



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Madeleine Reinke, Kimley-Horn and Associates, Inc.  
**FROM:** Cynthia Thye, Planner 1  
**DATE:** December 31, 2025  
**SUBJECT:** SP25-119: Lincoln Professional Park L2 - 7 Brews Coffee – Site Plan Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Cynthia Thye

**EMAIL:** [cthye@parkeronline.org](mailto:cthye@parkeronline.org)

**PHONE:** 303.805.3334

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.  
Example: "02" or "Second Submittal"

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

**General Comments - Please refer to the redlines for additional comments/clarification.**

- 1. **Per LDO Administrative Manual regarding title page: add “Page 1 of \_\_” to title and add Land Use Summary Table. Also, number pages correctly on Sheet List Table and change sidewalk sheet C3.3 reference on page 3.**

Comment Addressed:  Yes  No

Response:

Understood, "Page 1 of 22" and the Land Use Summary Table have been added to the title page. Pages have been renumbered accurately in the sheet list table. Sidewalk detail reference has been updated on page 3.

- 2. **Add legend for hardscapes surfaces indicating material to be used.**

Comment Addressed:  Yes  No

Response:

Understood, hardscape surface materials have been added to the site plan legend.

- 3. **Per LDO Administrative Manual, indicate feet from building to property lines on all four sides. This will also be needed for FLC inspection. Also, add length from building to driveway to ensure DDS compliance.**

Comment Addressed:  Yes  No

Response:

Understood, feet from building to property line and length from building to driveway have been indicated.

**4. Add a second table to the plaza that is wheelchair accessible.**

Comment Addressed:  Yes  No

Response:

Understood, a wheelchair accessible table has been added to the plaza.

**5. Add a trash receptacle on patio and include on cut sheet showing, dimensions, image, material and color.**

Comment Addressed:  Yes  No

Response:

Understood, a detail describing the dimensions, an image, material, and color of the proposed trash can has been included.

**6. Incorporate Site Data Table into Land Use Summary Table on Cover Sheet per LDO Administrative Manual page 25.**

Comment Addressed:  Yes  No

Response:

Understood, the existing site data table has been incorporated into the new Land Use Summary table.

**Landscaping:** Please refer to the redlines for additional comments/clarification. Pursuant to the LDO Section 13.08.090(g) site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use, the P1 Site Perimeter landscaping requirements shall be satisfied. Please add this requirement and the proposed landscaping to the landscape table.

**7. Bike rack sheet C3.1 is missing. Add details on bike rack including size, image, material, and color.**

Comment Addressed:  Yes  No

Response:

Understood, the bike rack has been shown on the plans and a detail for the bike rack including size, image, material, and color has been added to page C3.4 and Landscape sheet 2.0.

**8. Show all trees/shrubs provided by the developer in streetscape grayed out. Make a note that the landowner is responsible for maintenance of streetscape (regardless of what entity installed it).**

Comment Addressed:  Yes  No

Response:

Developer landscaping has been added and grayed out

**9. Regarding Landscape Requirement Table: 1) revise overall landscape reequipments calculations; 2) add "P1" to Site Perimeter subtitle; and 3) revise streetscape requirements to 1 tree per 40 linear feet. Recalculate. If parking lot and perimeter landscaping do not collectively meet minimum landscaping requirements, add site interior landscaping.**

Comment Addressed:  Yes  No

Response:

"P1" added to the site perimeter section and street trees updated to reflect 1 tree per 40 lf. Minimum landscape requirements have been met.

**10. Add evergreens to screen mechanicals per DLO 13.08.090(m).**

Comment Addressed:  Yes  No

Response:

Landscaping would obstruct walkway in this location.  
Evergreen trees and shrubs placed around trash enclosure and transformer.

**Building Design:** Please refer to the redlines for additional comments/clarification.

**11. Revise Exterior Elevation Materials Legend to include glass and add percentage for each material.**

Comment Addressed:  Yes  No

Response:

Chart on each elevation sheet shows percents 2'-8' per ordinance, sheet added to chart all materials and percents per entire facade. Per meeting with planner, a mural was added in place of additional glazing as it is not possible to use glazing in that location (cooler).

**12. Provide an image of the proposed mural. It cannot be “logo art” of Seven Brew, nor lettering, nor coffee image.**

Comment Addressed:  Yes  No

Response:

Attached to the resubmittal

**13. Provide an updated physical materials board to the Planning Division at Parker Town Hall.**

Comment Addressed:  Yes  No

Response:

This has been mailed separately.

**14. Revise trash enclosure doors to be steel painted and color to match main building. Per LDO 13.08.130.**

Comment Addressed:  Yes  No

Response:

Revised, see sheet A5.0.

**Photometrics:**

**15. Revise plan to match updated site plan sheet 3 where main building is next to cooler.**

Comment Addressed:  Yes  No

Response:

Photometric site site plan has been updated to include the cooler located next to the building. The update includes a rear canopy with (2) Type B fixtures added and the elimination of (1) Type W wall mounted security light.

**16. Per LDO 13.08.110(e)(2).a., add correlated color temperature of each fixture to table. Must be below 5001 degrees Kelvin.**

Comment Addressed:  Yes  No

Response:

Column has been added to the Light Fixture Schedule that indicates the Kelvin temperature of each fixture.

**17. Add color of each fixture to table, unless on ceiling of canopy. Must be black or bronze.**

Comment Addressed:  Yes  No

Response:

Column has been added to the Light Fixture Schedule that indicates the Light Fixture housing / trim color.

**OUTSIDE REFERRAL AGENCY COMMENTS**

Please address all outside referral agency comments/requirements with a written response. The following agencies have **revisions required**:

- Town of Parker Engineering and Public Works: Construction Plans Environmental; Construction Plan Civil; Drainage Report Civil; and Site Plan Civil
- IREA/CORE
- Parker Water and Sanitation District

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed:  Yes  No

Response:

Comments reviewed and addressed. Thank you.

\_\_\_\_\_  
Property Owner



\_\_\_\_\_  
Project Representative

\_\_\_\_\_  
Date

02/23/26

\_\_\_\_\_  
Date



**Project Number: SP25-119**

Description: **Lincoln Professional Park L2 - 7 Brews Coffee**

Applied: **9/9/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: , **CO 80134**

Status: **UNDER REVIEW 2**

Applicant: **Kimley-Horn and Associates, Inc.**

Parent Project: **SUB21-055**

Owner: **PLAZA STREET FUND 106 LLC**

Contractor: **<NONE>**

Details:

**The applicant, Kimley Horn and Associates, is proposing 510 square foot drive through coffee shop on the property. The property is located at Southeast corner of Lincoln Avenue and Dransfeldt Road.**

**LIST OF REVIEWS**

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: ALL

9/12/2025	9/12/2025	9/19/2025	COMPLETENESS REVIEW	Cynthia Liston Thye	REVISIONS REQUIRED	
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Notes:

I have been assigned as the Case Planner for the above-mentioned application. I have finished the completeness review and the following items are needed before the application can be deemed completed:

1. Application Fees: \$--- --2,889.60 (an additional \$72.24 will apply if paid by credit card).
2. Current Chargeback Agreement: Attached
3. Colors and Materials Board – a physical materials board with all color and materials of the proposed addition will need to be submitted for review prior to the 2nd referral.
4. Public Notice Requirements – A public notice sign will be required along each roadway/private road on the property. This property will require two public notice signs. The Town contracts with FastSigns to make and install the signs. I will send a follow-up email to FastSigns and copy you.

Please let me know when the above first two items have been completed so that I can start the referral process. Contact me if you have any questions.

Best regards,  
Cynthia

9/12/2025	10/17/2025	10/16/2025	SITE PLAN 20	Cynthia Liston Thye	REVISIONS REQUIRED	
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Notes:

See 01 Planning Comments SP25-119 CLT

10/16/2025		11/14/2025	CHALLENGER ESTATES HOA 20	Jennie Heinze		
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Notes:



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# Project Reviews Town of Parker



10/16/2025		11/14/2025	LINCOLN PARK METRO DISTRICT 20	Krystal Welp		
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Notes:

12/10/2025	12/31/2025	1/5/2026	SITE PLAN 20	Cynthia Liston Thye		
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Notes:  
See 02 Planning Comments

12/10/2025	12/30/2025	1/5/2026	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
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Notes:

SP25-119 Lincoln Professional Park L2 - 7 Brews Coffee, 2nd Environmental Review, 12-30-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Site Erosion Control Plan Sheet Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. These must be shown on a Pervious surface, not on the Concrete of Asphalt. Addition PTPs may be needed in the interim and final phases.
2. Please provide and use Parker's complete Legend of Keys/Symbols to correspond to the Town's 29 CBMP Details on each Erosion Control plan sheet.

INTERIM/FINAL CBMP PLANS

3. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
4. Inlet Protection (IPAN, IPCOG, IPCOS) on plans must have the proper legend code/symbol using Parke's Keys/Symbols, for the type of inlet on the plans.

A copy of the REDLINED EROSION CONTROL PLAN SHEETS is available in eTRAKiT Attachments.

Links:  
 CBMP Details  
<http://parkeronline.org/532/Construction-Best-Management-Practices>  
 Grading Permit Application and Requirements  
 Grading Permits | Town of Parker - Official Website (parkerco.gov)  
 CAD Drawings Link:  
 "\\townsan\group\engineering\Stormwater\Storm Drainage and Environmental Criteria Manual\2013 Final SDECM\Appendix C CBMP Standard Details"

12/10/2025		1/5/2026	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas		
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Notes:

12/10/2025		1/5/2026	DRAINAGE REPORT - CIVIL	Charles Kudlauskas		
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Notes:



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12/10/2025		1/5/2026	IREA 20	Brooks Kaufman		
Notes:						
12/10/2025	12/31/2025	1/5/2026	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
Notes: Please provide PWSD : landscape plans, and the Building fixture count worksheet, to determine that the proposed 3/4-inch domestic with a 3/4-inch irrigation combo tap has enough water to serve both, the Building and landscape requirements.  As this will be a services only project tap fee invoices and minimal inspection review fees will need to be paid prior to plan approval.						
12/10/2025		1/5/2026	PHOTOMETRIC PLAN 20			
Notes:						
12/10/2025		1/5/2026	SITE PLAN - CIVIL	Charles Kudlauskas		
Notes:						
Review Group: AUTO						
9/9/2025			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
9/9/2025	9/18/2025	9/23/2025	LAND USE COMPLETENESS REVIEW	Charles Kudlauskas	COMPLETED	
Notes:						



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# Project Reviews Town of Parker



Review Group: SP

9/18/2025	10/16/2025	10/16/2025	BUILDING 20	Randy Sale	COMPLETED	See general notes
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Notes:

Building Division pre-application meetings are available before applying for the building permit to discuss access requirements during construction, construction type, occupancy, allowable areas, MEP's, energy, structural, etc...if needed. Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website ([parkeronline.org](http://parkeronline.org)), and our most current code adoptions.

The Town's Charge Back Agreement may be required for this project , specifically for the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned to the Building Division, then the full plan review process will begin.

General Comments to be aware of:

Building permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the most current adopted codes per Ordinances at time of submittal. This includes but is not limited to the International Code Family, Accessibility Code, and the National Electrical. All required Fire Permits will be reviewed and inspected by the jurisdiction having authority, South Metro Fire Rescue. Please contact us prior to the submission of the construction documents. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal.

The applicant may need to demonstrate compliance with the Colorado Model Electric and Solar Ready Code, HB22-1362, as applicable to this site plan review and the construction documents (plans) when submitting the building permit. If the Building Permit application is received before the next code cycle adoption or June 30, 2026, whichever comes first, no modifications to the site plan or building documents will be required. Please call to discuss it if needed.

All accessible parking must be shown in the building permit documents. The approved site plan sheet (s) showing the property lines, building, accessible routes, accessible parking spaces and entrances to the building will be required.

All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered, staggered, stepped back retaining walls all require permits no matter the height of individual wall.

9/18/2025		10/16/2025	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

9/18/2025	9/24/2025	10/16/2025	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Val Endyk	ADVISORY COMMENTS	See Notes
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Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP25-119, Lincoln Professional Park L2 - Brews Coffee have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact [LandUseReferral@ccbwwqa.org](mailto:LandUseReferral@ccbwwqa.org). The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

9/18/2025		10/16/2025	COLORED BUILDING ELEVATIONS 20			
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Notes:



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C O L O R A D O



# Project Reviews Town of Parker

9/18/2025	11/24/2025	10/16/2025	COLORS AND MATERIAL BOARD 20		COMPLETED	
Notes:						
9/18/2025		10/16/2025	COMCAST 20	Butch Buster		
Notes:						
9/18/2025	10/13/2025	10/16/2025	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Memo and Comments
Notes:						



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## Project Reviews Town of Parker

SP25-119 Lincoln Professional Park L2 - 7 Brews Coffee, 1st Environmental Review, 10-13-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

### GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please add a text box next to the Graphic Scale stating – “TOTAL DISTURBANCE AREA = 0.91 ACRES”.
2. Please add a general note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.
3. Please add a general note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
4. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”
5. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
6. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
7. Please add a note to ALL Erosion Control plan sheets stating: “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Please contact John Nelson at [jnelson@parkerco.gov](mailto:jnelson@parkerco.gov) for Fuel Storage Permit questions.
8. Site Erosion Control Plan Sheet Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. Addition PTPs may be needed in the interim and final phases.
9. Please consider moving the Stabilized Staging Area, connecting it to the Vehicle Tracking Control Pad as shown in the Town’s detail. This configuration helps reduce tracking off-site.
10. Developer General Note #1, replace the word RECOMMENDED with the word REQUIRED. Developer General Note #5, replace the ratio 3H:1V with the ratio 4H:1V. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1. Developer General Note #6, replace the word OWNER with the words TOWN OF PARKER. Developer General Note #8, replace the words PROVIDES AN INITIAL RECOMMENDATION OF with the words SHOWS THE REQUIRED.
11. Please provide and use Parker’s complete Legend of Keys/Symbols to correspond to the Town’s 31 CBMP Details on the Erosion Control plan sheets.
12. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend of Keys/Symbols, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
13. Add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.

### INITIAL CBMP PLANS

14. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
15. Please consider moving the Stabilized Staging Area, connecting it to the Vehicle Tracking Control Pad as shown in the Town’s detail. This configuration helps reduce tracking off-site.

### INTERIM/FINAL CBMP PLANS

16. Show ALL proposed Stormwater Utilities, (inlets, pipe and structures) on the Interim/Final plans sheets.
17. Add Sidewalk Transition Protection (STP) to all ADA ramps during the Interim Phase.
18. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
19. Please show Masonry Work Protection (MWP) on the plans in two locations for construction of the building.
20. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
21. Inlet Protection (IPAP, IPAN, IPCOG, IPCOS) on plans must have proper legend code/symbol for the type of inlet and the diagram on the plans must match the proper type of inlet protection needed, specifically the IPAN inlet located in the native area on the west side of the site.
22. Provide and identify Debris and Trash Control (DTC) for the Interim/Final phases along all proposed paved driving surfaces internal to the site and all adjacent properties around the site.
23. Please provide a minimum of one callout of both Seeding Mulching and Crimping (SMC) and Surface Roughening (SR) in all tracts proposed to be left landscaped in the final condition.

A copy of the REDLINED EROSION CONTROL PLAN SHEETS is available in eTRAKiT Attachments.



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# Project Reviews Town of Parker



9/18/2025	10/15/2025	10/16/2025	CONSTRUCTION PLANS - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
9/18/2025	10/15/2025	10/16/2025	DRAINAGE REPORT - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
9/18/2025	11/12/2025	10/16/2025	ECONOMIC DEVELOPMENT 20	Weldy Feazell	NO COMMENT	
Notes:						
9/18/2025	10/14/2025	10/16/2025	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	Relocate transformer to allow access
Notes: Please relocate transformer to allow access within 20 feet of a hard surface. Provide metering location and meet CORE clearance requirements.						
9/18/2025	10/17/2025	10/16/2025	PHOTOMETRIC PLAN 20	Cynthia Liston Thye	REVISIONS REQUIRED	
Notes: See 01 Planning Comments SP25-119 CLT						
9/18/2025		10/16/2025	POLICE 20	Greg Epp		
Notes:						
9/18/2025	10/8/2025	10/16/2025	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
Notes: please see attached						
9/18/2025	10/15/2025	10/16/2025	SITE PLAN - CIVIL	Charles Kudlauskas	REVISIONS REQUIRED	See uploaded Memo and Redlines.
Notes:						
9/18/2025	10/2/2025	10/16/2025	SMFR PLANNING 20	South Metro Fire Rescue	APPROVED	
Notes:						
9/18/2025	10/15/2025	10/16/2025	TRAFFIC IMPACT STUDY - CIVIL	Charles Kudlauskas	COMPLETED	
Notes:						



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# Project Reviews Town of Parker

Review Group: SP ADD

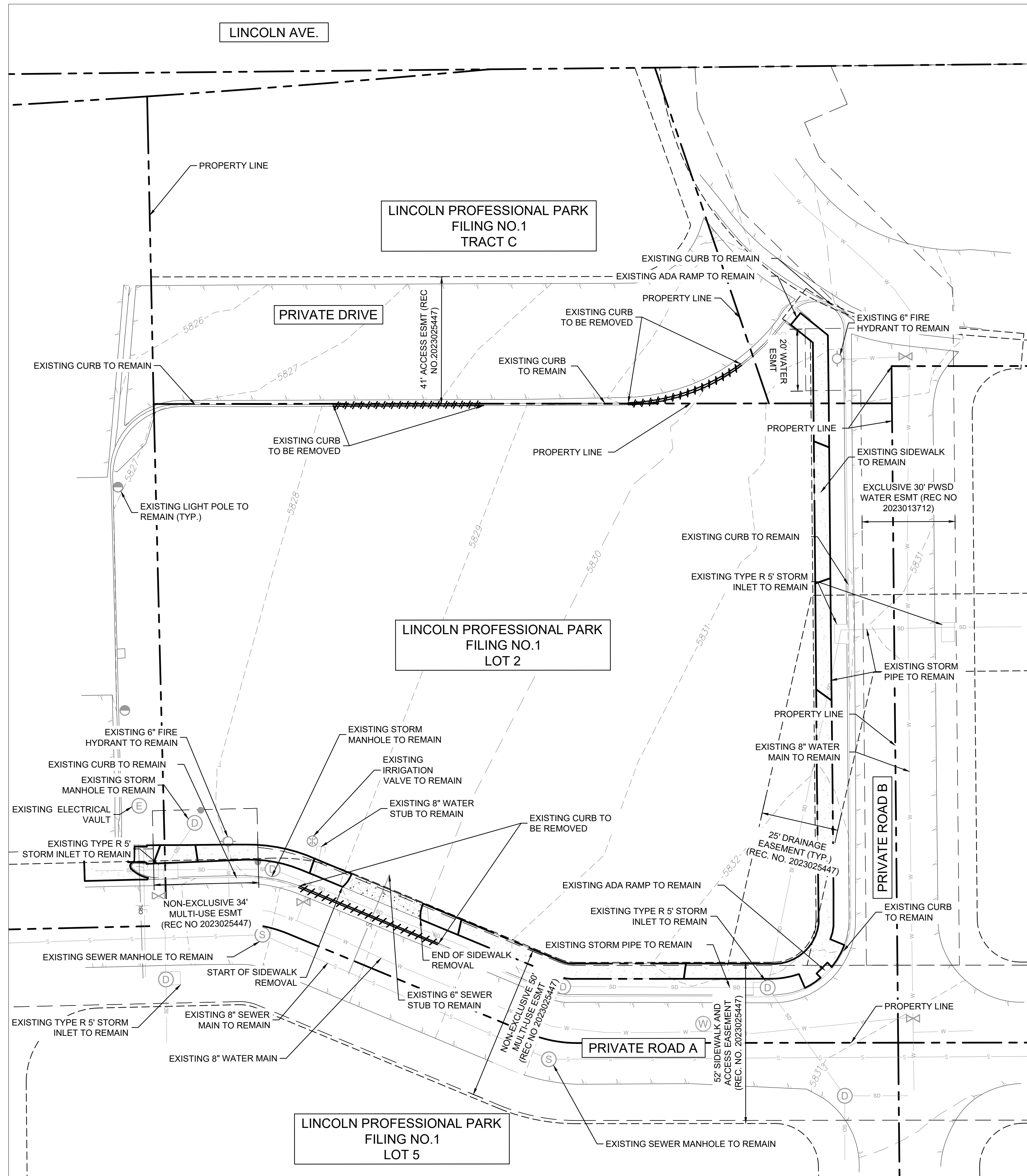
9/18/2025	9/23/2025	10/16/2025	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	REVISIONS REQUIRED	see notes
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**Notes:**

Please see uploaded red lined plans, review letter, and screenshot of alternative service connection.  
 Please feel free to reach out with any questions you may have.  
 Robert



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

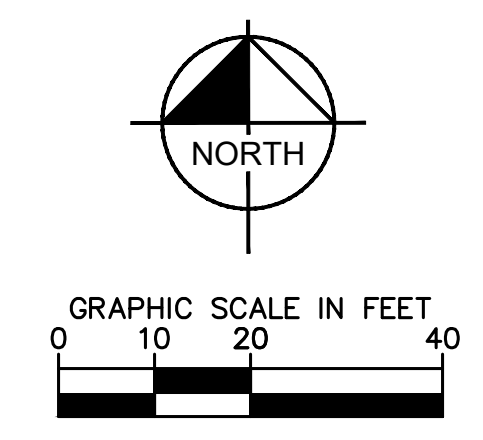


**LEGEND**

PROPERTY LINE	---
EASEMENT	- - - - -
DEMO SITE ITEM	---
EXISTING UNDERGROUND ELECTRIC LINE	E E
EXISTING SANITARY SEWER LINE	S S
EXISTING STORM DRAIN LINE	SD SD
EXISTING WATER LINE	W W
EXISTING SEWER STRUCTURE	(S)
EXISTING STORM DRAIN STRUCTURE	(D)
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊗

**NOTES:**

1. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
2. KIMLEY-HORN DOES NOT REPRESENT THAT THE REPORTS AND SURVEYS REFERENCED ARE ACCURATE, COMPLETE, OR COMPREHENSIVE SHOWING ALL ITEMS THAT WILL NEED TO BE DEMOLISHED AND REMOVED.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF THE EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
4. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THERE MAY BE UNDERGROUND UTILITIES NOT DEPICTED ON THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. PRIOR TO COMMENCING CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES AND FIELD VERIFY ALL UNDERGROUND UTILITIES.
5. PRIOR TO DEMOLITION, PROPER PHASING OF EROSION CONTROL DEVICES AND MEASURES ARE TO BE INSTALLED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
8. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING, STORM INLET STRUCTURES OR ANY OTHER APPURTENANCE, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
11. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
12. DAMAGE TO ADJACENT PROPERTIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
13. PROVIDE FULL DEPTH SAW CUTS AT EDGES OF EXISTING PAVEMENT AND SIDEWALK REMOVAL LOCATIONS.
14. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.



NO.	REVISION	BY	DATE

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 CHECKED BY: KEW  
 DATE: 8/4/25

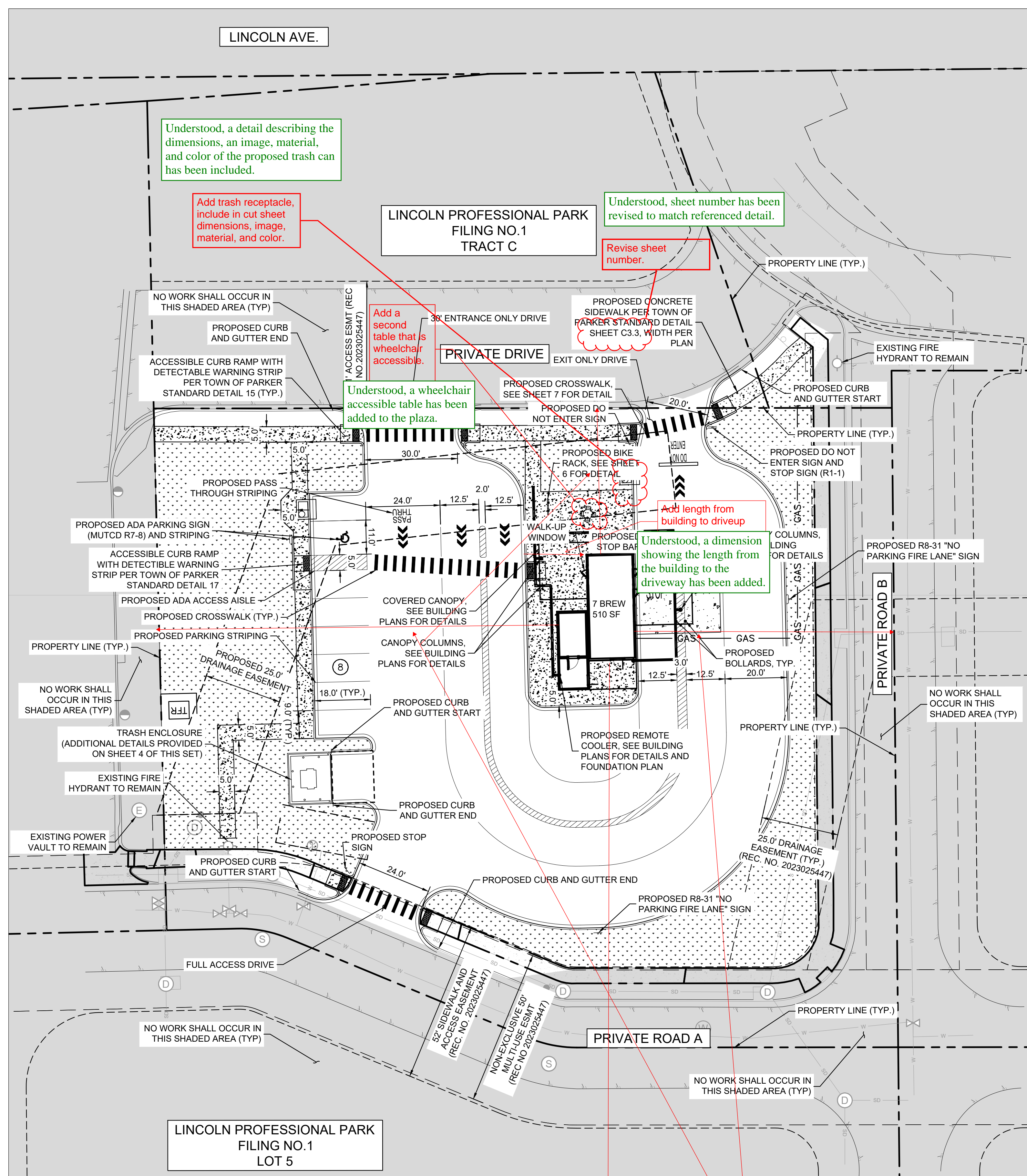
LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - SITE PLAN  
 EXISTING CONDITIONS AND DEMO

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PROJECT NO.  
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Add legend for hardscaped surfaces and materials.

