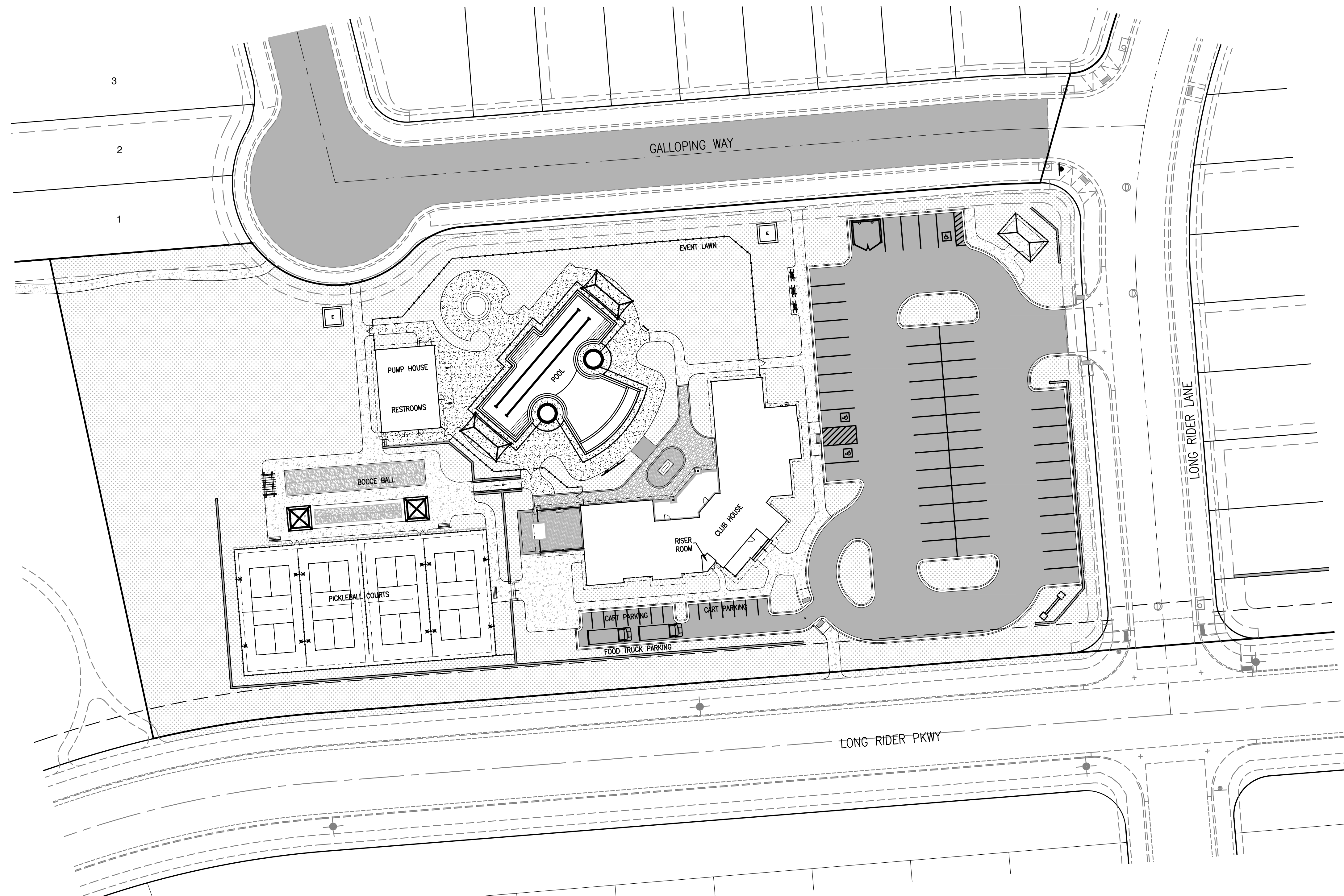


LOOKING GLASS FILING 21, TRACT C AMENITY CENTER

BEING A PART OF THE NORTHEAST ¼ SECTION 5 TOWNSHIP 7 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LAND USE SITE PLAN
SCALE 1"=30'

LAND USE TABLE:

USE	EXISTING ZONING:		PLANNED DEVELOPMENT		PERCENTAGE OF TOTAL
	AREA		AREA		
CLUBHOUSE & BATHHOUSE	6,794.85	G.S.F.	0.156	G.AC.	5.70%
POOL AREA	3,176.07	G.S.F.	0.073	G.AC.	2.66%
POOL DECK AREA	6,350.06	G.S.F.	0.146	G.AC.	5.33%
SIDEWALK & PATIO AREA	11,049.22	G.S.F.	0.254	G.AC.	9.27%
LANDSCAPED AREA	53,872.08	G.S.F.	1.237	G.AC.	45.18%
WALL AREA	766.45	G.S.F.	0.017	G.AC.	0.64%
PLAYING COURTS	9,661.25	G.S.F.	0.222	G.AC.	8.10%
PAVEMENT, CURB & GUTTER	25,594.50	G.S.F.	0.587	G.AC.	21.47%
EXIST PARKING & ROADWAY	1,962.85	G.S.F.	0.045	G.AC.	1.65%
LAND AREA	119,227.33	G.S.F.	2.737	G.AC.	100.00%

