metallic Silver B3R - Reverse Bronze	LAH - Lull Anchor Bolts DOP - Double Flood Plus LAE - Lull Anchor Bolts COW - Conduit Raceway
6SQ - 6" x 6" Square Straight Pole	T-Term Mount - See pole selection guide for terms and future materials.		12'			
			14'			
			16'			
			17'			
			18'			
			20'			
			22'			
			24'			
			26'			
			28'			
			30'			
			32'			
			34'			
			36'			

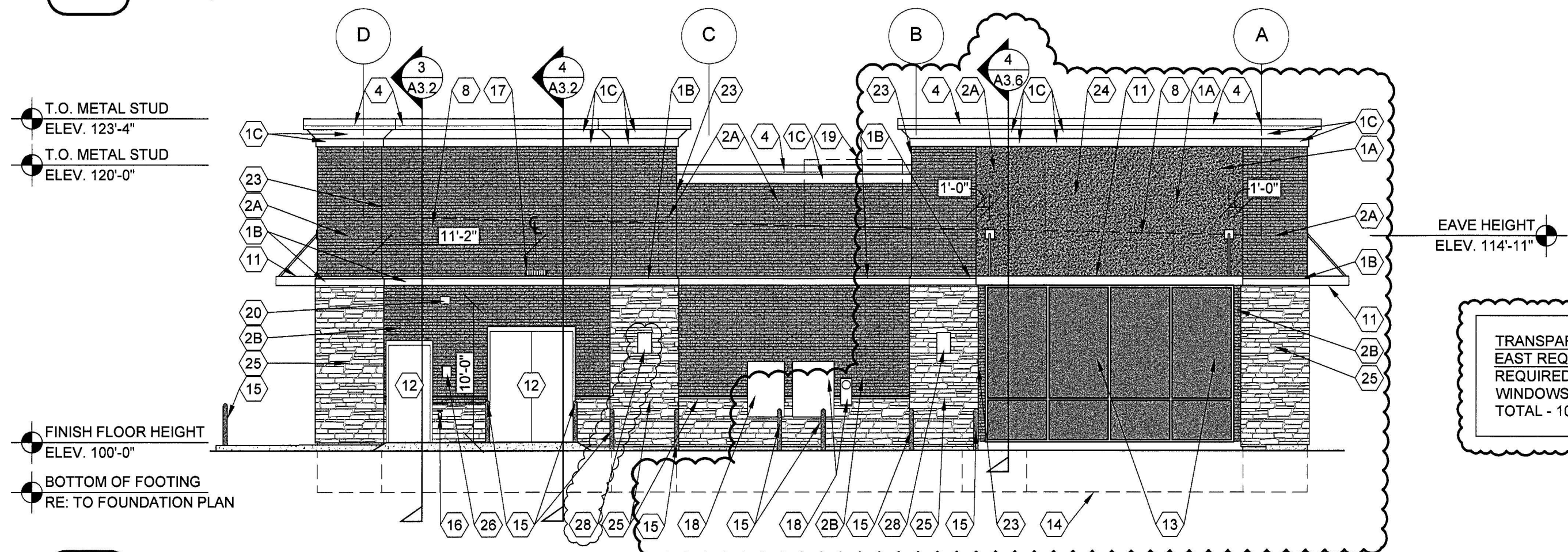
Accessory Ordering Information

Description	Order Number	Description	Order Number
4SQ - 4" Square Base Cover	1209CLB	Windon Damper - 4" Square Pole (bolt on mount only)	1209D
5SQ - 5" Square Base Cover	1209CLC	Windon Damper - 5" Square Pole (bolt on mount only)	1209S
6SQ - 6" Square Base Cover	1209CLD	Windon Damper - 6" Square Pole (bolt on mount only)	1209M
DF - Double Flood (Standard)	1209CLF		
DF - Double Flood (Small)	1209CLG		
DF - Double Flood (Large)	1209CLH		
DF - Double Flood (Extra Large)	1209CLI		
DF - Double Flood (Super Large)	1209CLJ		
DF - Double Flood (Ultra Large)	1209CLK		
DF - Double Flood (Mega Large)	1209CLL		
DF - Double Flood (Giga Large)	1209CLM		
DF - Double Flood (Tera Large)	1209CLN		
