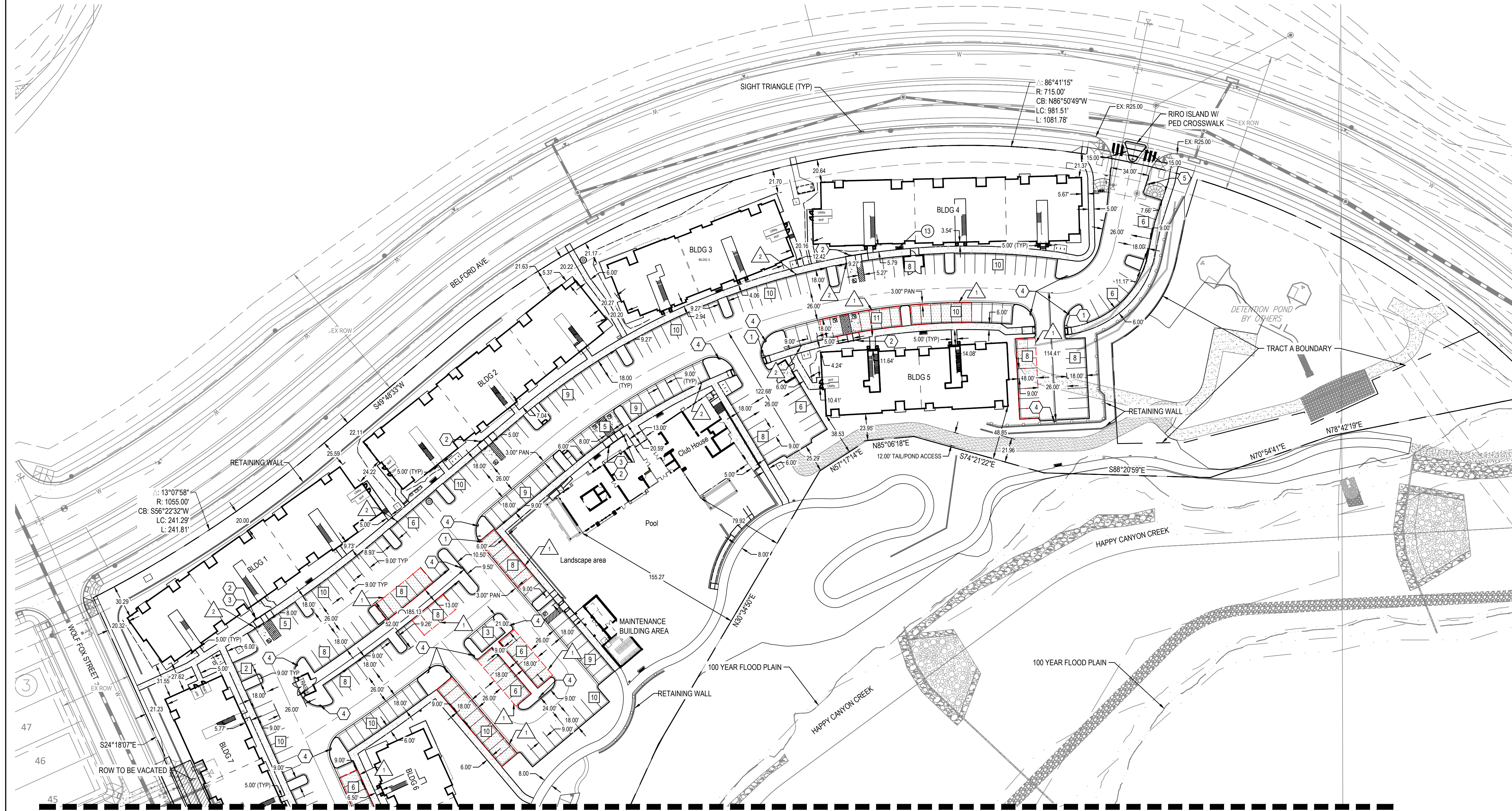
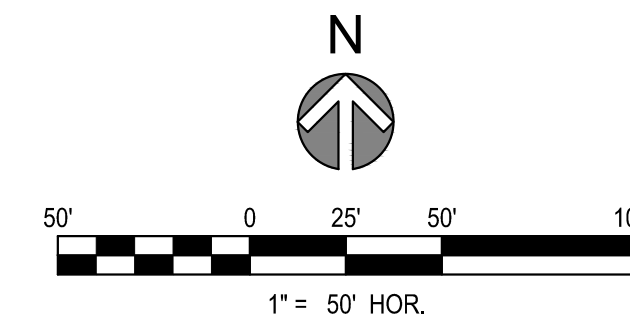


COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 1, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



MATCH LINE SEE SHEET 4

LEGEND / KEYNOTES

- # PARKING SPACE COUNT
- - - - - PROPERTY LINE
- SIGN
- ① R1-1 (30' x 30') STOP SIGN
- ② R7-8 (12' x 18') HANDICAPPED SIGN
- ③ R7-8 P (12' x 9') VAN SIGN
- ④ R7-1 (SP) (12' x 18') FIRE LANE SIGN
- ⑤ R2-1 (SP) (12' x 18') SPEED LIMIT 15 SIGN
- EV CHARGER EV SIGN
- PAVEMENT MARKING OF INTERNATIONAL SYMBOL OF ACCESSIBILITY
- △ CAR PORT
- △ EV CHARGER

NOTES  
1. DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

PROJECT NUMBER  
65120950

DRAWN BY  
TV

DATE  
04/01/2025

REVISIONS  
1 RFI 21  
2 CAR PORTS  
3 EV CHARGERS



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
SITE PLAN

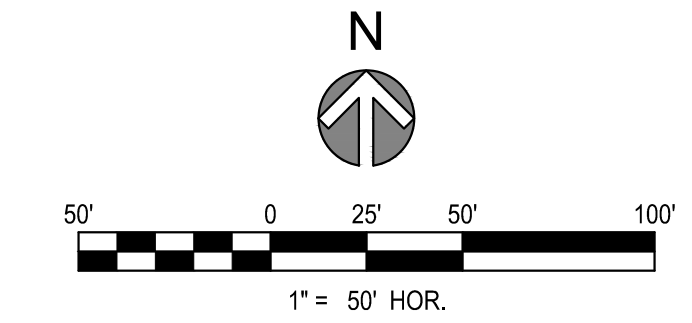
SHEET NUMBER  
3

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

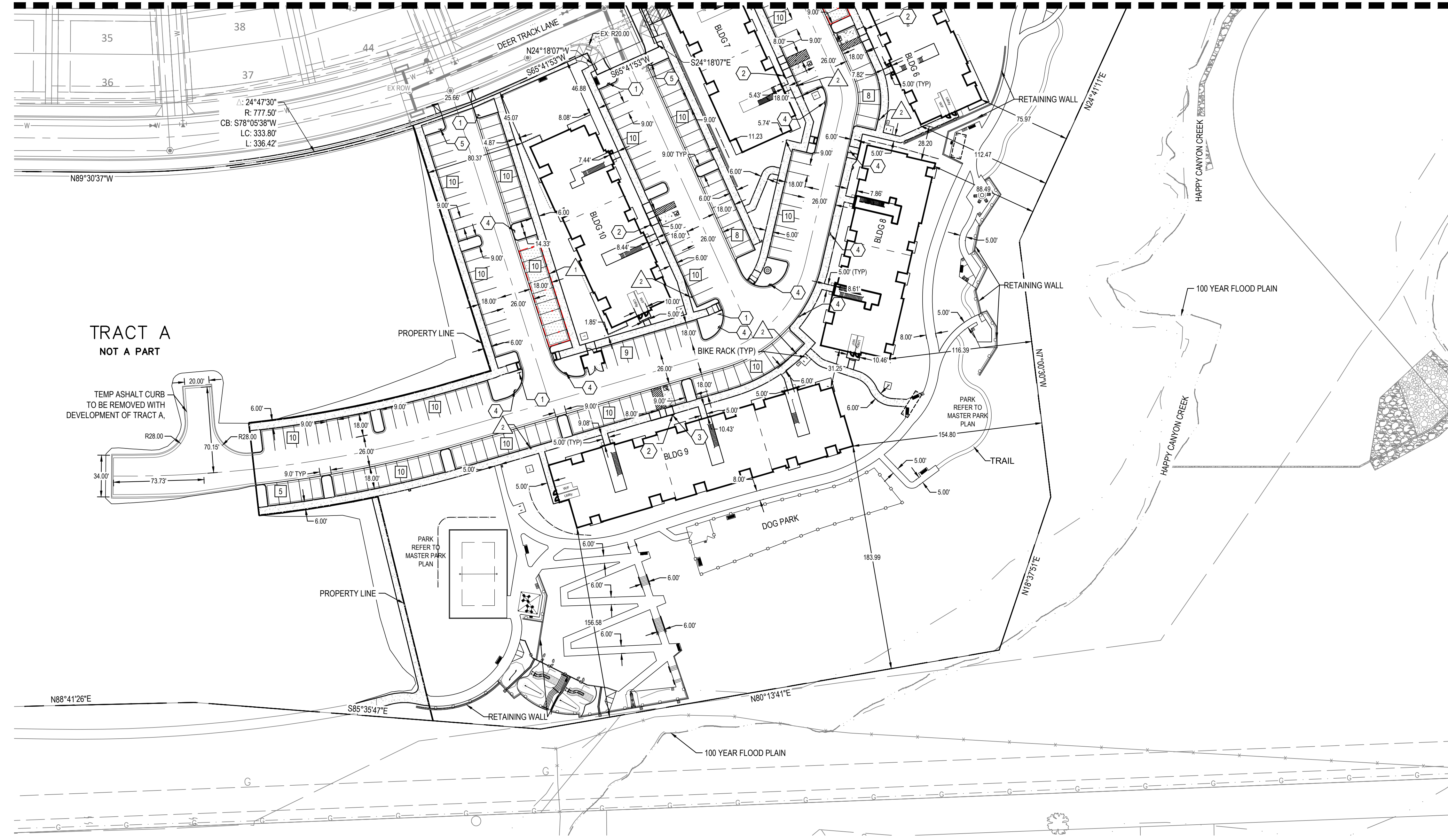
LOT 1, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
  
DRAWN BY  
TV  
  
DATE  
04/01/2025

REVISIONS  
1 RFI 21  
2 CAR PORTS  
3 EV CHARGERS



MATCH LINE SEE SHEET 3



LEGEND / KEYNOTES

- PARKING SPACE COUNT
- PROPERTY LINE
- SIGN
- R1-1 (30' x 30')
- R7-8 (12' x 18')
- R7-8 P (12' x 9')
- R7-1 (SP) (12' x 18')
- R2-1 (SP) (12' x 18')
- EV CHARGER
- PAVEMENT MARKING OF INTERNATIONAL MARKING OF ACCESSIBILITY
- CAR PORT
- EV CHARGER



