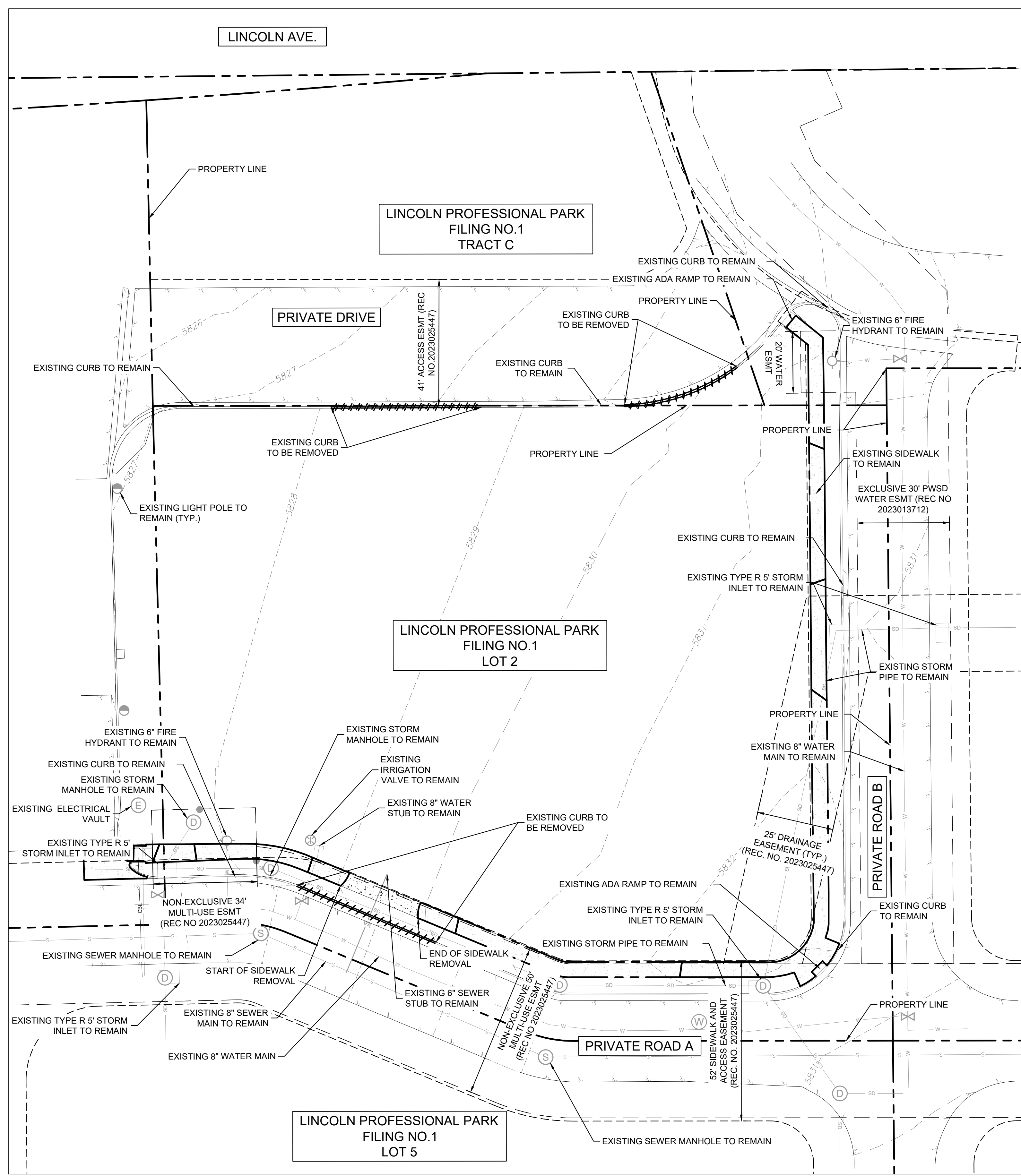




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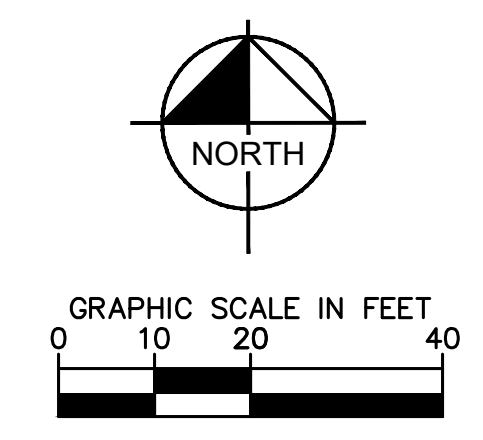


**LEGEND**

PROPERTY LINE	---
EASEMENT	----
DEMO SITE ITEM	---
EXISTING UNDERGROUND ELECTRIC LINE	E E
EXISTING SANITARY SEWER LINE	S S
EXISTING STORM DRAIN LINE	SD SD
EXISTING WATER LINE	W W
EXISTING SEWER STRUCTURE	(S)
EXISTING STORM DRAIN STRUCTURE	(D)
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊗

**NOTES:**

1. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
2. KIMLEY-HORN DOES NOT REPRESENT THAT THE REPORTS AND SURVEYS REFERENCED ARE ACCURATE, COMPLETE, OR COMPREHENSIVE SHOWING ALL ITEMS THAT WILL NEED TO BE DEMOLISHED AND REMOVED.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF THE EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
4. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THERE MAY BE UNDERGROUND UTILITIES NOT DEPICTED ON THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. PRIOR TO COMMENCING CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES AND FIELD VERIFY ALL UNDERGROUND UTILITIES.
5. PRIOR TO DEMOLITION, PROPER PHASING OF EROSION CONTROL DEVICES AND MEASURES ARE TO BE INSTALLED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
8. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING, STORM INLET STRUCTURES OR ANY OTHER APPURTENANCE, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
11. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
12. DAMAGE TO ADJACENT PROPERTIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
13. PROVIDE FULL DEPTH SAW CUTS AT EDGES OF EXISTING PAVEMENT AND SIDEWALK REMOVAL LOCATIONS.
14. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.



NO.	REVISION	BY	DATE

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 6200 South Syracuse Way, Suite 300  
 Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR  
 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 2/23/26

LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - SITE PLAN  
 EXISTING CONDITIONS AND DEMO

