



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Madeleine Reinke, Kimley-Horn and Associates, In.
FROM: Cynthia Thye, Planner 1
DATE: October 17, 2025
SUBJECT: SP25-119: Lincoln Professional Park L2 - 7 Brews Coffee – Site Plan Review Comments 01

Listed below are the Planning Division’s comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: cthye@parkeronline.org
PHONE: 303.805.3334

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: “02” or “Second Submittal”

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

General Comments - Please refer to the redlines for additional comments/clarification.

- 1. **Sheet C3.1 is missing from the site plan. Please add to the site plan.**

Comment Addressed: Yes No

Response:

Detail sheets have been added to the site plan with the correct numbering system and relevant details.

- 2. **Add a cement plaza with tables and trash receptacle to front of building. Relocate tree it will displace to east perimeter or south street scape.**

Comment Addressed: Yes No

Response:

Tree has been relocated to west buffer to make space for plaza.

- 3. **Add walkup window to primary building. This is consistent with the 2035 Master Plan values of public access as well as other beverage establishments site plans in the Town of Parker such as Ziggy’s and Dutch Bros.**

Comment Addressed: Yes No

Response:

A walk-up window is present and can be seen in more detail on page A2.3. Its location has been called out on the site plan.

Landscaping: Please refer to the redlines for additional comments/clarification. Pursuant to the LDO Section 13.08.090(g) site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use, the P1 Site Perimeter landscaping requirements shall be satisfied. Please add this requirement and the proposed landscaping to the landscape table

4. Pursuant to the LDO Section 13.08.090 (j) (3) A. 1. At maturity, a minimum of 75 percent of each area required to be landscaped pursuant to Sections 13.08.090(c) shall have a variety of ground cover of living plant material, including, but not limited to, trees, shrubs, ground cover, turf or seed and other perennial ground covering plant materials. Street trees shall not be included in the calculation. Please ensure that these minimums are satisfied. On the east perimeter there are too many junipers. Change this area to include more variety of plants and more variety of heights of plants.

Comment Addressed: Yes No

Response:

The east perimeter has been updated to provide a variety of shrub species.

5. Ensure streetscape on the south meets P1 requirements. There are no trees here. Per LDO13.08.090(e)(4)(b) minimum of one tree per 40 linear feet of street front. This is also a possible area for relocation of tree for plaza or trees in line of sight.

Comment Addressed: Yes No

Response:

Streetscape for the south ROW was approved by A. Wood Hicken in the "Lincoln Professional Park Filing 1". Trees were substituted for shrubs due to the storm drain. Please see snip of the streetscape in this location.

6. Please ensure that the numbers listed within the landscape requirement table (trees and shrubs provided) equal the quantities of species listed within the planting schedule.

Comment Addressed: Yes No

Response:

All numbers in plant schedule, plan, and code table have been double checked. Totals provided on code table.

Building Design – Please refer to the redlines for additional comments/clarification.

7. **Nichiha cannot be the dominant material. DDS Section X. Requires all facades of the building to be high quality durable material such as stone, brick or masonry.**

Comment Addressed: Yes No

Response:

Building materials have been switched to thin brick throughout

8. **Spandrel Glass is not allowed per DDS X.A.2.a. It needs to be replaced with glass.**

Comment Addressed: Yes No

Response:

Traditional glazing is not able to be used as this is a cooler. As discussed in previous meeting, we are suggesting a mural in place of glazing to meet requirements.

9. **Exposed downspout needs to painted the same color as the exterior wall.**

Comment Addressed: Yes No

Response:

Downspouts to be painted to match surrounding building material and noted on drawings.

10. **Delete all signage or note not part of site plan – reviewed under separate permit.**

Comment Addressed: Yes No

Response:

It is noted on all sheets that all signage is permitted under a separate permit.

11. **Canopy needs to extend over one lane to the east and over two lanes to the west .**

Comment Addressed: Yes No

Response:

Per our conversation, we are using landscaping to shield cars from public in place of extending the canopies, as this is a hardship for us.

12. **Supports need to be wrapped with masonry, brick, or stone similar to Maverick commercial building to the west.**

Comment Addressed: Yes No

Response:

All supports are shown with thin brick wraps to match the main building material.

13. Site Plan needs to show drive through speakers and other equipment.

Comment Addressed: Yes No
Response:

The drive thru does not have speakers, employees take orders at window or from the line with a tablet.

14. Add Exterior Elevation Materials Summary for each elevation. Table needs to include transparency as a percentage of ground-floor façade starting at the ground level measuring between 2 and 8 feet.

Comment Addressed: Yes No
Response:

This materials summary is located on each elevation and updated to this standard.

15. Add colored elevation with materials for trash enclosure including gate. Pursuant to the LDO Section 13.08.090 (m) (3) c. 3. A. Storage areas shall be fully screened and enclosed by: 1) A solid wall or solid fence a minimum of 12 feet for industrial development; or 2) A landscape area that is a minimum of six feet wide on the outside of the wall.

Comment Addressed: Yes No
Response:

This is added to the set. See sheet A5.0.

Photometrics

16. Need to specify height of light poles. Per LDO 13.08.110.(e)(5)(a) max height shall be equal to max. height of principal building or 25 feet whichever is less. Per Section 13.08.110 (e) (6) All freestanding light fixtures shall be set back from each property line a distance at least equal to the total height of the luminaire. Please add setbacks for the freestanding luminaires to demonstrate compliance with this requirement

Comment Addressed: Yes No
Response:

Height of light poles added

17. Canopy lighting needs to be reduced. Can not exceed 12 per LDO 13.08.110(e). Andy's Frozen Custard on commercial property to the east site plan is consistent with this code.

Comment Addressed: Yes No
Response:

Canopy Lighting reduces as requested.

18. Call out the blue line around trash enclosure and specify lumens if it is lighting.

Comment Addressed: Yes No
Response:

Blue light around trash enclosure removed for clarity.

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments/requirements with a written response. The following agencies have **revisions required**:

- Town of Parker Engineering and Public Works: Construction Plans Environmental; Construction Plan Civil; Drainage Report Civil; and Site Plan Civil
- IREA/CORE
- Parker Water and Sanitation District

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed: Yes No
Response:

Understood, thank you.

Property Owner



Project Representative

Date

12/3/2025

Date



Project Number: SP25-119

Description: **Lincoln Professional Park L2 - 7 Brews Coffee**

Applied: **9/9/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: , **CO 80134**

Status: **UNDER REVIEW 1**

Applicant: **Kimley-Horn and Associates, Inc.**

Parent Project: **SUB21-055**

Owner: **PLAZA STREET FUND 106 LLC**

Contractor: **<NONE>**

Details:

The applicant, Kimley Horn and Associates, is proposing 510 square foot drive through coffee shop on the property. The property is located at Southeast corner of Lincoln Avenue and Dransfeldt Road.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: ALL

9/12/2025	9/12/2025	9/19/2025	COMPLETENESS REVIEW	Cynthia Liston Thye	REVISIONS REQUIRED	
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Notes:

I have been assigned as the Case Planner for the above-mentioned application. I have finished the completeness review and the following items are needed before the application can be deemed completed:

1. Application Fees: \$--- --2,889.60 (an additional \$72.24 will apply if paid by credit card).
2. Current Chargeback Agreement: Attached
3. Colors and Materials Board – a physical materials board with all color and materials of the proposed addition will need to be submitted for review prior to the 2nd referral.
4. Public Notice Requirements – A public notice sign will be required along each roadway/private road on the property. This property will require two public notice signs. The Town contracts with FastSigns to make and install the signs. I will send a follow-up email to FastSigns and copy you.

Please let me know when the above first two items have been completed so that I can start the referral process. Contact me if you have any questions.

Best regards,
Cynthia

9/12/2025		10/16/2025	SITE PLAN 20	Cynthia Liston Thye		
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Notes:

10/16/2025		11/14/2025	CHALLENGER ESTATES HOA 20	Jennie Heinze		
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Notes:

10/16/2025		11/14/2025	LINCOLN PARK METRO DISTRICT 20	Krystal Welp		
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Notes:



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Review Group: AUTO

9/9/2025			ENGINEERING ADMINISTRATIVE	Tom Williams		
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Notes:

9/9/2025	9/18/2025	9/23/2025	LAND USE COMPLETENESS REVIEW	Charles Kudlauskas	COMPLETED	
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Notes:

Review Group: SP

9/18/2025	10/16/2025	10/16/2025	BUILDING 20	Randy Sale	COMPLETED	See general notes
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Notes:

Building Division pre-application meetings are available before applying for the building permit to discuss access requirements during construction, construction type, occupancy, allowable areas, MEP's, energy, structural, etc...if needed. Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

The Town's Charge Back Agreement may be required for this project, specifically for the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned to the Building Division, then the full plan review process will begin.

General Comments to be aware of:

Building permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the most current adopted codes per Ordinances at time of submittal. This includes but is not limited to the International Code Family, Accessibility Code, and the National Electrical. All required Fire Permits will be reviewed and inspected by the jurisdiction having authority, South Metro Fire Rescue. Please contact us prior to the submission of the construction documents. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal.

The applicant may need to demonstrate compliance with the Colorado Model Electric and Solar Ready Code, HB22-1362, as applicable to this site plan review and the construction documents (plans) when submitting the building permit. If the Building Permit application is received before the next code cycle adoption or June 30, 2026, whichever comes first, no modifications to the site plan or building documents will be required. Please call to discuss it if needed.

All accessible parking must be shown in the building permit documents. The approved site plan sheet (s) showing the property lines, building, accessible routes, accessible parking spaces and entrances to the building will be required.

All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered, staggered, stepped back retaining walls all require permits no matter the height of individual wall.

9/18/2025		10/16/2025	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:



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9/18/2025	9/24/2025	10/16/2025	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Val Endyk	ADVISORY COMMENTS	See Notes
<p>Notes:</p> <p>The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP25-119, Lincoln Professional Park L2 - Brews Coffee have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.</p> <p>If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.</p>						
9/18/2025		10/16/2025	COLORED BUILDING ELEVATIONS 20			
<p>Notes:</p>						
9/18/2025		10/16/2025	COLORS AND MATERIAL BOARD 20			
<p>Notes:</p>						
9/18/2025		10/16/2025	COMCAST 20	Butch Buster		
<p>Notes:</p>						
9/18/2025	10/13/2025	10/16/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
<p>Notes:</p>						



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SP25-119 Lincoln Professional Park L2 - 7 Brews Coffee, 1st Environmental Review, 10-13-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please add a text box next to the Graphic Scale stating – “TOTAL DISTURBANCE AREA = 0.91 ACRES”.
2. Please add a general note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.
3. Please add a general note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
4. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”
5. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
6. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
7. Please add a note to ALL Erosion Control plan sheets stating: “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Please contact John Nelson at jnelson@parkerco.gov for Fuel Storage Permit questions.
8. Site Erosion Control Plan Sheet Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. Addition PTPs may be needed in the interim and final phases.
9. Please consider moving the Stabilized Staging Area, connecting it to the Vehicle Tracking Control Pad as shown in the Town’s detail. This configuration helps reduce tracking off-site.
10. Developer General Note #1, replace the word RECOMMENDED with the word REQUIRED. Developer General Note #5, replace the ratio 3H:1V with the ration 4H:1V. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1. Developer General Note #6, replace the word OWNER with the words TOWN OF PARKER. Developer General Note #8, replace the words PROVIDES AN INITIAL RECOMMENDATION OF with the words SHOWS THE REQUIRED.
11. Please provide and use Parker’s complete Legend of Keys/Symbols to correspond to the Town’s 31 CBMP Details on the Erosion Control plan sheets.
12. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend of Keys/Symbols, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
13. Add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.

INITIAL CBMP PLANS

14. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
15. Please consider moving the Stabilized Staging Area, connecting it to the Vehicle Tracking Control Pad as shown in the Town’s detail. This configuration helps reduce tracking off-site.

INTERIM/FINAL CBMP PLANS

16. Show ALL proposed Stormwater Utilities, (inlets, pipe and structures) on the Interim/Final plans sheets.
17. Add Sidewalk Transition Protection (STP) to all ADA ramps during the Interim Phase.
18. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
19. Please show Masonry Work Protection (MWP) on the plans in two locations for construction of the building.
20. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
21. Inlet Protection (IPAP, IPAN, IPCOG, IPCOS) on plans must have proper legend code/symbol for the type of inlet and the diagram on the plans must match the proper type of inlet protection needed, specifically the IPAN inlet located in the native area on the west side of the site.
22. Provide and identify Debris and Trash Control (DTC) for the Interim/Final phases along all proposed paved driving surfaces internal to the site and all adjacent properties around the site.
23. Please provide a minimum of one callout of both Seeding Mulching and Crimping (SMC) and Surface Roughening (SR) in all tracts proposed to be left landscaped in the final condition.

A copy of the REDLINED EROSION CONTROL PLAN SHEETS is available in eTRAKiT Attachments.



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9/18/2025	10/15/2025	10/16/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

9/18/2025	10/15/2025	10/16/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

9/18/2025		10/16/2025	ECONOMIC DEVELOPMENT 20	Weldy Feazell		
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Notes:

9/18/2025	10/14/2025	10/16/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	Relocate transformer to allow access
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Notes:
Please relocate transformer to allow access within 20 feet of a hard surface. Provide metering location and meet CORE clearance requirements.

9/18/2025		10/16/2025	PHOTOMETRIC PLAN 20			
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Notes:

9/18/2025		10/16/2025	POLICE 20	Greg Epp		
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Notes:

9/18/2025	10/8/2025	10/16/2025	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
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Notes:
please see attached

9/18/2025	10/15/2025	10/16/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
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Notes:

9/18/2025	10/2/2025	10/16/2025	SMFR PLANNING 20	South Metro Fire Rescue	APPROVED	
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Notes:

9/18/2025	10/15/2025	10/16/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	COMPLETED	
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Notes:



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Project Reviews Town of Parker

Review Group: SP ADD

9/18/2025	9/23/2025	10/16/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
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Notes:

Please see uploaded red lined plans, review letter, and screenshot of alternative service connection.
 Please feel free to reach out with any questions you may have.
 Robert

LINCOLN PROFESSIONAL PARK FILING NO. 1 - LOT 2 CONSTRUCTION DOCUMENTS

BEING A PART OF THE NORTHWEST ONE-QUARTER OF SECTION 15, IN TOWNSHIP 6 SOUTH, RANGE 66 WEST OF
THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



LEGAL DESCRIPTION

LOT 2, LINCOLN PROFESSIONAL PARK, FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK

ELEVATIONS ARE BASED UPON UDFCD 2" BRASS CAP IN HEAD WALL (BG-1) NEAR PARKER ROAD AND BALDWIN AVENUE, (ELEVATION = 5841.07 NAVD 88)

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SECTION 15, MEASURED TO BEAR SOUTH 89°29'00" WEST, A DISTANCE OF 2643.60 FEET, AS SHOWN ON LINCOLN PROFESSIONAL PARK FILING NO. 1, AND AS MONUMENTED AT THE EAST END BY A RECOVERED 3.25" ALUMINUM CAP STAMPED "JR ENG 2002 PLS 30109 T6S R66W 1/4 S10 S15", AND AT THE WEST END BY A RECOVERED 3.25" ALUMINUM CAP STAMPED "1999 LS19003 T6S SC R66W S9 S10 S15 S16".