Understood, hardscaped surfaces and materials have been added to the legend.

**LEGEND**

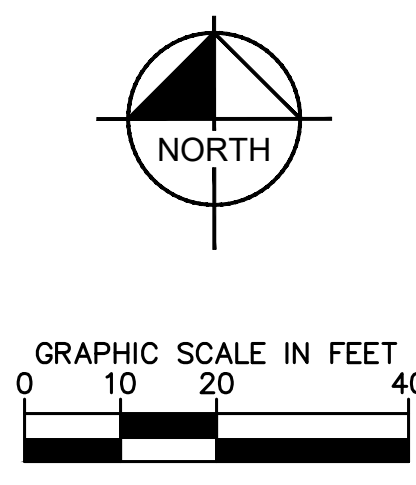
PROPERTY LINE	
CONCRETE SIDEWALK	
CURB AND GUTTER	
PROPOSED SIGNAGE	
EXISTING SANITARY SEWER MANHOLE	
PROPOSED WATER METER	
EXISTING FIRE HYDRANT	
PROPOSED STOP BAR	
PROPOSED TRAFFIC DIRECTION ARROW	
PROPOSED CROSSWALK	

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL PARKING STALL STRIPING IS TO BE 4" SOLID WHITE.
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  - BUILDING, MECHANICAL EQUIPMENT, SITE LIGHTING, AND SIGNS ARE SHOWN HEREON FOR REFERENCE ONLY. REFER TO CONSTRUCTION PLANS OF THOSE ITEMS FOR LOCATIONS AND DETAILS.
  - A SEPARATE SIGN PERMIT TO BE PROVIDED FOR ALL SIGNAGE PROPOSED.
  - ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND LOCAL CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND LOCAL LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
  - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY "COLORADO 811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
  - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER CDOT AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
  - CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING CONDITIONS DO NOT MATCH INFORMATION ON PLANS.
  - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING PERMISSION MUST BE CONFIRMED WITH THE SITE SPECIFIC GEOTECHNICAL REPORT PAVEMENT RECOMMENDATIONS.

**LOT 2 SITE DATA TABLE**

LOT 2 SITE AREA	REQUIRED		PROVIDED
	REQUIRED	PROVIDED	SEE SHEET 10 FOR LANDSCAPE CALCULATIONS
LOT 2 SITE AREA	45,833 SQ FT / 1.05 AC		
ZONING	MULTI-USE COMMUNITY		
BUILDING	SINGLE STORY - 510 SF		
LANDSCAPE AREA	SEE SHEET 10 FOR LANDSCAPE CALCULATIONS		
BUILDING SETBACK:			
INTERNAL LOT LINE (W)	5'	123'	
PRIVATE DRIVE (N) (FRONT)	25'	41'	
PRIVATE ROAD B (E)	10'	68'	
PRIVATE ROAD A (S)	8'	94'	
BUILDING HEIGHT	45' MAX	19.3'	
PARKING SPACES	2	8	
ACCESSIBLE SPACES	1	1	
BICYCLE SPACES	1*	6	

\* = BICYCLE SPACES REQUIRED IS CALCULATED AS 10% OF PARKING SPACES. THERE ARE 8 PARKING SPACES



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 CHECKED BY: KEW  
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LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - SITE PLAN  
 SITE PLAN

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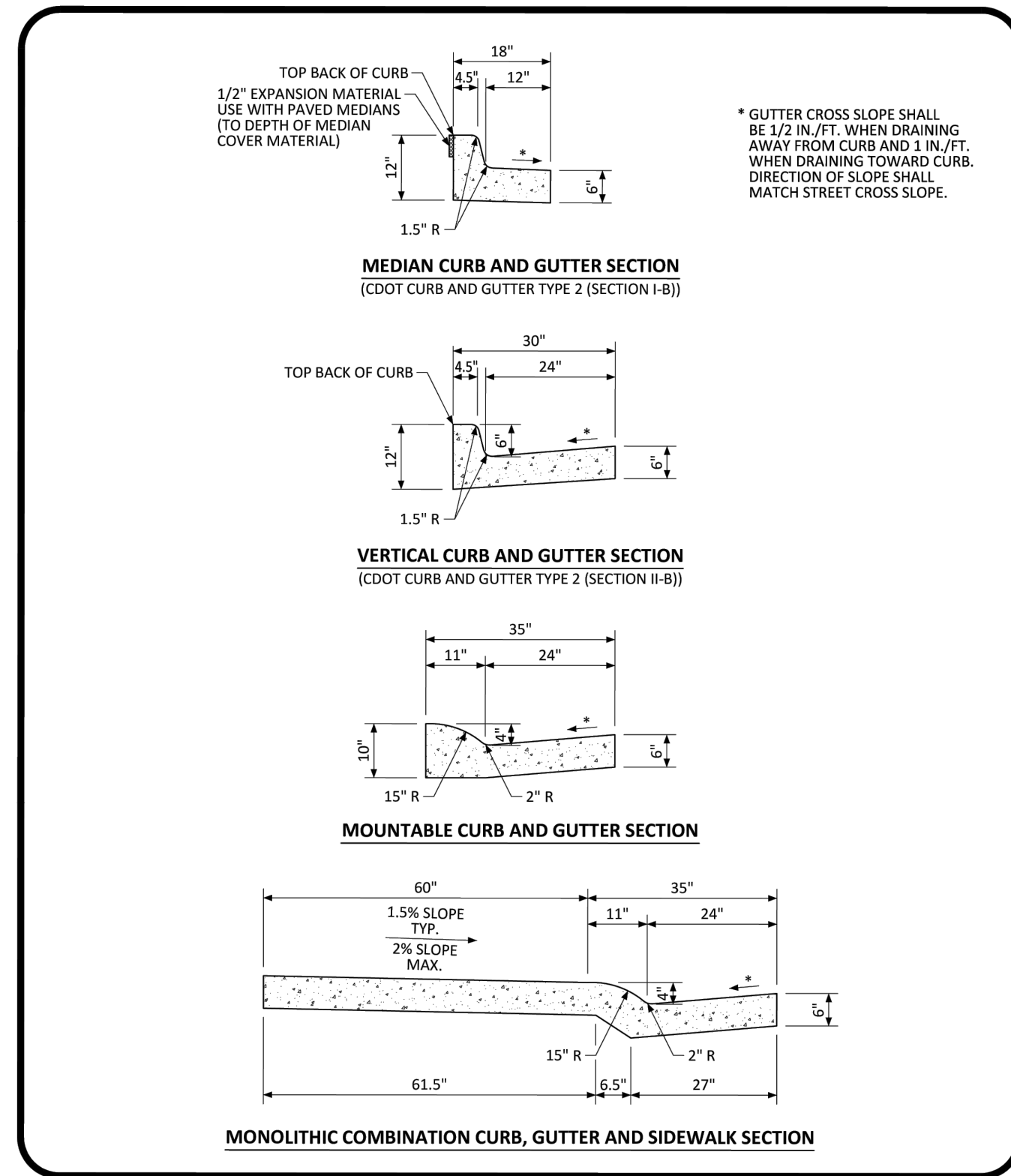
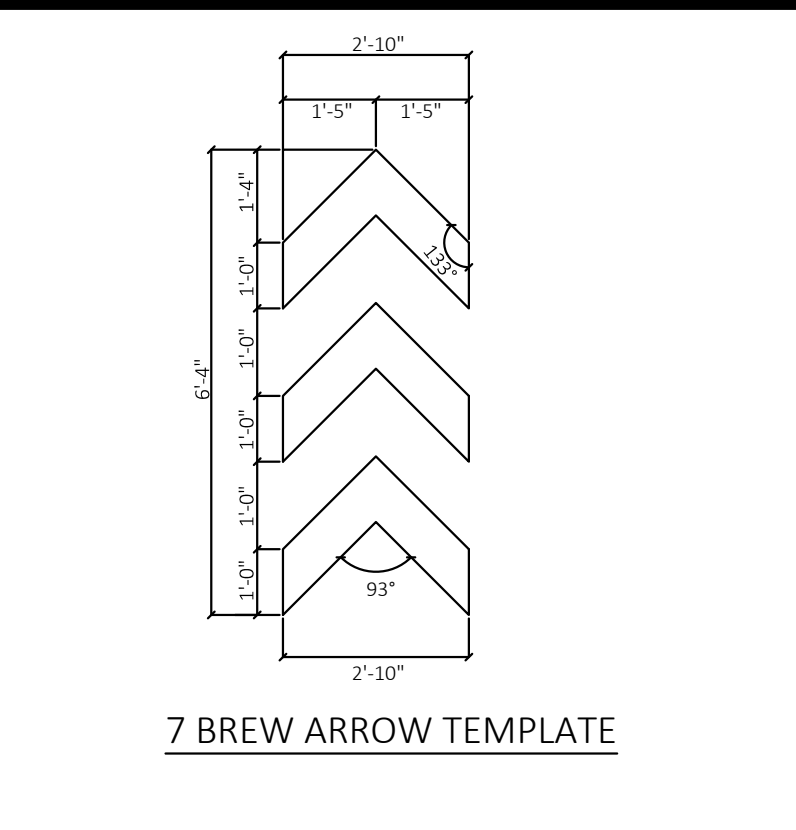
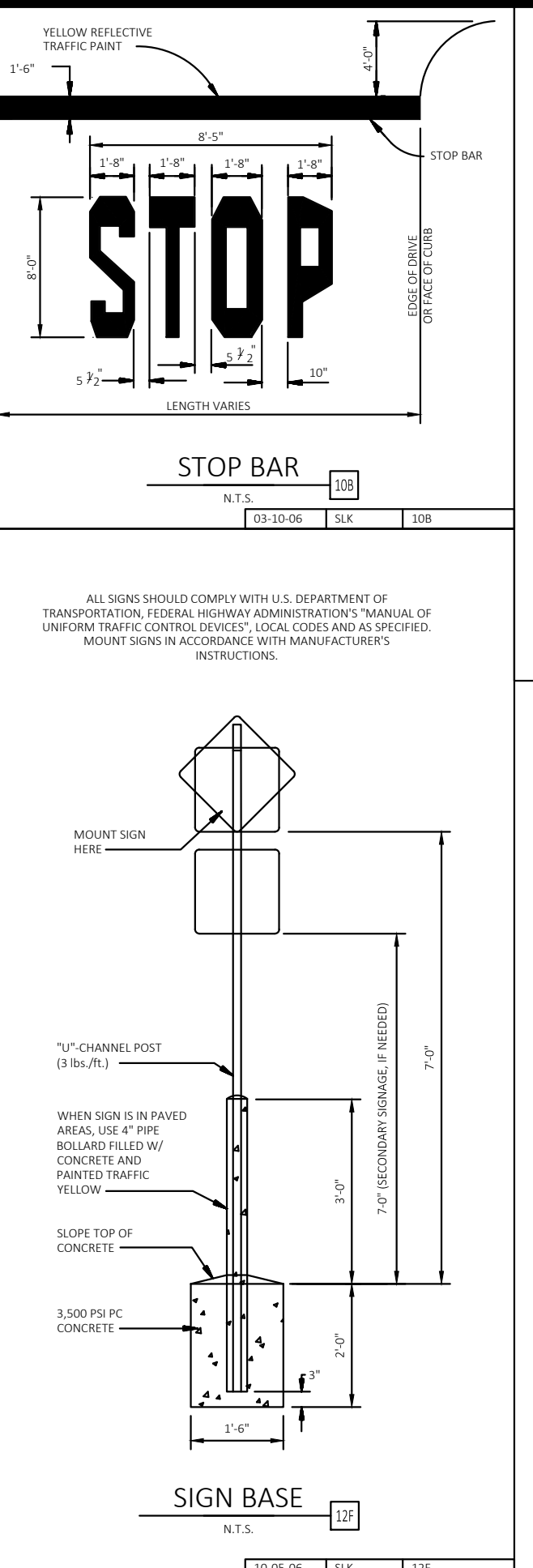
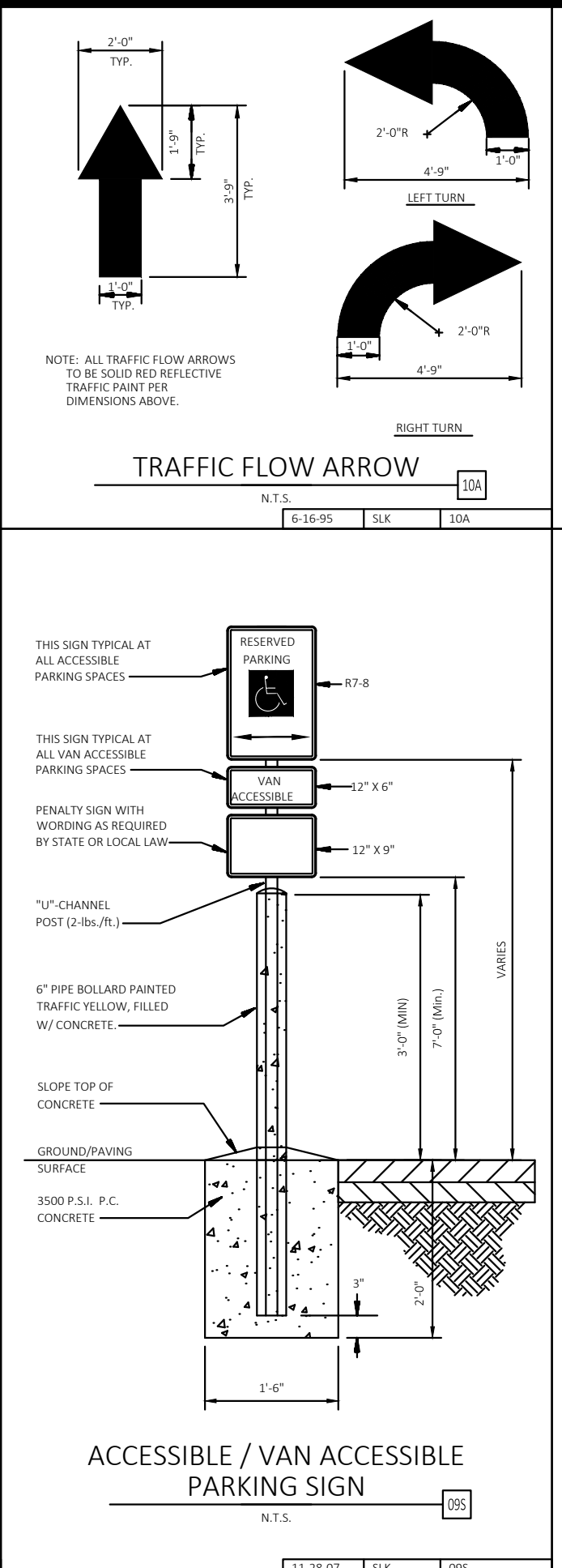
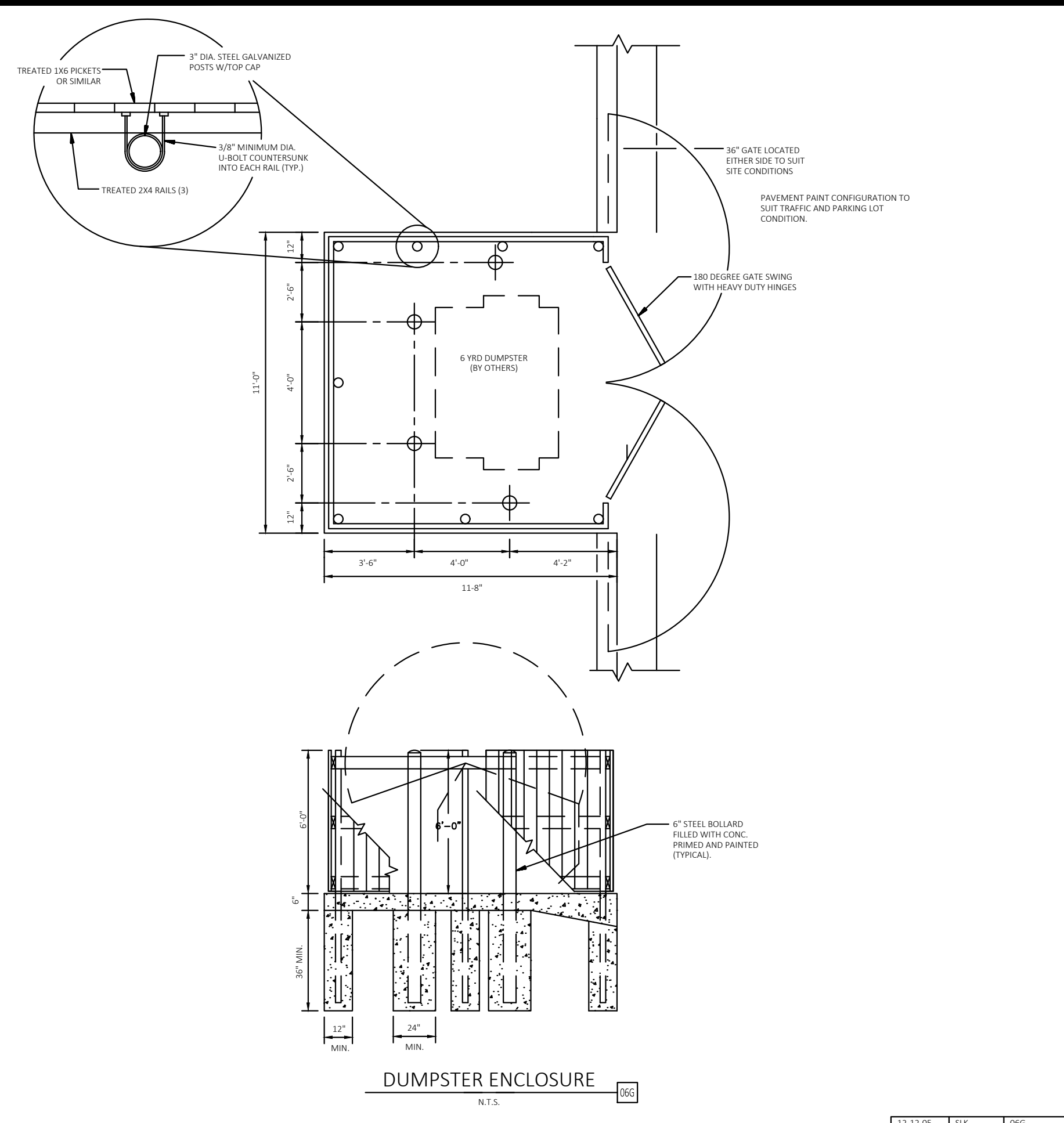
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 296237001  
 SHEET  
 296237001\_SP  
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Per LDO Administrative Manual, Page 25 indicate # feet from building to property line.

Understood, a dimension showing the distance from the building to the property line on all four sides has been added.

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**PARKER COLORADO**

**CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL**

DATE NOVEMBER 2020

DETAIL **3**

1 OF 1

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LOT 2, PARKER, CO  
7 BREW - CONSTRUCTION DOCUMENTS  
SITE DETAILS

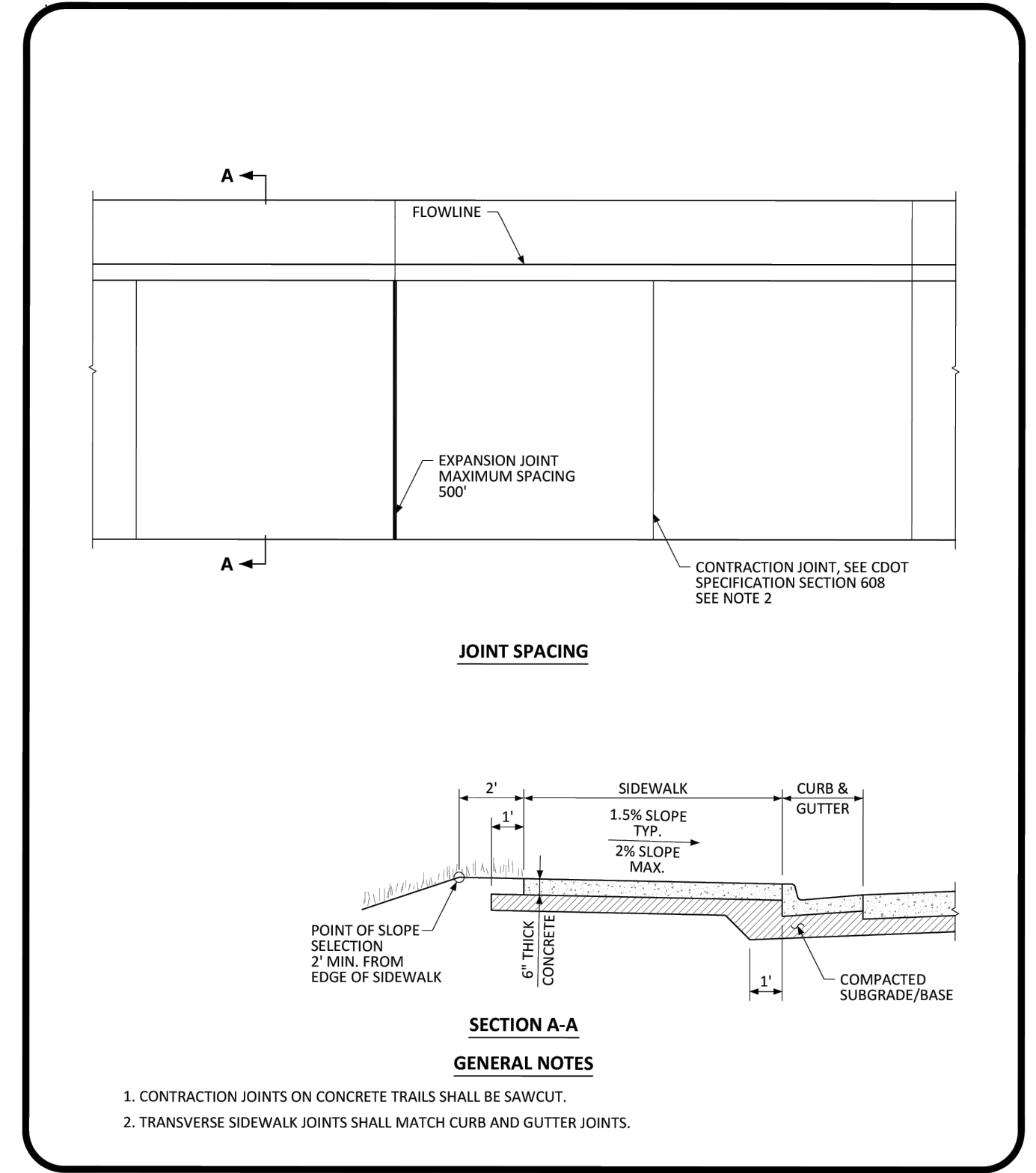
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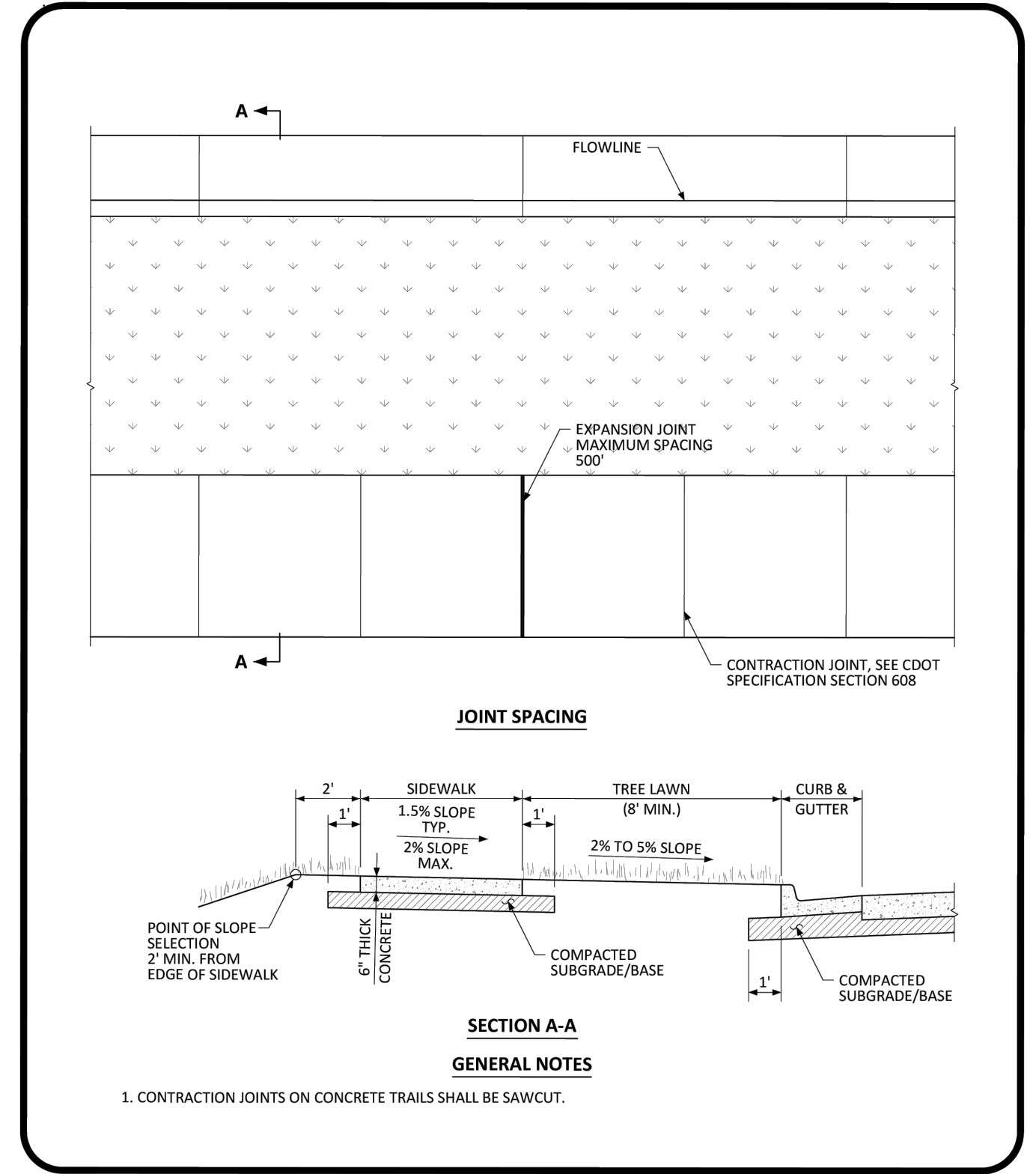
**PARKER COLORADO**