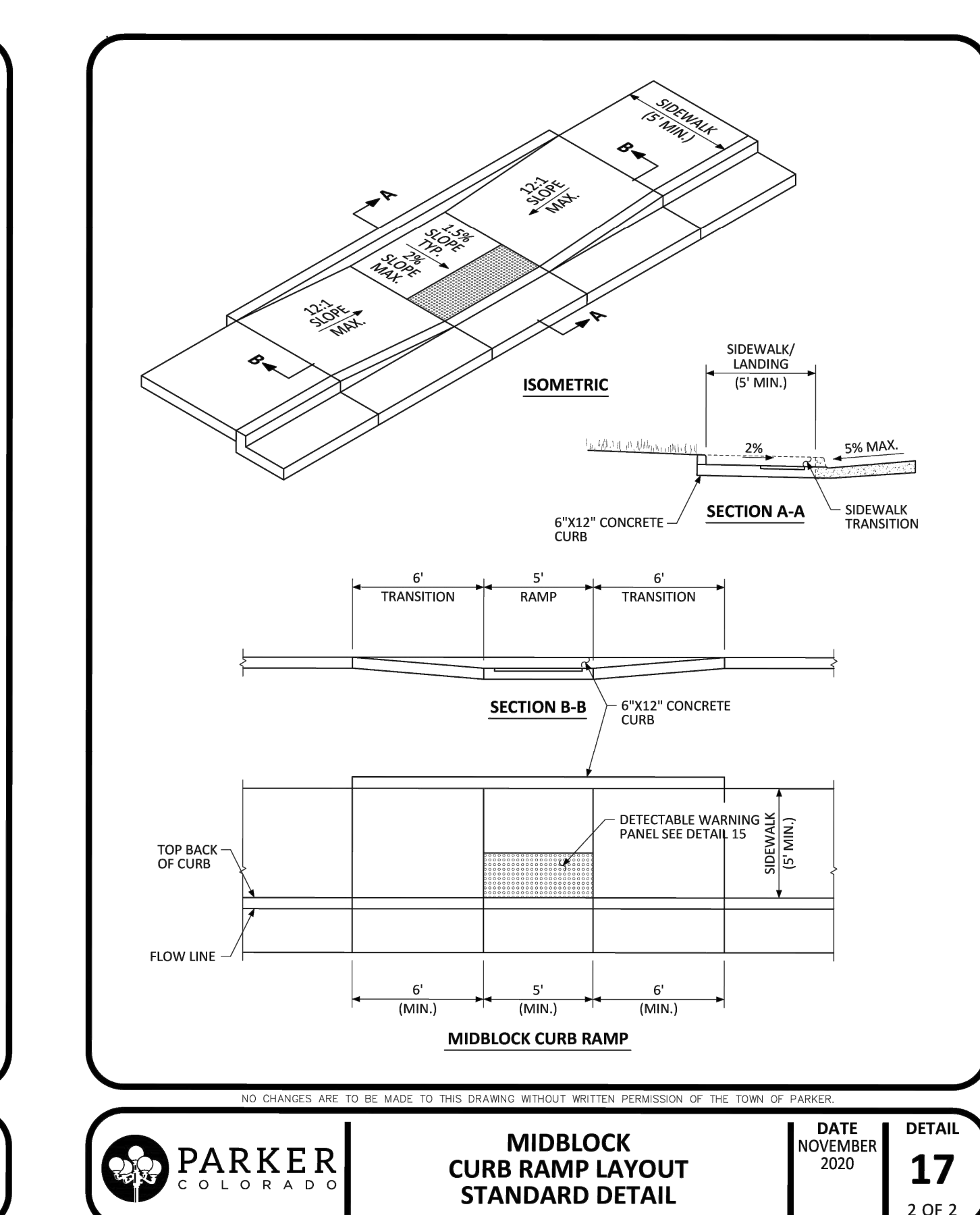
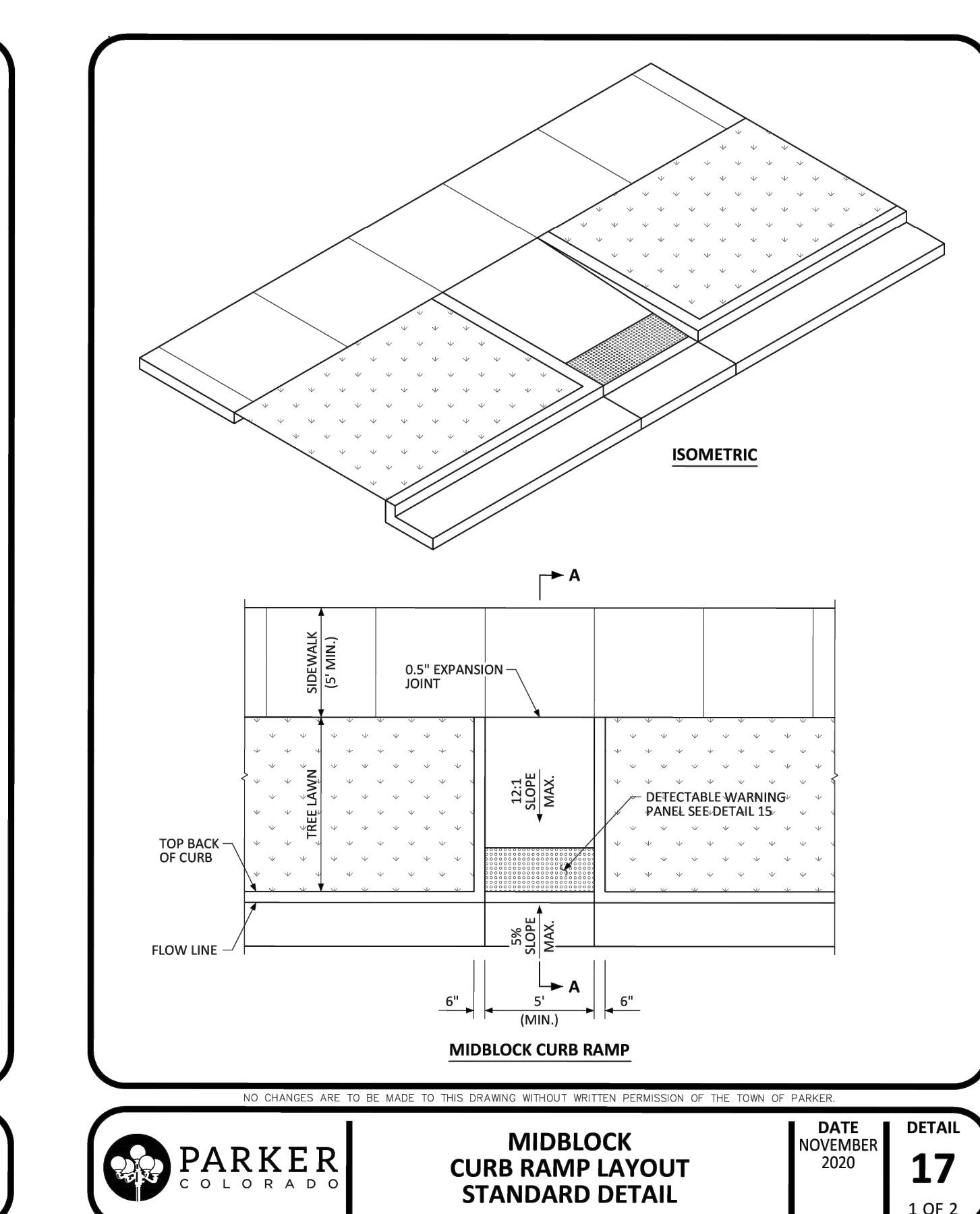
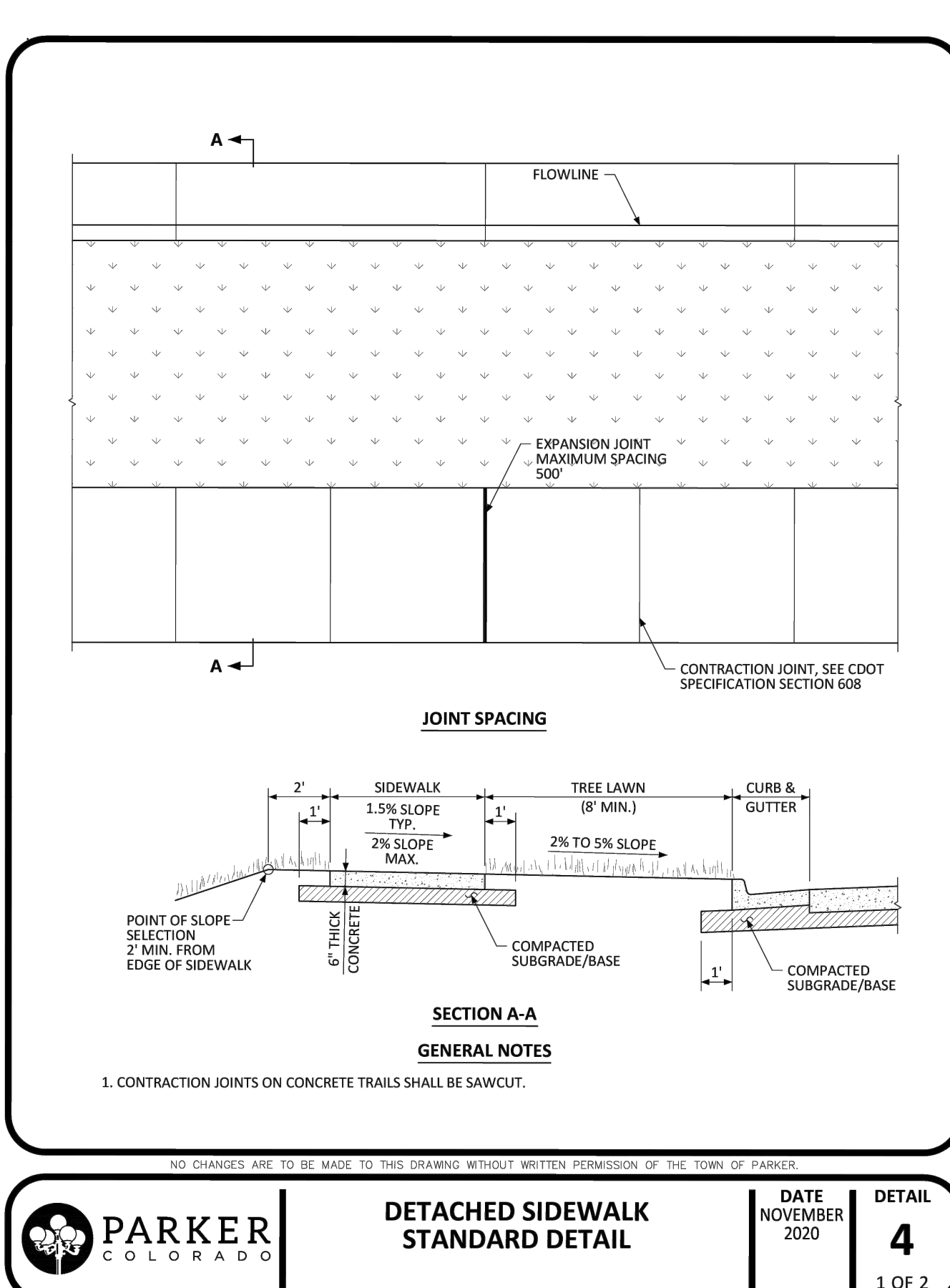
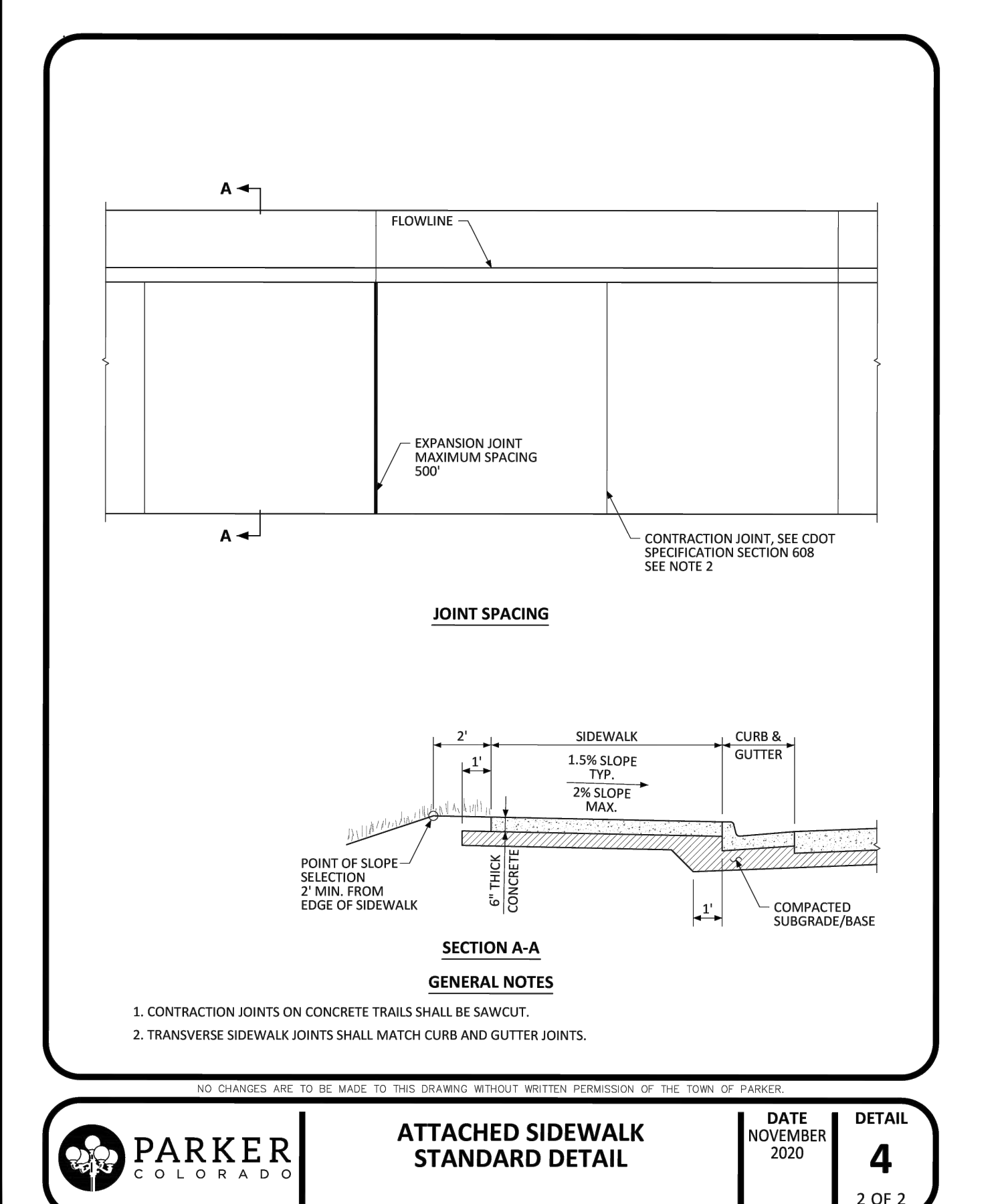
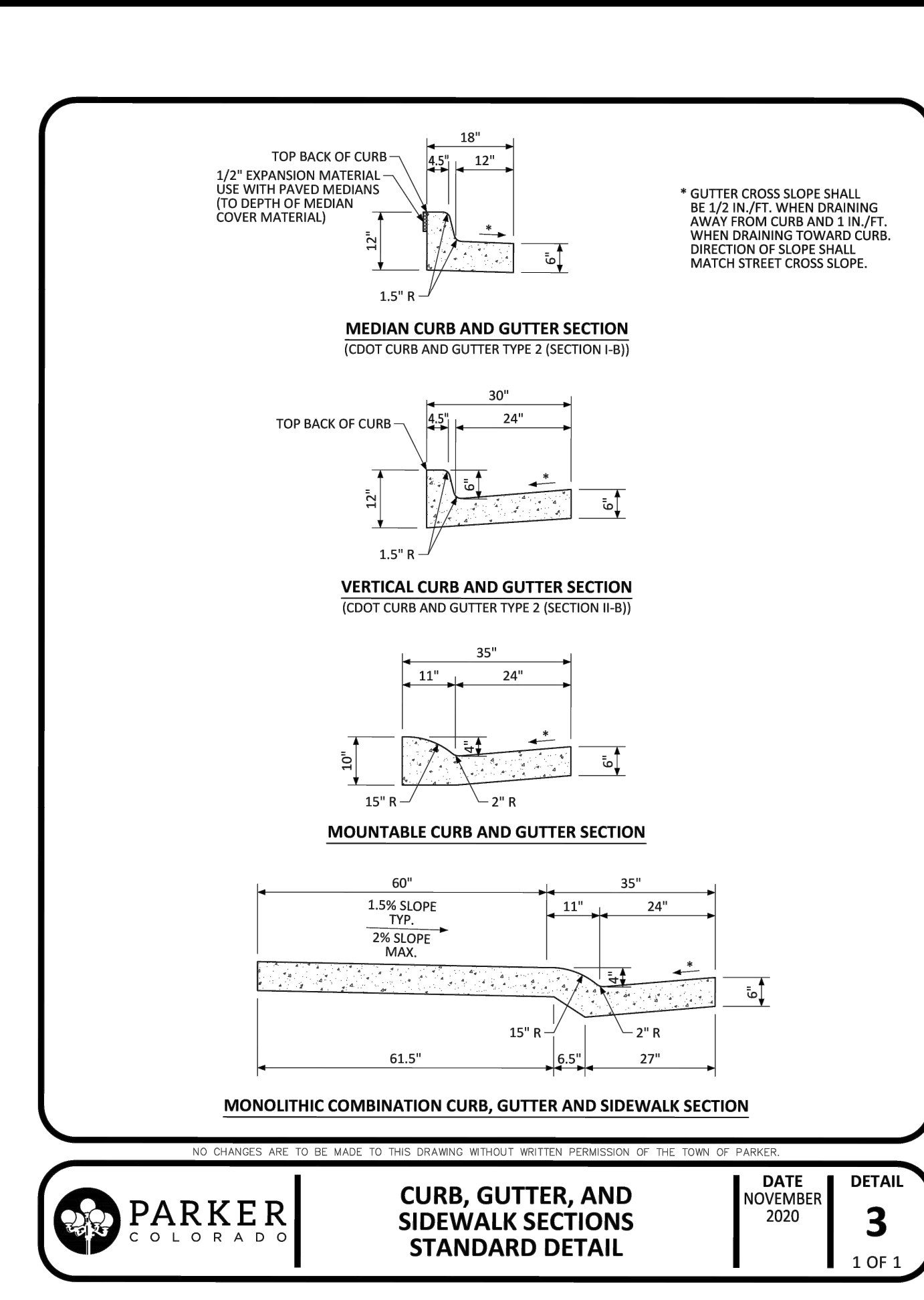
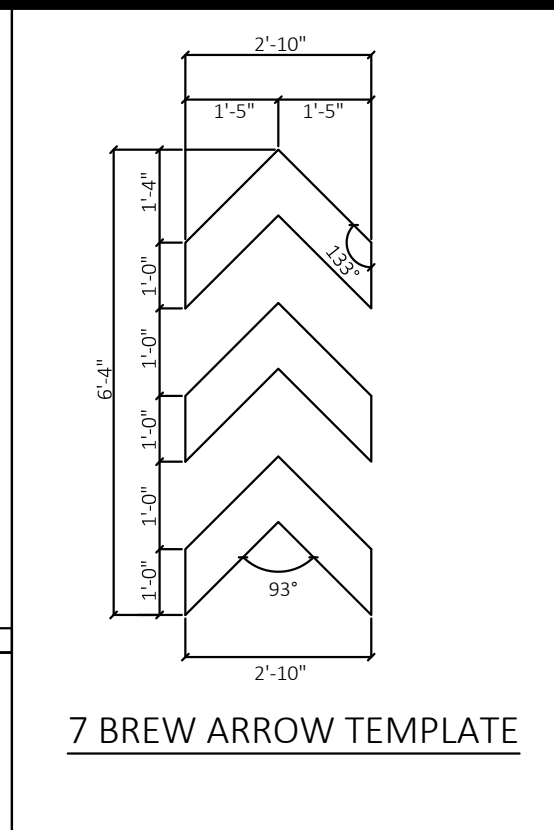
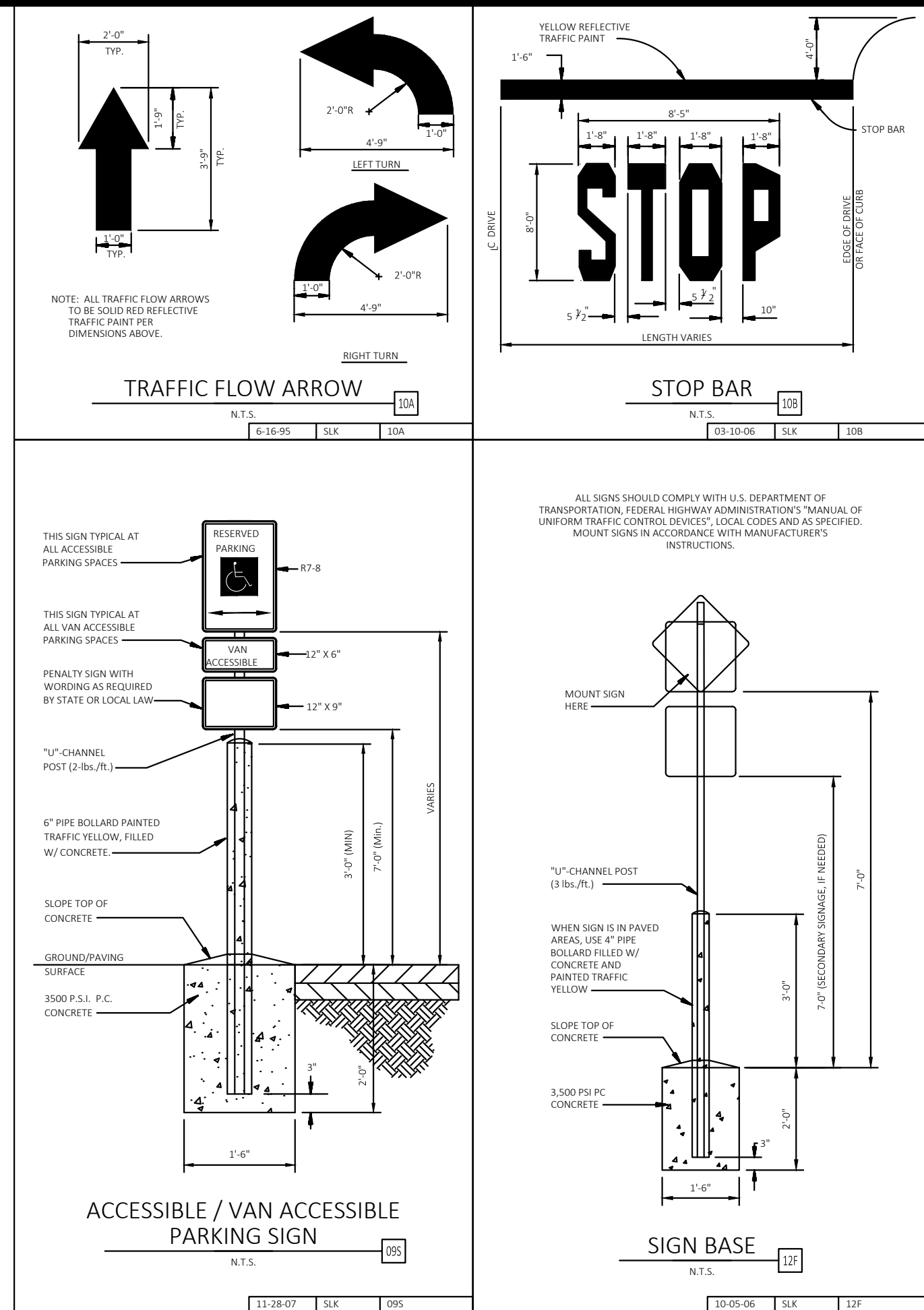
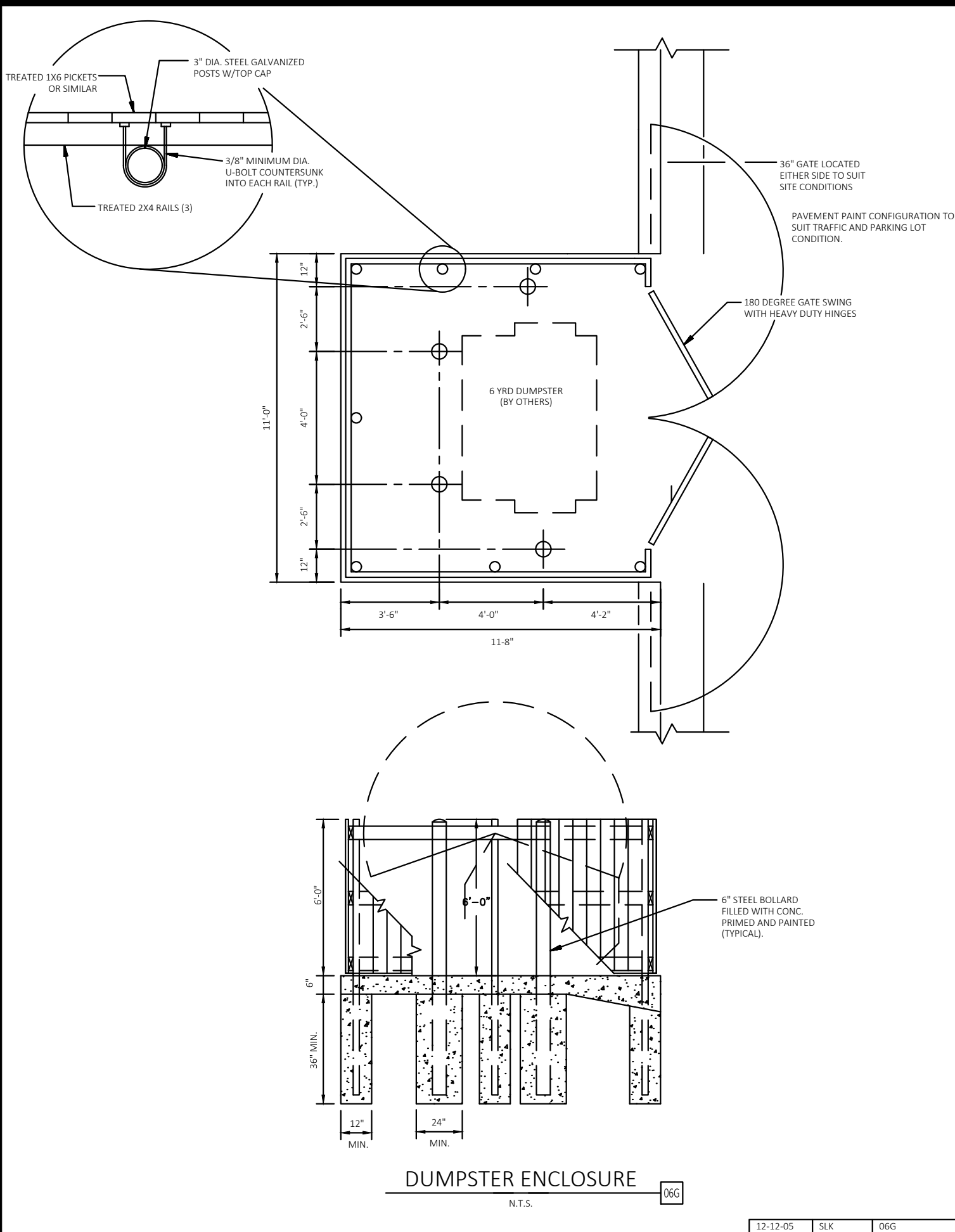
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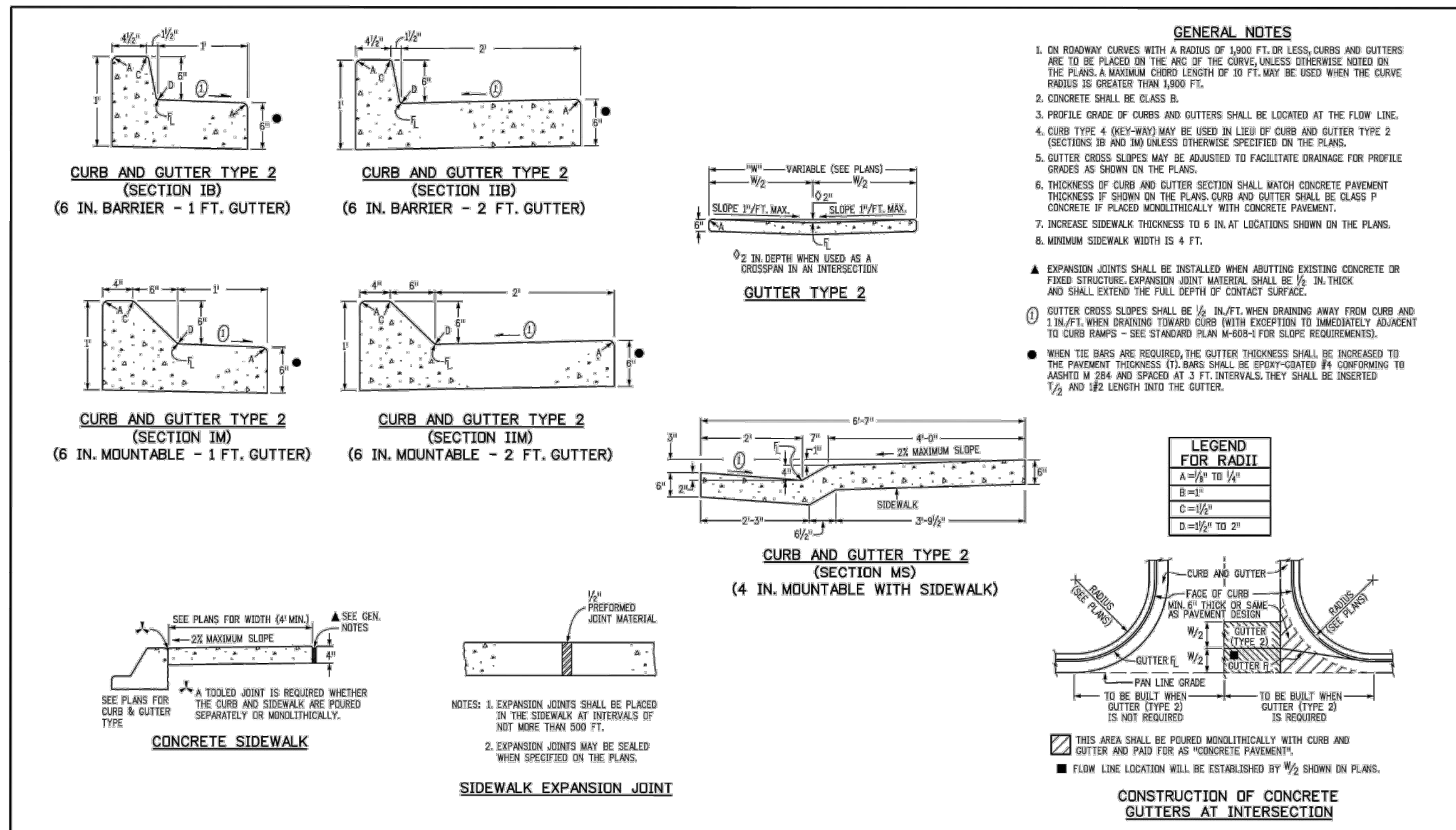
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DRAWN BY: KNP  
CHECKED BY: KEW  
DATE: 2/23/26

