



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* **Phone:** 303.841.2332 **Fax:** 303.841.3223

M E M O R A N D U M

TO: Kristopher Apanian, TAIT & Associates, Inc.
FROM: Amber Wood Hicken, Planner I
DATE: 6/3/25
SUBJECT: Parker Pointe, Auto Parts Store, Site Plan
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Amber Wood Hicken

EMAIL: ahicken@parkerco.gov

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not send the application for referral without with this naming convention.
Example: "02" or "Second Submittal"

Site Plan and Project Details

1. Please see the attached redlines for planning comments.
2. Please submit photometric plan, landscape plan, elevations, and site plan as one document in future submittals.

OUTSIDE REFERRAL AGENCY COMMENTS

The following reviews in eTRAKiT have "Advisory Comments" or "Revisions Required:"

- Construction plans – environmental
- Construction plans – civil
- Fire life safety
- IREA (CORE)
- Parker Water and Sanitation
- Public Service Company of Colorado (Xcel)
- Site plan – civil

O'Reilly AUTO PARTS

O'REILLY AUTO PARTS PARKER, CO (PK2)

LOT 1 OF PARKER POINTE SUBDIVISION FILING NO 1

LOCATED IN THE NORTHEAST 1/4 SECTION OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST, OF THE 6TH P.M., TOWN OF PAKER, COUNTY OF DOUGLAS, STATE OF COLORADO

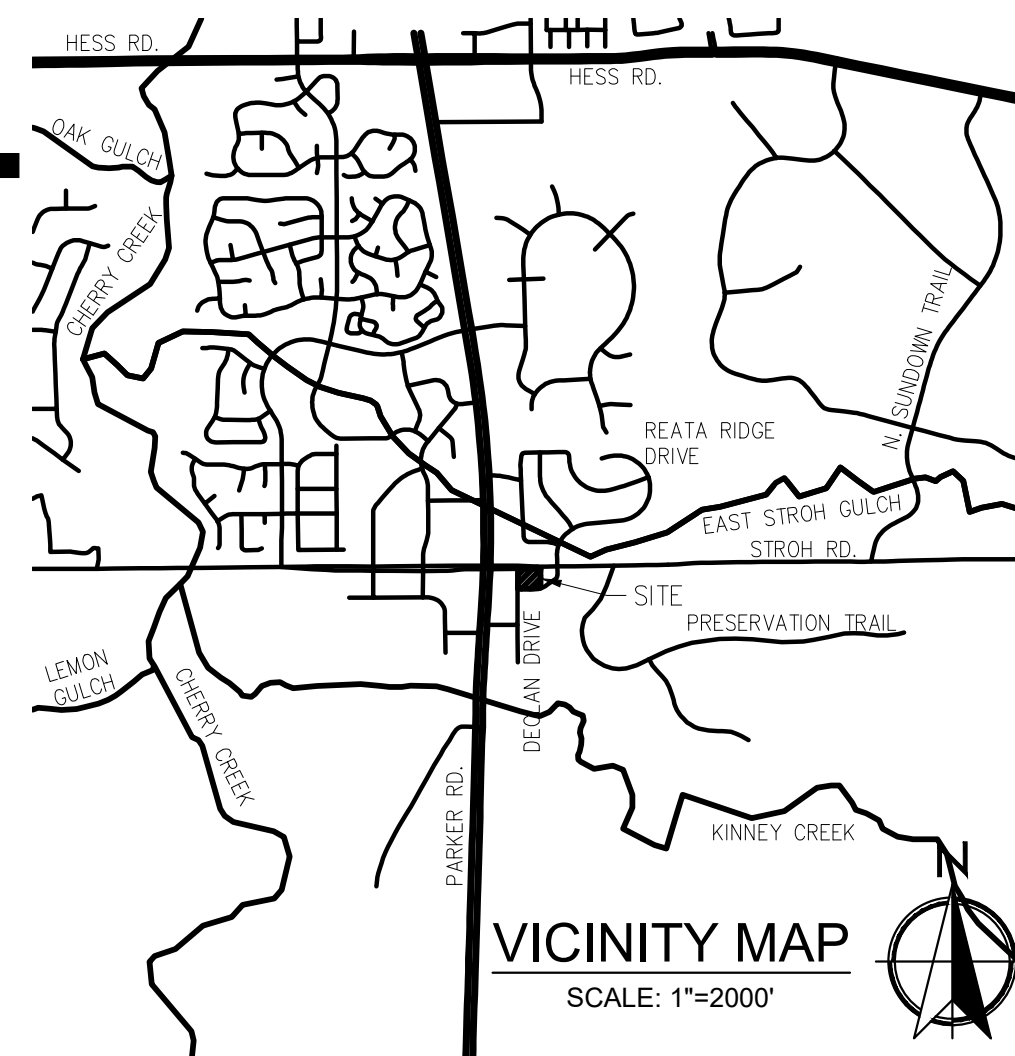
TOWN OF PARKER CONTACTS

BUILDING
JON NELSON
JNELSON@PARKERCO.GOV
(303) 805-3194

FIRE LIFE SAFETY
RANDY CAPRA
RCAPRA@PARKERCO.GOV
(303) 805-3163

ENGINEERING
ALEX MESTDAGH
AMESTDAGH@PARKERCO.GOV
(303) 805-3204

PLANNING
AMBER WOOD HICKEN
AHICKEN@PARKERCO.GOV
(303) 805-3338



VICINITY MAP
SCALE: 1"=2000'

UTILITY PURVEYORS

WATER/SEWER
PARKER WATER AND SANITATION DISTRICT
LISA SINDALL
(303) 841-4627

NATURAL GAS
XCEL ENERGY
(800) 628-2121

ELECTRIC
CORE ELECTRIC COOPERATIVE
BROOKS KAUFMAN
(303) 688-3100

TELEPHONE
CENTURYLINK
(720) 578-5142

SHEET INDEX

CT1.3	SITE PLAN COVER SHEET
C2.1	SITE DEVELOPMENT PLAN
C2.2	SITE DETAILS
C2.3	REFUSE ENCLOSURE
L1.0	LANDSCAPE PLAN
L1.5	LANDSCAPE DETAILS
L2.0	IRRIGATION PLAN
L2.5	IRRIGATION DETAILS
SP1	SITE LIGHTING PHOTOMETRICS
SP2	SITE LIGHTING DETAILS
SP3	SITE LIGHTING DETAILS
A2.1	EXTERIOR ELEVATIONS
CE1	COLOR ELEVATIONS

OWNER AND DEVELOPER



O'REILLY AUTO ENTERPRISES, LLC
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

BIDDING INFORMATION:
REFER TO OWNER'S WEB SITE:
HTTP://WWW.O'REILLYPLANROOM.COM

NOTE: REFER TO CURRENT PROJECTS LIST, LOCATED AT BOTTOM OF SIGN IN PAGE, FOR INVITED GENERAL CONTRACTORS.

ALL SUB-CONTRACTOR BIDS TO BE SUBMITTED TO INVITED GENERAL CONTRACTORS ONLY.

CONTACT OWNER'S DESIGNATED REPRESENTATIVE FOR ADDITIONAL PROJECT INFORMATION.

CIVIL ENGINEER

TAIT & ASSOCIATES
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320 North Lincoln Avenue
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ABBREVIATIONS

BACK OF CURB	BC	FLOW LINE	FL
BOTTOM OF PIPE	BOP	FINISHED SURFACE	FS
CURB FACE	CF	INVERT	INV
EXPOSED FOUNDATION	EF	SIDEWALK	SW
EXISTING GROUND	EG	TOP OF CURB	TC
EXISTING SURFACE	ES	TOP OF GRATE	TOG
FINISHED FLOOR	FF	TOP OF PIPE	TOP

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

LAND USE SUMMARY

LOT AREA	0.999 AC / 43,516 SF
PROPOSED USE	COMMERCIAL RETAIL
DWELLING UNITS	NONE
TOTAL BUILDINGS	1
BUILDING GFA	8,000 SF

SETBACKS: REQUIRED	25' BUILDING SETBACK 8'10" LANDSCAPE BUFFER
PROVIDED	25' BUILDING SETBACK 8'10" LANDSCAPE BUFFER

PARKING: CALCULATION	1 SPACE PER 300 SF GFA
TOTAL REQUIRED	27
TOTAL PROVIDED	27
ACCESSIBLE REQUIRED	2
ACCESSIBLE PROVIDED	2

BICYCLE PARKING: CALCULATION	2 PER 10,000 SF GFA
REQUIRED	2
PROVIDED	2

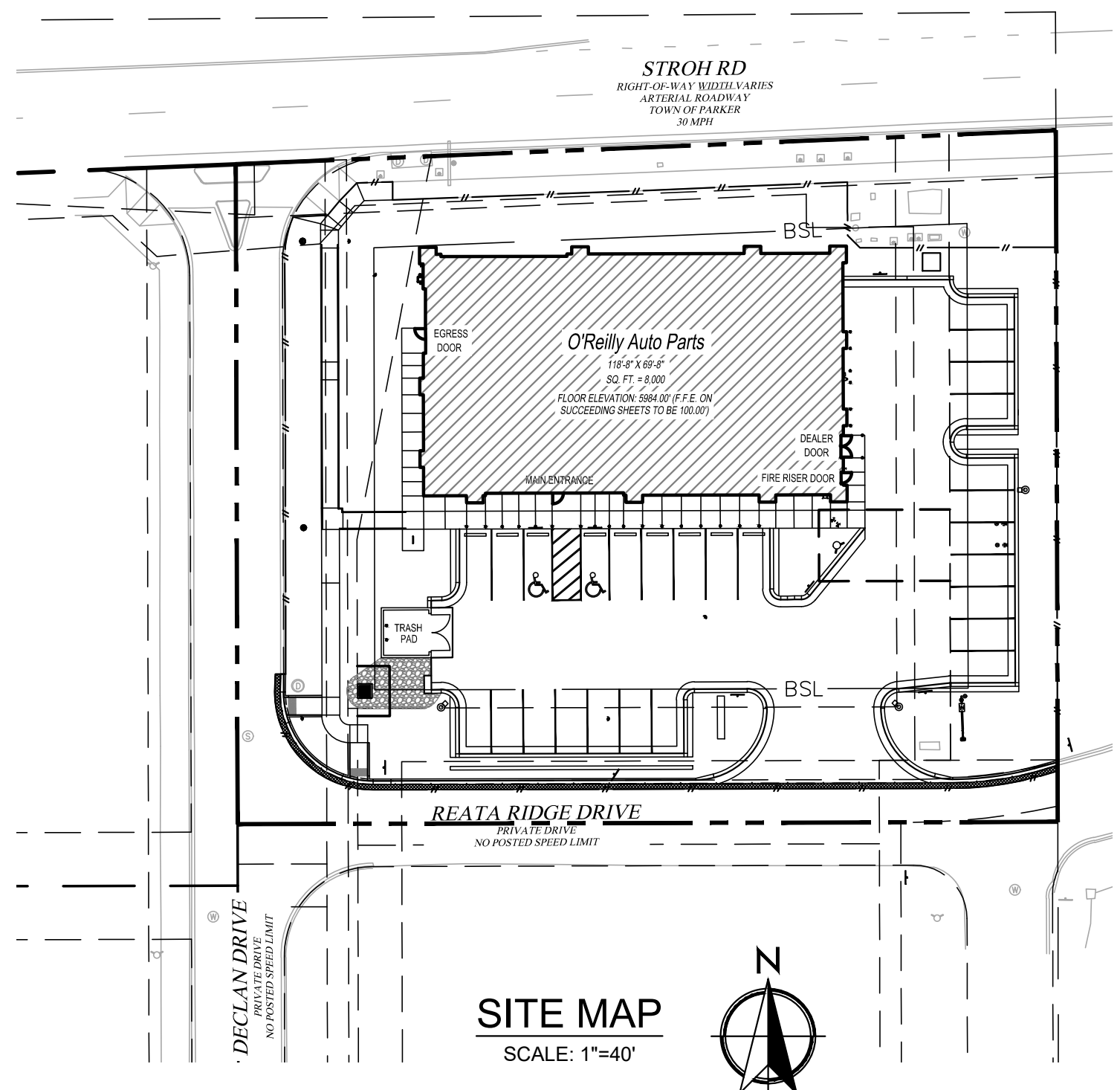
PERCENTAGE LANDSCAPE REFER TO LANDSCAPE PLANS

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS

DATE



SITE MAP
SCALE: 1"=40'

GENERAL NOTES

A. CONTRACT ADMINISTRATION (LIMITED SERVICE): THE ARCHITECT AND/OR ENGINEER OF RECORD INDICATED HEREIN ARE PROVIDING A LIMITED SERVICE AND NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT WHICH IS THE RESPONSIBILITY OF OTHERS. THE ARCHITECT AND/OR ENGINEER ARE NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT INSPECTION OF THE WORK IN PROGRESS. IF FIELD CONDITIONS ARE UNCOVERED THAT REQUIRE A CHANGE OR ADDITIONAL INFORMATION, THE ARCHITECT AND/OR ENGINEER DOES NOT DELEGATE AUTHORITY TO ANYONE ELSE FOR DETERMINING THE MEANING OF PLANS OR SPECIFICATIONS AS AUTHENTICATED HEREIN.

B. QUALITY STANDARDS AND BUILDING CODES: CONTRACTORS SHALL BE RESPONSIBLE FOR KNOWING THE QUALITY AND PUBLIC SAFETY REGULATIONS SET FORTH IN THE GOVERNING CODES AND OTHER APPLICABLE REGULATIONS OF LOCAL AND STATE AGENCIES HAVING JURISDICTION WHICH GOVERN EACH CONTRACTOR'S WORK.

C. EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK. NOTIFY THE ARCHITECT AND/OR ENGINEER OF RECORD IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

QUALITY CONTROL

- REFER TO PROJECT MANUAL, SECTION 01 45 16 - QUALITY CONTROL PROCEDURES, FOR ADDITIONAL REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR SCHEDULE OF SPECIAL INSPECTIONS, IF INDICATED.
- WHERE REQUIRED, THE OWNER SHALL PROVIDE THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING AND SPECIAL INSPECTIONS INDICATED.

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

BENCHMARK

DOUGLAS COUNTY BENCHMARK 1.060032, EL=5,903.17 FEET (NAVD88) - 3 1/4" INCH ALUMINUM CAP (DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT 1.060032) AT THE SOUTHEAST CORNER OF THE PARKING LOT OF STROTH RANCH SOCCER FIELDS, ON THE NORTH SIDE OF STROTH RD, EAST OF THE INTERSECTION OF STORH ROAD AND N. MOTSENBOCKER ROAD, CITY OF PARKER, COLORADO.

BASIS OF BEARING

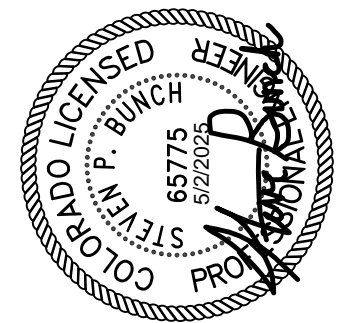
BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN ON THIS SURVEY PLAT AS BEARING NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

811
Know what's below
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Loveland, CO 80537
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Santa Ana Sacramento Denver Dallas
San Luis Obispo Riverside Boise

Steven P. Bunch, PE 6575

LEGAL DESCRIPTION

LOT 1, PARKER POINTE SUBDIVISION, FILING NO. 1 ACCORDING TO THE PLAT RECORDED JANUARY 7, 2022, AT RECEPTION NO. 2022001733, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED, AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION THREE (3), TOWNSHIP SEVEN (7) SOUTH, RANGE SIXTY-SIX (66) WEST OF THE SIXTH PRINCIPAL MERIDIAN AND CONSIDERING THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3 AS AN ASSUMED BEARING OF NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 3 SOUTH 00°09'20" EAST 33.18 FEET TO THE NORTHEAST CORNER OF LOT 1 OF PARKER POINTE SUBDIVISION, FILING NO. 1, SAID POINT BEING THE POINT OF BEGINNING.

THENCE ALONG THE EASTERLY, SOUTHERLY, WESTERLY, AND NORTHERLY LINES OF SAID LOT 1 THE FOLLOWING FOUR (4) COURSES:

- SOUTH 00°09'20" EAST 193.73 FEET;
- SOUTH 89°50'40" WEST 229.86 FEET;
- NORTH 00°09'20" WEST 184.90 FEET
- NORTH 87°38'41" EAST 230.03 FEET TO THE POINT OF BEGINNING

CONTAINING 43,516 SQUARE FEET OR 0.999 ACRES MORE OR LESS.

EARTHWORK SUMMARY

ESTIMATED CUT:	661 CUBIC YARDS
ESTIMATED FILL:	495 CUBIC YARDS
ESTIMATED NET:	166 CUBIC YARDS (EXPORT)
ESTIMATED OVER-EXCAVATION:	985 CUBIC YARDS
STEEPEST PROPOSED SLOPE:	3:1
TOTAL DISTURBANCE:	35,105 SF (0.81 AC)
EXISTING IMPERVIOUS AREA:	8,754 SF (0.16 AC)
PROPOSED IMPERVIOUS AREA:	30,270 SF (0.70 AC)
AREA OF LAND DISTURBANCE:	35,105 SF (0.81 AC)
TREATED BY WATER QUALITY CONTROL MEASURES	

NOTE:
EARTHWORK QUANTITIES ARE CALCULATED USING AUTOCAD CIVIL 3D TO COMPARE THE DIFFERENCE BETWEEN THE EXISTING SURFACE (CREATED FROM THE SURVEY POINTS PROVIDED BY TAIT & ASSOCIATES) AND THE PROPOSED SURFACE. QUANTITIES ARE RAW NUMBERS TO BE USED FOR PERMIT PURPOSES ONLY. THESE FIGURES TO NOT INCLUDE REMEDIAL QUANTITIES, BULKING OR SHRINKAGE FACTORS. CONTRACTOR SHALL VERIFY QUANTITIES CONSTRUCTION BID PURPOSES.

OVER-EXCAVATION QUANTITY ESTIMATED USING 2' OVER-EXCAVATION AT THE BUILDING FOUNDATION AND 8 INCH OVER-EXCAVATION FOR ALL OTHER PAVED SURFACES. SEE GEOTECHNICAL REPORT FOR DETAILS.

TAIT Response: Added provided landscaping.

TAIT Response: Updated setback values.

break out actual setbacks from all property lines

LS buffer info not needed on this sheet

TAIT Response: Removed

add required/provided landscape (percentage and square footage)

TAIT Response: Removed from cover sheet.

PROJECT: LOT 1 PARKER POINTE SUBDIVISION FILING 1

NEW O'REILLY AUTO PARTS STORE
STROTH RD
PARKER, CO #2
SITE PLAN COVER SHEET

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

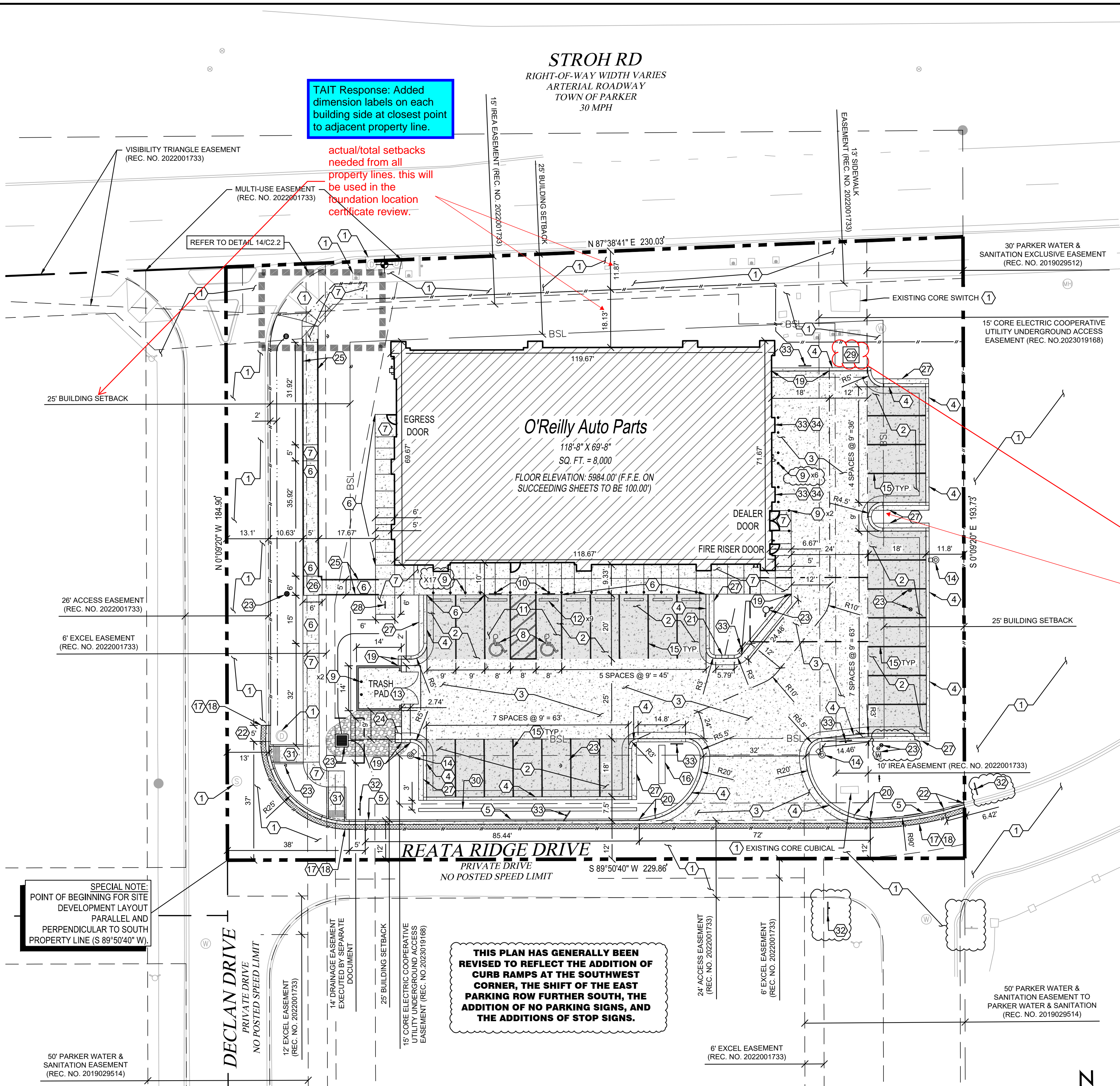
COMM # 4884
DATE: 05/02/2025
REVISION
DATE:

CT1.3

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

TIMOTHY M. GUILLOT
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
e-mail: architect@esterlyschneider.com

417.862.0558
Fax: 417.862.3265



- ### KEY NOTES
- PROTECT EXISTING IMPROVEMENTS IN PLACE.
 - CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS. REFER TO DETAIL 2/C2.2
 - CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA. REFER TO DETAIL 1/C2.2
 - INSTALL CONCRETE CURB PER DETAIL 3/C2.2.
 - INSTALL TOWN OF PARKER MEDIAN CURB AND GUTTER SECTION PER DETAIL 13 ON SHEET C2.4.
 - INSTALL CONCRETE SIDEWALK CURB PER DETAIL 4/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
 - INSTALL CONCRETE SIDEWALK OR DOOR LANDING PER DETAIL 5/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT ADJACENT TO BUILDING PERIMETER.
 - INSTALL ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING PER DETAIL 6/C2.2.
 - INSTALL STEEL BOLLARD PER DETAIL 7/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, (6) ALONG EAST SIDE OF BUILDING AND PROVIDE (17) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR BOLLARDS ADJACENT TO BUILDING PERIMETER.
 - INSTALL ACCESSIBLE PARKING SIGN PER DETAIL 8/C2.2.
 - ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
 - INSTALL CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" L) ANCHORED TO PAVING WITH (2) 1'-6" LONG #4 REBAR.
 - REFUSE ENCLOSURE. REFER TO 1/C2.3.
 - PARKING LOT LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO SHEET US1 FOR MORE DETAIL.
 - INSTALL 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
 - SITE SIGN SHOWN FOR REFERENCE ONLY. REFER TO SHEET SG1.1 FOR CONSTRUCTION TYPE AND LOCATION. SIGN IS OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SHEET US1 FOR ADDITIONAL REQUIREMENTS. NOTE: SIGN APPROVAL NOT A PART OF THIS SITE PLAN AND SHALL BE APPROVED THROUGH SEPARATE PERMIT.
 - LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL 6" MINIMUM INTO EXISTING WITH #4 X 1'-6" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
 - 1.5' WIDE, 2" DEEP GRADE SX ASPHALT MILL & OVERLAY PER GEOTECHNICAL RECOMMENDATIONS.
 - TRANSITION TO 0" CURB OVER DISTANCE AS SHOWN.
 - 5' TRANSITION FROM 6" WIDE CURB TO 1' WIDE CURB.
 - 2' CURB CUT PER DETAIL 9/C2.2.
 - TRANSITION TO EXISTING 6" CURB AND GUTTER.
 - REFER TO SHEET C3.1 FOR STORM AND UTILITY IMPROVEMENT DETAILS.
 - INSTALL 5' X 2' CONCRETE SPLASH PAD RECESSED 2" MIN. FROM PARKING ACCESS AISLE PAVEMENT. REFER TO GRADING PLAN FOR ELEVATIONS.
 - INSTALL SIDEWALK RAMP RAILING PER DETAIL 16/C2.2.
 - 5' X 5' CLEAR SPACE AT RAMP CHANGE IN DIRECTION.
 - INSTALL 1.5' WIDE, 4" THICK CONCRETE STRIP ATTACHED TO PARKING STALL BACK OF CURB.
 - INSTALL INVERTED U BIKE RACK. SEE DETAIL 11/C2.2.
 - INSTALL TRANSFORMER PAD PER CORE ELECTRIC STANDARDS.
 - INSTALL PARKING LOT SCREENING WALL. REFER TO STRUCTURAL FOR MORE DETAIL.
 - INSTALL DIRECTIONAL CURB RAMP PER TOWN OF PARKER STANDARD DETAIL 15 ON SHEET C2.4. REFER TO DETAIL 14/C2.2 FOR SPECIFIC CONSTRUCTION DIMENSIONS.
 - INSTALL R1-1 STOP SIGN PER LATEST MUTCD STANDARDS.
 - INSTALL "NO PARKING FIRE LANE" SIGN PER DETAIL ON SHEET C2.4 AND THE LATEST MUTCD STANDARDS.
 - WALL MOUNT "NO PARKING FIRE LANE" SIGN PER DETAIL ON SHEET C2.4 TO BUILDING EXTERIOR PER ARCHITECT RECOMMENDATIONS.

