



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Madeleine Reinke, Kimley-Horn and Associates, Inc.
FROM: Cynthia Thye, Planner 1
DATE: December 31, 2025
SUBJECT: SP25-119: Lincoln Professional Park L2 - 7 Brews Coffee – Site Plan Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Cynthia Thye

EMAIL: cthye@parkeronline.org

PHONE: 303.805.3334

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

- 7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

- 8. **Utility transformers:** Pursuant to section 13.10.090- Utilities of the Town of Parker Land Development Ordinance all on-site utilities serving a single use shall be placed underground. On-site utilities for the provision of service to nonresidential use(s) such as pedestals, transformers or other equipment may be placed above ground in a rear-yard or side-yard utility easement only. Transformers and other utility equipment associated with the application shall be shown on the approved Site Plan. Please work with staff to determine the correct placement for this equipment.

General Comments - Please refer to the redlines for additional comments/clarification.

- 1. **Per LDO Administrative Manual regarding title page: add “Page 1 of __” to title and add Land Use Summary Table. Also, number pages correctly on Sheet List Table and change sidewalk sheet C3.3 reference on page 3.**

Comment Addressed: Yes No

Response:

- 2. **Add legend for hardscapes surfaces indicating material to be used.**

Comment Addressed: Yes No

Response:

- 3. **Per LDO Administrative Manual, indicate feet from building to property lines on all four sides. This will also be needed for FLC inspection. Also, add length from building to driveway to ensure DDS compliance.**

Comment Addressed: Yes No

Response:

4. Add a second table to the plaza that is wheelchair accessible.

Comment Addressed: Yes No

Response:

5. Add a trash receptacle on patio and include on cut sheet showing, dimensions, image, material and color.

Comment Addressed: Yes No

Response:

6. Incorporate Site Data Table into Land Use Summary Table on Cover Sheet per LDO Administrative Manual page 25.

Comment Addressed: Yes No

Response:

Landscaping: Please refer to the redlines for additional comments/clarification. Pursuant to the LDO Section 13.08.090(g) site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use, the P1 Site Perimeter landscaping requirements shall be satisfied. Please add this requirement and the proposed landscaping to the landscape table.

7. Bike rack sheet C3.1 is missing. Add details on bike rack including size, image, material, and color.

Comment Addressed: Yes No

Response:

8. Show all trees/shrubs provided by the developer in streetscape grayed out. Make a note that the landowner is responsible for maintenance of streetscape (regardless of what entity installed it).

Comment Addressed: Yes No

Response:

9. Regarding Landscape Requirement Table: 1) revise overall landscape reequipments calculations; 2) add "P1" to Site Perimeter subtitle; and 3) revise streetscape requirements to 1 tree per 40 linear feet. Recalculate. If parking lot and perimeter landscaping do not collectively meet minimum landscaping requirements, add site interior landscaping.

Comment Addressed: Yes No

Response:

10. Add evergreens to screen mechanicals per DLO 13.08.090(m).

Comment Addressed: Yes No

Response:

Building Design: Please refer to the redlines for additional comments/clarification.

11. Revise Exterior Elevation Materials Legend to include glass and add percentage for each material.

Comment Addressed: Yes No

Response:

12. Provide an image of the proposed mural. It cannot be “logo art” of Seven Brew, nor lettering, nor coffee image.

Comment Addressed: Yes No

Response:

13. Provide an updated physical materials board to the Planning Division at Parker Town Hall.

Comment Addressed: Yes No

Response:

14. Revise trash enclosure doors to be steel painted and color to match main building. Per LDO 13.08.130.

Comment Addressed: Yes No

Response:

Photometrics:

15. Revise plan to match updated site plan sheet 3 where main building is next to cooler.

Comment Addressed: Yes No

Response:

16. Per LDO 13.08.110(e)(2).a., add correlated color temperature of each fixture to table. Must be below 5001 degrees Kelvin.

Comment Addressed: Yes No

Response:

17. Add color of each fixture to table, unless on ceiling of canopy. Must be black or bronze.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments/requirements with a written response. The following agencies have **revisions required**:

- Town of Parker Engineering and Public Works: Construction Plans Environmental; Construction Plan Civil; Drainage Report Civil; and Site Plan Civil
- IREA/CORE
- Parker Water and Sanitation District

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date



Project Number: SP25-119

Description: **Lincoln Professional Park L2 - 7 Brews Coffee**

Applied: **9/9/2025**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: , **CO 80134**

Status: **UNDER REVIEW 2**

Applicant: **Kimley-Horn and Associates, Inc.**

Parent Project: **SUB21-055**

Owner: **PLAZA STREET FUND 106 LLC**

Contractor: **<NONE>**

Details:

The applicant, Kimley Horn and Associates, is proposing 510 square foot drive through coffee shop on the property. The property is located at Southeast corner of Lincoln Avenue and Dransfeldt Road.