FLOODPLAIN NOTICE

FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
MAP NUMBER: 08035C0067G
PANEL NO: 67 OF 495
EFFECTIVE DATE: MARCH 16, 2016

NOTE: THIS STATEMENT IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL IN NO WAY CONSTITUTE A BASIS FOR A FLOOD CERTIFICATE. NO FIELD WORK WAS PERFORMED TO ESTABLISH THE BOUNDARIES OF THIS ZONE. THE INFORMATION WAS DERIVED BY SCALING THE SUBJECT PROPERTY ON THE ABOVE REFERENCED MAP.

DISTRICT ACCEPTANCE NOTE

- UPON COMPLETION OF SANITARY AND WATER CONSTRUCTION AND TESTING, THE DEVELOPER OR CONTRACTOR SHALL CONTACT THE DISTRICT FOR PROBATIONARY ACCEPTANCE INSPECTION. A PUNCHLIST WILL BE PROVIDED FOR THE DEVELOPER AND CONTRACTOR UPON COMPLETION OF THE INITIAL WALK-THRU AND PROBATIONARY ACCEPTANCE WILL BE ISSUED FOLLOWING COMPLETION AND ACCEPTANCE OF THE WORK OUTLINED IN THE PUNCHLIST.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE LINES FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT ENGINEER AT NO EXPENSE TO THE DISTRICT.
- THE DATE OF FINAL ACCEPTANCE WILL BE INDICATED IN THE CONDITION OF THE PROBATIONARY ACCEPTANCE LETTER. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE DISTRICT FOR FINAL INSPECTION AND FINAL ACCEPTANCE.

Sheet List Table	
Sheet Number	Sheet Title
1	COVERSHEET
2	EXISTING CONDITIONS AND DEMO
3	SITE PLAN
4	GRADING PLAN
5	OVERALL UTILITY PLAN
L1.0	LANDSCAPE PLANS
L2.0	LANDSCAPE NOTES
L2.1	LANDSCAPE DETAILS
A1.2	FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A2.3	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTION
A6.0	MATERIAL COLOR BOARD
A6.1	RENDERINGS
SE1.1	PHOTOMETRIC SITE PLAN

DEVELOPER

ERC HOSPITALITY LLC
BRIAN PYLE
9150 COMMERCE CENTER CIRCLE SUITE 315
HIGHLANDS RANCH, CO 80129
PH: (720)328-3299

SURVEYOR:

KIMLEY-HORN AND ASSOCIATES, INC.
PLS, DARREN WOLTERSTORFF
6200 SYRACUSE WAY UNIT 300
GREENWOOD, CO 80111
PH: (303)228-2300

LANDSCAPE ARCHITECT:

KIMLEY-HORN AND ASSOCIATES, INC.
PLA, CHRIS HEPLER
6200 SYRACUSE WAY UNIT 300
GREENWOOD, CO 80111
PH: (303)228-2319

CIVIL ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.
EOR, MADELEINE REINKE, PE
6200 SYRACUSE WAY UNIT 300
GREENWOOD VILLAGE, CO 80111
PH: (720)464-1878

GOVERNING AGENCY:

TOWN OF PARKER PLAN REVIEW
20120 E MAIN STREET
PARKER, CO 80138
PH: (303)805-3174

FIRE DEPARTMENT:

TOWN OF PARKER
20120 E MAIN STREET
PARKER, CO 80138
PH: (303)805-3169
CONTACT: RANDY GARCIA

ARCHITECT:

VERITAS ARCHITECTURE + DESIGN
JENNY SANDERS
707 N 6TH STREET
KANSAS CITY, KS 66101
PH: (913)308-1280

PARKER WATER AND SANITATION DISTRICT

PARKER WATER AND SANITATION DISTRICT
18100 E WOODMAN DRIVE
PARKER, CO 80134
PH: (303)841-4627
CONTACT: DRAYTON SANDERSON

NO.	REVISION	BY	DATE	APPR

Kimley»Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR
DRAWN BY: KNP
CHECKED BY: KEW
DATE: 8/4/25

LINCOLN PROFESSIONAL PARK FILING NO. 1
LOT 2, PARKER, CO
7 BREW - SITE PLAN
COVERSHEET

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Kimley-Horn and Associates, Inc.

PROJECT NO.
296237001

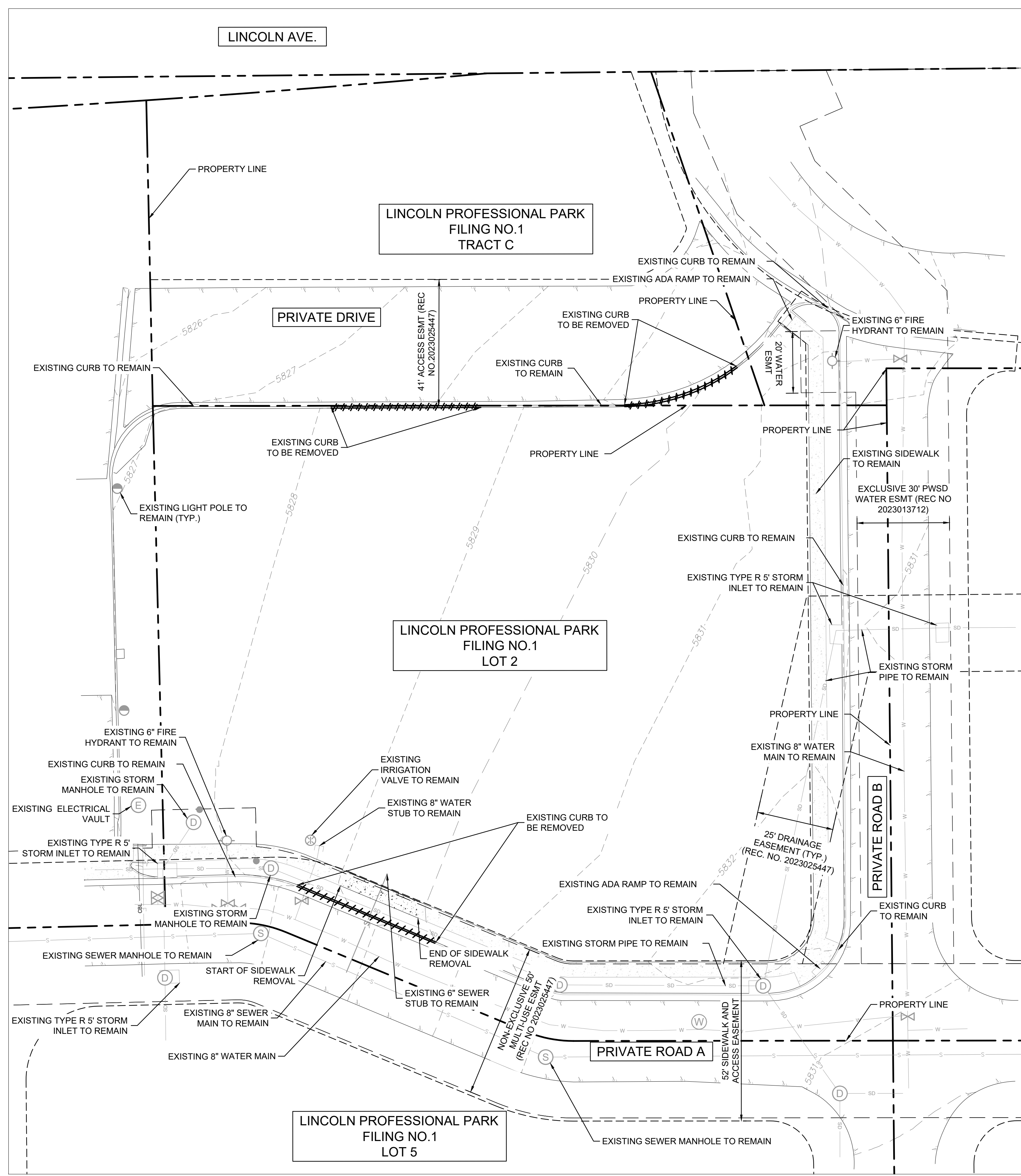
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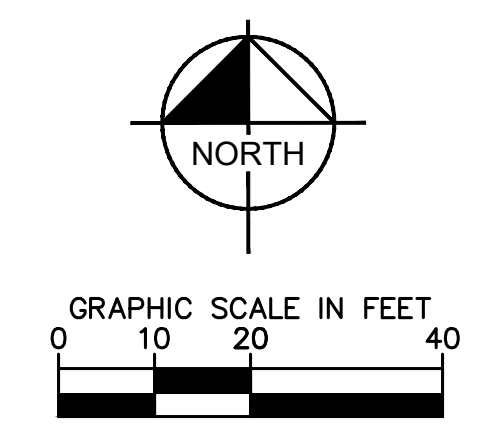


LEGEND

PROPERTY LINE	---
EASEMENT	- - - - -
DEMO SITE ITEM	---
EXISTING UNDERGROUND ELECTRIC LINE	E E
EXISTING SANITARY SEWER LINE	S S
EXISTING STORM DRAIN LINE	SD SD
EXISTING WATER LINE	W W
EXISTING SEWER STRUCTURE	(S)
EXISTING STORM DRAIN STRUCTURE	(D)
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊗

NOTES:

1. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
2. KIMLEY-HORN DOES NOT REPRESENT THAT THE REPORTS AND SURVEYS REFERENCED ARE ACCURATE, COMPLETE, OR COMPREHENSIVE SHOWING ALL ITEMS THAT WILL NEED TO BE DEMOLISHED AND REMOVED.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF THE EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
4. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THERE MAY BE UNDERGROUND UTILITIES NOT DEPICTED ON THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. PRIOR TO COMMENCING CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES AND FIELD VERIFY ALL UNDERGROUND UTILITIES.
5. PRIOR TO DEMOLITION, PROPER PHASING OF EROSION CONTROL DEVICES AND MEASURES ARE TO BE INSTALLED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
8. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING, STORM INLET STRUCTURES OR ANY OTHER APPURTENANCE, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
11. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
12. DAMAGE TO ADJACENT PROPERTIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
13. PROVIDE FULL DEPTH SAW CUTS AT EDGES OF EXISTING PAVEMENT AND SIDEWALK REMOVAL LOCATIONS.
14. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.



NO.	REVISION	BY	DATE

Kimley»Horn
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 6200 South Syracuse Way, Suite 300
 Greenwood, Colorado 80111 (303) 228-2300

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 DRAWN BY: KNP
 CHECKED BY: KEW
 DATE: 8/4/25

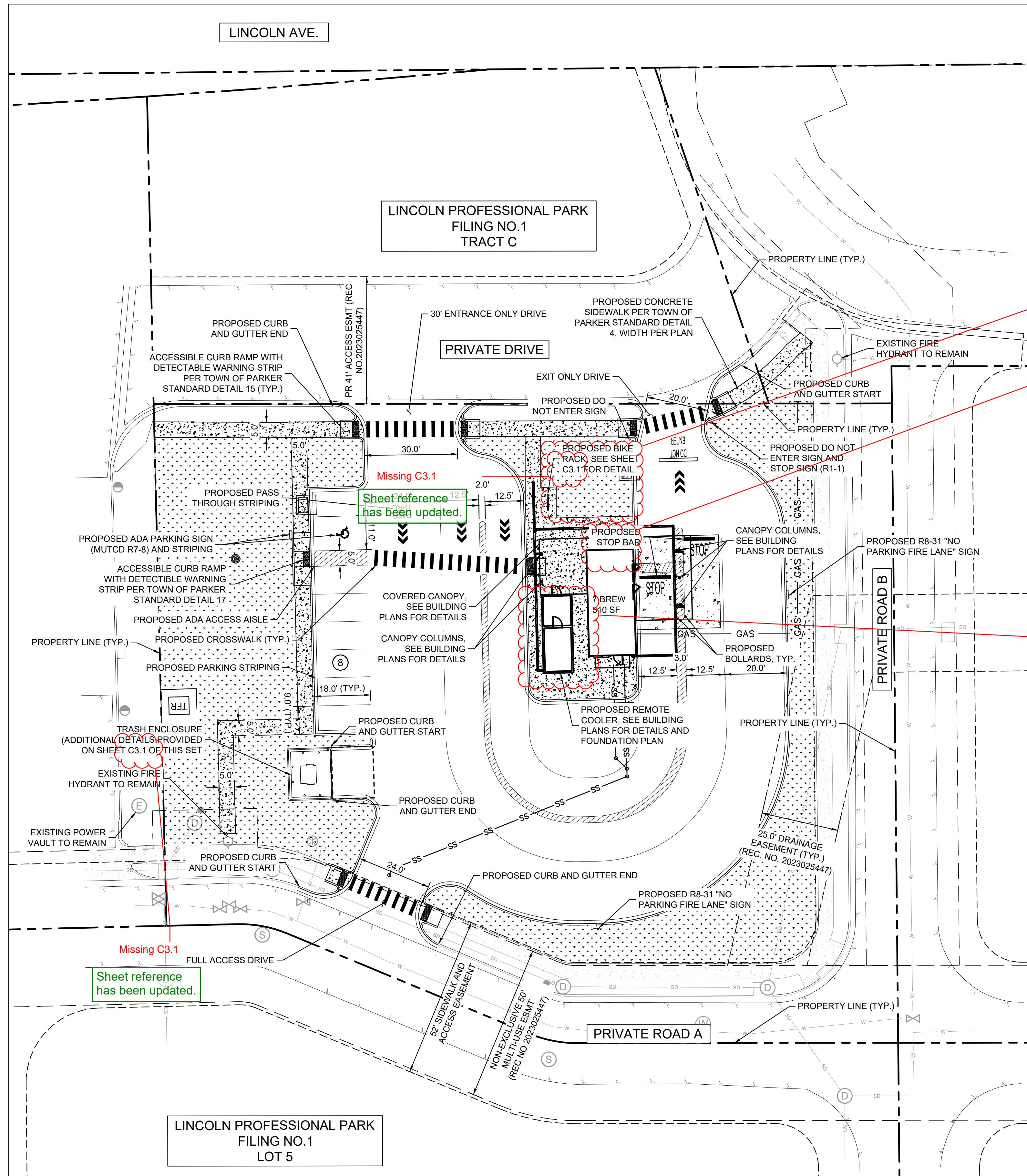
LINCOLN PROFESSIONAL PARK FILING NO. 1
 LOT 2, PARKER, CO
 7 BREW - SITE PLAN
 EXISTING CONDITIONS AND DEMO

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LEGEND

PROPERTY LINE	
CONCRETE SIDEWALK	
CURB AND GUTTER	
PROPOSED SIGNAGE	
EXISTING SANITARY SEWER MANHOLE	
PROPOSED WATER METER	
EXISTING FIRE HYDRANT	
PROPOSED STOP BAR	
PROPOSED TRAFFIC DIRECTION ARROW	
PROPOSED CROSSWALK	

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL PARKING STALL STRIPING IS TO BE 4" SOLID WHITE.
 3. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. BUILDING, MECHANICAL EQUIPMENT, SITE LIGHTING, AND SIGNS ARE SHOWN HEREON FOR REFERENCE ONLY. REFER TO CONSTRUCTION PLANS OF THOSE ITEMS FOR LOCATIONS AND DETAILS.
 5. A SEPARATE SIGN PERMIT TO BE PROVIDED FOR ALL SIGNAGE PROPOSED.
 6. ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND LOCAL CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND LOCAL LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 7. ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY "COLORADO 811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 9. CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER CDOT AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 10. CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING CONDITIONS DO NOT MATCH INFORMATION ON PLANS.
 11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING PERMISSION MUST BE CONFIRMED WITH THE SITE SPECIFIC GEOTECHNICAL REPORT PAVEMENT RECOMMENDATIONS.