ZONING CODE

ZONING CLASSIFICATION:	MIXED-USE COMMUNITY
PROPERTY AREA:	43,516 SF (0.999 AC)
PROPOSED BUILDING AREA:	8,000 SF
PROPOSED PARKING PAVEMENT:	12,900 SF
PROPOSED SIDEWALK PAVEMENT:	2,250 SF

PARKING SUMMARY	
PARKING FORMULA:	1 SP. PER 9' X 20' AT 9' X 18' AL
SPACE SIZE:	27
SPACES PROVIDED:	27
H.C. SPACES PROVIDED:	2

BUILDING SETBACK DISTANCE	
NORTH PROPERTY LINE	VARIABLE (25.4' MIN., 31.8' MAX)
EAST PROPERTY LINE	VARIABLE (58.8' MIN., 60.5' MAX)
SOUTH PROPERTY LINE	VARIABLE (59.8' MIN., 92.5' MAX)
WEST PROPERTY LINE	VARIABLE (51.4' MIN., 53.1' MAX)

- ### GENERAL NOTES
- SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
 - COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
 - REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
 - PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

---	RIGHT-OF-WAY
---	O'REILLY PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	BSL - BUILDING SETBACK LINE
---	ROAD CENTERLINE
---	LIMIT OF DISTURBANCE
---	PROPOSED SAWCUT
---	PROPOSED FLOWLINE
---	PROPOSED SIGN
---	PROPOSED WHEEL STC
---	PROPOSED BOLLARD
---	PROPOSED FDC
---	PROPOSED FIRE HYDR
---	PROPOSED GATE VALV
---	PROPOSED CLEANOUT
---	PROPOSED LIGHT POLE
---	PROPOSED BUILDING FOOTPRINT
---	PROPOSED LIGHT DUTY CONCRETE
---	PROPOSED HEAVY DUTY CONCRETE
---	PROPOSED MILL & OVERLAY
---	PROPOSED RIPRAP

1 SITE DEVELOPMENT PLAN

C2.1 SCALE: 1" = 20'-0"

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



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BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN ON THIS SURVEY PLAT AS BEARING NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

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NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

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ENGINEERING ENVIRONMENTAL BUILDING LAND
Santa Ana Sacramento Denver
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Since 1914

PROJ: NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
SITE DEVELOPMENT PLAN

TIMOTHY M. GUILLOT
ARCHITECT

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417.862.6558
Fax: 417.862.3265
e-mail: architect@estierschneider.com

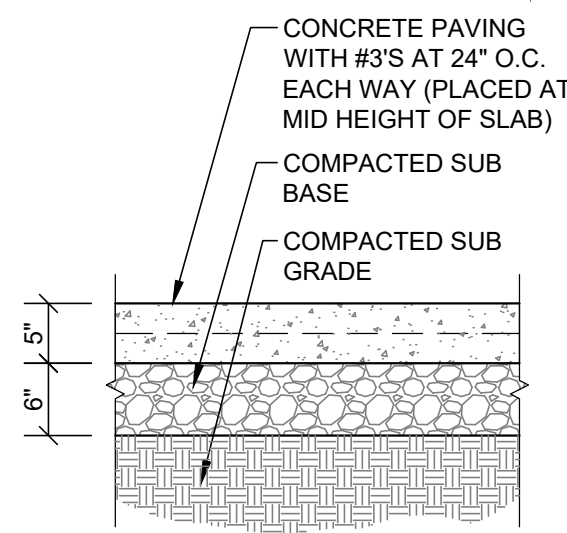
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Know what's below
Call before you dig.

COMM # 4884
DATE: 02/14/2025
REVISION
DATE: 05/02/2025

C2.1

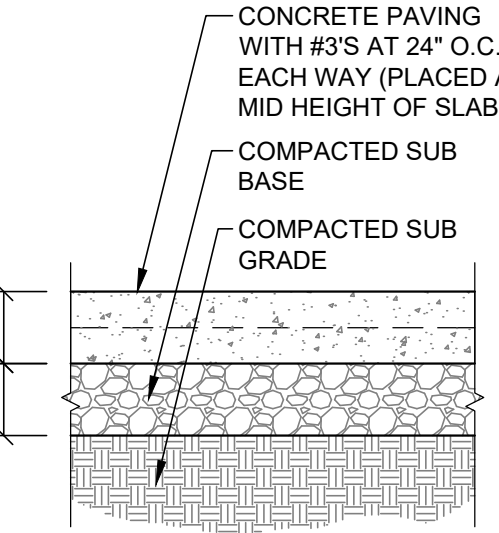
PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



**PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT FROM GEG PROVIDED BY THE OWNER DATED 10/30/2024. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.

1 CONCRETE (STANDARD DUTY) PAVING SECTION
C2.2 SCALE: 3/4" = 1'-0"

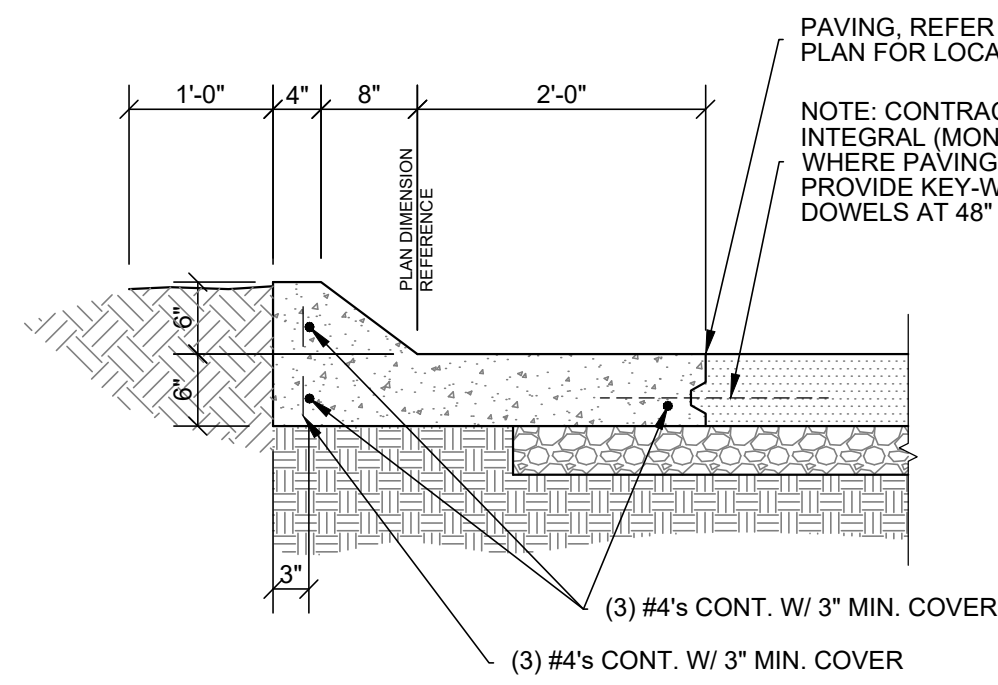
PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



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2 CONCRETE (HEAVY DUTY) PAVING SECTION
C2.2 SCALE: 3/4" = 1'-0"

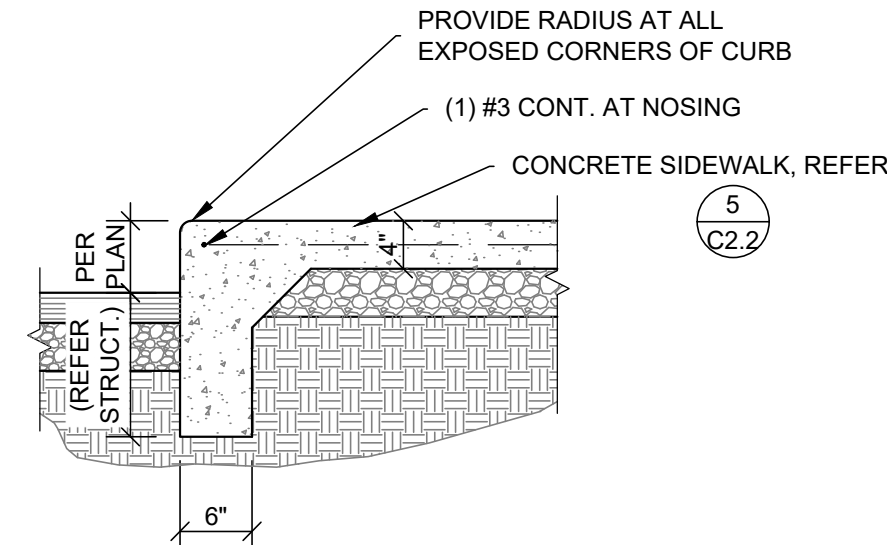
PROVIDE CONTROL JOINTS AT 10'-0" O.C. (25% SLAB THICKNESS)



PAVING, REFER TO SITE DEVELOPMENT PLAN FOR LOCATION AND TYPE
NOTE: CONTRACTOR'S OPTION TO POUR INTEGRAL (MONOLITHIC) CURB AND PAVING. WHERE PAVING POURED SEPARATE, PROVIDE KEY-WAY OR #4 X 1'-0" DOWELS AT 48" O.C.

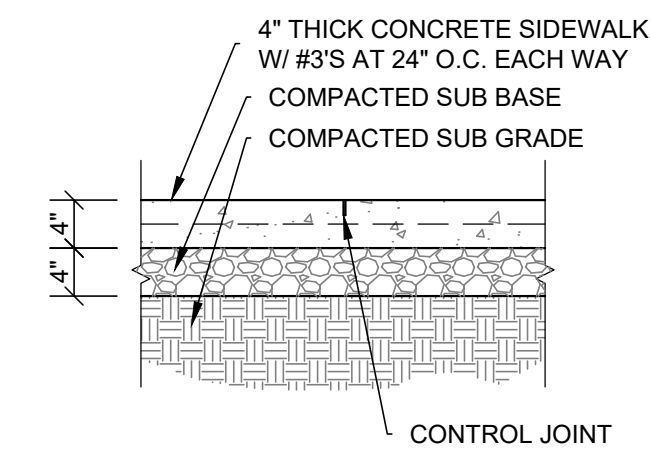
3 CONCRETE CURB SECTION
C2.2 SCALE: 3/4" = 1'-0"

NOTE: REFER TO SITE GRADING PLAN FOR ELEVATIONS OF PAVEMENT ADJACENT TO SIDEWALKS.



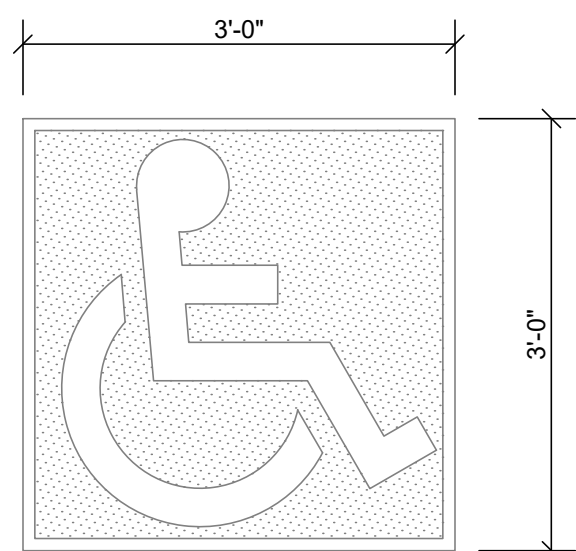
4 CONCRETE SIDEWALK CURB SECTION
C2.2 SCALE: 3/4" = 1'-0"

PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.

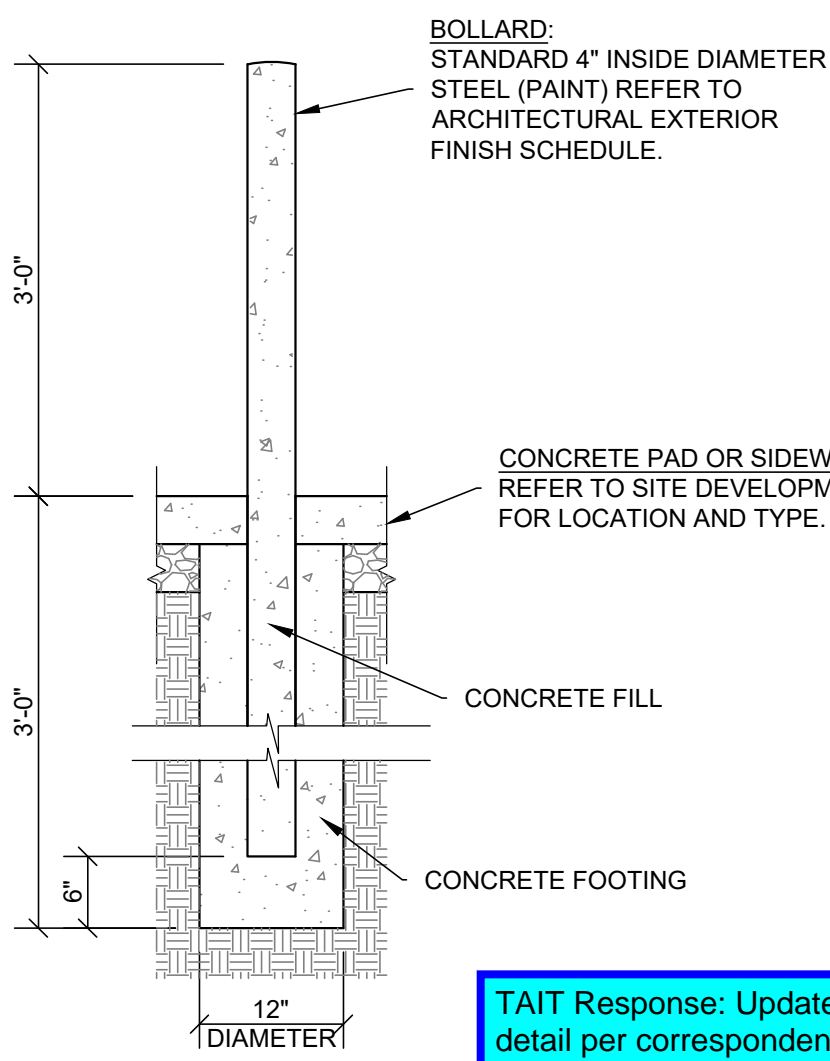


5 CONCRETE SIDEWALK SECTION
C2.2 SCALE: 3/4" = 1'-0"

WHITE SYMBOL OF ACCESSIBILITY TO BE 36" HIGH BY 36" WIDE ON A BLUE BACKGROUND. (USE HIGHWAY GRADE MARKING PAINT)

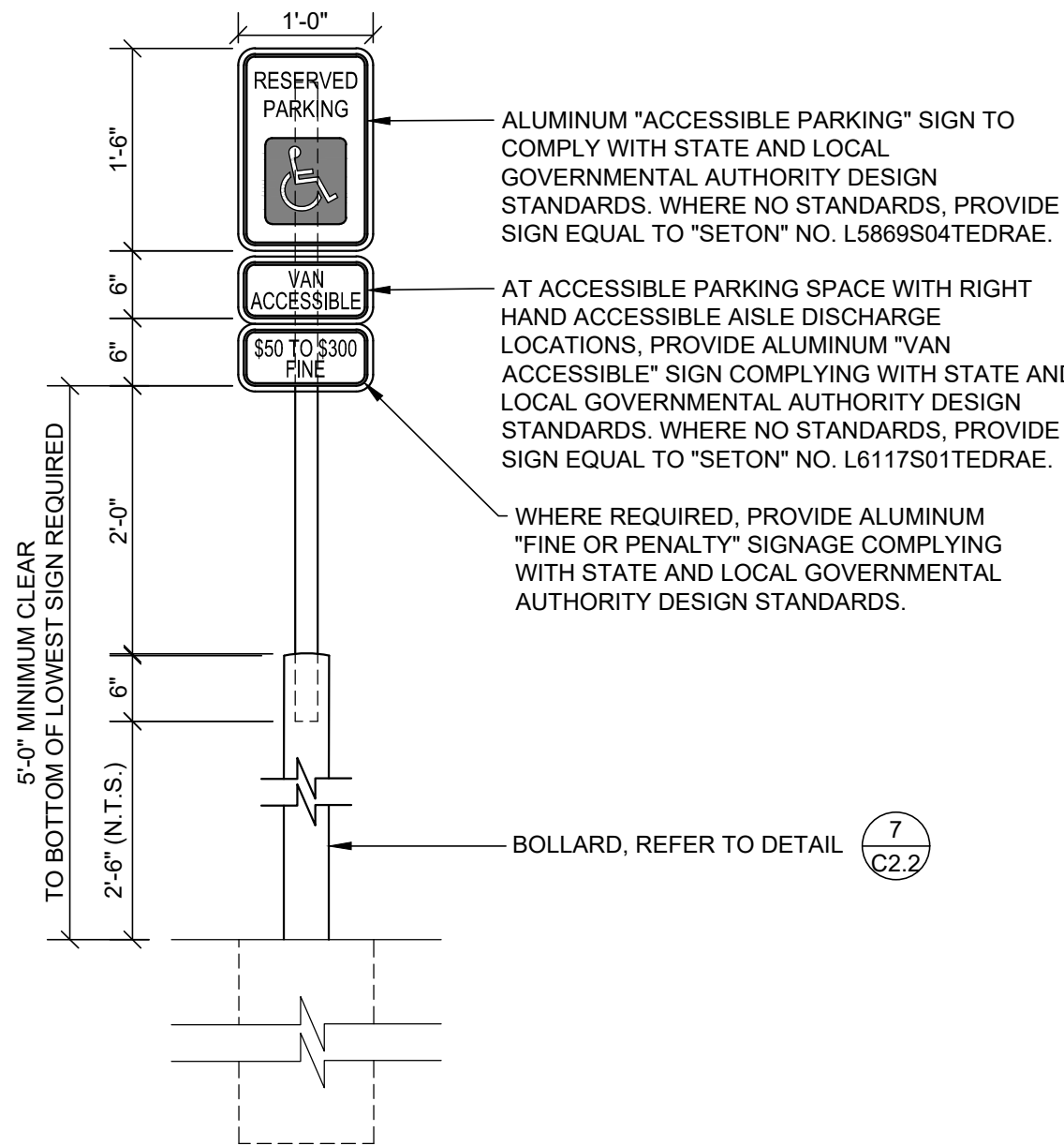


6 ACCESSIBLE PARKING PAVEMENT STRIPING DETAIL
C2.2 SCALE: 3/4" = 1'-0"

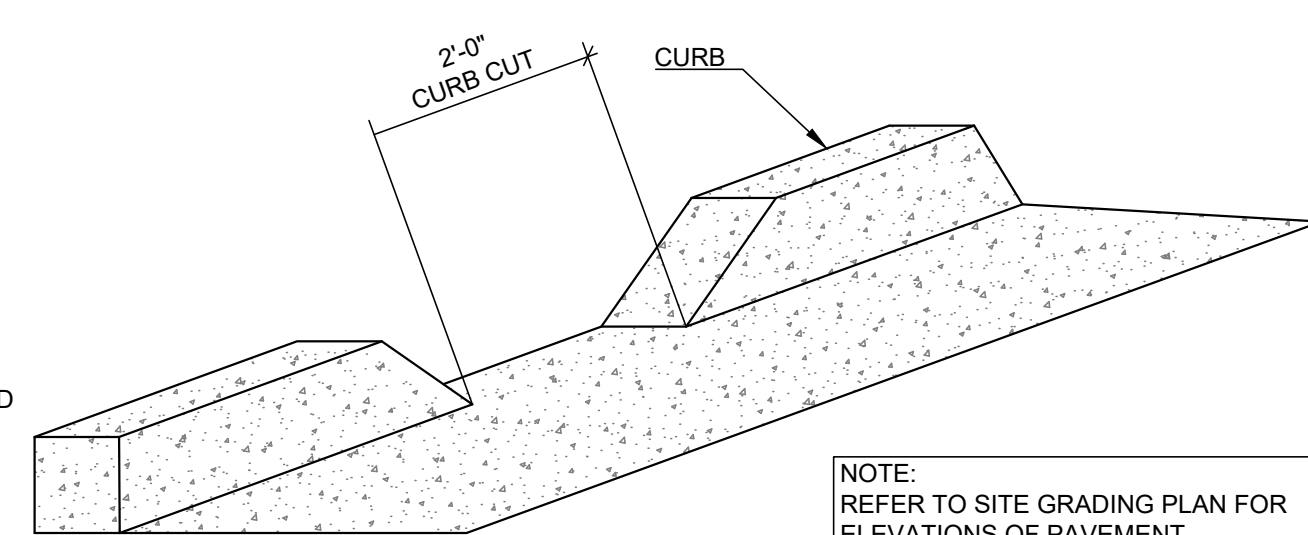


7 STEEL BOLLARD SECTION
C2.2 SCALE: 3/4" = 1'-0"

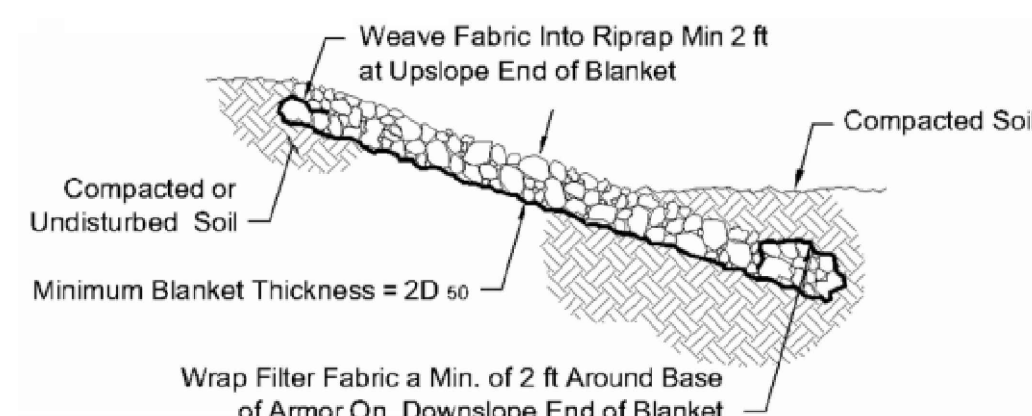
TAIT Response: Updated detail per correspondence with Town



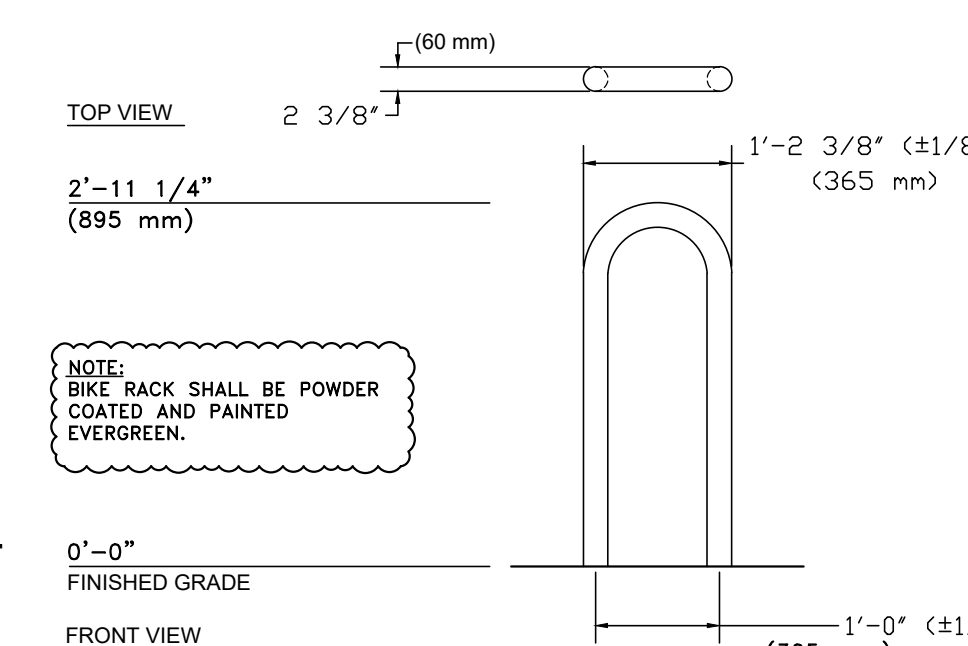
8 HANDICAP PARKING SIGN DETAIL
C2.2 SCALE: 3/4" = 1'-0"