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

NOTES

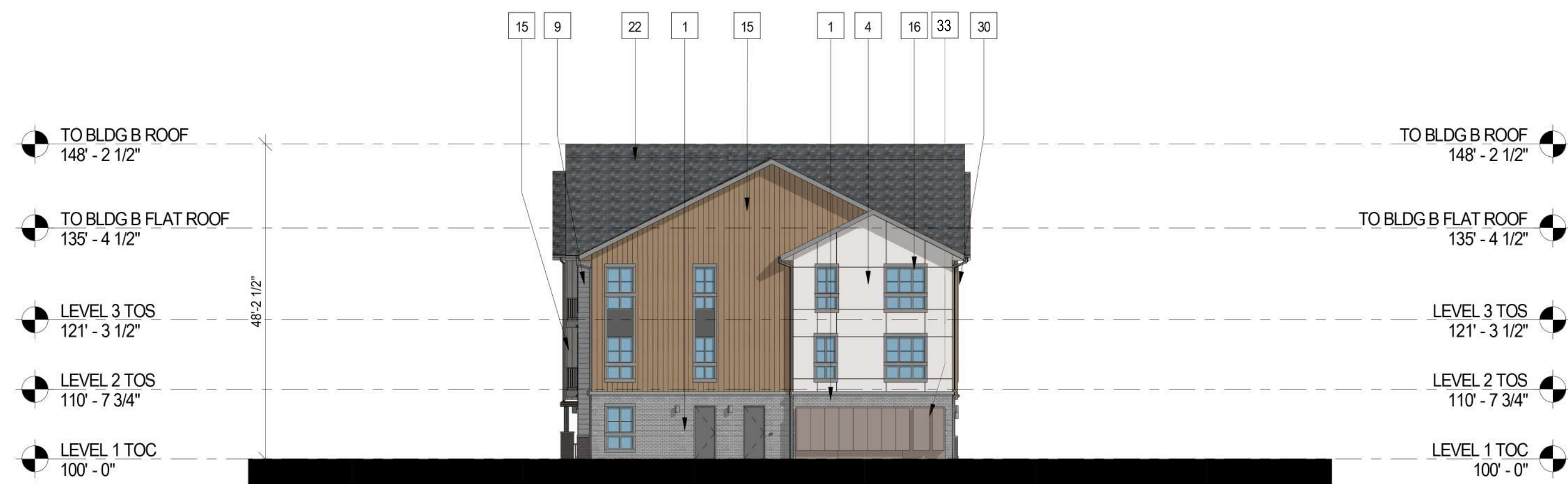
1. DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

SHEET TITLE  
SITE PLAN

SHEET NUMBER  
4

**COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN**  
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512  
  
DRAWN BY  
  
  
DATE  
02/21/2025



3 BUILDING B - SIDE ELEVATION  
1/16" = 1'-0"

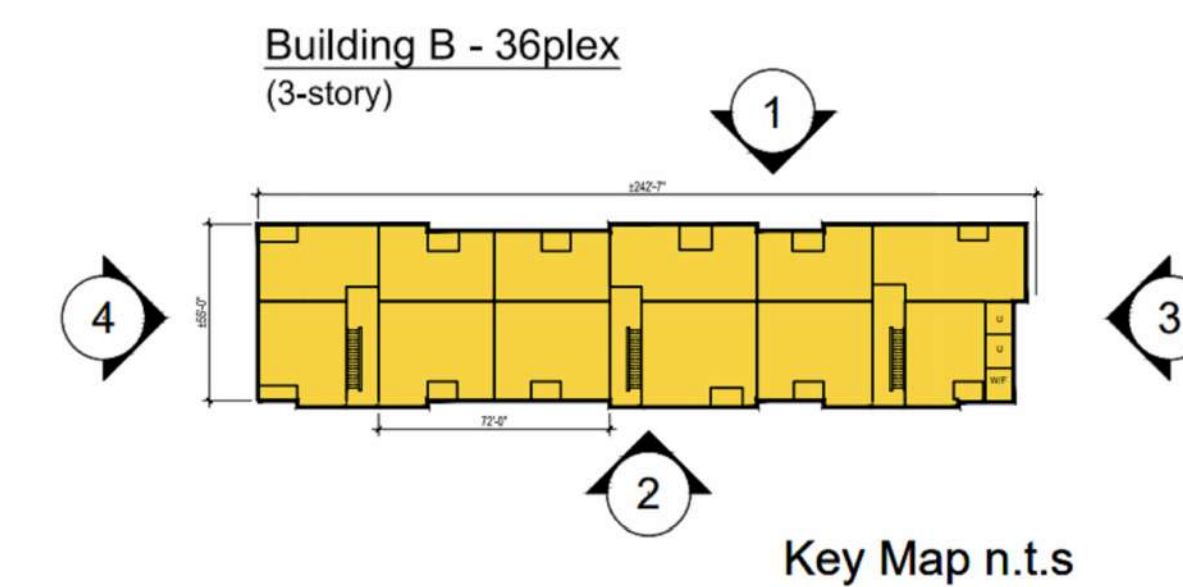
4 BUILDING B - SIDE ELEVATION  
1/16" = 1'-0"



2 BUILDING B - REAR ELEVATION  
1/16" = 1'-0"



1 BUILDING B - FRONT ELEVATION  
1/16" = 1'-0"



#	KEYNOTES - SIP
1	BRICK - RUNNING - COLOR 1
2	BRICK - RUNNING - COLOR 2
3	FIBER CEMENT PANELING - COLOR 1
4	FIBER CEMENT PANELING - COLOR 2
5	FIBER CEMENT PANELING - COLOR 3
6	FIBER CEMENT PANELING - COLOR 4
7	METAL PANEL - COLOR 1
8	METAL PANEL - COLOR 2
9	BOARD AND BATTEN - COLOR 1 (BLUE)
10	BOARD AND BATTEN - COLOR 2
11	VERTICAL SIDING - COLOR 1
12	VERTICAL SIDING - COLOR 2
13	VERTICAL SIDING - COLOR 3
14	VERTICAL SIDING - COLOR 4
15	VERTICAL SIDING - COLOR 5
16	VINYL WINDOW
18	METAL RAILING
19a	MECHANICAL SCREEN - 8% OPEN HORIZONTAL TREX PLANKS
20	STOREFRONT
21	COLUMN
22	ASPHALT SHINGLE ROOFING
23	BOARD & BATTEN - COLOR 3 - DARK GREY
24	STONE - COLOR 1
25	EXTERIOR LIGHT FIXTURE
26	HORIZONTAL SIDING - COLOR 1
27	HORIZONTAL SIDING - COLOR 2
28	HORIZONTAL SIDING - COLOR 3
29	HORIZONTAL SIDING - COLOR 4
30	HORIZONTAL SIDING - COLOR 5
32	DOWNSPOUT
33	LIGHT BRICK COLOR MATCH PAINT

NOTES:  
1. SEE MATERIAL BOARDS FOR MORE INFORMATION.  
2. SEE SITE PLAN FOR DIMENSIONS BETWEEN ENTRIES.  
3. GROUND FLOOR TRANSPARENCY TO BE MIN. OF 25% MEASURED AS A PERCENTAGE OF GLAZING AT THE BASE OF THE BUILDING.  
4. UPPER FLOOR TRANSPARENCY TO BE MIN. OF 15% GLAZING MEASURED AS A PERCENTAGE OF GLAZING ON THE MIDDLE OF THE BUILDING.  
5. TRIM AROUND WINDOWS SHALL BE A MINIMUM OF THREE AND ONE-HALF (3 1/2) INCHES WIDE, AND TRIM AROUND DOORS SHOULD BE A MINIMUM OF TWO (2) INCHES WID.  
6. EXTERIOR CYLINDRICAL WALL SCONCE LIGHT FIXTURES HAVE AN OUTPUT OF 800 LUMENS AND ARE THEREFORE NOT SHOWN ON THE PHOTOMETRIC.

PREPARED FOR CENTURY COMMUNITIES



PROJECT

**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

**BUILDING B ELEVATIONS (BLDG 7)**

SHEET NUMBER

55 (B7)

COMPARK VILLAGE SOUTH  
 F1 AMD 2 - MULTIFAMILY  
 SITE PLAN  
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
 210512  
 DRAWN BY  
 DATE  
 02/21/2025