LOT 2 SITE DATA TABLE

LOT 2 SITE AREA	45,833 SQ FT / 1.05 AC	
	REQUIRED	PROVIDED
ZONING	MULTI-USE COMMUNITY	
BUILDING	SINGLE STORY - 510 SF	
LANDSCAPE AREA	SEE SHEET 10 FOR LANDSCAPE CALCULATIONS	
BUILDING SETBACK:		
INTERNAL LOT LINE (W)	5'	123'
PRIVATE DRIVE (N) (FRONT)	25'	41'
PRIVATE ROAD B (E)	10'	68'
PRIVATE ROAD A (S)	8'	94'
BUILDING HEIGHT	45' MAX	19.3'
PARKING SPACES	2	8
ACCESSIBLE SPACES	1	1
BICYCLE SPACES	1*	6

* = BICYCLE SPACES REQUIRED IS CALCULATED AS 10% OF PARKING SPACES. THERE ARE 8 PARKING SPACES

Add a cement plaza with tables and trash receptacle to meet Publicly Accessible Spaces objective of DDS.

A cement plaza, table, and trash receptacle has been proposed.

Crosswalks need to be textured or raised with reflective paint per VIII.F.1.g of DDS.

Crosswalk specification note added below the detail.

Add walk up window for functionality objective of DDS

Proposed walk up window has been labeled.

Needs to be attached. Can not be more than 25% developed site per LOD 13.05.050(d)(8)

Cooler location updated per discussion with planner to be directly adjacent to the building.

Missing C3.1
Sheet reference has been updated.

Missing C3.1
Sheet reference has been updated.

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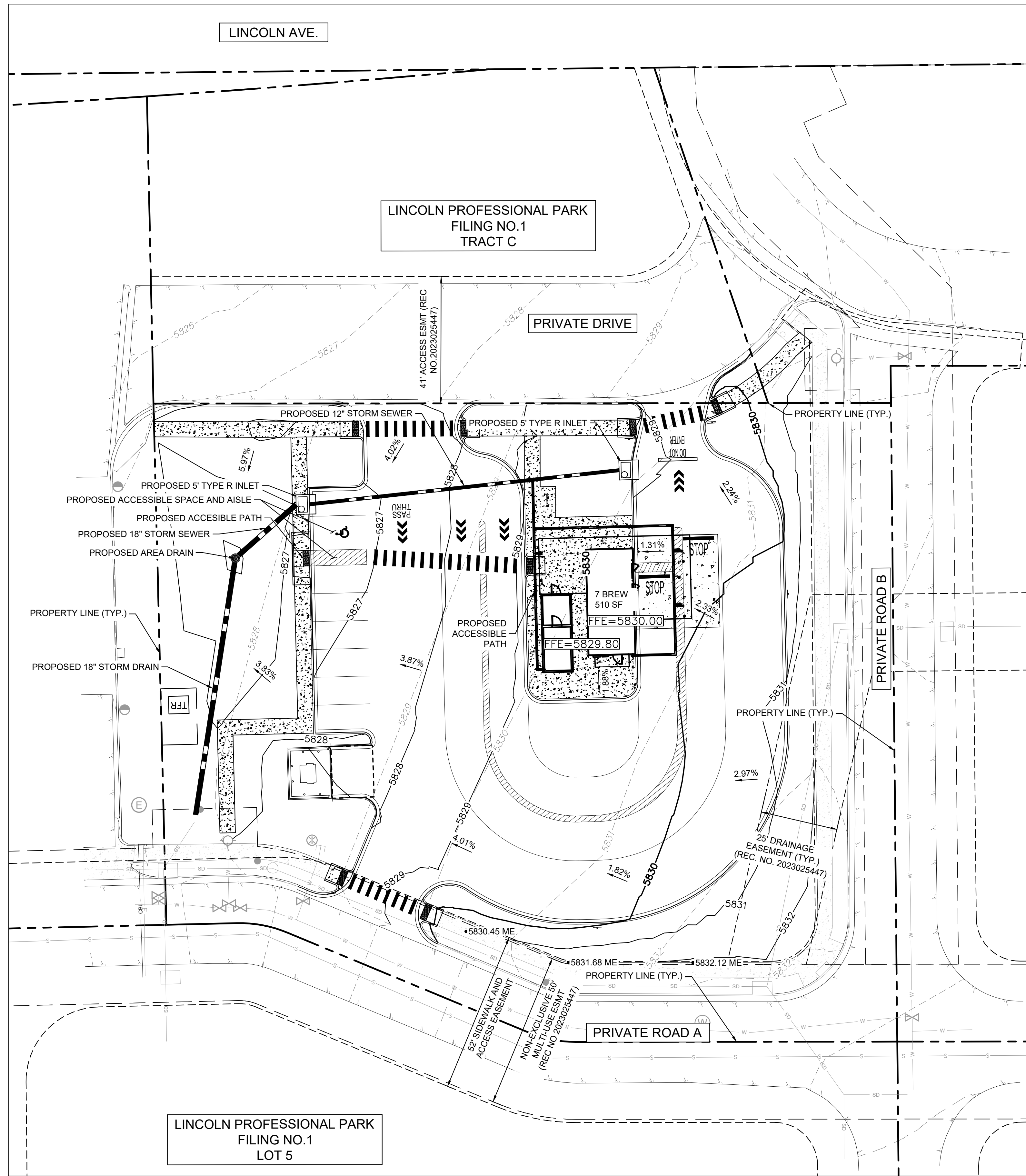
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 7 BREW - SITE PLAN
 SITE PLAN

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LEGEND

PROPERTY LINE	---
BUILDING OUTLINE	—
PROPOSED CONTOUR	—100— 99—
EXISTING CONTOUR	- - -100 - - - 99 - - -
EXISTING STORM LINE	—
EXISTING GAS LINE	— GAS — GAS —
EXISTING SANITARY SEWER LINE	— S — S —
EXISTING WATER LINE	— W — W —
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING SANITARY SEWER CLEANOUT	⊙
PROPOSED WATER BENDS	└┘
PROPOSED WATER METER	⊙

NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. NO EARTHEN SLOPE SHALL BE GREATER THAN 2:1, UNLESS OTHERWISE NOTED.
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
5. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
6. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
7. EXISTING AND PROPOSED TOPOGRAPHY ARE SHOWN AT ONE-FOOT CONTOUR INTERVALS.
8. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. THE TOP BACK OF CURB SHALL BE 0.5- FEET ABOVE FLOWLINE ELEVATIONS.

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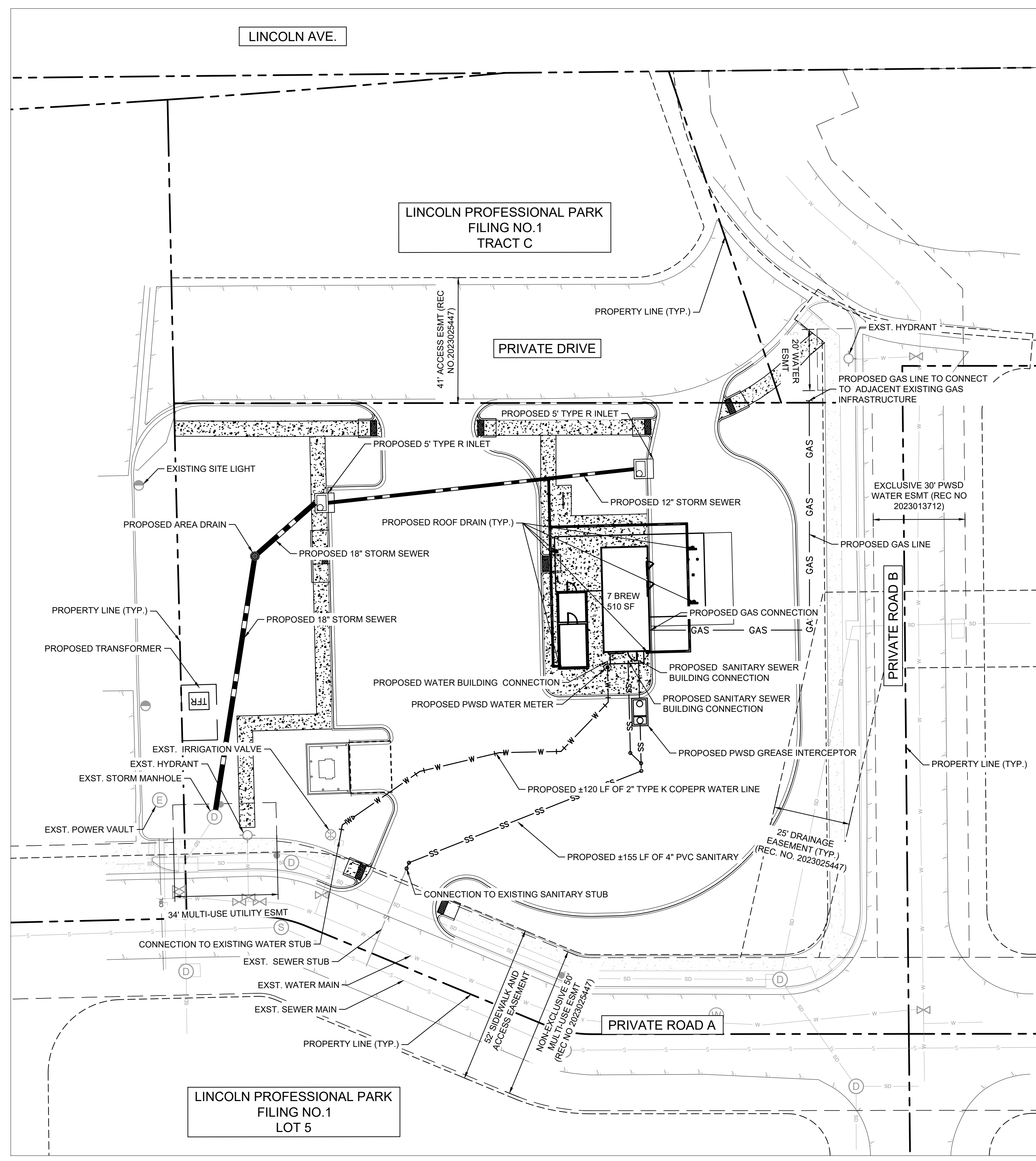
LINCOLN PROFESSIONAL PARK FILING NO. 1
 LOT 2, PARKER, CO
 7 BREW - SITE PLAN
 GRADING PLAN

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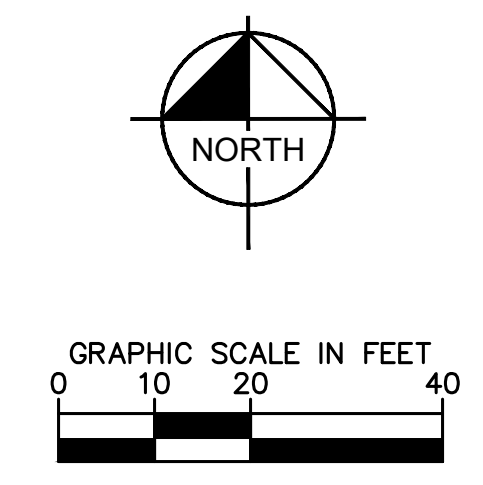
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LEGEND

PROPERTY LINE	---
EASEMENT	---
BUILDING OUTLINE	---
PROPOSED GAS LINE	— GAS — GAS —
PROPOSED SANITARY SEWER LINE	— S — S —
PROPOSED WATER LINE	— W — W —
PROPOSED STORM LINE	— SD — SD —
EXISTING GAS LINE	— GAS — GAS —
EXISTING SANITARY SEWER LINE	— S — S —
EXISTING WATER LINE	— W — W —
EXISTING STORM LINE	— SD — SD —
PROPOSED CONTOUR	100 — 99 —
EXISTING CONTOUR	100 —
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING STORM MANHOLE	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING SEWER CLEANOUT	⊙
EXISTING WATER VALVE	⊙
EXISTING STORM DRAIN STRUCTURE	⊙
PROPOSED WATER BENDS	⊙
PROPOSED STORM CURB INLET	⊙
PROPOSED STORM AREA INLET	⊙
PROPOSED WATER METER	⊙

- NOTES:**
- UTILITY CONNECTIONS TERMINATE 5' FROM BUILDING ENVELOPE. SEE ARCHITECT AND MEP PLANS FOR CONTINUATION.
 - ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.
 - CONTRACTOR TO CONFIRM ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
 - ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICES LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.