LINCOLN PROFESSIONAL PARK FILING NO. 1  
LOT 2, PARKER, CO  
7 BREW - CONSTRUCTION DOCUMENTS  
SITE DETAILS

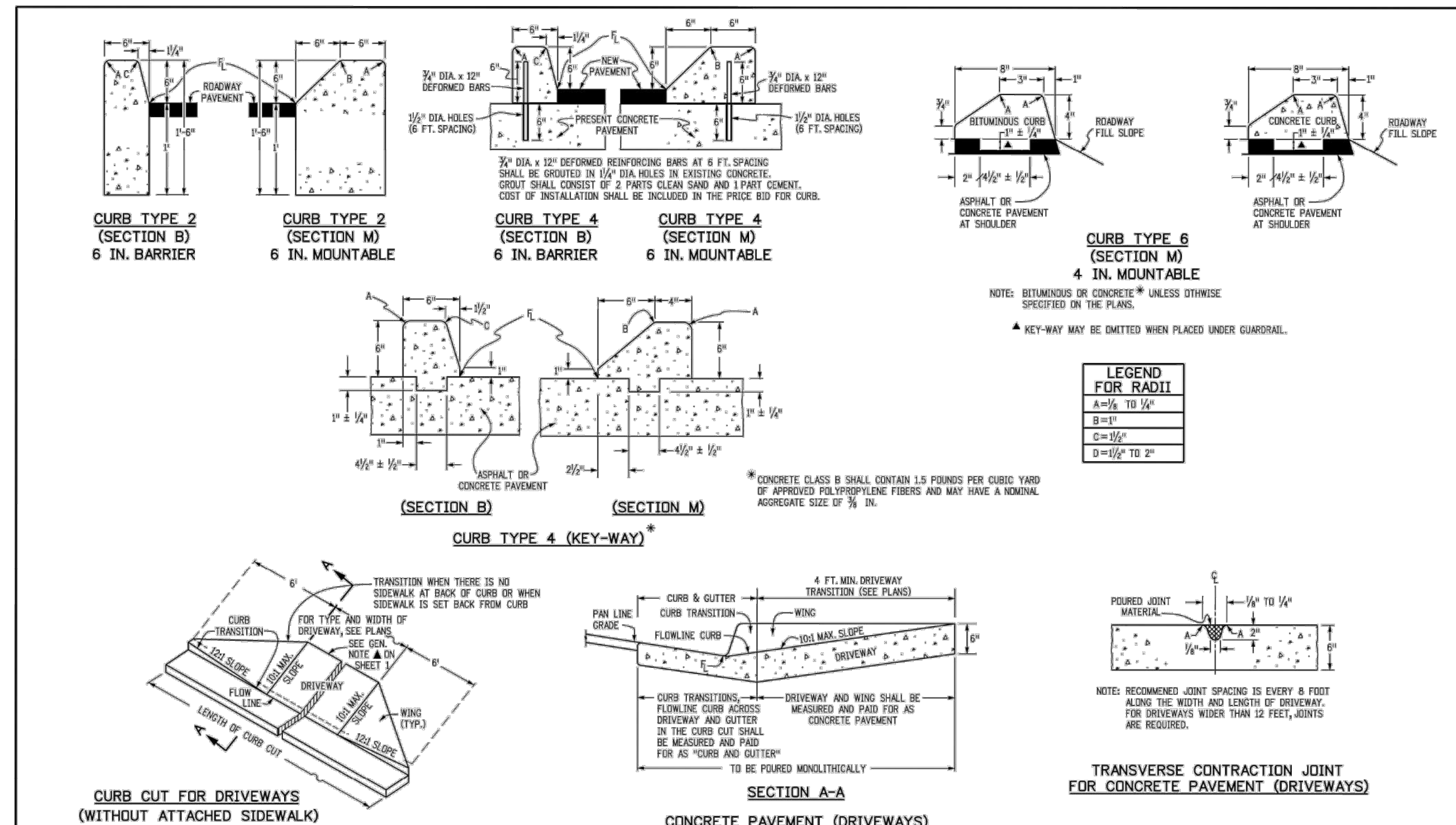
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SHEET 296237001\_SP  
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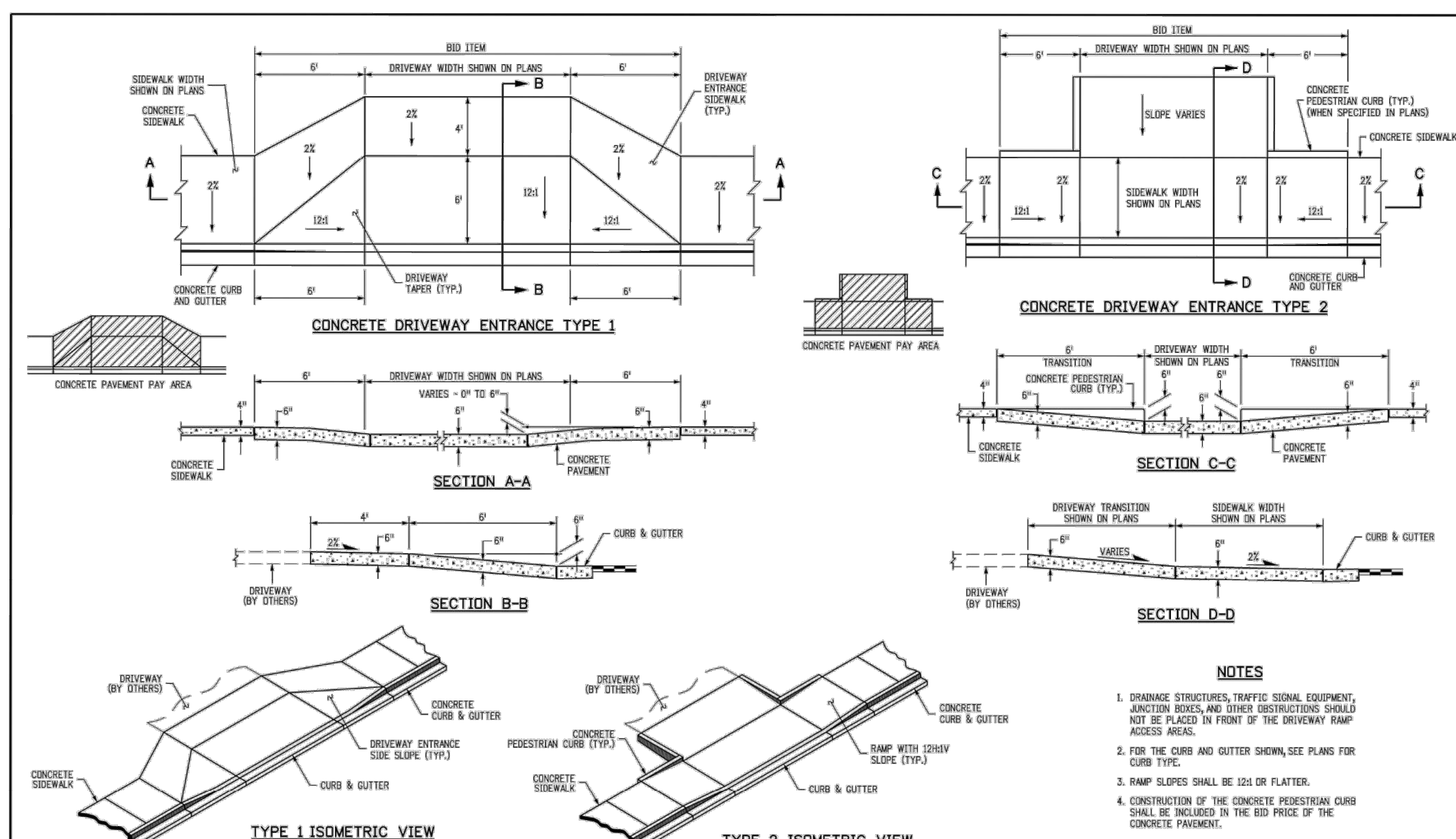
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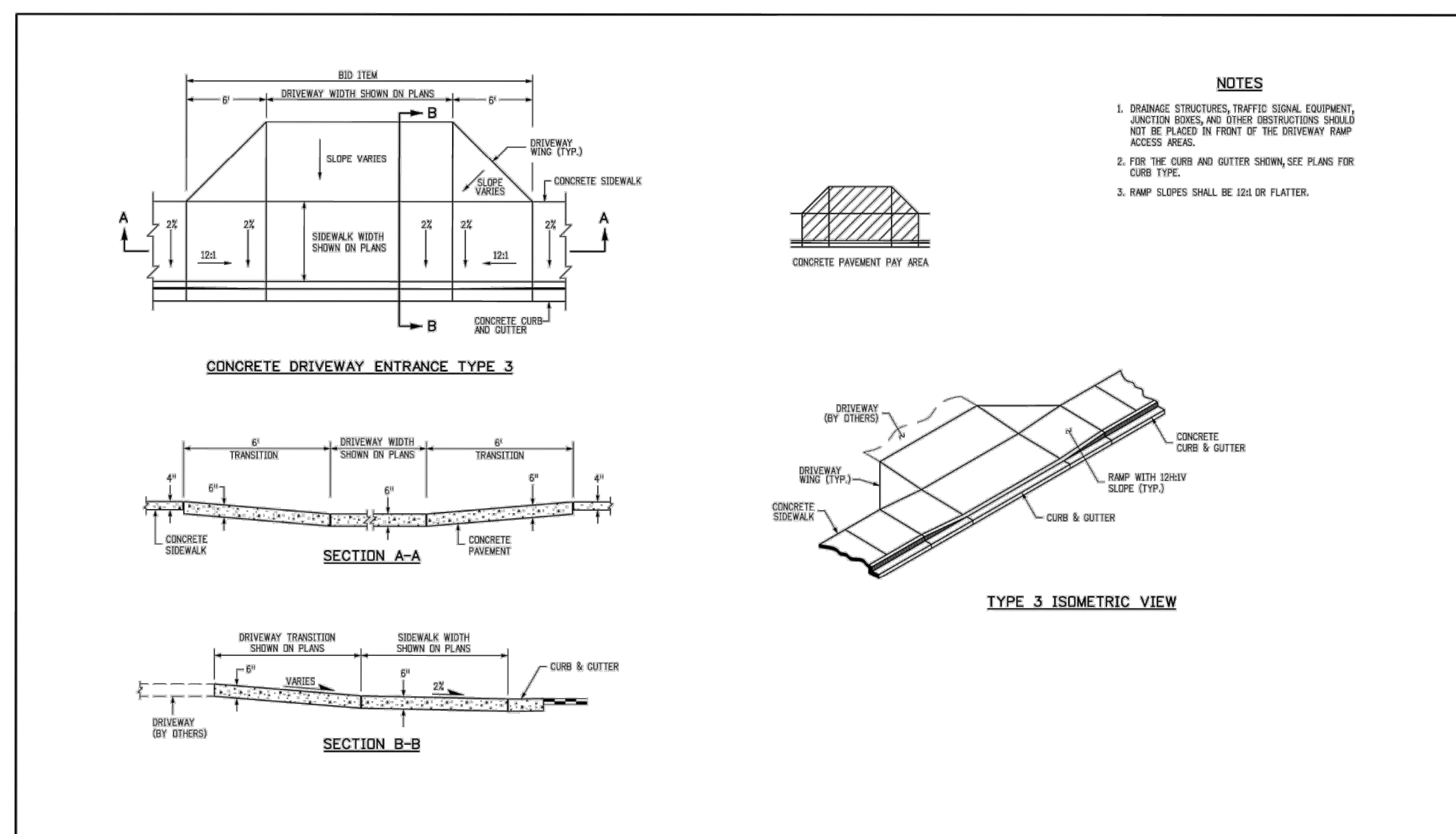
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Creation Date: 07/31/19	Designer: JBK	01		2829 West Howard Place	3007 HQ, 3rd Floor	Denver, CO 80204	Phone: 303-757-9021	FAX: 303-757-9868	Standard Sheet No. 1 of 4
Last Modification Date: 07/31/19	Detailer: LTA	02		Project Development Branch	JBK				Project Sheet Number:
CAD Ver: MicroStation V8	Scale: Not to Scale	03							



<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		<b>CURB, GUTTERS, AND SIDEWALKS</b>		STANDARD PLAN NO. M-609-1	
Creation Date: 07/31/19	Designer: JBK	01		2829 West Howard Place	3007 HQ, 3rd Floor	Denver, CO 80204	Phone: 303-757-9021	FAX: 303-757-9868	Standard Sheet No. 2 of 4
Last Modification Date: 07/31/19	Detailer: LTA	02		Project Development Branch	JBK				Project Sheet Number:
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<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		<b>CURB, GUTTERS, AND SIDEWALKS</b>		STANDARD PLAN NO. M-609-1	
Creation Date: 07/31/19	Designer: JBK	01		2829 West Howard Place	3007 HQ, 3rd Floor	Denver, CO 80204	Phone: 303-757-9021	FAX: 303-757-9868	Standard Sheet No. 3 of 4
Last Modification Date: 07/31/19	Detailer: LTA	02		Project Development Branch	JBK				Project Sheet Number:
CAD Ver: MicroStation V8	Scale: Not to Scale	03							



<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		<b>CURB, GUTTERS, AND SIDEWALKS</b>		STANDARD PLAN NO. M-609-1	
Creation Date: 07/31/19	Designer: JBK	01		2829 West Howard Place	3007 HQ, 3rd Floor	Denver, CO 80204	Phone: 303-757-9021	FAX: 303-757-9868	Standard Sheet No. 4 of 4
Last Modification Date: 07/31/19	Detailer: LTA	02		Project Development Branch	JBK				Project Sheet Number:
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DRAWN BY: KNP  
CHECKED BY: KEW  
DATE: 2/23/26

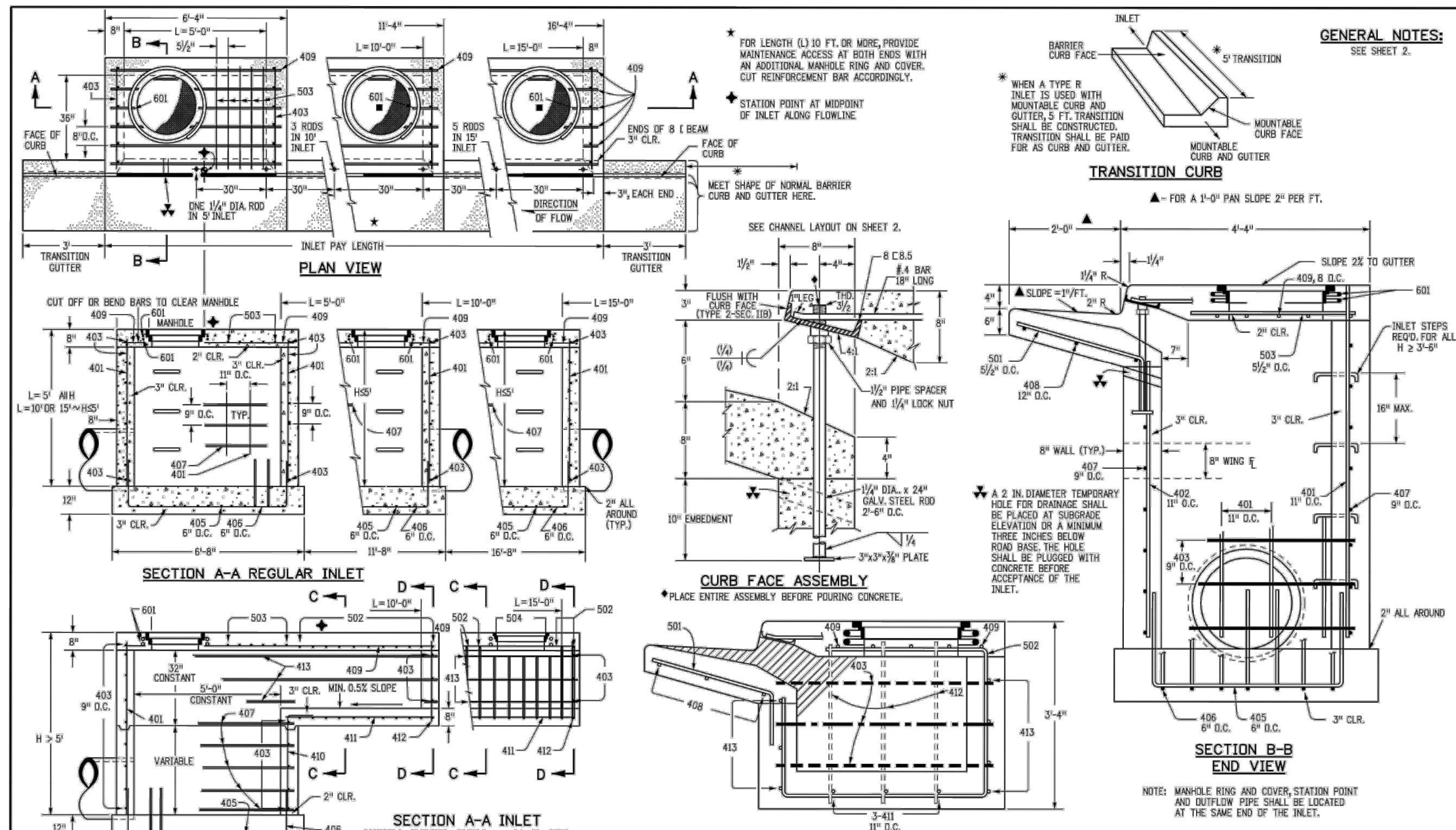
LINCOLN PROFESSIONAL PARK FILING NO. 1  
LOT 2, PARKER, CO  
7 BREW - CONSTRUCTION DOCUMENTS  
SITE DETAILS

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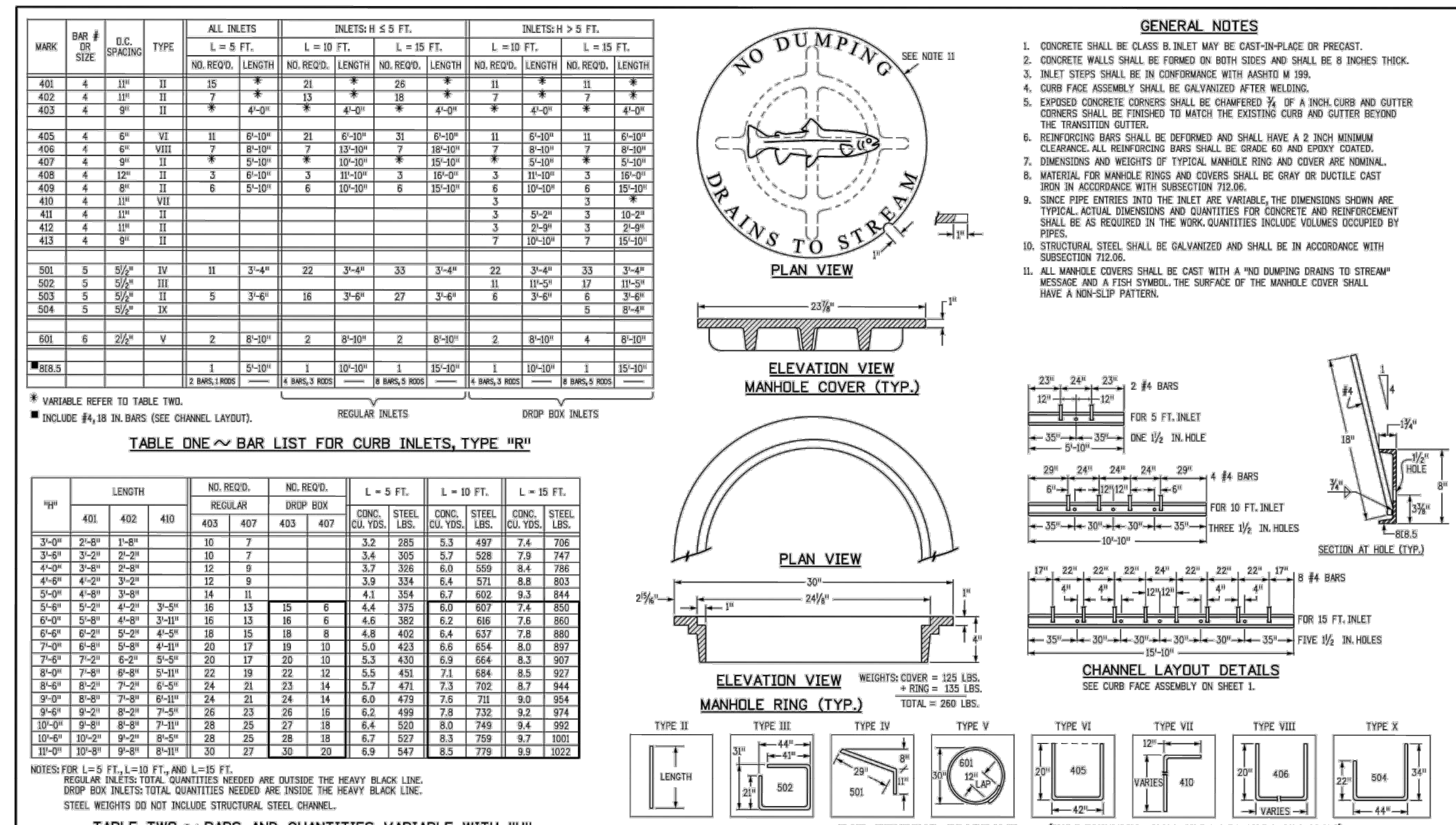
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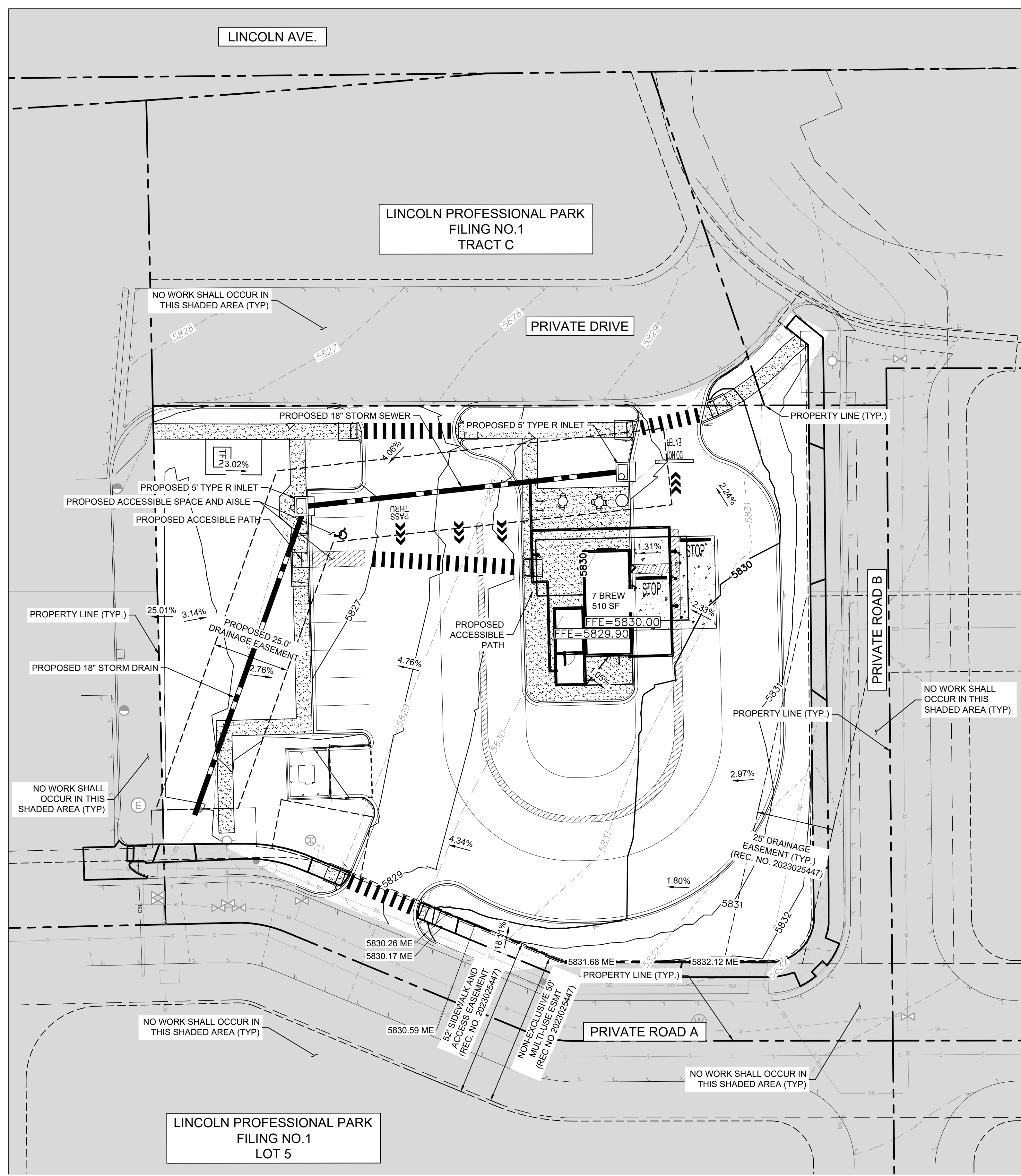
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Creation Date: 07/23/19	01	2829 West Howard Place COOT 100, 3rd Floor Denver, CO 80204 Phone: 303-757-9654 Fax: 303-757-9621	M-604-12	M-604-12
Designer: JBC	02	Project Development Branch	Standard Sheet No. 1 of 2	Standard Sheet No. 1 of 2
Last Modification Date: 07/31/19	03	JBK	Issued by the Project Development Branch July 31, 2019	Project Sheet Number:
Detailer: LTA	04			
CAD Ver: MicroStation V8	05			