LIST OF REVIEWS

| SENT DATE | RETURNED DATE | DUE DATE | TYPE | CONTACT | STATUS | REMARKS |
|-----------|---------------|----------|------|---------|--------|---------|
|-----------|---------------|----------|------|---------|--------|---------|

Review Group: ALL

| | | | | | | |
|-----------|-----------|-----------|---------------------|---------------------|--------------------|--|
| 9/12/2025 | 9/12/2025 | 9/19/2025 | COMPLETENESS REVIEW | Cynthia Liston Thye | REVISIONS REQUIRED | |
|-----------|-----------|-----------|---------------------|---------------------|--------------------|--|

Notes:

I have been assigned as the Case Planner for the above-mentioned application. I have finished the completeness review and the following items are needed before the application can be deemed completed:

1. Application Fees: \$--- --2,889.60 (an additional \$72.24 will apply if paid by credit card).
2. Current Chargeback Agreement: Attached
3. Colors and Materials Board – a physical materials board with all color and materials of the proposed addition will need to be submitted for review prior to the 2nd referral.
4. Public Notice Requirements – A public notice sign will be required along each roadway/private road on the property. This property will require two public notice signs. The Town contracts with FastSigns to make and install the signs. I will send a follow-up email to FastSigns and copy you.

Please let me know when the above first two items have been completed so that I can start the referral process. Contact me if you have any questions.

Best regards,
Cynthia

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|-----------|------------|------------|--------------|---------------------|--------------------|--|
| 9/12/2025 | 10/17/2025 | 10/16/2025 | SITE PLAN 20 | Cynthia Liston Thye | REVISIONS REQUIRED | |
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Notes:

See 01 Planning Comments SP25-119 CLT

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|------------|--|------------|---------------------------|---------------|--|--|
| 10/16/2025 | | 11/14/2025 | CHALLENGER ESTATES HOA 20 | Jennie Heinze | | |
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Notes:



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| 10/16/2025 | | 11/14/2025 | LINCOLN PARK METRO DISTRICT 20 | Krystal Welp | | |
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Notes:

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|------------|------------|----------|--------------|---------------------|--|--|
| 12/10/2025 | 12/31/2025 | 1/5/2026 | SITE PLAN 20 | Cynthia Liston Thye | | |
|------------|------------|----------|--------------|---------------------|--|--|

Notes:
See 02 Planning Comments

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|------------|------------|----------|-----------------------------|---------------|--------------------|-----------------------------------|
| 12/10/2025 | 12/30/2025 | 1/5/2026 | CONST PLANS - ENVIRONMENTAL | Robert Seacat | REVISIONS REQUIRED | See Engineering Memo and Comments |
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Notes:

SP25-119 Lincoln Professional Park L2 - 7 Brews Coffee, 2nd Environmental Review, 12-30-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Site Erosion Control Plan Sheet Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. These must be shown on a Pervious surface, not on the Concrete of Asphalt. Addition PTPs may be needed in the interim and final phases.
2. Please provide and use Parker's complete Legend of Keys/Symbols to correspond to the Town's 29 CBMP Details on each Erosion Control plan sheet.

INTERIM/FINAL CBMP PLANS

3. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
4. Inlet Protection (IPAN, IPCOG, IPCOS) on plans must have the proper legend code/symbol using Parke's Keys/Symbols, for the type of inlet on the plans.

A copy of the REDLINED EROSION CONTROL PLAN SHEETS is available in eTRAKiT Attachments.

Links:
 CBMP Details
<http://parkeronline.org/532/Construction-Best-Management-Practices>
 Grading Permit Application and Requirements
 Grading Permits | Town of Parker - Official Website (parkerco.gov)
 CAD Drawings Link:
 "\\townsan\group\engineering\Stormwater\Storm Drainage and Environmental Criteria Manual\2013 Final SDECM\Appendix C CBMP Standard Details"

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| 12/10/2025 | | 1/5/2026 | CONSTRUCTION PLANS - CIVIL | Charles Kudlauskas | | |
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Notes:

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| 12/10/2025 | | 1/5/2026 | DRAINAGE REPORT - CIVIL | Charles Kudlauskas | | |
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| 12/10/2025 | | 1/5/2026 | IREA 20 | Brooks Kaufman | | |
| Notes: | | | | | | |
| 12/10/2025 | 12/31/2025 | 1/5/2026 | PARKER WATER AND SANITATION DISTRICT 20 | Robert Ramsey | REVISIONS REQUIRED | see notes |
| Notes: Please provide PWSD : landscape plans, and the Building fixture count worksheet, to determine that the proposed 3/4-inch domestic with a 3/4-inch irrigation combo tap has enough water to serve both, the Building and landscape requirements. As this will be a services only project tap fee invoices and minimal inspection review fees will need to be paid prior to plan approval. | | | | | | |
| 12/10/2025 | | 1/5/2026 | PHOTOMETRIC PLAN 20 | | | |
| Notes: | | | | | | |
| 12/10/2025 | | 1/5/2026 | SITE PLAN - CIVIL | Charles Kudlauskas | | |
| Notes: | | | | | | |
| Review Group: AUTO | | | | | | |
| 9/9/2025 | | | ENGINEERING ADMINISTRATIVE | Tom Williams | | |
| Notes: | | | | | | |
| 9/9/2025 | 9/18/2025 | 9/23/2025 | LAND USE COMPLETENESS REVIEW | Charles Kudlauskas | COMPLETED | |
| Notes: | | | | | | |



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Review Group: SP

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| 9/18/2025 | 10/16/2025 | 10/16/2025 | BUILDING 20 | Randy Sale | COMPLETED | See general notes |
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Notes:

Building Division pre-application meetings are available before applying for the building permit to discuss access requirements during construction, construction type, occupancy, allowable areas, MEP's, energy, structural, etc...if needed. Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

The Town's Charge Back Agreement may be required for this project , specifically for the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned to the Building Division, then the full plan review process will begin.

General Comments to be aware of:

Building permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the most current adopted codes per Ordinances at time of submittal. This includes but is not limited to the International Code Family, Accessibility Code, and the National Electrical. All required Fire Permits will be reviewed and inspected by the jurisdiction having authority, South Metro Fire Rescue. Please contact us prior to the submission of the construction documents. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal.

The applicant may need to demonstrate compliance with the Colorado Model Electric and Solar Ready Code, HB22-1362, as applicable to this site plan review and the construction documents (plans) when submitting the building permit. If the Building Permit application is received before the next code cycle adoption or June 30, 2026, whichever comes first, no modifications to the site plan or building documents will be required. Please call to discuss it if needed.

All accessible parking must be shown in the building permit documents. The approved site plan sheet (s) showing the property lines, building, accessible routes, accessible parking spaces and entrances to the building will be required.

All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by a qualified professional. Tiered, staggered, stepped back retaining walls all require permits no matter the height of individual wall.

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| 9/18/2025 | | 10/16/2025 | CENTURYLINK COMMUNICATIONS 20 | CenturyLink | | |
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Notes:

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| 9/18/2025 | 9/24/2025 | 10/16/2025 | CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20 | Val Endyk | ADVISORY COMMENTS | See Notes |
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Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SP25-119, Lincoln Professional Park L2 - Brews Coffee have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

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| 9/18/2025 | | 10/16/2025 | COLORED BUILDING ELEVATIONS 20 | | | |
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| 9/18/2025 | 11/24/2025 | 10/16/2025 | COLORS AND MATERIAL BOARD 20 | | COMPLETED | |
| Notes: | | | | | | |
| 9/18/2025 | | 10/16/2025 | COMCAST 20 | Butch Buster | | |
| Notes: | | | | | | |
| 9/18/2025 | 10/13/2025 | 10/16/2025 | CONST PLANS - ENVIRONMENTAL | Robert Seacat | REVISIONS REQUIRED | See Engineering Memo and Comments |
| Notes: | | | | | | |



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Project Reviews Town of Parker

SP25-119 Lincoln Professional Park L2 - 7 Brews Coffee, 1st Environmental Review, 10-13-25

Please note that a CBMP Cost Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

GENERAL COMMENTS (Initial, Interim and Final Plan Sheets)

1. Please add a text box next to the Graphic Scale stating – “TOTAL DISTURBANCE AREA = 0.91 ACRES”.
2. Please add a general note stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”.
3. Please add a general note stating – “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS”.
4. Please add a general note stating – “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE and PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.”
5. Please add a general note stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
6. Please add a general note stating – “MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS”.
7. Please add a note to ALL Erosion Control plan sheets stating: “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Please contact John Nelson at jnelson@parkerco.gov for Fuel Storage Permit questions.
8. Site Erosion Control Plan Sheet Please show multiple Portable Toilet Protections (PTP), a site this size must have at least 2 at initial phase. Addition PTPs may be needed in the interim and final phases.
9. Please consider moving the Stabilized Staging Area, connecting it to the Vehicle Tracking Control Pad as shown in the Town’s detail. This configuration helps reduce tracking off-site.
10. Developer General Note #1, replace the word RECOMMENDED with the word REQUIRED. Developer General Note #5, replace the ratio 3H:1V with the ration 4H:1V. Please note the Town of Parker does not allow any permanent slopes steeper than 3:1. Developer General Note #6, replace the word OWNER with the words TOWN OF PARKER. Developer General Note #8, replace the words PROVIDES AN INITIAL RECOMMENDATION OF with the words SHOWS THE REQUIRED.
11. Please provide and use Parker’s complete Legend of Keys/Symbols to correspond to the Town’s 31 CBMP Details on the Erosion Control plan sheets.
12. Please include within the plan set, immediately following the Final Erosion Control Plan Sheet, all 71 pages of the Town of Parker’s CBMP Legend of Keys/Symbols, General Notes & CBMP Details (in Alphabetical Order). See link below for layout and use.
13. Add a callout/label on all properties adjacent to the project stating: “NO WORK SHALL OCCUR IN THIS AREA”. These areas must be shaded for easy identification.