DF - Double Flood (Peta Large)	1209CLO		
DF - Double Flood (Exa Large)	1209CLP		
DF - Double Flood (Zetta Large)	1209CLQ		
DF - Double Flood (Yotta Large)	1209CLR		
DF - Double Flood (Nona Large)	1209CLS		
DF - Double Flood (Deca Large)	1209CLT		
DF - Double Flood (Hecto Large)	1209CLU		
DF - Double Flood (Kilo Large)	1209CLV		
DF - Double Flood (Mega Large)	1209CLW		
DF - Double Flood (Giga Large)	1209CLX		
DF - Double Flood (Tera Large)	1209CLY		
DF - Double Flood (Peta Large)	1209CLZ		
DF - Double Flood (Exa Large)	1209CLA		
DF - Double Flood (Zetta Large)	1209CLB		
DF - Double Flood (Yotta Large)	1209CLC		
DF - Double Flood (Nona Large)	1209CLD		
DF - Double Flood (Deca Large)	1209CLE		
DF - Double Flood (Hecto Large)	1209CLF		
DF - Double Flood (Kilo Large)	1209CLG		
DF - Double Flood (Mega Large)	1209CLH		
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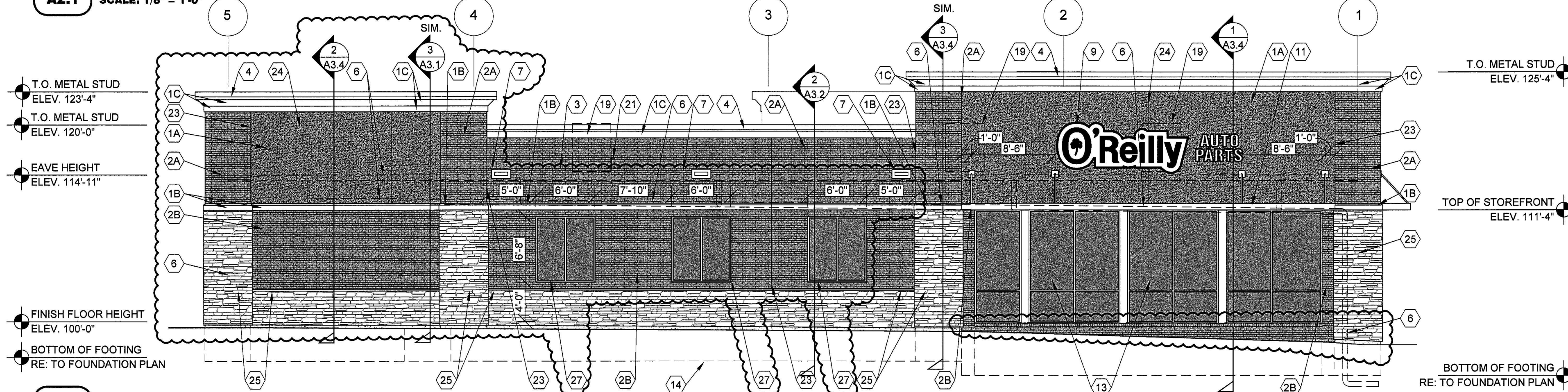
MATERIAL PERCENTAGES
 TRANSPARENCY REQUIREMENTS:
 SOUTH REQUIRED BETWEEN 2' AND 8' = 712.87 SQ. FT.
 REQUIRED - 285.14 SQ. FT. (40%)
 WINDOWS PROVIDED - 232.0 SQ. FT. (32.54%)
 APPLIED WINDOW MULLION AREA - 48.0 SQ. FT. (6.73%)
 TOTAL 287.68 (40.35%)