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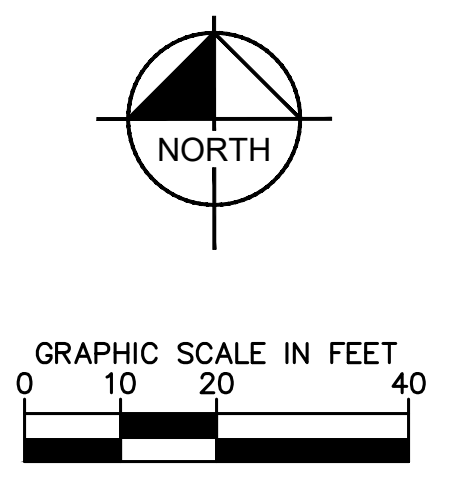


**LEGEND**

PROPERTY LINE	
BUILDING OUTLINE	
PROPOSED CONTOUR	
EXISTING CONTOUR	
EXISTING STORM LINE	
EXISTING GAS LINE	
EXISTING SANITARY SEWER LINE	
EXISTING WATER LINE	
EXISTING SANITARY SEWER MANHOLE	
EXISTING FIRE HYDRANT	
EXISTING SANITARY SEWER CLEANOUT	
PROPOSED WATER BENDS	
PROPOSED WATER METER	

**NOTES:**

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. NO EARTHEN SLOPE SHALL BE GREATER THAN 2:1, UNLESS OTHERWISE NOTED.
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
5. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
6. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
7. EXISTING AND PROPOSED TOPOGRAPHY ARE SHOWN AT ONE-FOOT CONTOUR INTERVALS.
8. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. THE TOP BACK OF CURB SHALL BE 0.5- FEET ABOVE FLOWLINE ELEVATIONS.



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 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 2/23/26

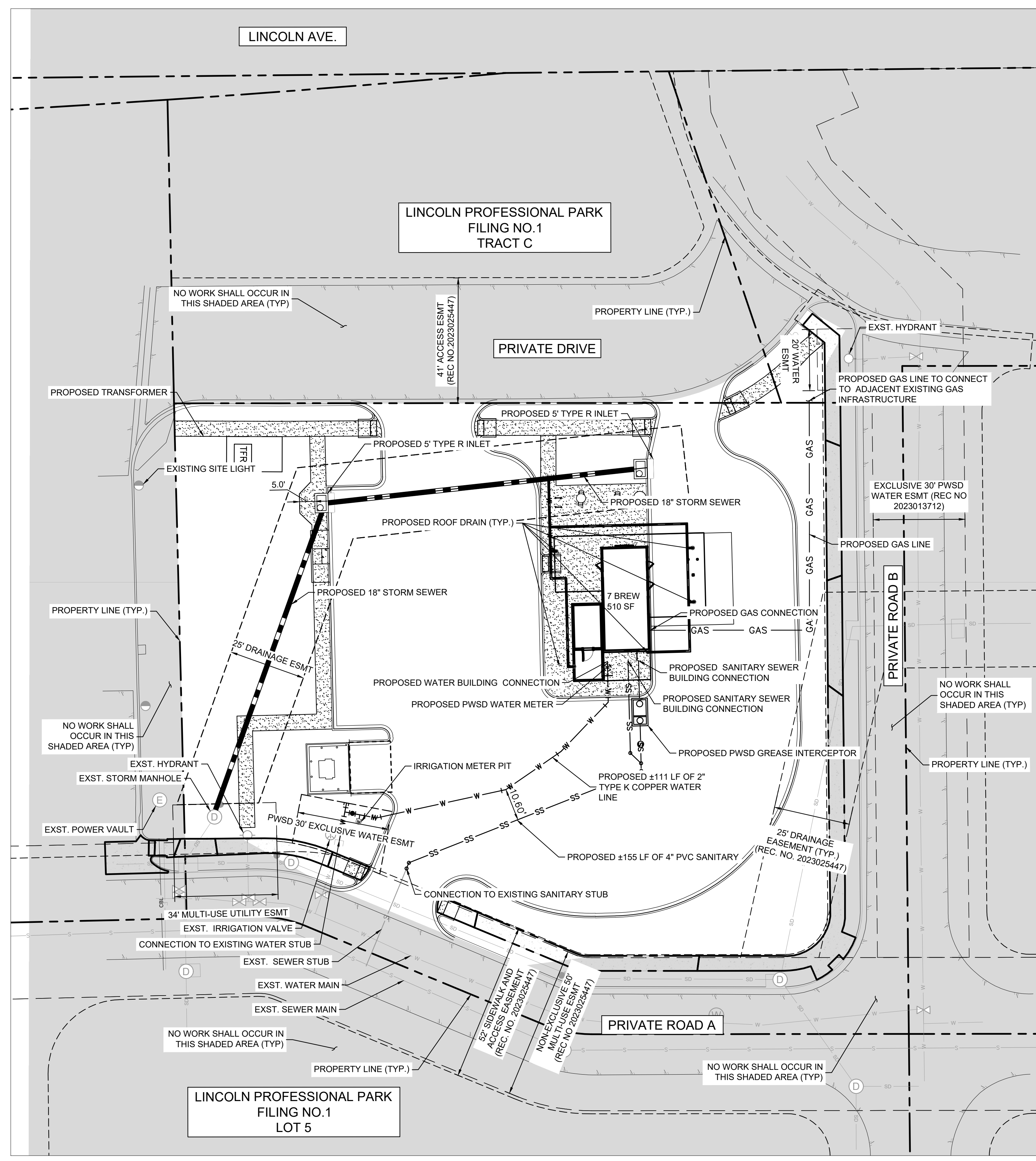
LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - SITE PLAN  
 GRADING PLAN

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296237001  
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296237001\_0P  
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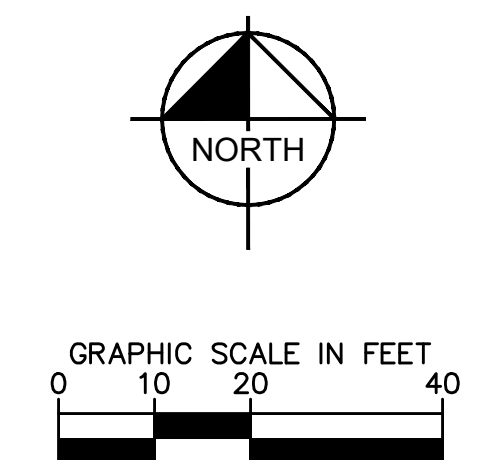
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**LEGEND**

PROPERTY LINE	---
EASEMENT	---
BUILDING OUTLINE	---
PROPOSED GAS LINE	— GAS — GAS —
PROPOSED SANITARY SEWER LINE	— S — S —
PROPOSED WATER LINE	— W — W —
PROPOSED STORM LINE	— SD — SD —
EXISTING GAS LINE	— GAS — GAS —
EXISTING SANITARY SEWER LINE	— S — S —
EXISTING WATER LINE	— W — W —
EXISTING STORM LINE	— SD — SD —
PROPOSED CONTOUR	— 100 — 99 —
EXISTING CONTOUR	— 100 —
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING STORM MANHOLE	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING SEWER CLEANOUT	⊙
EXISTING WATER VALVE	⊙
EXISTING STORM DRAIN STRUCTURE	⊙
PROPOSED WATER BENDS	⌒
PROPOSED STORM CURB INLET	⊕
PROPOSED WATER METER	⊕
PROPOSED SANITARY SEWER CLEANOUT	⊕

- NOTES:**
- UTILITY CONNECTIONS TERMINATE 5' FROM BUILDING ENVELOPE. SEE ARCHITECT AND MEP PLANS FOR CONTINUATION.
  - ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.
  - CONTRACTOR TO CONFIRM ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
  - ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICES LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.



<p><b>Lincoln Professional Park Filing No. 1</b>  <b>LOT 2, PARKER, CO</b>  <b>7 BREW - SITE PLAN</b>  <b>OVERALL UTILITY PLAN</b></p>	<p>NO. _____ BY DATE APPR          REVISION _____</p>
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<p>DESIGNED BY: MMR          DRAWN BY: KNP          CHECKED BY: KEW          DATE: 2/23/26</p>	
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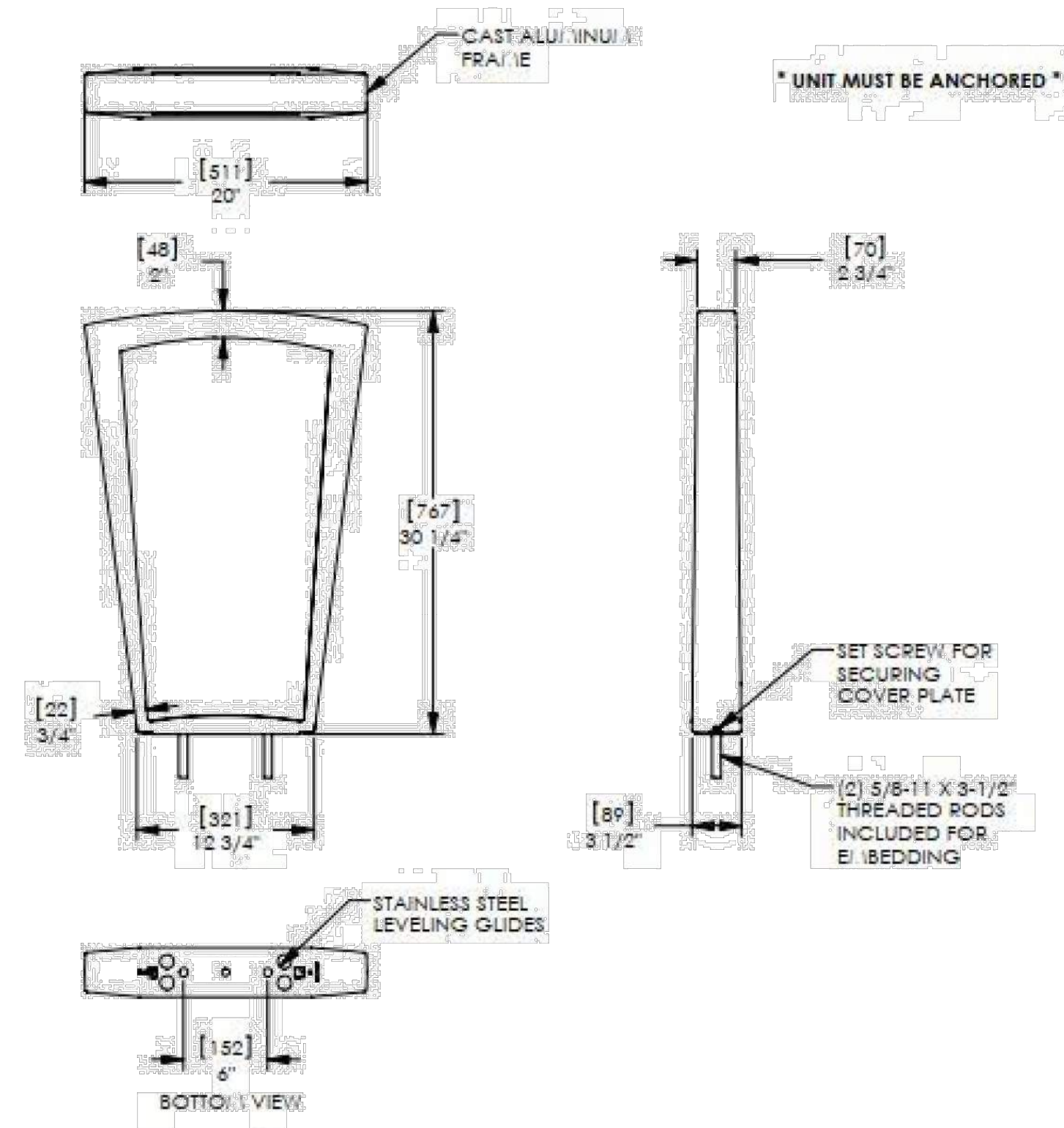
# TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES

- ALL PLANTING SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD. THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNER'S ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDED, BUT NOT BE LIMITED TO, WATER, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OR THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL, CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

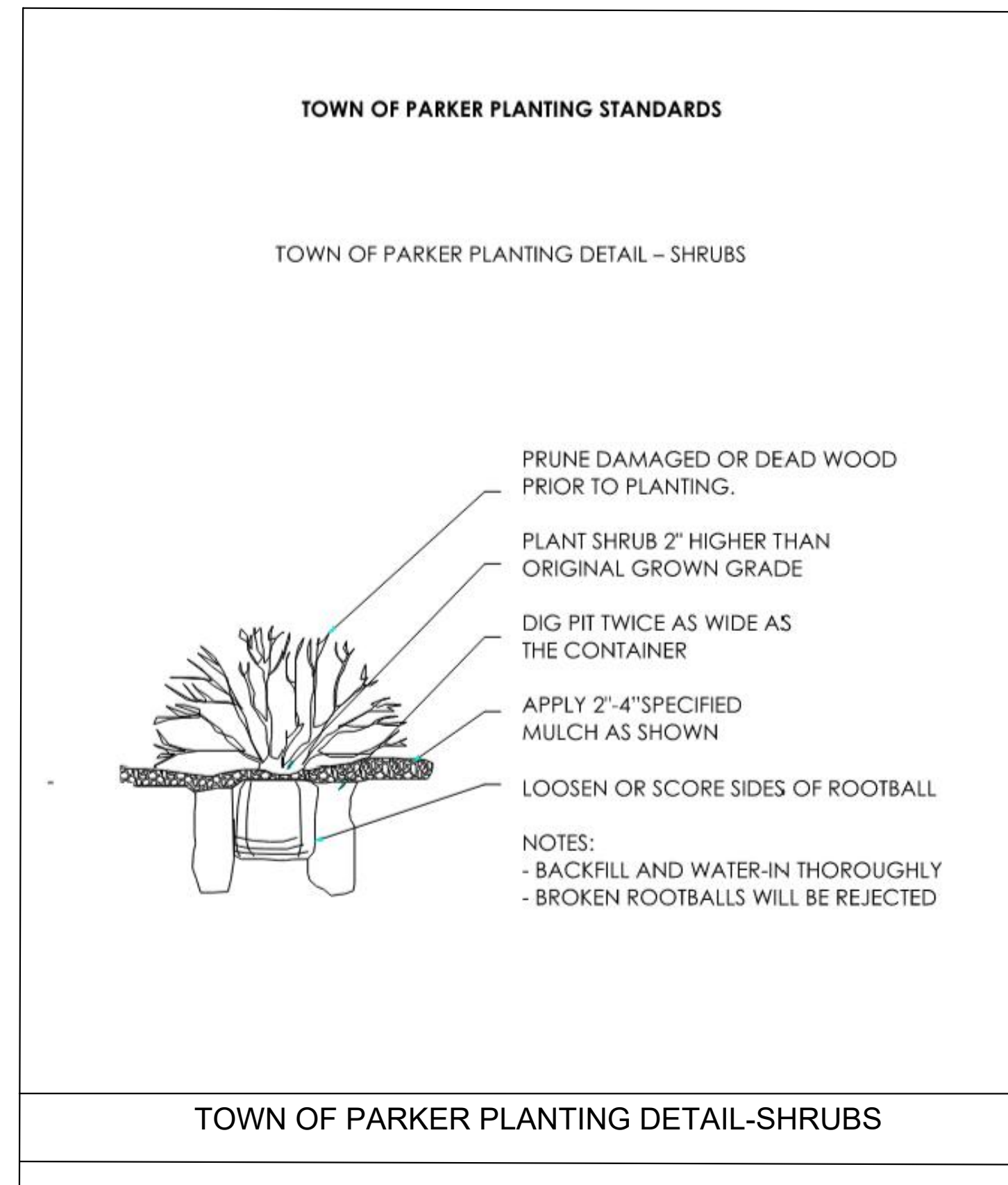
LANDSCAPE REQUIREMENTS			
PROPERTY AVERAGE: 1.052 ACRES (42,826 SF)			
<b>13.08.090 OVERALL LANDSCAPE REQUIREMENTS</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
PERCENTAGE OF LANDSCAPING	42,826 SF	6,424 SF (15%)	11,652 SF (27%)
PERCENTAGE OF LIVING MATERIAL	11,652 SF	8,739 SF (75%)	8,740 (75%)
TREES AND SHRUBS PER 1,500 SF	6,878 SF	5 TREES & 23 SHRUBS	26 TREES & 170 SHRUBS
<b>13.08.090 (F) PARKING LOT INTERIOR LANDSCAPING</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
10% SHALL BE ALLOCATED TO PARKING ISLANDS	2,843 SF	285 SF (10%)	392 SF (13%)
1 TREE & 5 SHRUBS PER 162 SF			
PARKING ISLAND 1	291 SF	1 TREE & 13 SHRUBS	1 TREE & 13 SHRUBS
PARKING ISLAND 2	101 SF	1 TREE & 5 SHRUBS	1 TREE & 5 SHRUBS
<b>13.08.090 (G) SITE PEREMITER REQUIREMENTS - P1</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
1 TREE & 5 SHRUBS PER 30 LF			
NORTH SIDE	212 LF	7 TREES & 35 SHRUBS	7 TREES & 58 SHRUBS & 12 ORNAMENTAL GRASSES
EAST SIDE	197 LF	7 TREES & 33 SHRUBS	7 TREES & 35 SHRUBS
SOUTH SIDE	213 LF	7 TREES & 36 SHRUBS	7 TREES & 54 SHRUBS
WEST SIDE	133 LF	5 TREES & 23 SHRUBS	5 TREES & 23 SHRUBS
<b>13.08.090 (E) STREET TREE REQUIREMENTS</b>	<b>AMOUNT</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
1 TREE PER 40 LF			
75% LIVE COVERAGE			
NORTH PRIVATE DRIVE	164 LF	4 TREES	5 TREES
<b>TOTAL</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
TOTAL TREES AND SHRUBS:		33 TREES & 145 SHRUBS	33 TREES & 188 SHRUBS & 12 ORNAMENTAL GRASSES