**ATTACHED SIDEWALK STANDARD DETAIL**

DATE NOVEMBER 2020

DETAIL **4**

2 OF 2



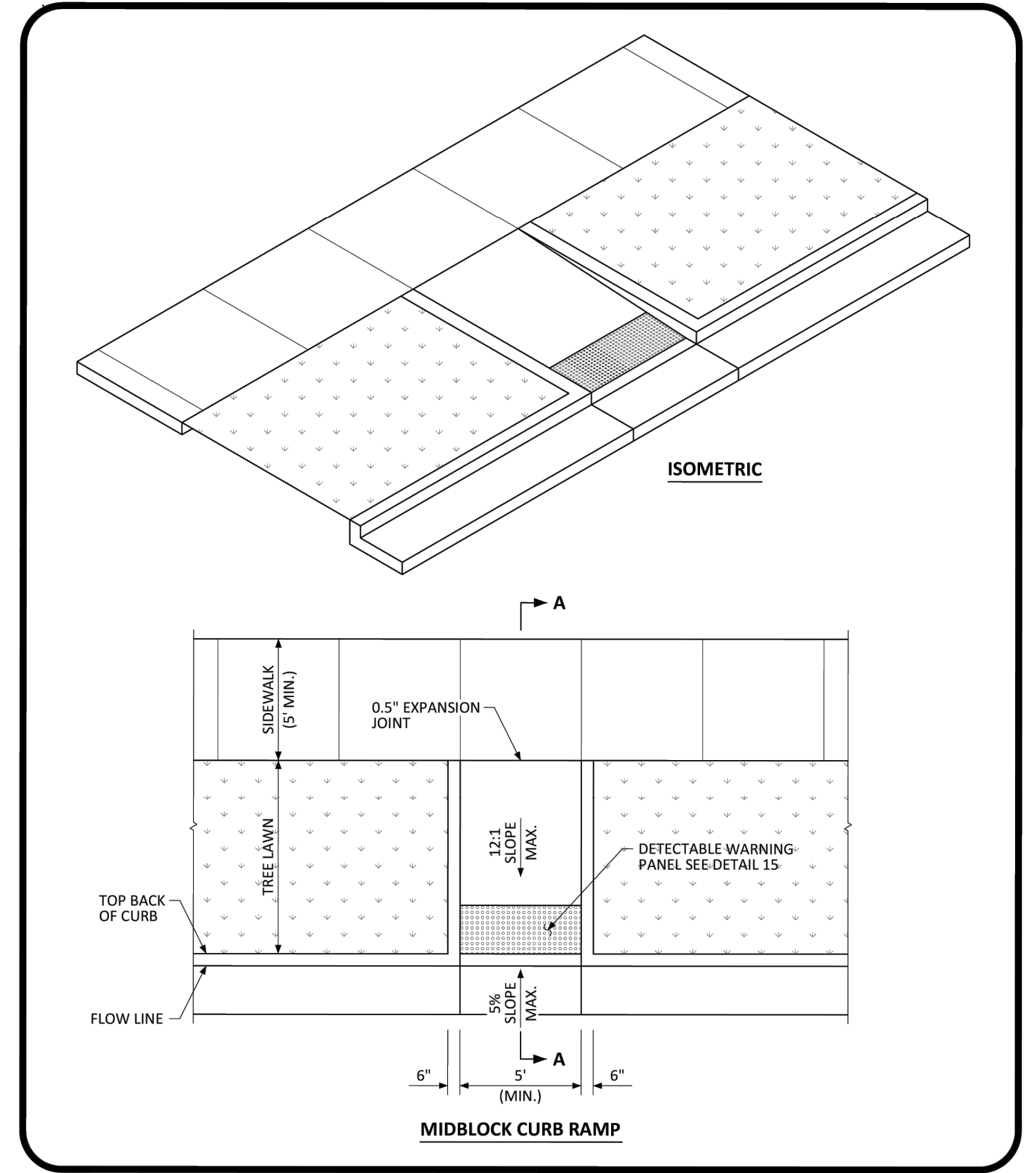
**PARKER COLORADO**

**DETACHED SIDEWALK STANDARD DETAIL**

DATE NOVEMBER 2020

DETAIL **4**

1 OF 2



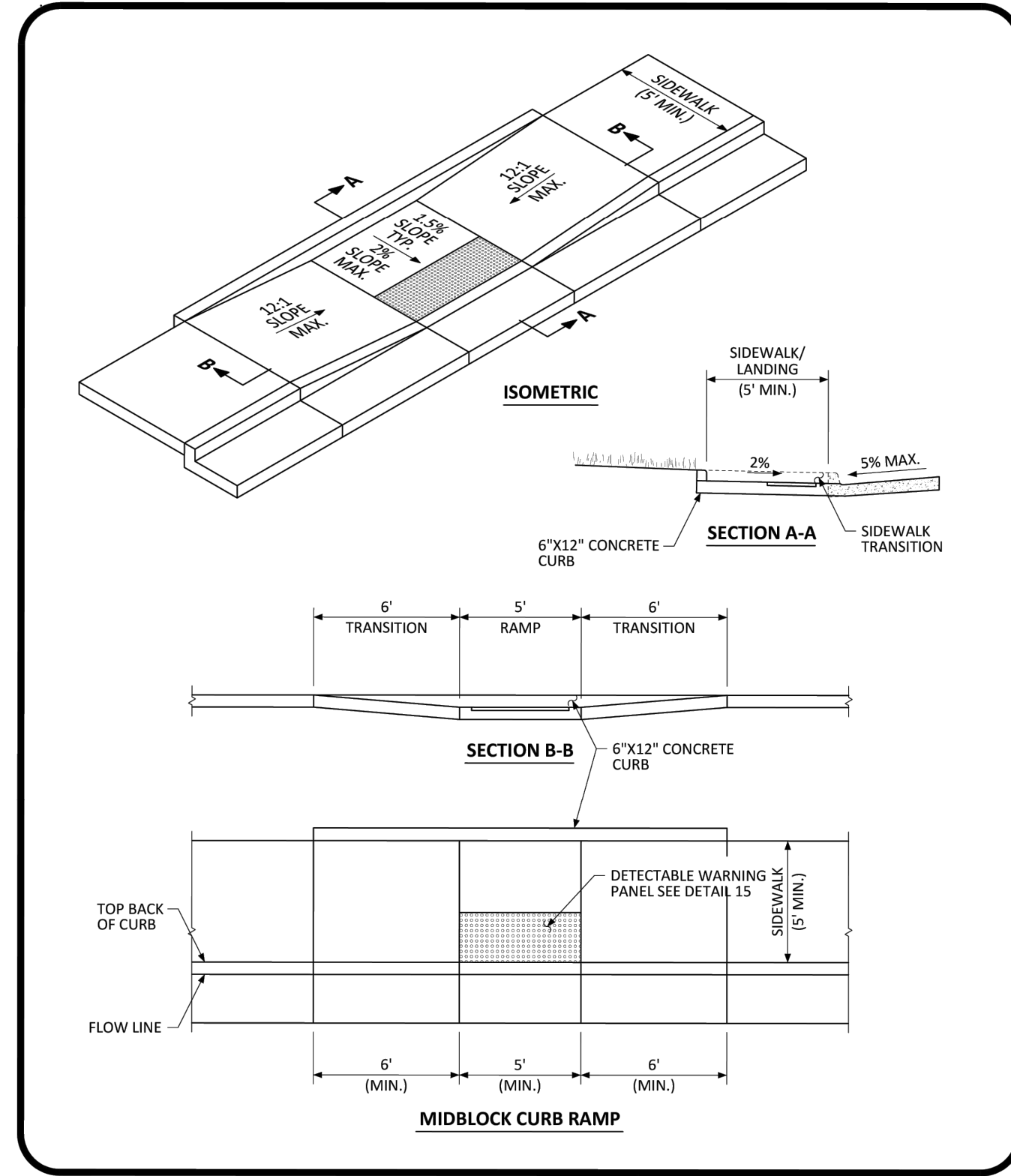
**PARKER COLORADO**

**MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL**

DATE NOVEMBER 2020

DETAIL **17**

1 OF 2



**PARKER COLORADO**

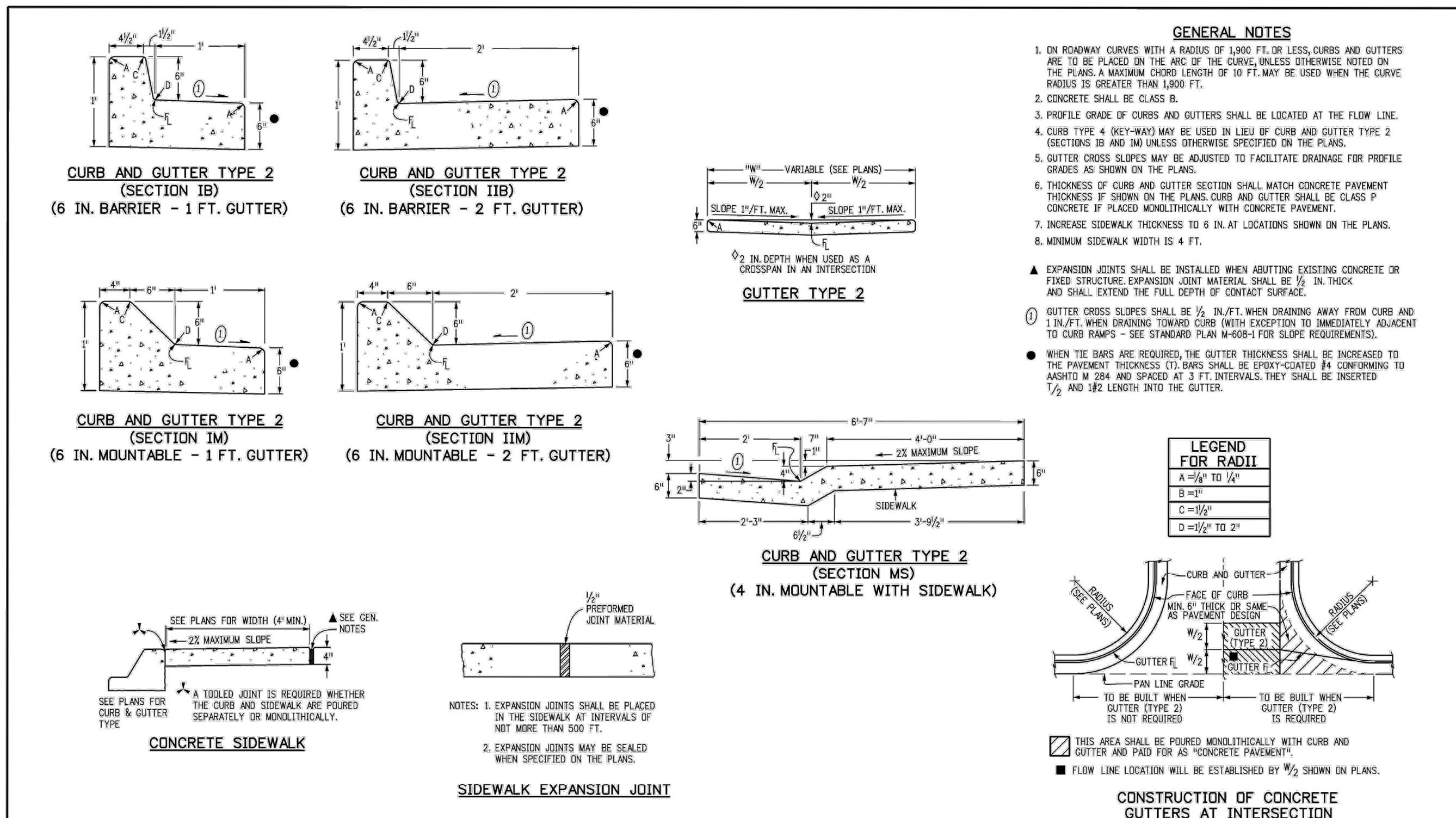
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DATE NOVEMBER 2020

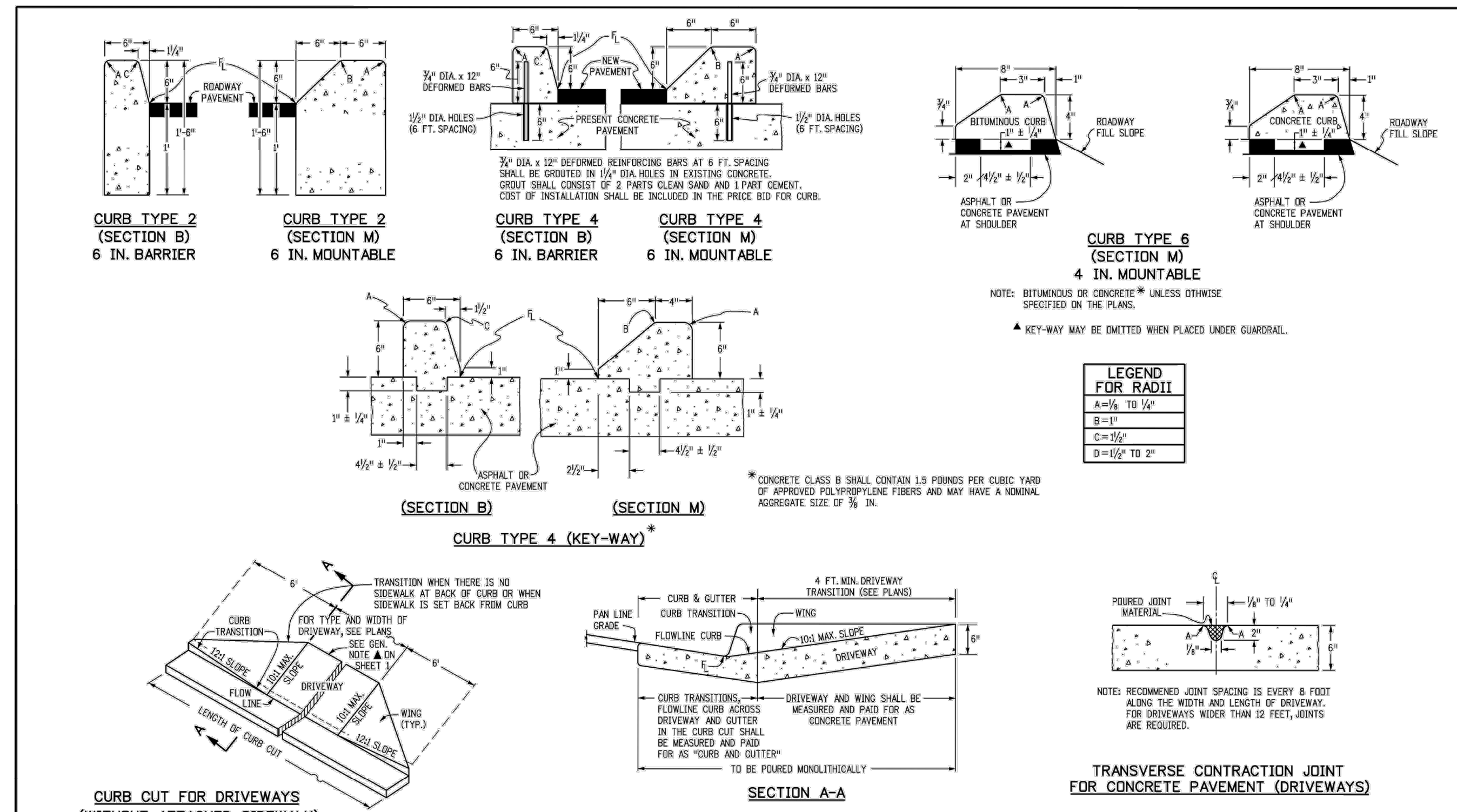
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2 OF 2

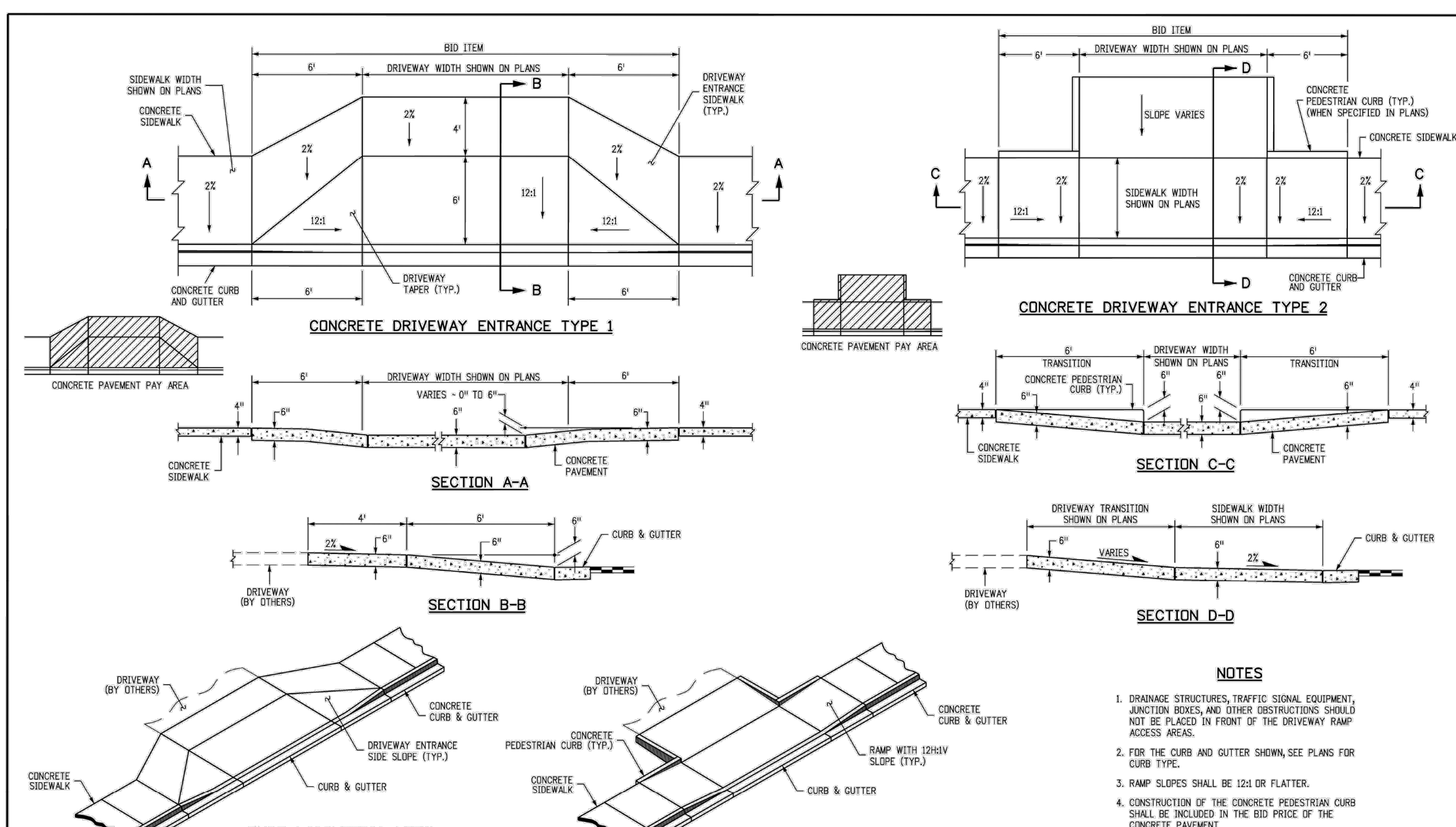
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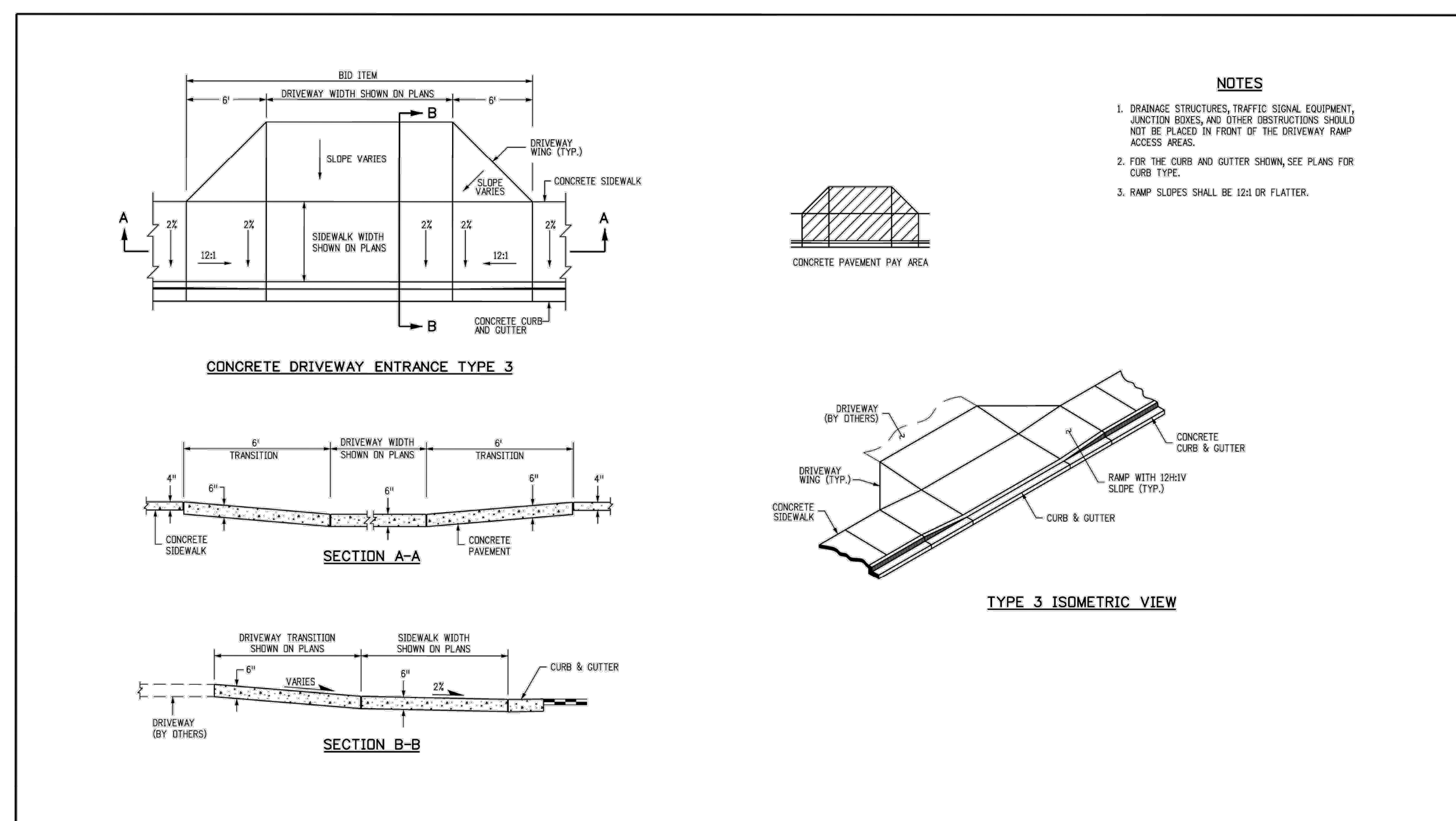
<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		<b>CURB, GUTTERS, AND SIDEWALKS</b>		STANDARD PLAN NO. M-609-1	
Creation Date: 07/31/19	Designer: JBK	1		2829 West Howard Place	3007 HQ, 3rd Floor	Denver, CO 80204	Phone: 303-757-9021	FAX: 303-757-9868	Standard Sheet No. 1 of 4
Last Modification Date: 07/31/19	Detailer: LTA	2		Project Development Branch	JBK				Project Sheet Number:
CAD Ver: MicroStation V8	Scale: Not to Scale	Units: English							



<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		<b>CURB, GUTTERS, AND SIDEWALKS</b>		STANDARD PLAN NO. M-609-1	
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<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		<b>CURB, GUTTERS, AND SIDEWALKS</b>		STANDARD PLAN NO. M-609-1	
Creation Date: 07/31/19	Designer: JBK	1		2829 West Howard Place	3007 HQ, 3rd Floor	Denver, CO 80204	Phone: 303-757-9021	FAX: 303-757-9868	Standard Sheet No. 3 of 4
Last Modification Date: 07/31/19	Detailer: LTA	2		Project Development Branch	JBK				Project Sheet Number:
CAD Ver: MicroStation V8	Scale: Not to Scale	Units: English							



<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		<b>CURB, GUTTERS, AND SIDEWALKS</b>		STANDARD PLAN NO. M-609-1	
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 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 12/2/25

LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - CONSTRUCTION DOCUMENTS  
 SITE DETAILS (2)

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**GENERAL NOTES**

- SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
- THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE. THE ECCENTRIC CONE MAY BE USED WHEN THE MANHOLE "H" HEIGHT IS AT LEAST 6 FT.
- THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SUPERIMPOSED WITH A CEMENT GROUT IN UNPAVED AREA, OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
- DESIGN OF BOX BASE IS BASED ON STRAIGHT RUNS OF PIPE OR CHANGE IN DIRECTION OF LESS THAN 45°. SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
- PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 199 (ASTM C 478).
- CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
- STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 199.
- ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTRIC OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
- ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, SLOPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION. FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
- FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
- STUB-OUTS SHALL EXTEND 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
- THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
- WHEN FINAL GRADE IS PAVEMENT SURFACE, RECESS MANHOLE RING AND COVER 1/2" MIN. TO 1/2" MAX.