9 2' WIDE CURB CUT
C2.2 SCALE: NTS



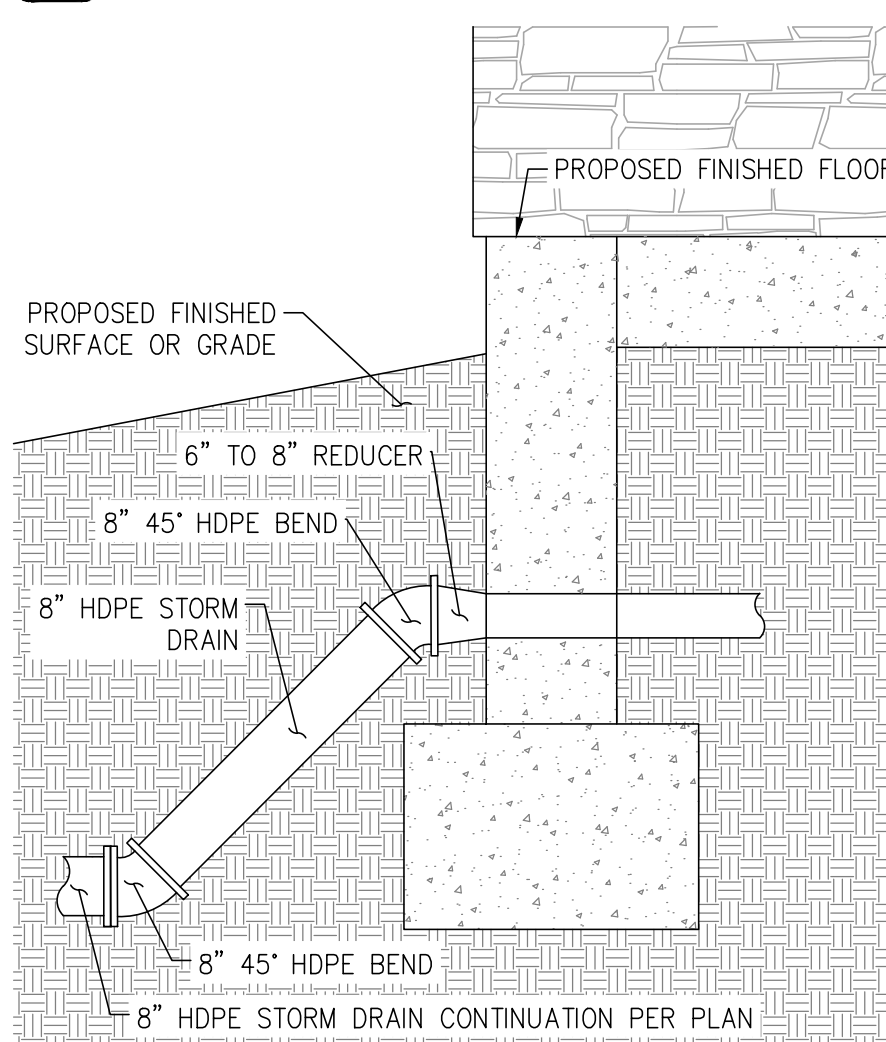
10 RIPRAP DETAIL
C2.2 SCALE: NTS



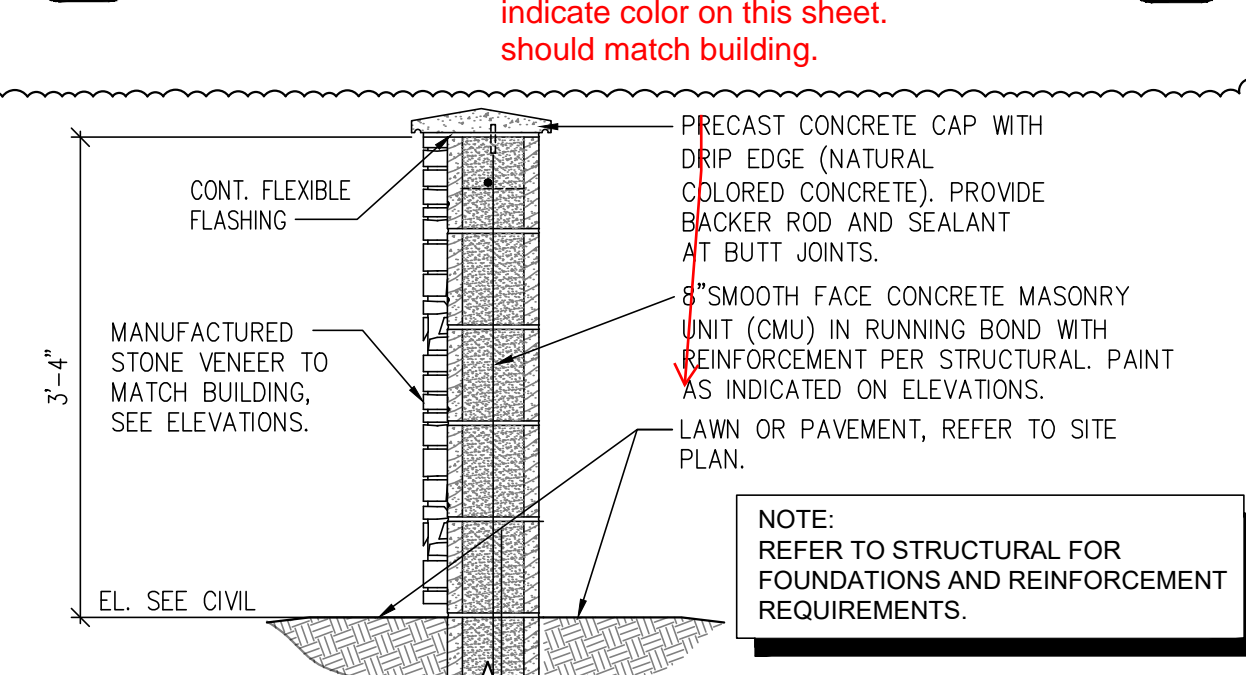
11 BICYCLE PARKING (INVERTED "U")
C2.2 SCALE: 3/4" = 1'-0"

TAIT Response: Handrail shown and annotated by keynote on sheet C2.1.

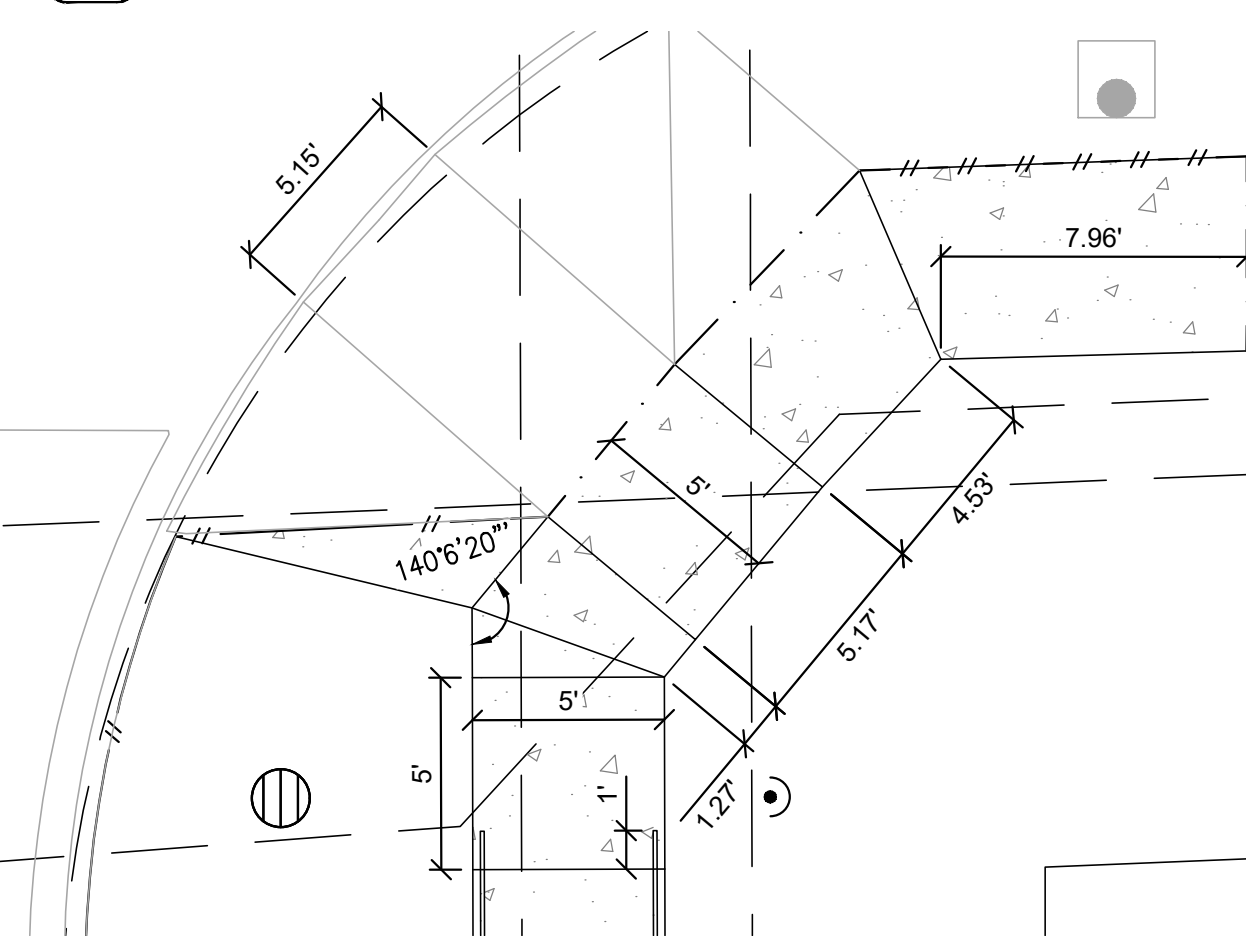
Timothy M. Guillot Response: Proposed handrails are not adjacent to the building and will not show up on the building elevations.



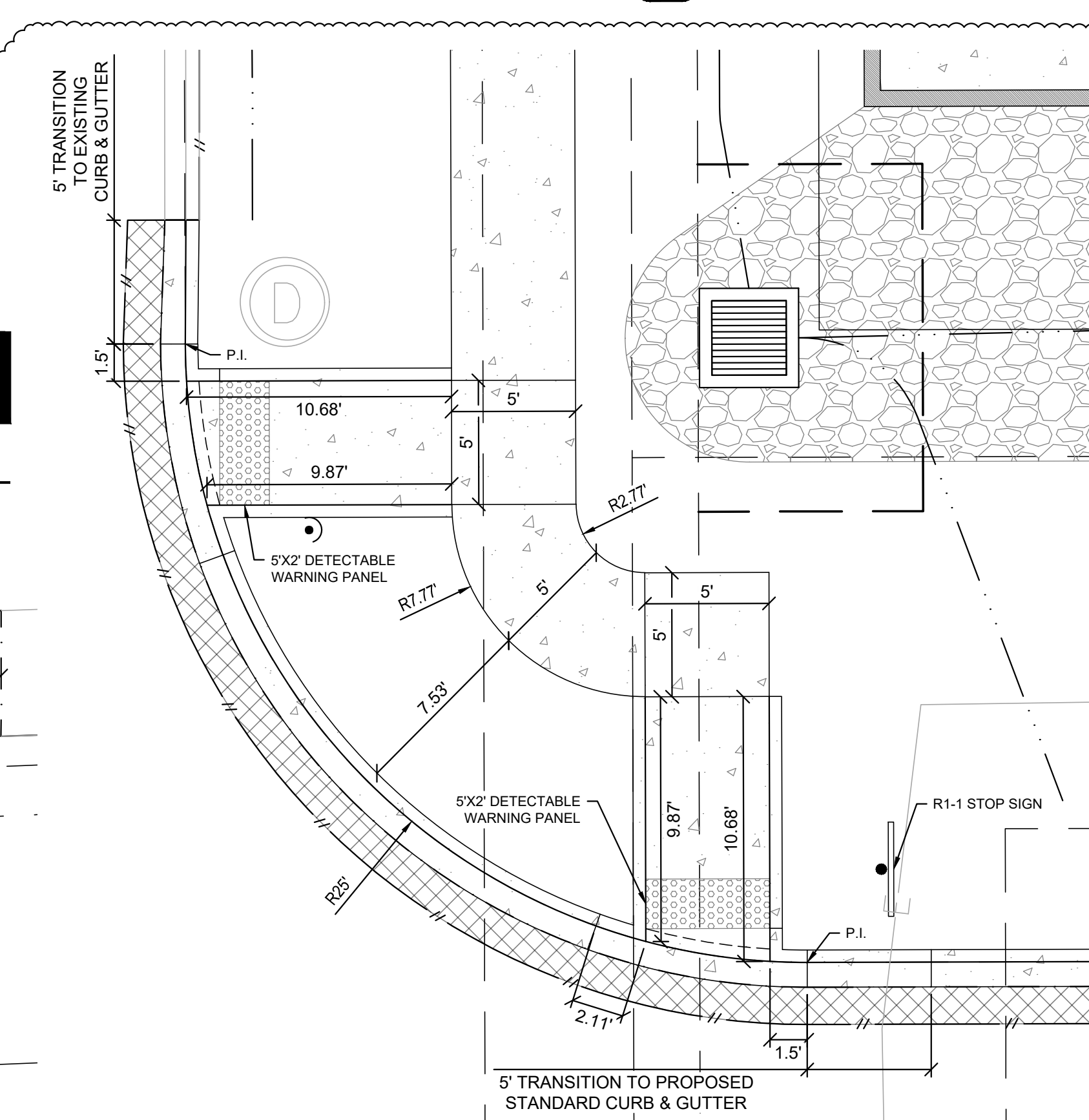
12 DOWNSPOUT CONNECTION
C2.2 SCALE: NTS



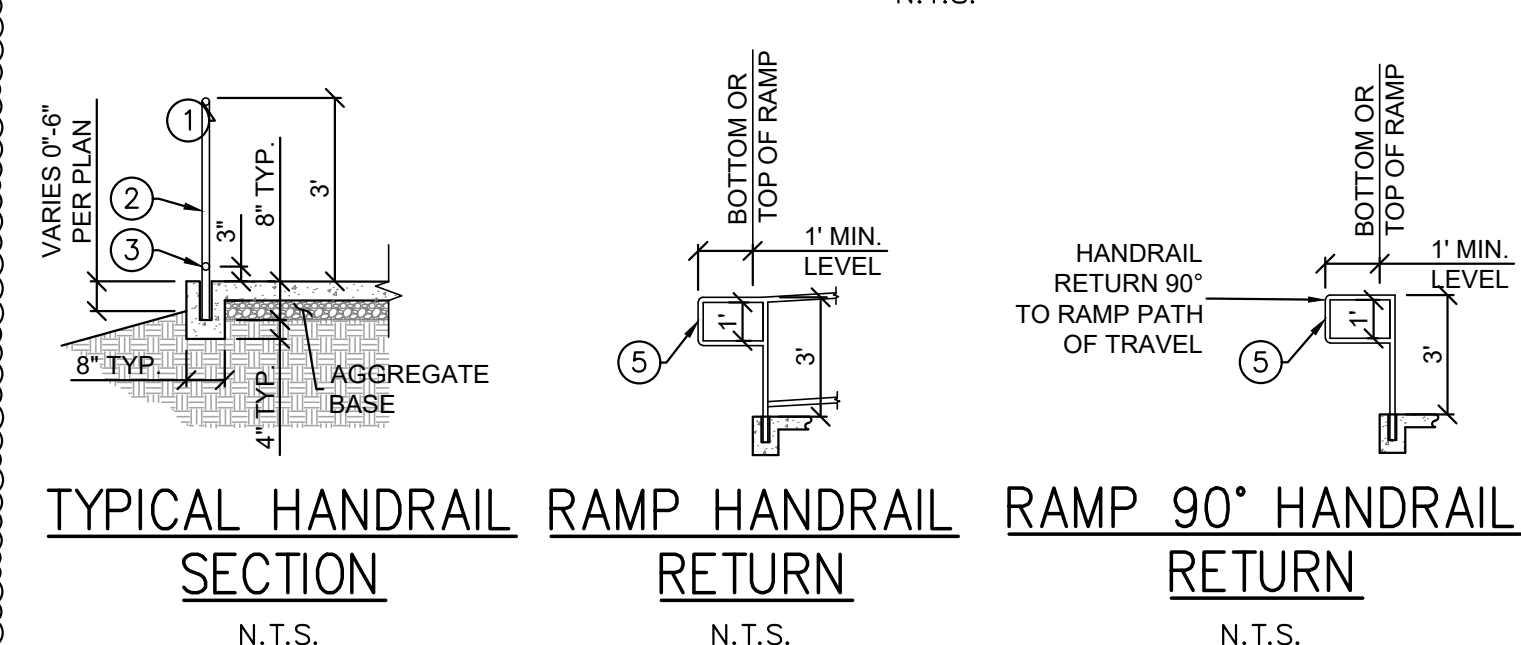
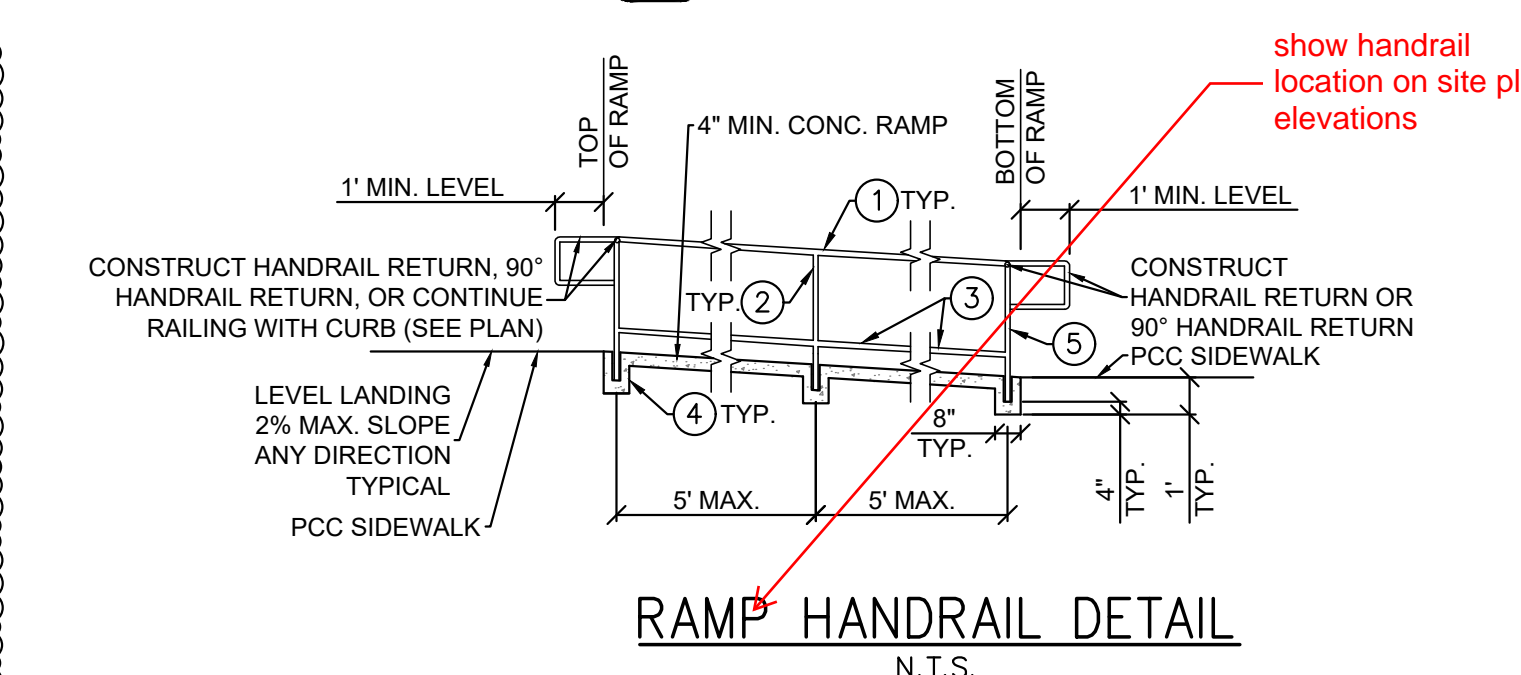
13 LANDSCAPE SCREEN WALL
C2.2 SCALE: 3/4" = 1'-0"



14 NORTHWEST ACCESSIBLE RAMP TIE-IN DETAIL
C2.2 SCALE: 1" = 5'



15 PROPOSED CURB RAMP DIMENSION DETAIL
C2.2 SCALE: 1" = 5'



16 HANDRAIL DETAILS
C2.2 SCALE: NTS

- NOTE: ALL HANDRAILS, POSTS, AND APPURTENANCES TO BE PAINTED "CYBERSPACE" SW7076 (OR EQUAL) PER O'REILLY SPECIFICATIONS AND ARCHITECT RECOMMENDATIONS.
- 1 1/2" O.D. GALVANIZED STEEL HANDRAIL.
 - 1 1/2" O.D. GALVANIZED STEEL POST.
 - 1 1/2" O.D. GALVANIZED STEEL GUIDE RAIL.
 - BLOCK OUT 2 1/2" x 2 1/2" x 8" DEEP SQUARE POST OPENING PRIOR TO POURING CONCRETE. FILL WITH NON-SHRINK GROUT AFTER POST IS PLACED, ALIGNED AND LEVELED.
 - 1 1/2" STEEL HANDRAIL EXTENSION RETURN. EXTENSION SHALL EXTEND A MINIMUM OF 1' IN DIRECTION OF RAMP. IF EXTENSION WOULD CREATE A HAZARD, THE EXTENSION MAY BE TURNED 90 DEGREES TO THE RUN OF THE RAMP.
- ANY WELDS SHALL BE SLOT OR FILLET WELDS EQUAL TO THICKNESS OF PIPE. WELD ALL JOINTS ALL AROUND.