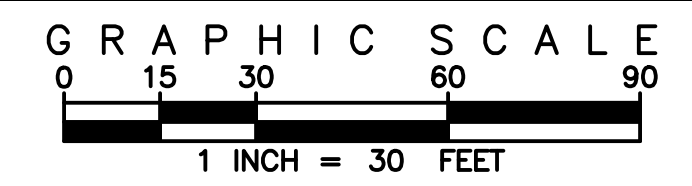
NOTE: THERE IS TO BE A TOTAL OF APPROXIMATELY 260 SF OF PROPOSED CONCRETE SIDEWALK & APPROXIMATELY 1,760 SF OF LANDSCAPING OUTSIDE OF PROPOSED BOUNDARY.

PARKING CALCULATIONS

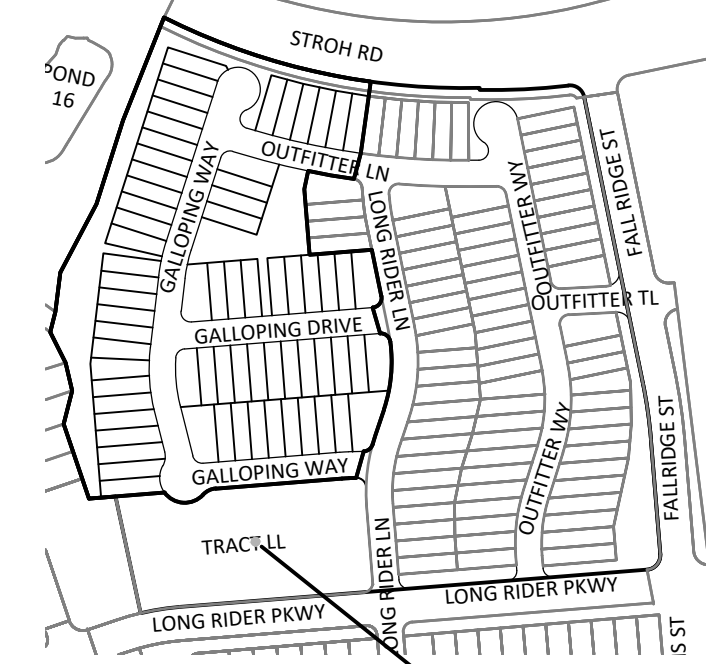
5,312.50 SQ. FT. BUILDING
1 PARKING SPACE PER 300 SQ FT BLDG AREA=4 PARKING SPACES REQUIRED

PARKING SUMMARY

	REQUIRED	PROVIDED
PARKING STALLS	18	52
ADA PARKING STALLS	2	3
VAN ACCESSIBLE STALLS	2	3
GOLF CART PARKING STALLS		15
FOOD TRUCK PARKING STALLS		2
BICYCLE SPACES	4	6



KEY MAP



THIS SHEET

PROJECT DIRECTORY

- CIVIL ENGINEER/SURVEYOR** EMK CONSULTANTS, INC.
7006 S. ALTON WAY, BLDG F
CENTENNIAL, CO 80112
CONTACT: ERIC MCDANIEL, PE
emcdaniel@emk.com, T: 303-694-1520, F: 303-694-1617
- GAS** XCEL ENERGY
1123 W. 3RD AVENUE
DENVER, CO 80223
CONTACT: MICHELLE O'NAN
T: 303-271-3358
- ELECTRIC** CORE ELECTRIC COOPERATIVE
5496 N US HIGHWAY 85, PO DRAWER A
SEDALIA, CO 80135
CONTACT: BROOKS KAUFMAN
T: 303-688-3100
- TELEPHONE** CENTURY LINK
9750 E COSTILLA AVENUE
ENGLEWOOD, CO 80112
CONTACT: WILLIAM BENSON
T: 303-792-1840

SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

Know what's below. Call before you dig.

REUSE OF DOCUMENT IS PROHIBITED WITHOUT THE WRITTEN AUTHORIZATION OF EMK CONSULTANTS, INC.



LIST OF ABBREVIATIONS

- FL FLOWLINE
- TOA TOP OF ASPHALT
- SW SIDEWALK
- G GROUND
- PAV PAVERS
- T/W TOP OF WALL
- B/W BOTTOM OF WALL

BENCHMARK

BENCHMARK: DOUGLAS COUNTY CONTROL MONUMENT 1.05005, A 3-1/4" ALUMINUM CAP STAMPED 1.05005
ELEVATION = 6365.22 (NAVD88 DATUM)

INDEX OF DRAWINGS

- SP1 COVER SHEET
- SP2 EXISTING CONDITIONS PLAN
- SP3 ARCHITECTURAL SITE PLAN
- SP4 OVERALL SITE GRADING PLAN
- SP5 AREA DRAINAGE PLAN
- A1 - A15 ARCHITECTURE
- E1 - E2 PHOTOMETRICS
- H1 LANDSCAPE PLAN
- LS0 - LS5 LANDSCAPE PLAN
- IR1 - IR3 IRRIGATION PLAN