Emerson  
Product Drawing

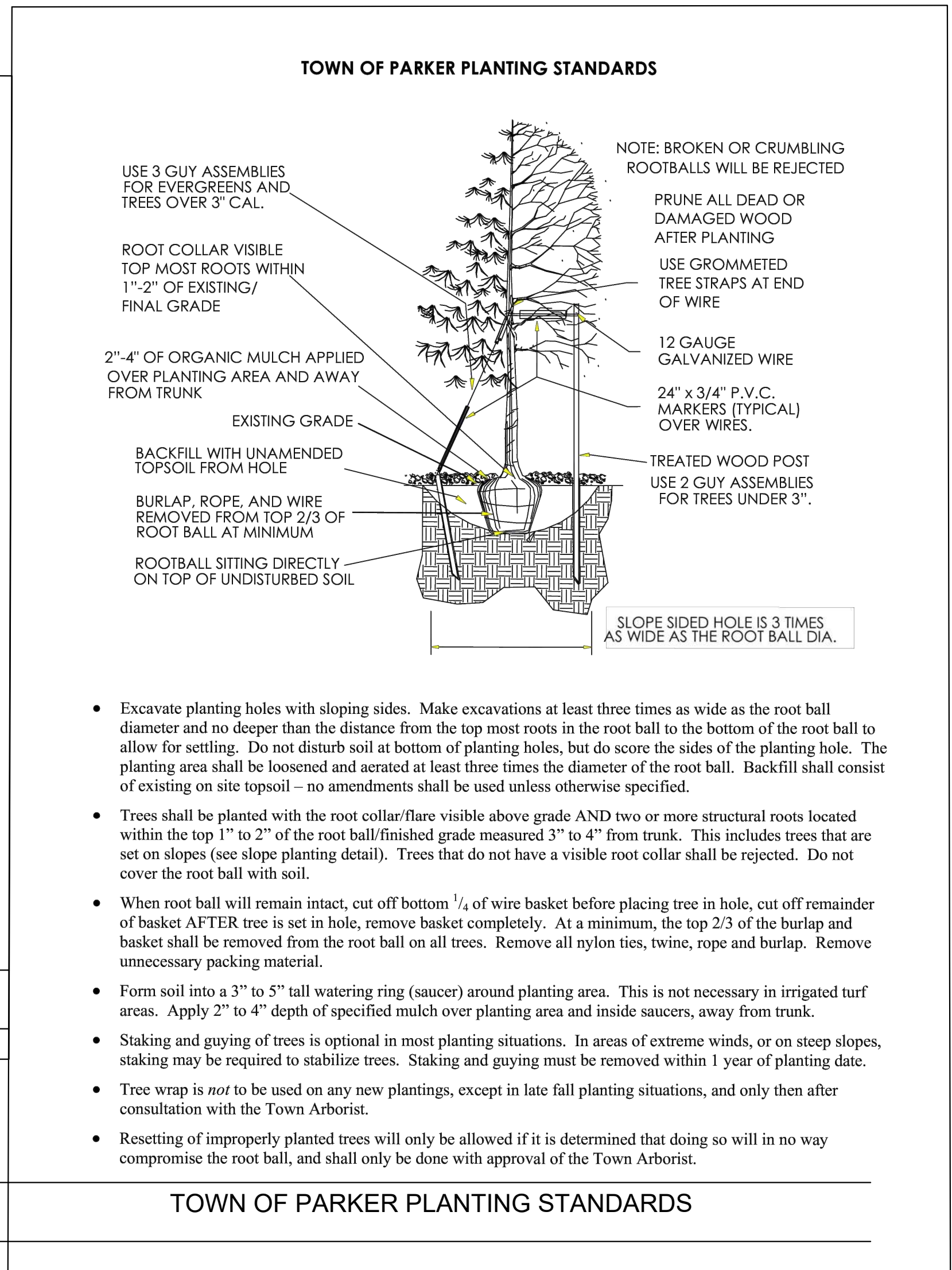
Date: 9/19/2016  
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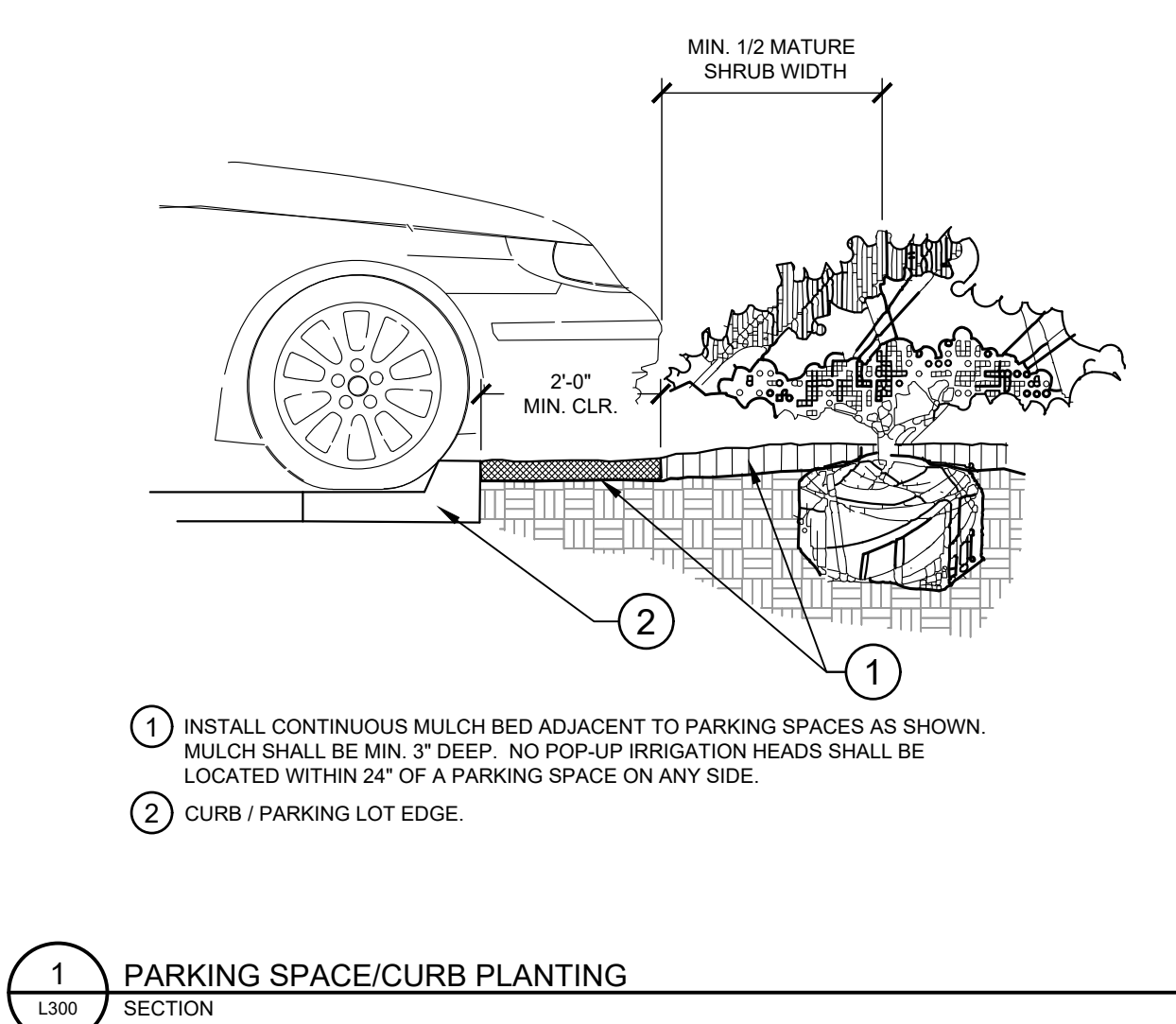
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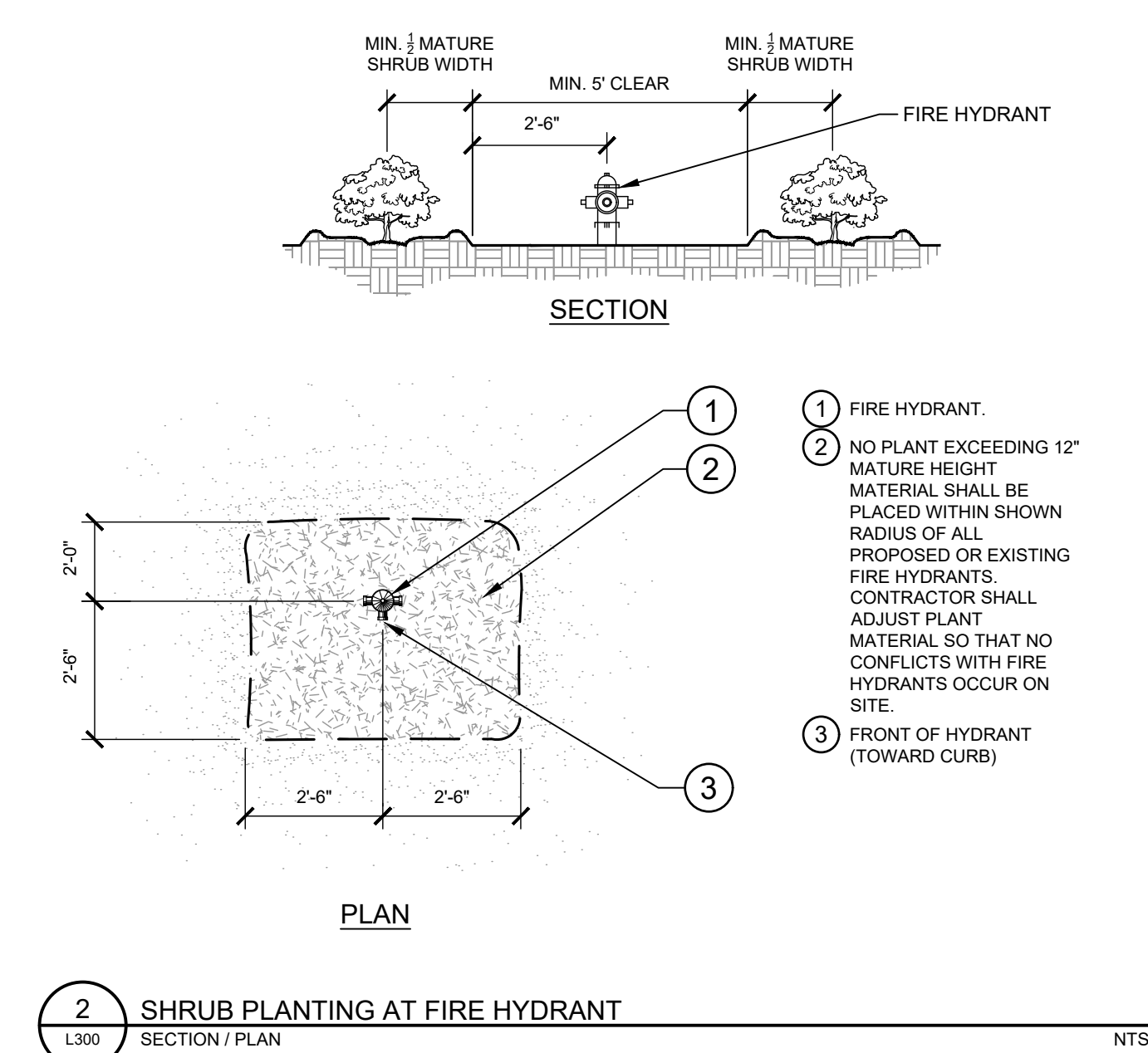
TOWN OF PARKER PLANTING DETAIL-SHRUBS



TOWN OF PARKER PLANTING STANDARDS



1 PARKING SPACE/CURB PLANTING SECTION NTS



2 SHRUB PLANTING AT FIRE HYDRANT SECTION / PLAN NTS

LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - CONSTRUCTION DOCUMENTS  
 LANDSCAPE DETAILS

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 6200 South Syracuse Way, Suite 500  
 Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR  
 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 2/23/26

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 NOT FOR CONSTRUCTION  
 Kimley»Horn  
 Kimley-Horn and Associates, Inc.  
 PROJECT NO.  
 296237001  
 SHEET  
 11

NO.	REVISION	BY	DATE

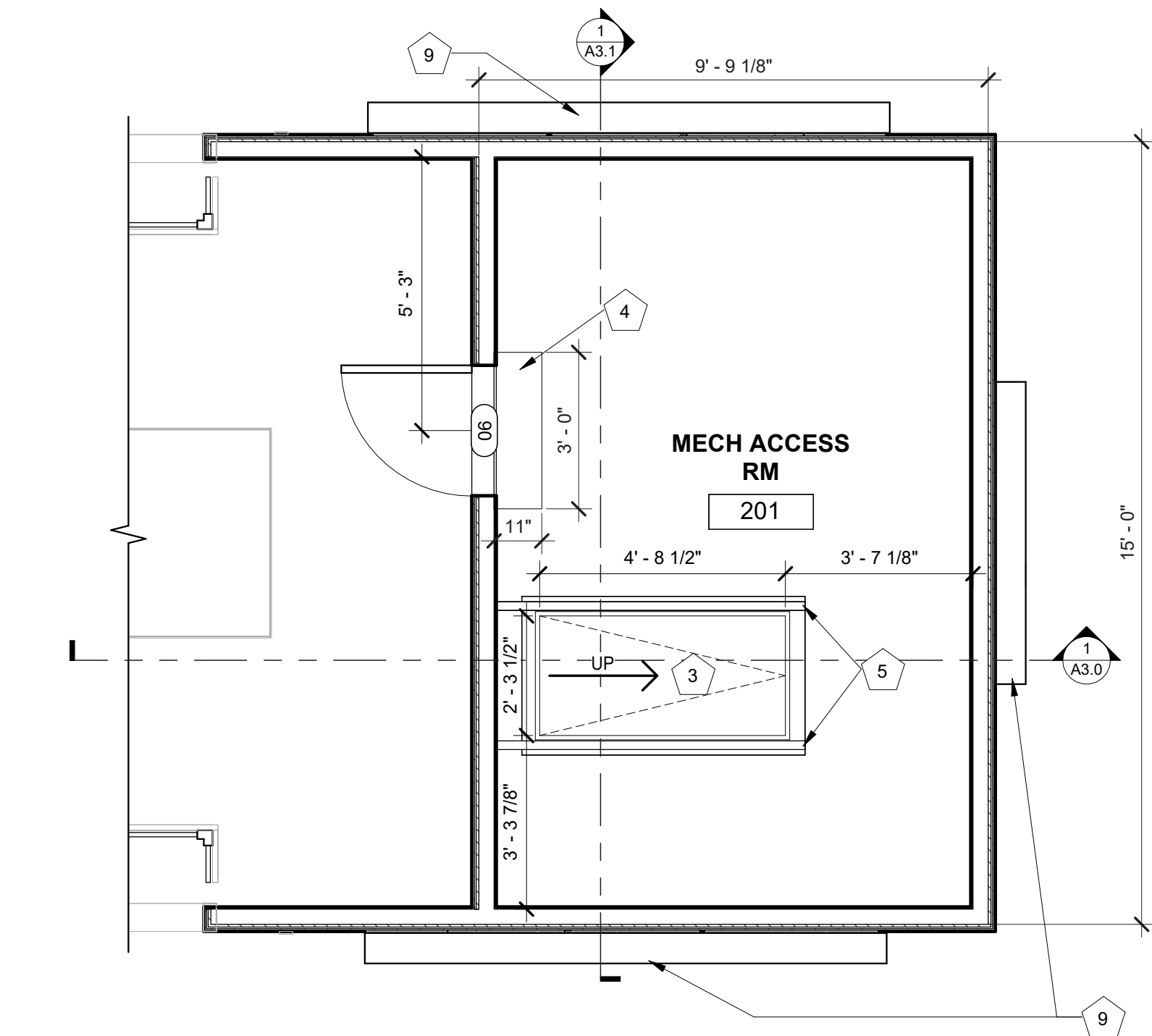


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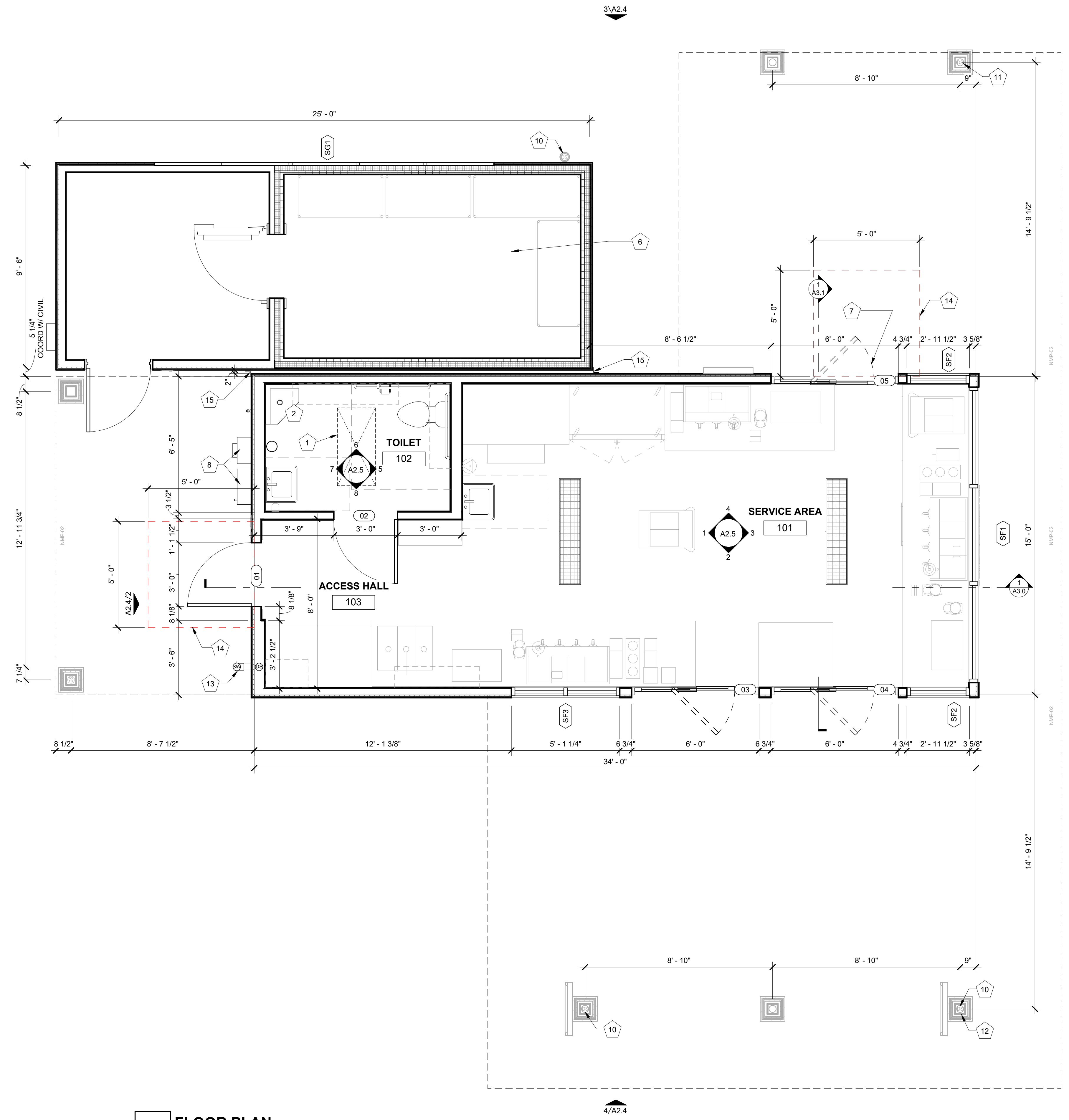
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01/19/26  
project no.:  
22.51.09

sheet contents:  
FLOOR PLAN

MARK	DESCRIPTION
1	ACCESS DOOR FOR CRAWL SPACE ACCESS
2	MOP SINK; REF PLUMBING
3	MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER
4	STEP, CENTER ON DOOR
5	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
6	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
7	ADA AUTO/MANUAL EGRESS CAPABLE
8	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
9	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
10	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
11	DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
12	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
13	DOWNSPOUT OUTLET - STORMWATER CONNECTION; COORD W/ CIVIL
14	FROST-PROTECTED EGRESS FOUNDATION PAD
15	METAL TRIM BETWEEN BUILDING AND COOLER