**QUANTITIES FOR CONCRETE MANHOLE BOX BASE**

MARK	SIZE	TYPE	WT. #/FT.	NO. REOD. (LENGTH)	NO. REOD. (WEIGHT)	54"	60"	66"	72"	78"	84"	90"	FORMULAS
401	4	I	0.668	18	18	18	18	18	18	18	18	18	401 BAR LENGTH = 32" + 2W + I.D.
402	4	III	0.668	5	5	5	5	5	5	5	5	402 BAR LENGTH = I.D. + 2W	
501	5	I	1.043	17	17	17	17	17	17	17	17	501 BAR LENGTH = 2W + I.D. + 2W	
502	5	I	1.043	22	22	22	22	22	22	22	22	502 NUMBER BARS REQ. = 3 + (241.0/12W + 1)	
503	5	II	1.043	19	19	19	19	19	19	19	19	503 NUMBER BARS REQ. = 2 + (341.0/12W + 1)	
504	5	I	1.043	12	12	12	12	12	12	12	12	504 NUMBER BARS REQ. = 2 + (241.0/12W + 1)	
1101	11	I	5.313	12	12	12	12	12	12	12	12	1101 BAR LENGTH = 2W + I.D. + 2W	
1102	11	I	5.313	4	4	4	4	4	4	4	4	1102 TYPE I	
1103	11	I	5.313	4	4	4	4	4	4	4	4	1103 TYPE II	

**REINFORCING STEEL TOTAL**

CONCRETE - CUBIC YARDS - TOTAL	6.0	6.6	7.3	8.0	9.5	11.1
--------------------------------	-----	-----	-----	-----	-----	------

**NOTE:** QUANTITIES ARE BASED ON SAME SIZE PIPE ENTRANCE TO AND EXIT FROM, BASE AND A 4 FT. MANHOLE ENTRANCE INTO TOP SLAB OF BASE.

**PRECAST MANHOLE BASES NOTES:**

- THE BASE SLAB SHALL BE POURED MONOLITHICALLY WITH BOTTOM RISER SECTION.
- PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATIONS INDICED WILL BE REJECTED BY THE ENGINEER AND REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE DEPARTMENT.
- PRECAST MANHOLE BASES SHALL BE BEDDED ON AN APPROVED GRANULAR BEDDING MATERIAL AS SHOWN ABOVE.

**LEGEND**

- SUITABLE SUBGRADE
- GRANULAR BEDDING MATERIAL
- CONCRETE

**COMPUTER FILE INFORMATION**

Creation Date: 07/31/19	Designer Initials: JBC
Last Modification Date: 07/31/19	Detailer Initials: LTA
CAD Ver: MicroStation V8	Scale: Not to Scale

**SHEET REVISIONS**

Date	Comments
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**STANDARD PLAN NO. M-604-20**  
Standard Sheet No. 1 of 3

**T-BASE MANHOLES NOTES**

- THE T-BASE SECTION SHALL BE SHOP-FABRICATED FOR DELIVERY TO THE CONSTRUCTION SITE AS A COMPLETE UNIT.
- THESE DETAILS SHOW ONLY THE CONFIGURATION AND STANDARD DIMENSIONAL REQUIREMENTS FOR TYPE T-BASE MANHOLES. THE CONTRACTOR SHALL FURNISH DETAILED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. THE DETAILS SHOWN HEREIN APPLY ONLY TO 48 IN. AND GREATER DIAMETER PIPES.
- EXCEPT FOR CLASS OF PIPE, SPECIFICATIONS FOR THE MANHOLE SHALL BE THE SAME AS THOSE REQUIRED FOR THE ADJOINING PIPE.
- THE T-BASE SECTION SHALL MAINTAIN ITS INTERNAL SHAPE AND FLOW AREA, OROUTING OR FILLING SHALL BE APPLIED AS TO NOT DISTURB THE NORMAL FLOW OR REDUCE THE AREA.

**MANHOLE T-BASE**

**ADJUST MANHOLE 20 IN. OR LESS**

**MODIFY MANHOLE GREATER THAN 20 IN.**

**MANHOLE T-BASE**

**COMPUTER FILE INFORMATION**

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**SHEET REVISIONS**

Date	Comments
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**STANDARD PLAN NO. M-604-20**  
Standard Sheet No. 3 of 3

**EMERSON** Bike Rack, Embedded  
Product Drawing

**MANHOLES**

**COMPUTER FILE INFORMATION**

Creation Date: 07/31/19	Designer Initials: JBC
Last Modification Date: 07/31/19	Detailer Initials: LTA
CAD Ver: MicroStation V8	Scale: Not to Scale

**SHEET REVISIONS**

Date	Comments
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**STANDARD PLAN NO. M-604-20**  
Standard Sheet No. 2 of 3

**DATE: 9/19/2016**  
**FIG: 800.521.2546**

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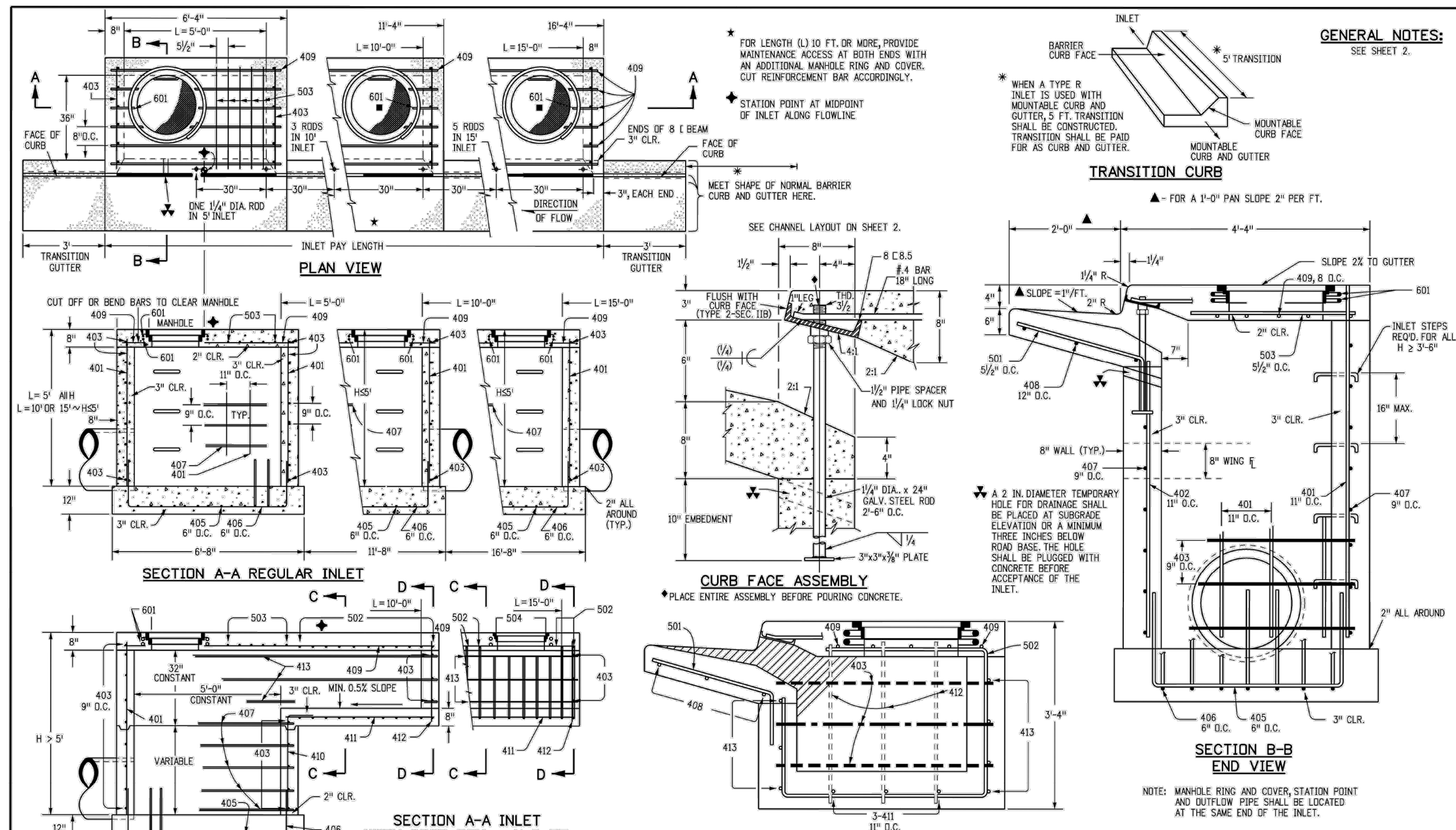
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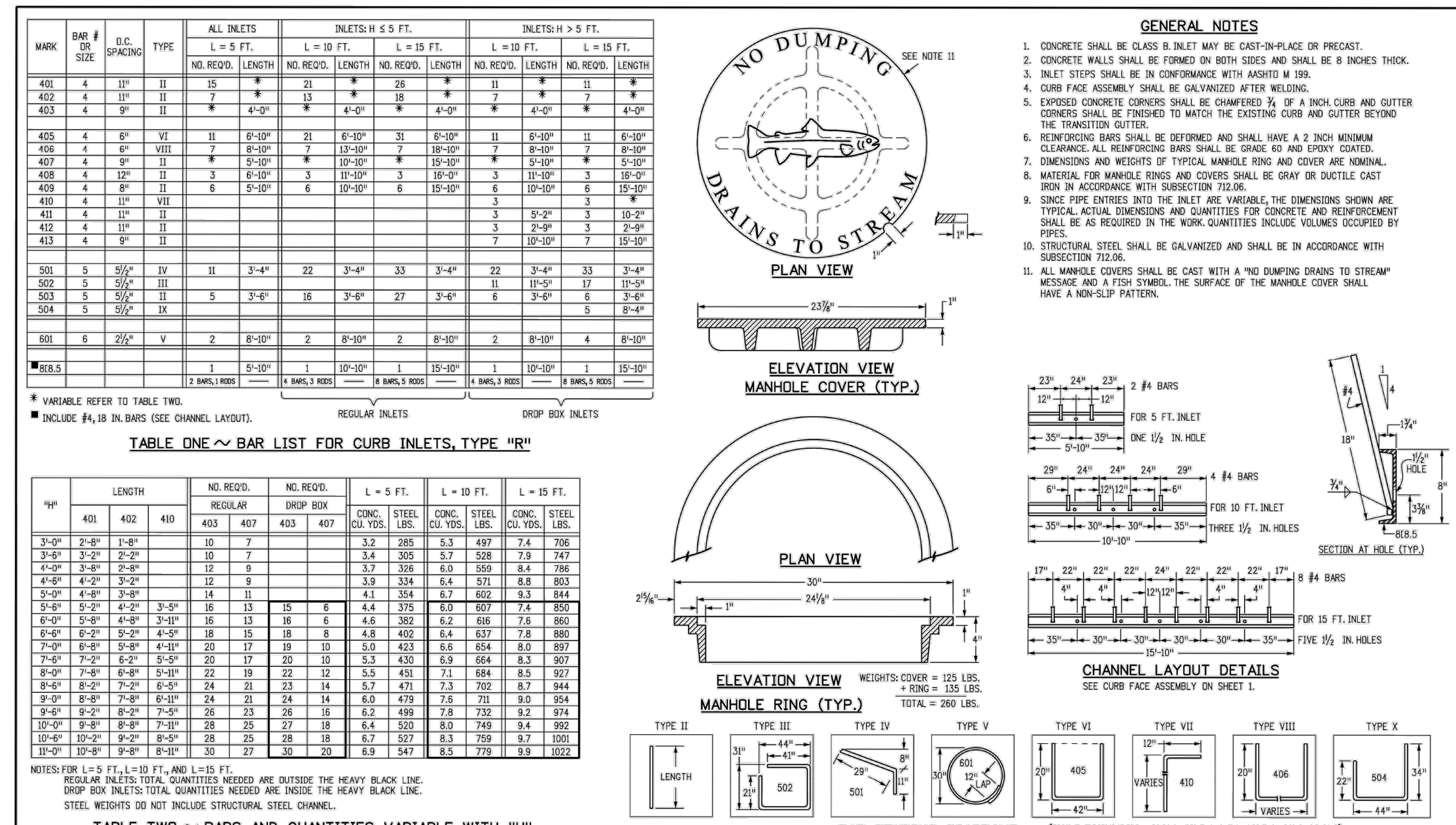
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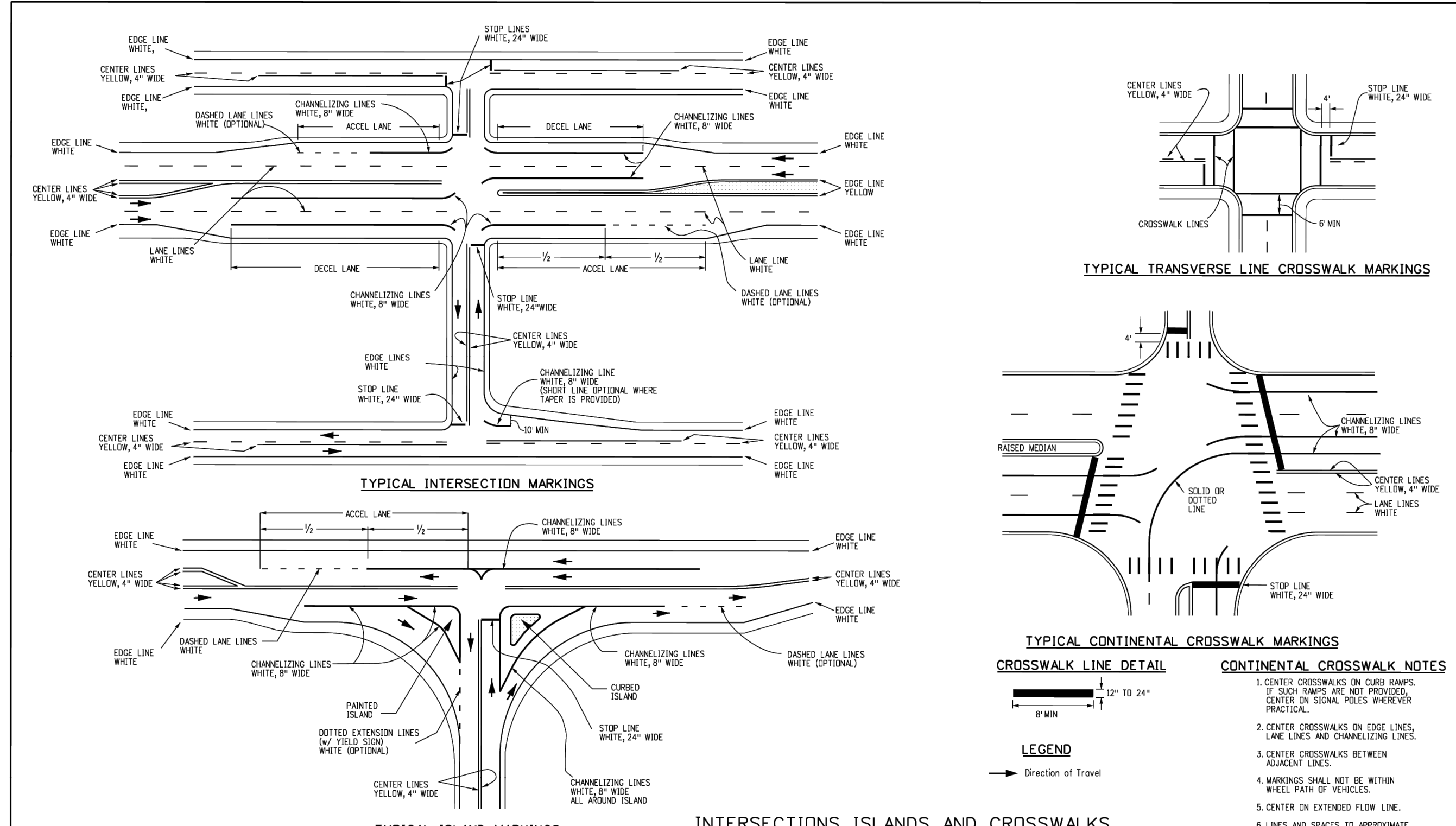
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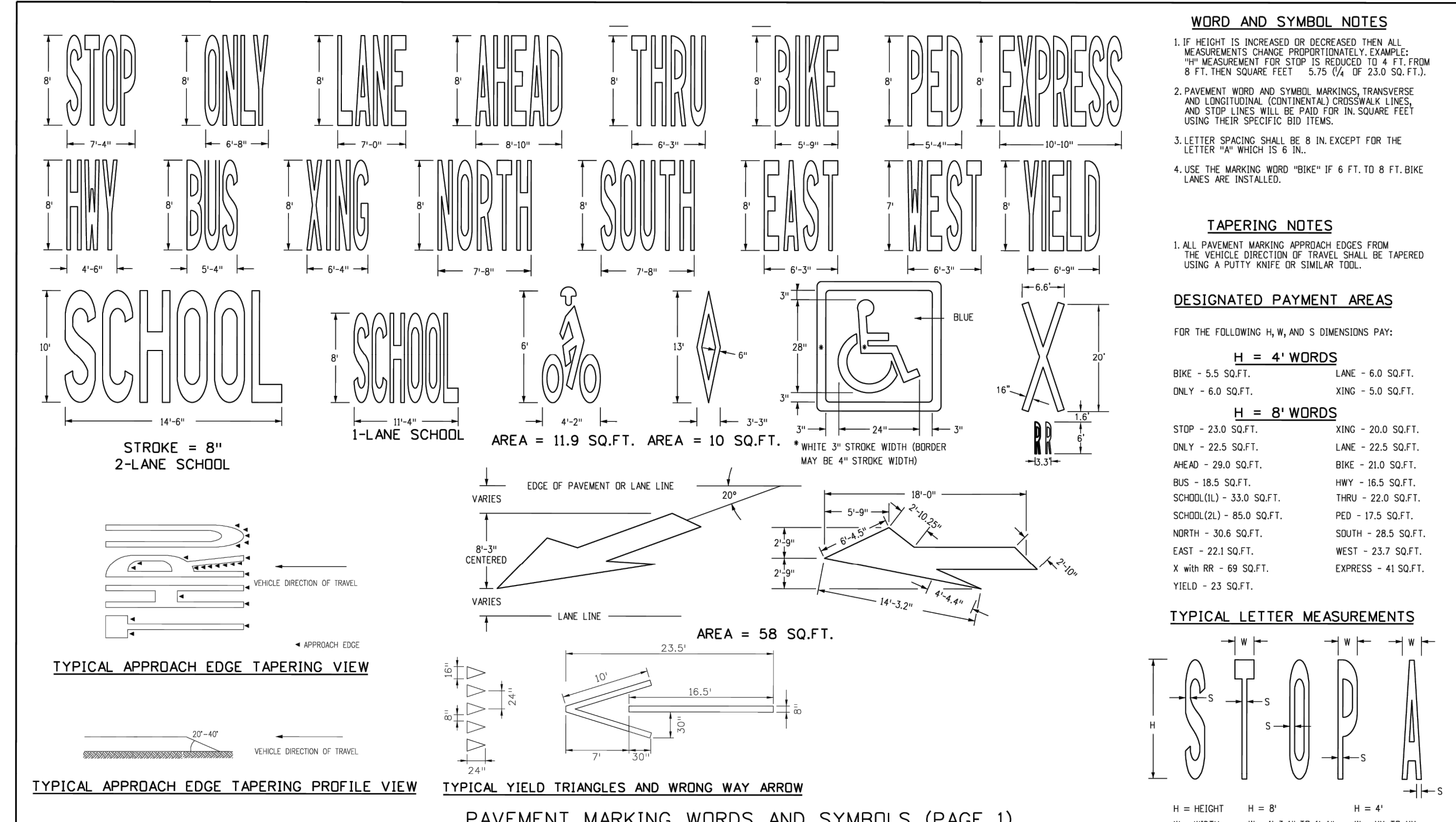
<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>CURB INLET TYPE R</b>	<b>STANDARD PLAN NO.</b>								
Creation Date: 07/23/19 Designer: JBC Last Modification Date: 07/31/19 Detailer: LTA CAD Ver: MicroStation V8	<table border="1"> <tr><th>Date</th><th>Comments</th></tr> <tr><td>07/23/19</td><td>ISSUED</td></tr> <tr><td>07/31/19</td><td>REVISED</td></tr> <tr><td>07/31/19</td><td>REVISED</td></tr> </table>	Date	Comments	07/23/19	ISSUED	07/31/19	REVISED	07/31/19	REVISED	2829 West Howard Place COOT 110, 3rd Floor Denver, CO 80204 Phone: 303-757-9654 Fax: 303-757-9021	M-604-12 Standard Sheet No. 1 of 2	Issued by the Project Development Branch July 31, 2019 Project Sheet Number:
Date	Comments											
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07/31/19	REVISED											
07/31/19	REVISED											



<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>CURB INLET TYPE R</b>	<b>STANDARD PLAN NO.</b>								
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07/23/19	ISSUED											
07/31/19	REVISED											
07/31/19	REVISED											



<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>PAVEMENT MARKINGS</b>	<b>STANDARD PLAN NO.</b>										
Creation Date: 07/04/12 Created By: JBC Last Modification Date: 12/20/24 Last Modified By: NRI/VERA CAD Ver: MicroStation V8	<table border="1"> <tr><th>Date</th><th>Comments</th></tr> <tr><td>12/20/24</td><td>UPDATED DIMENSIONS</td></tr> <tr><td>04/14/23</td><td>UPDATED NUMBER OF SHEETS</td></tr> <tr><td>07/22/22</td><td>UPDATED DIMENSIONS</td></tr> <tr><td>07/16/21</td><td>UPDATED DIMENSIONS</td></tr> </table>	Date	Comments	12/20/24	UPDATED DIMENSIONS	04/14/23	UPDATED NUMBER OF SHEETS	07/22/22	UPDATED DIMENSIONS	07/16/21	UPDATED DIMENSIONS	2829 W. Howard Pl. Denver, CO 80204 Phone: 303-757-9654 Fax: 303-757-9021	S-627-1 Standard Sheet No. 3 of 11	Issued by Traffic Safety & Engineering Branch July 31, 2019 Project Sheet Number:
Date	Comments													
12/20/24	UPDATED DIMENSIONS													
04/14/23	UPDATED NUMBER OF SHEETS													
07/22/22	UPDATED DIMENSIONS													
07/16/21	UPDATED DIMENSIONS													



<b>Computer File Information</b>	<b>Sheet Revisions</b>	<b>Colorado Department of Transportation</b>	<b>PAVEMENT MARKINGS</b>	<b>STANDARD PLAN NO.</b>										
Creation Date: 07/04/12 Created By: JBC Last Modification Date: 12/20/24 Last Modified By: NRI/VERA CAD Ver: MicroStation V8	<table border="1"> <tr><th>Date</th><th>Comments</th></tr> <tr><td>12/20/24</td><td>YIELD TRIANGLES AND WRONG WAY ARROW</td></tr> <tr><td>04/14/23</td><td>MOVED DIMENSIONS TO SHEET 10</td></tr> <tr><td>07/22/22</td><td>UPDATED DIMENSIONS</td></tr> <tr><td>07/16/21</td><td>UPDATED SHEET NUMBER</td></tr> </table>	Date	Comments	12/20/24	YIELD TRIANGLES AND WRONG WAY ARROW	04/14/23	MOVED DIMENSIONS TO SHEET 10	07/22/22	UPDATED DIMENSIONS	07/16/21	UPDATED SHEET NUMBER	2829 W. Howard Pl. Denver, CO 80204 Phone: 303-757-9654 Fax: 303-757-9021	S-627-1 Standard Sheet No. 9 of 11	Issued by Traffic Safety & Engineering Branch July 31, 2019 Project Sheet Number:
Date	Comments													
12/20/24	YIELD TRIANGLES AND WRONG WAY ARROW													
04/14/23	MOVED DIMENSIONS TO SHEET 10													
07/22/22	UPDATED DIMENSIONS													
07/16/21	UPDATED SHEET NUMBER													

NOTE: CROSSWALKS TO BE TEXTURED OR RAISED WITH REFLECTIVE PAINT PER TOWN OF PARKER CODE SECTION VIII.F.1.g.