LOOKING GLASS FILING NO 21
AMENITY CENTER

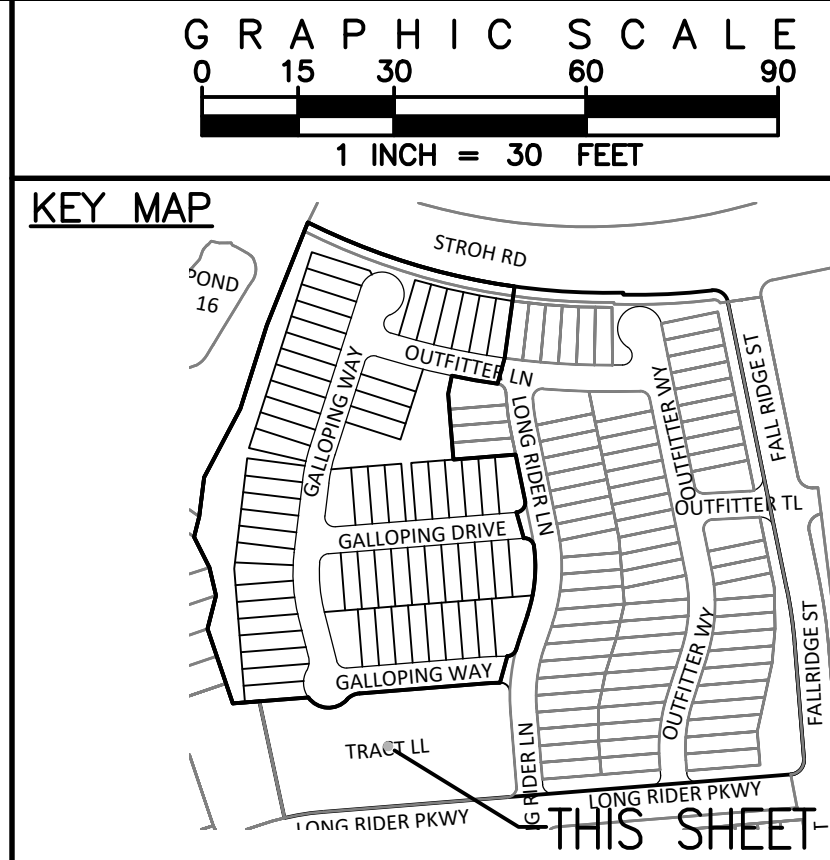
SITE PLAN COVER SHEET

DATE: 02/21/2025
JOB NO: 13095.23
SCALE: HORIZONTAL 1"=30', VERTICAL N/A
SP1

EMK CONSULTANTS, INC.
LAND DEVELOPMENT
ENGINEERING & SURVEYING
7006 SOUTH ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112-2019
(303)694-1520
WWW.EMKCG.COM

LOOKING GLASS FILING 21, TRACT C AMENITY CENTER

BEING A PART OF THE NORTHEAST ¼ SECTION 5 TOWNSHIP 7 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



EMK CONSULTANTS, INC.
LAND DEVELOPMENT
ENGINEERING & SURVEYING
7006 SOUTH ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112-2019
WWW.EMKCONS.COM
(303)694-1150