<p>Lincoln Professional Park Filing No. 1 LOT 2, PARKER, CO 7 BREW - SITE PLAN OVERALL UTILITY PLAN</p>	<p>Kimley»Horn <small>© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood, Colorado 80111 (303) 228-2300</small></p>
<p>DESIGNED BY: MMR DRAWN BY: KNP CHECKED BY: KEW DATE: 8/4/25</p>	<p>PROJECT NO. 296237001</p> <p>SHEET 296237001_00</p> <p style="text-align: center;">5</p>



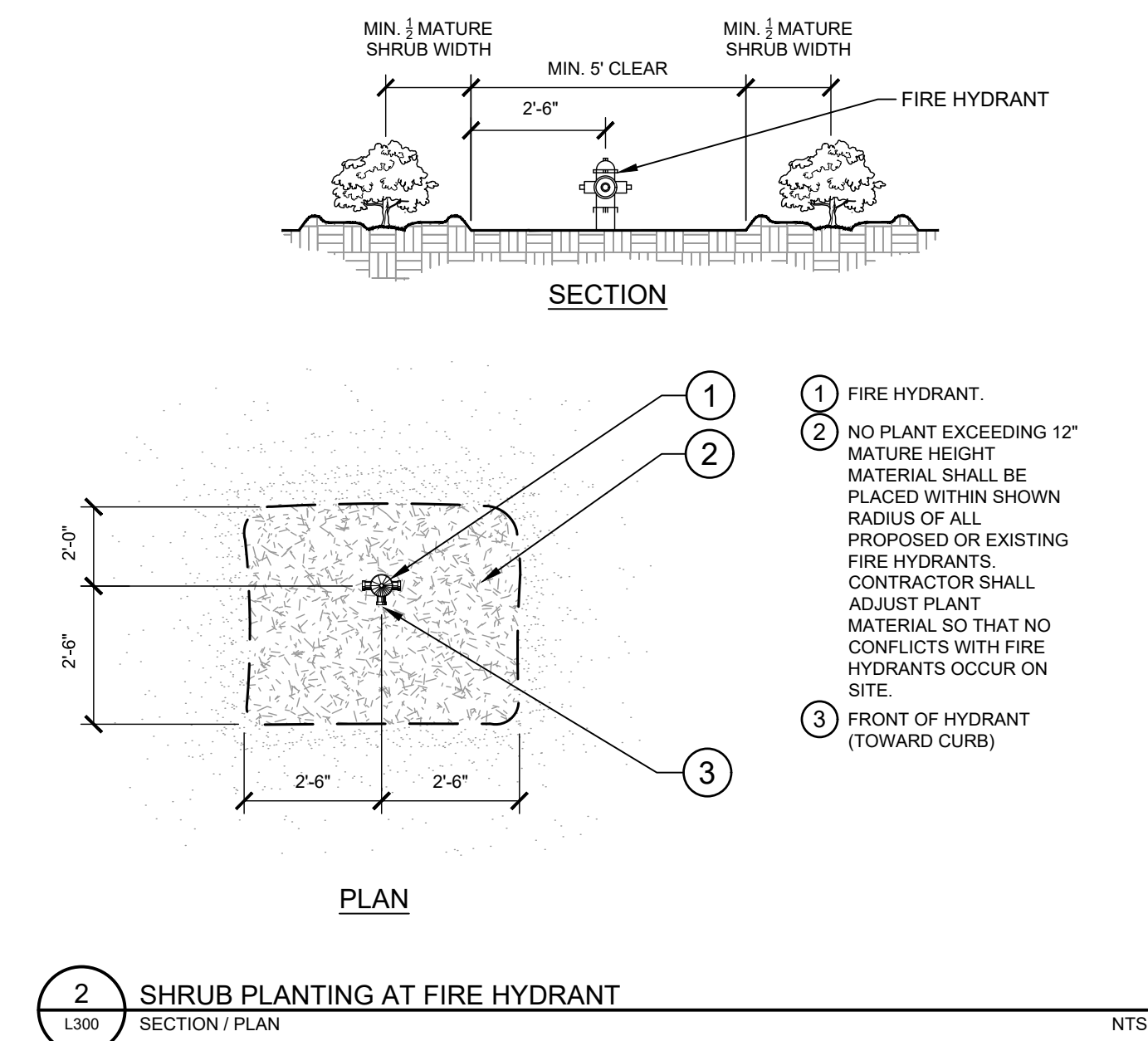
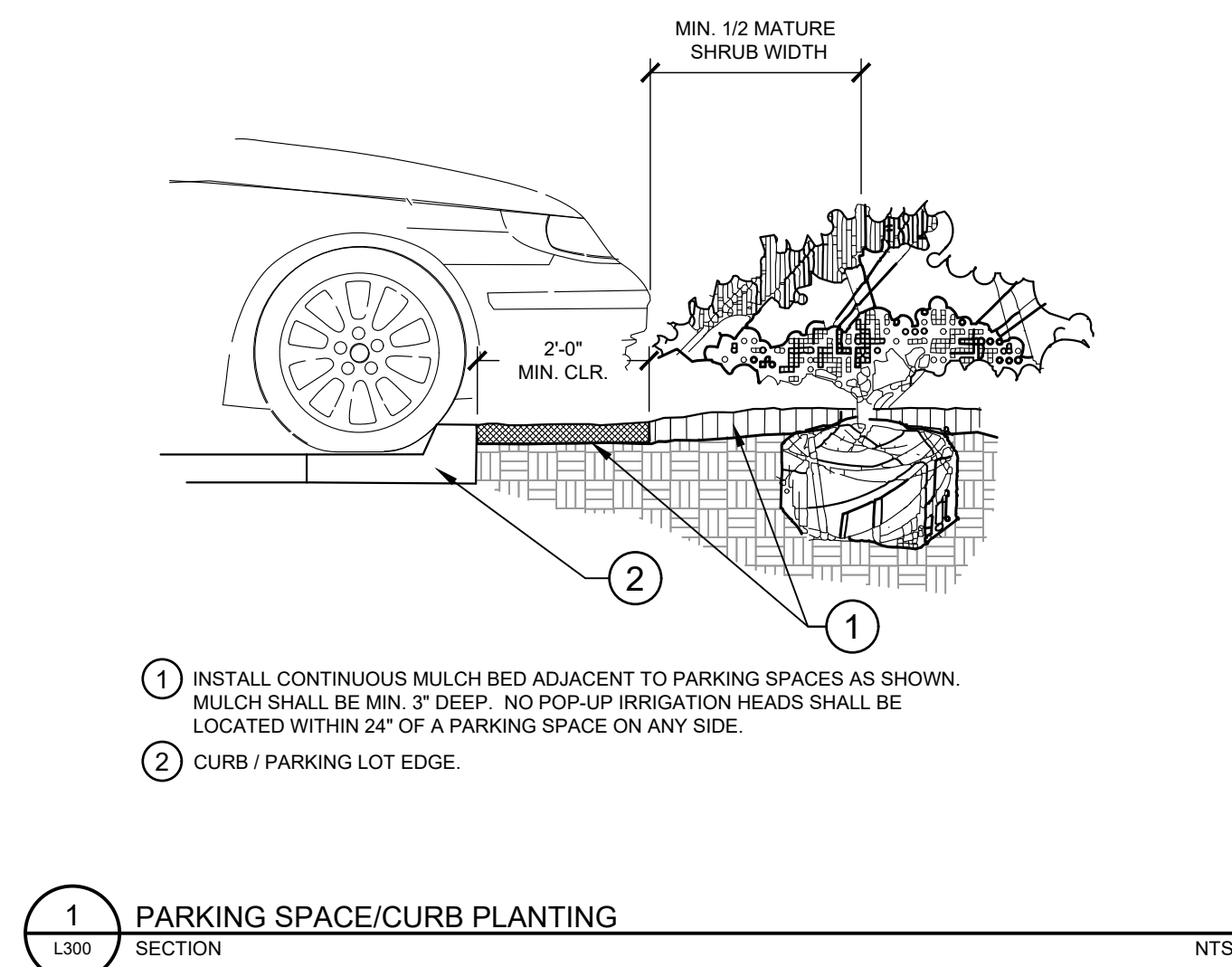
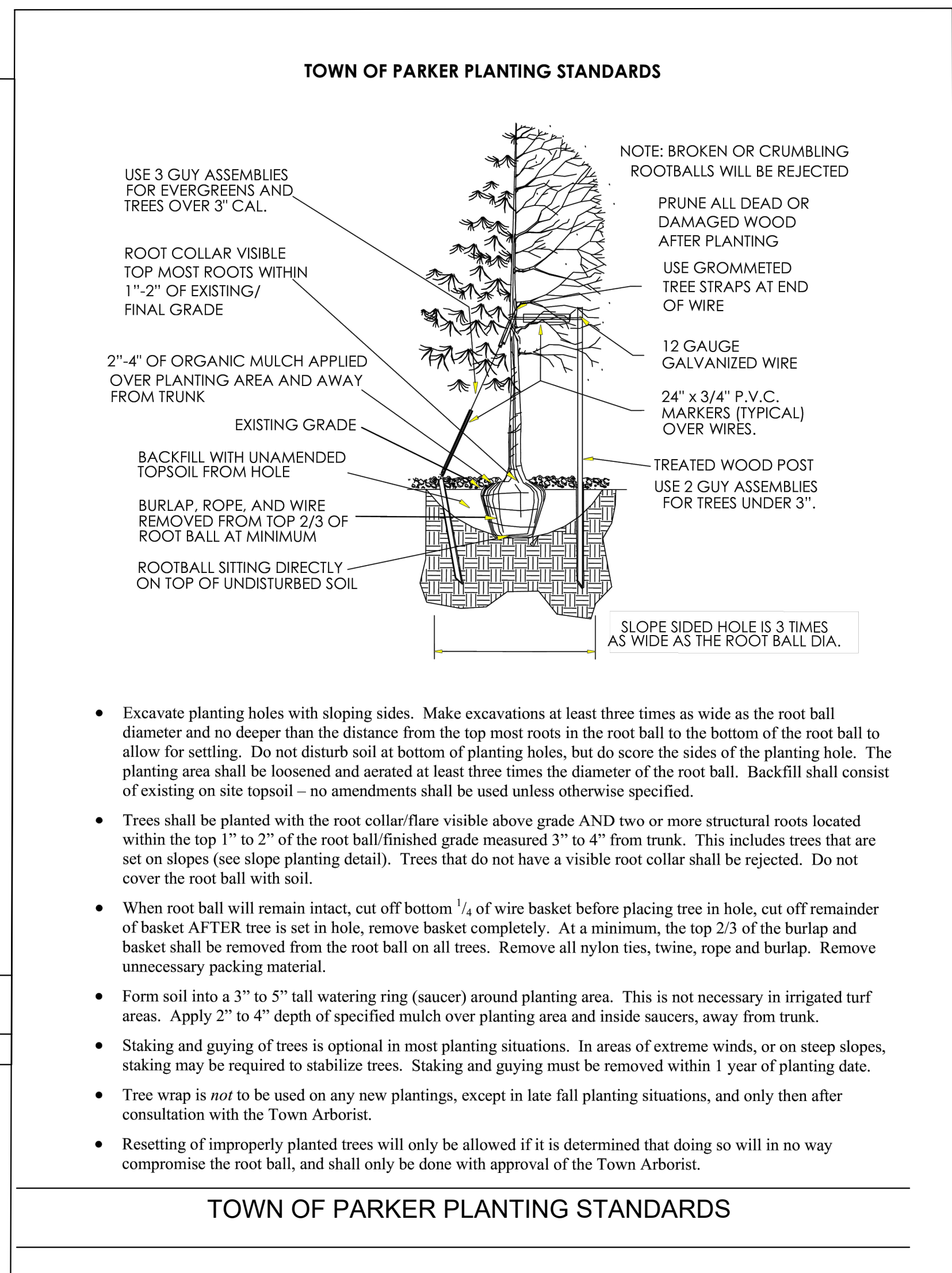
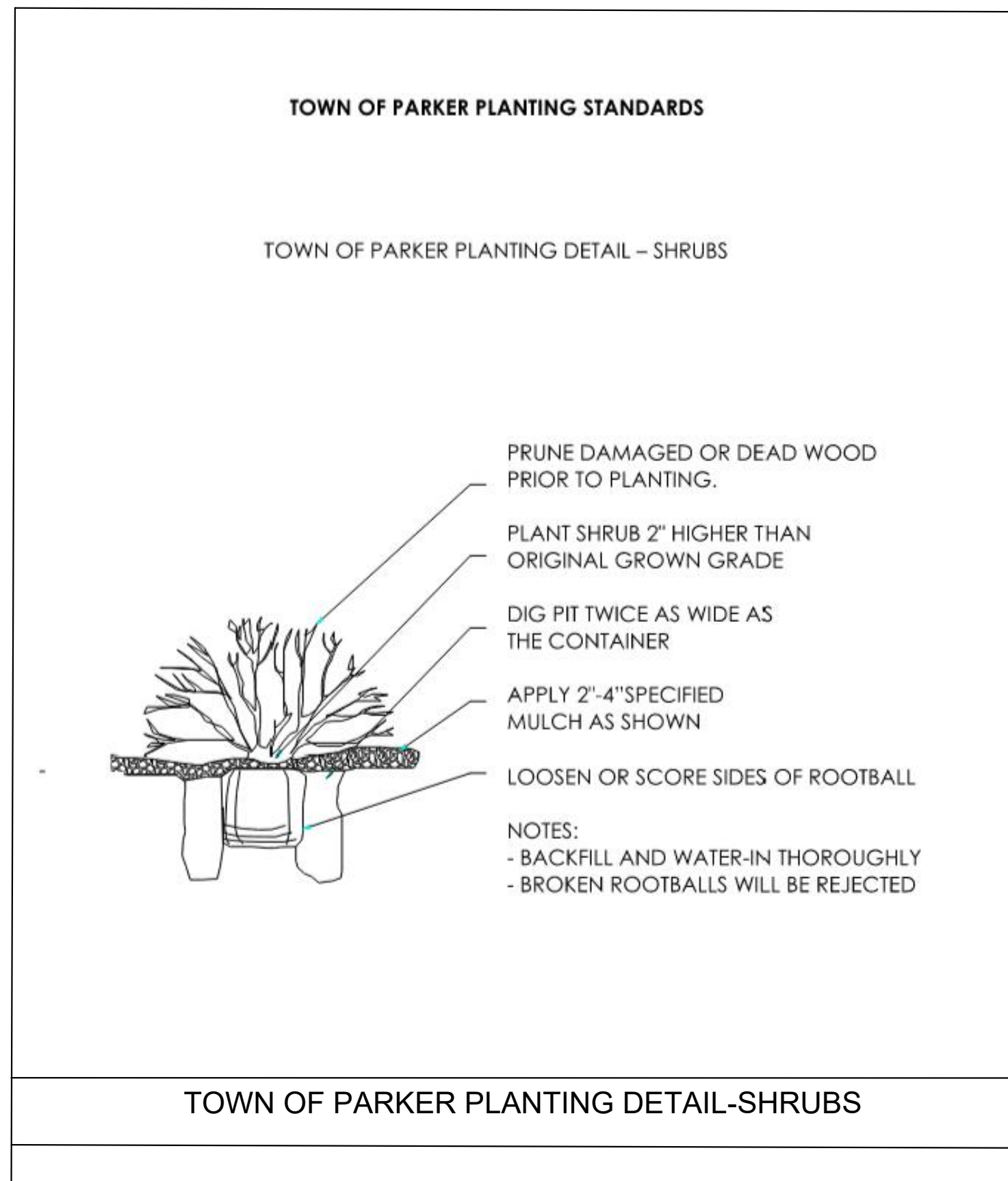
TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES

- ALL PLANTING SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD. THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNER'S ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATER, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OR THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL, CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)

- 25% EPHRAIM CRESTED WHEATGRASS
- 23% SHEEP FESCUE
- 18% PERENNIAL RYEGRASS
- 13% CANADA BLUEGRASS
- 12% BARLEY OR OATS
- 9% BLUE FESCUE