1 SOUTH EXTERIOR ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"



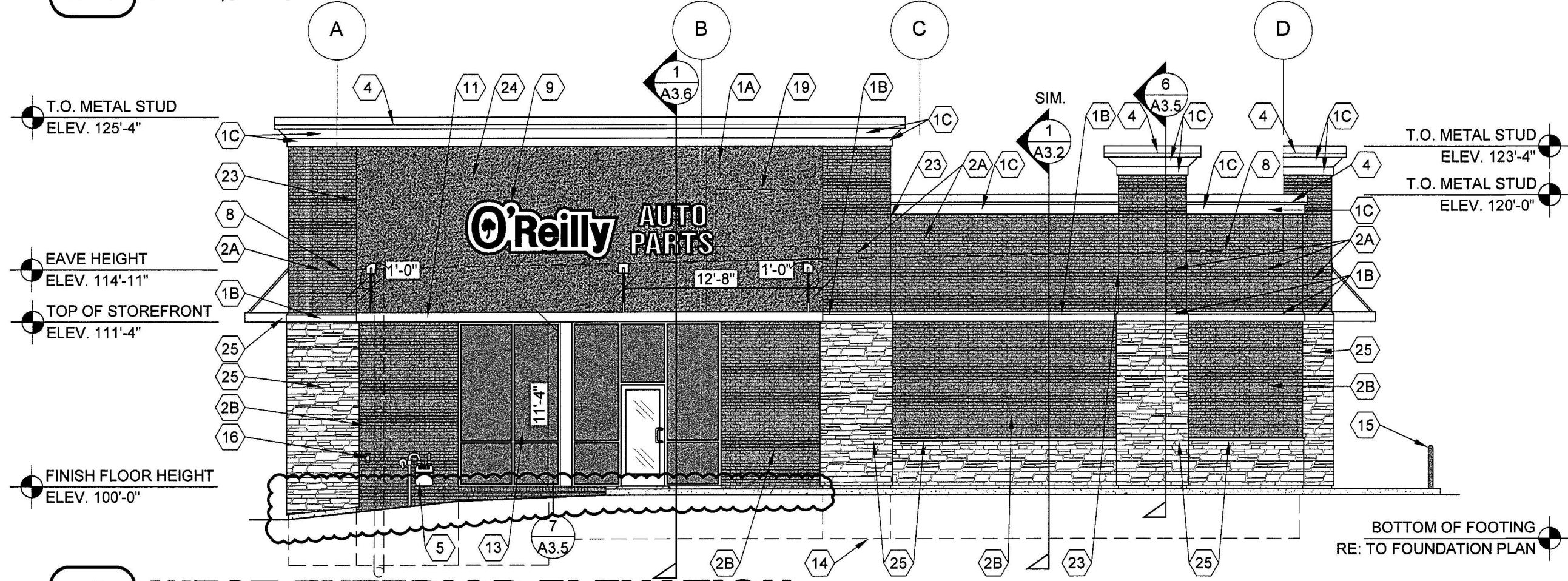
TRANSPARENCY REQUIREMENTS:
 EAST REQUIRED BETWEEN 2' AND 8' = 432.89 SQ. FT.
 REQUIRED - 108.22 SQ. FT. (25%)
 WINDOWS PROVIDED - 108.0 SQ. FT. (24.94%)
 TOTAL - 108.0 SQ. FT. (24.94%)

2 EAST EXTERIOR ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"



TRANSPARENCY REQUIREMENTS:
 NORTH REQUIRED BETWEEN 2' AND 8' = 719.75 SQ. FT.
 REQUIRED - 287.90 SQ. FT. (40%)
 WINDOWS PROVIDED - 212.0 SQ. FT. (29.45%)
 APPLIED WINDOW MULLION AREA - 72.0 SQ. FT. (10.0%)
 TOTAL 284.0 (39.45%)

3 NORTH EXTERIOR ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"



TRANSPARENCY REQUIREMENTS:
 WEST REQUIRED BETWEEN 2' AND 8' = 418.87 SQ. FT.
 REQUIRED - 104.71 SQ. FT. (25%)
 WINDOWS PROVIDED - 108.0 SQ. FT. (25.78%)
 TOTAL - 108.0 SQ. FT. (25.78%)

4 WEST EXTERIOR ELEVATION
 A2.1

EXTERIOR FINISH SCHEDULE

PORTLAND CEMENT STUCCO
 KEY NOTE NO. 1A:
 MFG: STO SPECIFIED. EQUAL BY DRYVIT OR MASTER BUILDERS (NO SUBSTITUTES)
 SERIES: STOPOWERWALL
 TEXTURE: MEDIUM SAND
 COLOR: EQUAL TO DRYVIT "ORAP011030S" STRATOTONE HIGH PERFORMANCE
 COLOR STANDARD: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS

KEY NOTES NO. 1B:
 MFG: PER LOCAL SUPPLIER
 TEXTURE: SANDBLAST
 COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SHER-CRYL) GLOSS (COLOR TO BE INTEGRAL IN THE TOP COAT OF PLASTER)