KEY MAP - n.t.s  
**BUILDING B**

**ktgy**  
 Architecture + Planning  
 820 16th Street, Suite 500  
 Denver, CO 80202  
 ktgy.com  
 303.825.6400



**FRONT ELEVATION**  
 Note: Trim around windows shall be minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.

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 COMMUNITIES

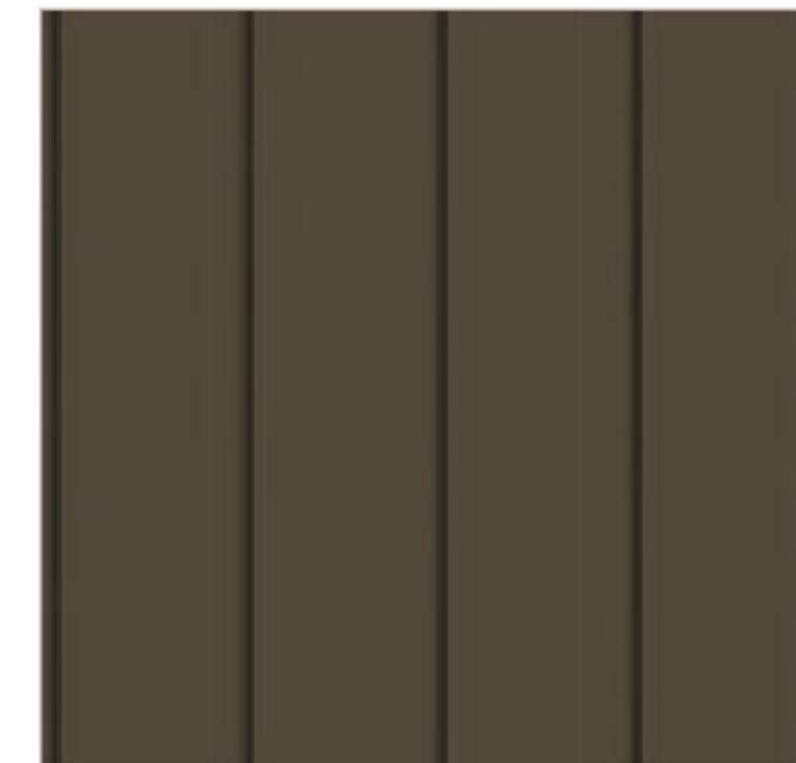
**1 BRICK** LIGHT BRICK



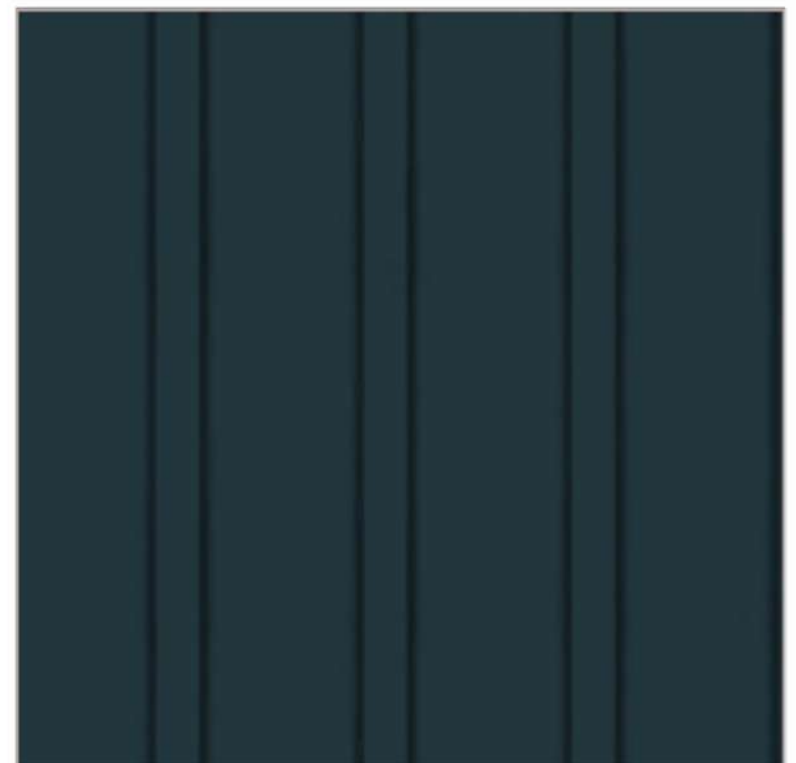
**15 VERTICAL SIDING (WOOD TONE)**



**13 VERTICAL SIDING (V-GROOVE)**



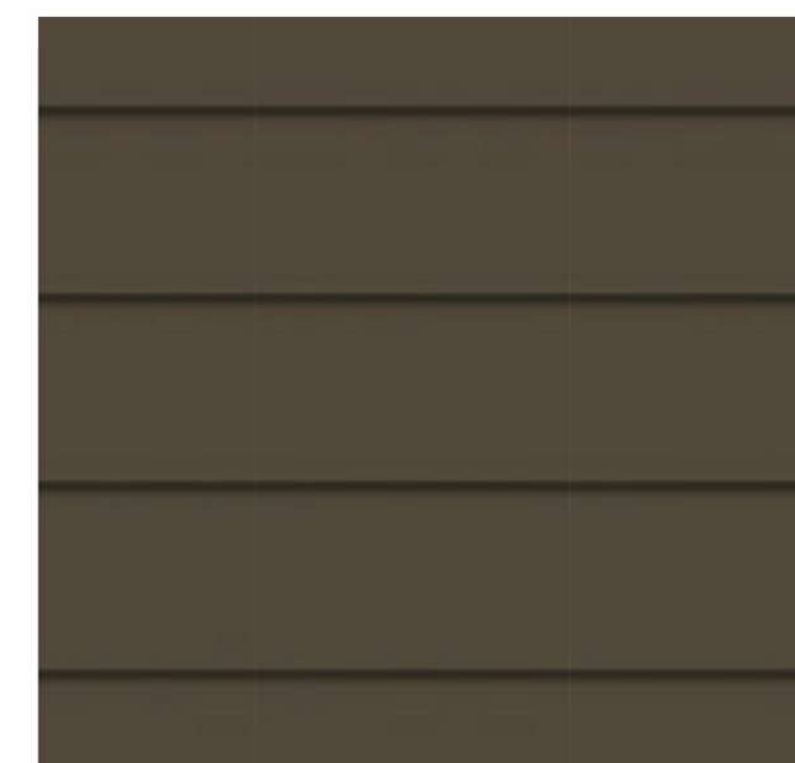
**12 VERTICAL SIDING (V-GROOVE)**



**4 CEMENTITIOUS PANEL W/ REVEAL**



**30 HORIZONTAL SIDING (V-GROOVE)**



**27 HORIZONTAL SIDING (V-GROOVE)**

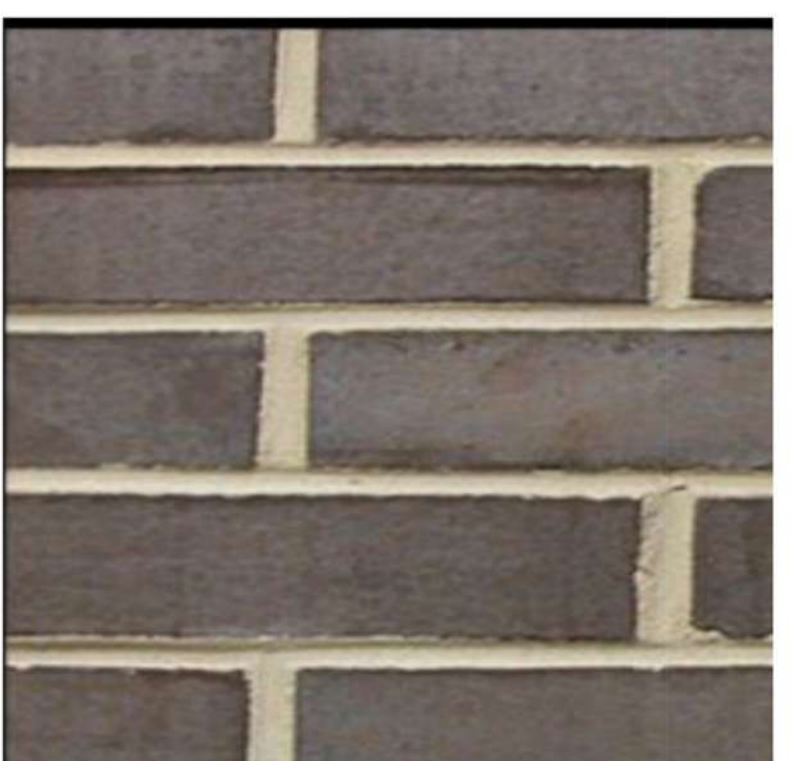


PROJECT

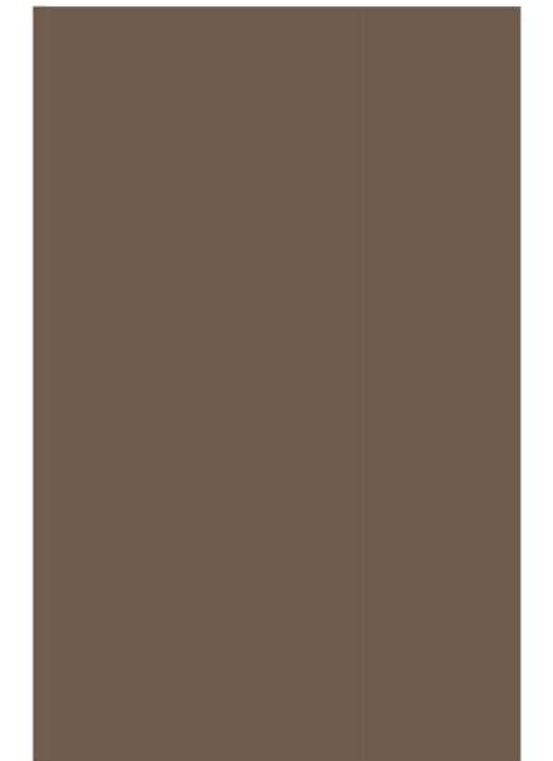
**COMPARK  
 VILLAGE  
 SOUTH**

TOWN OF PARKER,  
 COUNTY  
 OF DOUGLAS, COLORADO  
 80134

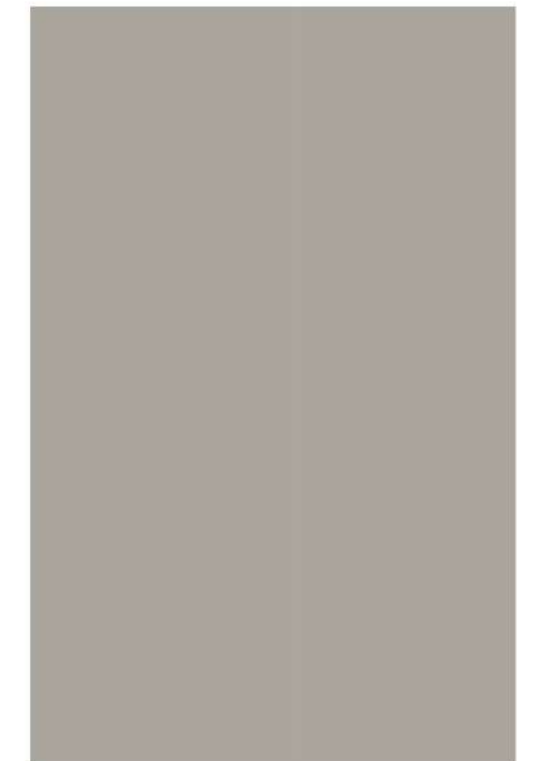
**2 BRICK** DARK BRICK



**7 METAL PANEL**



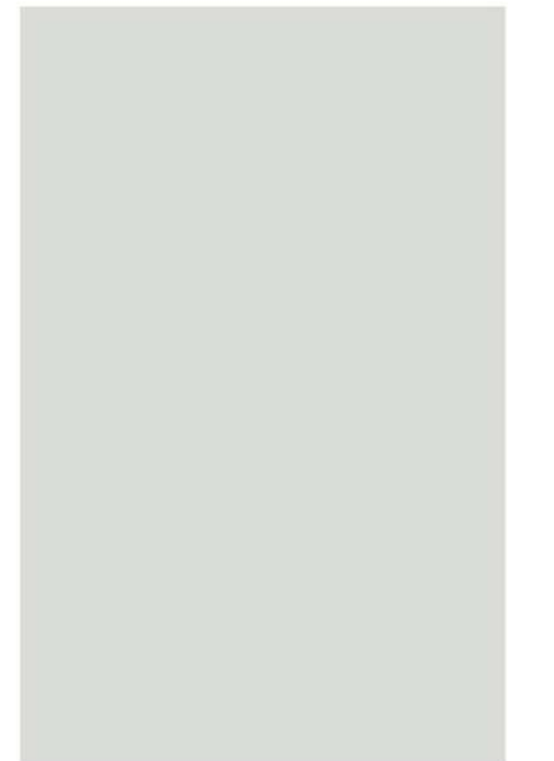
**6 CEMENTITIOUS PANEL**



**5 CEMENTITIOUS PANEL**



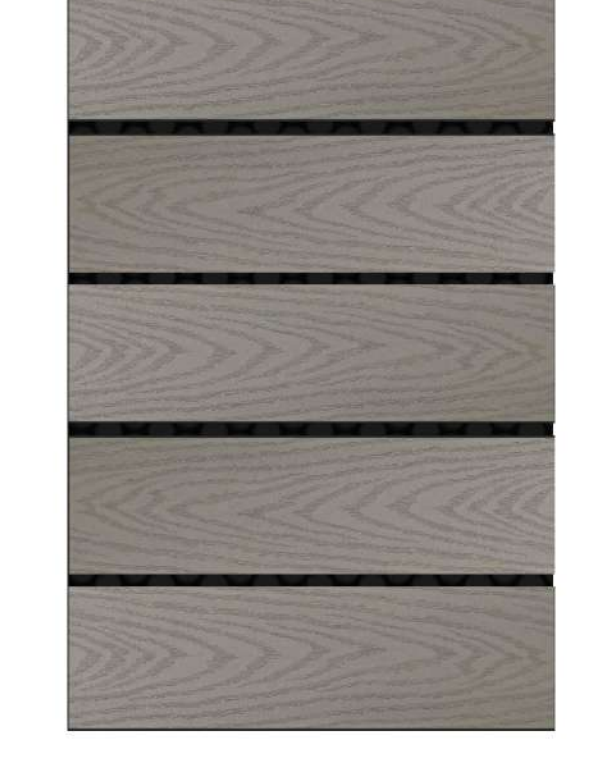
**ADOBE (NON-WHITE)  
 16 WINDOW FRAME**