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LOT 1 PARKER POINTE SUBDIVISION FILING 1

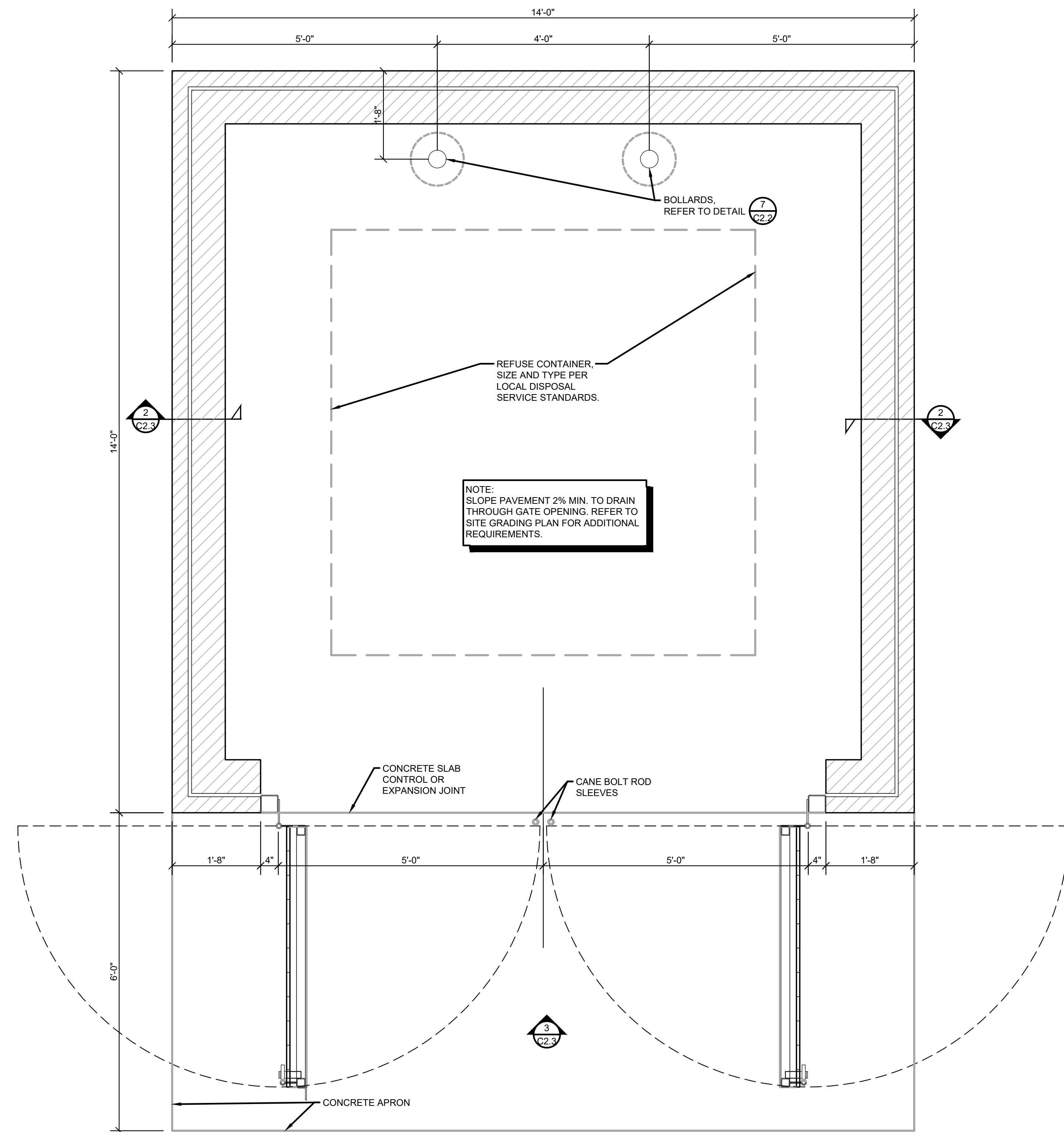
PROJECT: **NEW O'REILLY AUTO PARTS STORE**
STROH RD
PARKER, CO #2

SITE DETAILS

O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

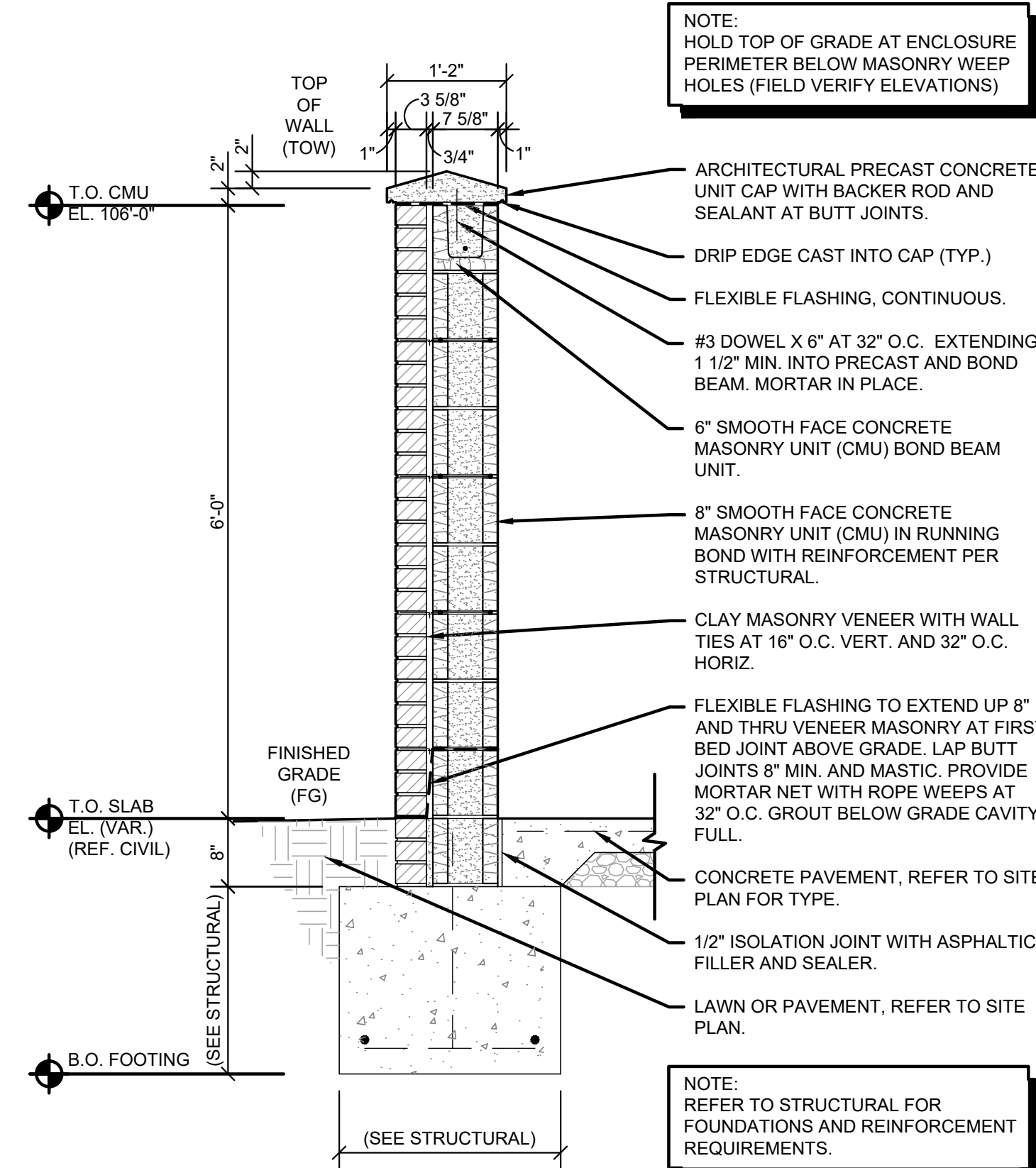
COMM # 4884
DATE: 02/14/2025
REVISION
DATE: 05/02/2025



1 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN

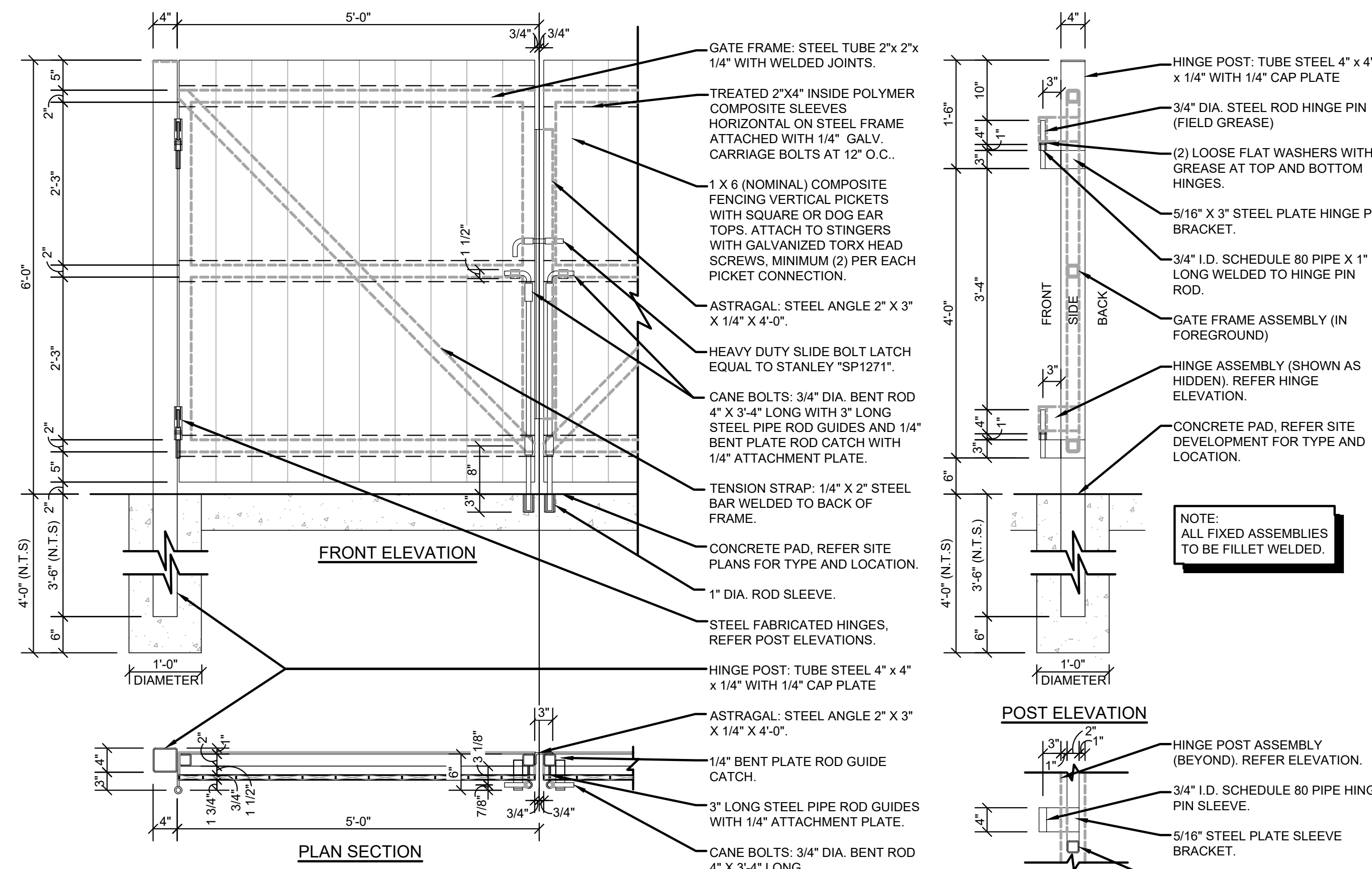
C2.3 SCALE: 3/4" = 1'-0"

NOTE: REFER TO SITE DEVELOPMENT PLAN FOR REFUSE ENCLOSURE LOCATION AND ORIENTATION.



2 MASONRY SCREEN FENCE SECTION

C2.3 SCALE: 3/4" = 1'-0"



3 SCREEN FENCE GATE DETAILS

C2.3 SCALE: 3/4" = 1'-0"

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GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:

1. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".
2. COMPOSITE FENCING MATERIAL COLOR TO BE EQUAL TO LOUISIANA-PACIFIC - LP ELEMENTS ATLAS COLLECTION-76 SERIES "PORTLAND STORM" OR MIDWEST MANUFACTURING - ULTRADECK "NEW".

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TIMOTHY M. GUILLOT
ARCHITECT

1736 East Sunshine, Suite 417
Springfield, Missouri 65804

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Fax: 417.862.3265
e-mail: architect@estertyschneider.com

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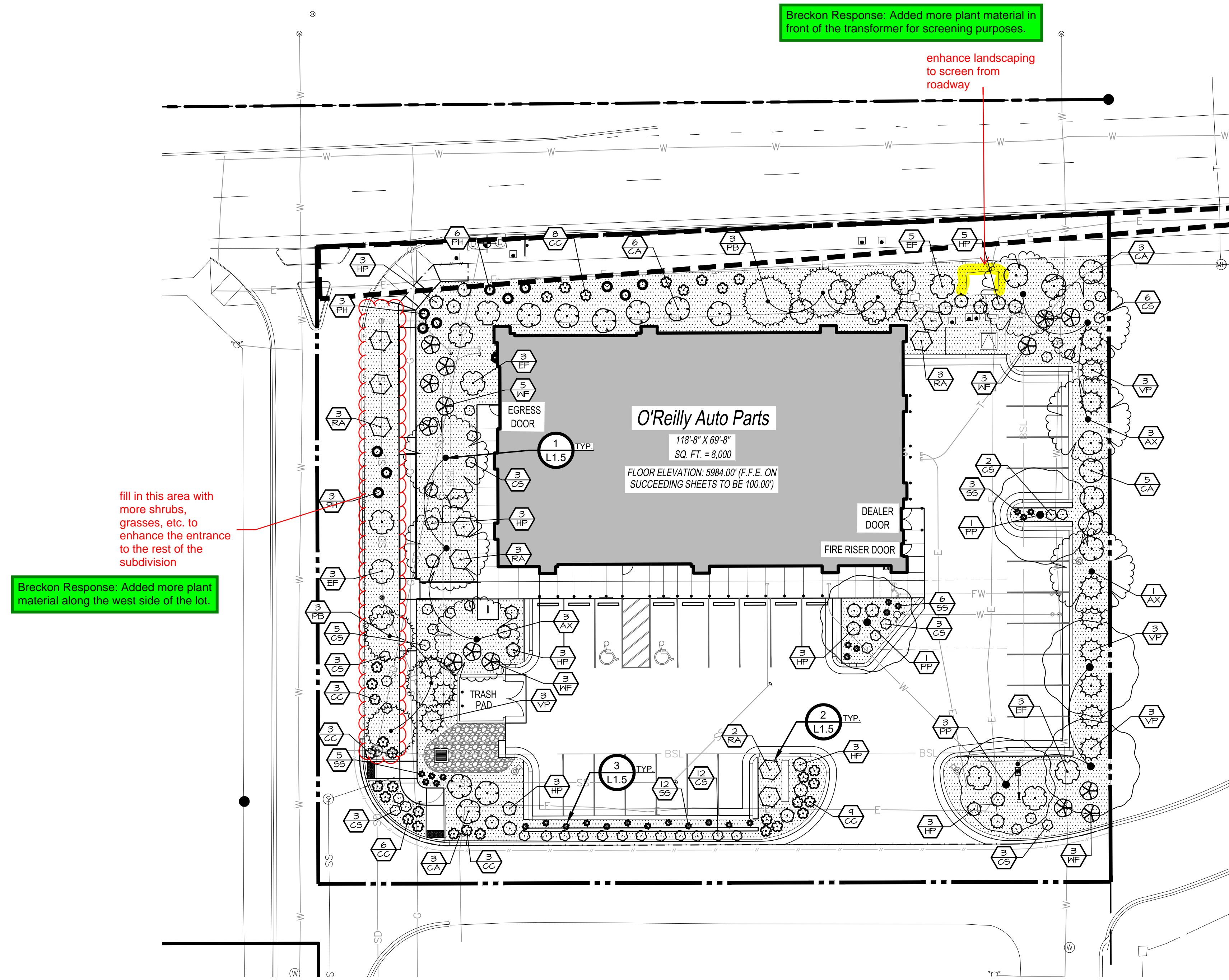
PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2

REFUSE ENCLOSURE

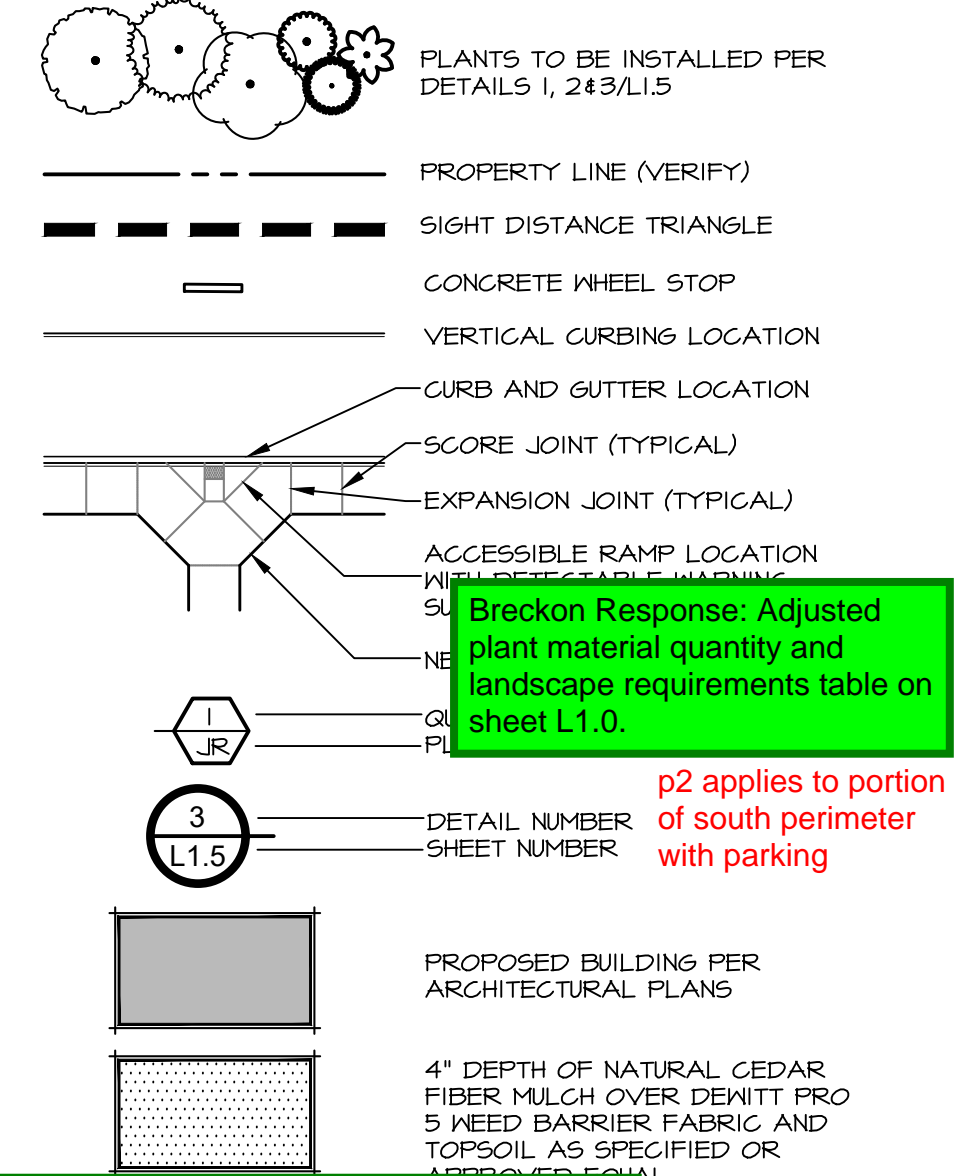
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LANDSCAPE LEGEND

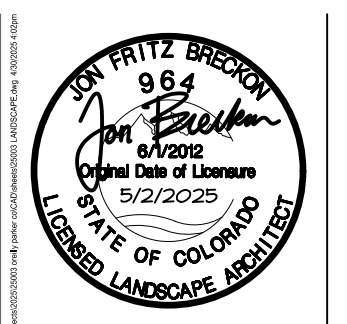
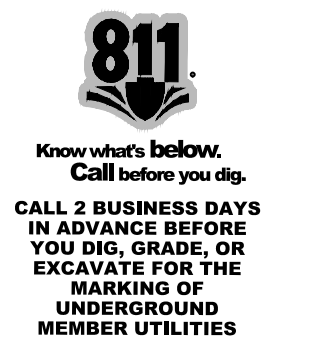
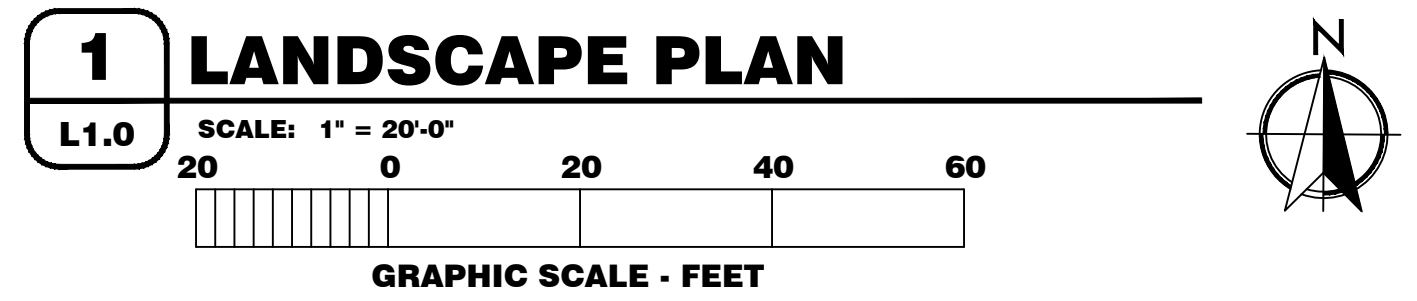


LANDSCAPE REQUIREMENTS

Requirements:	REQUIRED	PROVIDED	
EAST PARKING LOT ISLAND - 71 SF			
1 TREE / ISLAND	1 TREES	1 TREES	
5 SHRUBS / ISLAND	5 SHRUBS	5 SHRUBS	
SOUTH PARKING LOT ISLAND - 286 SF			
1 TREE / ISLAND	1 TREES	1 TREES	
5 SHRUBS / ISLAND	5 SHRUBS	12 SHRUBS	
NORTH PERIMETER - 216 LF			
1 TREE / 40 LF	5 TREES	5 TREES	
5 SHRUBS / 40 LF	27 SHRUBS	47 SHRUBS	
EAST PERIMETER - 164 LF			
1 TREE / 40 LF	4 TREES	4 TREES	
5 SHRUBS / 40 LF	21 SHRUBS	22 SHRUBS	
SOUTH PERIMETER - 217 LF			
1 TREE / 40 LF	5 TREES	1 TREES*	
5 SHRUBS / 40 LF	27 SHRUBS	68 SHRUBS*	
WEST PERIMETER - 156 LF			
1 TREE / 40 LF	4 TREES	5 TREES	
5 SHRUBS / 40 LF	20 SHRUBS	21 SHRUBS	
GENERAL			
Requirements:	TOTAL TREES	EVERGREEN TREES	PROVIDED
25-50% EVERGREEN	10 TREES	6 TREES	33%
1500 SF REPLACE 1 TREE WITH 10 SHRUBS	LANDSCAPE AREA	TOTAL TREES	TOTAL SHRUBS
	11,655 SF	10 TREES	204 SHRUBS

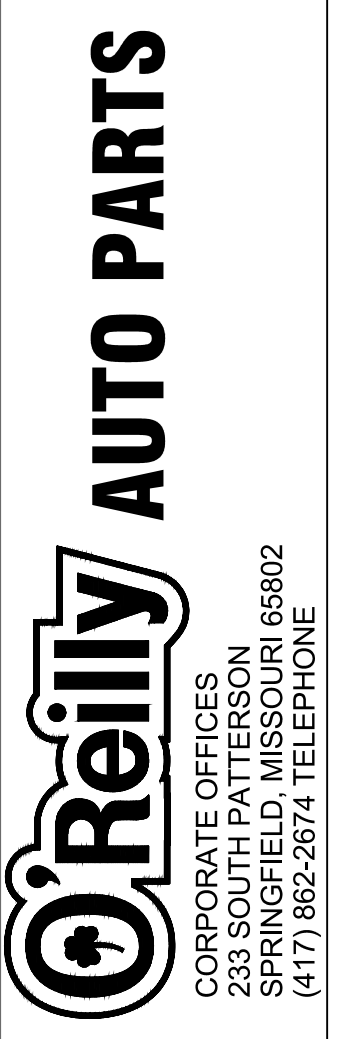
PLANT SCHEDULE

SYMBOL	CODE	COMMON NAME	REMARKS
TREES			
AX	7	Acer truncatum x platanoides 'Warrenred'	Pacific Sunset Maple 2" Cal. B4B 30' X 25' W
PP	5	Parrotia persica	Persian Ironwood 2" Cal. B4B 40' X 30' W
PB	6	Picea pungens glauca 'Baby Blue Eyes'	Baby Blue Eyes Colorado Blue Spruce 2" Cal. B4B 30' X 15' W
SHRUBS			
CC	32	Cornopsis x 'Creme Brulee'	Creme Brulee Tickseed 1 gal. 1'-2" H x 2'-3" W
CA	17	Cornus alba 'Ballhalo' TM	Ivory Halo Dogwood 5 gal. 6'-8" H & W
CS	40	Cornus sericea 'Kelsey'	Kelsey Dwarf Redtwig Dogwood 2 gal. 24"-30" H x 24"-30" W
EF	14	Euonymus fortunei 'Colorata'	Purple-leaf Winter Creeper 2 gal. 2'-3" H & 6'-8" W
HP	26	Hydrangea paniculata 'Little Lime'	Little Lime Panicle Hydrangea 5 gal. 3'-5" H & W
FH	12	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass 2 gal. 2'-3" H x 2'-3" W
RA	11	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac 3 gal. 2'-3" H x 5'-7" W
SS	26	Salvia x sylvestris 'May Night'	May Night Sage 1 gal. 18"-24" H & W
VP	12	Viburnum plicatum 'Popcorn'	Popcorn Japanese Snowball 5 gal. 6'-8" H & 6'-8" W
WF	14	Wegelia florida 'Red Prince'	Red Prince Weigela 5 gal. 5'-6" H & W