KEY NOTES NO. 1C & 1D
 MFG: PER LOCAL SUPPLIER
 TEXTURE: SANDBLAST
 COLOR: SHERWIN WILLIAMS "SOFTER TAN" SW6141 (SHER-CRYL) GLOSS (COLOR TO BE INTEGRAL IN THE TOP COAT OF PLASTER)

UNIT MASONRY
 KEY NOTE NO. 2A:
 TYPE: CLAY MASONRY UNIT
 MFG: ACME BRICK
 SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
 COURSING: RUNNING BOND
 COLOR: (ACCENT COLOR) BLEND 300 DOVE GRAY VELOUR
 MORTAR COLOR: NATURAL GRAY

KEY NOTE NO. 2B:
 TYPE: CLAY MASONRY UNIT
 MFG: ACME BRICK
 SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
 COURSING: RUNNING BOND
 COLOR: (FIELD COLOR) BLEND 600 OXFORD BROWN VELOUR
 MORTAR COLOR: NATURAL GRAY

BACK SIDE OF TRASH ENCLOSURE AND SCREENING WALL (REFER TO CIVIL DRAWINGS)
 TYPE: CONCRETE MASONRY UNIT (CMU)
 MFG: (REFER TO PROJECT MANUAL)
 SIZE: 8"X8"X16" (NOM.)
 TEXTURE: SMOOTH FACE
 COURSING: RUNNING BOND
 FINISH: FIELD PAINT (ACCENT COLOR)
 COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SATIN)
 NOTE: REFER TO "CONCRETE MASONRY UNIT SPECIAL SCHEDULE OF TREATMENTS" FOR ADDITIONAL REQUIREMENTS

FLASHING AND SHEET METAL
 KEY NOTE NO. 3:
 TYPE: STANDING SEAM ROOFING SYSTEM
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 COLOR: GALVALUME

KEY NOTE NO. 4:
 TYPE: GAP FLASHING AT MASONRY
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 FINISH: FACTORY PRIMED AND FIELD PAINT
 COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

DOORS AND WINDOWS
 KEY NOTE NO. 12:
 TYPE: STEEL DOORS AND FRAMES (DOORS NO. 2 AND 3)
 MFG: (OWNER FURNISHED / CONTRACTOR INSTALLED)
 FINISH: FACTORY PRIMED AND FIELD PAINTED
 COLOR: SHERWIN WILLIAMS (MATCH ADJACENT MASONRY COLOR) (SEMI-GLOSS)

KEY NOTE NO. 13.27:
 TYPE: (REFER TO WINDOW SCHEDULE)
 MFG: EFCO, KAWNEER, OR OLD CASTLE (VISTA WALL, (NO SUBSTITUTES)
 COLOR: EFCO "IVY", KAWNEER "DARK IVY", VISTA WALL "INTERSTATE GREEN"

PAINTING
 KEY NOTE NO. 5:
 TYPE: GAS METER (REFER TO PLUMBING DRAWINGS)
 FINISH: FIELD PRIMED AND PAINTED
 COLOR: SHERWIN WILLIAMS (MATCH ADJACENT BRICK COLOR) (SEMI-GLOSS)

KEY NOTE NO. 15:
 TYPE: STEEL BOLLARDS (REFER TO CIVIL DRAWINGS)
 FINISH: FIELD PRIMED AND PAINTED
 COLOR: SHERWIN WILLIAMS "HUNT CLUB" SW6488 (SEMI-GLOSS)

KEY NOTE NO. 18:
 TYPE: ELECTRIC METER AND BOX (REFER TO ELECTRICAL DRAWINGS)
 FINISH: FIELD PRIMED AND PAINTED
 COLOR: SHERWIN WILLIAMS (MATCH ADJACENT BRICK COLOR) (SEMI-GLOSS)

PRE-FABRICATED METAL CANOPY:
 KEY NOTE NO. 11:
 TYPE: PRE-FABRICATED METAL CANOPY SYSTEM
 MFG: (REFER PROJECT MANUAL)
 FINISH: KYNAR FINISH
 COLOR: (MATCH WINDOW SYSTEM)

STONE VENEER
 KEY NOTE 28:
 TYPE: STONE VENEER
 MFG: CORONADO STONE
 FINISH: SIERRA LEDGE
 COLOR: BROOKSIDE
 **FIELD PAINT EXPOSED BLOCK BELOW TO MATCH STONE COLOR
 COATS: (1) COAT SW "PREPRITE" BLOCK FILLER B25W25 (NO LESS THAN 8 MILS) AND (2) COATS SW "CONFLEX XL" SMOOTH ELASTOMERIC A5-400 (NO LESS THAN 5.7 MILS EACH COAT)