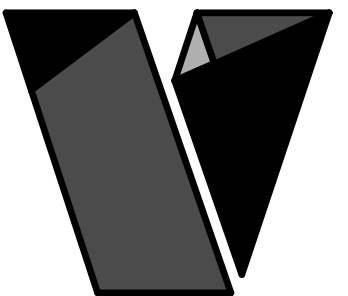


**2** MECH ACCESS RM  
3/8" = 1'-0"



**1** FLOOR PLAN  
3/8" = 1'-0"

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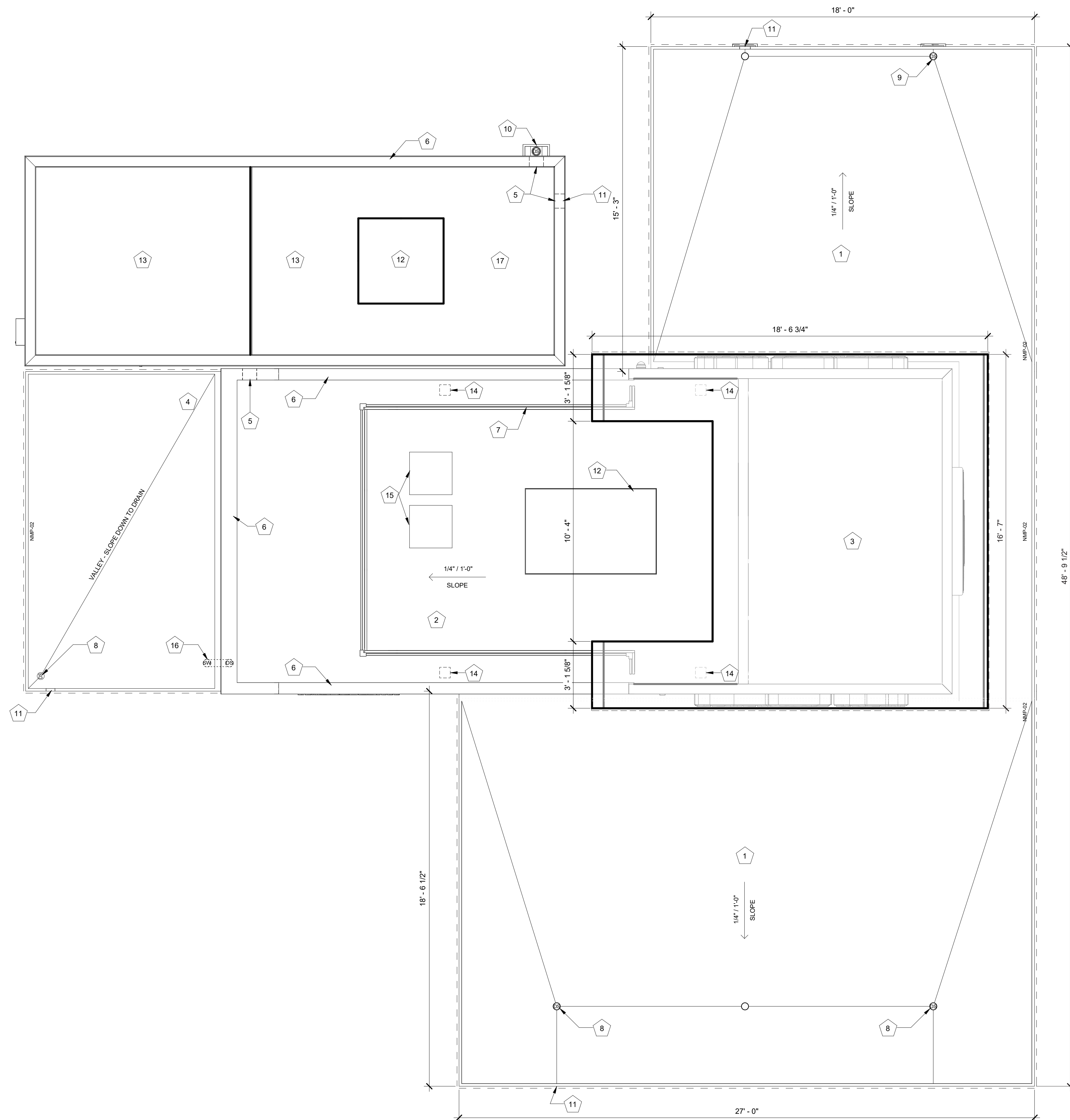
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ROOF PLAN

sheet no.:

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PAGE 14 OF 23

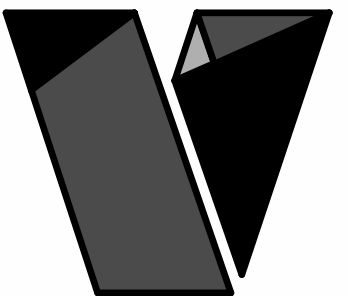
### ROOF PLAN KEYNOTES

MARK	DESCRIPTION
1	PRE-ENGINEERED CANOPY W/ TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING; REF CANOPY SHOP DRAWINGS
2	TPO ROOFING ON ROOF SHEATHING PER STRUCT
3	CORRUGATED ARC METAL ROOF ON #15 FELT ON PLYWOOD ROOF SHEATHING
4	TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING
5	8" WIDE X 4" HIGH TPO ROOF SCUPPER WITH SHEET METAL UNDERLAYMENT
6	BRAKE METAL CAP; REF ELEVATIONS
7	3' - 6" GUARDRAIL
8	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
9	ROOF DRAIN WITHIN STRUCTURAL COLUMN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
10	ROOF DRAIN; DOWNSPOUT TO BE GALVANIZED, PAINTED, STEEL; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
11	OVERFLOW TO GRADE
12	HVAC EQUIPMENT
13	ROOFING PER COOLER MANUF
14	MODULAR BUILDING PICK POINTS WITH ROOFING COLLAR; REF STRUCT
15	ICE MACHINE CONDENSERS; SITE CONTRACTOR TO DETERMINE FINAL LOCATION
16	CONNECT ABOVE-GRADE DOWNSPOUT OUTLET TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
17	COOLER MANUF TO PROVIDE FALL ARREST/RESTRAINT ANCHORAGE DEVICE IN COMPLIANCE WITH ANSI/ASSP Z359.1



**1** ROOF PLAN  
3/8" = 1'-0"





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EXTERIOR ELEVATIONS

sheet no.:

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### EXTERIOR ELEVATION MATERIALS LEGEND

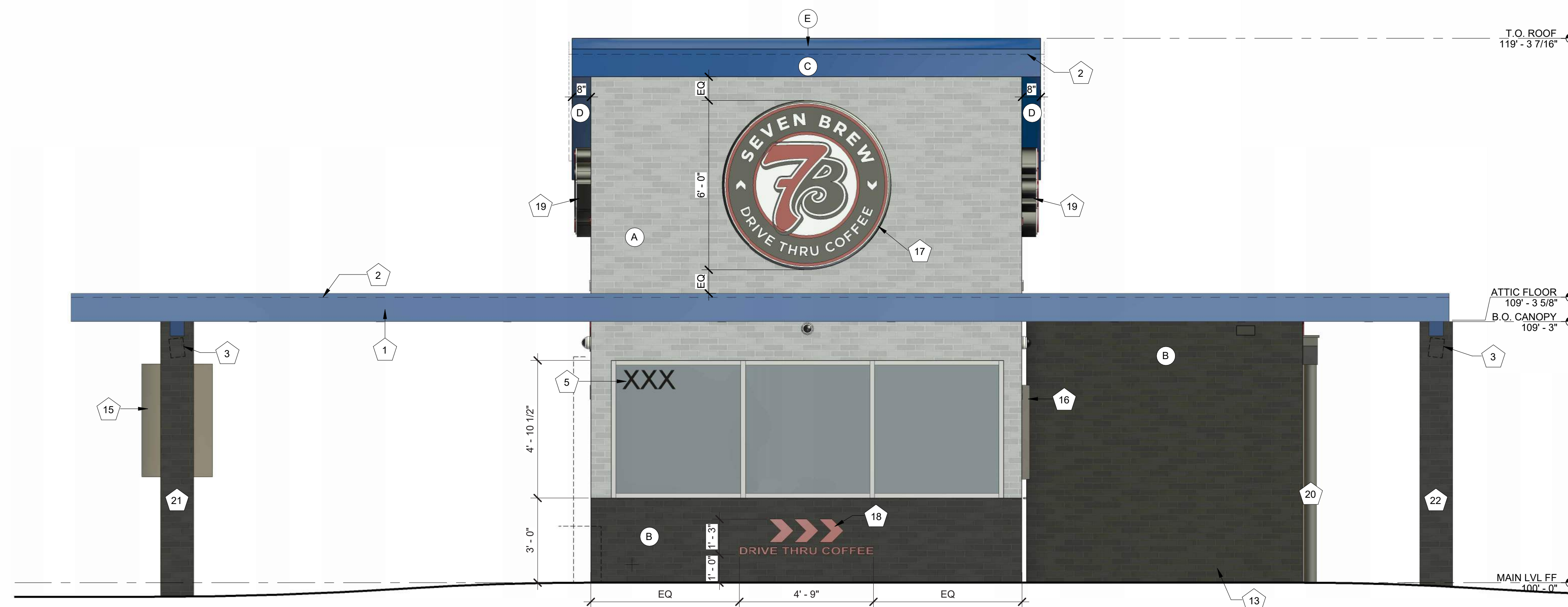
MARK	DESCRIPTION
A	THIN BRICK (BRK-2)
B	THIN BRICK (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA

### EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
10	KNOX BOX
11	HVAC EQUIPMENT
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED TO MATCH SURROUNDING MATERIAL; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
24	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL

### EXTERIOR ELEVATION MATERIALS SUMMARY

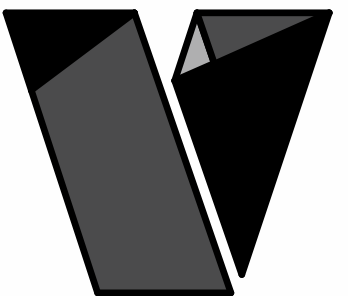
NORTH ELEVATION - 91.635F TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-0" AND 8'-0" (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 60 % / 54.985F	PROPOSED 74.03% / 67.845F
BRICK	MIN 40 % / 36.655F	PROPOSED 25.96% / 23.795F



## 1 EXTERIOR ELEVATION - NORTH

3/8" = 1'-0"

NOTE:  
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.



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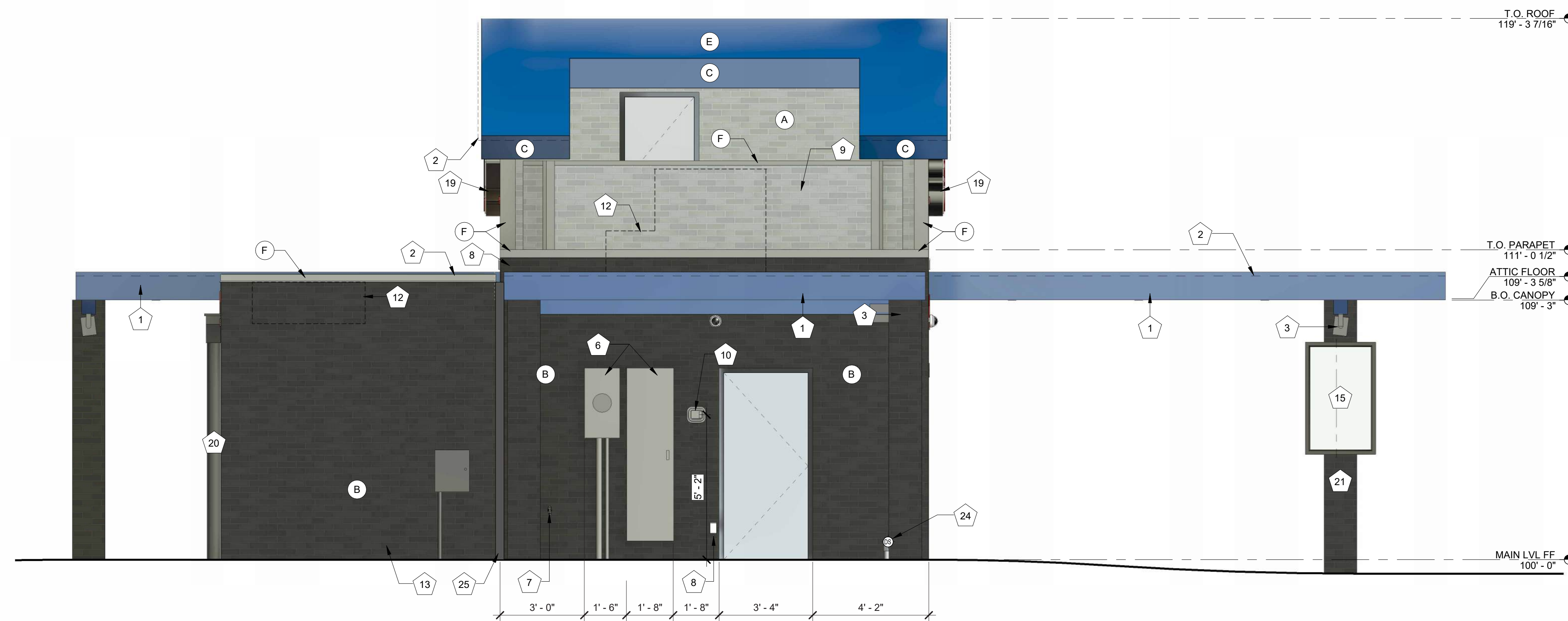
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EXTERIOR ELEVATIONS

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PAGE 16 OF 23

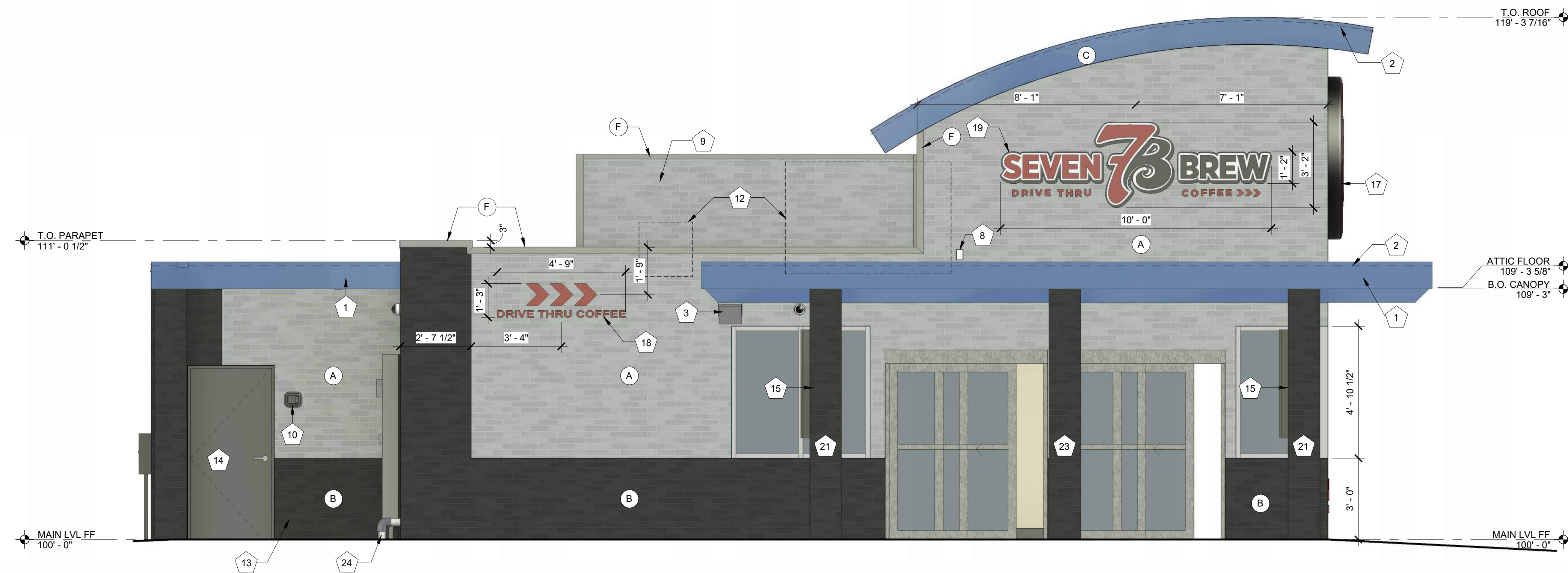
EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	THIN BRICK (BRK-2)
B	THIN BRICK (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
10	KNOX BOX
11	HVAC EQUIPMENT
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED TO MATCH SURROUNDING MATERIAL; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
24	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL



**1** EXTERIOR ELEVATION - SOUTH  
3/8" = 1'-0"

NOTE:  
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.