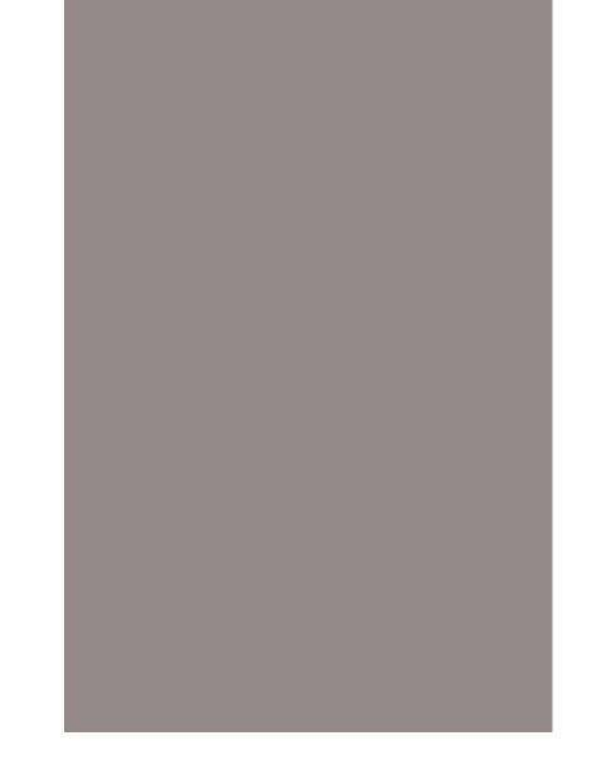
**22 ROOF**



**19a ROOF SCREEN -  
 'CLAM SHELL' COLOR**



**33 LIGHT BRICK  
 COLOR MATCH PAINT**



SHEET TITLE  
**BLDG B  
 MATERIAL  
 BOARD  
 (BLDG 7)**

SHEET NUMBER  
**56 (B7)**

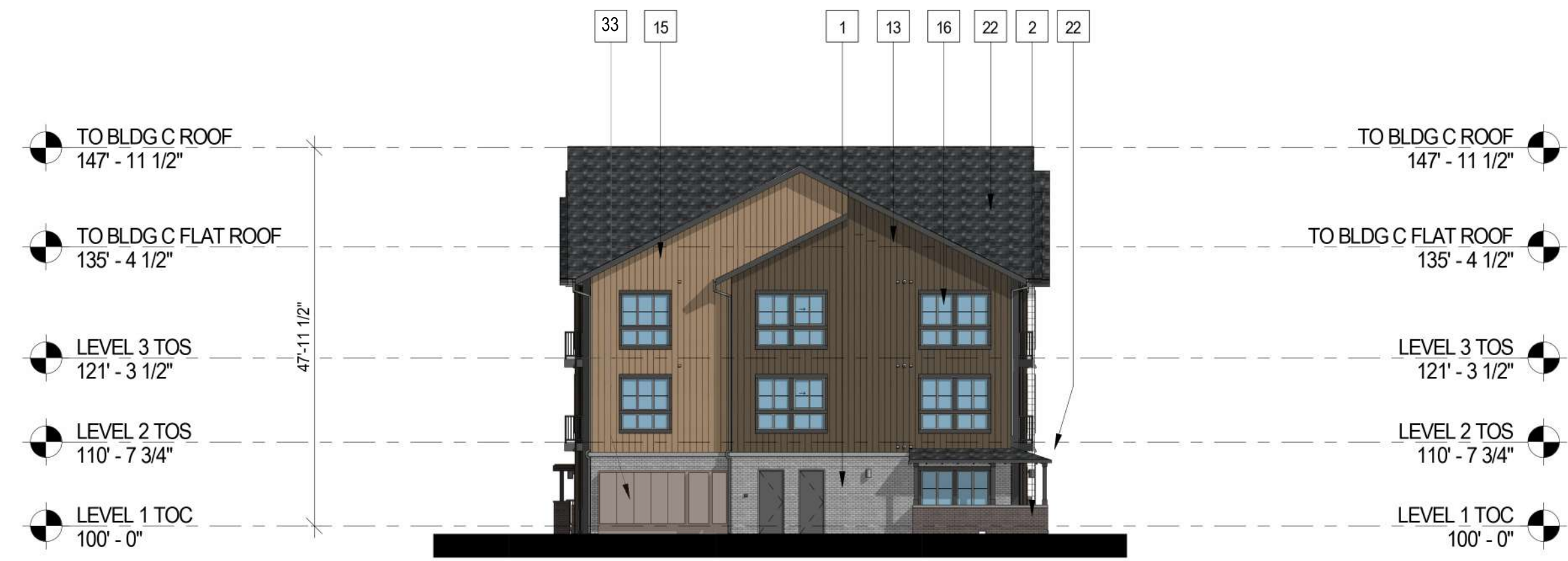
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512  
DRAWN BY  
  
DATE  
02/21/2025



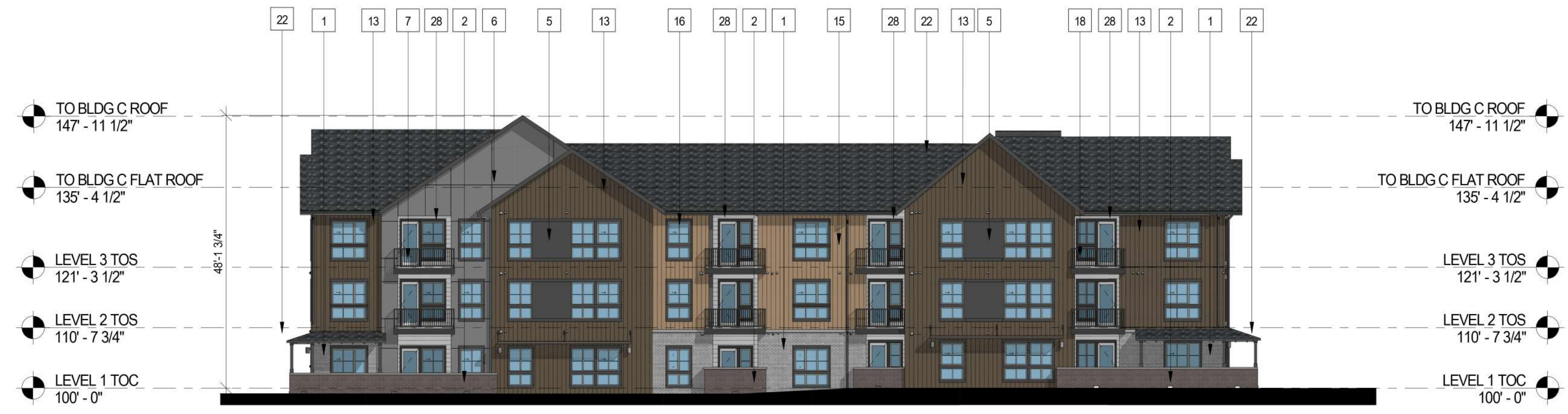
Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
ktgy.com  
303.825.6400



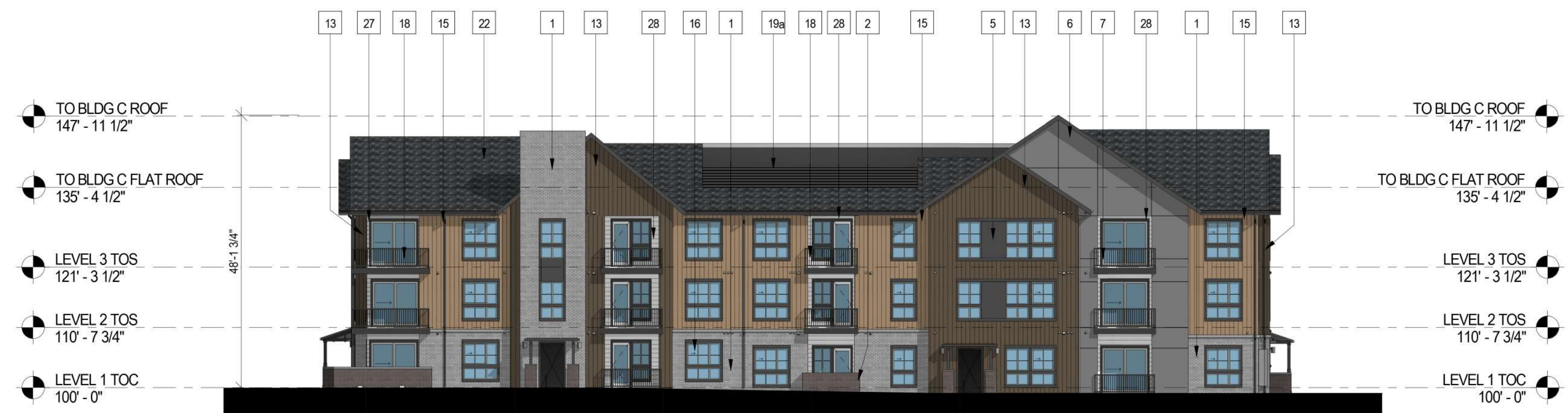
3 BUILDING C - SIDE ELEVATION  
1/16" = 1'-0"



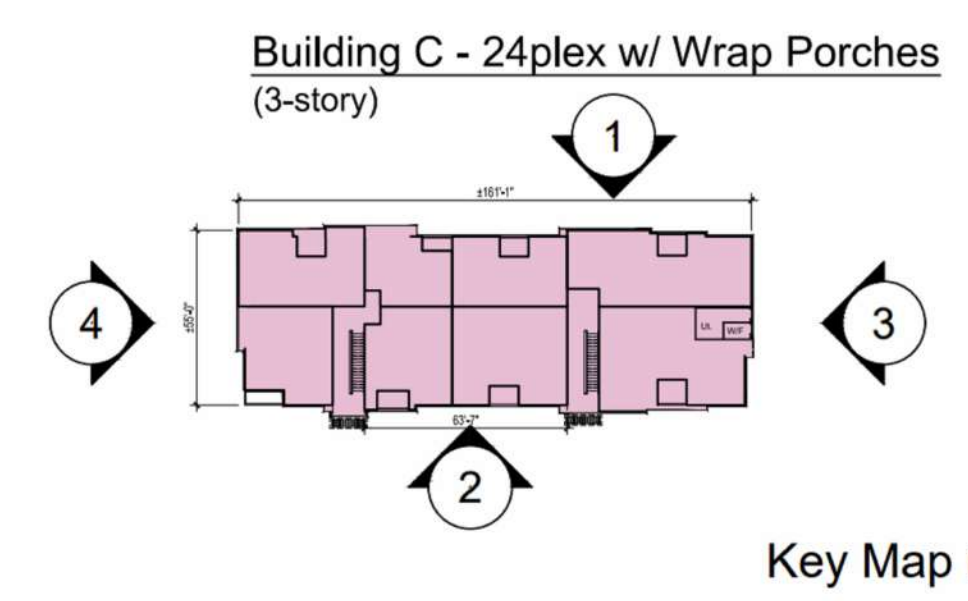
4 BUILDING C - SIDE ELEVATION  
1/16" = 1'-0"