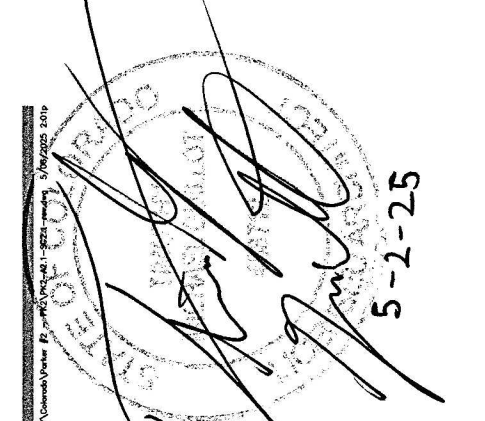
STONE VENEER SILL
 KEY NOTE 25:
 TYPE: STONE VENEER
 MFG: CORONADO STONE
 FINISH: SNAPPED EDGE
 COLOR: BUFF

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (C) REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
- (D) REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
- (E) REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (F) REFER TO SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.

KEY NOTES

- (1A) EXTERIOR PORTLAND CEMENT (STUCCO).
- (1B) EXTERIOR PORTLAND CEMENT (STUCCO) BANDING.
- (1C) EXTERIOR PORTLAND CEMENT (STUCCO) CORNICE.
- (1D) EXTERIOR PORTLAND CEMENT (STUCCO).
- (2A) CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION (ACCENT COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (2B) CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION (FIELD COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (3) PRE-ENGINEERED METAL BUILDING SHEET METAL ROOFING SYSTEM (BEYOND).
- (4) PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING. FIELD BREAK FROM FLAT STOCK AS REQUIRED.
- (5) GAS METER. REFER TO PLUMBING PLANS.
- (6) INTERNAL GUTTER AND DOWNSPOUTS (BEYOND). PRE-ENGINEERED INTERNAL METAL GUTTER PER METAL BUILDING MANUFACTURER AND PVC D.S. (BY CONTRACTOR). REFER TO PLUMBING FOR MORE INFORMATION.
- (7) PRE-ENGINEERED METAL BUILDING THRU WALL SCUPPER SYSTEM. REFER TO SHEET A3.5.
- (8) LINE OF ROOF BEYOND WITH 1/4":12" SLOPE MINIMUM.
- (9) SURFACE MOUNTED SIGN OWNER FURNISHED AND INSTALLED. PROVIDE BACKING FOR MOUNTING AND ROUGH-IN ELECTRICAL COORDINATE REQUIREMENTS WITH OWNER. REFER TO SHEET SG.2.1.
- (10) BUILDING ADDRESS NUMBERS IN 6" HIGH HELVETICA WHITE VINYL ADHERED TO EXTERIOR FACE OF GLAZING.
- (11) PRE-FABRICATED METAL CANOPY SYSTEM. REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS FOR DETAILS.
- (12) EXTERIOR DOOR AND FRAME SYSTEM. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR TYPES.
- (13) EXTERIOR WINDOW SYSTEM. REFER TO FLOOR PLAN AND WINDOW SCHEDULE FOR TYPES.
- (14) APPROXIMATE LINE OF FOUNDATION. REFER TO STRUCTURAL DRAWINGS.
- (15) STEEL BOLLARDS. REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- (16) HOSE BIB. REFER TO PLUMBING DRAWINGS.
- (17) LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- (18) ELECTRIC METER AND BOX. REFER TO ELECTRICAL PLANS.
- (19) MECHANICAL ROOF TOP UNIT (BEYOND). REFER TO MECHANICAL DRAWINGS.
- (20) MECHANICAL WALL PENETRATIONS. REFER TO MECHANICAL DRAWINGS. PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. INSTALL RESTROOM EXHAUST FANS 12" MINIMUM ABOVE INTERIOR CEILING FRAMING.
- (21) PLUMBING ROOF VENT (BEYOND). REFER TO PLUMBING DRAWINGS AND DETAIL 11/A4.2.
- (22) CONCRETE SPLASH BLOCK INSTALL AT EACH DOWNSPOUT.
- (23) MASONRY CONTROL JOINT. PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD. COLOR TO MATCH ADJACENT MASONRY.
- (24) RUSTICATION JOINT. REFER TO DETAIL 6/A3.2.
- (25) MANUFACTURED STONE VENEER AND SILL. REFER TO EXTERIOR FINISH SCHEDULE.
- (26) KNOX BOX. PROVIDE KNOX BRAND SECURITY KEY BOX PER FIRE DEPARTMENT REQUIREMENTS AND LOCATE WHERE SHOWN (VERIFY EXACT LOCATION AND HEIGHT WITH FIRE DEPARTMENT).
- (27) 2-1/2" WIDE APPLIED MULLION WINDOW FRAME. REFER TO WINDOW SCHEDULE. INSTALL SEALANT EQUAL TO "TREMCO" SERIES 830 AROUND PERIMETER OF FRAME (SEALANT COLOR TO MATCH FRAME).
- (28) NO PARKING-FIRE LANE SIGN AS REQUIRED BY THE FIRE MARSHAL. MECHANICALLY FASTEN TO BUILDING. LOCATE BOTTOM EDGE OF SIGN 7' ABOVE ADJACENT FINISH GRADE. (VERIFY EXACT LOCATION AND HEIGHT WITH FIRE DEPARTMENT)