LANDSCAPE REQUIREMENTS			
PROPERTY ACERAGE: 1,052 ACRES (42,826 SF)			
13.08.090 OVERALL LANDSCAPE REQUIREMENTS	AMOUNT	REQUIRED	PROVIDED
PERCENTAGE OF LANDSCAPING	42,826 SF	6,878 SF (15%)	11,652 SF (27%)
PERCENTAGE OF LIVING MATERIAL	11,652 SF	8,739 SF (75%)	8,740 (75%)
TREES AND SHRUBS PER 1,500 SF	6,878 SF	5 TREES & 23 SHRUBS	26 TREES & 143 SHRUBS
13.08.090 (F) PARKING LOT INTERIOR LANDSCAPING	AMOUNT	REQUIRED	PROVIDED
10% SHALL BE ALLOCATED TO PARKING ISLANDS	2,843 SF	285 SF (10%)	392 SF (13%)
1 TREE & 5 SHRUBS PER 162 SF			
PARKING ISLAND 1	291 SF	1 TREE & 13 SHUBS	1 TREE & 13 SHRUBS
PARKING ISLAND 2	101 SF	1 TREE & 5 SHRUBS	1 TREE & 5 SHRUBS
13.08.090 (G) SITE PEREMITER REQUIREMENTS	AMOUNT	REQUIRED	PROVIDED
1 TREE & 5 SHRUBS PER 30 LF			
NORTH SIDE	212 LF	7 TREES & 35 SHRUBS	7 TREES & 39 SHRUBS
EAST SIDE	197 LF	7 TREES & 33 SHRUBS	7 TREES & 35 SHRUBS
SOUTH SIDE	213 LF	7 TREES & 36 SHRUBS	7 TREES & 46 SHRUBS
WEST SIDE	133 LF	5 TREES & 23 SHRUBS	5 TREES & 23 SHRUBS
13.08.090 (E) STREET TREE REQUIREMENTS	AMOUNT	REQUIRED	PROVIDED
1 TREE PER 35 LF			
75% LIVE COVERAGE			
NORTH: PRIVATE DRIVE	164 LF	5 TREES	5 TREES



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LINCOLN PROFESSIONAL PARK FILING NO. 1
 LOT 2, PARKER, CO
 7 BREW - CONSTRUCTION DOCUMENTS
 LANDSCAPE NOTES

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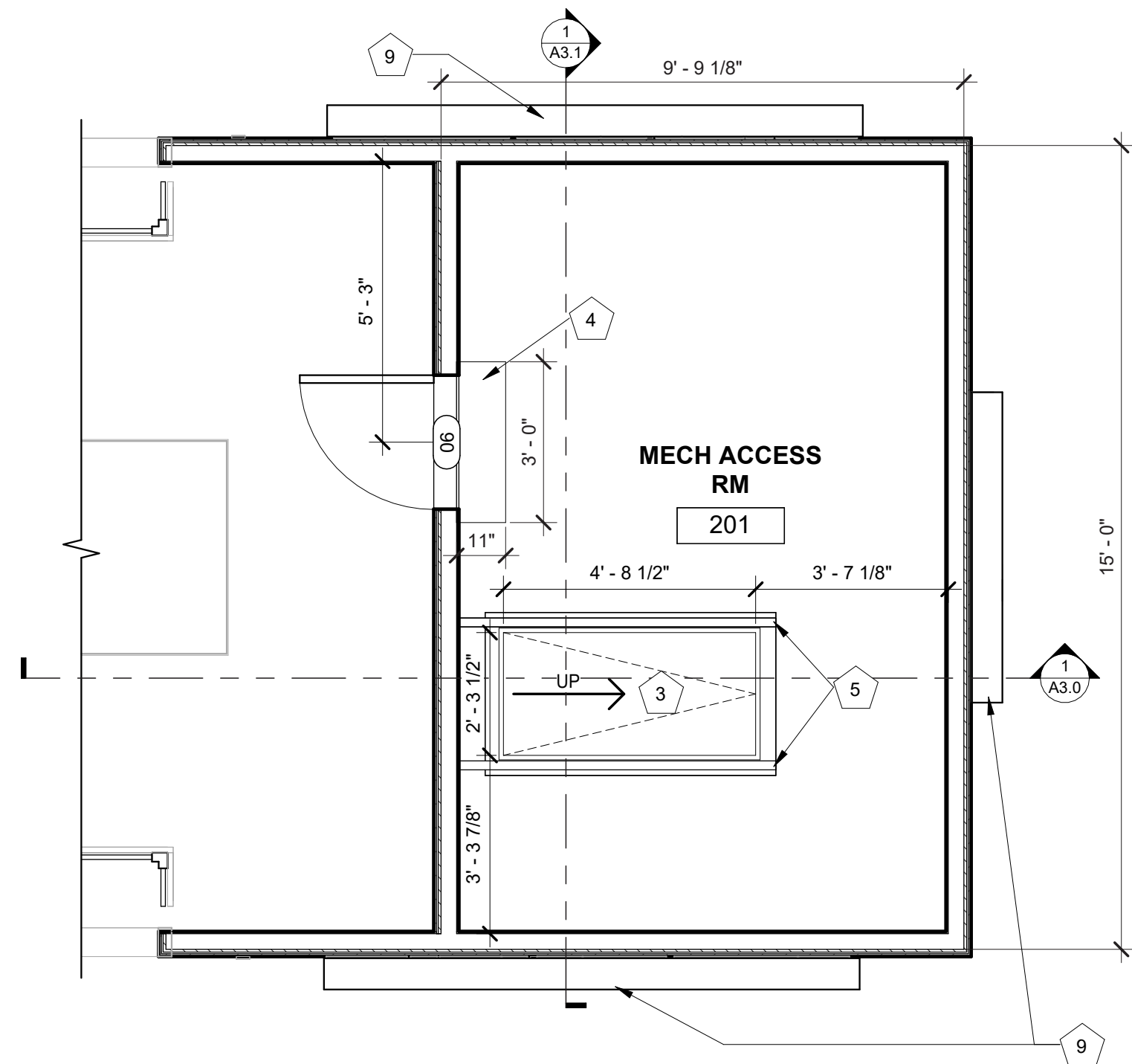
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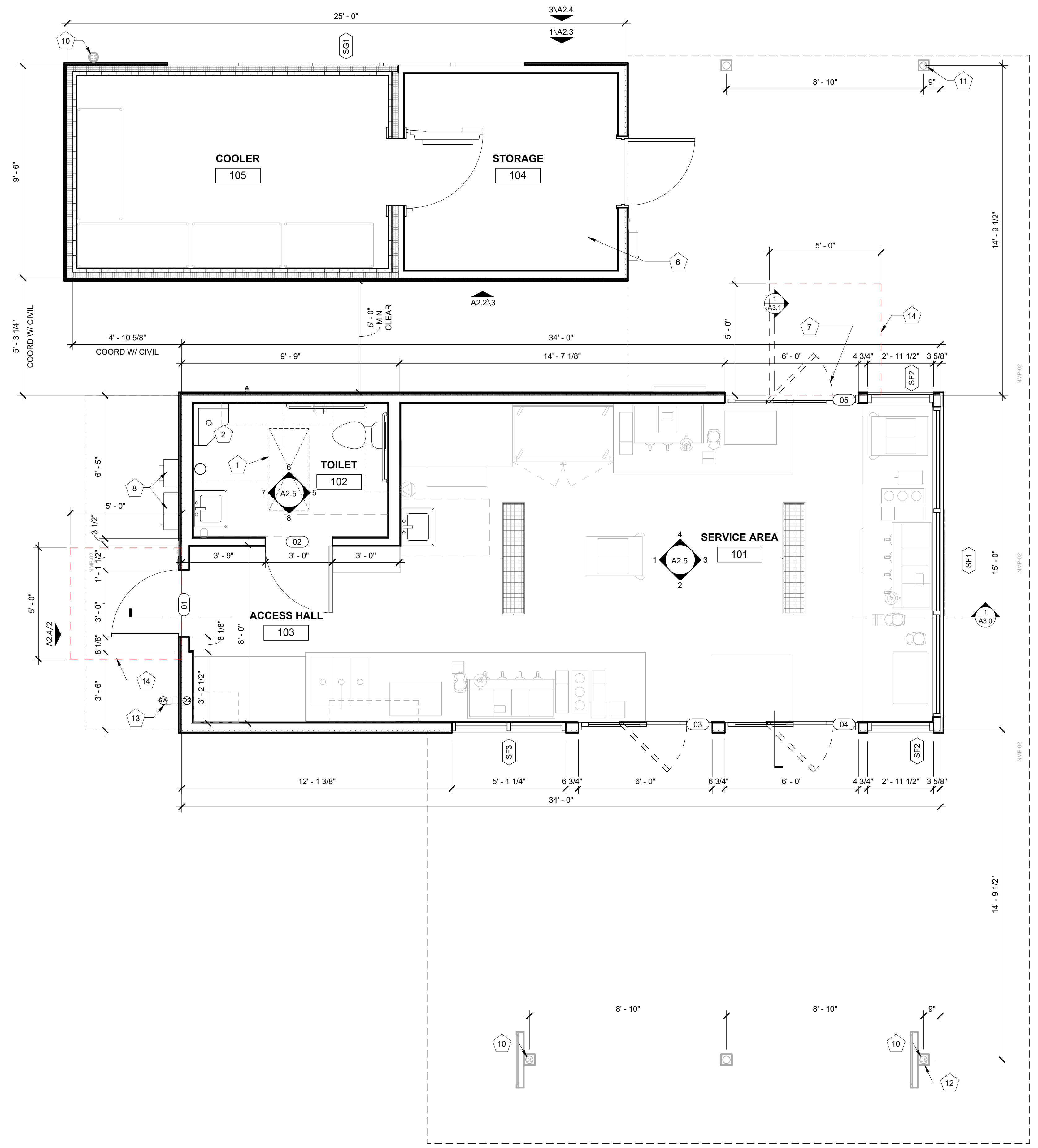
sheet contents:
FLOOR PLAN

sheet no.:
A1.2

FLOOR PLAN KEYNOTES	
MARK	DESCRIPTION
1	ACCESS DOOR FOR CRAWL SPACE ACCESS
2	MOP SINK; REF PLUMBING
3	MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER
4	STEP, CENTER ON DOOR
5	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
6	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
7	ADA AUTO/MANUAL EGRESS CAPABLE
8	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
9	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
10	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
11	DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
12	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
13	DOWNSPOUT OUTLET - STORMWATER CONNECTION; COORD W/ CIVIL
14	FROST-PROTECTED EGRESS FOUNDATION PAD



2 MECH ACCESS RM
 3/8" = 1'-0"



1 FLOOR PLAN
 3/8" = 1'-0"



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 7 Brew Template V3.0
 2022-11-20_LAYOUT V04
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EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	SPANDREL GLASS

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6' ABOVE ATTIC FLOOR
10	KNOX BOX
11	HVAC EQUIPMENT
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	COOLER LOCK & CONTROLS
15	36" COOLER DOOR
16	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
17	SURFACE-MOUNTED LIGHTED SIGN BOX
18	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
19	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
20	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
21	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
24	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
25	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL

EXTERIOR ELEVATION MATERIALS SUMMARY		
NORTH ELEVATION - 341 SF TOTAL MAIN LEVEL FACADE AREA (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 60 % / 85 SF	PROPOSED 64% / 90 SF
BRICK	MIN 40 % / 56 SF	PROPOSED 36% / 51 SF

Materials board showed these both as Nichiha. Nichiha cannot be the dominant material. DDS Section X. Requires all facades of the building to be high quality durable material such as stone, brick or masonry.

Not allowed per DDS X.A.2.a. Replace with glass or framed glass.

Building materials have been switched to thin brick throughout

Traditional glazing is not able to be used as this is a cooler. As discussed in previous meeting, we are suggesting a mural in place of glazing to meet requirements.

Needs to be painted similar color as wall.
Downspouts to be painted to match surrounding building material and noted on drawings.

Light fixtures need to be added to ALL elevations.

Delete or note not part of site plan. Reviewed under separate permit.

It is noted on all sheets that all signage is permitted under a separate permit.

Per our conversation, we are using landscaping to shield cars from public in place of extending the canopies, as this is a hardship for us.

Needs to extend over two lanes.

Per our conversation, we are using landscaping to shield cars from public in place of extending the canopies, as this is a hardship for us.

Needs to expand over one lane.

It is noted on all sheets that all signage is permitted under a separate permit.

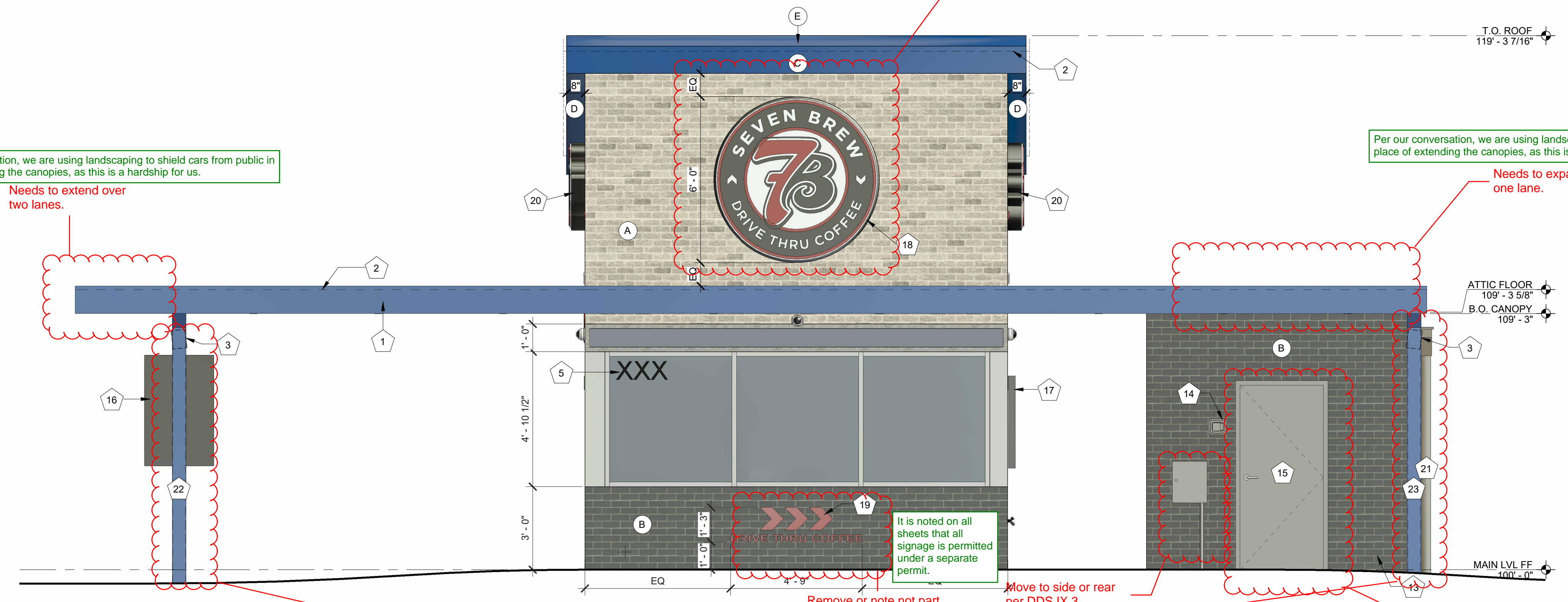
Remove or note not part of site plan, reviewed under separate permit.

Move to side or rear per DDS IX.3

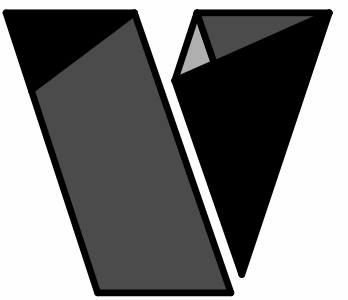
Relocated to the rear per discussion

Move to rear per DDS VIII.D.3.g. Service and loading shall be located in the rear.