2 BUILDING C - REAR ELEVATION  
1/16" = 1'-0"



1 BUILDING C - FRONT ELEVATION  
1/16" = 1'-0"



#	KEYNOTES - SIP
1	BRICK - RUNNING - COLOR 1
2	BRICK - RUNNING - COLOR 2
3	FIBER CEMENT PANELING - COLOR 1
4	FIBER CEMENT PANELING - COLOR 2
5	FIBER CEMENT PANELING - COLOR 3
6	FIBER CEMENT PANELING - COLOR 4
7	METAL PANEL - COLOR 1
8	METAL PANEL - COLOR 2
9	BOARD AND BATTEN - COLOR 1 (BLUE)
10	BOARD AND BATTEN - COLOR 2
11	VERTICAL SIDING - COLOR 1
12	VERTICAL SIDING - COLOR 2
13	VERTICAL SIDING - COLOR 3
14	VERTICAL SIDING - COLOR 4
15	VERTICAL SIDING - COLOR 5
16	VINYL WINDOW
18	METAL RAILING
19a	MECHANICAL SCREEN - ~8% OPEN HORIZONTAL TREX PLANKS
20	STOREFRONT
21	COLUMN
22	ASPHALT SHINGLE ROOFING
23	BOARD & BATTEN - COLOR 3 - DARK GREY
24	STONE - COLOR 1
25	EXTERIOR LIGHT FIXTURE
26	HORIZONTAL SIDING - COLOR 1
27	HORIZONTAL SIDING - COLOR 2
28	HORIZONTAL SIDING - COLOR 3
29	HORIZONTAL SIDING - COLOR 4
30	HORIZONTAL SIDING - COLOR 5
32	DOWNSPOUT
33	LIGHT BRICK COLOR MATCH PAINT

NOTES:  
1. SEE MATERIAL BOARDS FOR MORE INFORMATION.  
2. SEE SITE PLAN FOR DIMENSIONS BETWEEN ENTRIES.  
3. GROUND FLOOR TRANSPARENCY TO BE MIN. OF 25% MEASURED AS A PERCENTAGE OF GLAZING AT THE BASE OF THE BUILDING.  
4. UPPER FLOOR TRANSPARENCY TO BE MIN. OF 15% GLAZING MEASURED AS A PERCENTAGE OF GLAZING ON THE MIDDLE OF THE BUILDING.  
5. TRIM AROUND WINDOWS SHALL BE A MINIMUM OF THREE AND ONE-HALF (3 1/2) INCHES WIDE, AND TRIM AROUND DOORS SHOULD BE A MINIMUM OF TWO (2) INCHES WIDE.  
6. EXTERIOR CYLINDRICAL WALL SCONCE LIGHT FIXTURES HAVE AN OUTPUT OF 800 LUMENS AND ARE THEREFORE NOT SHOWN ON THE PHOTOMETRIC.

PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
**BUILDING C ELEVATIONS (BLDG 6)**

SHEET NUMBER  
**57 (B6)**

COMPARK VILLAGE SOUTH  
 F1 AMD 2 - MULTIFAMILY  
 SITE PLAN  
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP - n.t.s  
**BUILDING C**

PROJECT NUMBER  
 210512  
 DRAWN BY  
 DATE  
 02/21/2025



**Architecture + Planning**  
 820 16th Street, Suite 500  
 Denver, CO 80202  
 ktgy.com  
 303.825.6400

PREPARED FOR CENTURY  
 COMMUNITIES



PROJECT

**COMPARK  
 VILLAGE  
 SOUTH**

TOWN OF PARKER,  
 COUNTY  
 OF DOUGLAS, COLORADO  
 80134

SHEET TITLE  
**BLDG C  
 MATERIAL  
 BOARD  
 (BLDG 6)**

SHEET NUMBER  
**58 (B6)**



**FRONT ELEVATION**

Note: Trim around windows shall be minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.

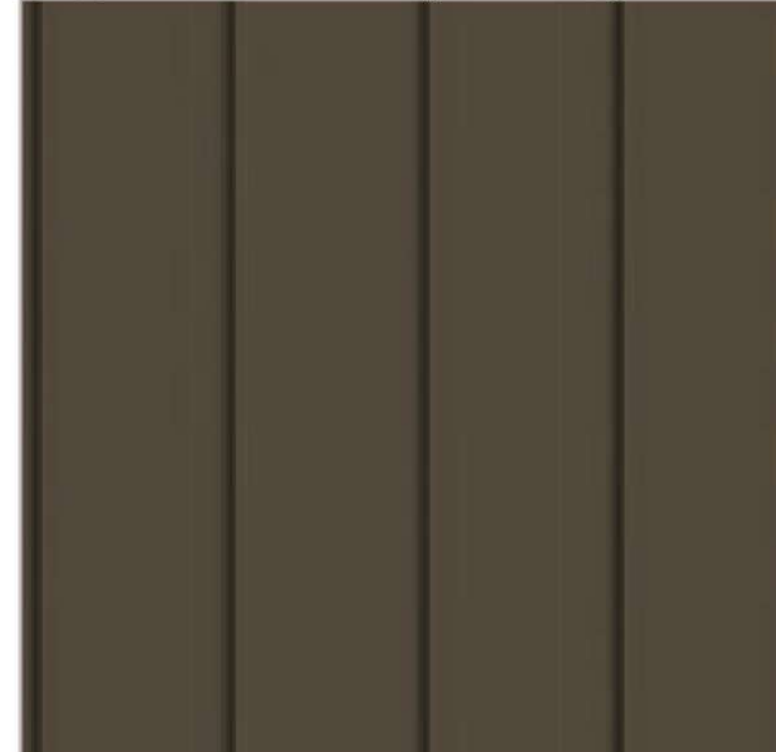
**1 BRICK** LIGHT BRICK



**15 VERTICAL SIDING** (WOOD TONE)



**13 VERTICAL SIDING** (V-GROOVE)



**6 CEMENTITIOUS PANEL W/ REVEAL**



**4 CEMENTITIOUS PANEL W/ REVEAL**



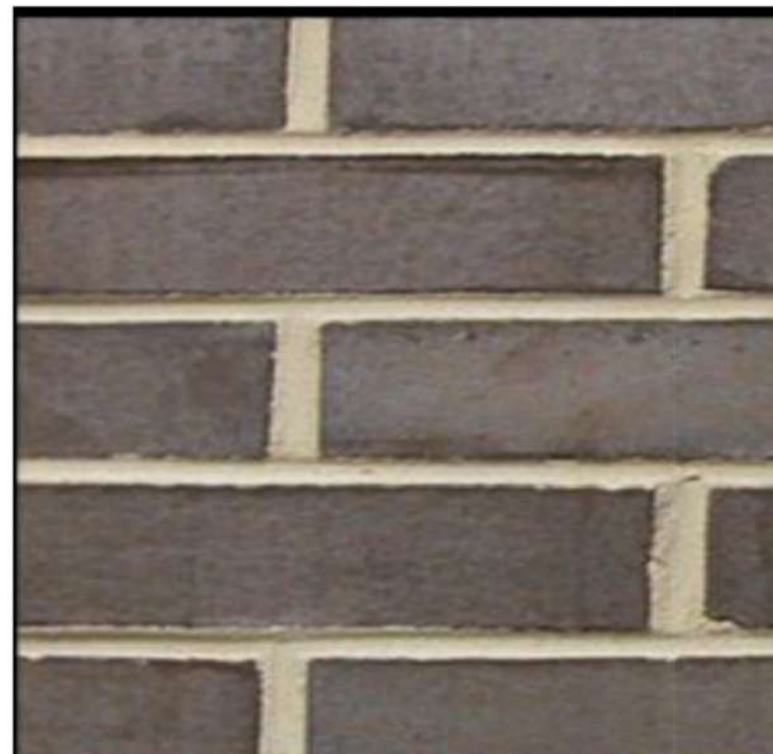
**28 HORIZONTAL SIDING** (V-GROOVE)



**27 HORIZONTAL SIDING** (V-GROOVE)



**2 BRICK** DARK BRICK



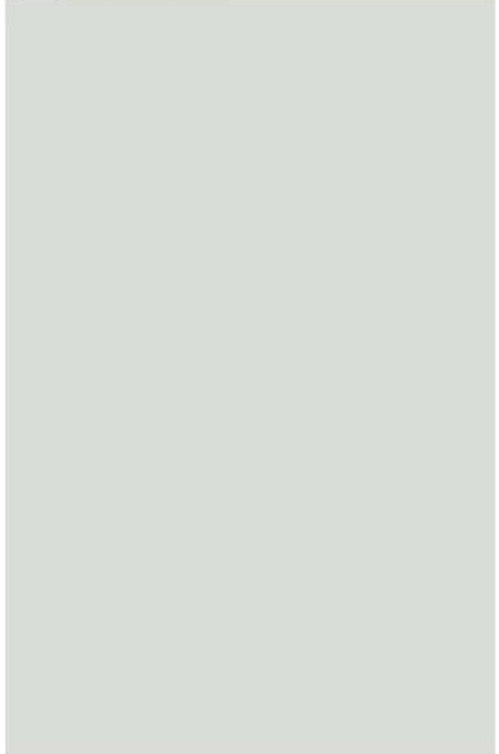
**7 METAL PANEL**



**5 CEMENTITIOUS PANEL**



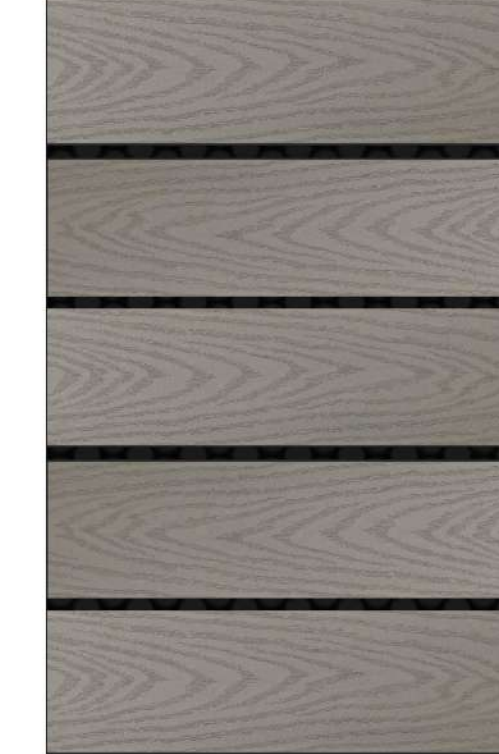
**ADOBE (NON-WHITE)  
 16 WINDOW FRAME**



**22 ROOF**



**19a ROOF SCREEN -  
 'CLAM SHELL' COLOR**



**33 LIGHT BRICK  
 COLOR MATCH PAINT**



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 1, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



GENERAL NOTES:

1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.