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 e-mail: architect@exterioryschneider.com

PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 STROH RD
 PARKER, CO #2
EXTERIOR ELEVATIONS



COMM # 4884
 DATE: 2-14-25
 REVISION
 DATE: 5-2-25



1 SOUTH EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 SOUTH REQUIRED BETWEEN 2' AND 8' = 712.87 SQ.FT.
 REQUIRED - 285.14 SQ.FT (40%)
 WINDOWS PROVIDED - 232.0 SQ.FT (32.54%)
 APPLIED WINDOW MULLION AREA - 48.0 SQ.FT (6.73%)
 TOTAL 287.68 (40.35%)

FINISH TABLE				
MATERIAL PREVIEW	MATERIAL	MANUFACTURER	FINISH	% SHOWN
	ACCENT BRICK	ACME BRICK	DOVE GRAY	≈ 19.5%
	FIELD BRICK	ACME BRICK	OXFORD BROWN	≈ 18.8%
	STONE VENEER	CORONADO STONE	SIERRA LEDGE	≈ 17.4%
	STUCCO AROUND SIGN	SHERWIN WILLIAMS	POSITIVE RED SW6871*	≈ 17.3%
	STOREFRONT	KAWNEER	DARK IVY	≈ 14.2%
	ACCENT STUCCO	SHERWIN WILLIAMS	SOFTER TAN SW6141	≈ 9.5%
	CORNICE STUCCO	SHERWIN WILLIAMS	LATTE SW6108	≈ 2.0%

* NOTE: CUSTOM RED MIX BY DRYVIT ORAP011030S

** NOTE: OVERHEAD AND STEEL DOORS NOT TAKEN INTO ACCOUNT IN CALCULATIONS



2 EAST EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 EAST REQUIRED BETWEEN 2' AND 8' = 432.89 SQ.FT.
 REQUIRED - 108.22 SQ.FT (25%)
 WINDOWS PROVIDED - 108.0 SQ.FT (24.94%)
 TOTAL - 108.0 SQ.FT (24.94%)

please include color elevations for trash enclosure (all facades)



3 NORTH EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 NORTH REQUIRED BETWEEN 2' AND 8' = 719.75 SQ.FT.
 REQUIRED - 287.90 SQ.FT (40%)
 WINDOWS PROVIDED - 212.0 SQ.FT (29.45%)
 APPLIED WINDOW MULLION AREA - 72.0 SQ.FT (10.0%)
 TOTAL 284.0 (39.45%)



4 WEST EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 WEST REQUIRED BETWEEN 2' AND 8' = 418.87 SQ.FT.
 REQUIRED - 104.71 SQ.FT (25%)
 WINDOWS PROVIDED - 108.0 SQ.FT (25.78%)
 TOTAL - 108.0 SQ.FT (25.78%)

incorporate columns onto this facade to help break up this area.

with the building reverse fronting to a major roadway, this facade needs to read more like a front