Supports need to be wrapped with masonry similar to Maverick commercial building to the west.
All supports are shown with thin brick wraps to match the main building material.



1 EXTERIOR ELEVATION - NORTH
3/8" = 1'-0"



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LINCOLN & DRESDEN, PARKER, CO 80134

REVISIONS
No. Description Date

sheet issue date:
08/06/2025

project no.:
22.51.09

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:

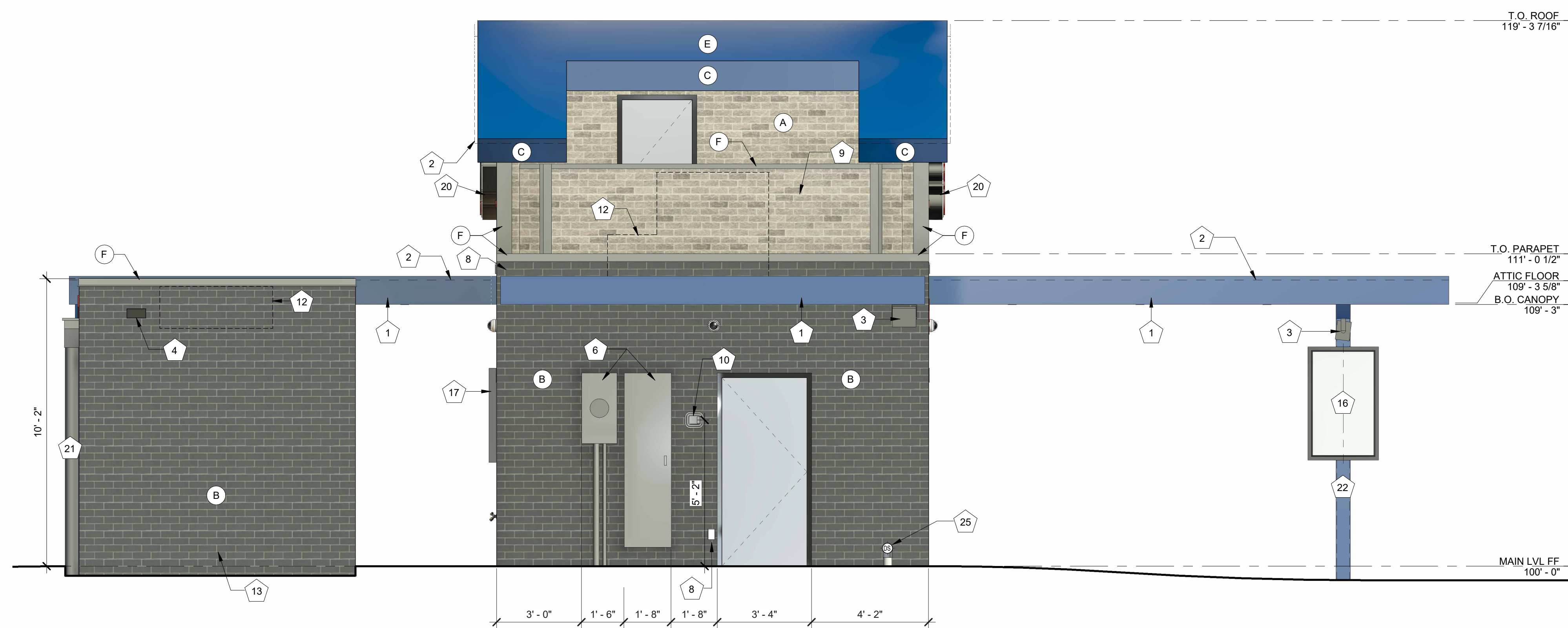
A2.1

EXTERIOR ELEVATION MATERIALS LEGEND	
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B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
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E	STANDING SEAM ROOF PANELS (MP-2)
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G	SPANDREL GLASS

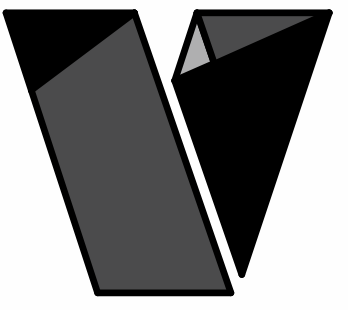
EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
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7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
10	KNOX BOX
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15	36" COOLER DOOR
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24	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
25	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL

The drive thru does not have speakers, employees take orders at window or from the line with a tablet.

Need to show speakers and other drive through equipment.



1 EXTERIOR ELEVATION - SOUTH
3/8" = 1'-0"



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22.51.09

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:
A2.2

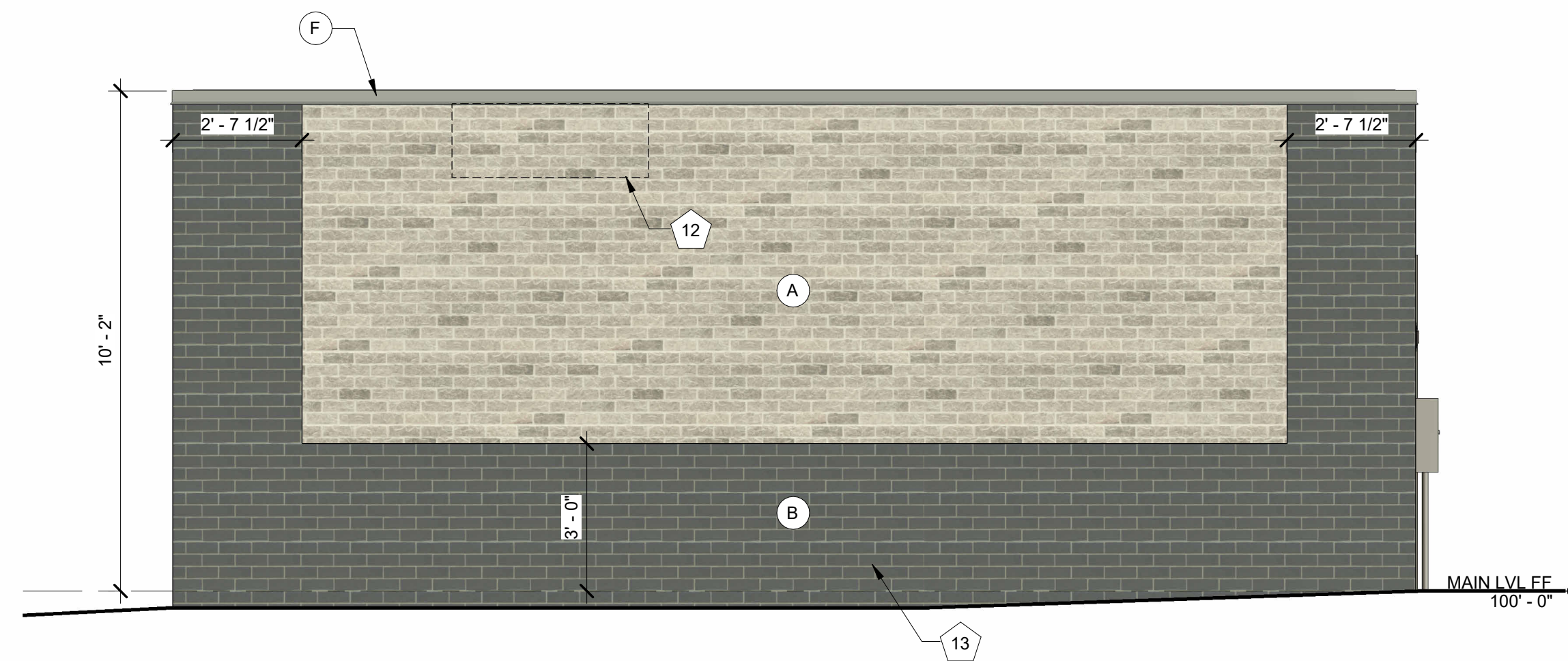
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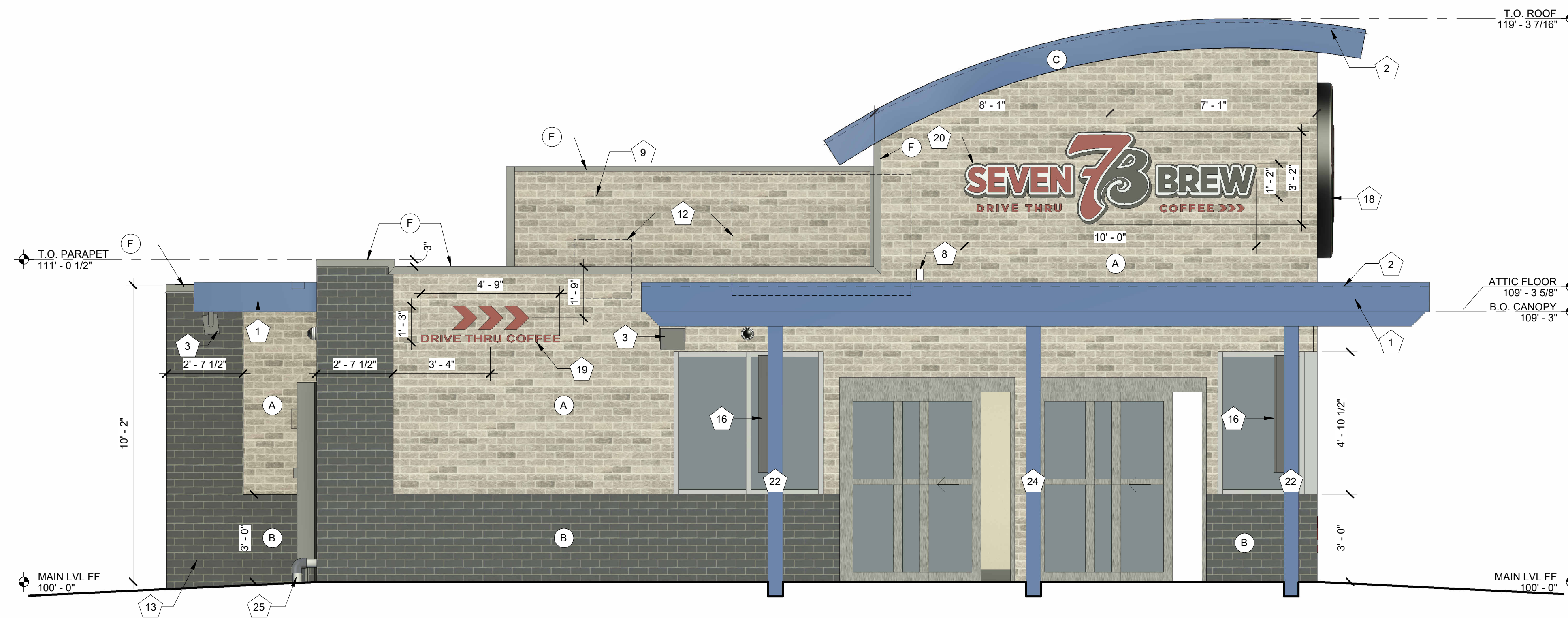
EXTERIOR ELEVATION MATERIALS SUMMARY		
EAST ELEVATION - 380 SF TOTAL MAIN LEVEL FACADE AREA (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 40 % / 120 SF	PROPOSED 41% / 123 SF
BRICK	MIN 60 % / 180 SF	PROPOSED 59% / 177 SF

Need colored elevation for trash enclosure including gates.

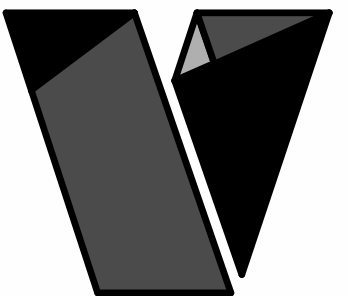
This is added to the set. See sheet A5.0.



3 COOLER ELEVATION - EAST
3/8" = 1'-0"



1 EXTERIOR ELEVATION - EAST
3/8" = 1'-0"



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22.51.09

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:

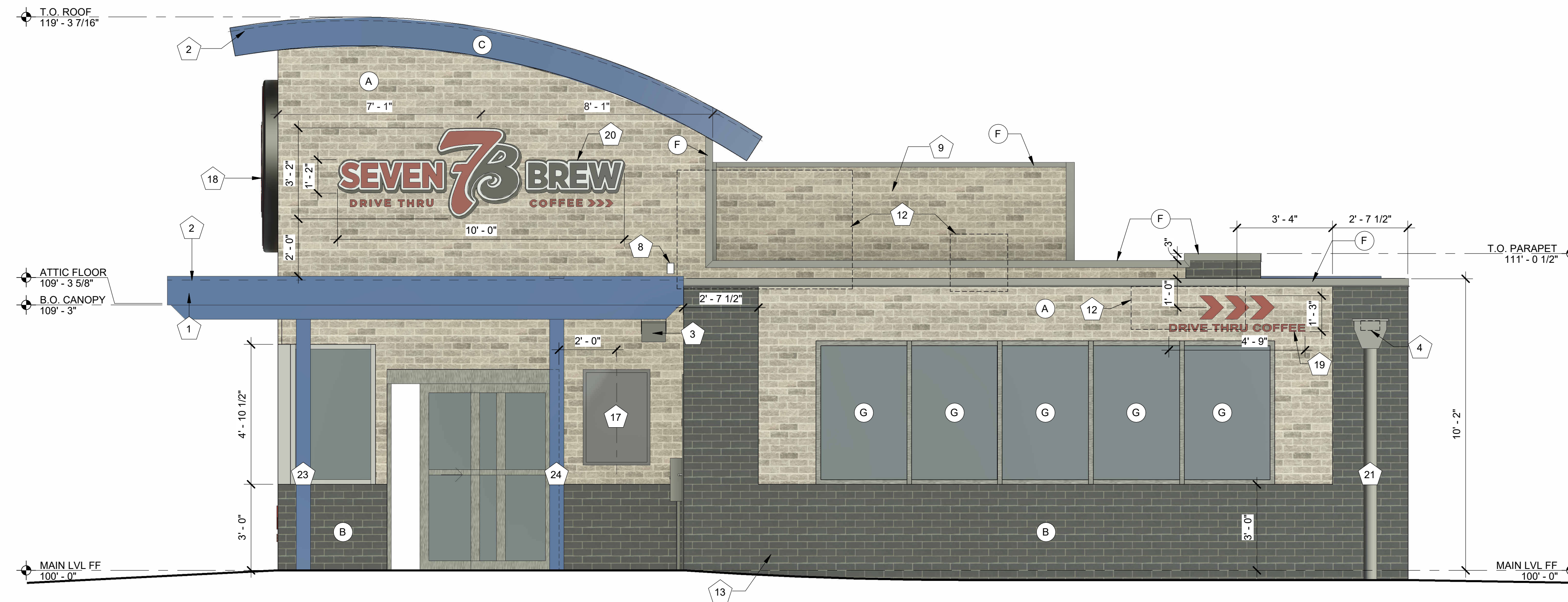
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EXTERIOR ELEVATION MATERIALS LEGEND