NO.	REVISION	BY	DATE

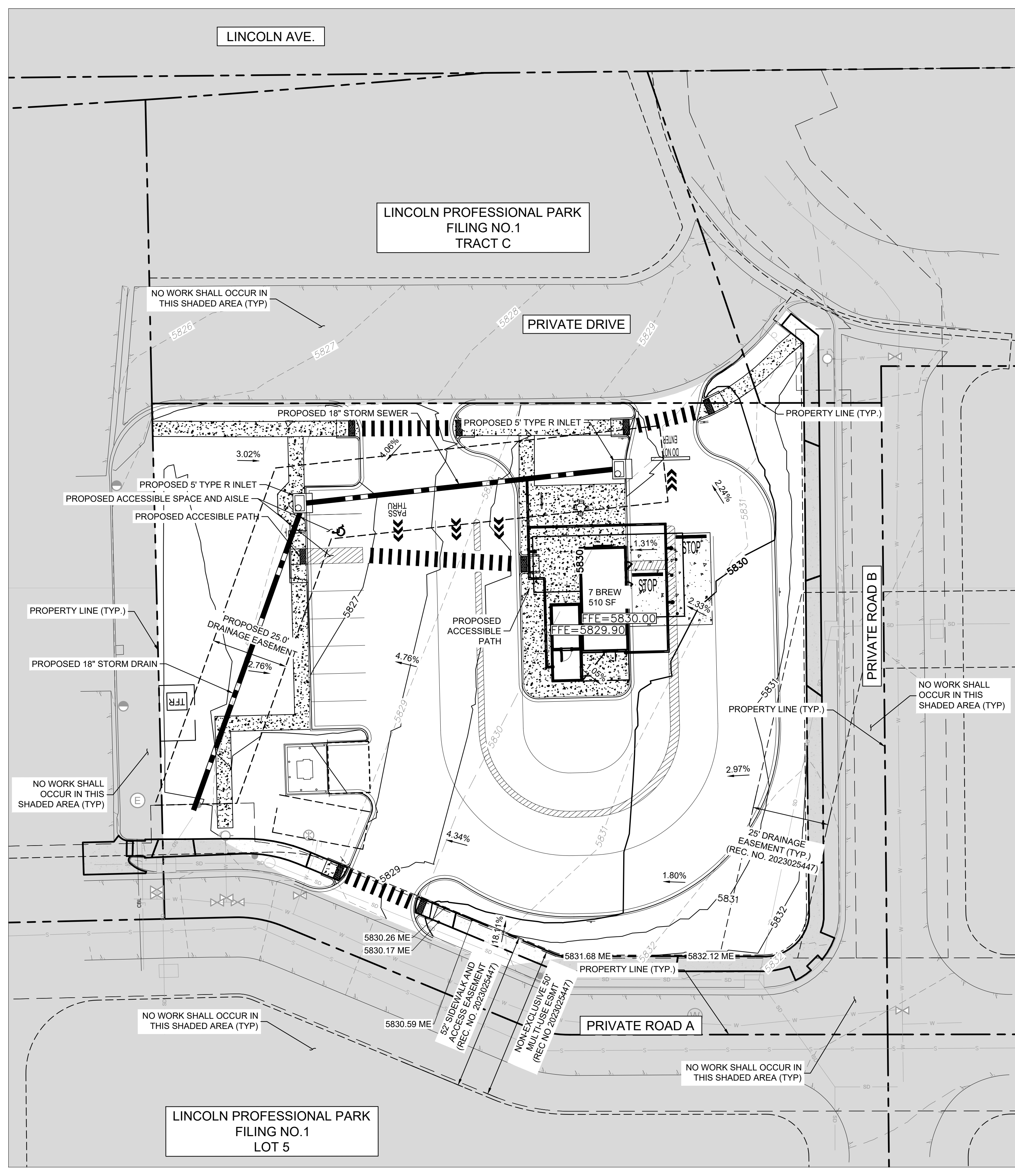
**Kimley-Horn**  
 2025 KIMLEY-HORN AND ASSOCIATES, INC.  
 6200 South Syracuse Way, Suite 300  
 Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR  
 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 12/2/25

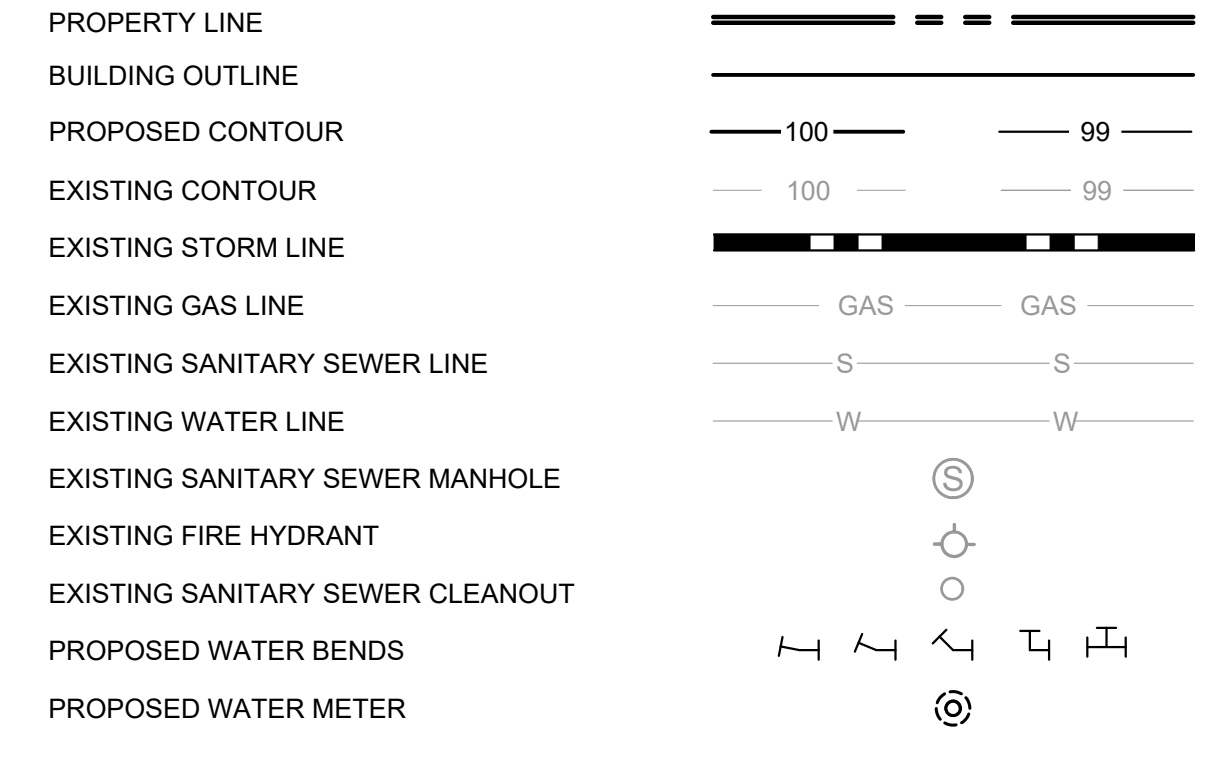
LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - CONSTRUCTION DOCUMENTS  
 SITE DETAILS (4)

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**Kimley-Horn**  
 Kimley-Horn and Associates, Inc.  
 PROJECT NO. 296237001  
 SHEET 296237001\_SP  
 7

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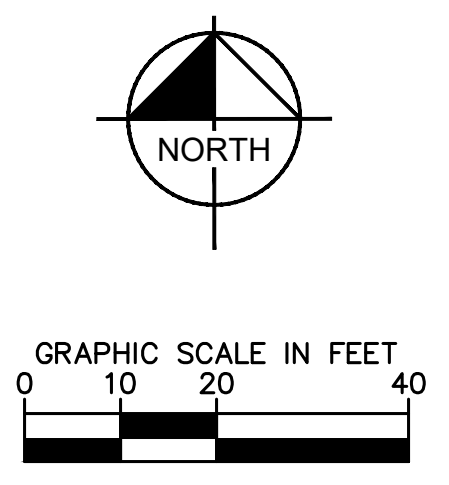


**LEGEND**



**NOTES:**

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. NO EARTHEN SLOPE SHALL BE GREATER THAN 2:1, UNLESS OTHERWISE NOTED.
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
5. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
6. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
7. EXISTING AND PROPOSED TOPOGRAPHY ARE SHOWN AT ONE-FOOT CONTOUR INTERVALS.
8. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. THE TOP BACK OF CURB SHALL BE 0.5-FEET ABOVE FLOWLINE ELEVATIONS.



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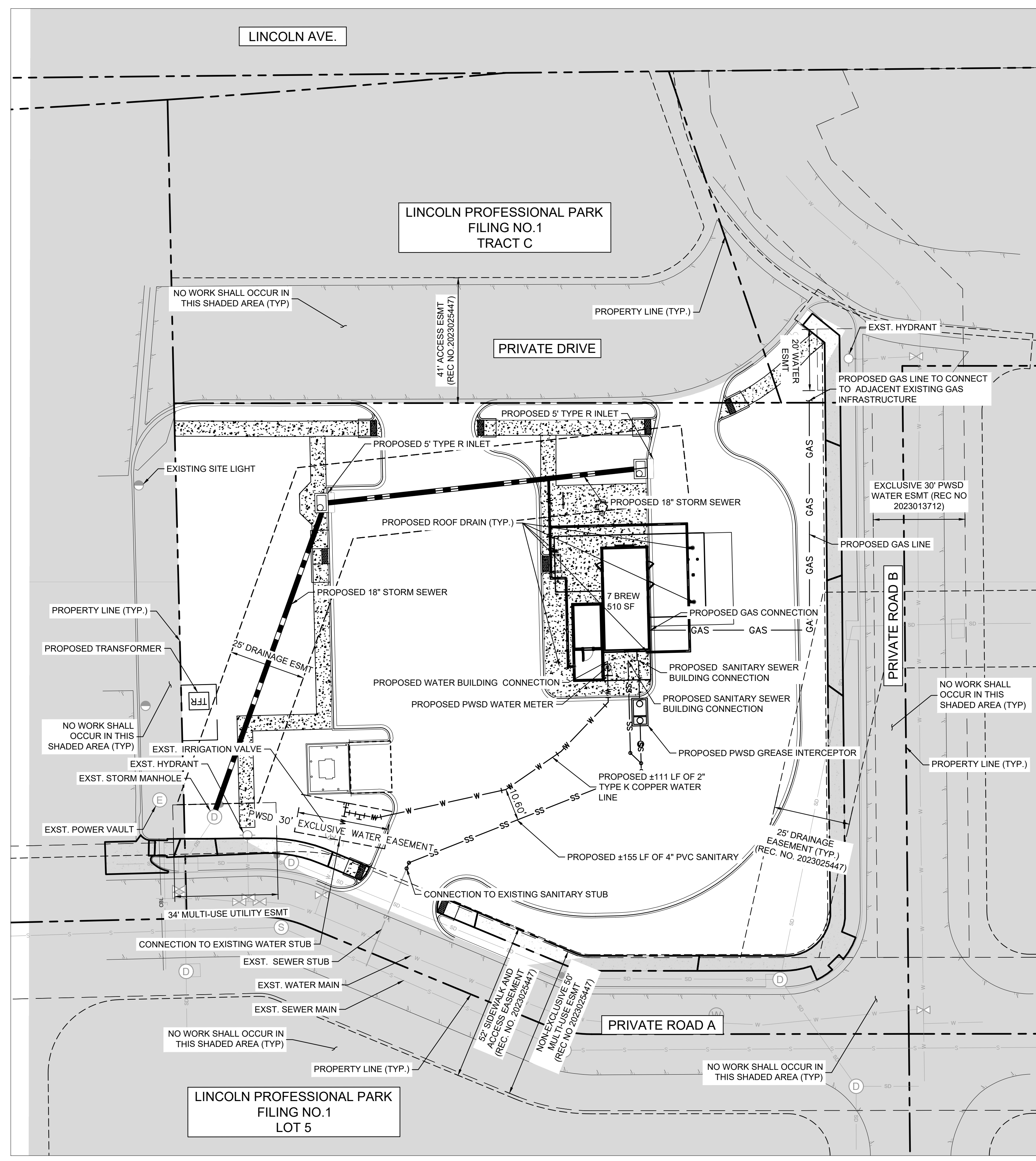
DESIGNED BY: MMR  
 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 8/4/25

**LINCOLN PROFESSIONAL PARK FILING NO. 1**  
**LOT 2, PARKER, CO**  
**7 BREW - SITE PLAN**  
**GRADING PLAN**

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 PROJECT NO.  
 296237001  
 SHEET  
 296237001\_0P  
**8**



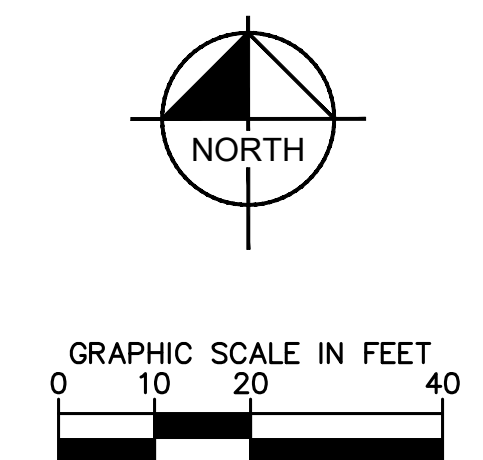
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**LEGEND**

PROPERTY LINE	---
EASEMENT	---
BUILDING OUTLINE	---
PROPOSED GAS LINE	— GAS — GAS —
PROPOSED SANITARY SEWER LINE	— S — S —
PROPOSED WATER LINE	— W — W —
PROPOSED STORM LINE	— SD — SD —
EXISTING GAS LINE	— GAS — GAS —
EXISTING SANITARY SEWER LINE	— S — S —
EXISTING WATER LINE	— W — W —
EXISTING STORM LINE	— SD — SD —
PROPOSED CONTOUR	— 100 — 99 —
EXISTING CONTOUR	— 100 —
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING STORM MANHOLE	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING SEWER CLEANOUT	⊙
EXISTING WATER VALVE	⊙
EXISTING STORM DRAIN STRUCTURE	⊙
PROPOSED WATER BENDS	⊙
PROPOSED STORM CURB INLET	⊙
PROPOSED WATER METER	⊙
PROPOSED SANITARY SEWER CLEANOUT	⊙

- NOTES:**
- UTILITY CONNECTIONS TERMINATE 5' FROM BUILDING ENVELOPE. SEE ARCHITECT AND MEP PLANS FOR CONTINUATION.
  - ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.
  - CONTRACTOR TO CONFIRM ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
  - ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICES LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.



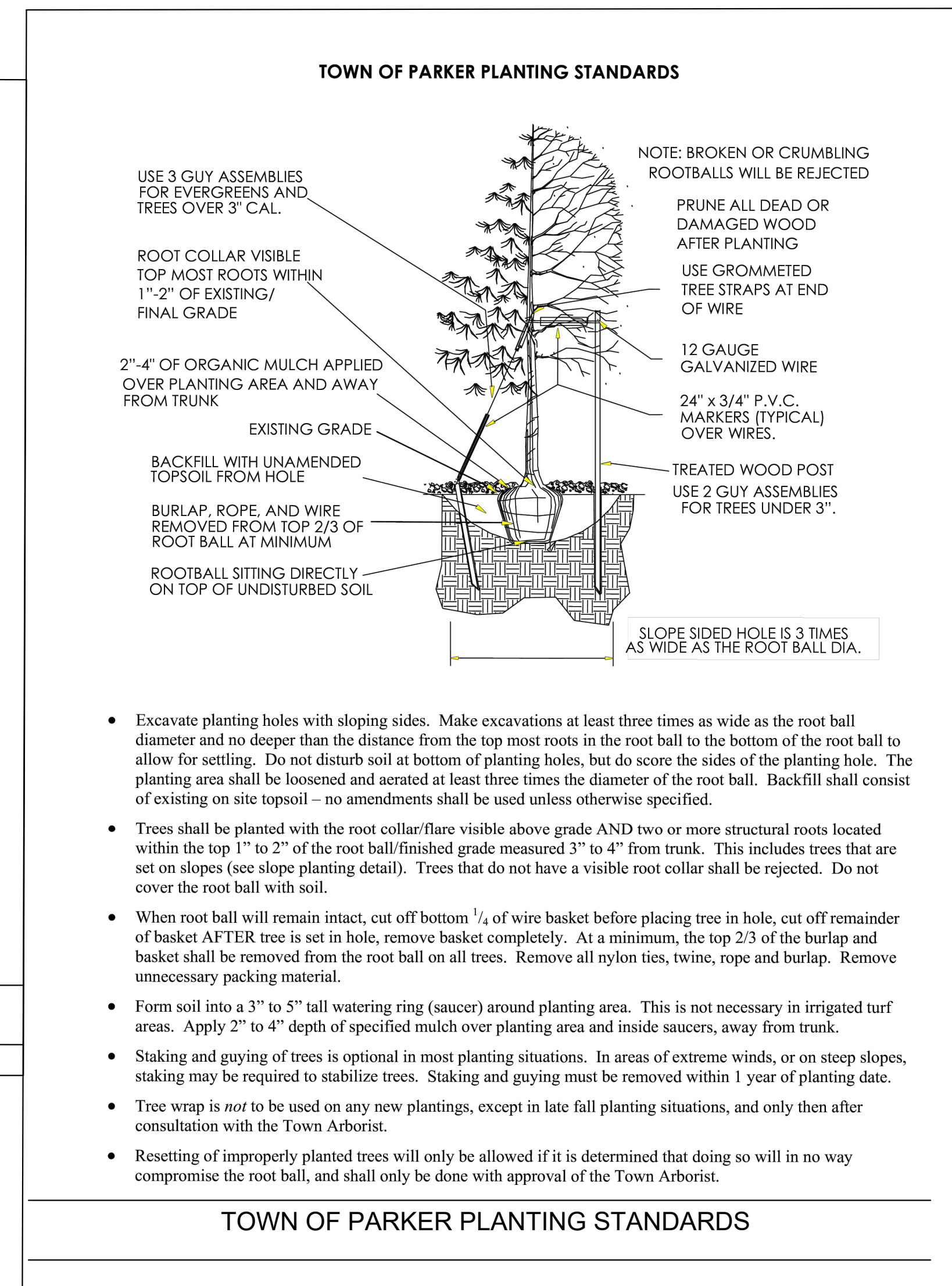
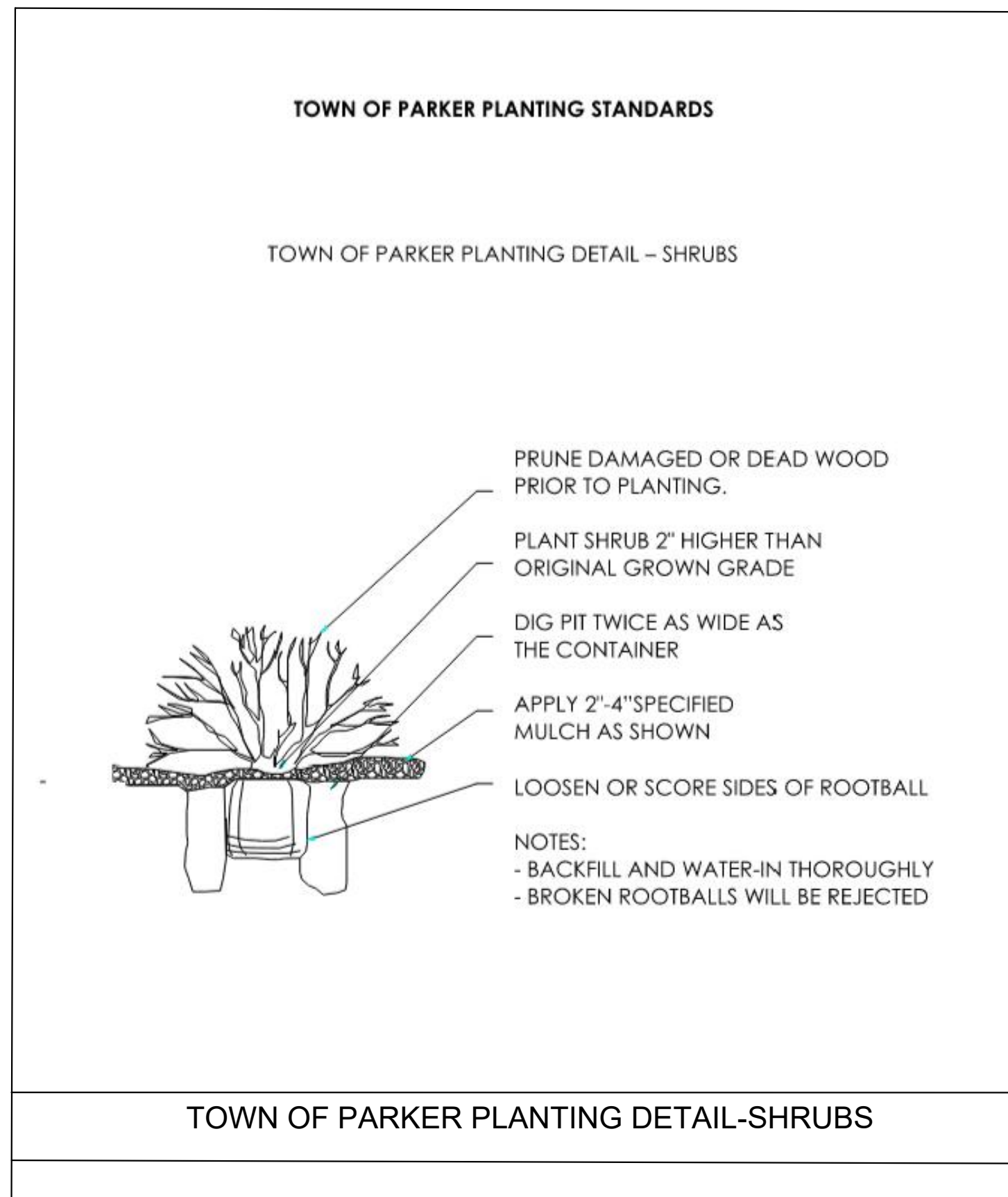
<p><b>Lincoln Professional Park Filing No. 1</b>  <b>Lot 2, Parker, CO</b>  <b>7 Brew - Site Plan</b>  <b>Overall Utility Plan</b></p>	<p>NO. _____ BY _____ DATE _____</p> <p>REVISION _____</p>
<p>DESIGNED BY: MMR          DRAWN BY: KNP          CHECKED BY: KEW          DATE: 8/4/25</p>	
<p>PROJECT NO. 296237001          SHEET 296237001_00  <b>9</b></p>	





**TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES**

- ALL PLANTING SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNER'S ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATER, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OR THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.