SITE LIGHT FIXTURE SCHEDULE

TYPE	SERVES	DESCRIPTION	MANUFACTURER CATALOG NO.	LAMPS	QUANTITY	NOTES
SA1	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T3-SPB2	52	1	20'
SA2	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T3-SPB2	52	24	20'
SA3	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T3-SPB2 (DOUBLE)	52	4	20'
SA4	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C60-730-T4-SPB2	217	3	20'
SB	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C10-730-T3-SPB2	34.6	44	10'
SC	SITE	BOLLARD	METEOR #SP018-30K-BLK-WD-4S	0.7	10	10'
SF	SITE	WALL MOUNTED	COOPER #IST-SA1F-730-L-(T4W OR T4FT)-BK-SPB2	66	4	15'
SP	SITE	CARPORT MOUNTED	LEDALUX #CP-8,000-3000K	57	25	-
POLE (SA#, SB)	SITE	POLE	HAPCO #10 OR 20-B-4-(D190 OR D218)-BA	-	76	10' AND 20'

REFER TO SITE PLAN SYMBOLS AND LIGHTING TAGS FOR LIGHT FIXTURE MOUNTING AND NUMBER OF FIXTURES PER POLE

CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
LANDSCAPE PATH	FC	1.22	4.0	0.1	12.2	40.0
LANDSCAPE RAMP	FC	1.01	2.5	0.3	3.37	8.33
LANDSCAPE STEPS	FC	0.96	1.8	0.5	1.92	3.60
PARKING	FC	2.03	4.8	0.8	2.54	6.00
PATH 1	FC	2.58	3.9	1.1	2.35	3.55
PATH 2	FC	1.92	3.4	0.8	2.40	4.25
PATH 3	FC	1.99	3.8	0.9	2.21	4.22
PATH 4	FC	1.67	3.3	1.1	1.52	3.00
PATH 5	FC	1.95	3.0	0.9	2.17	3.33
PATH 6	FC	2.21	5.0	0.5	4.42	10.0
PATH 7	FC	2.08	3.7	0.7	2.97	5.29
PROP LINE TRACT 2	FC	0.27	0.9	0.0	N.A.	N.A.
PROP LINE TRACT G	FC	0.06	0.9	0.0	N.A.	N.A.
POOL DECK	FC	14.59	22.0	10.3	1.42	2.14

1 SITE PHOTOMETRIC PLAN  
SCALE: 1" = 70'-0"

PROJECT NUMBER  
65120950  
  
DRAWN BY  
TV  
  
DATE  
11/21/2024

REVISIONS  
1 RFI 21  
2 CAR PORTS  
3 PHOTOMETRICS



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
SITE PHOTOMETRIC PLAN & SCHEDULES

SHEET NUMBER  
51

Specification

ADVANCED HIGH CEILING  
**SP-018/SP-018s** - Smart Illuminating Bollard  
Motion Sensor / No Wiring



Quantity
Project
Note
Type

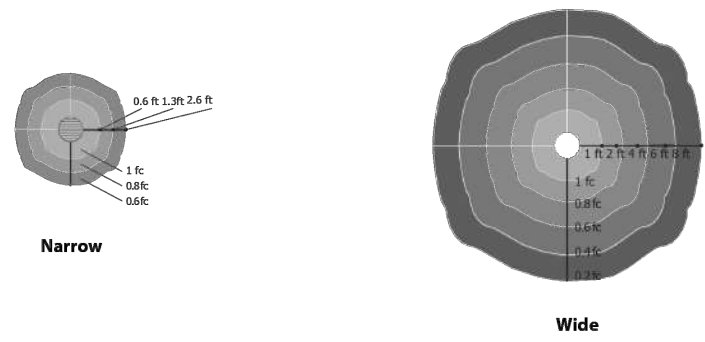
**General**  
Housing: Extruded aluminum  
Finish: Black, Grey, Platinum silver  
Mounting: Embedded, Surface mounted (please refer to installation guide)  
Anchorage: Anchor base with stainless steel anti-theft screws

**Operational**  
Average Sunlight Exposure: 2-3 Hours (sunny) to 5-8 hours (overcast or rainy) to Maintain Function\*  
Average Operation Time: Minimum 12 hours (extra stored power will carry over to next day)  
Solar Deprivation Limit: 5 days\*  
Switch: Auto photo sensor  
On/Off Level: 1.5 / 3 footcandle  
Temperature Range: -40° F to 176° F  
Distribution: Narrow or Wide  
Weight: 44.1 lbs (SP-018) / 33.1 lbs (SP-018s)  
\*To maintain function, unit requires 3-4 hours (sunny) to 5-8 hours (overcast/rainy) of full exposure. Extra charge will be restored for next day use. Fully charged, the unit can last 3-4 rainy days.

**Solar LED Specification**  
Solar Panel: Crystalline silicon  
Lifespan of Solar Panel: 20 yrs  
LED Brand: Nichia  
Available LED colors: White(5700K), Neutral White(4000K), Warm White(3000K), Amber  
LED Rated Life: > 60,000 Hours (L70)  
Power Storage: Panasonic industrial battery pack (Lifespan: 4-6 years)

**Warranty**  
3 year limited warranty. See [www.meteor-lighting.com](http://www.meteor-lighting.com) for details.

**Distribution**



METEOR LIGHTING P: 213.255.2060 F: 213.596.3704 [www.meteor-lighting.com](http://www.meteor-lighting.com) Page 1  
\*METEOR LIGHTING reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

## SITE LIGHT FIXTURE 'SC'

Specification

ADVANCED HIGH CEILING  
**SP-018/SP-018s** - Smart Illuminating Bollard  
Motion Sensor / No Wiring

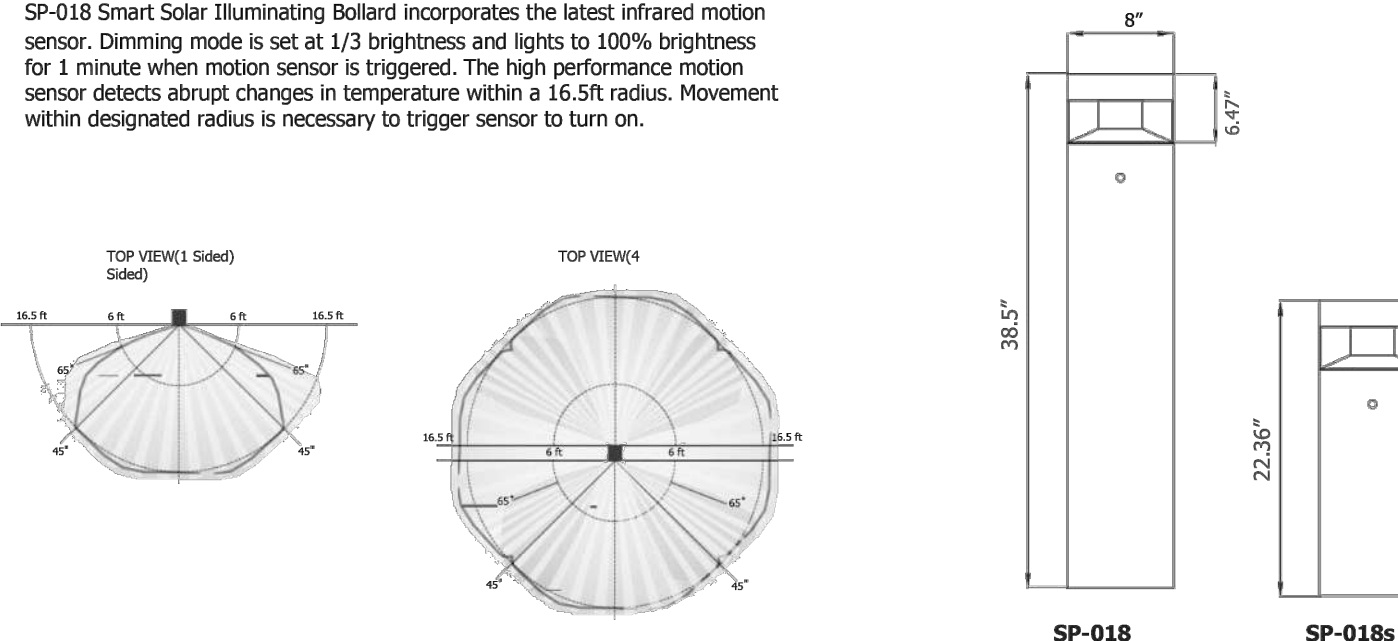


**How To Specify**  
Ordering Example: **SP018-30K-BLK-NR-AKE-1S**

Model	CCT	Finish	Distribution	Anchorage	Optional
SP018	30K (3000K)	BLK (Black)	NR (Narrow)	AKE (Embedded)	1S (1 Sensor)
SP018s	40K (4000K) 57K (5700K) AMB (Amber)	GRY (Gray) PTS (Platinum silver)	WD (Wide)	AKS (Surface Mounted)	4S (4 Sensor)

**Motion Sensor Detection type**  
SP-018 Smart Solar Illuminating Bollard incorporates the latest infrared motion sensor. Dimming mode is set at 1/3 brightness and lights to 100% brightness for 1 minute when motion sensor is triggered. The high performance motion sensor detects abrupt changes in temperature within a 16.5ft radius. Movement within designated radius is necessary to trigger sensor to turn on.

**Dimensions**



METEOR LIGHTING P: 213.255.2060 F: 213.596.3704 [www.meteor-lighting.com](http://www.meteor-lighting.com) Page 2  
\*METEOR LIGHTING reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

## COMPARK VILLAGE SOUTH F1 AMD 2 - MULTIFAMILY SITE PLAN

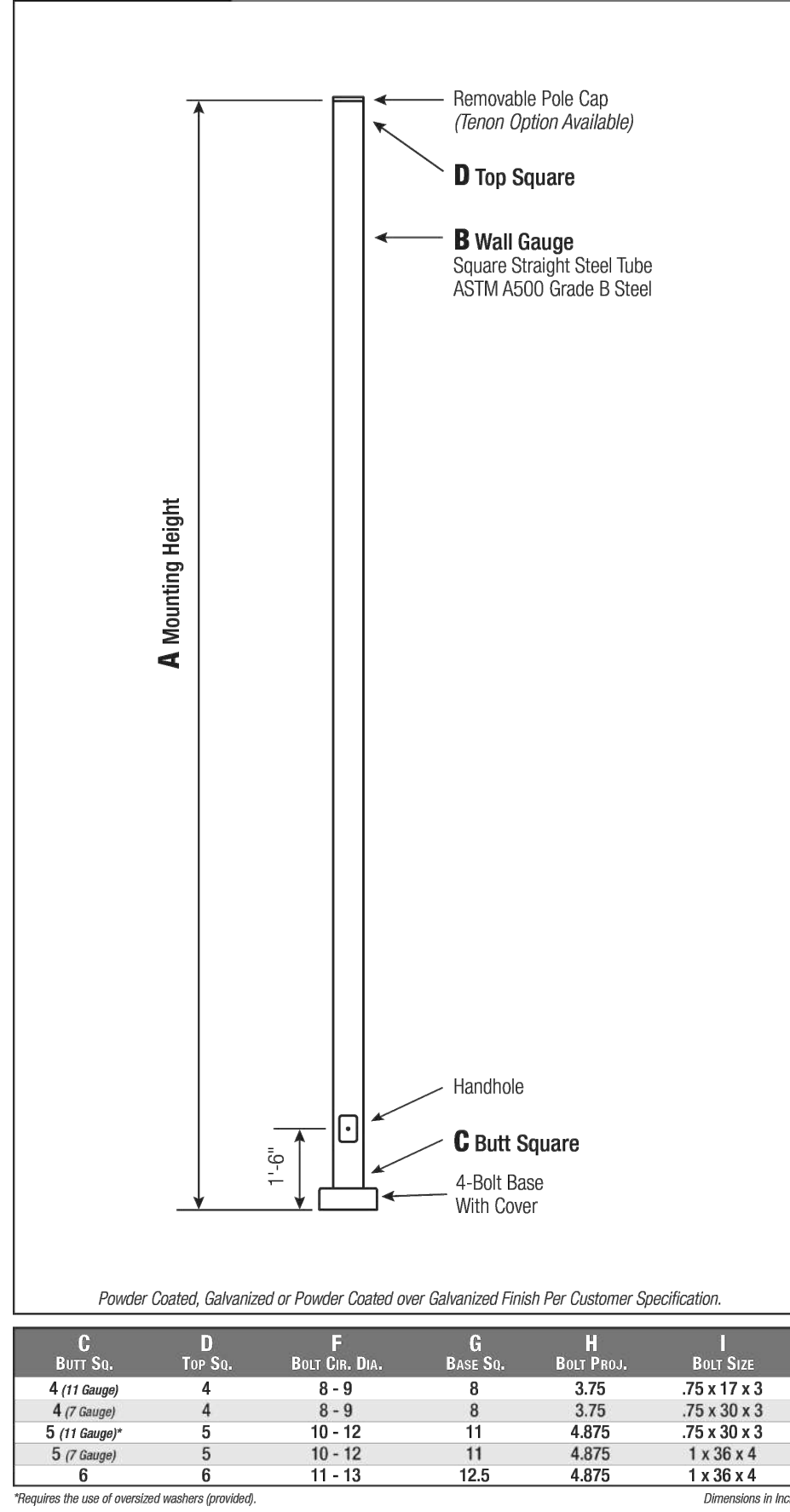
LOT 1, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