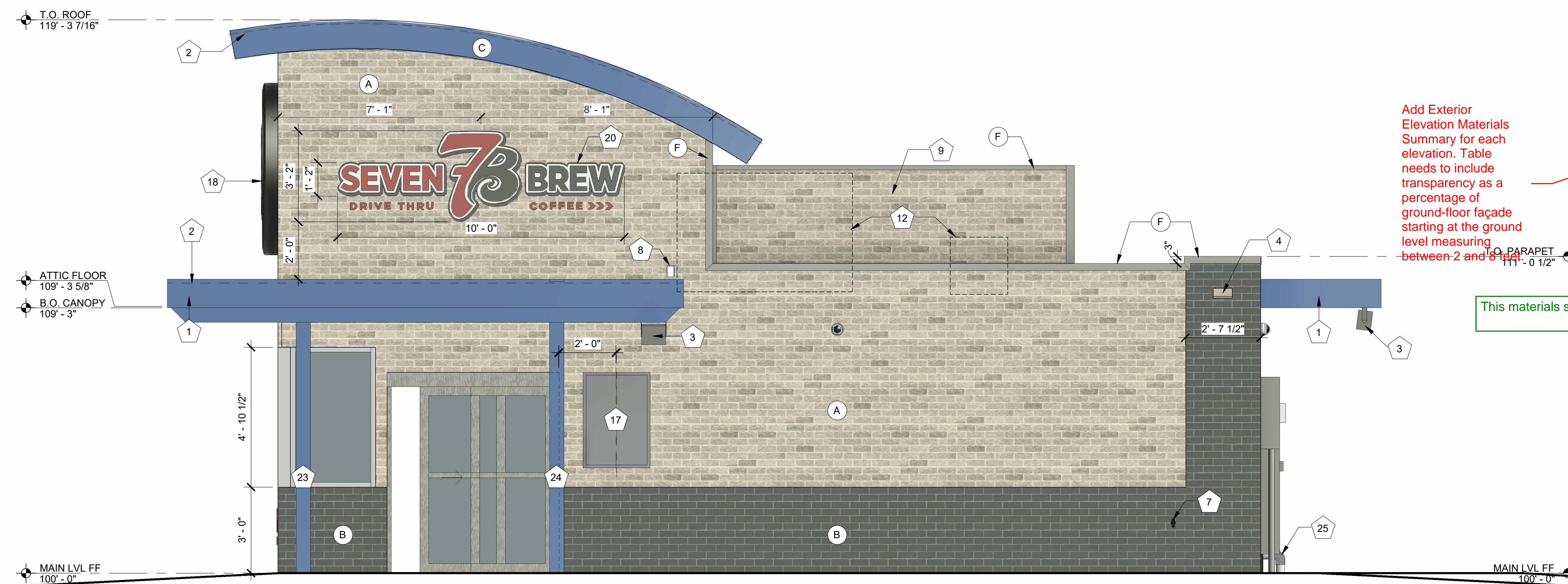
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25	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL



2 EXTERIOR ELEVATION - WEST W/ COOLER
3/8" = 1'-0"



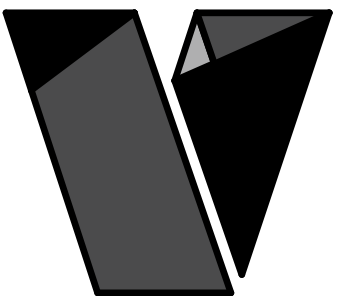
1 EXTERIOR ELEVATION - WEST
3/8" = 1'-0"

Add Exterior Elevation Materials Summary for each elevation. Table needs to include transparency as a percentage of ground-floor facade starting at the ground level measuring between 2 and 5 feet.

EXTERIOR ELEVATION MATERIALS SUMMARY		
WEST ELEVATION - 345 SF TOTAL MAIN LEVEL FACADE AREA (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 40 % / 138 SF	PROPOSED 41% / 142 SF
BRICK	MIN 60 % / 207 SF	PROPOSED 59% / 203 SF

This materials summary is located on each elevation and updated to this standard.

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7 Brew Template V3.0
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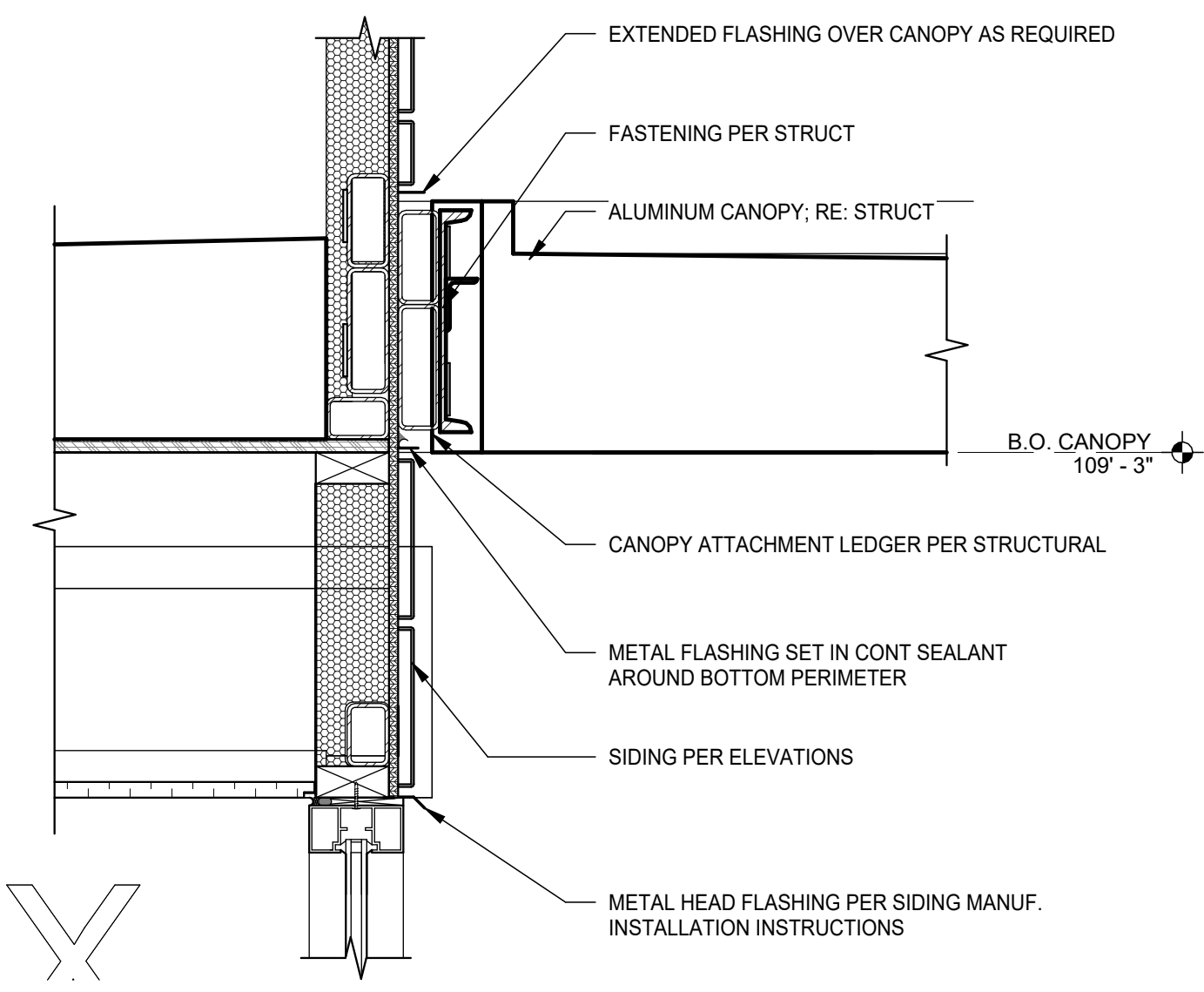
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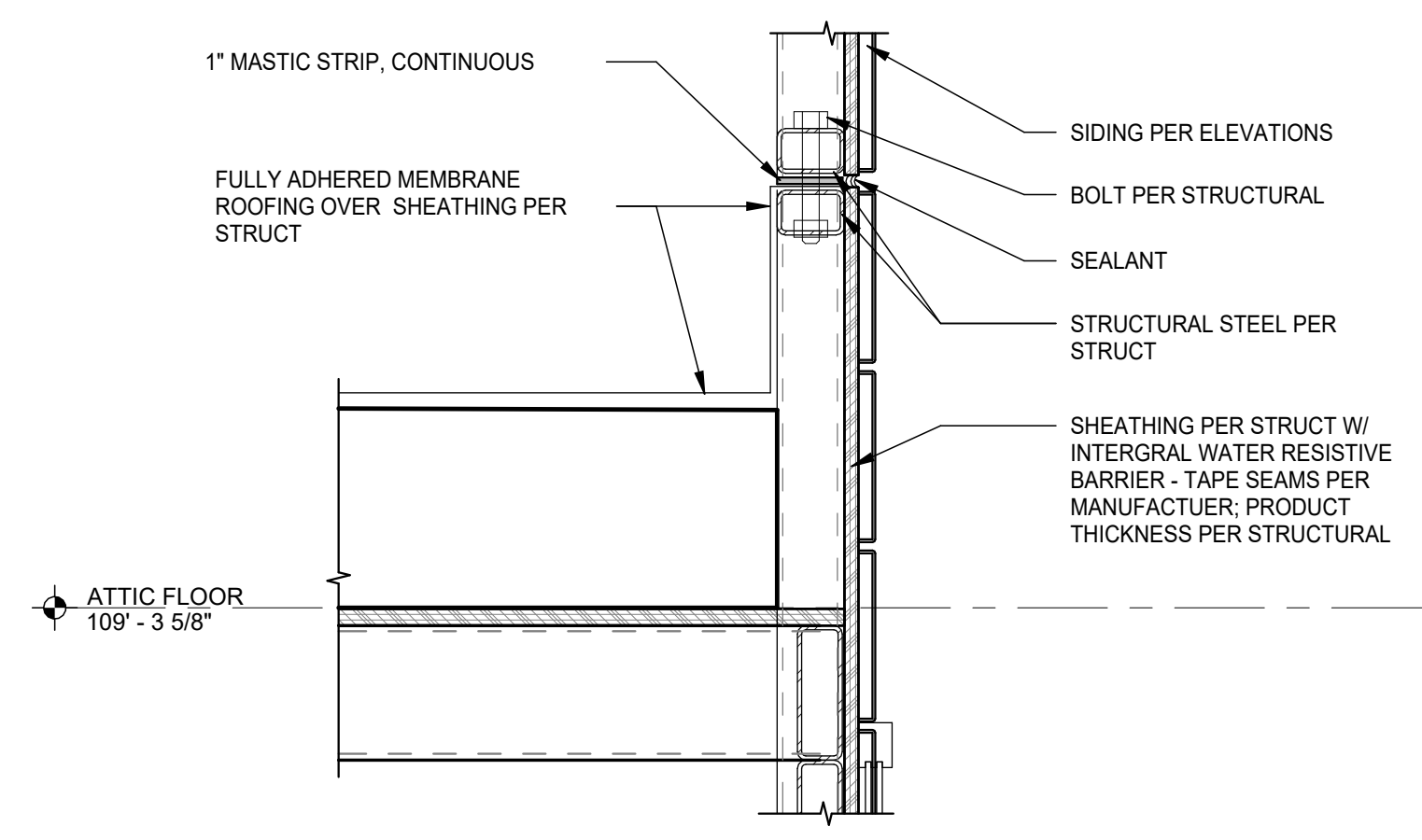
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22.51.09

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BUILDING SECTION

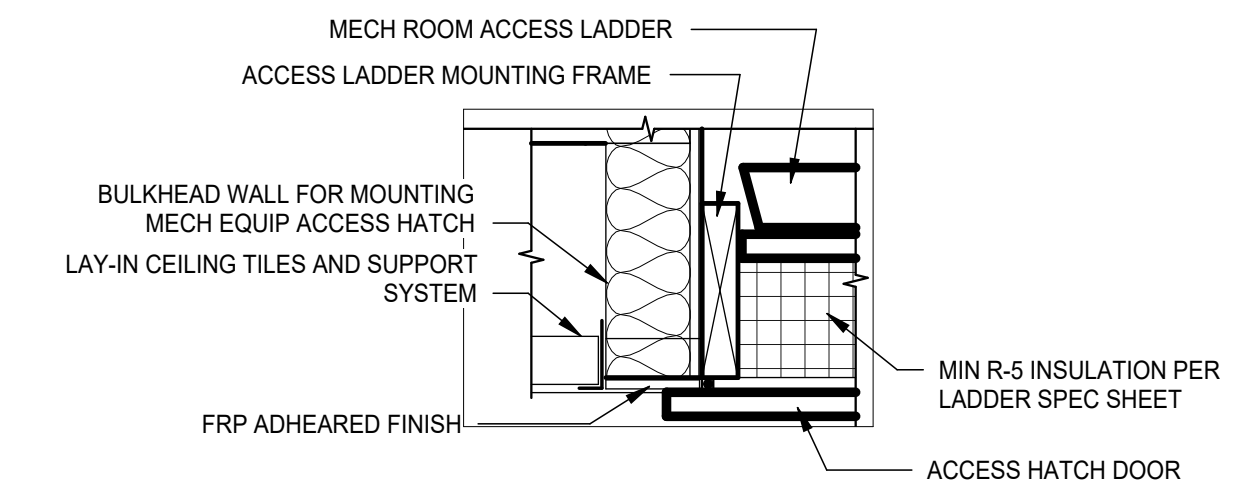
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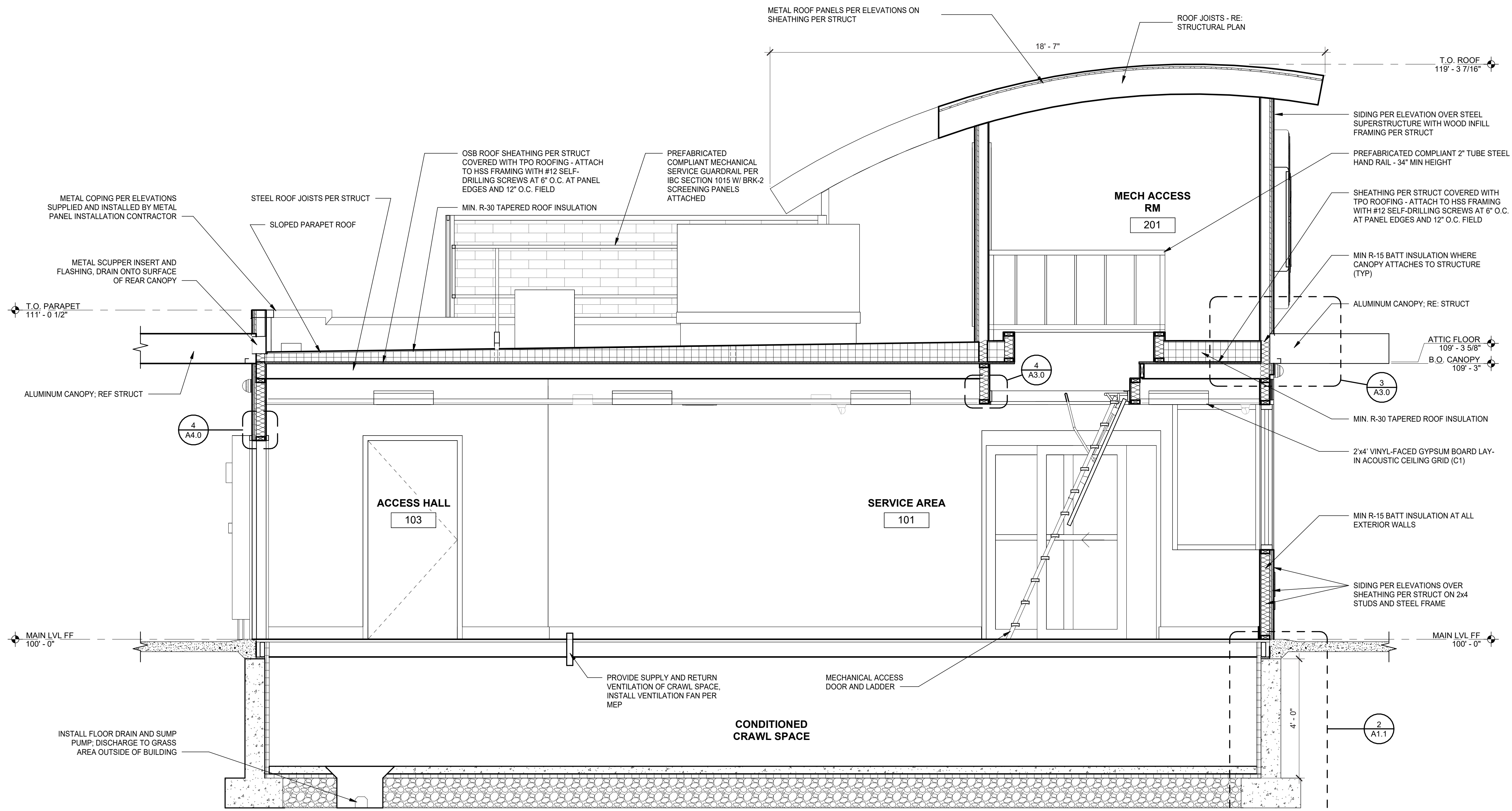
2 CANOPY CONNECTION
1 1/2" = 1'-0"