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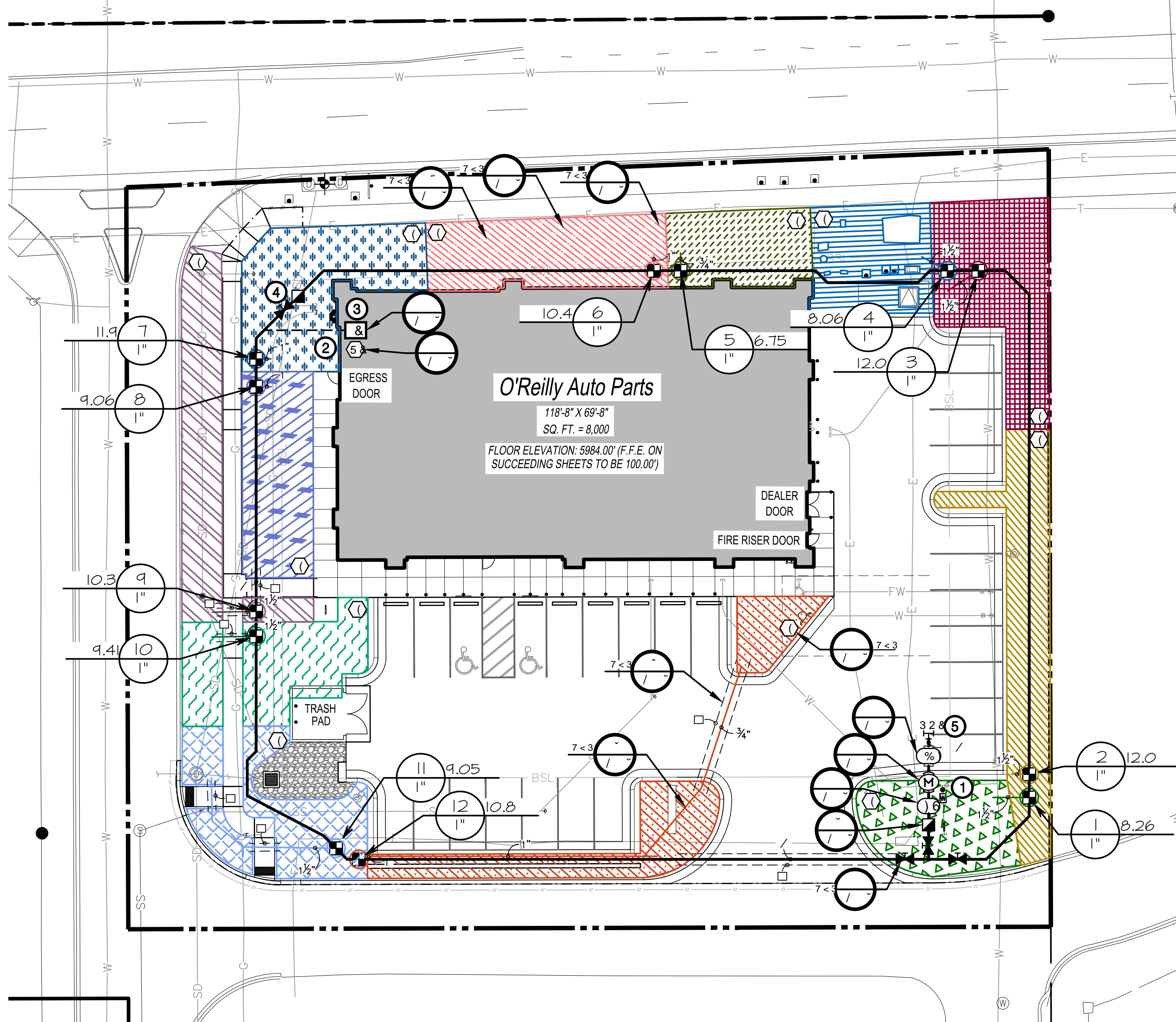
PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
LANDSCAPE PLAN



COMM # 4884
DATE: 2-14-2025
REVISION DATE: 5-2-2025

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- SYSTEM DESIGN BASED ON THE ASSUMPTION OF THE AVAILABILITY OF 14 G.P.M. WITH 65 P.S.I. AT THE SOURCE AND 45 P.S.I. AT THE HEADS.
- ALL LATERAL LINES THAT ARE NOT LABELED SHALL BE 3/4" DIAMETER.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- COORDINATE ALL IRRIGATION INSTALLATION OPERATIONS WITH CIVIL, MECHANICAL, AND ELECTRICAL ENGINEERING SHEETS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION CONDUIT AND SLEEVES UNDER HARD SURFACES WITH RESPECTIVE CONTRACTORS.
- ALL SLEEVES SHALL BE INSTALLED AS PART OF IRRIGATION CONTRACT. APPROXIMATE LOCATION OF SLEEVES ARE SHOWN ON THE IRRIGATION PLAN. FIELD VERIFY LOCATION. ALL ENDS OF SLEEVES SHALL BE TAPERED OR CAPPED AND MARKED WITH A 2" X 4" PAINTED STAKE EXTENDING TO 24" ABOVE GRADE. STAKES SHALL NOT BE REMOVED UNTIL THE IRRIGATION SYSTEM IS COMPLETE. ALL SLEEVES SHALL EXTEND A MINIMUM OF 18" BEYOND BACK OF CURB OR EDGE OF PAVEMENT. PROVIDE COMPACTED BACKFILL AS NECESSARY AT HARD SURFACE LOCATIONS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK.
- IRRIGATION CONTROLLER(S) ARE TO BE LOCATED AS SHOWN ON THE PLAN. CONTROLLERS SHALL BE WIRED TO POWER SUPPLY BY A LICENSED ELECTRICIAN PER LOCAL CODES. IRRIGATION CONTRACTOR TO PROVIDE ALL REQUIRED CONNECTIONS TO 24 VOLT IRRIGATION CONTROL WIRE INSIDE THE BUILDING THROUGH APPROPRIATE SIZED CONDUIT.
- ALL HEADS ARE TO BE 4" POP-UP IN LAWN AREAS. IRRIGATED AREAS CONTAINING VEGETATION WHICH POTENTIALLY MAY IMPEDE PERFORMANCE OF A 4" POP-UP SPRINKLER ARE TO BE REPLACED WITH A 12" HIGH POP-UP SPRINKLER. ALL ELECTRICAL WORK TO MEET OR EXCEED N.E.C., STATE CODES, LOCAL CODES, AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROCK AND DEBRIS BROUGHT TO THE SURFACE AS A RESULT OF TRENCHING OPERATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL 24 VOLT POWER WIRES SHALL BE #14 AWG SOLID COPPER. ALL ABOVE GROUND 120 VOLT AND 24 VOLT WIRE SHALL BE IN PVC CONDUIT. ALL 24 VOLT CONTROL WIRES SHALL BE LOCATED IN A 3/4" CONDUIT.
- INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- IRRIGATION CONTRACTOR SHALL PROVIDE A COMPLETE AS-BUILT DRAWING IN PDF FORMAT UPON COMPLETION OF INSTALLATION AND PRIOR TO FINAL PAYMENT.
- THE ENTIRE SYSTEM SHALL BE GUARANTEED TO BE COMPLETE AND PERFECT IN EVERY DETAIL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE. REPAIRS OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT ONE YEAR SHALL BE FREE OF EXPENSE TO THE OWNER.
- AS PART OF THIS CONTRACT, PERFORM AT NO EXTRA COST WINTERIZATION AND SPRING START UP OF THE SYSTEM DURING THE GUARANTEE PERIOD (1 YEAR).
- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF THE QUALITY AND PERFORMANCE SPECIFIED, AND SHALL MEET THE REQUIREMENTS OF THIS SYSTEM. USE MATERIALS AS SPECIFIED, NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE OWNER OR DESIGN PROFESSIONAL.
- IRRIGATION CONTRACTOR SHALL MAKE NECESSARY MINOR FIELD ADJUSTMENTS TO SPRINKLER NOZZLES, SPRINKLERS, PIPE, AND OTHER IRRIGATION EQUIPMENT LOCATIONS TO FIT SITE. ADJUST HEAD AND PIPE LOCATIONS AS REQUIRED TO AVOID DAMAGING EXISTING TREE ROOTS. ADJUSTMENTS SHALL ENSURE HEAD TO HEAD COVERAGE AND NOT OVER SPRAY THE BUILDING OR OTHER IMPROVEMENTS.
- IRRIGATION PIPING LAYOUT IS SCHEMATIC. WHERE LINES ARE SHOWN BELOW PAVEMENT ADJACENT TO LANDSCAPE AREAS, THEY SHALL BE LOCATED IN THE LANDSCAPE AREA UNLESS SHOWN WITH A SLEEVE SYMBOL.
- BASE PLAN AND LOCATION OF EXISTING EQUIPMENT ARE SCHEMATIC IN NATURE. FIELD VERIFY ALL BASE AND EXISTING IRRIGATION ELEMENTS AND CONDITIONS PRIOR TO CONSTRUCTION AND PROVIDE NECESSARY ADJUSTMENTS.
- IRRIGATION CONTRACTOR SHALL USE THE MANUFACTURER'S APPROVED PRESSURE REGULATING MODULE AS SPECIFIED TO ADJUST ZONE OPERATING PRESSURES TO AN AVERAGE OF 30 P.S.I. IN SPRAY ZONES AND 45 P.S.I. IN ROTOR SPRAY ZONES.
- ALL MAIN LINE FITTINGS SHALL BE SCHEDULE 40 SOLVENT WELD TYPE UNLESS NOTED FOR LATERAL SERVICE.
- IN THE EVENT OF A DISCREPANCY, IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE CERTIFICATE OF COMPLETION IRRIGATION SCHEDULING, LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULES, IRRIGATION AUDIT, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS.



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- ALL PLANTER BEDS SHALL BE IRRIGATED WITH AN INLINE EMITTER DRIP LINE IRRIGATION SYSTEM, HUNTER HDL OR APPROVED EQUAL. ALL TREES IN THE NOTED AREA ARE TO BE IRRIGATED AS PER DETAIL 10/L2.5. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE DRIP SYSTEM AS PER MANUFACTURER'S RECOMMENDATIONS AND THE FOLLOWING REQUIREMENTS:
 - AN INLINE EMITTER DRIP LINE TUBING SHALL BE USED. THE EMITTER SPACING SHALL BE TWELVE INCHES (12") AND THE EMITTER FLOWS ARE TO BE 6 G.P.H. LATERALS SHALL BE SPACED AT TWELVE INCHES (12").
 - A MANUAL BASKET FILTER SHALL BE INSTALLED ON EACH ZONE SEE LEGEND FOR MODEL NUMBER. THE FILTER SHALL BE INSTALLED IN CONJUNCTION WITH AN ELECTRIC REMOTE CONTROL VALVE AS SPECIFIED (SIZE AS NOTED ON SCHEDULE). THE FILTER SHALL INCLUDE A 200 MESH STAINLESS STEEL SCREEN.
 - ALL ZONES SHALL BE INSTALLED WITH A MANUAL LINE FLUSHING VALVE. INSTALL WITH COLLAR. SEE DETAIL 2/L2.0.
 - ALL TUBING SHALL BE STAKED DOWN WITH T156 SIX INCH (6") SOIL STAPLES EVERY 3'-5' PLUS TWO ON EACH TEE, ELBOW OR CROSS.
- THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A MEETING WITH THE DESIGN PROFESSIONAL AND THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH ANY IRRIGATION INSTALLATION IN ORDER TO REVIEW WORK TO BE DONE. NO CHANGES IN MATERIAL SPECIFIED OR TO THE DESIGN OF THE SYSTEM SHALL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE DESIGN PROFESSIONAL.
- ALL PVC LATERAL LINES FROM VALVES TO HEADERS ARE TO BE BURIED AT MINIMUM DEPTH OF TWELVE INCHES (12"). SIZE AS NECESSARY. (SEE PIPE SIZING NOTES ON THIS SHEET)
- AFTER INSTALLATION OF THE IRRIGATION SYSTEM THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER WITH AS-BUILT DRAWINGS AND INSTRUCTIONS FOR MAINTENANCE OF THE DRIP SYSTEM. PROVIDE DRIP LINE TO ENSURE EACH SHRUB AND TREE RECEIVES ADEQUATE IRRIGATION SO THAT THE OPTIMUM AMOUNT OF WATER IS APPLIED TO ENSURE THE HEALTH OF ALL PLANT MATERIAL. BURY DRIP LINE AT 5" MIN. BELOW GRADE, SEE DETAIL 10/L2.5. LOCATE DRIP LINE TO OBTAIN COMPLETE COVERAGE OF PLANTER AREAS, SEE DETAIL 10/L2.5. REFER TO NOTES, SPECIFICATIONS, AND DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

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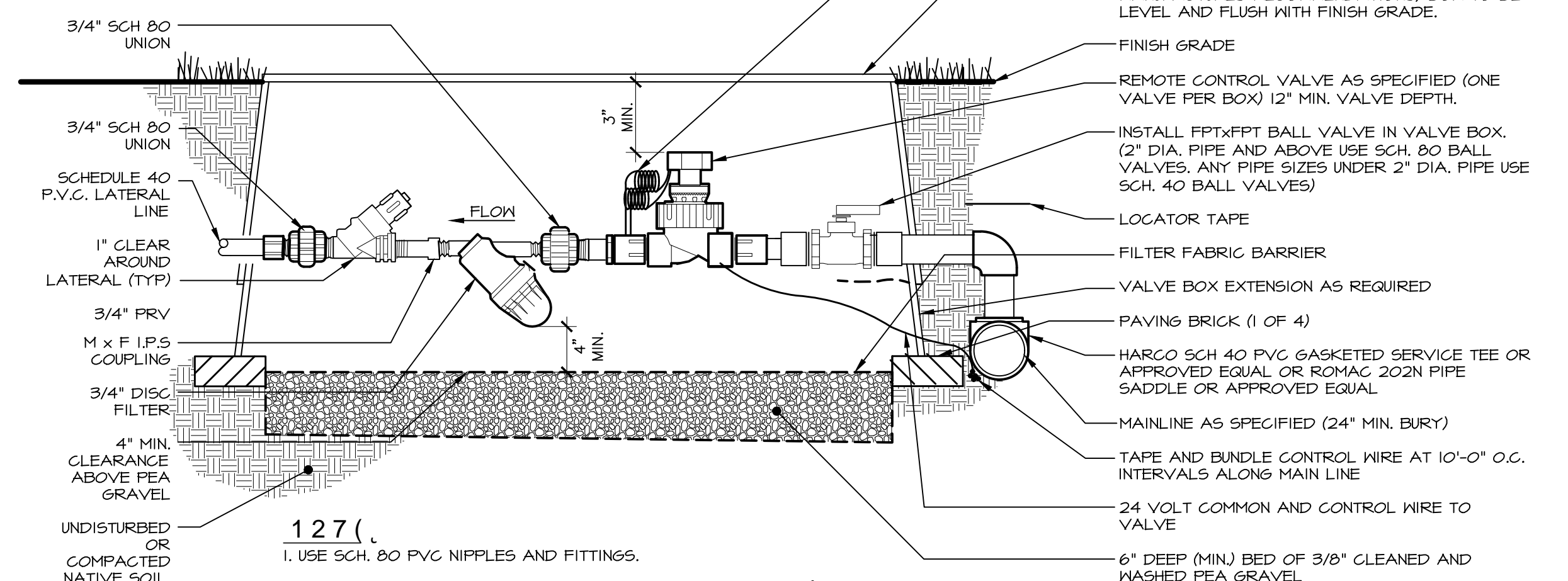
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SYSTEM OPERATION:
(BASED ON HISTORICAL CLIMATE)

CONTROLLER SETUP:
A CYCLING TECHNIQUE WILL BE USED FOR APPLICATION OF WATER, EACH STATION RUN TIME WILL BE APPLIED WITH THREE (3) DIFFERENT START TIMES, THEREFORE STATION RUN TIMES REFLECT ONE THIRD (1/3) THE TOTAL APPLICATION. PEAK WATER APPLICATION WILL REQUIRE IRRIGATION EVERY NINETEEN (19) MINUTES FOR START TIME #1 AT 7:30P.M., START TIME #2 AT 12:00A.M., AND START TIME #3 AT 5:30A.M. EXTEND WATER WINDOW IF REQUIRED TO MEET PEAK WATER REQUIREMENTS.

INITIAL STATION RUN TIMES:
DRIP ZONES: SHRUBS - 10 MINUTE CYCLES. (5 CYCLES MINIMUM SPACED EVENLY THROUGHOUT WATER WINDOW AS NOTED ABOVE)
SPRAY ZONES: TURF - 5 MINUTE CYCLES.

SYSTEM BALANCING:
AS THE SYSTEM OPERATES, SOME ZONES WILL BE WET WHILE OTHERS ARE DRY. ADJUST ONLY THOSE STATIONS WHICH REQUIRE ADDITIONAL OR LESS WATER. FOR EXAMPLE, IF STATION T51, A 15' TURF SPRAY ZONE IS ALWAYS DRY, CHANGE THE STATION T51 RUN TIME FROM FIFTEEN (15) MINUTES TO SIXTEEN (16) MINUTES. CONTINUE MAKING ADJUSTMENTS UNTIL THE ZONE MOISTURE CONTENT IS ACCEPTABLE. USE NOZZLE CHANGES OR NOZZLE SCREEN ADJUSTMENTS TO ADJUST WET AND DRY AREAS WITHIN A ZONE.



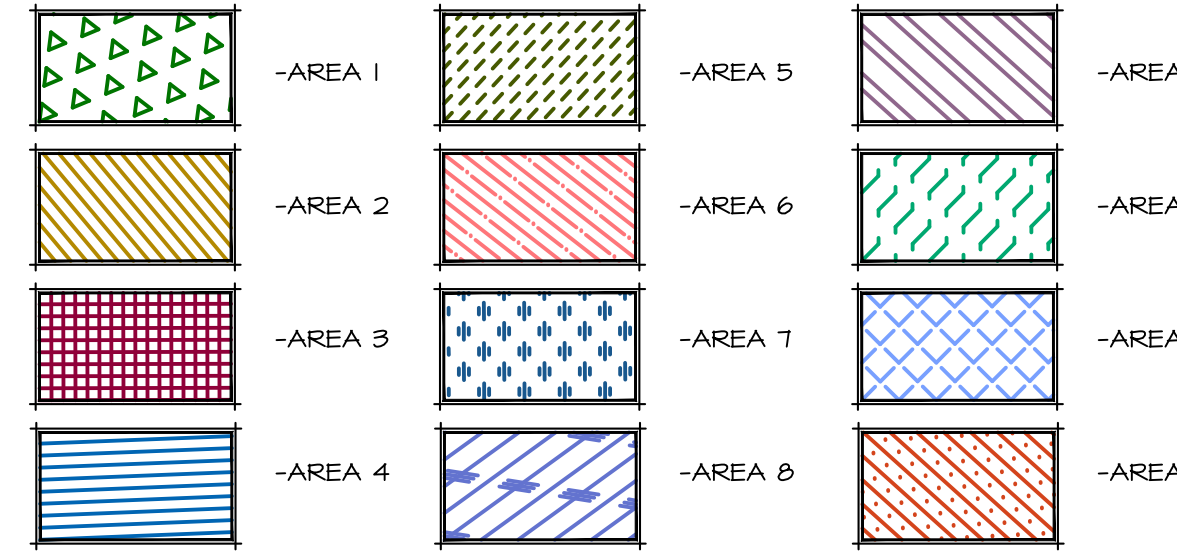
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
■	Hunter ICZ-101-25-LF Drip Control Zone Kit, In. 1CV Globe Valve with In. HY100 Filter system. Pressure Regulation 25psi. Flow Range: 5 GPM to 15 GPM. 150 mesh stainless steel screen. See Detail 1/L2.0
SEE DRIP MATERIAL LEGEND	Area to Receive Drip Line Hunter HDL-06-12-CV HDL-06-12-CV; Hunter Drip Line w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Drip line laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings. See Details 8-1/L2.5
■	Hunter HQ-5RC Quick coupler valve, yellow rubber cover, red brass and stainless steel, with In. NPT inlet, 1-piece body. See Detail 5/L2.5
■	Mueller Brass Valve or approved equal. Threaded. See Detail 3/L2.5
Ⓜ	Hunter ICV-6-F5 Size to match mainline. Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for commercial/Industrial use. With Filter Sentry Factory Installed Option. See Detail 3/L2.5
Ⓢ	Zurn 350 Size to match mainline. Backflow Preventer w/ EZ5nap. See Detail 14/L2.5
Ⓢ	Hunter PHC-12001 NI-FI enabled, full-functioning controller with touchscreen, 12-station fixed controller, 120 VAC, indoor model. See Detail 1/L2.5
Ⓢ	Hunter RAIN-CLIK Rain Sensor, with conduit installation, mount as noted. Normally closed switch. See Detail 13/L2.5
Ⓢ	Hunter HC-10-FLOW Size to match mainline. Flow meter for use with Hydralise and/or controller to monitor flow and provide system alerts. Also functions as stand alone flow totalizer/sub meter on any residential or commercial irrigation system. See Detail 4/L2.5
3/2 & 1/2"	Point of Connection 1/2"
---	Irrigation Lateral Line: PVC Schedule 40 Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4". See Detail 64/L2.5
---	1/2" Irrigation Mainline: PVC Schedule 40. See Detail 64/L2.5
---	Schedule 40 PVC for electrical control wires, size as indicated on plans. Coordinate with Electrical.
---	Pipe Sleeve: PVC Schedule 40.

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
1	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	8.26
2	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	12.01
3	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	11.97
4	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	8.06
5	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	6.15
6	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	10.44
7	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	11.85
8	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	9.06
9	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	10.33
10	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	4.41
11	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	4.05
12	Hunter ICZ-101-25-LF-R	1"	Area for Drip Line	10.74

DRIP MATERIAL LEGEND



VALVE SCHEDULE

- CONNECT NEW 1/2" MAINLINE TO SERVICE IN THIS APPROXIMATE LOCATION (FIELD VERIFY). SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 2" WIRE SLEEVE, ROUTE TO CONTROLLER LOCATION PER LOCAL CODES AS REQUIRED.
- INDOOR WALL MOUNT IRRIGATION CONTROLLER IN THIS APPROXIMATE LOCATION AS REQUIRED. CONNECT 120 VOLT AS REQUIRED. ALL ABOVE GRADE WIRES SHALL BE LOCATED IN APPROPRIATELY SIZED CONDUIT (2" MINIMUM). IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH CERTIFIED ELECTRICAL CONTRACTOR FOR ALL ELECTRICAL CONNECTIONS. IRRIGATION CONTRACTOR SHALL ENSURE ALL CONTROLLER OPTIONS AND ZONES ARE FULLY OPERATIONAL AFTER TRENCHING HAS FINISHED. CONTROLLER LOCATION TO BE OWNER APPROVED. REVISE LOCATION AS REQUIRED FOR OWNER APPROVAL.
- EXTEND EXTRA WIRES TO THIS POINT. COIL APPROXIMATELY 24" LENGTH OF EXTRA WIRES IN SEPARATE VALVE BOX AT THIS LOCATION.
- IRRIGATION MATERIALS SHOWN IN HARDSCAPE IS FOR GRAPHIC CLARITY ONLY AND SHALL BE LOCATED IN ADJACENT LANDSCAPING.