### SITE LIGHT FIXTURE SCHEDULE

TYPE	SERVES	DESCRIPTION	MANUFACTURER CATALOG NO.	LAMPS	QUANTITY	NOTES
SA1	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T5-SPB2	52	1	20'
SA2	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T3-SPB2	52	24	20'
SA3	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T3-SPB2 (DOUBLE)	52	4	20'
SA4	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C60-730-T4-SPB2	217	3	20'
SB	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C10-730-T3-SPB2	34.6	44	10'
SC	SITE	BOLLARD	METEOR #SP018-30K-BLK-WD-4S	0.7	10	10'
SF	SITE	WALL MOUNTED	COOPER #ST-SA1F-730-U-(T4W OR T4FT)-BK-SPB2	66	4	15'
SP	SITE	CARPOR MOUNTED	LEDALUX #C-P-8.000-3000K	57	25	-
POLE (SA, SB)	SITE	POLE	HAPCO #10 OR 20-B-4-(D190 OR D218)-BA	-	76	10' AND 20'

REFER TO SITE PLAN SYMBOLS AND LIGHTING TAGS FOR LIGHT FIXTURE MOUNTING AND NUMBER OF FIXTURES PER POLE

### SSS Square Straight Steel Pole No Arm — 4-Bolt Base

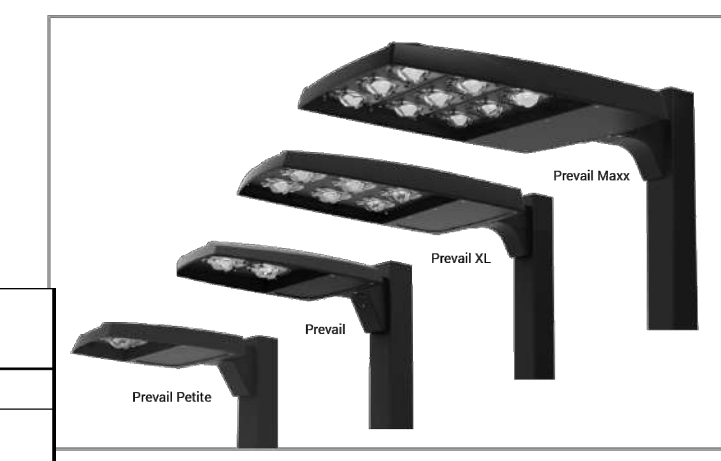


2 [www.hapco.com](http://www.hapco.com)

WARNING: Do not install light pole without luminaires.

## SITE 'POLE' SERVING 'SA1, SA2, SA3, & SA4'

Project	Catalog #	Type
Prepared by	Notes	Date



### Lumark

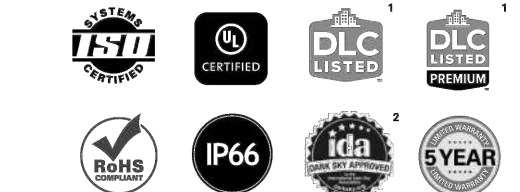
#### Prevail LED

#### Area / Site Luminaire

#### Product Features



#### Product Certifications



#### Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LTE Wireless

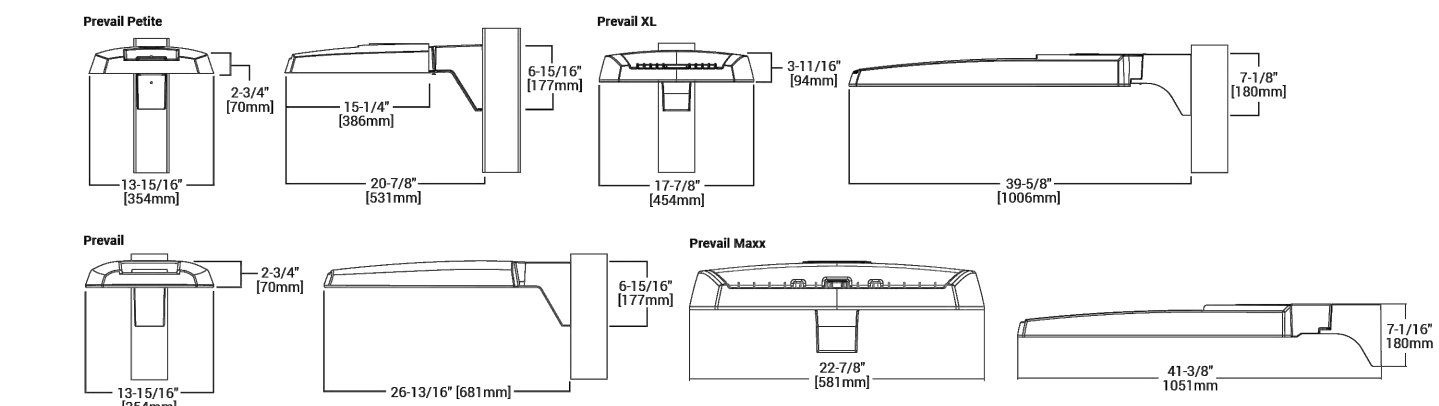
#### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

#### Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

#### Dimensional Details



NOTE:  
1. Visit [www.cooperlighting.com](http://www.cooperlighting.com) to confirm qualification. Not all product variations are UL qualified.  
2. UL Certified for 200K CCT and warmer only.



## SITE LIGHT FIXTURE 'SA1, SA2, SA3, SA4, & SB'

### Lumark

Product Family	Light Engine	Color Temperature	Driver	Voltage	Distribution	Mounting	Color
PRV-P-Prevail Pole	C15-1 LED 4,800 Nominal Lumens	740-700K, 4000K	D-Dimming (0-10V)	0W-Universal (120-277V)	T2-Type II	SA-M Standard Vertical Arm	BZ-Bronze
BAA-PRV-P-Prevail Pole BAA Compliant	C15-1 LED 4,800 Nominal Lumens	727-702K, 2700K		0W-Universal (120-277V)	T2-Type II	MA-Max Arm Mount	AP-Grey
TAA-PRV-P-Prevail Pole TAA Compliant	C15-1 LED 4,800 Nominal Lumens	736-702K, 3000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	BK-Black
PRV-M-Prevail Max	C25-1 LED 11,800 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	DP-Dark Platinum
BAA-PRV-M-Prevail Max BAA Compliant	C25-1 LED 11,800 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount
TAA-PRV-M-Prevail Max TAA Compliant	C25-1 LED 11,800 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount
PRV-XL-Prevail XL	C25-1 LED 25,100 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount
BAA-PRV-XL-Prevail XL BAA Compliant	C25-1 LED 25,100 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount
TAA-PRV-XL-Prevail XL TAA Compliant	C25-1 LED 25,100 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount
PRV-M-Prevail Max	C25-1 LED 48,000 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount
BAA-PRV-M-Prevail Max BAA Compliant	C25-1 LED 48,000 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount
TAA-PRV-M-Prevail Max TAA Compliant	C25-1 LED 48,000 Nominal Lumens	6500-8500K, 4000K		0W-Universal (120-277V)	T2-Type V	MA-Max Arm Mount	MA-Max Arm Mount

Product Family	Camera Type	Data Backhaul
L-Lumensec Technology	M-Dome Camera, High Res	B-Cellular, Factory Installed Verizon 5M Card
	Z-Dome Camera, Remote PTZ	B-Cellular, Factory Installed Verizon 5M Card
	C-Cellular, Customer Installed 5M Card	B-Cellular, Factory Installed Verizon 5M Card
		E-Ethernet Networking

NOTE:  
1. Stock configurations are standard 4000K/7000K, bronze finish, and include the standard versatile mounting arm.  
2. Only available on PRV configurations C15, C25, C60 or 60.



PS000010EN page 2  
June 3, 2024 7:52 PM

PROJECT NUMBER  
65120950

DRAWN BY  
TV

DATE  
11/21/2024

REVISIONS  
1 RFI 21  
2 CAR PORTS  
3 PHOTOMETRICS



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COMMUNITIES



PROJECT

## COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
LIGHT FIXTURE  
SPEC SHEETS

SHEET NUMBER

52

**LEDALUX** CP-LKFS Lumen and Kelvin Field Selectable Canopy

L70 44,000 Hours



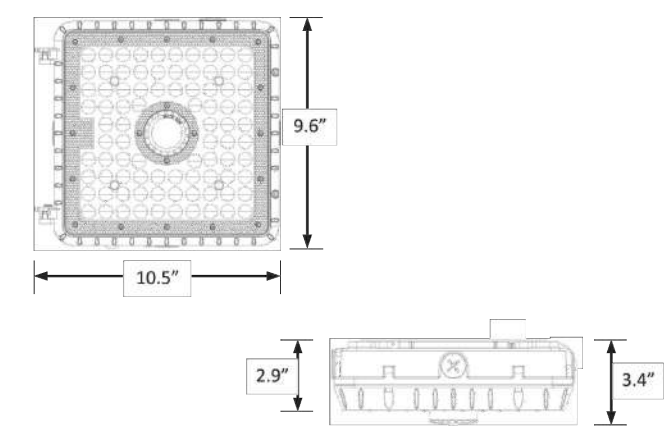
CATALOG NUMBER: \_\_\_\_\_

NOTES:

FIXTURE TYPE:

PROJECT:

**DIMENSIONS**



Weight: 5 lbs.