EMK

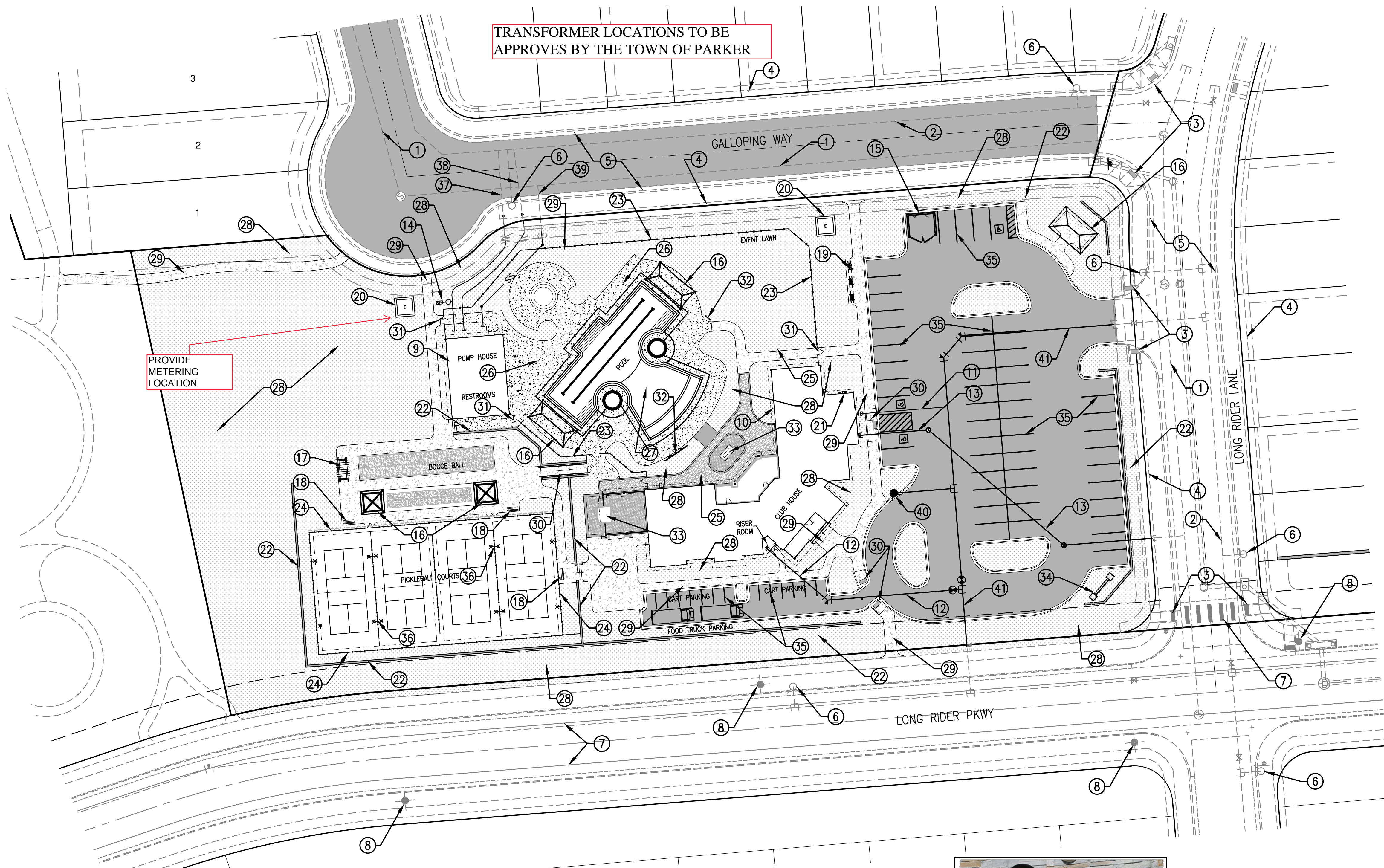
SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

Know what's below. Call before you dig.

REUSE OF DOCUMENT IS PROHIBITED WITHOUT THE WRITTEN AUTHORIZATION OF EMK CONSULTANTS, INC. THE DEAS AND SERVICES INCORPORATED HEREIN ARE THE PROPERTY OF EMK CONSULTANTS, INC. AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF EMK CONSULTANTS, INC.

PROFESSIONAL ENGINEER
COLORADO LICENSED
PAUL A. WATERS
NO. 72246

NO.	REVISIONS	DATE	BY



TRANSFORMER LOCATIONS TO BE APPROVED BY THE TOWN OF PARKER

PROVIDE METERING LOCATION

SITE PLAN KEYNOTES:

- EXIST 8" SANITARY SEWER LINE PER CIVIL DRAWINGS.
- EXIST 8" WATER MAIN LINE PER CIVIL DRAWINGS
- EXISTING ADA ACCESSIBLE SIDEWALK RAMPS PER CIVIL DRAWINGS
- EXISTING DETACHED CONCRETE SIDEWALK
- EXISTING CONCRETE CURB AND GUTTER
- EXISTING FIRE HYDRANT
- EXISTING PAVEMENT STRIPING
- EXISTING STREET LIGHT
- RESTROOM & PUMP HOUSE BUILDING
- CLUBHOUSE BUILDING
- 1/2" WATER SERVICE LINE
- 4" FIRE SERVICE LINE
- 4" SANITARY SEWER SERVICE LINE
- 3/4" IRRIGATION TAP
- TRASH ENCLOSURE
- SHADE STRUCTURE
- GAZEBO SEATING AREA
- PARK BENCH
- BICYCLE RACK
- TRANSFORMER PAD LOCATION
- EUSERC CABINET
- RETAINING WALL
- 5" ALUMINUM FENCE
- CHAIN-LINK FENCE
- UPPER DECK PAVERS
- POOL DECK
- RESORT POOL
- LANDSCAPING
- CONCRETE WALK
- ADA RAMP
- EXIT ONLY GATE NO KEY CARD ACCESS
- POOL SAFETY EQUIPMENT/POOL RULES SIGN
- FIRE PIT
- MONUMENT SIGN
- PARKING LOT STRIPING
- LIGHT POLE
- EXISTING 1/2" WATER SERVICE LINE
- EXISTING 1" WATER SERVICE LINE
- EXISTING 6" SANITARY SEWER SERVICE LINE
- PROPOSED FIRE HYDRANT
- 8" WATER MAIN

BENCHMARK
BENCHMARK: DOUGLAS COUNTY CONTROL MONUMENT 1.05005, A 3-1/4" ALUMINUM CAP STAMPED 1.05005
ELEVATION = 6365.22 (NAVD88 DATUM)

GENERAL NOTES:

- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY.
- THERE SHALL BE NO OBSTRUCTION TO ON SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
- SIGNS REQUIRE A SEPARATE PERMIT.
- ALL CONCRETE LIGHT POLE BASES WILL BE PAINTED/FINISHED TO MATCH THE EXTERIOR OF THE BUILDING, EXISTING POLE BASES AND EXISTING LIGHT POLES OR SURROUNDING LANDSCAPE.