**1 EXTERIOR ELEVATION - EAST**  
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	THIN BRICK (BRK-2)
B	THIN BRICK (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
10	KNOX BOX
11	HVAC EQUIPMENT
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED TO MATCH SURROUNDING MATERIAL; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
24	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL

EXTERIOR ELEVATION MATERIALS SUMMARY		
EAST ELEVATION - 260.01SF TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-0" AND 8'-0" (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 40 % / 104.05F	PROPOSED 49.72% / 129.275F
BRICK	MIN 60 % / 156.05F	PROPOSED 50.28% / 130.745F



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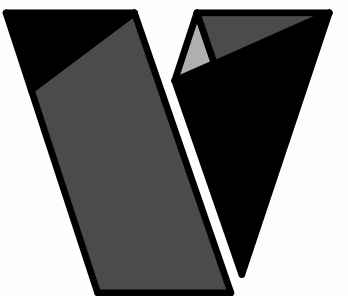
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EXTERIOR ELEVATIONS

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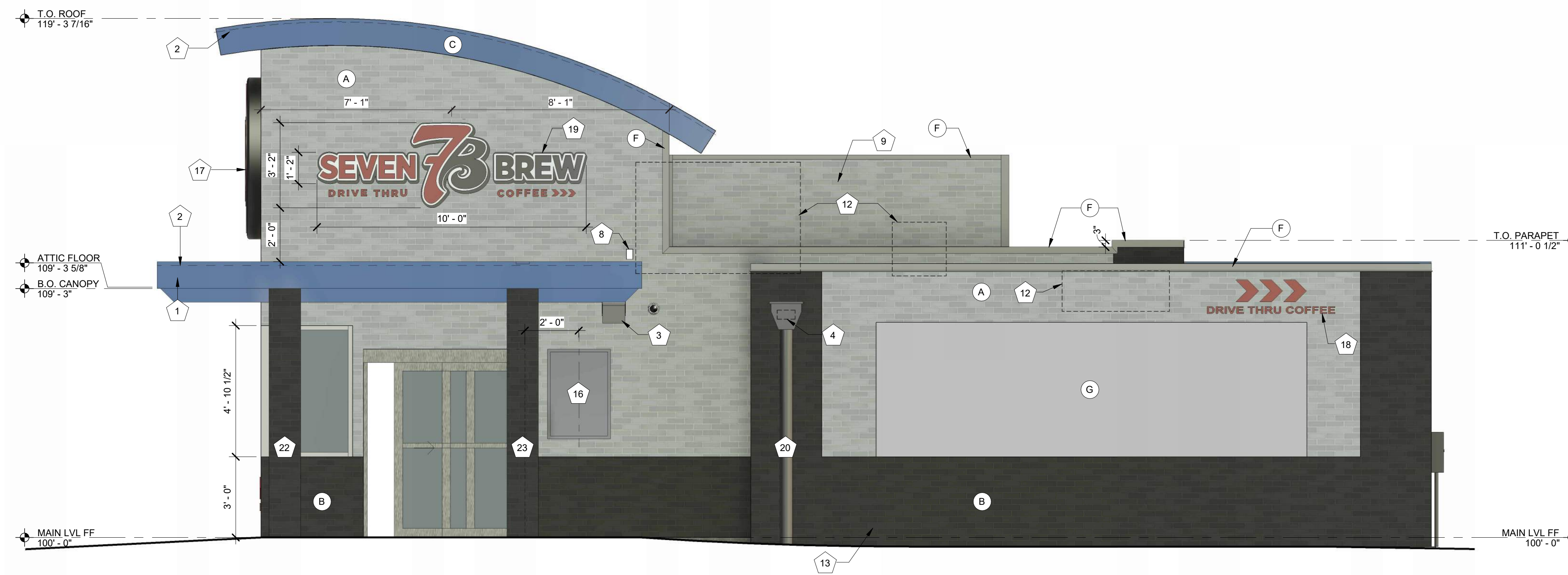
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PAGE 18 OF 23

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	THIN BRICK (BRK-2)
B	THIN BRICK (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	MURAL AREA

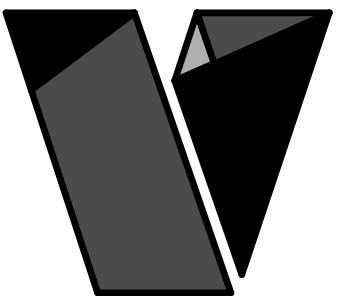
EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
10	KNOX BOX
11	HVAC EQUIPMENT
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
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24	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
25	METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL

EXTERIOR ELEVATION MATERIALS SUMMARY		
WEST ELEVATION - 269.01SF TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-8" AND 8'-0" (100%)		
MATERIAL	MAX % / SF	PROPOSED % / SF
GLASS	MIN 40 % / 104.05F	PROPOSED 53.32% / 138.64SF
BRICK	MIN 60 % / 156.05F	PROPOSED 46.80% / 121.37SF



**2** EXTERIOR ELEVATION - WEST W/ COOLER  
3/8" = 1'-0"

NOTE:  
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sheet issue date:  
01/19/26

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FACADE MATERIAL  
AREAS

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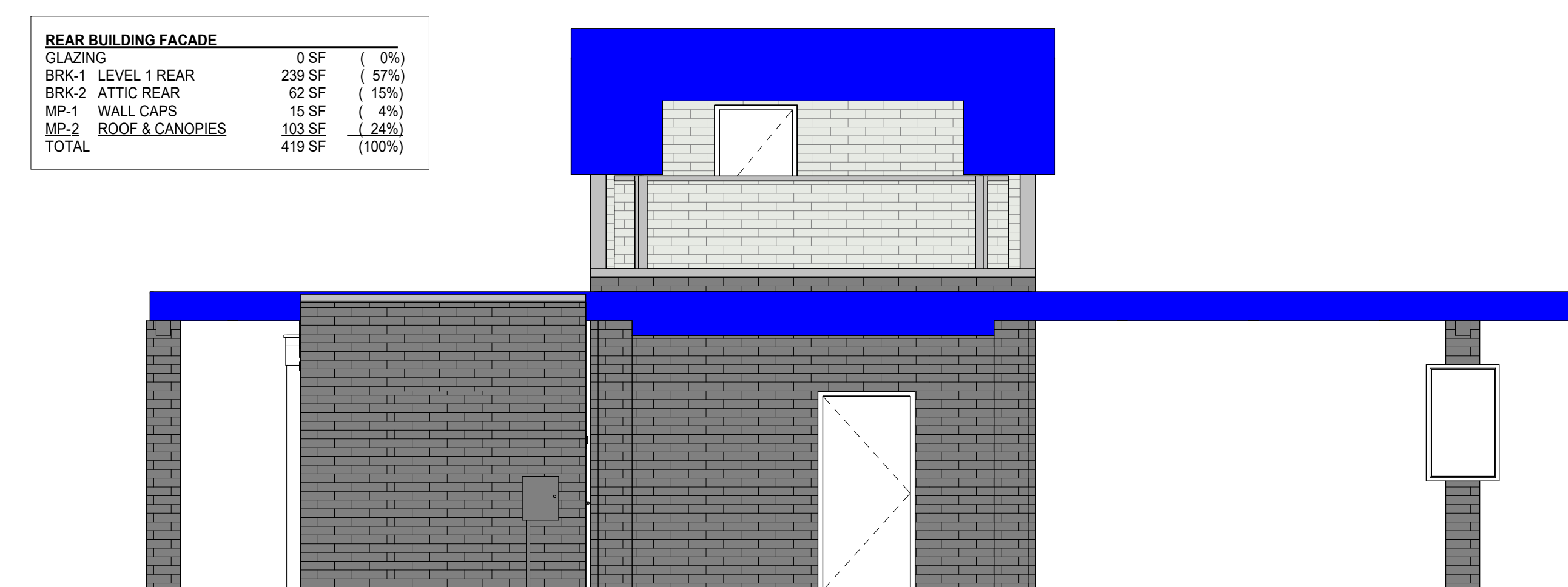
### FACADE MATERIAL AREA LEGEND

- BRK-1
- BRK-2
- ATTIC REAR
- MP-1 WALL CAPS
- GLAZING
- MURAL
- MP-2 ROOF AND CANOPIES



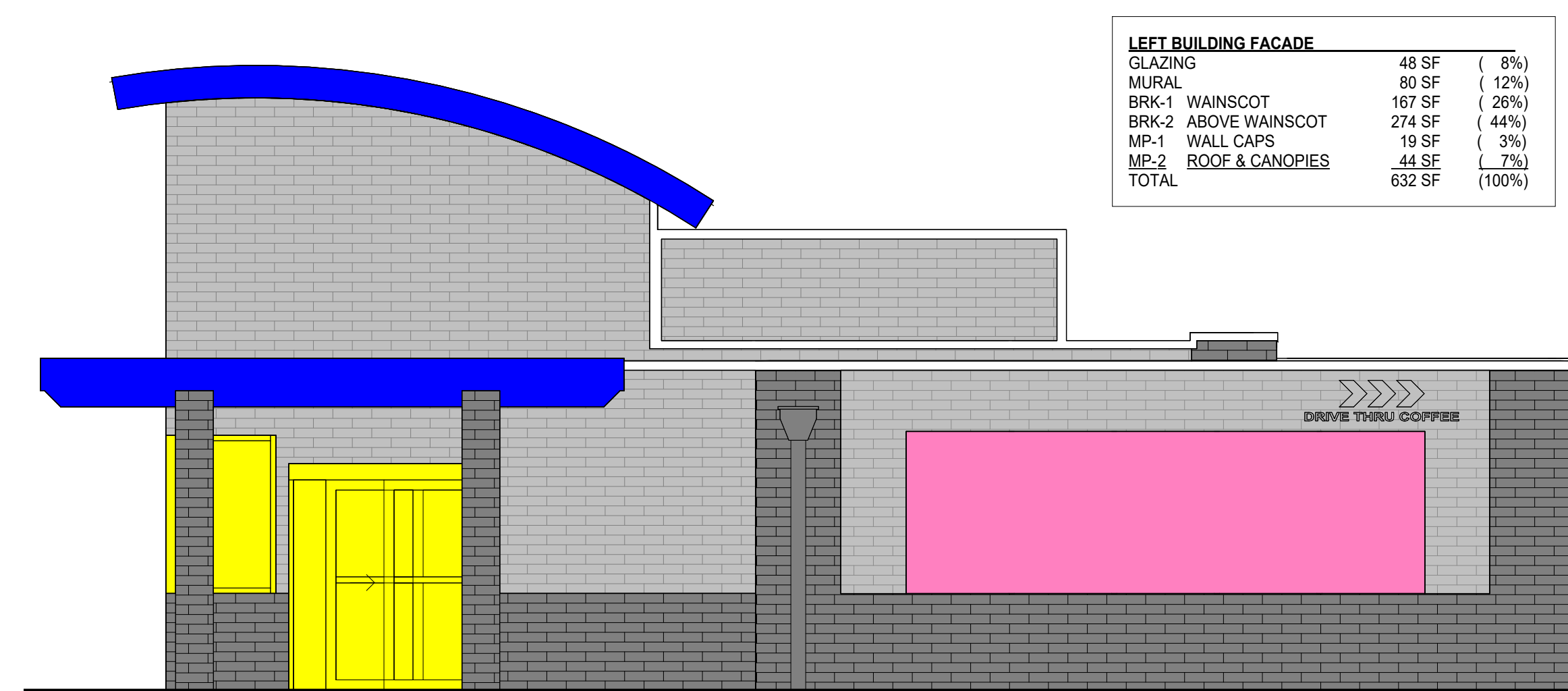
### 4 EXTERIOR ELEVATION - RIGHT MATERIALS

1/4" = 1'-0"



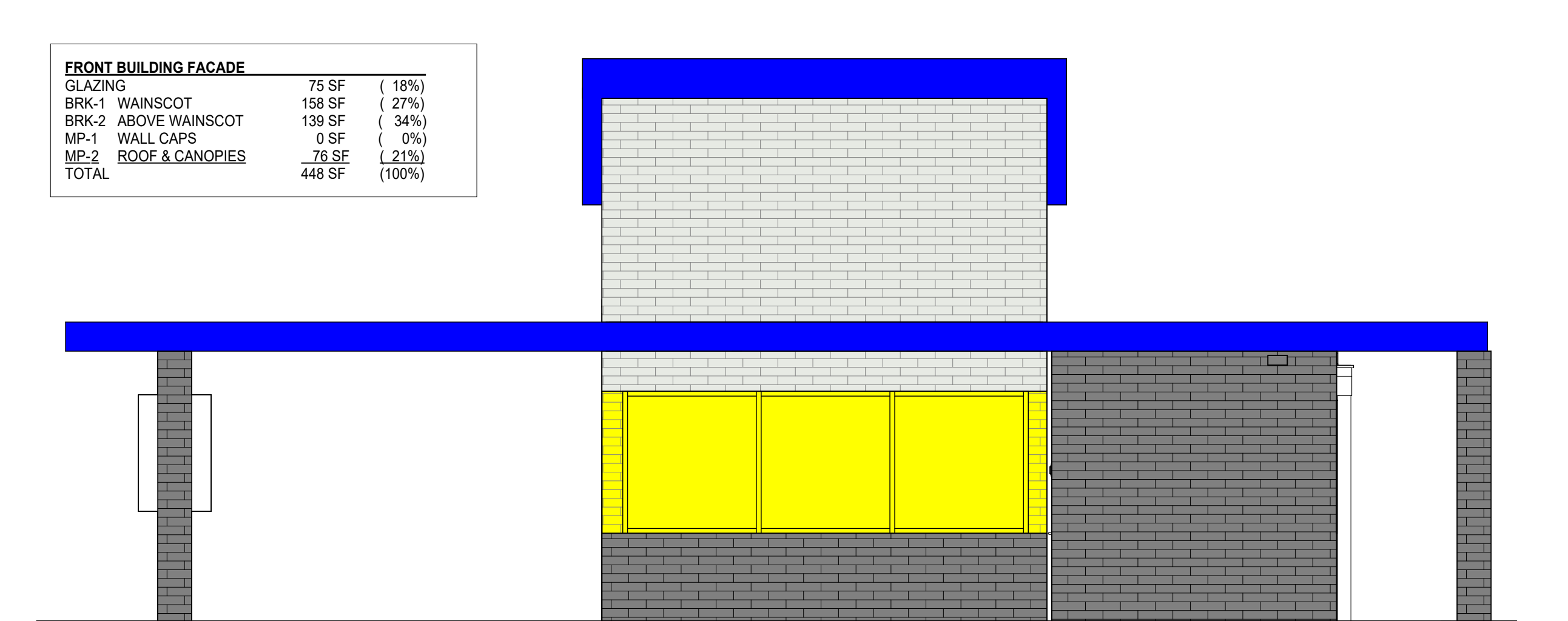
### 2 EXTERIOR ELEVATION - BACK MATERIALS

1/4" = 1'-0"



### 3 EXTERIOR ELEVATION - LEFT MATERIALS

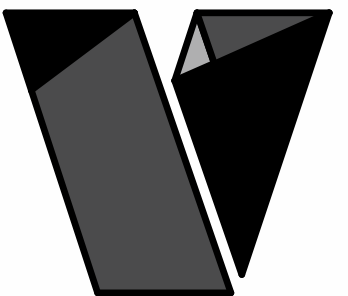
1/4" = 1'-0"



### 1 EXTERIOR ELEVATION - FRONT MATERIALS

1/4" = 1'-0"

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veritas  
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707 n. 6th street  
kansas city, ks 66101  
www.veritas-ad.com  
913.308.1460

consulting engineer:

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REVISIONS  
No. Description Date

sheet issue date:  
01/19/26

project no.:  
22.51.09

sheet contents:  
TRASH ENCLOSURE

sheet no.:

A5.0  
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### TRASH ENCLOSURE GENERAL NOTES

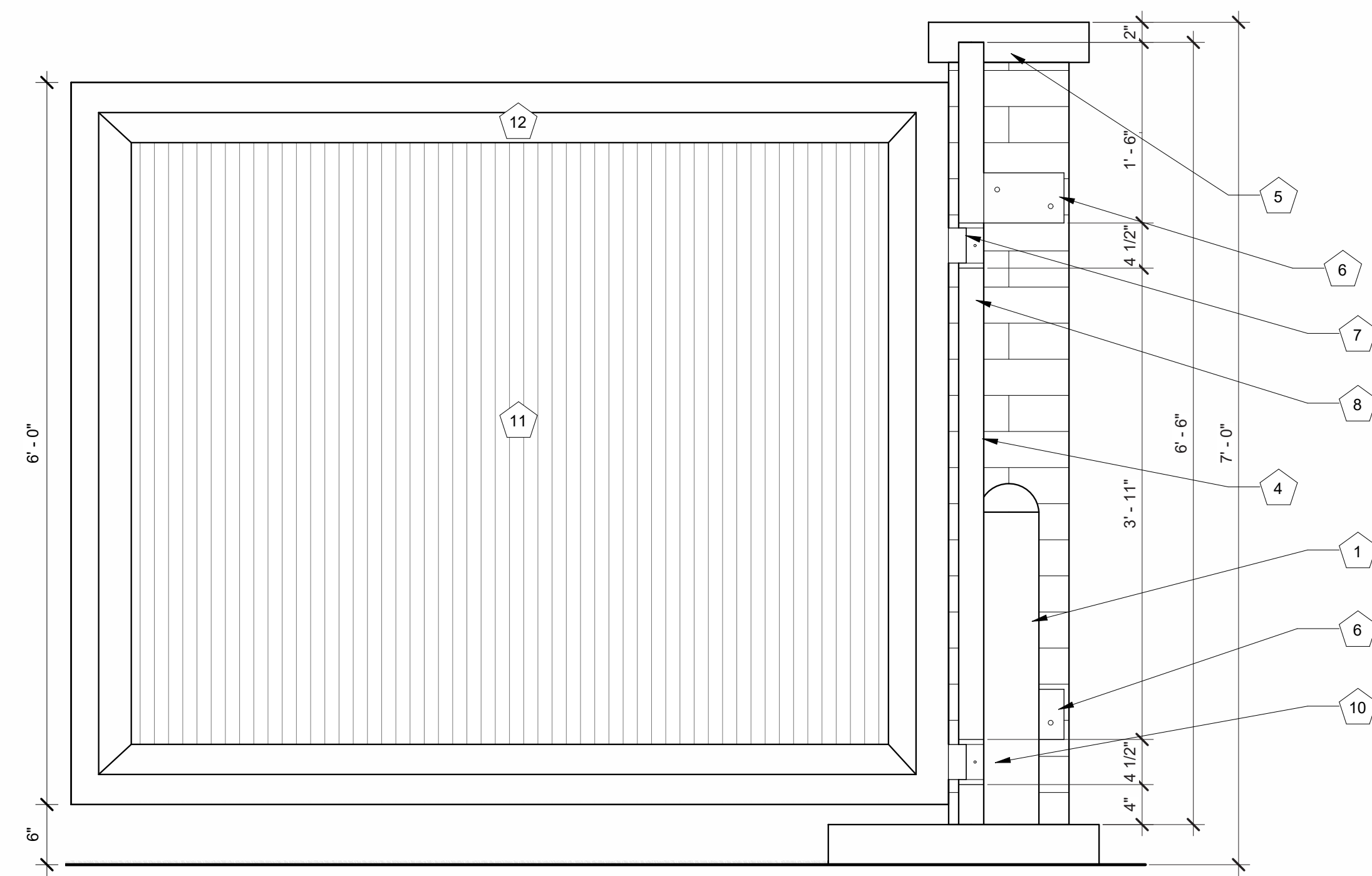
- PRE-PAINT ALL BARE METAL WITH POR-15 PRIMER PRIOR TO INSTALLATION.
- PAINT DOOR FRAMES, HINGES, AND BOLLARDS TO MATCH THE CANOPY OF THE PREFABRICATED BUILDING - MORIN REGAL BLUE.