**WARRANTY**

- dLUs listed for wet locations in ambient temperatures from -40°C to 40°C (40°F to 104°F).
- IP65 rated for ingress protection.
- Lens is IK08 rated for impact.
- DLC premium approved for Fuel Pump and Parking Garage categories.
- Complies with FCC Part 15, class B.
- Complies with IEC/EN61000-4-5, input transient surge immunity protection (4kV).
- 5-year warranty on all electronics and housing.

**ORDERING INFORMATION**

EXAMPLE: CP-10L-LKFS-ODS-WHT

Series	Nominal Lumen Output (Selectable)	Kelvin Selectable	Occupancy Sensor	Housing Color	Accessories (Order Separately)
CP	10L = 10,000/8,000/7,000	LKFS = 3000K/4000K/5000K	ODS <sup>1,2</sup> = Microwave occupancy, dimming, & daylight sensor (factory installed) Blank = No sensor	BRZ = Bronze WHT = White	MWAVEVDS-REM = Sensor remote control

<sup>1</sup>Remote control Required for programming (sold separately).  
<sup>2</sup>Default sensor settings: detection area = 100%, hold time = 20 minutes, stand-by period = 0 seconds, stand-by dimming level = 10%, daylight threshold = disabled  
<sup>3</sup>Maximum mounting height = 49 feet.

LEDALUX - a division of Mule Lighting, Inc. • 46 Baker Street Providence, RI 02905 • 800 556-7690 P 401 941-2929 F • www.LEDALUX.com

**SITE LIGHT FIXTURE 'SP'**

**LEDALUX** CP-LKFS Lumen and Kelvin Field Selectable Canopy

L70 44,000 Hours

**ELECTRICAL DATA**

Series	Measurements	Low Lumens			Mid Lumens			High Lumens		
		3000K	4000K	5000K	3000K	4000K	5000K	3000K	4000K	5000K
CP-10L-LKFS	Lumens	6821	6962	7228	7900	8248	8312	9297	10,506	9967
	Watts	48	43	47	57	51	57	73	69	73
	Efficacy	143	163	152	137	161	147	127	152	136
	Input Current (A)	120V = 0.40A 240V = 0.20A	120V = 0.36A 240V = 0.18A	120V = 0.39A 240V = 0.20A	120V = 0.48A 240V = 0.24A	120V = 0.43A 240V = 0.21A	120V = 0.48A 240V = 0.24A	120V = 0.61A 240V = 0.30A	120V = 0.58A 240V = 0.29A	120V = 0.61A 240V = 0.30A
		277V = 0.17A	277V = 0.16A	277V = 0.17A	277V = 0.21A	277V = 0.18A	277V = 0.21A	277V = 0.26A	277V = 0.25A	277V = 0.26A

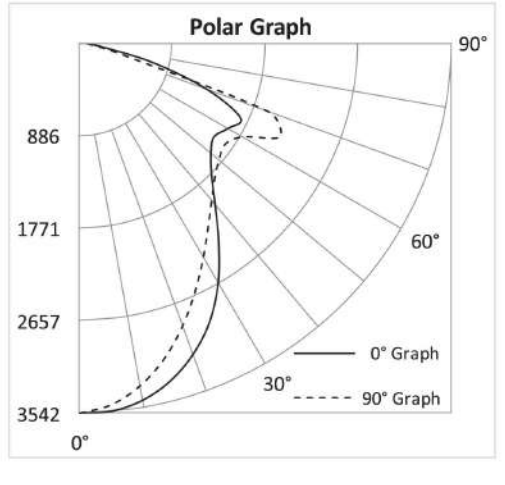
**PHOTOMETRIC DATA**

**CP-10L-LKFS Luminaire Data**

Description	Canopy 10L5K-LKFS
Total Lumens	9,993
Input Wattage	73
Efficacy (lm/W)	137
Spacing Criterion (0-180°)	1.14
Spacing Criterion (90-270°)	1.04

**Zonal Lumen Summary**

Zone	Lumens	%Flx
0-20°	1,245	12.5%
0-30°	2,530	25.3%
0-40°	3,946	39.5%
20-50°	4,143	41.5%
40-70°	4,839	48.4%
0-60°	6,942	69.5%
0-80°	9,872	98.8%
0-90°	9,993	100.0%
90-180°	0	0.0%
0-180°	9,993	100.0%



**COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN**

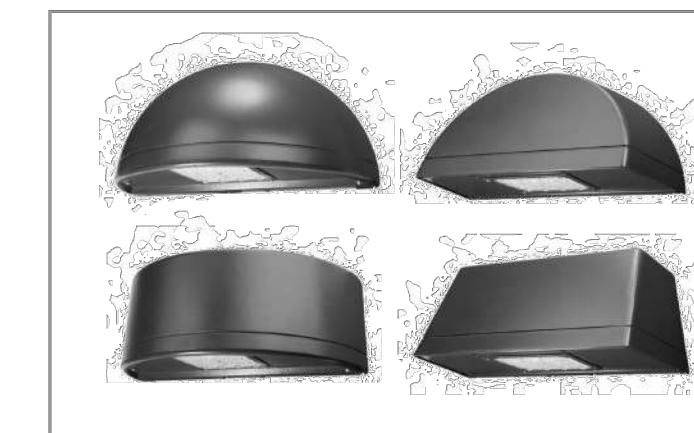
LOT 1, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**McGraw-Edison Impact Elite LED**

Ordering Information  
SAMPLE NUMBER: ISC-SA1F-740-U-T3-BZ

Product Family	Light Engine Configuration	Driver Current	Color Temperature	Voltage	Distribution	Finish
ISC-Elite LED Small Cylinder	SA1-F Square	A-130mA	722-700K, 2200K	0-120/277V	T2-Type II	AP-Grey
ISC-Elite LED Small Quarter Sphere		B-400mA	722-700K, 2700K	11/120V	T3-Type III	BZ-Black
ISC-Elite LED Small Trapezoid		C-400mA	722-700K, 3000K	2-208V	T4-Type IV Forward Throw	BC-Black
ISC-Elite LED Small Wedge		D-100mA	722-700K, 3000K	4-277V	T4W-Type IV Wide	BP-Black Platinum
		E-100mA	722-700K, 3000K	4-277V	SL2-Type II w/Spill Control	BR-Graphite Metallic
		F-1200mA <sup>1</sup>	722-700K, 3000K	9-247V <sup>1</sup>	SL3-Type III w/Spill Control	WH-White
			722-700K, 3000K	9-247V <sup>1</sup>	SL4-Type IV w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL5-Type V w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL6-Type VI w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL7-Type VII w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL8-Type VIII w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL9-Type IX w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL10-Type X w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL11-Type XI w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL12-Type XII w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL13-Type XIII w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL14-Type XIV w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL15-Type XV w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL16-Type XVI w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL17-Type XVII w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL18-Type XVIII w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL19-Type XIX w/Spill Control	
			722-700K, 3000K	9-247V <sup>1</sup>	SL20-Type XX w/Spill Control	

Project	Catalog #	Type
Prepared by	Notes	Date



**McGraw-Edison Impact Elite LED**

Wall Mount Luminaire

**Interactive Menu**

- Ordering Information page 2
- Product Specifications page 2
- Energy and Performance Data page 3
- Control Options page 4

**Product Certifications**



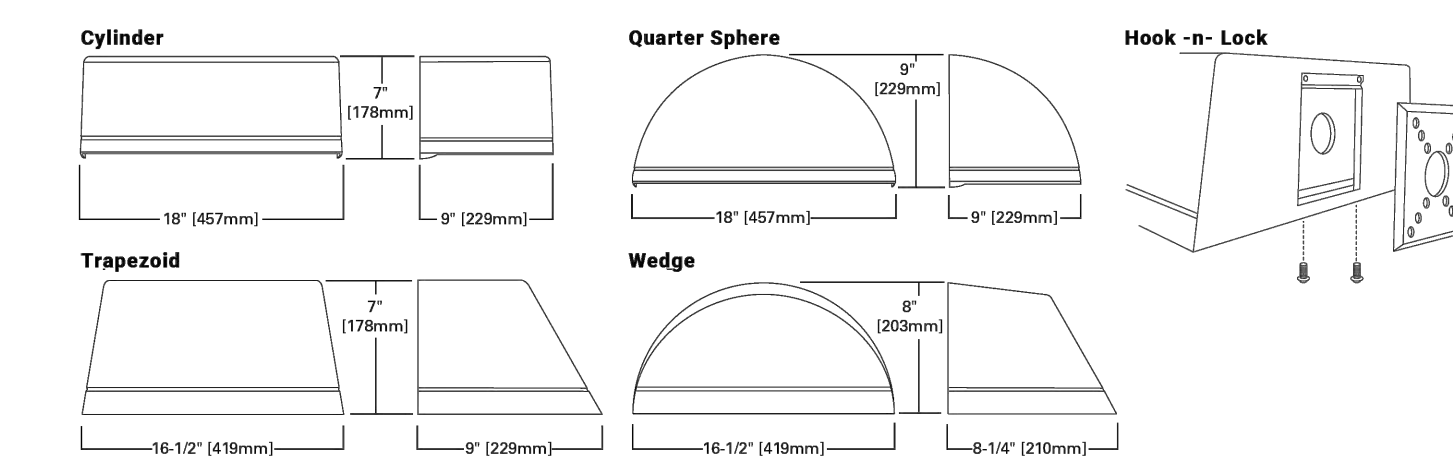
**Quick Facts**

- 10 Optical Distributions
- Lumen packages range from 2,459 to 8,123 (20W - 66W)
- Efficacy up to 143 lumens per watt

**Connected Systems**

- WaveLinx
- Enlighted

**Dimensional Details**



PS5000460N page 1  
April 12, 2021 1:28 PM

**SITE LIGHT FIXTURE 'SF'**

**SITE LIGHT FIXTURE SCHEDULE**

TYPE	SERVS	DESCRIPTION	MANUFACTURER CATALOG NO.	LAMPS	QUANTITY	NOTES
SA1	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T5-SPB2	52	1	20'
SA2	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T3-SPB2	52	24	20'
SA3	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C15-730-T3-SPB2 (DOUBLE)	52	4	20'
SA4	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C60-730-T4-SPB2	217	3	20'
SB	SITE	POLE MOUNTED FIXTURE	COOPER #PRV-C10-730-T3-SPB2	34.6	44	10'
SC	SITE	BOLLARD	METCOR #SP018-30K-BLK-WD-4S	0.7	10	10'
SF	SITE	WALL MOUNTED	COOPER #ST-SA1F-730-U-T4W OR T4FT)-BK-SPB2	66	4	15'
SP	SITE	CARPOR MOUNTED	LEDALUX #CP-B-000-3000K	57	25	-
POLE (SA# SB)	SITE	POLE	HAPCO #10 OR 20)-B-4-(D190 OR D218)-BA	-	76	10' AND 20'

REFER TO SITE PLAN SYMBOLS AND LIGHTING TAGS FOR LIGHT FIXTURE MOUNTING AND NUMBER OF FIXTURES PER POLE

**REVISIONS**

- RFI 21
- CAR PORTS
- PHOTOMETRICS



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PROJECT

**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
LIGHT FIXTURE SPEC SHEETS

SHEET NUMBER

53