SITE DATA:
EXISTING ZONING: PLANNED DEVELOPEMENT
LAND AREA (GROSS): 2.834 ACRES

SITE PLAN
SCALE: 1"=30'



NOTE:
BIKE RACK TO MADE OF 2 3/8" DIA. BLACK POWDER COATED STEEL.

PARKING SUMMARY

PARKING SPACE TYPE	COUNT	WIDTH	LENGTH
HC ACCESSIBLE (EXISTING)	2	VARIES	VARIES
STANDARD (EXISTING)	50	VARIES	18'-0"

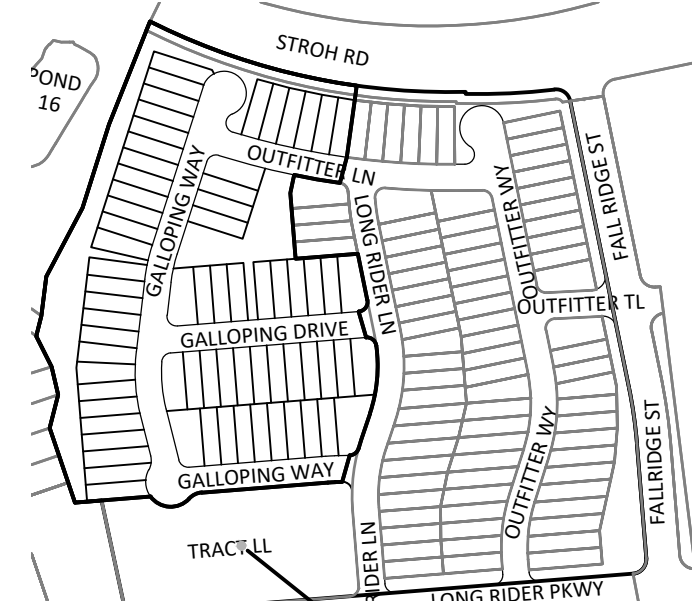
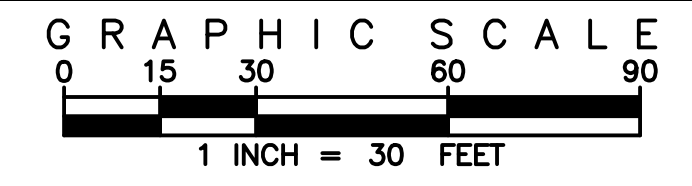
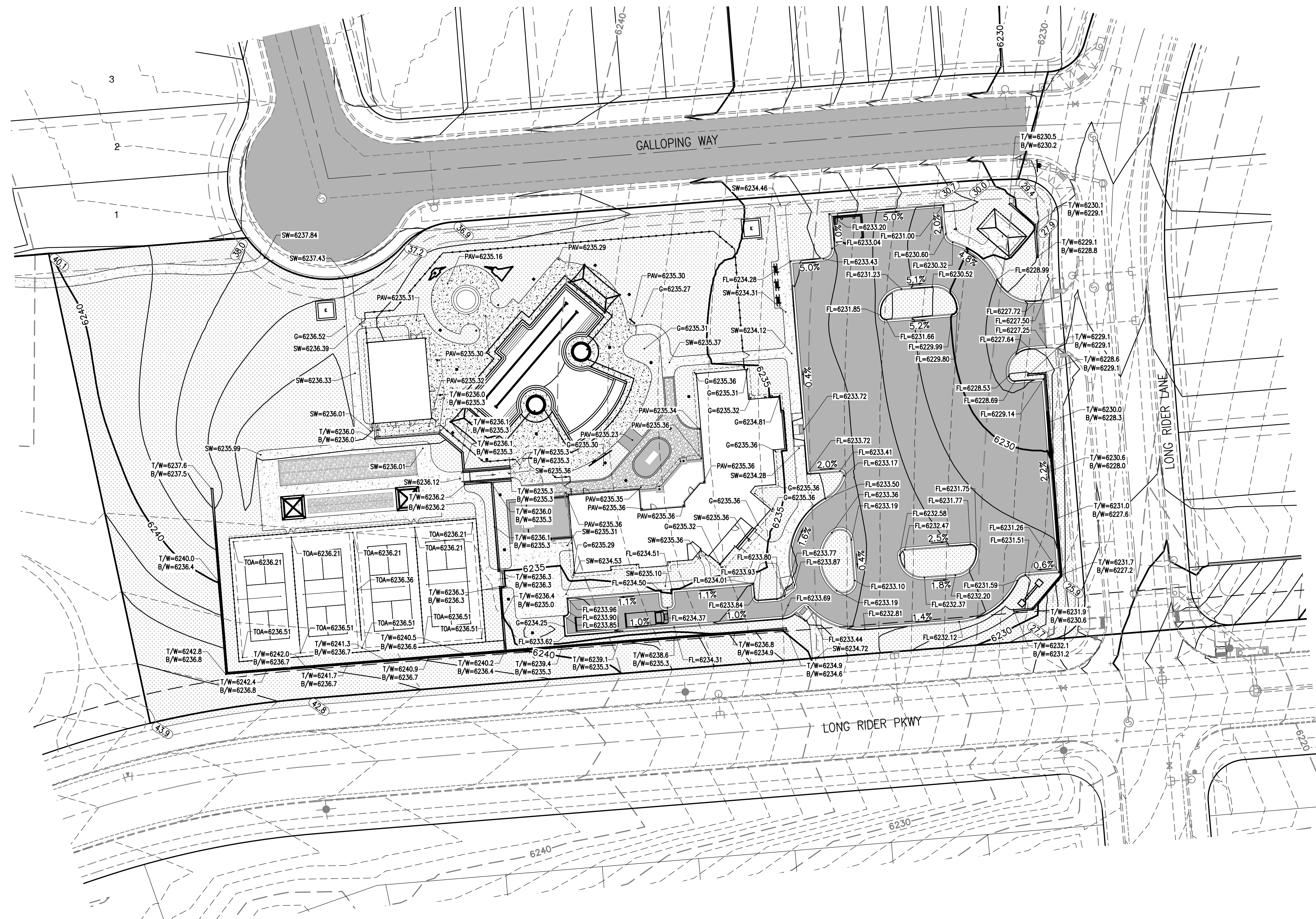
LOOKING GLASS FILING NO 21
AMENITY CENTER