NOT FOR CONSTRUCTION



TIMOTHY M. GULLOT
 ARCHITECT
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 Springfield, Missouri 65804
 417.862.0558
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PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 STROH RD
 PARKER, CO #2
COLOR ELEVATIONS

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM #
 DATE: 1-22-25
 REVISION
 DATE: 5-2-25

CE1



Project Reviews Town of Parker

Project Number: SP25-025

Description: Parker Pointe F1 L1 - Auto Parts Store

Applied: **3/3/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: , **CO 80134**

Status: **UNDER REVIEW 2**

Applicant: **O'Reilly Auto Enterprises, LLC**

Parent Project: **SUB19-052**

Owner: **PARKER & STROH LLC**

Contractor: **<NONE>**

Details:

The applicant, O'Reilly Auto Parts, is proposing an 8,000 sq. ft. auto parts store. The site is located on the south side of Stroh Road east of Parker Road.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
3/5/2025	3/13/2025	3/13/2025	COMPLETENESS REVIEW	Amber Wood Hicken	COMPLETED	
Notes:						
Review Group: AUTO						
3/3/2025	3/7/2025	3/17/2025	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						
3/3/2025			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						



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Review Group: SP 1ST 20

3/13/2025	3/26/2025	4/10/2025	BUILDING 20	Randy Capra	ADVISORY COMMENTS	See Notes
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Notes:

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc.... Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then full plan review process may be able to begin.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72 and NFPA 13). NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

3/13/2025		4/10/2025	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

3/13/2025		4/10/2025	COMCAST 20	Butch Buster		
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Notes:

3/13/2025	4/4/2025	4/10/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP25-025 Parker Pointe F1 L1, O'Reilly Auto Parts – 1st Environmental Review, 4-4-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

- Civil Plans must include multiple Erosion Control Plan Sheets referencing the Initial, Interim and Final phases of the project. You can use two plan sheets, Initial and Interim/Final: or three plan sheets, Initial, Interim, and Final. Each Erosion Control Plan must be on a separate Civil Plan sheet, enlarged to provide more detail. Using three plan sheets is preferred but not required.
 - Initial Erosion Control Plan Sheet: Only show the Initial CBMPs (Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with inlet protection). This plan sheet should show existing grade contours with stormwater flow arrows.
 - Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project.
 - Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established.
- Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist.
- Please add a general note stating – "THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL".
- Please add a general note stating – "THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS".
- Please add a general note stating – "LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY."



Project Reviews Town of Parker

6. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
7. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
8. Please add a general note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.
9. Please provide existing and proposed grading contours.
10. Please provide arrows to indicate the direction of stormwater flow.
11. Please label and identify the ratio of all slopes that are 4:1 or steeper. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1.
12. Please use Parker’s complete Legend of Keys/Symbols to correspond to the Town’s 31 CBMP Details on the Erosion Control plan sheets.
13. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
14. Add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.
15. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
16. Show Masonry Work Protection (MWP) on the plans in two locations for Construction of the building.
17. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the Interim plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
18. Provide and identify Debris and Trash Control (DTC) for the interim phase along all proposed paved driving surfaces internal to the site.
19. Please provide a minimum of one callout of both Seeding Mulching and Crimping (SMC) and Surface Roughening (SR) in all tracts proposed to be left landscaped in the final condition. Alternatively provide one label for each within each viewpoint and provide a hatch to define the overall extents.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

https://drive.google.com/file/d/1oE5TRyFktV-bdRygduwlqhwaf3eQJxzs/view?usp=drive_link

Stormwater/Storm Drainage and Environmental Criteria Manual

Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

CBMP Details

<http://parkeronline.org/532/Construction-Best-Management-Practices>

Roadway Design/Construction Criteria Manual

Roadway-Design--Construction-Criteria-Manual (parkerco.gov)

Erosion Control - CBMP Checklist (See Appendix D)

Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

REDLINED EROSION CONTROL PLAN SHEETS available in attachments.