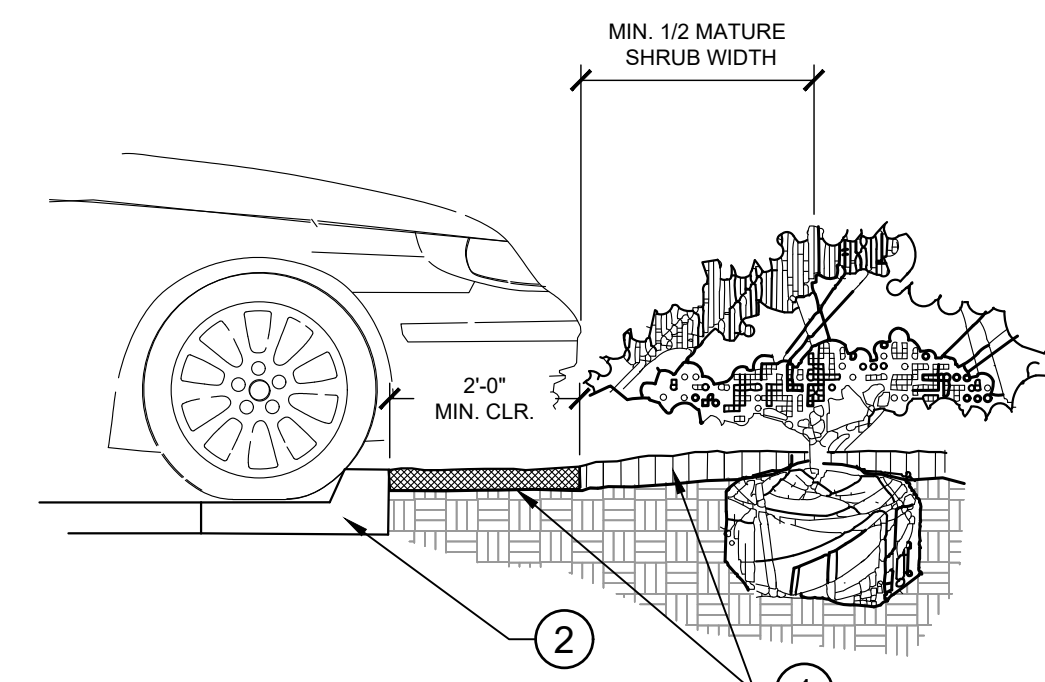
LANDSCAPE REQUIREMENTS			
PROPERTY ACERAGE: 1.052 ACRES (42,826 SF)			
<b>13.08.090 OVERALL LANDSCAPE REQUIREMENTS</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
PERCENTAGE OF LANDSCAPING	42,826 SF	6,878 SF (15%)	11,652 SF (27%)
PERCENTAGE OF LIVING MATERIAL	11,652 SF	8,739 SF (75%)	8,740 (75%)
TREES AND SHRUBS PER 1,500 SF	6,878 SF	5 TREES & 23 SHRUBS	26 TREES & 170 SHRUBS
<b>13.08.090 (F) PARKING LOT INTERIOR LANDSCAPING</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
10% SHALL BE ALLOCATED TO PARKING ISLANDS	2,843 SF	285 SF (10%)	392 SF (13%)
1 TREE & 5 SHRUBS PER 162 SF			
PARKING ISLAND 1	291 SF	1 TREE & 13 SHUBS	1 TREE & 13 SHRUBS
PARKING ISLAND 2	101 SF	1 TREE & 5 SHRUBS	1 TREE & 5 SHRUBS
<b>13.08.090 (G) SITE PERIMETER REQUIREMENTS</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
1 TREE & 5 SHRUBS PER 30 LF			
NORTH SIDE	212 LF	7 TREES & 35 SHRUBS	7 TREES & 58 SHRUBS & 12 ORNAMENTAL GRASSES
EAST SIDE	197 LF	7 TREES & 33 SHRUBS	7 TREES & 35 SHRUBS
SOUTH SIDE	213 LF	7 TREES & 36 SHRUBS	7 TREES & 54 SHRUBS
WEST SIDE	133 LF	5 TREES & 23 SHRUBS	5 TREES & 23 SHRUBS
<b>13.08.090 (E) STREET TREE REQUIREMENTS</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
1 TREE PER 35 LF			
75% LIVE COVERAGE			
NORTH: PRIVATE DRIVE	164 LF	5 TREES	5 TREES
<b>TOTAL</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
TOTAL TREES AND SHRUBS:		33 TREES & 145 SHRUBS	33 TREES & 188 SHRUBS & 12 ORNAMENTAL GRASSES

These are not correct. Recalculate. KH RESPONSE: Recalculated

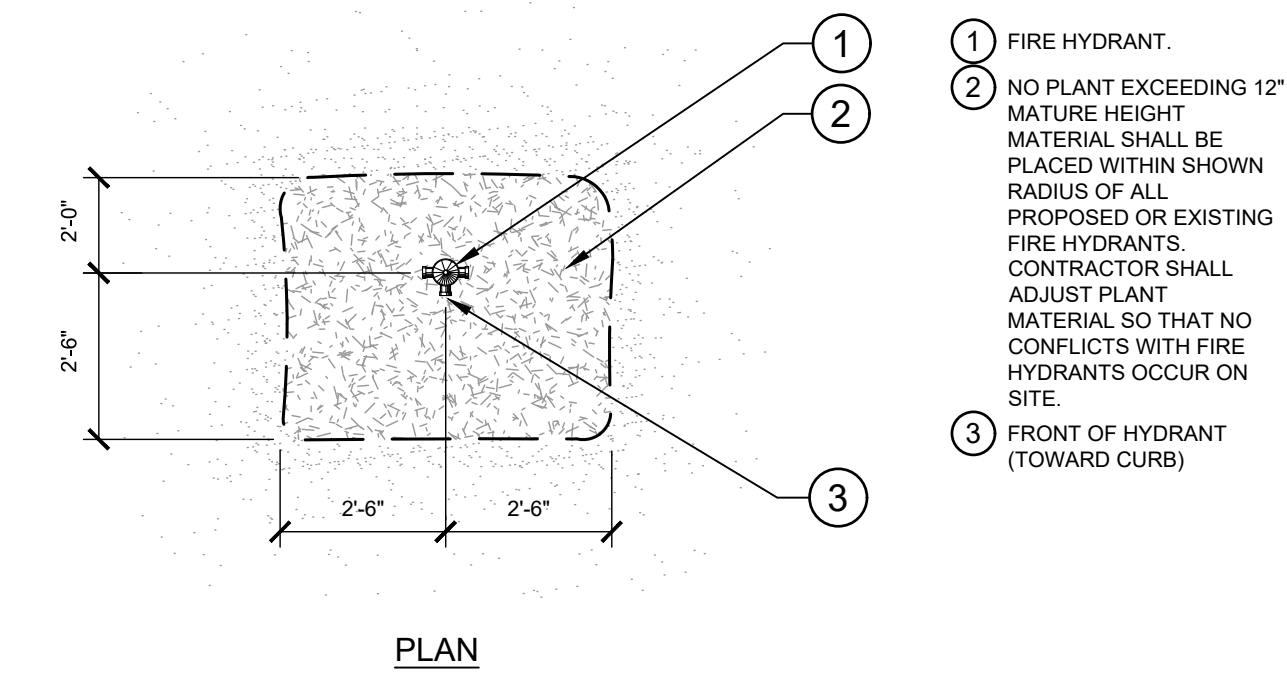
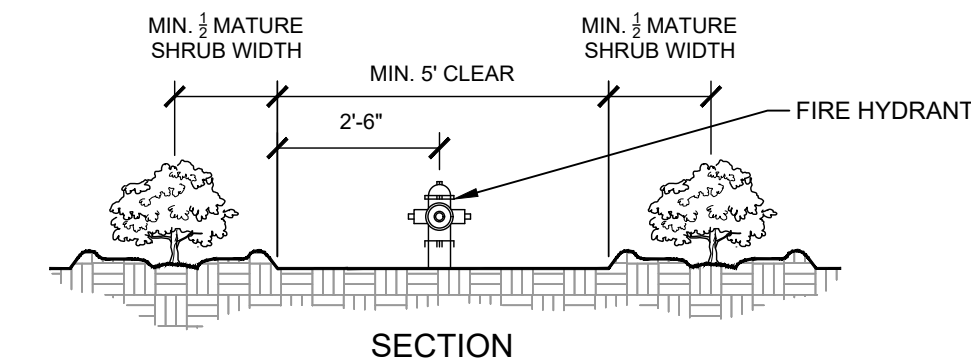
Add: P1 (this is a min. six foot area per LDO 13.08.090(g)(4).

Revise - in Mixed Use Community - 1 tree per 40 linear feet. KH RESPONSE: Street trees updated to reflect 1 tree per 40 lf.

Per LDO 13.08.090(h) Add Site Interior Landscaping category if parking lot and perimeter landscaping do not collectively meet min. landscaping requirement. KH RESPONSE: Minimum landscape requirements have been met.



1 INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.  
 2 CURB / PARKING LOT EDGE.



1 FIRE HYDRANT.  
 2 NO PLANT EXCEEDING 12" MATURE HEIGHT MATERIAL SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.  
 3 FRONT OF HYDRANT (TOWARD CURB)

NO.	REVISION	BY	DATE	APPR

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 Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR  
 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 12/2/25

LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - CONSTRUCTION DOCUMENTS  
 LANDSCAPE NOTES

PRELIMINARY  
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PROJECT NO.  
 296237001  
 SHEET  
**L2.0**



No.	Description	Date
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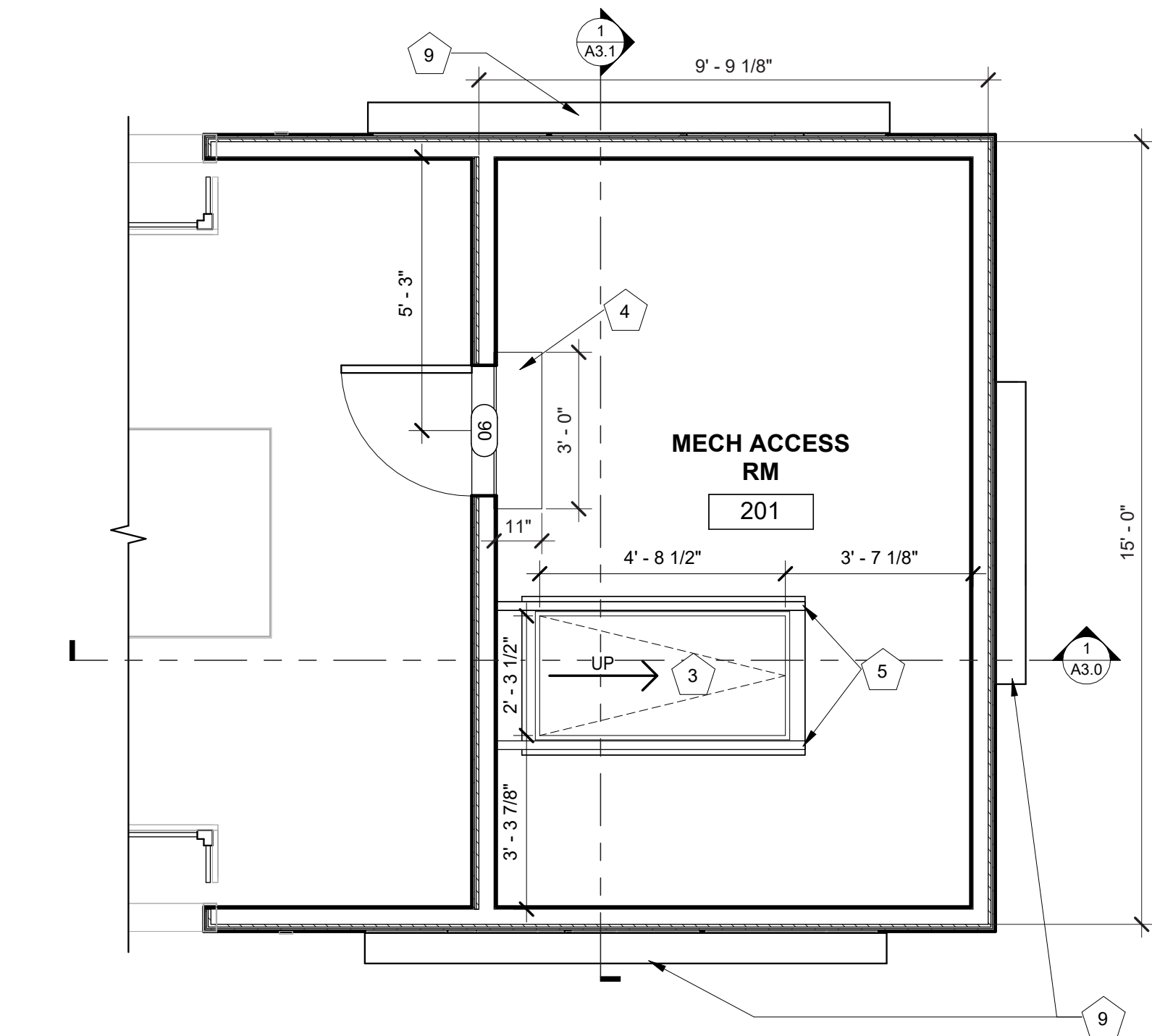
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09/29/2025  
project no.:  
22.51.09

sheet contents:  
FLOOR PLAN

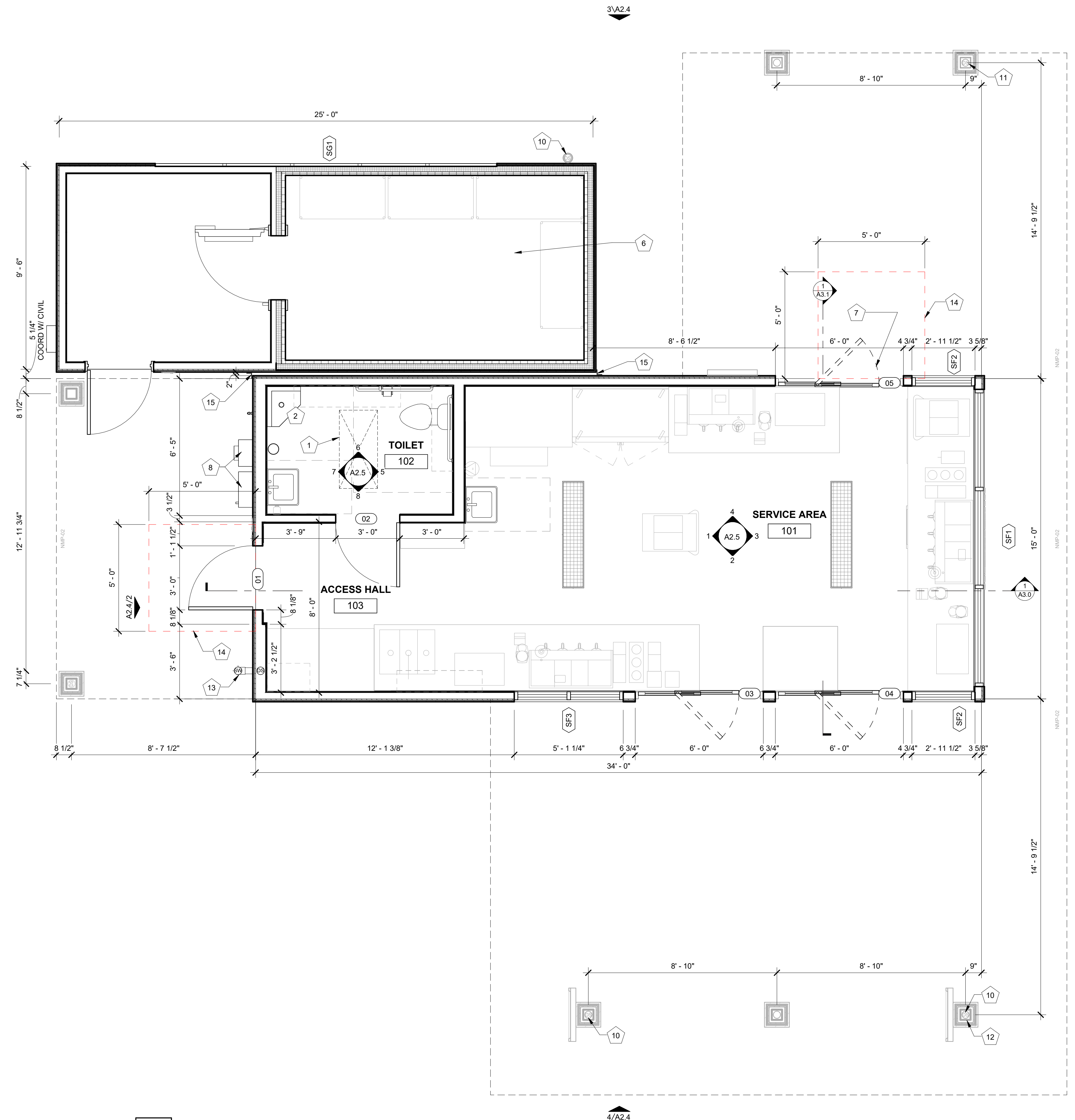
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**A1.2**

**FLOOR PLAN KEYNOTES**

MARK	DESCRIPTION
1	ACCESS DOOR FOR CRAWL SPACE ACCESS
2	MOP SINK; REF PLUMBING
3	MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER
4	STEP, CENTER ON DOOR
5	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
6	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
7	ADA AUTO/MANUAL EGRESS CAPABLE
8	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
9	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
10	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
11	DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
12	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
13	DOWNSPOUT OUTLET - STORMWATER CONNECTION; COORD W/ CIVIL
14	FROST-PROTECTED EGRESS FOUNDATION PAD
15	METAL TRIM BETWEEN BUILDING AND COOLER



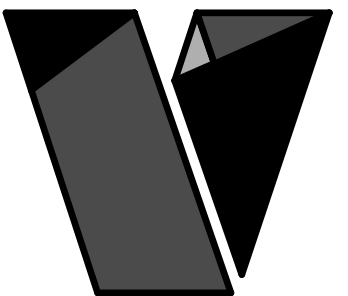
**2 MECH ACCESS RM**  
3/8" = 1'-0"



**1 FLOOR PLAN**  
3/8" = 1'-0"



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consulting engineer:

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ERC BREW, LLC  
LINCOLN & DRESDEN, PARKER, CO 80134

REVISIONS  
No. Description Date

sheet issue date:  
09/29/2025

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22.51.09

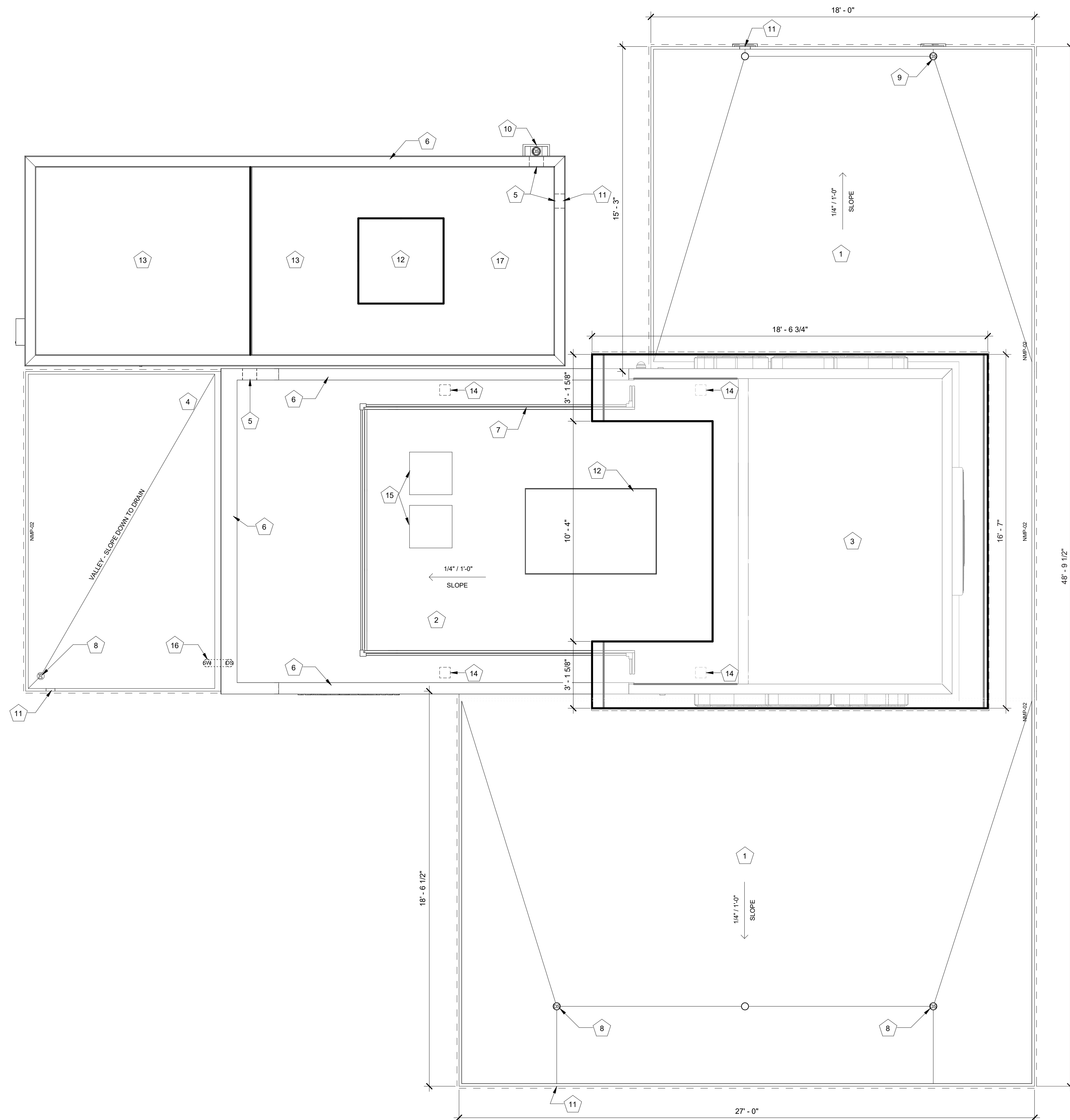
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ROOF PLAN

sheet no.:

A1.6

### ROOF PLAN KEYNOTES

MARK	DESCRIPTION
1	PRE-ENGINEERED CANOPY W/ TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING; REF CANOPY SHOP DRAWINGS
2	TPO ROOFING ON ROOF SHEATHING PER STRUCT
3	CORRUGATED ARC METAL ROOF ON #15 FELT ON PLYWOOD ROOF SHEATHING
4	TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING
5	8" WIDE X 4" HIGH TPO ROOF SCUPPER WITH SHEET METAL UNDERLAYMENT
6	BRAKE METAL CAP; REF ELEVATIONS
7	3' - 6" GUARDRAIL
8	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
9	ROOF DRAIN WITHIN STRUCTURAL COLUMN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
10	ROOF DRAIN; DOWNSPOUT TO BE GALVANIZED, PAINTED, STEEL; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
11	OVERFLOW TO GRADE
12	HVAC EQUIPMENT
13	ROOFING PER COOLER MANUF
14	MODULAR BUILDING PICK POINTS WITH ROOFING COLLAR; REF STRUCT
15	ICE MACHINE CONDENSERS; SITE CONTRACTOR TO DETERMINE FINAL LOCATION
16	CONNECT ABOVE-GRADE DOWNSPOUT OUTLET TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
17	COOLER MANUF TO PROVIDE FALL ARREST/RESTRAINT ANCHORAGE DEVICE IN COMPLIANCE WITH ANSI/ASSP Z359.1



**1** ROOF PLAN  
3/8" = 1'-0"



11/18/2025 3:21:39 PM C:\Users\sam\Documents\22.51.09\_7 Brew - Parker CO - Lincoln & Dresden - Entitlement\_R22\_sam6QWCY.rvt  
7 Brew Template V3.0  
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No.	Description	Date

sheet issue date:  
09/29/2025  
project no.:  
22.51.09

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:  
**A2.0**

**EXTERIOR ELEVATION MATERIALS LEGEND**

MARK	DESCRIPTION
A	THIN BRICK (BRK-2)
B	THIN BRICK (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA
H	Glass - note type of glass

**EXTERIOR ELEVATION KEYNOTES**

MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
10	KNOX BOX
11	HVAC EQUIPMENT
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED TO MATCH SURROUNDING MATERIAL; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
24	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL

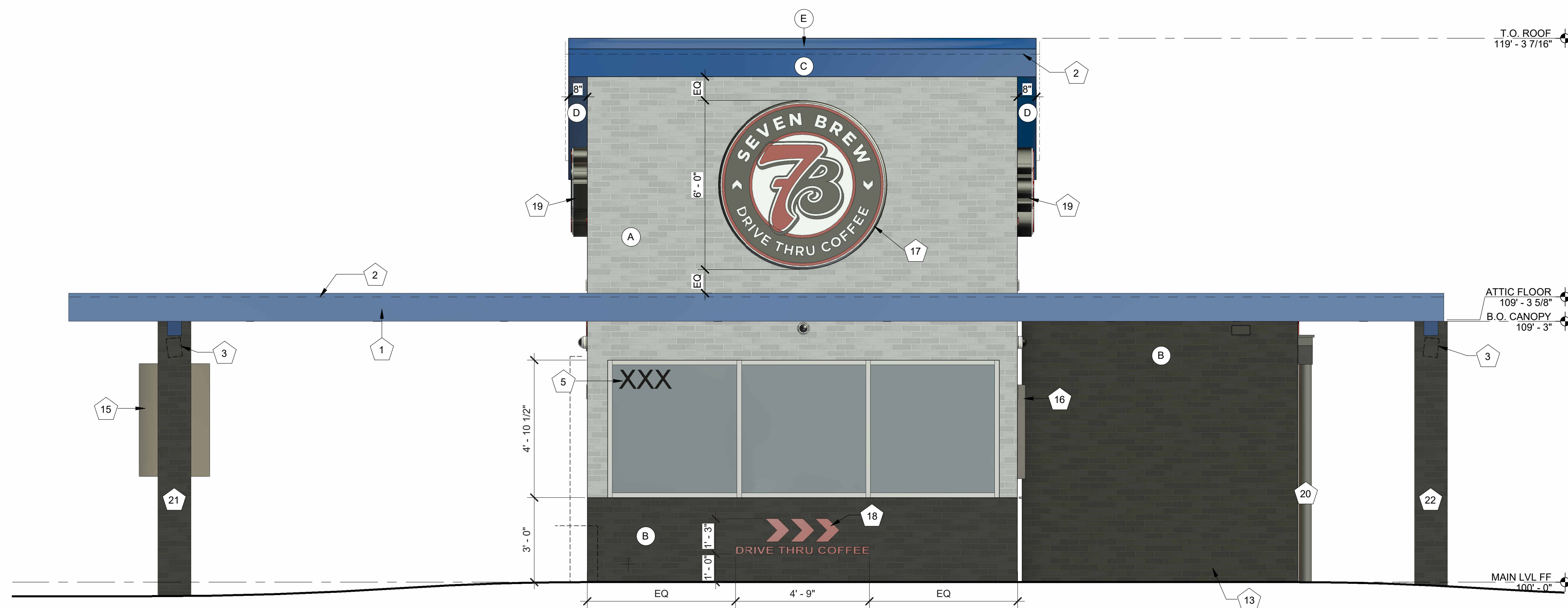
**EXTERIOR ELEVATION MATERIALS SUMMARY**

NORTH ELEVATION - 91.635F TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-0" AND 8'-0" (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 60% / 54.985F	PROPOSED 74.03% / 67.845F
BRICK	MIN 40% / 36.655F	PROPOSED 25.96% / 23.795F

Add percent of each material.

Additional sheet added with this information.