ARCHITECTURAL SITE PLAN

DATE: 02/21/2025
JOB NO: 13095.23
SCALE: HORIZONTAL 1"=30' VERTICAL N/A
SP3

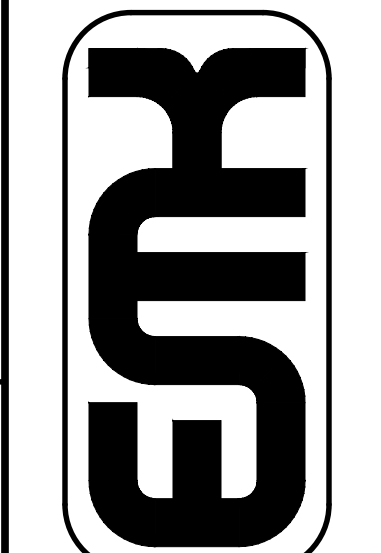
LOOKING GLASS FILING 21, TRACT C AMENITY CENTER

BEING A PART OF THE NORTHEAST ¼ SECTION 5 TOWNSHIP 7 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND
 AREA DRAIN - THIS SHEET
 PVC DRAIN PIPE
 TOP OF AREA DRAIN RIM ELEVION
 DOWNSPOUT
 T/W=6084.0
 B/W=6083.4

EMK CONSULTANTS, INC.
 LAND DEVELOPMENT
 ENGINEERING & SURVEYING
 7006 SOUTH ALTON WAY, BLDG. F
 CENTENNIAL, COLORADO 80112-2019
 (303)694-1520
 WWW.EMKCG.COM



SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.
 Know what's below. Call before you dig.
 REUSE OF DOCUMENT IS PROHIBITED WITHOUT THE WRITTEN AUTHORIZATION OF EMK CONSULTANTS, INC. THE DEAS AND SERVICE INFORMATION IS THE PROPERTY OF EMK CONSULTANTS, INC. AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF EMK CONSULTANTS, INC.



NO.	DESCRIPTION	DATE	BY

BENCHMARK
 BENCHMARK: DOUGLAS COUNTY CONTROL MONUMENT 1.05005, A 3-1/4" ALUMINUM CAP STAMPED 1.05005
 ELEVATION = 6365.22 (NAVD88 DATUM)