3/13/2025	4/10/2025	4/10/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

3/13/2025	4/7/2025	4/10/2025	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward	NO COMMENT	
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Notes:

3/13/2025	3/20/2025	4/10/2025	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals	NOT APPLICABLE	
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Notes:
N/A



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Project Reviews Town of Parker



3/13/2025	4/18/2025	4/10/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals	ADVISORY COMMENTS	
Notes: See the attached Referral Comments Report.						
3/13/2025	4/10/2025	4/10/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
3/13/2025	3/26/2025	4/10/2025	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: A written response is required for the response letter provided by Fire Life Safety to the applicant; this letter has been uploaded to the application in both a pdf and a word document.						
3/13/2025	4/9/2025	4/10/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	See notes
Notes: The proposed transformer location does not meet CORE clearance requirements and may not open into drive or parking spot. CORE will require 10-feet in front of the doors from back of curb. The proposed landscape plans will required to be revised to meet clearances at the existing switch and cubical. Trees may not be planted within 10 feet of the existing CORE facilities and future transformer location.						
3/13/2025	4/10/2025	4/10/2025	PLAT - CIVIL	Charles Kudlauskas	NOT APPLICABLE	
Notes:						
3/13/2025	4/2/2025	4/10/2025	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
Notes: please see attached						
3/13/2025	4/10/2025	4/10/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
3/13/2025	4/10/2025	4/10/2025	SITE PLAN 20	Amber Wood Hicken	REVISIONS REQUIRED	
Notes: See planning comments 01						
3/13/2025	4/10/2025	4/10/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						



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Project Reviews Town of Parker



Review Group: SP 1ST 20 ADD

3/13/2025	4/3/2025	4/10/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
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Notes:
Please upload the PWSD plans for this project.

Review Group: SP 2ND 15

5/12/2025	5/22/2025	6/3/2025	CONST PLANS - ENVIRONMENTAL 15	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:
SP25-025 Parker Pointe F1 L1, O'Reilly Auto Parts – 2nd Environmental Review, 5-21-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.
2. Please show Construction Fence (CF) along the entire sides of the VTC to ensure use of the entire 50-foot pad.
3. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the Interim plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
4. Provide and identify Debris and Trash Control (DTC) for the Interim/Final phases along all proposed paved driving surfaces internal to the site and all adjacent properties around the site.
5. Label the Final Site Erosion Control Plan Sheet, C1.3, correctly. It should be Interim / Final Site Erosion Control Plan Sheet.
6. Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. Addition PTPs may be needed in the interim and final phases.
7. Please consider moving the Stabilized Staging Area (SSA), connecting it to the Vehicle Tracking Control Pad (VTC) as shown in the Town of Parker's SSA detail. This configuration helps reduce tracking off-site.
8. Silt Fence (SF) perimeter control is required for the entire down gradient side of the project during the Initial Phase. Please show SF in the northwest and southwest corners of the site. The Sidewalk Transition Protection (STP) would be installed after the completion of the sidewalks.

REDLINED EROSION CONTROL PLAN SHEETS are available to view in the eTRAKIT attachments.

Links:
Stormwater/Storm Drainage and Environmental Criteria Manual
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

Roadway Design/Construction Criteria Manual
Roadway-Design--Construction-Criteria-Manual (parkerco.gov)
Erosion Control - CBMP Checklist (See Appendix D)
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

5/12/2025	6/3/2025	6/3/2025	CONSTRUCTION PLANS - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:



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5/12/2025	6/3/2025	6/3/2025	DRAINAGE REPORT - CIVIL 15	Charles Kudlauskas	COMPLETED	
Notes:						
5/12/2025	5/23/2025	6/3/2025	FIRE LIFE SAFETY 15	Randy Capra	ADVISORY COMMENTS	See notes
Notes: Not all issues were addressed completely or correctly; the comments have been documented on the response letter as redlined required. Parking lot shall be fully installed before the building to go vertical, and the applicant assumes responsibility to ensure that the riser room meets all requirements.						
5/12/2025	5/21/2025	6/3/2025	IREA 15	Brooks Kaufman	REVISIONS REQUIRED	See CORE Clearance requirements
Notes: The new set of plans missing transformer and didn't address CORE clearance requirements from previous comments.						
5/12/2025	6/3/2025	6/3/2025	SITE PLAN - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
5/12/2025		6/3/2025	SITE PLAN 15	Amber Wood Hicken		
Notes:						
5/12/2025	6/3/2025	6/3/2025	TRAFFIC IMPACT STUDY - CIVIL 15	Charles Kudlauskas	COMPLETED	
Notes:						
Review Group: SP 2ND 15 ADD						
5/12/2025	6/2/2025	6/3/2025	PARKER WATER AND SANITATION DISTRICT 15	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes: PWSD is waiting on documents for this project. IE: Variance Fee and Red lined documents.						