Add Glass to Legend

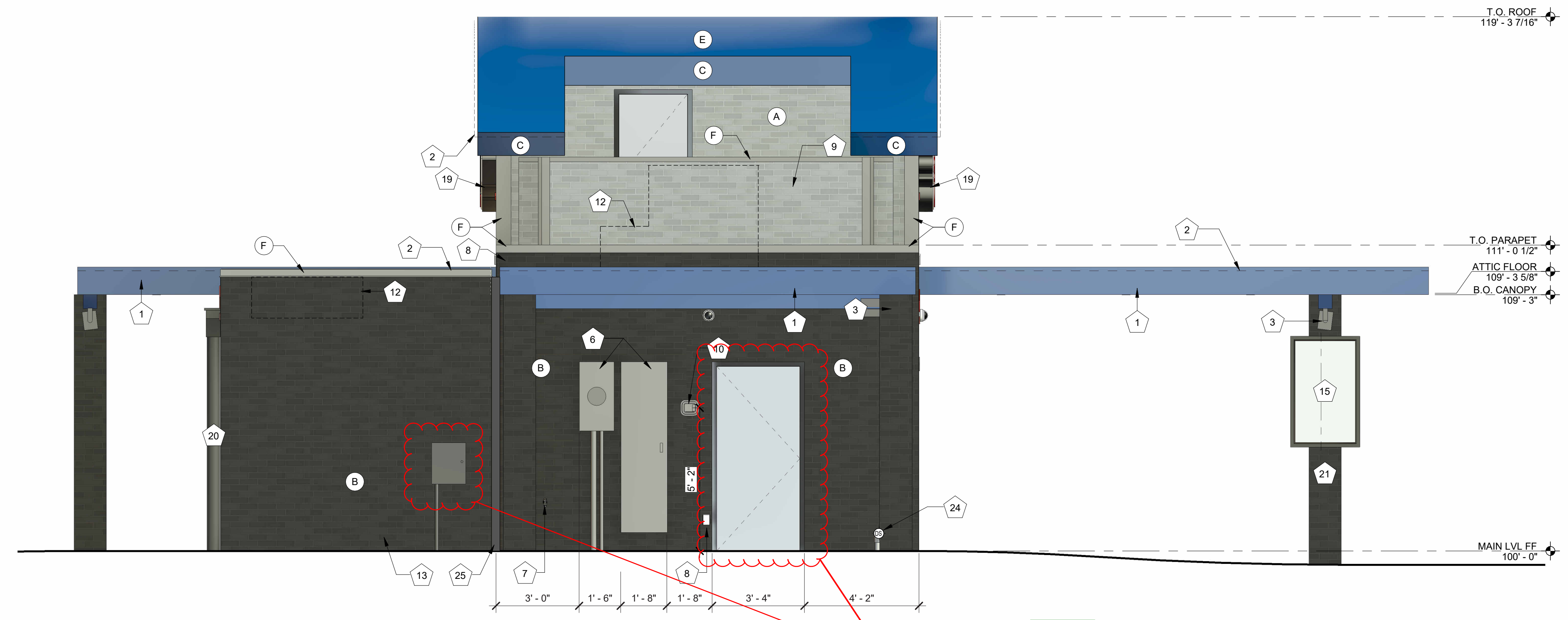


**1 EXTERIOR ELEVATION - NORTH**  
3/8" = 1'-0"

NOTE:  
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.

EXTERIOR ELEVATION MATERIALS LEGEND	
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D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
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23	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
24	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL



**1 EXTERIOR ELEVATION - SOUTH**  
3/8" = 1'-0"

NOTE:  
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.

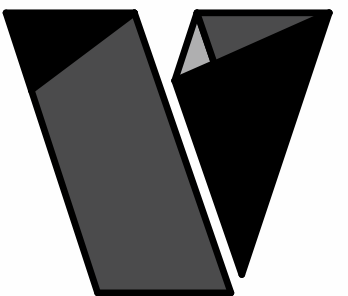
REVISIONS		
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EXTERIOR ELEVATIONS

sheet no.:  
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LINCOLN & DRESDEN, PARKER, CO 80134

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No. Description Date

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project no.:  
22.51.09

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:

A2.2

### EXTERIOR ELEVATION MATERIALS LEGEND

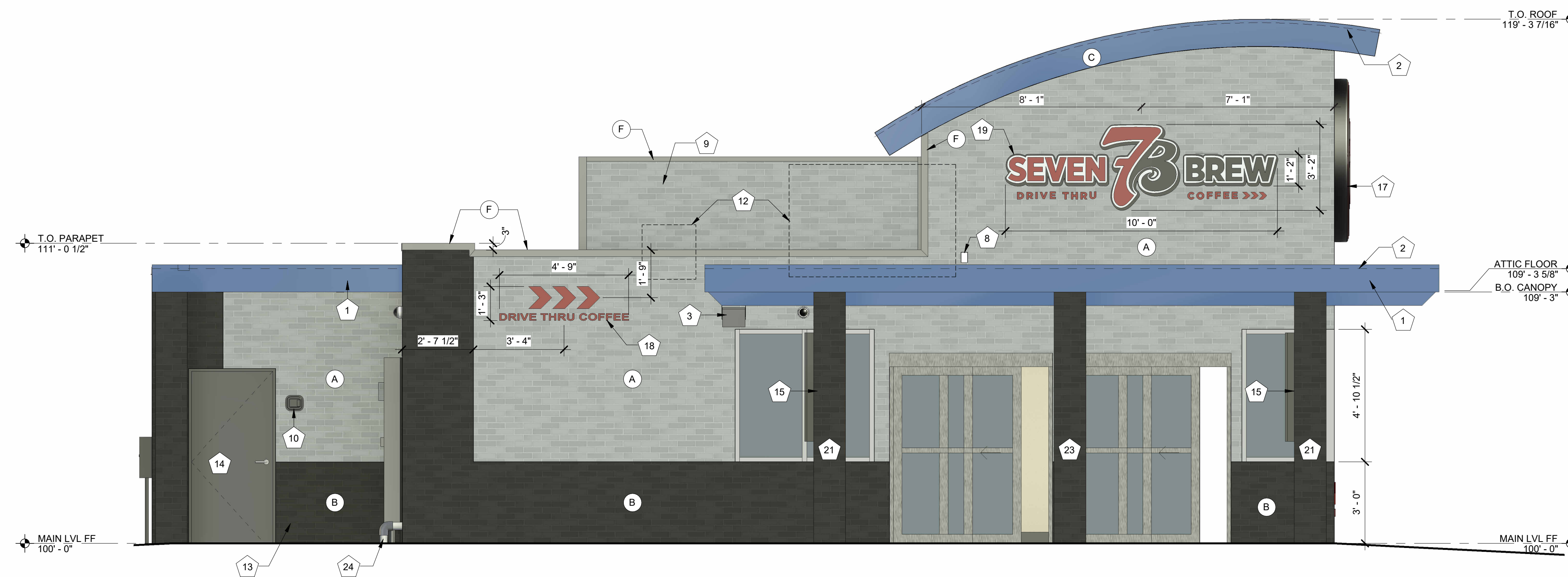
MARK	DESCRIPTION
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B	THIN BRICK (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA

### EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP
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8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
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10	KNOX BOX
11	HVAC EQUIPMENT
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
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24	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL

### EXTERIOR ELEVATION MATERIALS SUMMARY

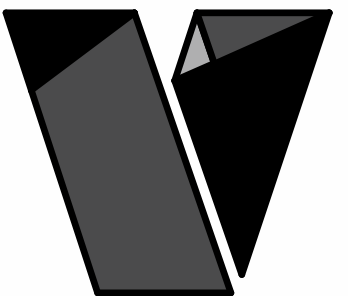
EAST ELEVATION - 260.01SF TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-0" AND 8'-0" (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 40 % / 104.05F	PROPOSED 49.72% / 129.275F
BRICK	MIN 60 % / 156.05F	PROPOSED 50.28% / 130.745F



## 1 EXTERIOR ELEVATION - EAST

3/8" = 1'-0"

NOTE:  
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.



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EXTERIOR ELEVATIONS

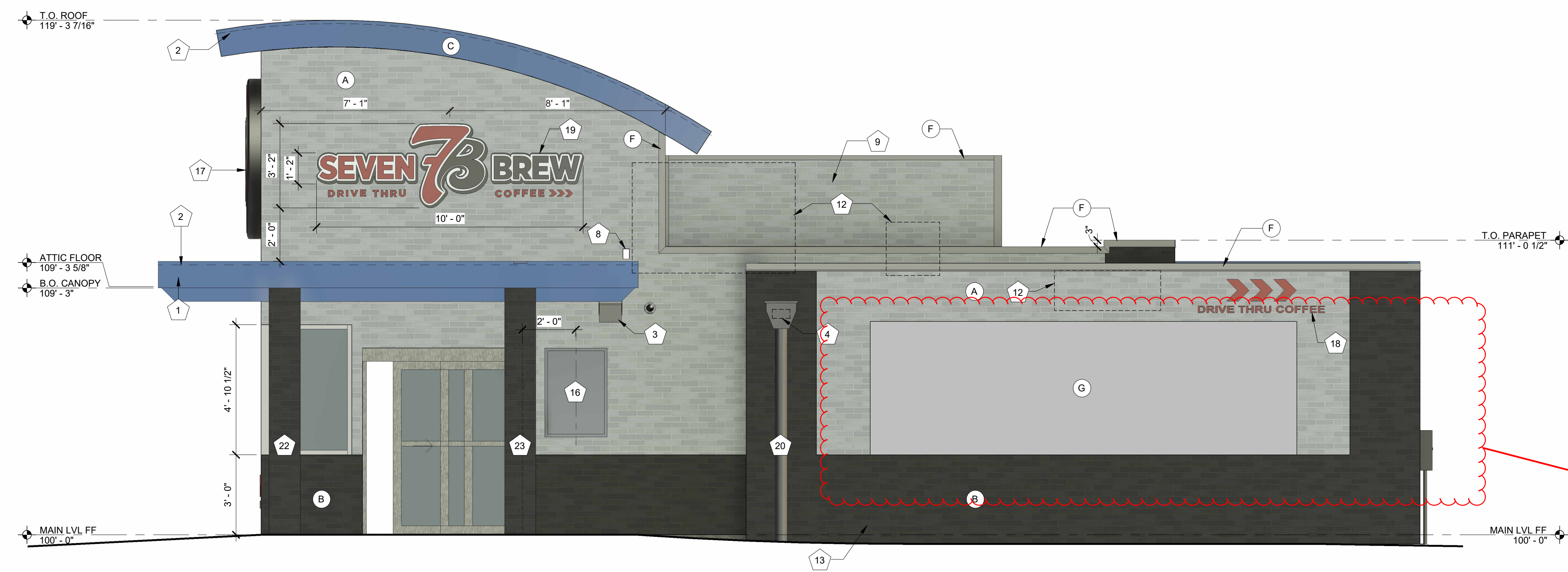
sheet no.:

A2.3

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	THIN BRICK (BRK-2)
B	THIN BRICK (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
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5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
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13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
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25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL

EXTERIOR ELEVATION MATERIALS SUMMARY		
WEST ELEVATION - 269.01SF TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-8" AND 8'-0" (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 40 % / 104.05F	PROPOSED 53.32% / 138.64SF
BRICK	MIN 60 % / 156.05F	PROPOSED 46.80% / 121.37SF



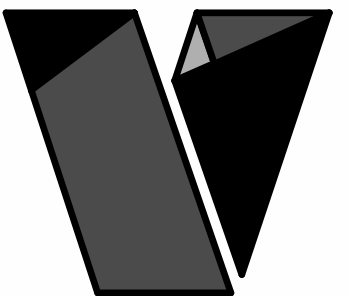
Provide an image of the proposed mural. It cannot be "logo art" of Seven Brew nor lettering, nor coffee image.

This image has been provided as a separate exhibit for the city's review.

**2** EXTERIOR ELEVATION - WEST W/ COOLER  
3/8" = 1'-0"

NOTE:  
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.

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7 Brew Template V2.0  
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LINCOLN & DRESDEN, PARKER, CO 80134

REVISIONS  
No. Description Date

sheet issue date:  
09/29/2025

project no.:  
22.51.09

sheet contents:  
TRASH ENCLOSURE

sheet no.:

A5.0

### TRASH ENCLOSURE GENERAL NOTES

1. PRE-PAINT ALL BARE METAL WITH POR-15 PRIMER PRIOR TO INSTALLATION.
2. PAINT DOOR FRAMES, HINGES, AND BOLLARDS TO MATCH THE CANOPY OF THE PREFABRICATED BUILDING - MORIN REGAL BLUE.

### TRASH ENCLOSURE KEYNOTES

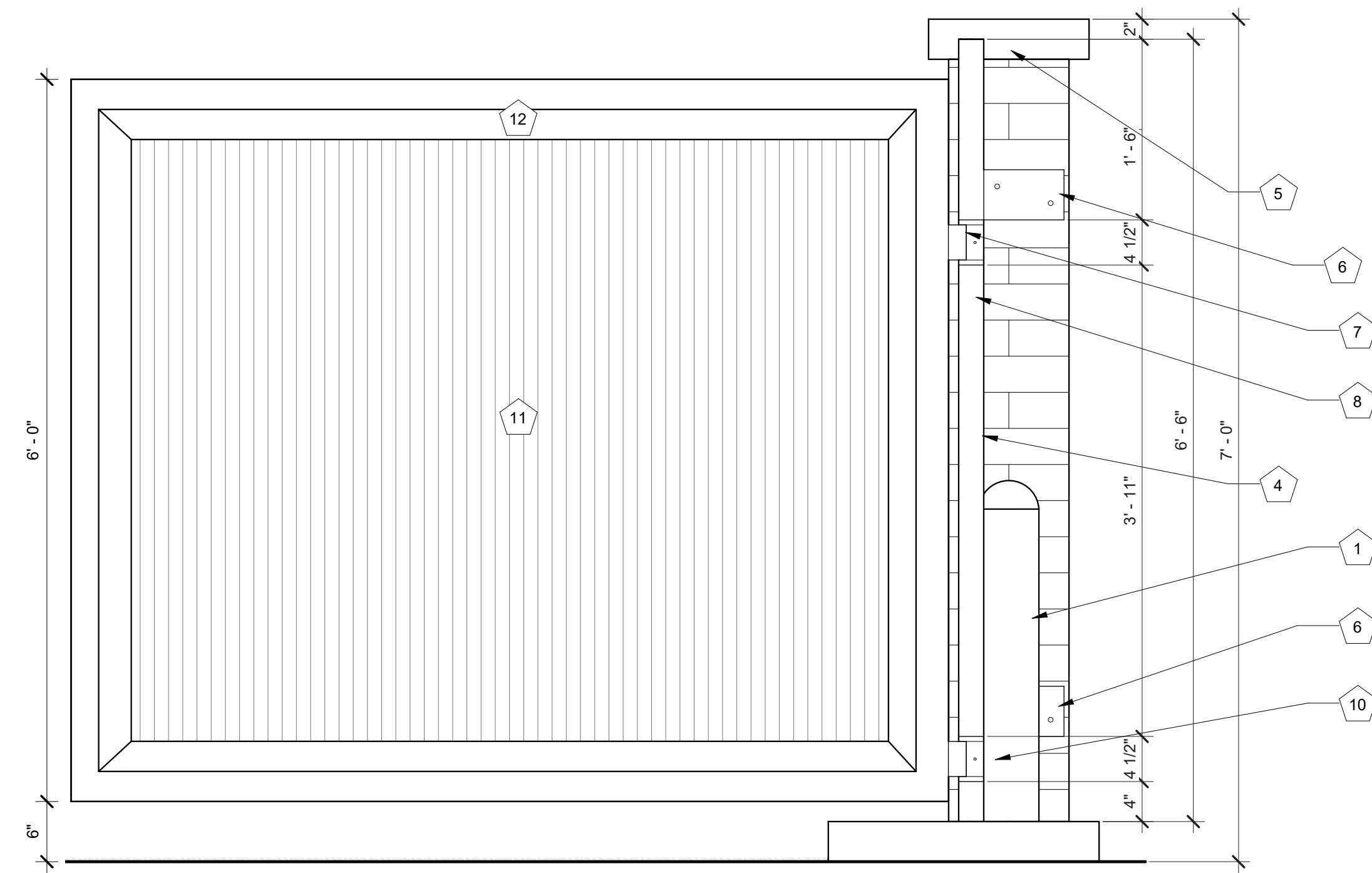
NOTE NO.	NOTE TEXT
1	Ø6" CONCRETE FILLED BOLLARD - TYP. OF (7); REF CIVIL
2	CUSTOM GATES: SEE 6/A5.0
3	TRASH DUMPSTER ON WHEELS; SUPPLIED BY OWNER
4	BRICK OVER 8" CMU BLOCK
5	4" MASONRY CAP ON TOP OF CMU WALL
6	5" PLATE STEEL BRACE WELDED TO CENTER OF 2" POST; SEE 6/A5.0 FOR HEIGHT
7	3" STEEL BRACE AT EACH HINGE
8	Ø2" STEEL POST
9	2 1/2" BOLT
10	HINGE WITH GREASE FITTING - TYP. OF 2 PER DOOR
11	1x8 STAINED CEDAR PLANKS
12	3" x 3" TUBE STEEL FRAME ROTATED 45 DEGREES
13	REF STRUCTURAL FOR FOUNDATION DESIGN
14	REF CIVIL FOR BOLLARD & BOLLARD FOUNDATION DESIGN

### MODULAR BRICK

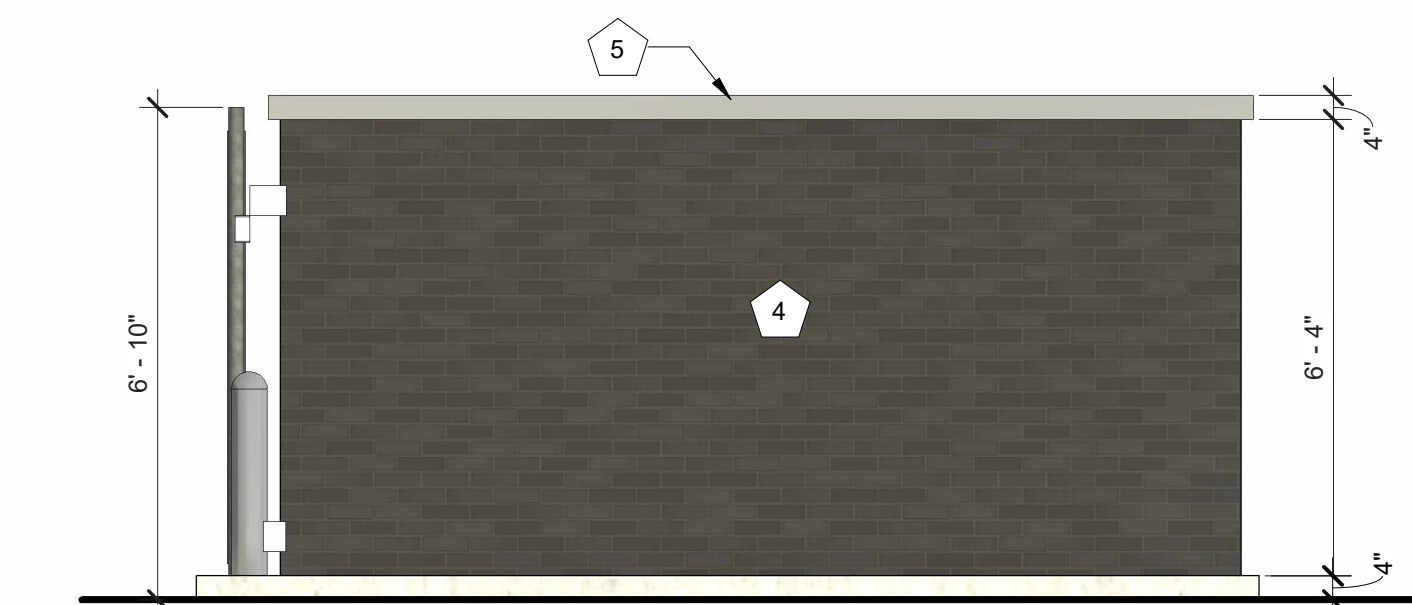
BRAND: SIOUX CITY BRICK  
 COLOR: GRANITE RED  
 FINISH: VELOUR

Revise trash enclosure doors to steel painted to match primary structure. For maintenance and durability, these doors will wear easily.

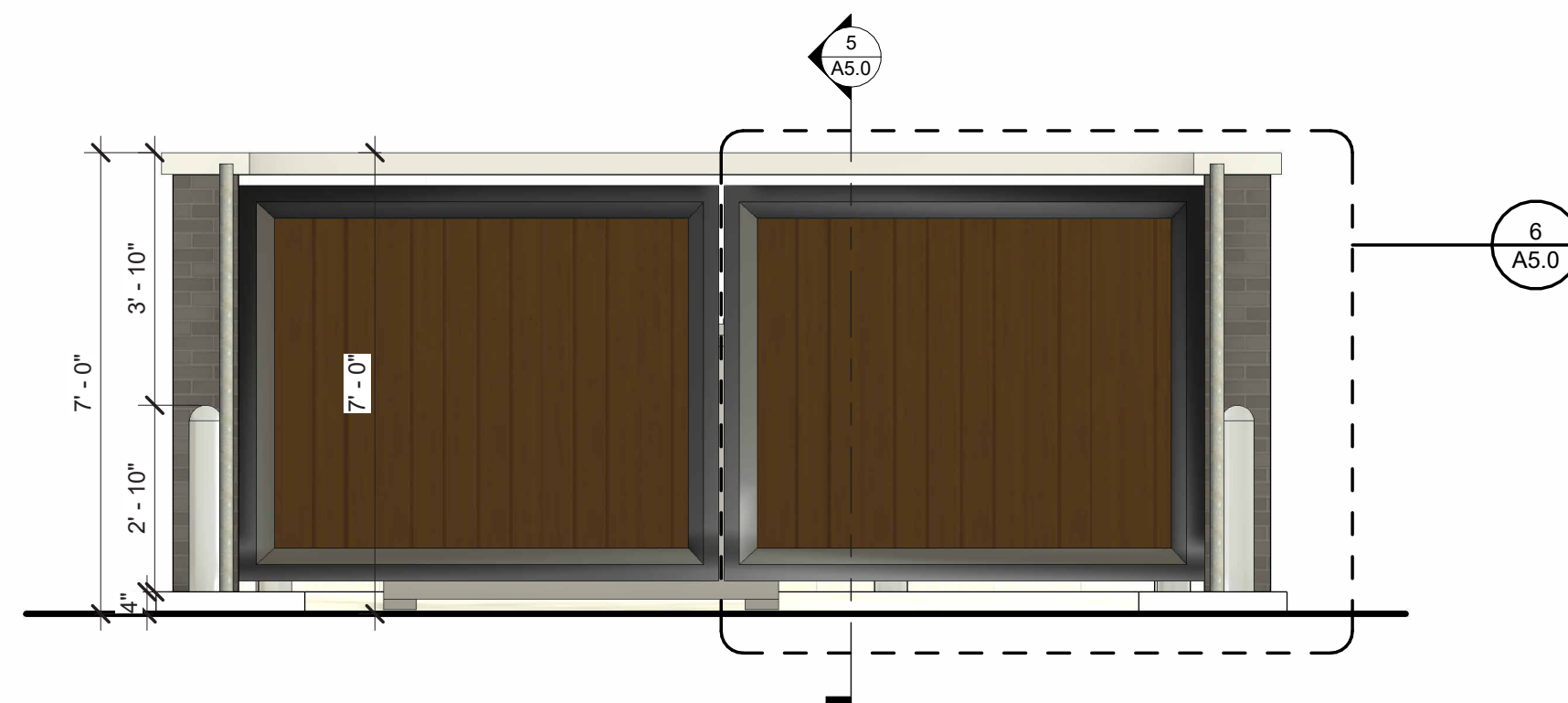
Updated.