DESIGNED BY: CAW
 DRAWN BY: CAW
 CHECKED BY: CAW
 APPROVED BY: ERM

LOOKING GLASS FILING NO 21
 AMENITY CENTER
 OVERALL SITE GRADING PLAN

DATE: 02/21/2025
 JOB NO: 13095.23

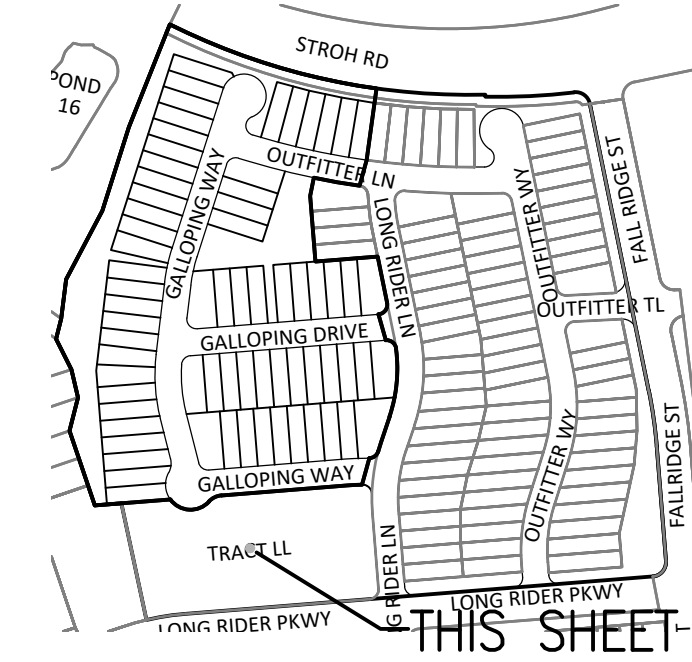
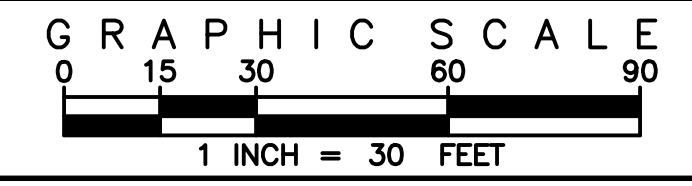
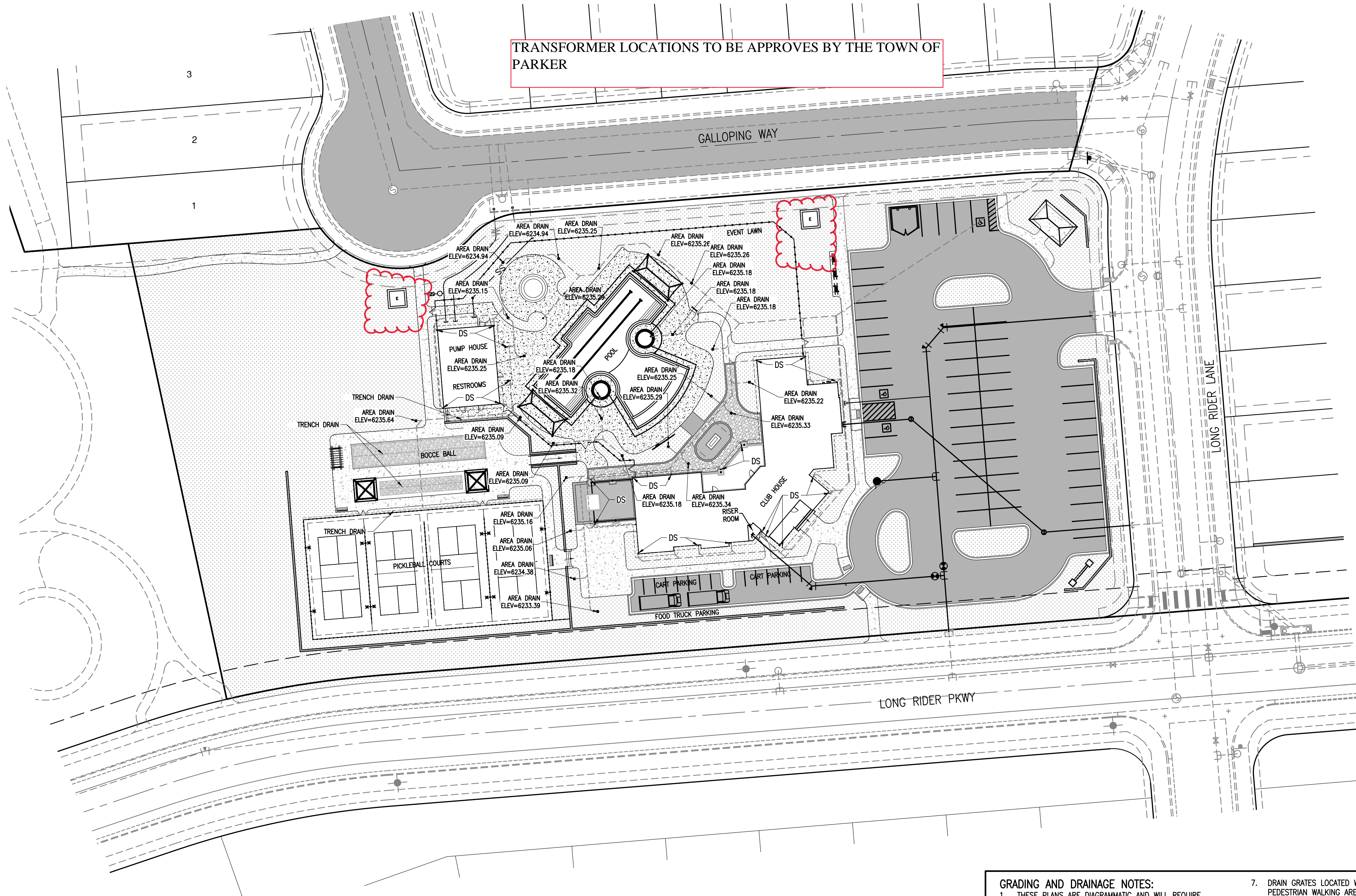
HORIZONTAL VERTICAL