3 CONNECTION AT BASE/TOP
1 1/2" = 1'-0"

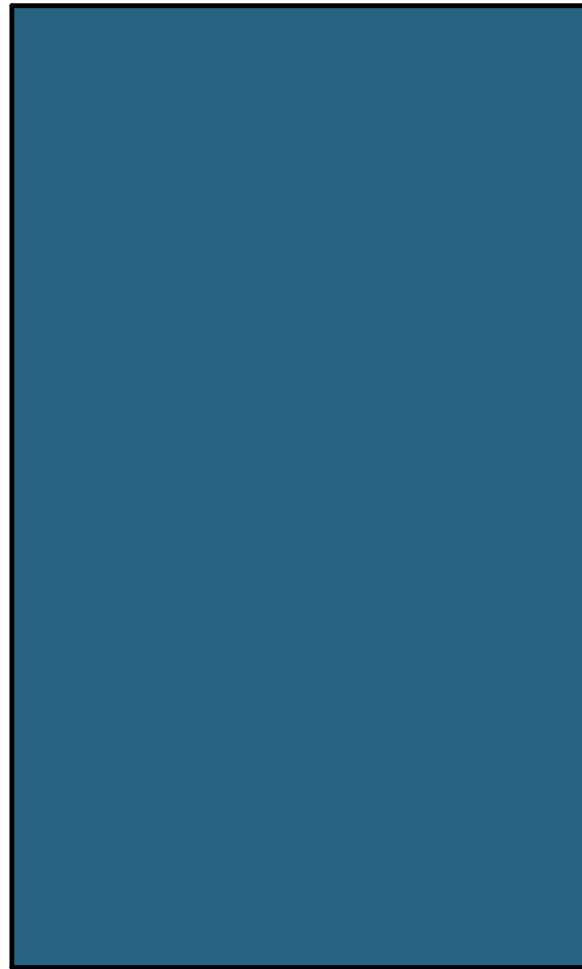


4 MECH ACCESS HATCH CONNECTION
1 1/2" = 1'-0"



1 BUILDING SECTION
1/2" = 1'-0"

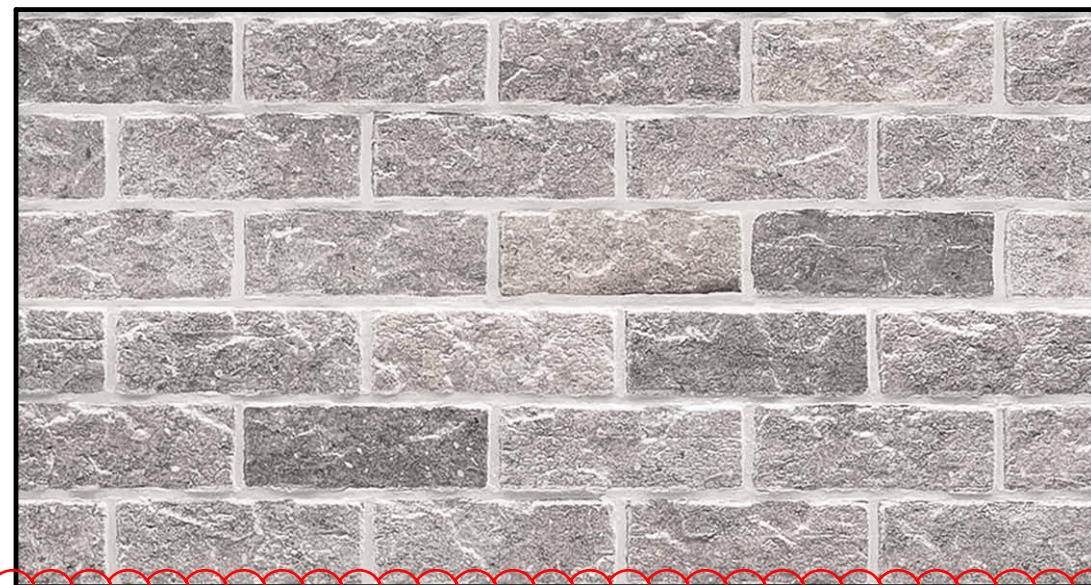
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BLUE METAL PANEL MP-2
BRAND: BERRIDGE
COLOR: ROYAL BLUE
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



COPING TRIM METAL MP-3
BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



FIBER-CEMENT PANEL SIDING - BRK-2
BRAND: NICHHA
COLOR: SHALE BROWN
FINISH: CANYON BRICK



FIBER-CEMENT PANEL SIDING - BRK-1
BRAND: NICHHA
COLOR: MIDNIGHT
FINISH: MODERN BRICK

Building materials have been switched to thin brick throughout

Nichiha can not be dominate material. See Comment on A2.0.

22.51.09
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MATERIAL COLOR BOARD

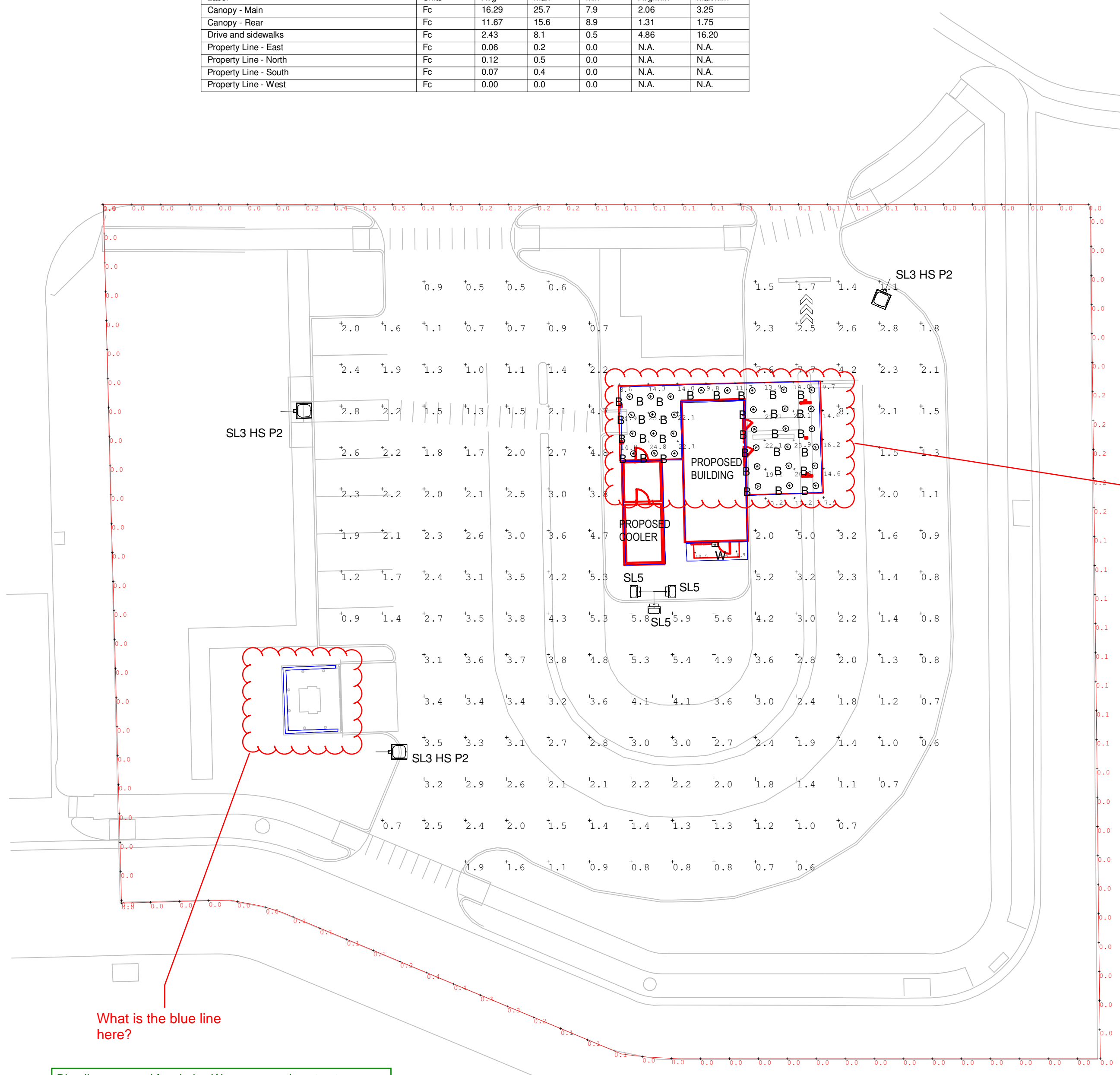


22.51.09
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08/06/2025

RENDERINGS

Luminaire Schedule	Symbol	Tag	Qty	Description	LLF	Mounting Height	Luminaire Lumens	Luminaire Watts	Total Watts	BUG Rating
	⊙	B	32	6RLD G4 10LM 27K 90CRI 120 FRPC WWH M6 LED IC AT	0.880	10	1043	11.7	374.4	N.A.
	□	SL3 HS P2	3	RSX1 LED P2 30K R3 HS 70 CRI -MVOLT SPA (POLE MOUNTED)	0.880	20	6287	72.95	218.85	B1-U0-G2
	□	W	1	WDGE1 LED P1 30K 80CRI WW	0.910	7	1164	10.002	10	B0-U0-G0
	□	SL5	3	RSX1 LED P4 30K R5 70 CRI -MVOLT SPA (POLE MOUNTED)	0.880	20	15284	133.14	399.42	B4-U0-G2

Calculation Summary	Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Canopy - Main	Fc		16.29	25.7	7.9	2.06	3.25
Canopy - Rear	Fc		11.67	15.6	8.9	1.31	1.75
Drive and sidewalks	Fc		2.43	8.1	0.5	4.86	16.20
Property Line - East	Fc		0.06	0.2	0.0	N.A.	N.A.
Property Line - North	Fc		0.12	0.5	0.0	N.A.	N.A.
Property Line - South	Fc		0.07	0.4	0.0	N.A.	N.A.
Property Line - West	Fc		0.00	0.0	0.0	N.A.	N.A.



What is the blue line here?

Blue line removed for clarity. Was representing structure outline.

1 PHOTOMETRIC SITE PLAN
SE1.1 1" = 20'-0"

RSX1 LED Area Luminaire

Specifications

- Depth (D1): 6.37" (163.04 mm)
- Height (H): 21.87" (555.4 mm)
- Width (W): 13.37" (339.64 mm)
- Weight (LBS): 22.17 lbs (10.04 kg)

Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DOBBD

SSS SQUARE STREET LIGHT

Specifications

- Depth (D1): 11.5"
- Height (H): 11.5"
- Width (W): 9"
- Weight (LBS): 1.8 lbs

Ordering Information

EXAMPLE: SSS LED P2 40K 80CRI WW MVOLT SRM PE DOBBD

How high will the pole/light fixture be? Per LDO 13.08.110. (e)(5)(a) max height shall be equal to max height of principal building or 25 feet whichever is less. Pursuant to Section 13.08.110 (e) (6) All freestanding light fixtures shall be set back from each property line a distance at least equal to the total height of the luminaire. Please add setbacks for the freestanding luminaires to demonstrate compliance with this requirement

Pole height included within luminaire schedule

Juno RID Series LED Downlight Retrofit

Specifications

- Depth (D1): 3.14"
- Height (H): 1.4"
- Width (W): 7.50"

Ordering Information

EXAMPLE: JUNO RID P2 40K 80CRI WW MVOLT SRM PE DOBBD

WDGE1 LED Architectural Wall Sconce

Specifications

- Depth (D1): 5.5"
- Height (H): 1.5"
- Width (W): 9"
- Weight (LBS): 1.8 lbs

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI WW MVOLT SRM PE DOBBD

ELECTRICAL NOTES

THIS PLAN IS BASED ON INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.

THIS PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERS SOCIETY (IES) APPROVED METHODS.

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING PLAN, AND INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT-CANDLES. THIS STUDY DOES NOT TAKE INTO ACCOUNT A CHANGE IN GRADE ELEVATION.

THE USE OF SENSOR TECHNOLOGIES, TIMERS OR OTHER MEANS TO ACTIVATE LIGHTING DURING TIMES WHEN IT WILL BE NEEDED IS ENCOURAGED TO CONSERVE ENERGY, PROVIDE SAFETY AND PROMOTE COMPATIBILITY BETWEEN DIFFERENT LAND USES. LOWER LIGHTING LEVELS AT OFF-PEAK TIMES ARE ENCOURAGED AS A SAFETY MEASURE.

Aaron M. Fiegel
PE
SUITE 3840 478-636-5004
1805 N 2ND ST JOB NO: 0002214
ROGERS, AR 72756 DESIGNED BY: TFS



NO	DATE	REVISION

PROJECT NAME:
7 BREW COFFEE

Lincoln Professional Park
Lot 2
Parker, CO

DRAWING TITLE:
PHOTOMETRIC SITE PLAN

FILE: XXX
DRAWN BY: TFS
CHECKED BY: AMF
PROJ. NO: 040022.014
DRAWING NO:

SE1.1