PRESSURE ANALYSIS

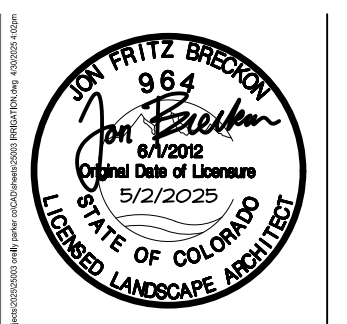
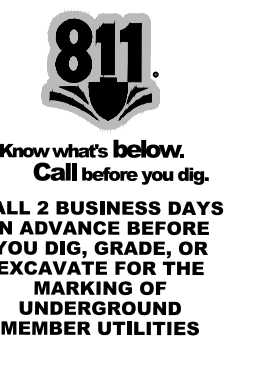
P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Point of Connection Size: 1 1/2"
Flow Available: 46.54 GPM

PRESSURE AVAILABLE
Static Pressure at P.O.C.: 60 PSI
Pressure Available: 60 PSI

DESIGN ANALYSIS
Maximum Station Flow: 11.88 GPM
Flow Available at P.O.C.: 46.54 GPM
Residual Flow Available: 34.71 GPM

Critical Station:
Design Pressure: 2 PSI
Friction Loss: 0.36 PSI
Fittings Loss: 0.03 PSI
Elevation Loss: 0 PSI
Loss through Valve: 4.21 PSI
Pressure Req. at Critical Station: 37.3 PSI
Loss for Fittings: 0.03 PSI
Loss for Main Line: 0.28 PSI
Loss for P.O.C. to Valve Elevation: 0 PSI
Loss for Backflow: 4.14 PSI
Loss for Master Valve: 3 PSI
Critical Station Pressure at P.O.C.: 44.8 PSI
Pressure Available: 60 PSI
Residual Pressure Available: 15.2 PSI



TIMOTHY M. GUILLOT
ARCHITECT
1730 East Sunshine, Suite 417
Springfield, Missouri 65804
417.862.0558
Fax: 417.862.3265
e-mail: architect@estertyschneider.com

PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
5, 5, *\$7,21 3/\$1

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
STYLINGFIELD, MISSOURI 65802
(417) 882-2674 TELEPHONE

COMM # 4884
DATE: 2-14-2025

REVISION
DATE: 5-2-2025

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EXTERIOR LIGHT FIXTURE SCHEDULE													
ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER (O'REILLY). ITEMS SHALL BE DIRECT ORDERED AND OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR:				SOURCEONE SOLUTIONS 4341 GREEN ASH DRIVE EARTH CITY, MO 63045				SOURCEONE SOLUTIONS O'REILLY TEAM EMAIL: nco'reilly@sourceonesolutions.com PHONE: 314-499-6400					
MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	FINISH	MOUNTING			LAMPS			WATTAGE	NOTES	FIXTURE QUANTITY
					SURFACE WALL	SURF. CEILING	OTHER	TYPE	FLUORESCENT	LED			
LED EXTERIOR LIGHTS													
WS1	LSI	XWM-FT-LED-06L-50-UE-BRZ NO SUBSTITUTIONS	120	DARK BRONZE	X			X			45	FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.	5
WSP	LSI	XWM-FT-LED-06L-50-UE-BRZ-PC120 NO SUBSTITUTIONS	120	DARK BRONZE	X			X			45	FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.	1
LED POLE LIGHTS													
P1	LSI	MRM-LED-18L-SIL-FT-UNV-DIM-50-70CRI-BRZ-IL	120	DARK BRONZE			X	X			135	25' POLE LENGTH, ADVANCE BALLASTS, FULL CUT-OFF, NO SUBSTITUTIONS, ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE SIDE SHIELD, BUG RATING B2-U0-G3	3
FIXTURE QUANTITY TO BE VERIFIED WITH SITE PLAN QUANTITY													

BACKLIGHT-UGLIGHT-GLARE (BUG) RATING / FULL CUTOFF															
ALL "LSI MRM" & "XWM" LED FIXTURES HAVE ZERO UPLIGHT AND ARE CONSIDERED FULL CUT OFF AND DARKSKY COMPLIANT. THE DELIVERED LUMEN CHART BELOW APPLIES TO "LSI XWM" FIXTURES AND CONFIRMS THAT IN EVERY CONFIGURATION THE FIXTURE PRODUCES ZERO UPLIGHT (U = 0). BUG RATING CHART FOR "LSI MRM" FIXTURES IS FOUND ON CORRESPONDING "SP" SHEETS.															
DELIVERED LUMENS*															
Lumen Package	Distribution	CRI	2700K			3000K			4000K			5000K			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
03L	2	70	2703	120	B1-U0-G1	2922	125	B1-U0-G1	3088	137	B1-U0-G1	3068	137	B1-U0-G1	22.6
	3	70	2752	122	B1-U0-G1	2973	127	B1-U0-G1	3144	139	B1-U0-G1	3144	139	B1-U0-G1	
	FT	70	2718	120	B1-U0-G1	2838	126	B1-U0-G1	3105	137	B1-U0-G1	3105	137	B1-U0-G1	
04L	2	70	3646	120	B1-U0-G1	3702	125	B1-U0-G1	4051	137	B1-U0-G1	4051	137	B1-U0-G1	29.5
	3	70	3610	122	B1-U0-G1	3769	128	B1-U0-G1	4124	140	B1-U0-G1	4124	140	B1-U0-G1	
	FT	70	3655	121	B1-U0-G1	3722	126	B1-U0-G1	4073	138	B1-U0-G1	4073	138	B1-U0-G1	
06L	2	70	5274	118	B2-U0-G2	5506	123	B2-U0-G2	6025	135	B2-U0-G2	6025	135	B2-U0-G2	44.7
	3	70	5369	120	B1-U0-G1	5606	125	B1-U0-G1	6134	137	B1-U0-G2	6134	137	B1-U0-G2	
	FT	70	5303	119	B1-U0-G2	5536	124	B1-U0-G2	6058	136	B1-U0-G2	6058	136	B1-U0-G2	
08L	2	70	6996	113	B2-U0-G2	7304	116	B2-U0-G2	7993	129	B2-U0-G2	7993	129	B2-U0-G2	62.0
	3	70	7123	115	B1-U0-G2	7437	120	B1-U0-G2	8136	131	B2-U0-G2	8136	131	B2-U0-G2	
	FT	70	7035	113	B1-U0-G2	7345	116	B2-U0-G2	8037	130	B2-U0-G2	8037	130	B2-U0-G2	
12L	2	70	10616	103	B2-U0-G2	10979	107	B3-U0-G3	12014	118	B3-U0-G3	12014	118	B3-U0-G3	102.2
	3	70	10707	105	B2-U0-G2	11178	109	B2-U0-G2	12232	120	B2-U0-G2	12232	120	B2-U0-G2	
	FT	70	10574	103	B2-U0-G3	11040	108	B2-U0-G3	12080	118	B2-U0-G3	12080	118	B2-U0-G3	

AUTOMATIC LIGHTING CONTROL

COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

- ONCE THE EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE EM SHEETS.

INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.

INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.

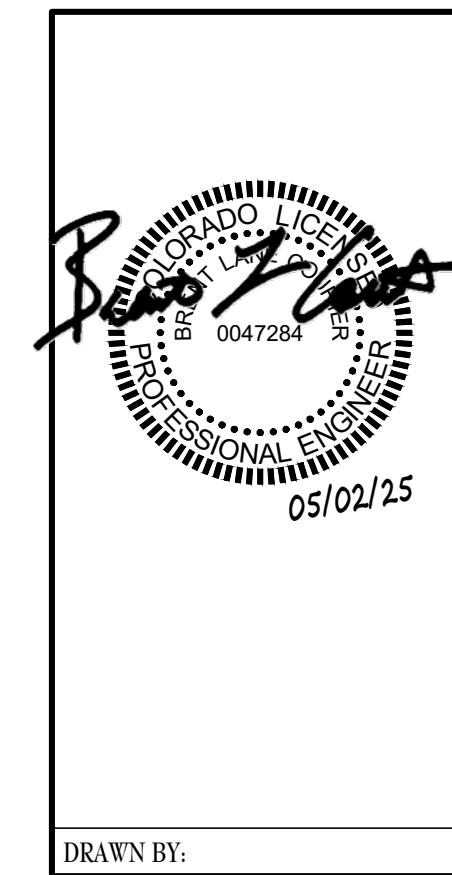
EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH OUTSIDE ANYTIME DURING STORE HOURS, AND WILL TURN OFF AT STORE CLOSING.

EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.

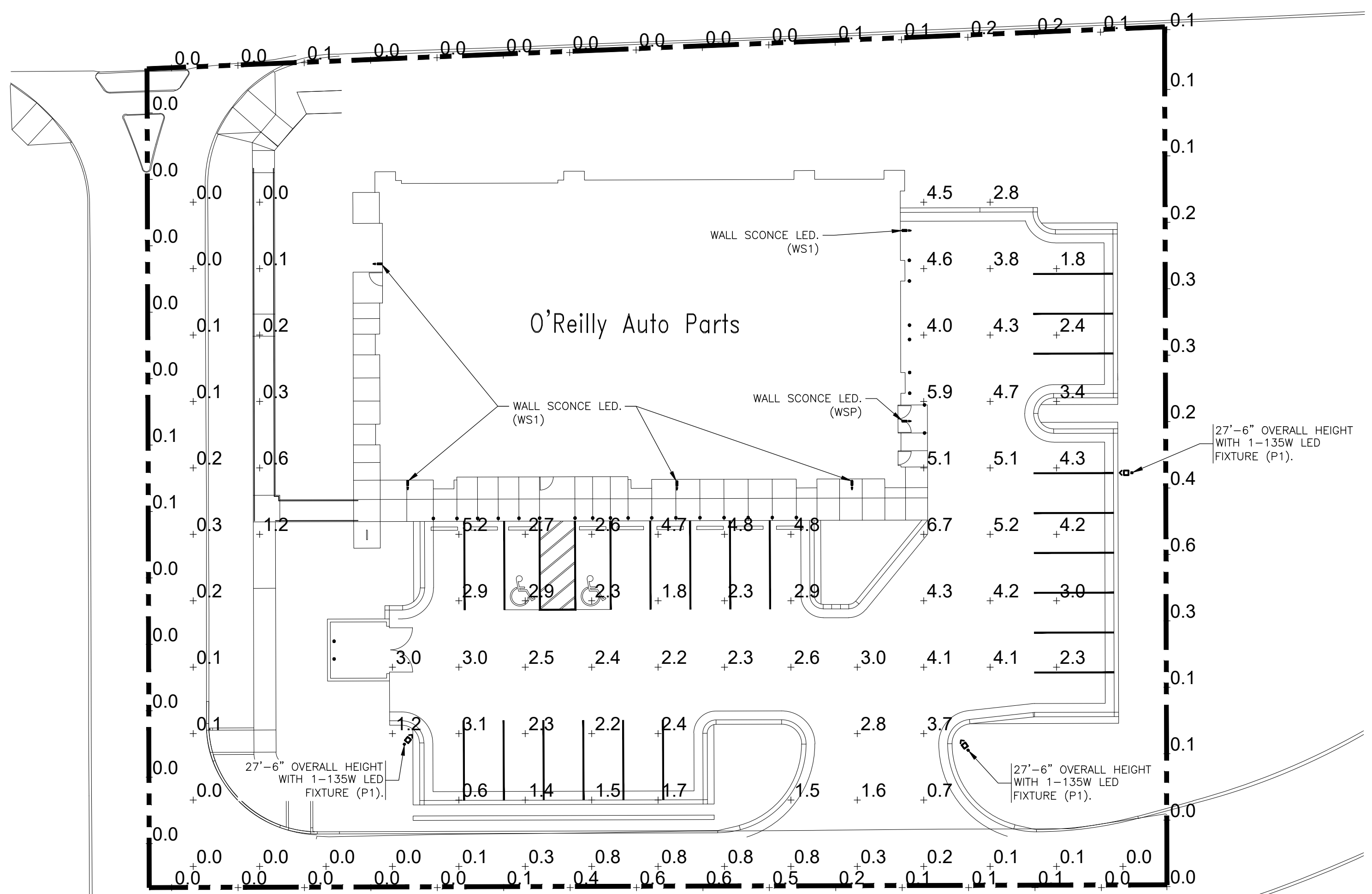
FOR NEW CONSTRUCTION LOCATIONS ONLY, THERE IS A TEMPORARY PROGRAM TO KEEP SIGN AND SITE LIGHTS ON UNTIL MIDNIGHT RATHER THAN THE TIMES INDICATED ABOVE. O'REILLY WILL DISABLE THIS PROGRAM ONE YEAR AFTER STORE OPENING.

(EXCLUDING TX, EXTERIOR LIGHTS STAY ON OVERNIGHT FOR SECURITY PURPOSES.)

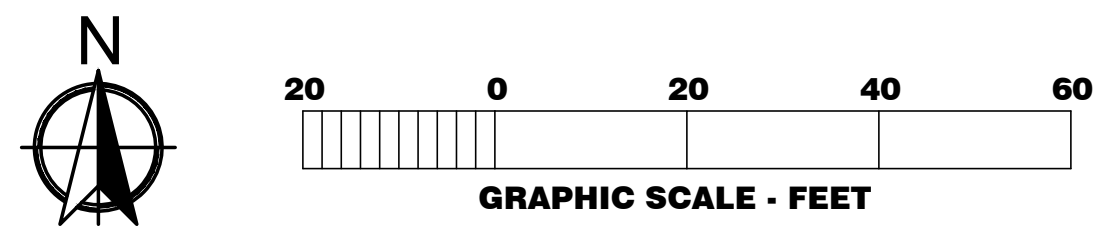
- RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.



TIMOTHY M. GUILLOT
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
417.862.0558
Fax: 417.862.3265
e-mail: architect@esteytschneider.com



SITE LIGHTING PHOTOMETRICS
SCALE: 1"=20'



05-02-25
SHEET CHANGED IN ITS ENTIRETY.




PROJECT:
NEW O'REILLY AUTO PARTS STORE
STROH RD
PARKER, CO #2
SITE LIGHTING PHOTOMETRICS

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4884
DATE: 02-14-2025
REVISION
DATE: 05-02-25

Catalog #: _____ Project: _____
 Prepared By: _____ Date: _____ Type: _____

Mirada Medium (MRM) Outdoor LED Area Light



OVERVIEW
 Lumen Package 7000 - 48000
 Wattage Range 48 - 401
 Efficacy Range (LPW) 117 - 160
 Weight (lb/kg) 30 (13.6)

QUICK LINKS
 Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IE5 Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak Intensity at 610nm.
- Minimum CRI of 70.
- Integral lower (IL) and house-side shield (HS) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty.
- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant, with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.
- Paraflex Silicone Optics (US Patent NO. 10,596,165 B2)
- IK09 rated luminaire per IEC 60626 mechanical impact code.

Specifications and dimensions subject to change without notice.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsiinc.com
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Page 1/7 Rev. 09/08/21 SPEC1048.A.0630

Catalog #: _____ Project: _____
 Prepared By: _____ Date: _____ Type: _____

Mirada Medium Outdoor LED Area Light

ORDERING GUIDE [Back to Quick Links](#)

Typical Order Example: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

Luminaire	Light Source	Lumen Package	Light Source	Distribution	Orientation	Voltage	Driver
MRM - Mirada	LED	7L - 7,000 lms 8L - 8,000 lms 9L - 9,000 lms 12L - 12,000 lms 15L - 15,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms Custom Lumen Packages*	SIL - Silicone L - Lumen	2 - Type 2 3 - Type 3 5W - Type 5W FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise	Blank - None EXT - 0°-10° Dimming leads extended to housing exterior IP67 - Ingress Protection (IP67) IP68 - Ingress Protection (IP68) IP69K - Ingress Protection (IP69K) IP69K - Ingress Protection (IP69K)	UNV - Universal Voltage (120-277V) HW - High Voltage (347-480V) DIM - 0-10V Dimming (0-10V)	AM - Phosphor Converted Amber*

Color Temp: 7000K - 70 CRI

Blank - None
 BRZ - Dark Bronze
 GMS - Gun Metal Gray
 GPF - Graphite
 MSV - Metallic Silver
 PFP - Platinum Plus
 SWG - Satin White Green
 WHT - White

Blank - None
 IL - Integral House Side Shield[†]
 HS - Integral Lower (Sharp Spot Light Cutoff)

Controls (House Side)

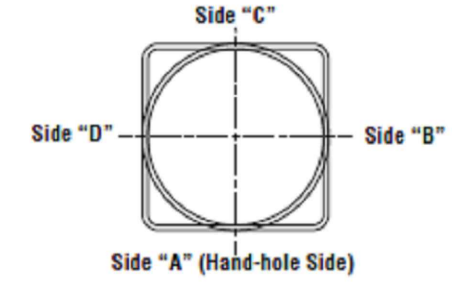
Blank - None
 ALS - AirLink Sensor Control System
 ALS2 - AirLink Sensor Control System (with 12" Motion Sensor)
 ALS3 - AirLink Sensor Control System (with 24" Motion Sensor)
 ALS4 - AirLink Sensor Control System (with 36" Motion Sensor)
 ALS5 - AirLink Sensor Control System (with 48" Motion Sensor)
 ALS6 - AirLink Sensor Control System (with 60" Motion Sensor)
 ALS7 - AirLink Sensor Control System (with 72" Motion Sensor)
 ALS8 - AirLink Sensor Control System (with 84" Motion Sensor)
 ALS9 - AirLink Sensor Control System (with 96" Motion Sensor)
 ALS10 - AirLink Sensor Control System (with 108" Motion Sensor)
 ALS11 - AirLink Sensor Control System (with 120" Motion Sensor)
 ALS12 - AirLink Sensor Control System (with 132" Motion Sensor)
 ALS13 - AirLink Sensor Control System (with 144" Motion Sensor)
 ALS14 - AirLink Sensor Control System (with 156" Motion Sensor)
 ALS15 - AirLink Sensor Control System (with 168" Motion Sensor)
 ALS16 - AirLink Sensor Control System (with 180" Motion Sensor)
 ALS17 - AirLink Sensor Control System (with 192" Motion Sensor)
 ALS18 - AirLink Sensor Control System (with 204" Motion Sensor)
 ALS19 - AirLink Sensor Control System (with 216" Motion Sensor)
 ALS20 - AirLink Sensor Control System (with 228" Motion Sensor)
 ALS21 - AirLink Sensor Control System (with 240" Motion Sensor)
 ALS22 - AirLink Sensor Control System (with 252" Motion Sensor)
 ALS23 - AirLink Sensor Control System (with 264" Motion Sensor)
 ALS24 - AirLink Sensor Control System (with 276" Motion Sensor)
 ALS25 - AirLink Sensor Control System (with 288" Motion Sensor)
 ALS26 - AirLink Sensor Control System (with 300" Motion Sensor)
 ALS27 - AirLink Sensor Control System (with 312" Motion Sensor)
 ALS28 - AirLink Sensor Control System (with 324" Motion Sensor)
 ALS29 - AirLink Sensor Control System (with 336" Motion Sensor)
 ALS30 - AirLink Sensor Control System (with 348" Motion Sensor)
 ALS31 - AirLink Sensor Control System (with 360" Motion Sensor)
 ALS32 - AirLink Sensor Control System (with 372" Motion Sensor)
 ALS33 - AirLink Sensor Control System (with 384" Motion Sensor)
 ALS34 - AirLink Sensor Control System (with 396" Motion Sensor)
 ALS35 - AirLink Sensor Control System (with 408" Motion Sensor)
 ALS36 - AirLink Sensor Control System (with 420" Motion Sensor)
 ALS37 - AirLink Sensor Control System (with 432" Motion Sensor)
 ALS38 - AirLink Sensor Control System (with 444" Motion Sensor)
 ALS39 - AirLink Sensor Control System (with 456" Motion Sensor)
 ALS40 - AirLink Sensor Control System (with 468" Motion Sensor)
 ALS41 - AirLink Sensor Control System (with 480" Motion Sensor)
 ALS42 - AirLink Sensor Control System (with 492" Motion Sensor)
 ALS43 - AirLink Sensor Control System (with 504" Motion Sensor)
 ALS44 - AirLink Sensor Control System (with 516" Motion Sensor)
 ALS45 - AirLink Sensor Control System (with 528" Motion Sensor)
 ALS46 - AirLink Sensor Control System (with 540" Motion Sensor)
 ALS47 - AirLink Sensor Control System (with 552" Motion Sensor)
 ALS48 - AirLink Sensor Control System (with 564" Motion Sensor)
 ALS49 - AirLink Sensor Control System (with 576" Motion Sensor)
 ALS50 - AirLink Sensor Control System (with 588" Motion Sensor)
 ALS51 - AirLink Sensor Control System (with 600" Motion Sensor)
 ALS52 - AirLink Sensor Control System (with 612" Motion Sensor)
 ALS53 - AirLink Sensor Control System (with 624" Motion Sensor)
 ALS54 - AirLink Sensor Control System (with 636" Motion Sensor)
 ALS55 - AirLink Sensor Control System (with 648" Motion Sensor)
 ALS56 - AirLink Sensor Control System (with 660" Motion Sensor)
 ALS57 - AirLink Sensor Control System (with 672" Motion Sensor)
 ALS58 - AirLink Sensor Control System (with 684" Motion Sensor)
 ALS59 - AirLink Sensor Control System (with 696" Motion Sensor)
 ALS60 - AirLink Sensor Control System (with 708" Motion Sensor)
 ALS61 - AirLink Sensor Control System (with 720" Motion Sensor)
 ALS62 - AirLink Sensor Control System (with 732" Motion Sensor)
 ALS63 - AirLink Sensor Control System (with 744" Motion Sensor)
 ALS64 - AirLink Sensor Control System (with 756" Motion Sensor)
 ALS65 - AirLink Sensor Control System (with 768" Motion Sensor)
 ALS66 - AirLink Sensor Control System (with 780" Motion Sensor)
 ALS67 - AirLink Sensor Control System (with 792" Motion Sensor)
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 ALS76 - AirLink Sensor Control System (with 900" Motion Sensor)
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 ALS78 - AirLink Sensor Control System (with 924" Motion Sensor)
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 ALS86 - AirLink Sensor Control System (with 1020" Motion Sensor)
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 ALS358 - AirLink Sensor Control System (with 4284" Motion Sensor)
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 ALS360 - AirLink Sensor Control System (with 4308" Motion Sensor)
 ALS361 - AirLink Sensor Control System (with 4320" Motion Sensor)
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 ALS386 - AirLink Sensor Control System (with 4620" Motion Sensor)
 ALS387 - AirLink Sensor Control System (with 4632" Motion Sensor)
 ALS388 - AirLink Sensor Control System (with 4644" Motion Sensor)
 ALS389 - AirLink Sensor Control System (with 4656" Motion Sensor)
 ALS390 - AirLink Sensor Control System (with 4668" Motion Sensor)
 ALS391 - AirLink Sensor Control System (with 4680" Motion Sensor)
 ALS392 - AirLink Sensor Control System (with 4692" Motion Sensor)
 ALS393 - AirLink Sensor Control System (with 4704" Motion Sensor)
 ALS394 - AirLink Sensor Control System (with 4716" Motion Sensor)
 ALS395 - AirLink Sensor Control System (with 4728" Motion Sensor)
 ALS396 - AirLink Sensor Control System (with 4740" Motion Sensor)
 ALS397 - AirLink Sensor Control System (with 4752" Motion Sensor)
 ALS398 - AirLink Sensor Control System (with 4764" Motion Sensor)
 ALS399 - AirLink Sensor Control System (with 4776" Motion Sensor)
 ALS400 - AirLink Sensor Control System (with 4788" Motion Sensor)
 ALS401 - AirLink Sensor Control System (with 4800" Motion Sensor)
 ALS402 - AirLink Sensor Control System (with 4812" Motion Sensor)
 ALS403 - AirLink Sensor Control System (with 4824" Motion Sensor)
 ALS404 - AirLink Sensor Control System (with 4836" Motion Sensor)
 ALS405 - AirLink Sensor Control System (with 4848" Motion Sensor)
 ALS406 - AirLink Sensor Control System (with 4860" Motion Sensor)
 ALS407 - AirLink Sensor Control System (with 4872" Motion Sensor)
 ALS408 - AirLink Sensor Control System (with 4884" Motion Sensor)
 ALS409 - AirLink Sensor Control System (with 4896" Motion Sensor)
 ALS410 - AirLink Sensor Control System (with 4908" Motion Sensor)
 ALS411 - AirLink Sensor Control System (with 4920" Motion Sensor)
 ALS412 - AirLink Sensor Control System (with 4932" Motion Sensor)
 ALS413 - AirLink Sensor Control System (with 4944" Motion



Steel Poles - Square Straight

DRILLING LOCATIONS

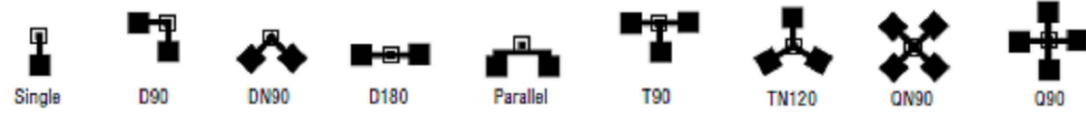
Sides	A	B	C	D
Single	X			
D180	X	X	X	X
D360	X	X	X	X
D540	X	X	X	X
D720	X	X	X	X
D900	X	X	X	X
Single FBO	X			
Double FBO	X	X	X	X



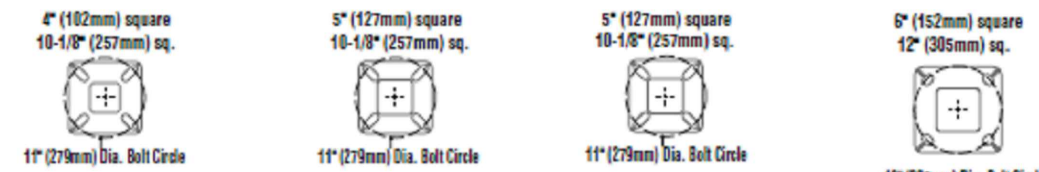
NOTES:
 1- Two locations will be 45° to the left and right of Side A.
 2- Other two locations will be 120° to the left and right of Side A.
 3- Two locations will be 45° to the left and right of Side A and two locations will be 120° to the left and right of Side A.

Consult factory for custom variations. Standard SF and DF pole preparations are located 1/4" of the height of the pole from the base, except on 20' poles. Maximum height for SF and DF pole preparations on 20' poles is 13' from the base.

FIXTURE CONFIGURATIONS



BOLT CIRCLE



Bolt Circle Designator	B	C	D	J
Bolt Circle	8" (203mm)	10" (254mm)	12" (305mm)	12" (305mm)
Anchor Bolt Size	3/4" x 32" (19mm x 762mm)	3/4" x 32" (19mm x 762mm)	7/8" x 32" (22mm x 813mm)	1" x 32" (25mm x 813mm)
Anchor Bolt Projection	5/16" (8mm)	3/16" (5mm)	1/2" (13mm)	1/2" (13mm)
Base Plate Opening for Wireway Entry	3-5/8" (95mm)	4-5/8" (119mm)	4-5/8" (119mm)	5-3/8" (137mm)
Base Plate Dimensions	10-1/8" sq. x 1-3/4" thick (257mm x 35mm)	10-1/8" sq. x 2-3/4" thick (257mm x 70mm)	10-1/8" sq. x 1" thick (257mm x 25mm)	12" sq. x 1-1/8" thick (305mm x 29mm)
Pole Gauge	11	11	7	7

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the appropriate anchor bolt template.