### TRASH ENCLOSURE KEYNOTES

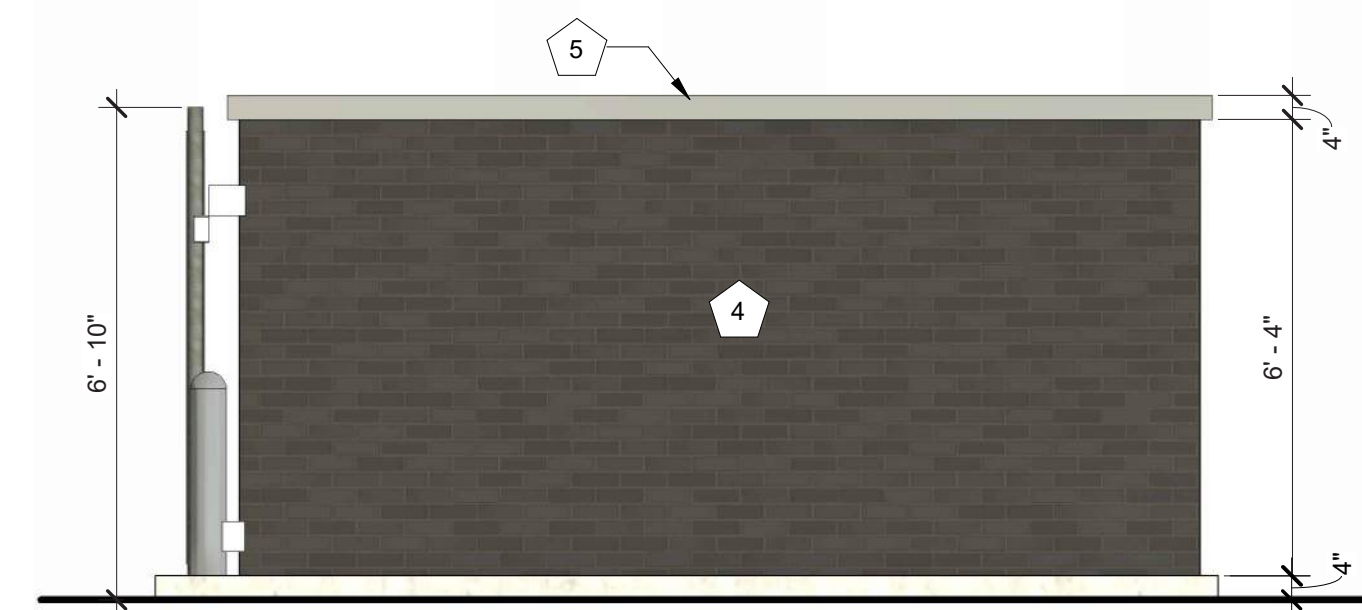
NOTE NO.	NOTE TEXT
1	Ø6" CONCRETE FILLED BOLLARD - TYP. OF (7); REF CIVIL
2	CUSTOM GATES: SEE 6/A5.0
3	TRASH DUMPSTER ON WHEELS; SUPPLIED BY OWNER
4	BRICK OVER 8" CMU BLOCK
5	4" MASONRY CAP ON TOP OF CMU WALL
6	5" PLATE STEEL BRACE WELDED TO CENTER OF 2" POST; SEE 6/A5.0 FOR HEIGHT
7	3" STEEL BRACE AT EACH HINGE
8	Ø2" STEEL POST
9	2 1/2" BOLT
10	HINGE WITH GREASE FITTING - TYP. OF 2 PER DOOR
11	STEEL GATE - PAINT TO MATCH BRK-1
12	3" x 3" TUBE STEEL FRAME ROTATED 45 DEGREES
13	REF STRUCTURAL FOR FOUNDATION DESIGN
14	REF CIVIL FOR BOLLARD & BOLLARD FOUNDATION DESIGN

### MODULAR BRICK

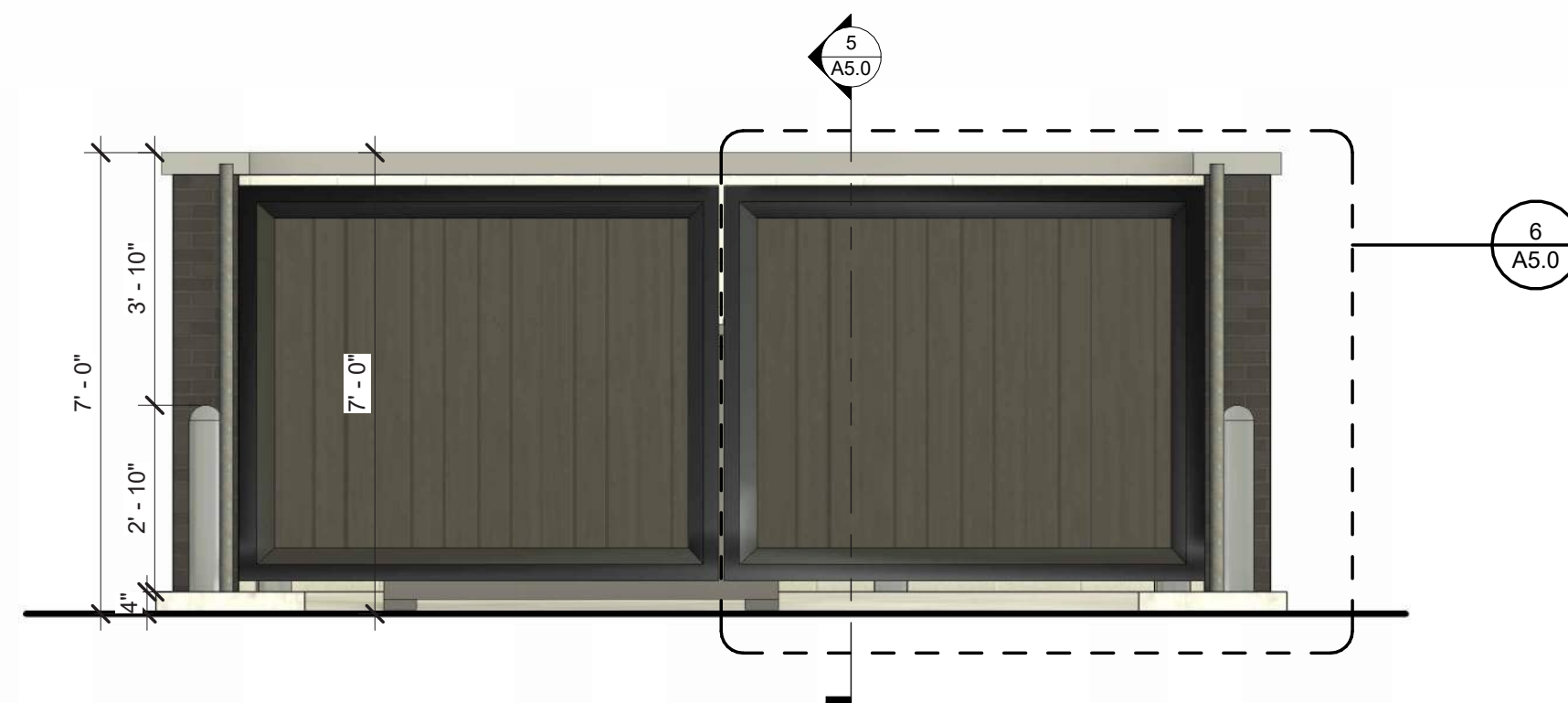
BRAND: GLEN GERY  
 COLOR: CHARCOAL  
 FINISH: KLAYCOAT SMOOTH



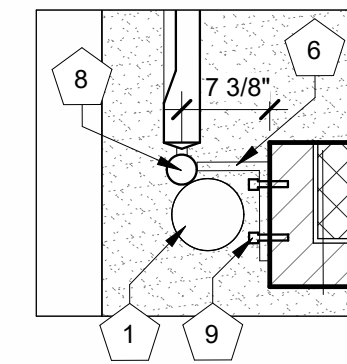
**6** DOOR / HINGE DETAIL  
1" = 1'-0"



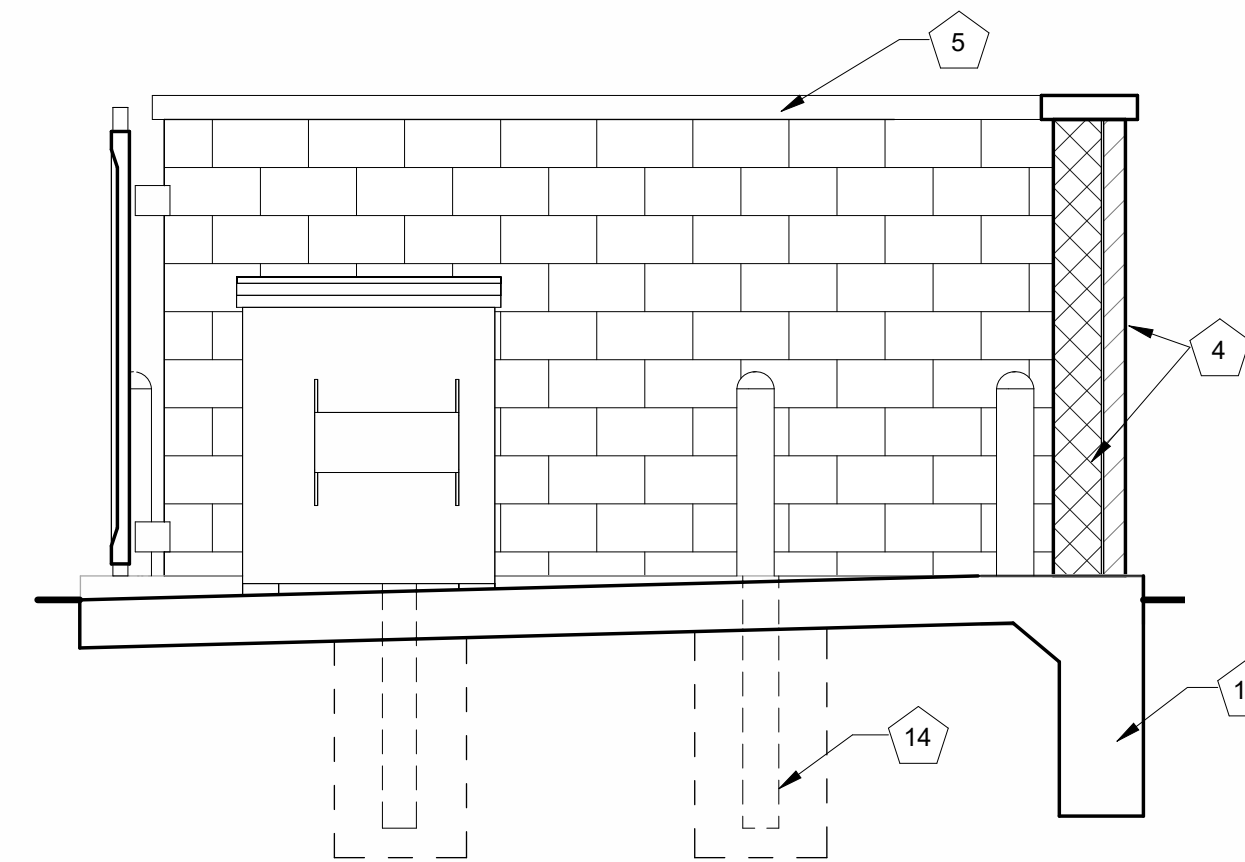
**4** TRASH ENCLOSURE - SIDE ELEVATION  
3/8" = 1'-0"



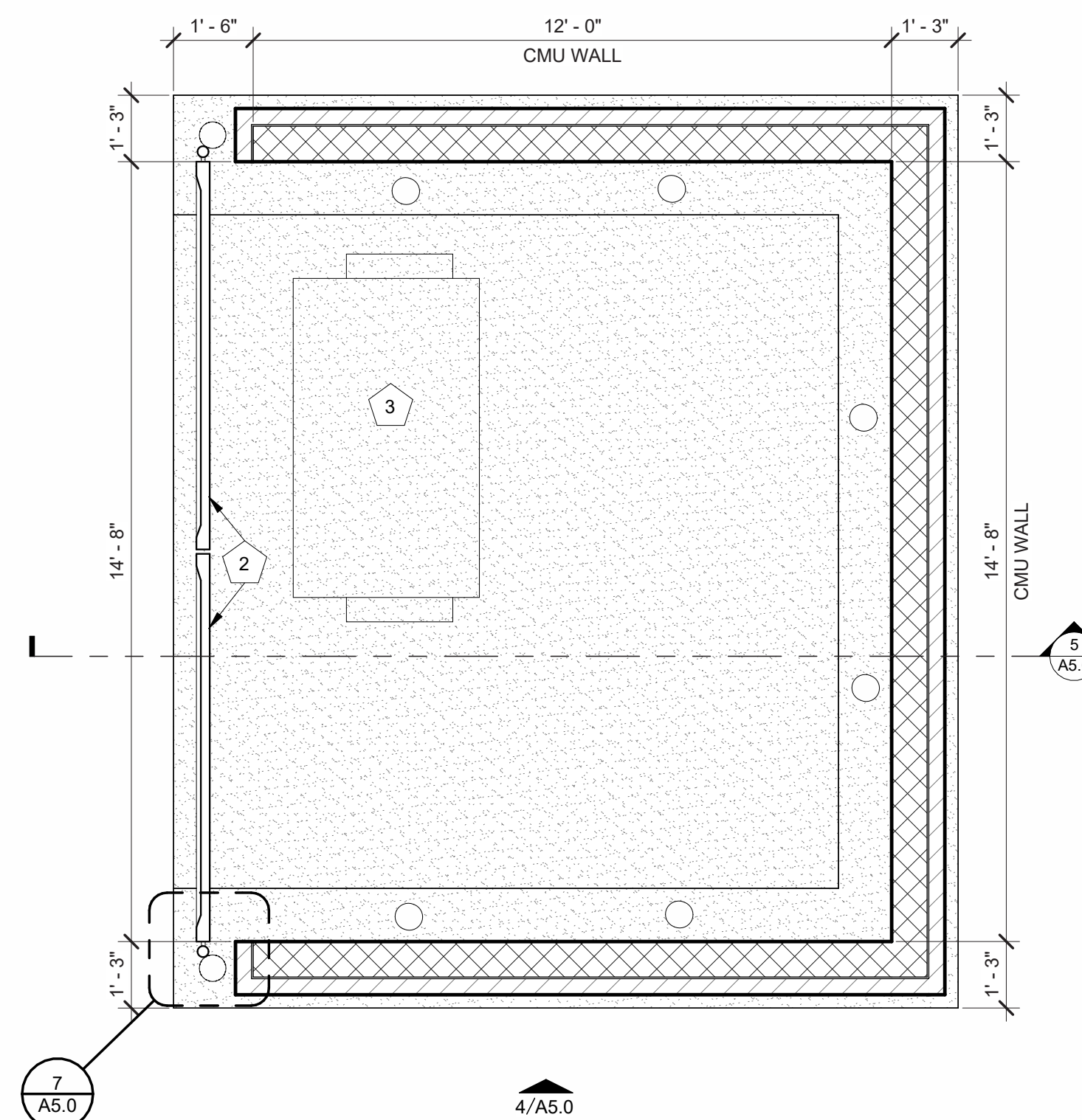
**3** TRASH ENCLOSURE - FRONT ELEVATION  
3/8" = 1'-0"



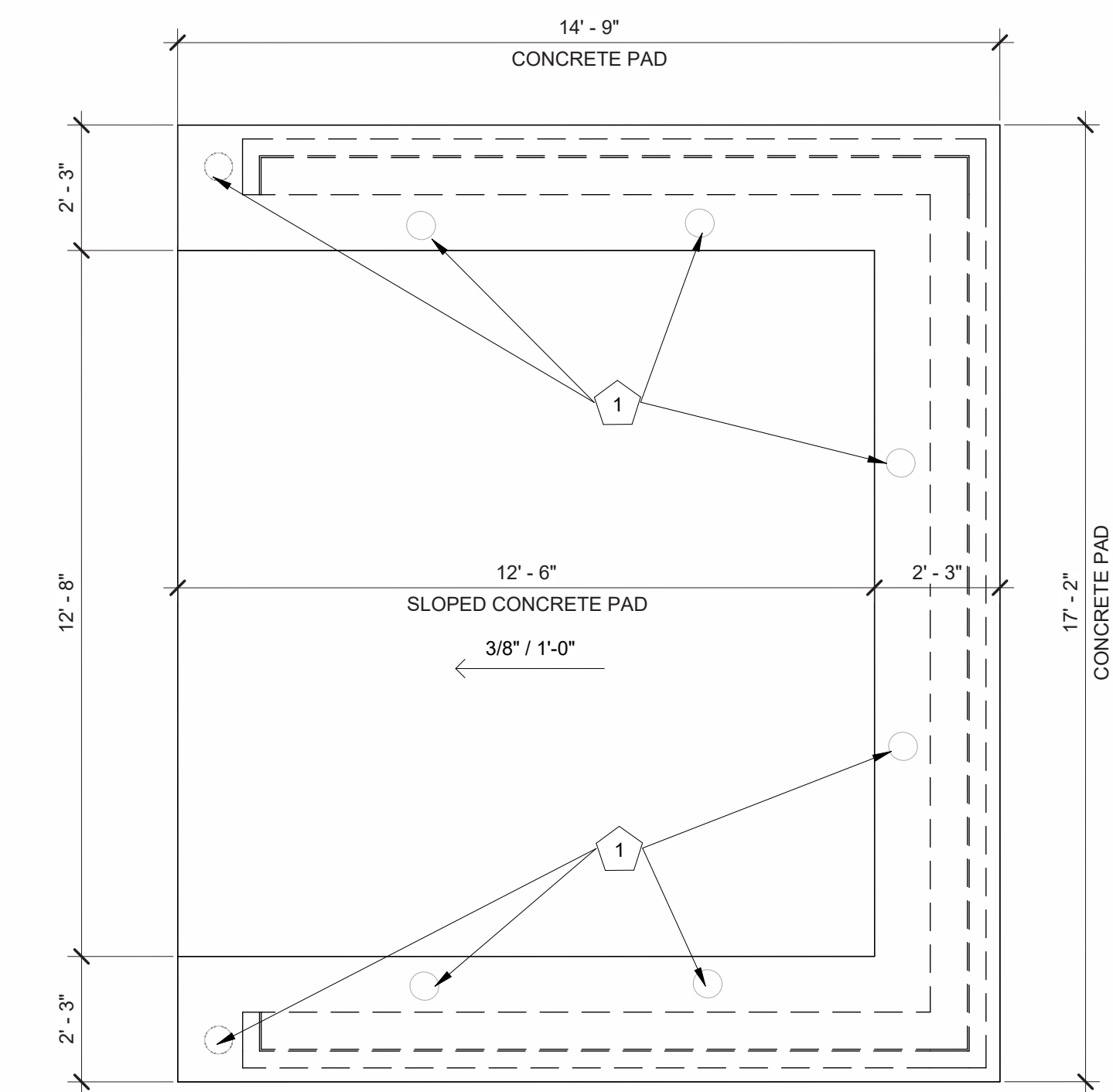
**7** TRASH ENCLOSURE PLAN DETAIL  
3/4" = 1'-0"



**5** SECTION THRU TRASH ENCLOSURE  
3/8" = 1'-0"



**2** TRASH ENCLOSURE PLAN  
3/8" = 1'-0"



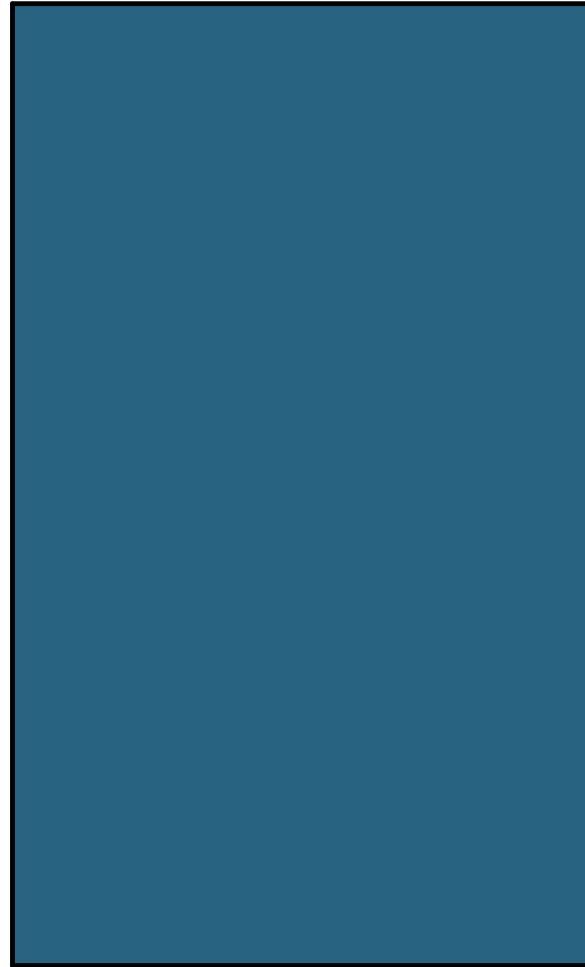
**1** TRASH ENCLOSURE - CONCRETE PLAN  
3/8" = 1'-0"

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**EXTERIOR GLAZING**  
BRAND: MANKO WINDOW SYSTEMS  
COLOR: GUARDIAN CLEAR GLASS



**BLUE METAL PANEL MP-2**  
BRAND: BERRIDGE  
COLOR: ROYAL BLUE  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



**COPING TRIM METAL MP-3**  
BRAND: BERRIDGE  
COLOR: ZINC GREY  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



**THIN BRICK - BRK-2**  
BRAND: GLEN GERY  
COLOR: STONE GRAY  
FINISH: KLAYCOAT SMOOTH



**THIN BRICK - BRK-1**  
BRAND: GLEN GERY  
COLOR: CHARCOAL  
FINISH: KLAYCOAT SMOOTH

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