SP4

LOOKING GLASS FILING 21, TRACT C AMENITY CENTER

BEING A PART OF THE NORTHEAST ¼ SECTION 5 TOWNSHIP 7 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

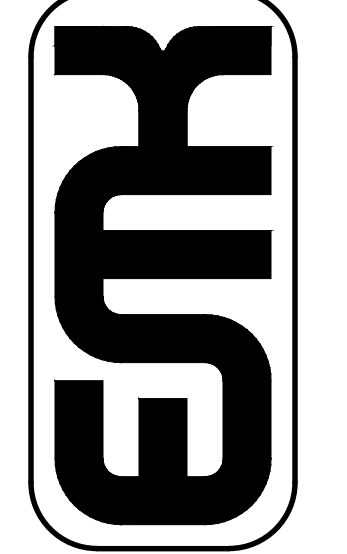
TRANSFORMER LOCATIONS TO BE APPROVED BY THE TOWN OF PARKER



LEGEND

- AREA DRAIN
- PVC DRAIN PIPE
- RIM=XXXX.XX TOP OF AREA DRAIN RIM ELEVION
- DS- DOWNSPOUT

EMK CONSULTANTS, INC.
LAND DEVELOPMENT
ENGINEERING & SURVEYING
7006 SOUTH ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112-2019
(303)694-1520
WWW.EMKCONS.COM



SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
Know what's below. Call before you dig.
REUSE OF DOCUMENT
THIS DOCUMENT IS THE PROPERTY OF EMK CONSULTANTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF EMK CONSULTANTS, INC.



NO.	DESCRIPTION	DATE	BY

BENCHMARK
BENCHMARK: DOUGLAS COUNTY CONTROL MONUMENT 1.05005, A 3-1/4" ALUMINUM CAP STAMPED 1.05005
ELEVATION = 6365.22 (NAVD88 DATUM)

DESIGNED BY: CAW
DRAWN BY: CAW
CHECKED BY: CAW
APPROVED BY: ERM

- GRADING AND DRAINAGE NOTES:**
- THESE PLANS ARE DIAGRAMMATIC AND WILL REQUIRE FIELD ADJUSTMENTS. CONSULT WITH LANDSCAPE ARCHITECT FOR ADJUSTMENTS DUE TO OBSTRUCTIONS OR CONFLICTS NOT AVAILABLE FOR REVIEW AT THE TIME THESE DRAWINGS WERE CREATED
 - POOL DECK GRADING TO BE COORDINATED WITH CIVIL SITE GRADING SHOWN IN CIVIL DRAWING SET FOR ALL AREAS. ALL POOL DECK PAVING, GRADING AND DRAINAGE SHOULD BE INSTALLED TO MEET ALL REQUIREMENTS SET FORTH BY INTERNATIONAL SWIMMING POOL AND SPA CODE, PLUS ANY ADDITIONAL REQUIREMENTS FOR STATE & LOCAL MUNICIPALITIES.
 - BASIS OF DESIGN: NDS DRAINAGE SYSTEM.
 - POOL DECK DESIGNED AS TEXTURED, HAND FINISHED CONCRETE; MAINTAIN UNIFORM SLOPE AT MINIMUM 1/8" PER FOOT TO MAXIMUM 1/4" PER FOOT AWAY FROM THE POOL OR TO DECK DRAINS TO PREVENT STANDING WATER.
 - FINISH GRADE AT ALL LANDSCAPED AREAS SHALL BE 2" BELOW ADJACENT POOL DECK SURFACE TO ENABLE POSITIVE DRAINAGE.
 - DRAIN GRATES LOCATED WITHIN THE POOL DECK OR PEDESTRIAN WALKING AREAS SHALL BE ADA COMPLIANT. INSTALLATION OF DRAINS TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR PEDESTRIAN TRAFFIC.
 - DRAIN GRATES LOCATED WITHIN SHRUB OR MULCH AREAS SHALL BE BLACK IN COLOR WITH AN ATRIUM TOP.
 - DRAIN GRATES LOCATED WITHIN LAWN/TURF AREAS SHALL BE GREEN IN COLOR WITH A FLAT TOP.
 - DRAIN GRATES LOCATED WITHIN THE POOL DECK OR PAVED SURFACES SHALL BE COLOR COORDINATED WITH PAVING COLOR SELECTION. SEE HARDSCAPE PLANS.
 - DOWNSPOUTS SHOULD BE ATTACHED TO DRAINAGE SYSTEM WITH PVC DOWNSPOUT ADAPTER.

LOOKING GLASS FILING NO 21
AMENITY CENTER
AREA DRAINAGE PLAN
DATE: 02/21/2025
JOB NO: 13095.23
HORIZONTAL VERTICAL
SP5