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Steel Poles - Square Straight

ORDERING GUIDE

TYPICAL ORDER EXAMPLE: **4SQ B3 S11G 24 S P L P DGP**

Pole Series	Mounting Method	Material	Height	Mounting Configuration	Pole Finish	Options
4SQ - 4" x 4" Square Straight Pole	Ball-On Mount - See pole selection guide for patterns and future materials.	S11G - 11 Ga. Steel (60K and 55K only)	8'	B - Single/Parallel	BSZ - Bronze	GA - Galvanized Anchor Bolts DF - Single Flood SF - Double Flood
6SQ - 6" x 6" Square Straight Pole	Ball-On Mount - See pole selection guide for patterns and future materials.	301G - 30 Ga. Steel	10'	D180 - Double	BLK - Black	DF - Single Flood SF - Double Flood
8SQ - 8" x 8" Square Straight Pole	Ball-On Mount - See pole selection guide for patterns and future materials.	301G - 30 Ga. Steel	12'	D360 - Double	PLP - Platinum Plus WH - White	DF - Single Flood SF - Double Flood DGP - DuraGrip Plus LAE - LSI Anchor Bolts CROW - Conduit Runway
	T-Terminal Mount - See pole selection guide for terminal and future/stock materials.		14'	TN120 - Top	DVS - Salt Water Clean	
			16'	Q90 - Quad	GPT - Granite	
			17'	Q90 - Quad	MSV - Metallic Silver	
			18'	II - Tercon Mount (Standard Tercon size is 2-3/8" O.D.)	BR - Reverse Bronze	
			20'			
			22'			
			24'			
			26'			
			28'			
			30'			
			32'			
			34'			
			36'			

Accessory Ordering Information

Description	Order Number	Description	Order Number
4SQ - 4" Square Base Cover	1209CLB	Windon Damper - 4" Square Pole (ball on mount only)	1209D
6SQ - 6" Square Base Cover	1209CLC	Windon Damper - 6" Square Pole (ball on mount only)	1209S
8SQ - 8" Square Base Cover	1209CLD	Windon Damper - 8" Square Pole (ball on mount only)	1209M
DF - DuraGrip Plus Handrail	1209CLF		
DF - DuraGrip Plus Handrail	1209CLG		
DF - DuraGrip Plus Handrail	1209CLH		
DF - DuraGrip Plus Handrail	1209CLI		
DF - DuraGrip Plus Handrail	1209CLJ		
DF - DuraGrip Plus Handrail	1209CLK		
DF - DuraGrip Plus Handrail	1209CLL		
DF - DuraGrip Plus Handrail	1209CLM		
DF - DuraGrip Plus Handrail	1209CLN		
DF - DuraGrip Plus Handrail	1209CLO		
DF - DuraGrip Plus Handrail	1209CLP		
DF - DuraGrip Plus Handrail	1209CLQ		
DF - DuraGrip Plus Handrail	1209CLR		
DF - DuraGrip Plus Handrail	1209CLS		
DF - DuraGrip Plus Handrail	1209CLT		
DF - DuraGrip Plus Handrail	1209CLU		
DF - DuraGrip Plus Handrail	1209CLV		
DF - DuraGrip Plus Handrail	1209CLW		
DF - DuraGrip Plus Handrail	1209CLX		
DF - DuraGrip Plus Handrail	1209CLY		
DF - DuraGrip Plus Handrail	1209CLZ		

- FOOTNOTES:**
 1 - See Area Light brackets - 1" Reduced Drill Pattern and Area Light brackets - 5" Traditional Drill Pattern spec sheets.
 2 - Pole heights will have +/- 1/2" tolerance.
 3 - See Flood Lighting brackets section for choice of FBO brackets.
 4 - CR selection must indicate required height and side of pole mounting location. Mounting template required at time of order.

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Steel Poles - Square Straight



QUICK LINKS

Catalog #: _____ Project: _____
 Prepared By: _____ Date: _____

- Ordering Guide
- Configurations
- Dimensions
- EPA

FEATURES & SPECIFICATIONS

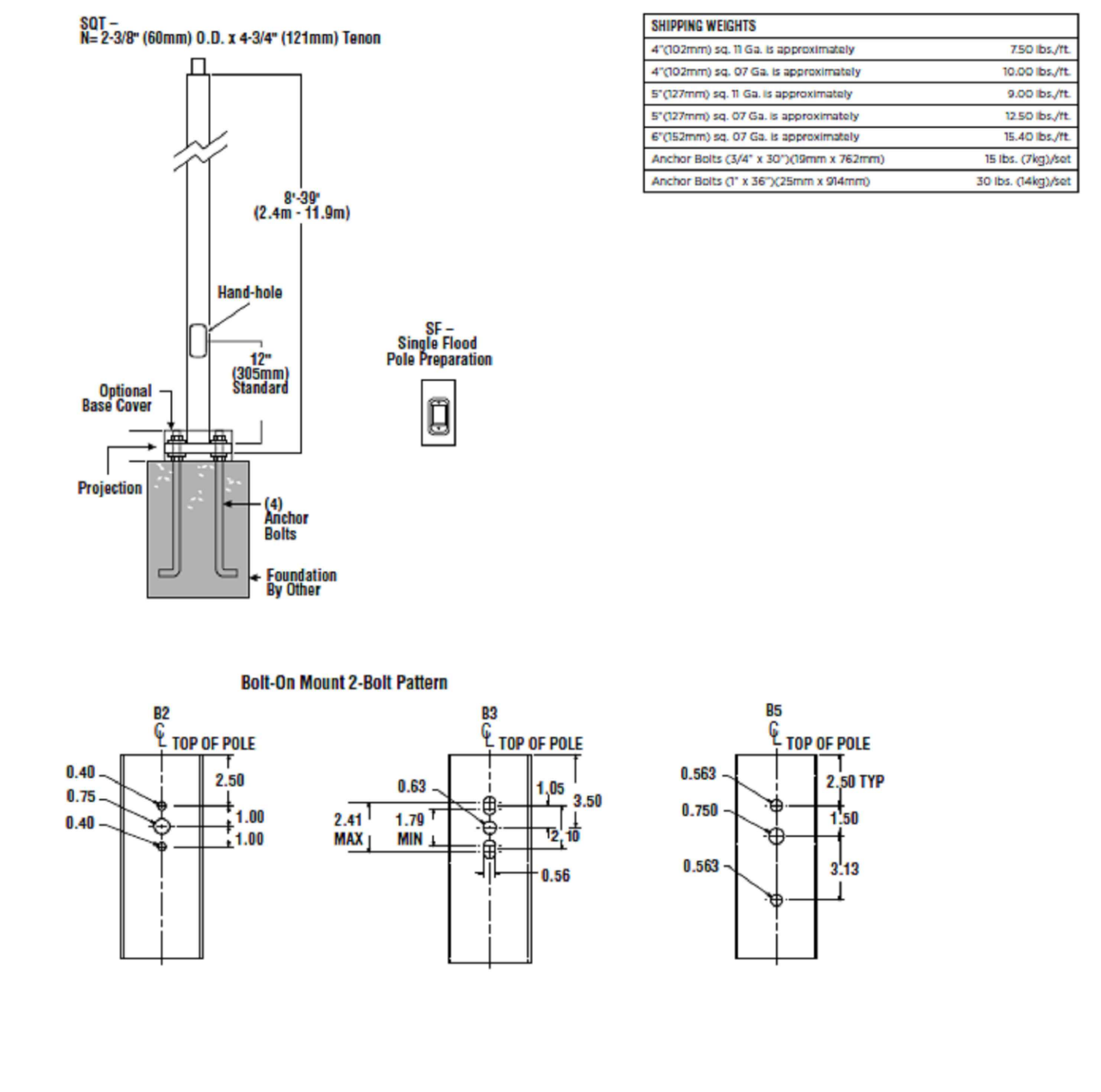
- Pole Shaft**
- Straight poles are 4", 6", or 8" square.
 - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi.
 - On Tercon Mount steel poles, Tercon is 2-3/8" O.D. high-strength pipe. Tercon is 4-5/4" in length.
 - Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.
- Ground Fault Circuit Interrupter**
- Self-testing ground fault circuit interrupter is optional.
- Finishes**
- Every pole is provided with the DuraGrip Plus Protection System and a 5-year limited warranty.
 - When the top-of-the-line DuraGrip Plus Protection System is selected, in addition to the DuraGrip Plus Protection System, a non-porous, automotive-grade corrosion coating is applied to the lower portion of the pole interior, sealing and further protecting it from corrosion. This option extends the limited warranty to 7 years.
- Hand-Hole**
- Standard hand-hole location is 12" above pole base.
 - Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.
- Base**
- Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi.
 - Two-piece square base cover is optional.
- Anchor Bolts**
- Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional.
 - Anchor bolts conform to ASTM F1554-07a Grade 55 with a minimum yield strength of 55,000 psi.
- Ground Lug**
- Ground lug is standard.
- Duplex Receptacle**
- Weatherproof duplex receptacle is optional.
- Pole Vibration Damper**
- A pole vibration damper is recommended in open terrain areas of the country where low steady state winds are common.
 - Non-tapered poles and lightly loaded poles are more susceptible to destructive vibration if a damper is not installed.
- Listings**
- UL Listed
 - BAA/TAA Compliant

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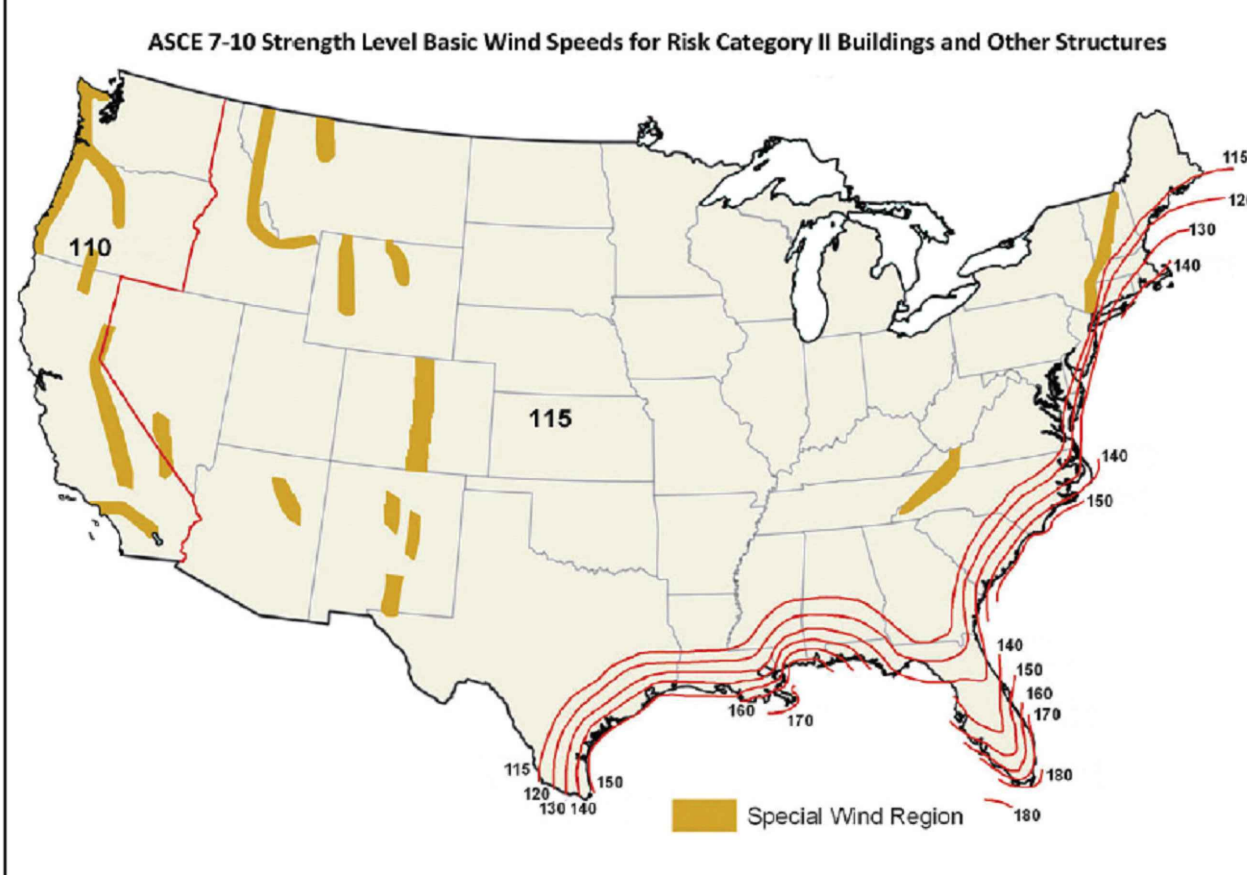
Steel Poles - Square Straight

PRODUCT DIMENSIONS



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WINDSPEED MAP FOR ASCE7-10



Wind Speed Map and Pole EPAs are based on ANSI/ASCE 7-10. Please inform LSI if your local code requirements differ; LSI can supply calculations to your code requirements.

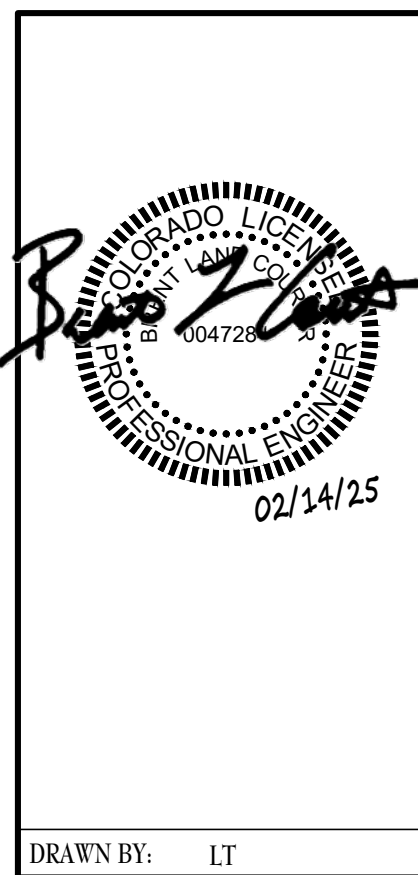
- NOTES:**
 1. Values are the fastest-mile speeds at 33 ft. (10 m) above ground for exposure Category 2.
 2. Linear interpolation between wind speed contours is acceptable.
 3. When using this map to determine EPA readings, always use high end of range.
 4. Fixture and pole EPA values are based on wind pressures and forces specified in ANSI/ASCE 7-10.
 5. Local code may require wind speeds other than those shown on map.

All LSI Industries' poles are guaranteed to meet the EPA requirements listed. Pole manufacturer is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located. CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. LSI Industries cannot accept responsibility for harm or damage caused in these situations.

Project Name: _____ Fixture Type: _____ 4/5/17
 Catalog #: _____ LSI INDUSTRIES INC. © 2017

1. Poles shorter than those listed here in for each gauge have EPA ratings equal to or greater than what is provided in this table. To confirm EPA ratings on shorter poles, contact LSI Industries.
 2. LSI Industries recommends a vibration damper be ordered with this length.

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TIMOTHY M. GUILLOT
 ARCHITECT
 1736 East Sunshine, Suite 417
 Springfield, Missouri 65804
 e-mail: architect@esteryschneider.com
 417.862.0558
 Fax: 417.862.3265

PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 STROH RD
 PARKER, CO #2
SITE LIGHTING DETAILS

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

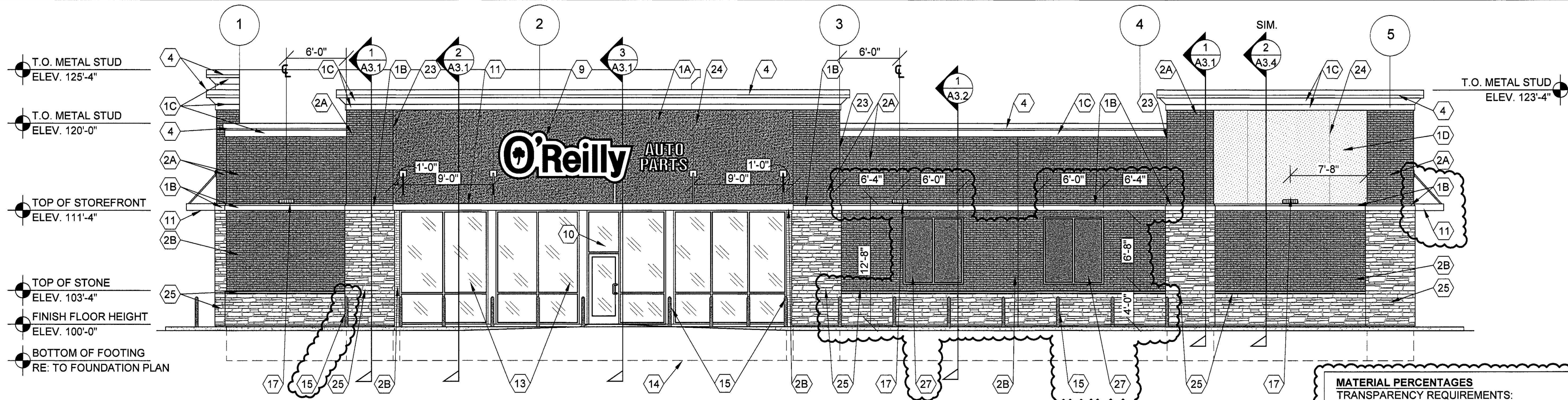
COMM # 4884
 DATE: 02-14-2025
 REVISION
 DATE:



3855 S. JEFFERSON AVE. P: 417-882-2200
 SPRINGFIELD, MO 65807 F: 417-882-1188
 WWW.SMITHGOTH.COM

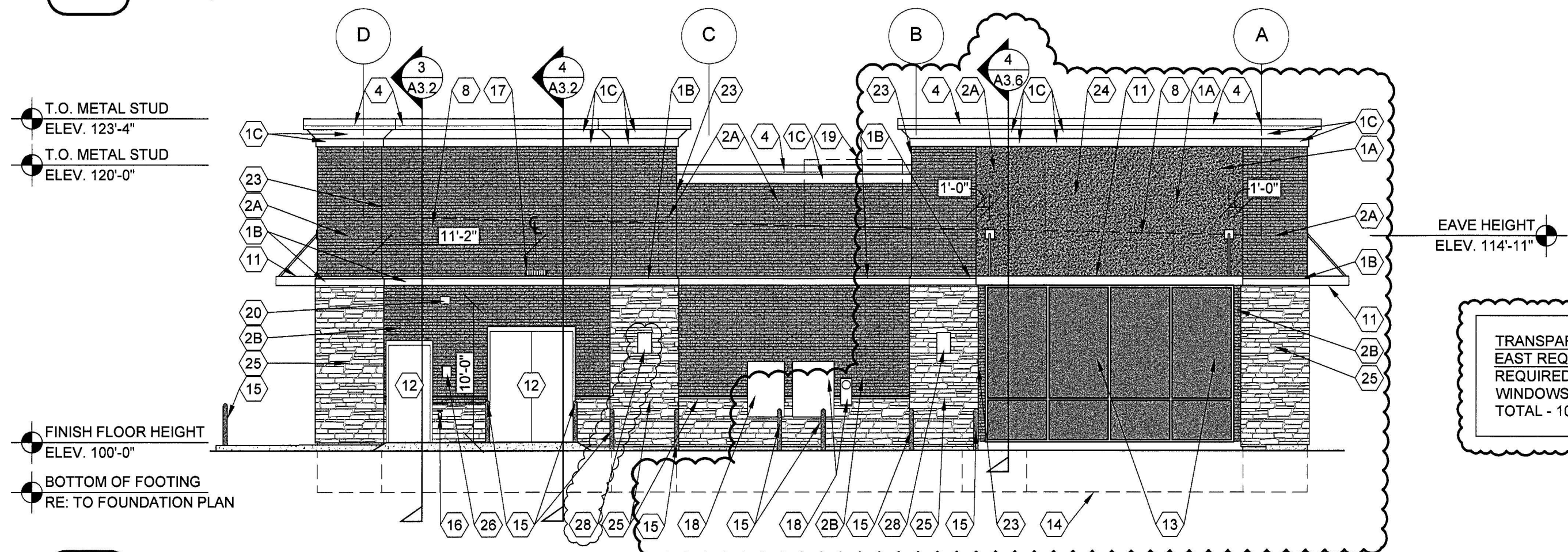
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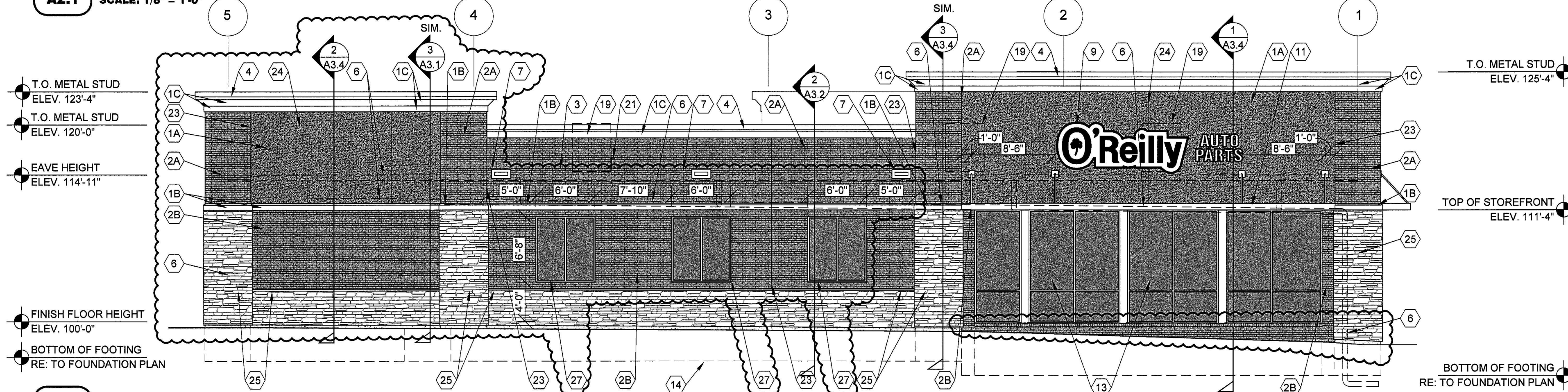
MATERIAL PERCENTAGES
 TRANSPARENCY REQUIREMENTS:
 SOUTH REQUIRED BETWEEN 2' AND 8' = 712.87 SQ. FT.
 REQUIRED - 285.14 SQ. FT. (40%)
 WINDOWS PROVIDED - 232.0 SQ. FT. (32.54%)
 APPLIED WINDOW MULLION AREA - 48.0 SQ. FT. (6.73%)
 TOTAL 287.68 (40.35%)

1 SOUTH EXTERIOR ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"



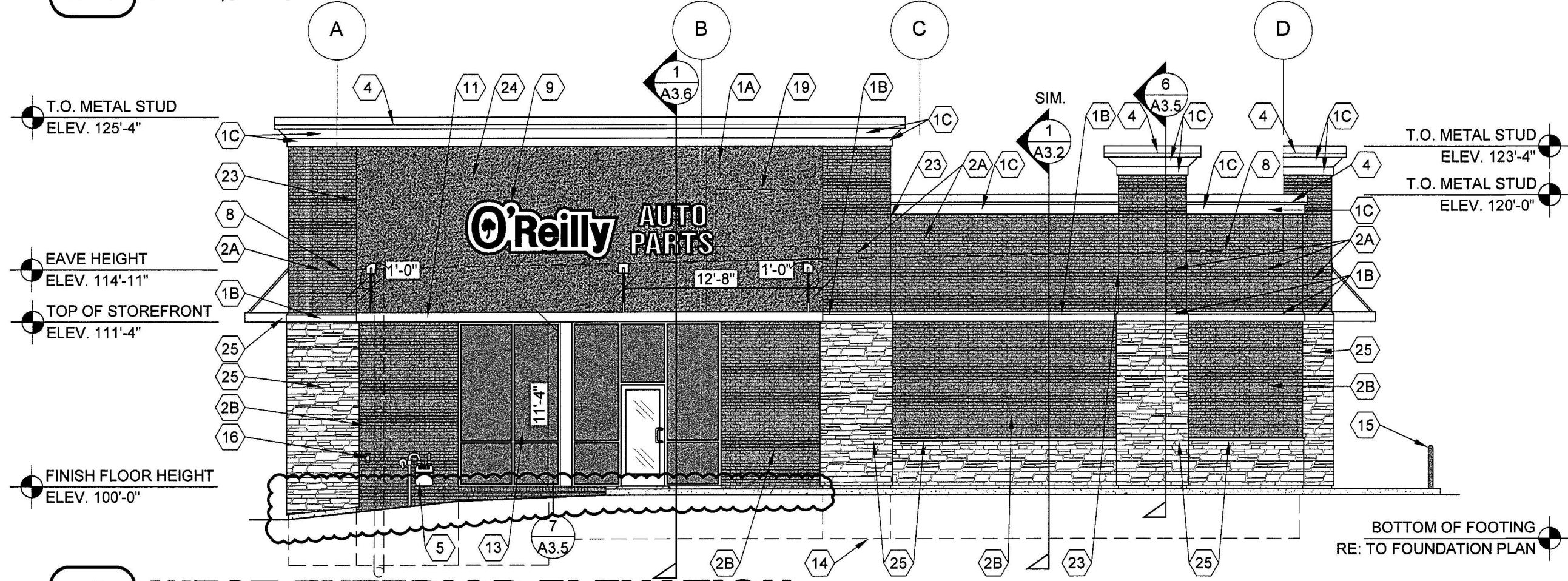
TRANSPARENCY REQUIREMENTS:
 EAST REQUIRED BETWEEN 2' AND 8' = 432.89 SQ. FT.
 REQUIRED - 108.22 SQ. FT. (25%)
 WINDOWS PROVIDED - 108.0 SQ. FT. (24.94%)
 TOTAL - 108.0 SQ. FT. (24.94%)