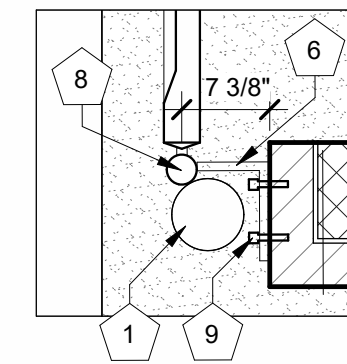
**6** DOOR / HINGE DETAIL  
1" = 1'-0"



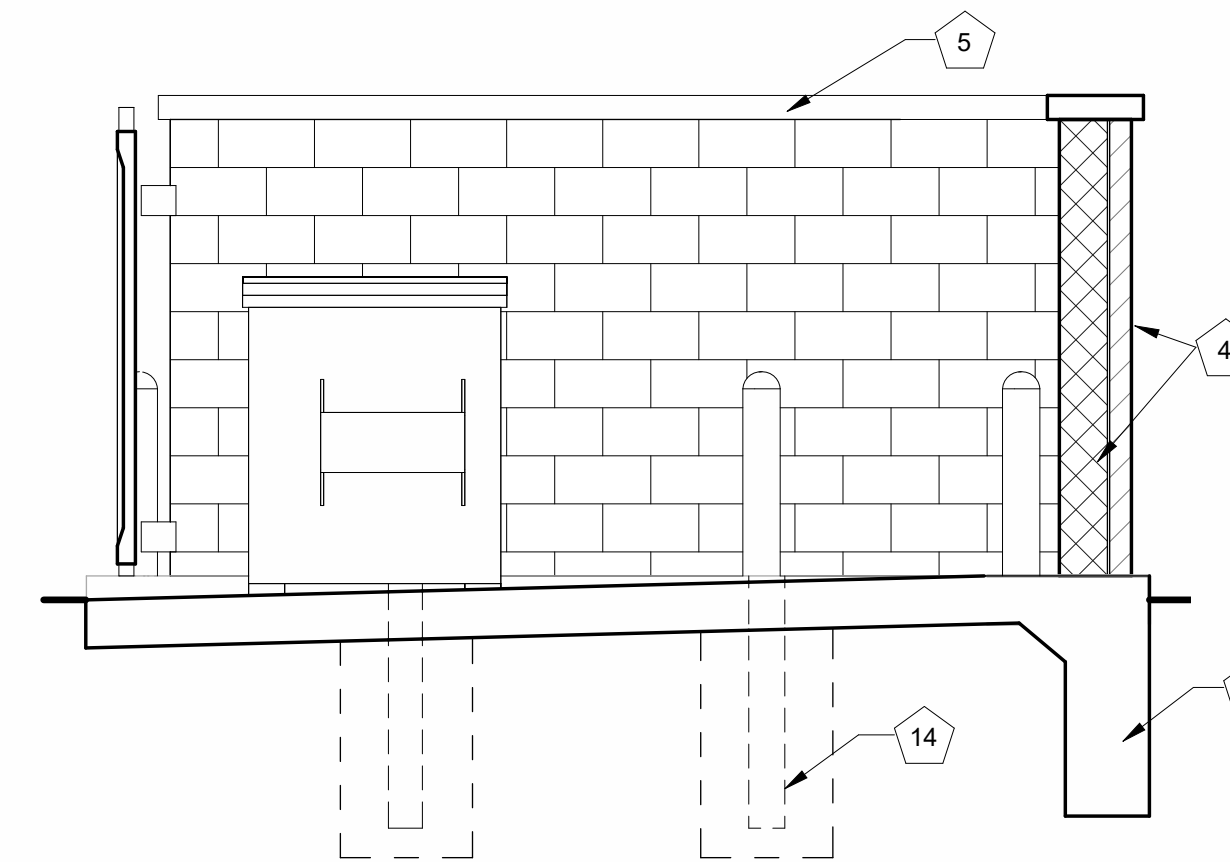
**4** TRASH ENCLOSURE - SIDE ELEVATION  
3/8" = 1'-0"



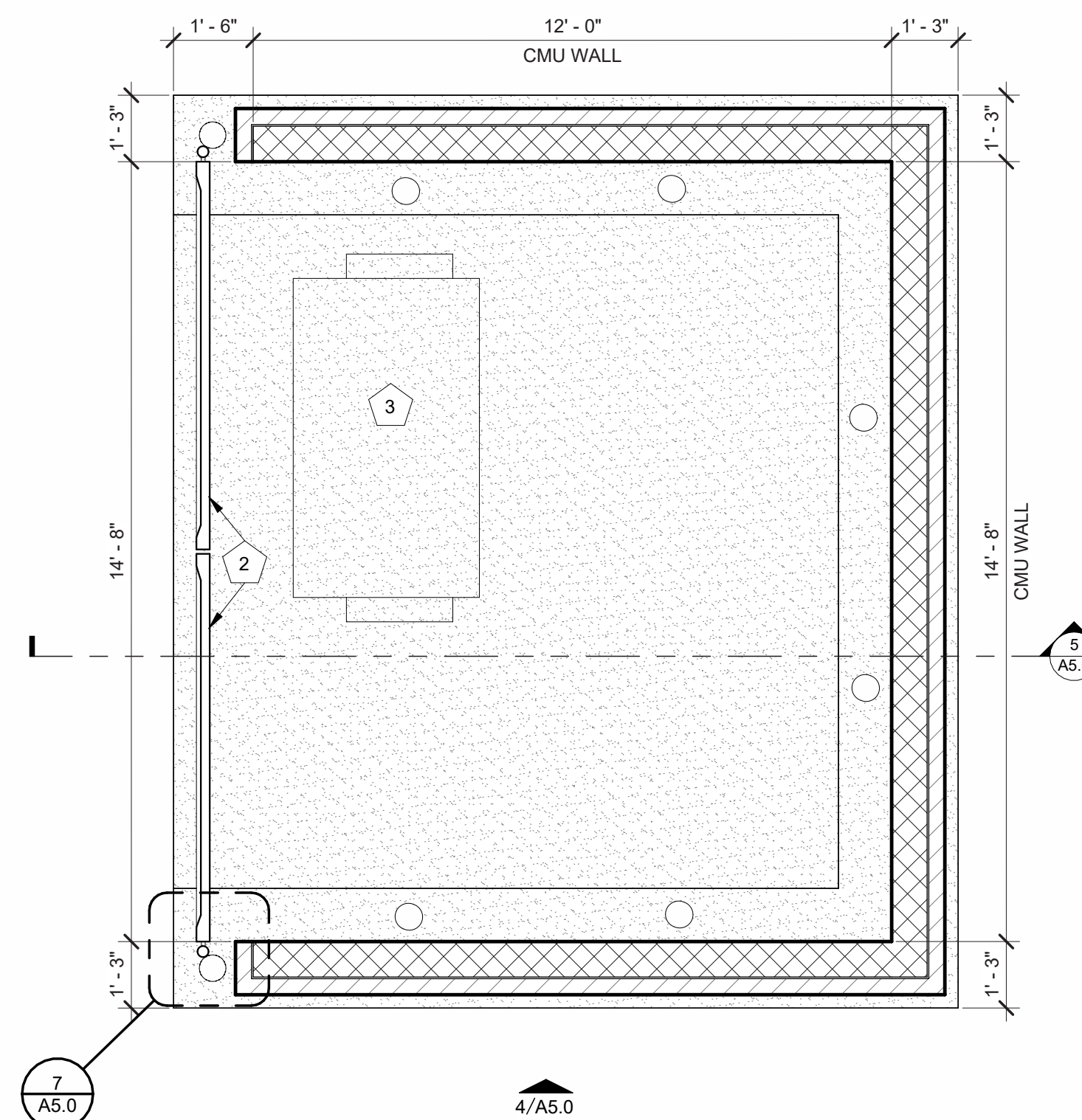
**3** TRASH ENCLOSURE - FRONT ELEVATION  
3/8" = 1'-0"



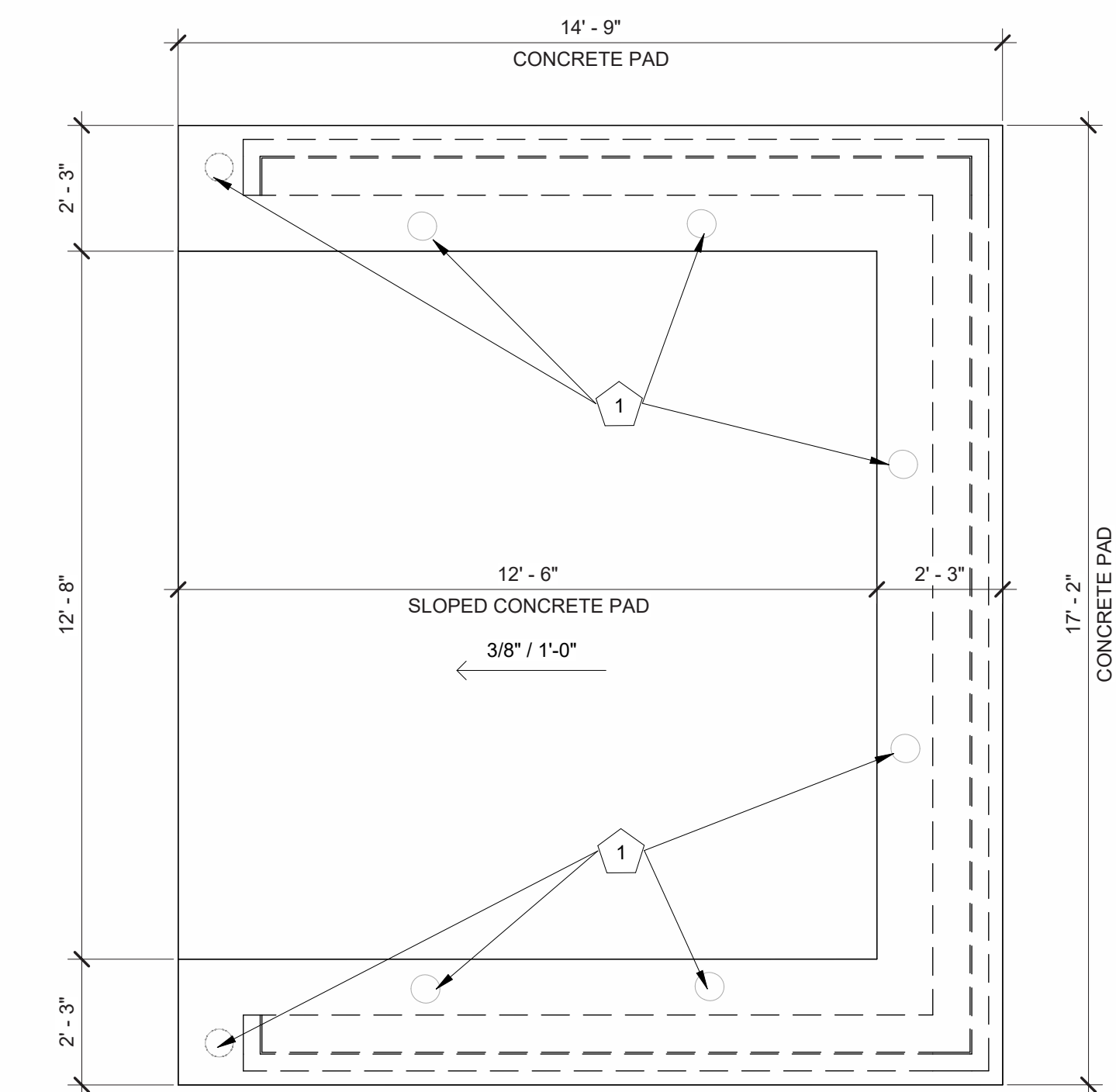
**7** TRASH ENCLOSURE PLAN DETAIL  
3/4" = 1'-0"



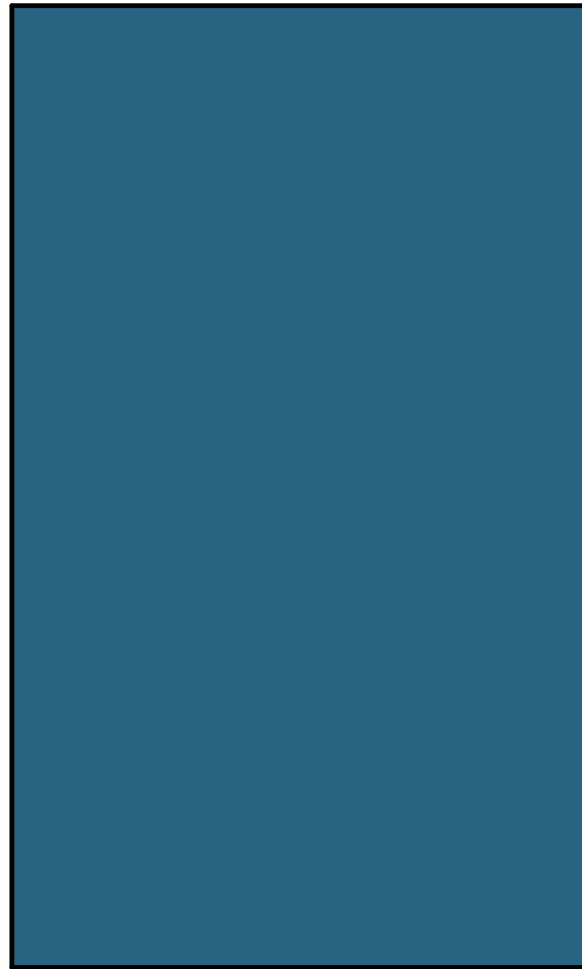
**5** SECTION THRU TRASH ENCLOSURE  
3/8" = 1'-0"



**2** TRASH ENCLOSURE PLAN  
3/8" = 1'-0"



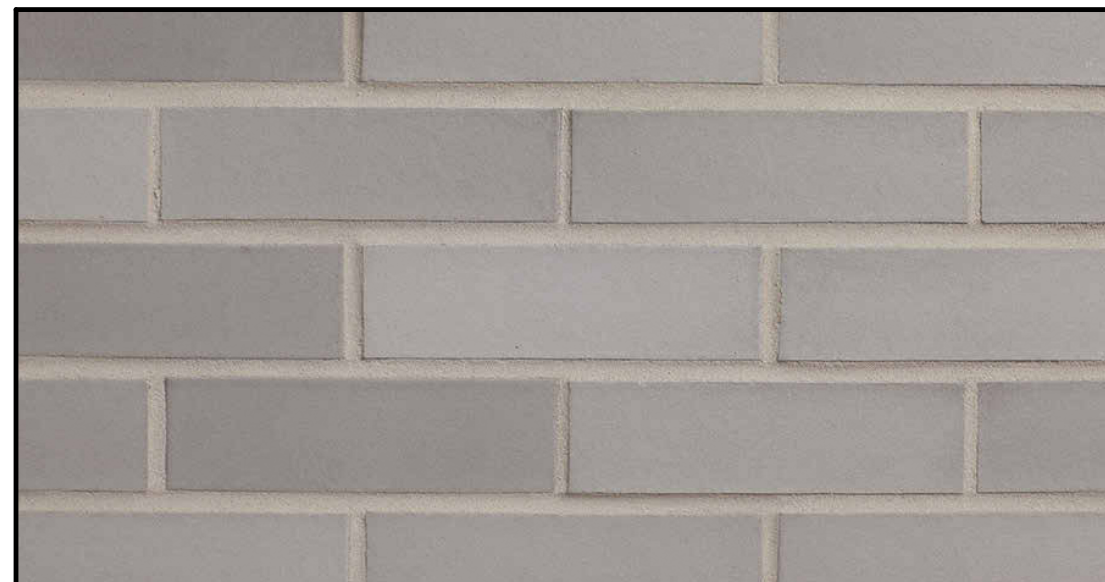
**1** TRASH ENCLOSURE - CONCRETE PLAN  
3/8" = 1'-0"



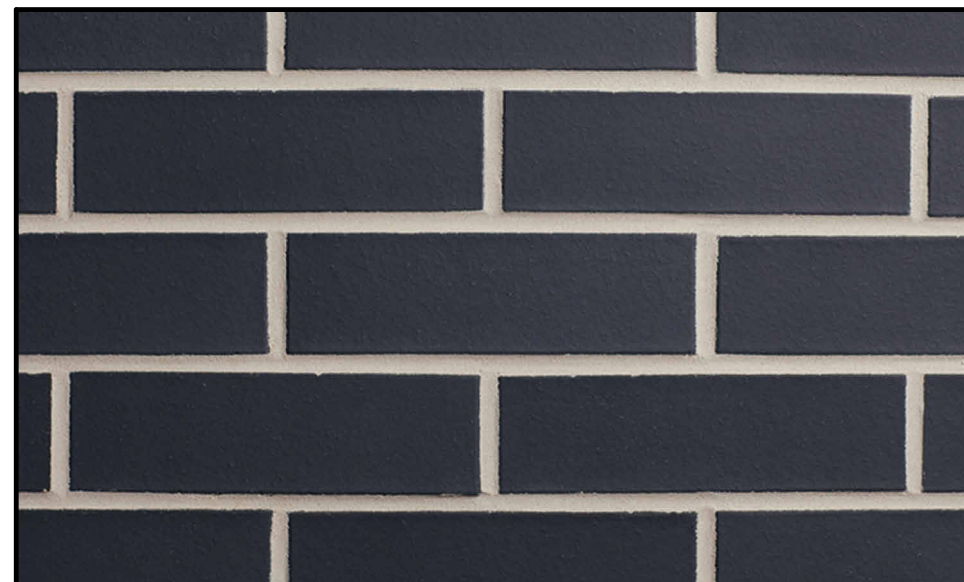
BLUE METAL PANEL MP-2  
BRAND: BERRIDGE  
COLOR: ROYAL BLUE  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



COPING TRIM METAL MP-3  
BRAND: BERRIDGE  
COLOR: ZINC GREY  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



THIN BRICK - BRK-2  
BRAND: GLEN GERY  
COLOR: STONE GRAY  
FINISH: KLAYCOAT SMOOTH



THIN BRICK - BRK-1  
BRAND: GLEN GERY  
COLOR: CHARCOAL  
FINISH: KLAYCOAT SMOOTH

22.51.09  
7 BREW DRIVE THRU -  
PARKER CO - LINCOLN  
& DRESDEN  
09/29/2025

MATERIAL COLOR  
BOARD



22.51.09  
7 BREW DRIVE THRU -  
PARKER CO - LINCOLN  
& DRESDEN  
09/29/2025

RENDERINGS

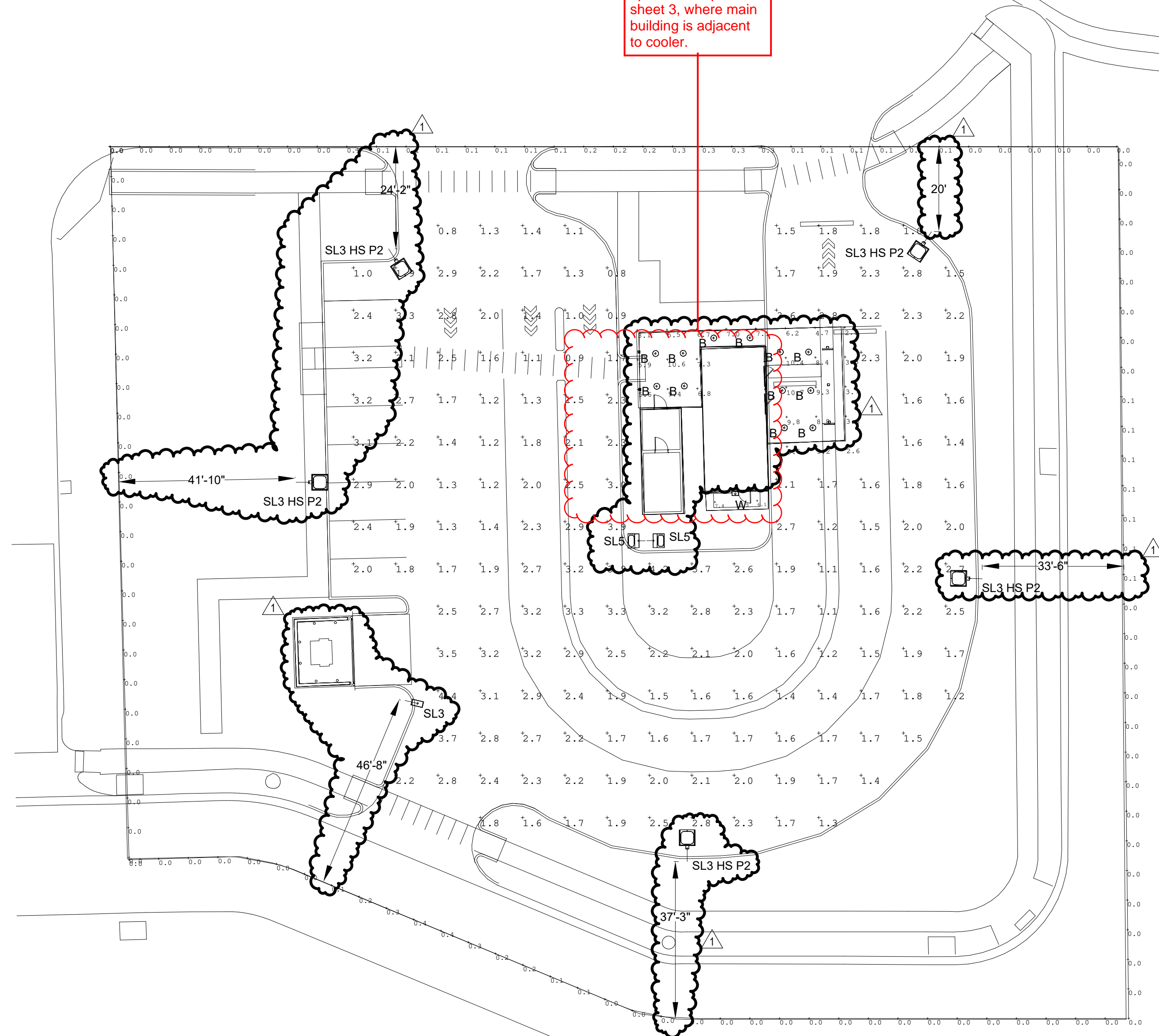
Symbol	Tag	Qty	Description	LLF	Mounting Height	Luminaire Lumens	Luminaire Watts	Total Watts	BUG Rating
B		12	BRLD G4 TOLM 27K 90CRI 120 FRPC WWH M6 LED IC AT	0.880	10	1043	11.7	140.4	N.A.
SL3 HS P2		5	RSX1 LED P2 30K R3 HS 70 GRI MVOLT SPA (POLE MOUNTED)	0.880	20	6287	72.96	364.78	B1-U2-G2
SL5		2	RSX1 LED P2 30K R3 HS 70 GRI MVOLT SPA (POLE MOUNTED)	0.970	20	6607	51.34	102.68	B3-U2-G1
SL3		1	RSX1 LED P2 30K R3 MVOLT EGS - POLE MOUNTED	0.970	20	7673	72.9407	72.947	B1-U2-G2
W		1	MOUSE LED P1 30K 90CRI WW	0.910	7	1164	10.0022	10	B1-U2-G2

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Canopy - Main	Fc	6.54	10.7	2.6	2.52	4.12
Canopy - Rear	Fc	6.67	12.5	6.1	1.42	2.05
Drive and sidewalks	Fc	2.06	4.4	0.8	2.60	5.50
Property Line - East	Fc	0.02	0.1	0.0	N.A.	N.A.
Property Line - North	Fc	0.09	0.3	0.0	N.A.	N.A.
Property Line - South	Fc	0.07	0.4	0.0	N.A.	N.A.
Property Line - West	Fc	0.00	0.0	0.0	N.A.	N.A.

Add correlated color temperature of each fixture per LDO 13.08.110(e)(2), a. must be below 5001 degrees Kelvin.

Add color of each fixture. Unless on ceiling of canopy need to be black or bronze.

Revise to match updated site plan sheet 3, where main building is adjacent to cooler.



**COMMENT RESPONSES:**

**a. I/SE1.1 – SITE PHOTOMETRICS**  
i. Added (2) B fixtures in Rear Canopy per city comments.  
ii. Deleted (1) W fixture per civil plans updated.

**b. LUMINAIRE SCHEDULE**  
i. Revised fixture B quantity per civil plans updated.  
ii. Deleted fixture type W per civil plans updated.  
iii. Added column for Lamp Temperature per city comments.  
iv. Added column for Fixture Exterior Color per city comments.

**c. CALCULATION SUMMARY**  
i. Revised Canopy -Rear calculation per civil plans updated.

**d. FIXTURE TYPE W CUTSHEET**  
i. Delete cutsheet from sheet per civil plans updated.

**ELECTRICAL NOTES**

THIS PLAN IS BASED ON INFORMATION PROVIDED, ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.

THIS PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS.

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING PLAN, AND INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT-CANDLES. THIS STUDY DOES NOT TAKE INTO ACCOUNT A CHANGE IN GRADE ELEVATION.

THE USE OF SENSOR TECHNOLOGIES, TIMERS OR OTHER MEANS TO ACTIVATE LIGHTING DURING TIMES WHEN IT WILL BE NEEDED IS ENCOURAGED TO CONSERVE ENERGY, PROVIDE SAFETY AND PROMOTE COMPATIBILITY BETWEEN DIFFERENT LAND USES. LOWER LIGHTING LEVELS AT OFF-PEAK TIMES ARE ENCOURAGED AS A SAFETY MEASURE.

**RSX1 LED Area Luminaire**

**Specifications**  
CFL: 0.57 (0.05 ft)  
WPT: 21.07 (25.4 in)  
Length: 13.87 (33.8 in)  
Width: 13.87 (33.8 in)  
Height: 3.97 (10.1 in)  
Weight: 7.2 (15.8 lbs)  
Wt. incl. cable: 22.0 (48.5 lbs)

**Design Notes**  
The RSX1 features an integral universal mounting bracket that allows the luminaire to be mounted to a wide variety of surfaces. The RSX1 includes a 120V, 1500mA ballast allowing it to replace 100W to 80W HID luminaires.

**Ordering Information**  
EXAMPLE: RSX1 LED P2 40K R3 MVOLT SPA DOBBD

**PARKING LIGHT POLE (SL3 & SL5)**

**FEATURES & SPECIFICATIONS**

**Introduction**  
The PARKING LIGHT POLE is designed to meet the needs of parking lots and other outdoor areas. It features a sleek, modern design and is available in two heights: 10' and 12'.

**Specifications**  
Height: 10' or 12'  
Material: Square Straight Steel

**Ordering Information**  
EXAMPLE: PARKING LIGHT POLE 10' SL3

**Juno RD Series LED Downlight Retrofit**

**Product Features**  
• 10' LED downlight provides an affordable means to create a high-quality lighting environment in existing ceiling applications.  
• 10' LED downlight provides an affordable means to create a high-quality lighting environment in existing ceiling applications.

**Specifications**  
Output: 10W  
Voltage: 120V  
Color Temp: 3000K

**WEDGE1 LED Architectural Wall Sconce**

**Introduction**  
The WEDGE1 LED family is designed to meet the needs of architectural lighting applications. It features a sleek, modern design and is available in two heights: 10' and 12'.

**Specifications**  
Depth: 10.1"  
Height: 9"  
Width: 9.5"

**Ordering Information**  
EXAMPLE: WEDGE1 LED P2 40K R3 MVOLT SRM PE DOBBD

Aaron M. Fiegel  
P.E.  
SUITE 3642 478-636-5004  
1805 N 2ND ST JOHNSON COUNTY, MO 64502-2141  
ROGERS, AR 72756 DESIGNED BY: TFS



NO	DATE	REVISION
1	12/05/2025	REV 1

PROJECT NAME:  
**7 BREW COFFEE**

Lincoln Professional Park  
Lot 2  
Parker, CO

DRAWING TITLE:  
**PHOTOMETRIC SITE PLAN**

FILE: XXX  
DRAWN BY: TFS  
CHECKED BY: AMF  
PROJ. NO.: 040022.014  
DRAWING NO.: **SE1.1**