2 EAST EXTERIOR ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"



TRANSPARENCY REQUIREMENTS:
 NORTH REQUIRED BETWEEN 2' AND 8' = 719.75 SQ. FT.
 REQUIRED - 287.90 SQ. FT. (40%)
 WINDOWS PROVIDED - 212.0 SQ. FT. (29.45%)
 APPLIED WINDOW MULLION AREA - 72.0 SQ. FT. (10.0%)
 TOTAL 284.0 (39.45%)

3 NORTH EXTERIOR ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"



TRANSPARENCY REQUIREMENTS:
 WEST REQUIRED BETWEEN 2' AND 8' = 418.87 SQ. FT.
 REQUIRED - 104.71 SQ. FT. (25%)
 WINDOWS PROVIDED - 108.0 SQ. FT. (25.78%)
 TOTAL - 108.0 SQ. FT. (25.78%)

4 WEST EXTERIOR ELEVATION
 A2.1

EXTERIOR FINISH SCHEDULE

PORTLAND CEMENT STUCCO
 KEY NOTE NO. 1A:
 MFG: STO SPECIFIED. EQUAL BY DRYVIT OR MASTER BUILDERS (NO SUBSTITUTES)
 SERIES: STPOPOWERWALL
 TEXTURE: MEDIUM SAND
 COLOR: EQUAL TO DRYVIT "ORAP011030S" STRATOTONE HIGH PERFORMANCE
 COLOR STANDARD: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS

KEY NOTES NO. 1B:
 MFG: PER LOCAL SUPPLIER
 TEXTURE: SANDBLAST
 COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SHER-CRYL) GLOSS (COLOR TO BE INTEGRAL IN THE TOP COAT OF PLASTER)

KEY NOTES NO. 1C & 1D
 MFG: PER LOCAL SUPPLIER
 TEXTURE: SANDBLAST
 COLOR: SHERWIN WILLIAMS "SOFTER TAN" SW6141 (SHER-CRYL) GLOSS (COLOR TO BE INTEGRAL IN THE TOP COAT OF PLASTER)

UNIT MASONRY
 KEY NOTE NO. 2A:
 TYPE: CLAY MASONRY UNIT
 MFG: ACME BRICK
 SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
 COURSING: RUNNING BOND
 COLOR: (ACCENT COLOR) BLEND 300 DOVE GRAY VELOUR
 MORTAR COLOR: NATURAL GRAY

KEY NOTE NO. 2B:
 TYPE: CLAY MASONRY UNIT
 MFG: ACME BRICK
 SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
 COURSING: RUNNING BOND
 COLOR: (FIELD COLOR) BLEND 600 OXFORD BROWN VELOUR
 MORTAR COLOR: NATURAL GRAY

BACK SIDE OF TRASH ENCLOSURE AND SCREENING WALL (REFER TO CIVIL DRAWINGS)
 TYPE: CONCRETE MASONRY UNIT (CMU)
 MFG: (REFER TO PROJECT MANUAL)
 SIZE: 8"X8"X16" (NOM.)
 TEXTURE: SMOOTH FACE
 COURSING: RUNNING BOND
 FINISH: FIELD PAINT (ACCENT COLOR)
 COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SATIN)
 NOTE: REFER TO "CONCRETE MASONRY UNIT SPECIAL SCHEDULE OF TREATMENTS" FOR ADDITIONAL REQUIREMENTS

FLASHING AND SHEET METAL
 KEY NOTE NO. 3:
 TYPE: STANDING SEAM ROOFING SYSTEM
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 COLOR: GALVALUME

KEY NOTE NO. 4:
 TYPE: GAP FLASHING AT MASONRY
 MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
 FINISH: FACTORY PRIMED AND FIELD PAINT
 COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

DOORS AND WINDOWS
 KEY NOTE NO. 12:
 TYPE: STEEL DOORS AND FRAMES (DOORS NO. 2 AND 3)
 MFG: (OWNER FURNISHED / CONTRACTOR INSTALLED)
 FINISH: FACTORY PRIMED AND FIELD PAINTED
 COLOR: SHERWIN WILLIAMS (MATCH ADJACENT MASONRY COLOR) (SEMI-GLOSS)

KEY NOTE NO. 13.27:
 TYPE: (REFER TO WINDOW SCHEDULE)
 MFG: EFCO, KAWNEER, OR OLD CASTLE (VISTA WALL, (NO SUBSTITUTES)
 COLOR: EFCO "IVY", KAWNEER "DARK IVY", VISTA WALL "INTERSTATE GREEN"

PAINTING
 KEY NOTE NO. 5:
 TYPE: GAS METER (REFER TO PLUMBING DRAWINGS)
 FINISH: FIELD PRIMED AND PAINTED
 COLOR: SHERWIN WILLIAMS (MATCH ADJACENT BRICK COLOR) (SEMI-GLOSS)

KEY NOTE NO. 15:
 TYPE: STEEL BOLLARDS (REFER TO CIVIL DRAWINGS)
 FINISH: FIELD PRIMED AND PAINTED
 COLOR: SHERWIN WILLIAMS "HUNT CLUB" SW6488 (SEMI-GLOSS)

KEY NOTE NO. 18:
 TYPE: ELECTRIC METER AND BOX (REFER TO ELECTRICAL DRAWINGS)
 FINISH: FIELD PRIMED AND PAINTED
 COLOR: SHERWIN WILLIAMS (MATCH ADJACENT BRICK COLOR) (SEMI-GLOSS)

PRE-FABRICATED METAL CANOPY:
 KEY NOTE NO. 11:
 TYPE: PRE-FABRICATED METAL CANOPY SYSTEM
 MFG: (REFER PROJECT MANUAL)
 FINISH: KYNAR FINISH
 COLOR: (MATCH WINDOW SYSTEM)

STONE VENEER
 KEY NOTE 28:
 TYPE: STONE VENEER
 MFG: CORONADO STONE
 FINISH: SIERRA LEDGE
 COLOR: BROOKSIDE
 **FIELD PAINT EXPOSED BLOCK BELOW TO MATCH STONE COLOR.
 COATS: (1) COAT SW "PREPRITE" BLOCK FILLER B25W25 (NO LESS THAN 8 MILS) AND (2) COATS SW "CONFLEX XL" SMOOTH ELASTOMERIC A5-400 (NO LESS THAN 5.7 MILS EACH COAT)

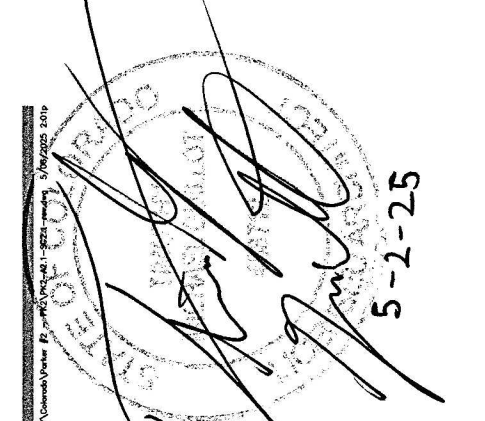
STONE VENEER SILL
 KEY NOTE 25:
 TYPE: STONE VENEER
 MFG: CORONADO STONE
 FINISH: SNAPPED EDGE
 COLOR: BUFF

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (C) REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
- (D) REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
- (E) REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (F) REFER TO SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.

KEY NOTES

- (1A) EXTERIOR PORTLAND CEMENT (STUCCO).
- (1B) EXTERIOR PORTLAND CEMENT (STUCCO) BANDING.
- (1C) EXTERIOR PORTLAND CEMENT (STUCCO) CORNICE.
- (1D) EXTERIOR PORTLAND CEMENT (STUCCO).
- (2A) CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION (ACCENT COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (2B) CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION (FIELD COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (3) PRE-ENGINEERED METAL BUILDING SHEET METAL ROOFING SYSTEM (BEYOND).
- (4) PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING. FIELD BREAK FROM FLAT STOCK AS REQUIRED.
- (5) GAS METER. REFER TO PLUMBING PLANS.
- (6) INTERNAL GUTTER AND DOWNSPOUTS (BEYOND). PRE-ENGINEERED INTERNAL METAL GUTTER PER METAL BUILDING MANUFACTURER AND PVC D.S. (BY CONTRACTOR). REFER TO PLUMBING FOR MORE INFORMATION.
- (7) PRE-ENGINEERED METAL BUILDING THRU WALL SCUPPER SYSTEM. REFER TO SHEET A3.5.
- (8) LINE OF ROOF BEYOND WITH 1/4":12" SLOPE MINIMUM.
- (9) SURFACE MOUNTED SIGN OWNER FURNISHED AND INSTALLED. PROVIDE BACKING FOR MOUNTING AND ROUGH-IN ELECTRICAL COORDINATE REQUIREMENTS WITH OWNER. REFER TO SHEET SG.2.1.
- (10) BUILDING ADDRESS NUMBERS IN 6" HIGH HELVETICA WHITE VINYL ADHERED TO EXTERIOR FACE OF GLAZING.
- (11) PRE-FABRICATED METAL CANOPY SYSTEM. REFER TO EXTERIOR FINISH SCHEDULE AND WALL SECTIONS FOR DETAILS.
- (12) EXTERIOR DOOR AND FRAME SYSTEM. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR TYPES.
- (13) EXTERIOR WINDOW SYSTEM. REFER TO FLOOR PLAN AND WINDOW SCHEDULE FOR TYPES.
- (14) APPROXIMATE LINE OF FOUNDATION. REFER TO STRUCTURAL DRAWINGS.
- (15) STEEL BOLLARDS. REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- (16) HOSE BIB. REFER TO PLUMBING DRAWINGS.
- (17) LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- (18) ELECTRIC METER AND BOX. REFER TO ELECTRICAL PLANS.
- (19) MECHANICAL ROOF TOP UNIT (BEYOND). REFER TO MECHANICAL DRAWINGS.
- (20) MECHANICAL WALL PENETRATIONS. REFER TO MECHANICAL DRAWINGS. PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. INSTALL RESTROOM EXHAUST FANS 12" MINIMUM ABOVE INTERIOR CEILING FRAMING.
- (21) PLUMBING ROOF VENT (BEYOND). REFER TO PLUMBING DRAWINGS AND DETAIL 11/A4.2.
- (22) CONCRETE SPLASH BLOCK INSTALL AT EACH DOWNSPOUT.
- (23) MASONRY CONTROL JOINT. PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD. COLOR TO MATCH ADJACENT MASONRY.
- (24) RUSTICATION JOINT. REFER TO DETAIL 6/A3.2.
- (25) MANUFACTURED STONE VENEER AND SILL. REFER TO EXTERIOR FINISH SCHEDULE.
- (26) KNOX BOX. PROVIDE KNOX BRAND SECURITY KEY BOX PER FIRE DEPARTMENT REQUIREMENTS AND LOCATE WHERE SHOWN (VERIFY EXACT LOCATION AND HEIGHT WITH FIRE DEPARTMENT).
- (27) 2-1/2" WIDE APPLIED MULLION WINDOW FRAME. REFER TO WINDOW SCHEDULE. INSTALL SEALANT EQUAL TO "TREMCO" SERIES 830 AROUND PERIMETER OF FRAME (SEALANT COLOR TO MATCH FRAME).
- (28) NO PARKING-FIRE LANE SIGN AS REQUIRED BY THE FIRE MARSHAL. MECHANICALLY FASTEN TO BUILDING. LOCATE BOTTOM EDGE OF SIGN 7' ABOVE ADJACENT FINISH GRADE. (VERIFY EXACT LOCATION AND HEIGHT WITH FIRE DEPARTMENT)



TIMOTHY M. GUILLOT
 ARCHITECT
 1736 East Sunshine, Suite 417
 Springfield, Missouri 65804
 417.862.0558
 417.862.3265
 e-mail: architect@exteriorychitect.com

PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 STROH RD
 PARKER, CO #2
EXTERIOR ELEVATIONS



COMM # 4884
 DATE: 2-14-25
 REVISION
 DATE: 5-2-25



1 SOUTH EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 SOUTH REQUIRED BETWEEN 2' AND 8' = 712.87 SQ.FT.
 REQUIRED - 285.14 SQ.FT (40%)
 WINDOWS PROVIDED - 232.0 SQ.FT (32.54%)
 APPLIED WINDOW MULLION AREA - 48.0 SQ.FT (6.73%)
 TOTAL 287.68 (40.35%)

FINISH TABLE				
MATERIAL PREVIEW	MATERIAL	MANUFACTURER	FINISH	% SHOWN
	ACCENT BRICK	ACME BRICK	DOVE GRAY	≈ 19.5%
	FIELD BRICK	ACME BRICK	OXFORD BROWN	≈ 18.8%
	STONE VENEER	CORONADO STONE	SIERRA LEDGE	≈ 17.4%
	STUCCO AROUND SIGN	SHERWIN WILLIAMS	POSITIVE RED SW6871*	≈ 17.3%
	STOREFRONT	KAWNEER	DARK IVY	≈ 14.2%
	ACCENT STUCCO	SHERWIN WILLIAMS	SOFTER TAN SW6141	≈ 9.5%
	CORNICE STUCCO	SHERWIN WILLIAMS	LATTE SW6108	≈ 2.0%

* NOTE: CUSTOM RED MIX BY DRYVIT ORAP011030S

** NOTE: OVERHEAD AND STEEL DOORS NOT TAKEN INTO ACCOUNT IN CALCULATIONS



2 EAST EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 EAST REQUIRED BETWEEN 2' AND 8' = 432.89 SQ.FT.
 REQUIRED - 108.22 SQ.FT (25%)
 WINDOWS PROVIDED - 108.0 SQ.FT (24.94%)
 TOTAL - 108.0 SQ.FT (24.94%)

please include color elevations for trash enclosure (all facades)

Timothy M. Guillot Response:
 Trash enclosure facades added to sheet CE1.



3 NORTH EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 NORTH REQUIRED BETWEEN 2' AND 8' = 719.75 SQ.FT.
 REQUIRED - 287.90 SQ.FT (40%)
 WINDOWS PROVIDED - 212.0 SQ.FT (29.45%)
 APPLIED WINDOW MULLION AREA - 72.0 SQ.FT (10.0%)
 TOTAL 284.0 (39.45%)

incorporate columns onto this facade to help break up this area.

with the building reverse fronting to a major roadway, this facade needs to read more like a front

Timothy M. Guillot Response:
 Pilasters added to the north elevation, see revised sheet CE1.



4 WEST EXTERIOR ELEVATION

CE1 SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS:
 WEST REQUIRED BETWEEN 2' AND 8' = 418.87 SQ.FT.
 REQUIRED - 104.71 SQ.FT (25%)
 WINDOWS PROVIDED - 108.0 SQ.FT (25.78%)
 TOTAL - 108.0 SQ.FT (25.78%)



TIMOTHY M. GUILLOT
 ARCHITECT
 1736 East Sunshine, Suite 417
 Springfield, Missouri 65804
 417.862.0558
 Fax: 417.862.3265
 e-mail: architect@esterysneider.com

PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 STROH RD
 PARKER, CO #2
COLOR ELEVATIONS

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM #
 DATE: 1-22-25
 REVISION
 DATE: 5-2-25

NOT FOR CONSTRUCTION

CE1



Project Number: SP25-025

Description: Parker Pointe F1 L1 - Auto Parts Store

Applied: **3/3/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: , **CO 80134**

Status: **UNDER REVIEW 2**

Applicant: **O'Reilly Auto Enterprises, LLC**

Parent Project: **SUB19-052**

Owner: **PARKER & STROH LLC**

Contractor: **<NONE>**

Details:

The applicant, O'Reilly Auto Parts, is proposing an 8,000 sq. ft. auto parts store. The site is located on the south side of Stroh Road east of Parker Road.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
3/5/2025	3/13/2025	3/13/2025	COMPLETENESS REVIEW	Amber Wood Hicken	COMPLETED	
Notes:						
Review Group: AUTO						
3/3/2025	3/7/2025	3/17/2025	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						
3/3/2025			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						



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Review Group: SP 1ST 20

3/13/2025	3/26/2025	4/10/2025	BUILDING 20	Randy Capra	ADVISORY COMMENTS	See Notes
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Notes:

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc.... Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then full plan review process may be able to begin.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2023 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72 and NFPA 13). NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

3/13/2025		4/10/2025	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

3/13/2025		4/10/2025	COMCAST 20	Butch Buster		
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Notes:

3/13/2025	4/4/2025	4/10/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP25-025 Parker Pointe F1 L1, O'Reilly Auto Parts – 1st Environmental Review, 4-4-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

- Civil Plans must include multiple Erosion Control Plan Sheets referencing the Initial, Interim and Final phases of the project. You can use two plan sheets, Initial and Interim/Final: or three plan sheets, Initial, Interim, and Final. Each Erosion Control Plan must be on a separate Civil Plan sheet, enlarged to provide more detail. Using three plan sheets is preferred but not required.
 - Initial Erosion Control Plan Sheet: Only show the Initial CBMPs (Silt Fence Perimeter Control, Construction Fence Perimeter Control, VTC, Staging Area, Portable Toilets, Concrete Washout, and existing stormwater utilities with inlet protection). This plan sheet should show existing grade contours with stormwater flow arrows.
 - Interim Erosion Control Plan Sheet: Show all CBMPs needed through the progression of the construction project.
 - Final Erosion Control Plan Sheet: Show all permanent CBMPs that will remain in place till the native grasses are established.
- Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist.
- Please add a general note stating – "THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL".
- Please add a general note stating – "THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS".
- Please add a general note stating – "LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY."



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Project Reviews Town of Parker

6. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
7. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
8. Please add a general note stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.
9. Please provide existing and proposed grading contours.
10. Please provide arrows to indicate the direction of stormwater flow.
11. Please label and identify the ratio of all slopes that are 4:1 or steeper. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1.
12. Please use Parker’s complete Legend of Keys/Symbols to correspond to the Town’s 31 CBMP Details on the Erosion Control plan sheets.
13. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
14. Add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.
15. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
16. Show Masonry Work Protection (MWP) on the plans in two locations for Construction of the building.
17. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the Interim plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
18. Provide and identify Debris and Trash Control (DTC) for the interim phase along all proposed paved driving surfaces internal to the site.
19. Please provide a minimum of one callout of both Seeding Mulching and Crimping (SMC) and Surface Roughening (SR) in all tracts proposed to be left landscaped in the final condition. Alternatively provide one label for each within each viewpoint and provide a hatch to define the overall extents.

Links:

72-page layout of CBMP Legend, General Notes and Details Link:

https://drive.google.com/file/d/1oE5TRyFktV-bdRygduwlqhwaf3eQJxzs/view?usp=drive_link

Stormwater/Storm Drainage and Environmental Criteria Manual

Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

CBMP Details

<http://parkeronline.org/532/Construction-Best-Management-Practices>

Roadway Design/Construction Criteria Manual

Roadway-Design--Construction-Criteria-Manual (parkerco.gov)

Erosion Control - CBMP Checklist (See Appendix D)

Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

REDLINED EROSION CONTROL PLAN SHEETS available in attachments.

3/13/2025	4/10/2025	4/10/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

3/13/2025	4/7/2025	4/10/2025	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward	NO COMMENT	
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Notes:

3/13/2025	3/20/2025	4/10/2025	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals	NOT APPLICABLE	
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Notes:
N/A



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3/13/2025	4/18/2025	4/10/2025	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals	ADVISORY COMMENTS	
Notes: See the attached Referral Comments Report.						
3/13/2025	4/10/2025	4/10/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
3/13/2025	3/26/2025	4/10/2025	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: A written response is required for the response letter provided by Fire Life Safety to the applicant; this letter has been uploaded to the application in both a pdf and a word document.						
3/13/2025	4/9/2025	4/10/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	See notes
Notes: The proposed transformer location does not meet CORE clearance requirements and may not open into drive or parking spot. CORE will require 10-feet in front of the doors from back of curb. The proposed landscape plans will required to be revised to meet clearances at the existing switch and cubical. Trees may not be planted within 10 feet of the existing CORE facilities and future transformer location.						
3/13/2025	4/10/2025	4/10/2025	PLAT - CIVIL	Charles Kudlauskas	NOT APPLICABLE	
Notes:						
3/13/2025	4/2/2025	4/10/2025	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
Notes: please see attached						
3/13/2025	4/10/2025	4/10/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo.
Notes:						
3/13/2025	4/10/2025	4/10/2025	SITE PLAN 20	Amber Wood Hicken	REVISIONS REQUIRED	
Notes: See planning comments 01						
3/13/2025	4/10/2025	4/10/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						



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Review Group: SP 1ST 20 ADD

3/13/2025	4/3/2025	4/10/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
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Notes:
Please upload the PWSD plans for this project.

Review Group: SP 2ND 15

5/12/2025	5/22/2025	6/3/2025	CONST PLANS - ENVIRONMENTAL 15	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:
SP25-025 Parker Pointe F1 L1, O'Reilly Auto Parts – 2nd Environmental Review, 5-21-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please follow the Town of Parker Stormwater/Erosion Control Requirements using the Erosion Control - CBMP Plan Checklist. Link below.
2. Please show Construction Fence (CF) along the entire sides of the VTC to ensure use of the entire 50-foot pad.
3. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the Interim plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
4. Provide and identify Debris and Trash Control (DTC) for the Interim/Final phases along all proposed paved driving surfaces internal to the site and all adjacent properties around the site.
5. Label the Final Site Erosion Control Plan Sheet, C1.3, correctly. It should be Interim / Final Site Erosion Control Plan Sheet.
6. Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. Addition PTPs may be needed in the interim and final phases.
7. Please consider moving the Stabilized Staging Area (SSA), connecting it to the Vehicle Tracking Control Pad (VTC) as shown in the Town of Parker's SSA detail. This configuration helps reduce tracking off-site.
8. Silt Fence (SF) perimeter control is required for the entire down gradient side of the project during the Initial Phase. Please show SF in the northwest and southwest corners of the site. The Sidewalk Transition Protection (STP) would be installed after the completion of the sidewalks.

REDLINED EROSION CONTROL PLAN SHEETS are available to view in the eTRAKIT attachments.

Links:
Stormwater/Storm Drainage and Environmental Criteria Manual
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

Roadway Design/Construction Criteria Manual
Roadway-Design--Construction-Criteria-Manual (parkerco.gov)
Erosion Control - CBMP Checklist (See Appendix D)
Microsoft Word - SDECM Draft 10-21-13 (parkerco.gov)

5/12/2025	6/3/2025	6/3/2025	CONSTRUCTION PLANS - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:



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5/12/2025	6/3/2025	6/3/2025	DRAINAGE REPORT - CIVIL 15	Charles Kudlauskas	COMPLETED	
Notes:						
5/12/2025	5/23/2025	6/3/2025	FIRE LIFE SAFETY 15	Randy Capra	ADVISORY COMMENTS	See notes
Notes: Not all issues were addressed completely or correctly; the comments have been documented on the response letter as redlined required. Parking lot shall be fully installed before the building to go vertical, and the applicant assumes responsibility to ensure that the riser room meets all requirements.						
5/12/2025	5/21/2025	6/3/2025	IREA 15	Brooks Kaufman	REVISIONS REQUIRED	See CORE Clearance requirements
Notes: The new set of plans missing transformer and didn't address CORE clearance requirements from previous comments.						
5/12/2025	6/3/2025	6/3/2025	SITE PLAN - CIVIL 15	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
5/12/2025		6/3/2025	SITE PLAN 15	Amber Wood Hicken		
Notes:						
5/12/2025	6/3/2025	6/3/2025	TRAFFIC IMPACT STUDY - CIVIL 15	Charles Kudlauskas	COMPLETED	
Notes:						
Review Group: SP 2ND 15 ADD						
5/12/2025	6/2/2025	6/3/2025	PARKER WATER AND SANITATION DISTRICT 15	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes: PWSD is waiting on documents for this project. IE: Variance Fee and Red lined documents.						