INITIAL CBMP PLANS

14. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
15. Please consider moving the Stabilized Staging Area, connecting it to the Vehicle Tracking Control Pad as shown in the Town’s detail. This configuration helps reduce tracking off-site.

INTERIM/FINAL CBMP PLANS

16. Show ALL proposed Stormwater Utilities, (inlets, pipe and structures) on the Interim/Final plans sheets.
17. Add Sidewalk Transition Protection (STP) to all ADA ramps during the Interim Phase.
18. Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad.
19. Please show Masonry Work Protection (MWP) on the plans in two locations for construction of the building.
20. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation of asphalt in roadways and parking areas. This includes landscape islands and all pedestrian walks. Please provide and identify on the plans where needed. Note: if tree lawn/landscape areas are graded to final grade, Erosion Control Blanket (ECB) may be used to cover the entire tree lawn/landscape area instead of using SCL at back of sidewalk/curb.
21. Inlet Protection (IPAP, IPAN, IPCOG, IPCOS) on plans must have proper legend code/symbol for the type of inlet and the diagram on the plans must match the proper type of inlet protection needed, specifically the IPAN inlet located in the native area on the west side of the site.
22. Provide and identify Debris and Trash Control (DTC) for the Interim/Final phases along all proposed paved driving surfaces internal to the site and all adjacent properties around the site.
23. Please provide a minimum of one callout of both Seeding Mulching and Crimping (SMC) and Surface Roughening (SR) in all tracts proposed to be left landscaped in the final condition.

A copy of the REDLINED EROSION CONTROL PLAN SHEETS is available in eTRAKiT Attachments.



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|---|------------|------------|---------------------------------------|-------------------------|--------------------|--------------------------------------|
| 9/18/2025 | 10/15/2025 | 10/16/2025 | CONSTRUCTION PLANS - CIVIL | Charles Kudlauskas | REVISIONS REQUIRED | See uploaded Memo and Redlines. |
| Notes: | | | | | | |
| 9/18/2025 | 10/15/2025 | 10/16/2025 | DRAINAGE REPORT - CIVIL | Charles Kudlauskas | REVISIONS REQUIRED | See uploaded Memo and Redlines. |
| Notes: | | | | | | |
| 9/18/2025 | 11/12/2025 | 10/16/2025 | ECONOMIC DEVELOPMENT 20 | Weldy Feazell | NO COMMENT | |
| Notes: | | | | | | |
| 9/18/2025 | 10/14/2025 | 10/16/2025 | IREA 20 | Brooks Kaufman | REVISIONS REQUIRED | Relocate transformer to allow access |
| Notes: Please relocate transformer to allow access within 20 feet of a hard surface. Provide metering location and meet CORE clearance requirements. | | | | | | |
| 9/18/2025 | 10/17/2025 | 10/16/2025 | PHOTOMETRIC PLAN 20 | Cynthia Liston Thye | REVISIONS REQUIRED | |
| Notes: See 01 Planning Comments SP25-119 CLT | | | | | | |
| 9/18/2025 | | 10/16/2025 | POLICE 20 | Greg Epp | | |
| Notes: | | | | | | |
| 9/18/2025 | 10/8/2025 | 10/16/2025 | PUBLIC SERVICE COMPANY OF COLORADO 20 | Donna George | ADVISORY COMMENTS | please see attached |
| Notes: please see attached | | | | | | |
| 9/18/2025 | 10/15/2025 | 10/16/2025 | SITE PLAN - CIVIL | Charles Kudlauskas | REVISIONS REQUIRED | See uploaded Memo and Redlines. |
| Notes: | | | | | | |
| 9/18/2025 | 10/2/2025 | 10/16/2025 | SMFR PLANNING 20 | South Metro Fire Rescue | APPROVED | |
| Notes: | | | | | | |
| 9/18/2025 | 10/15/2025 | 10/16/2025 | TRAFFIC IMPACT STUDY - CIVIL | Charles Kudlauskas | COMPLETED | |
| Notes: | | | | | | |



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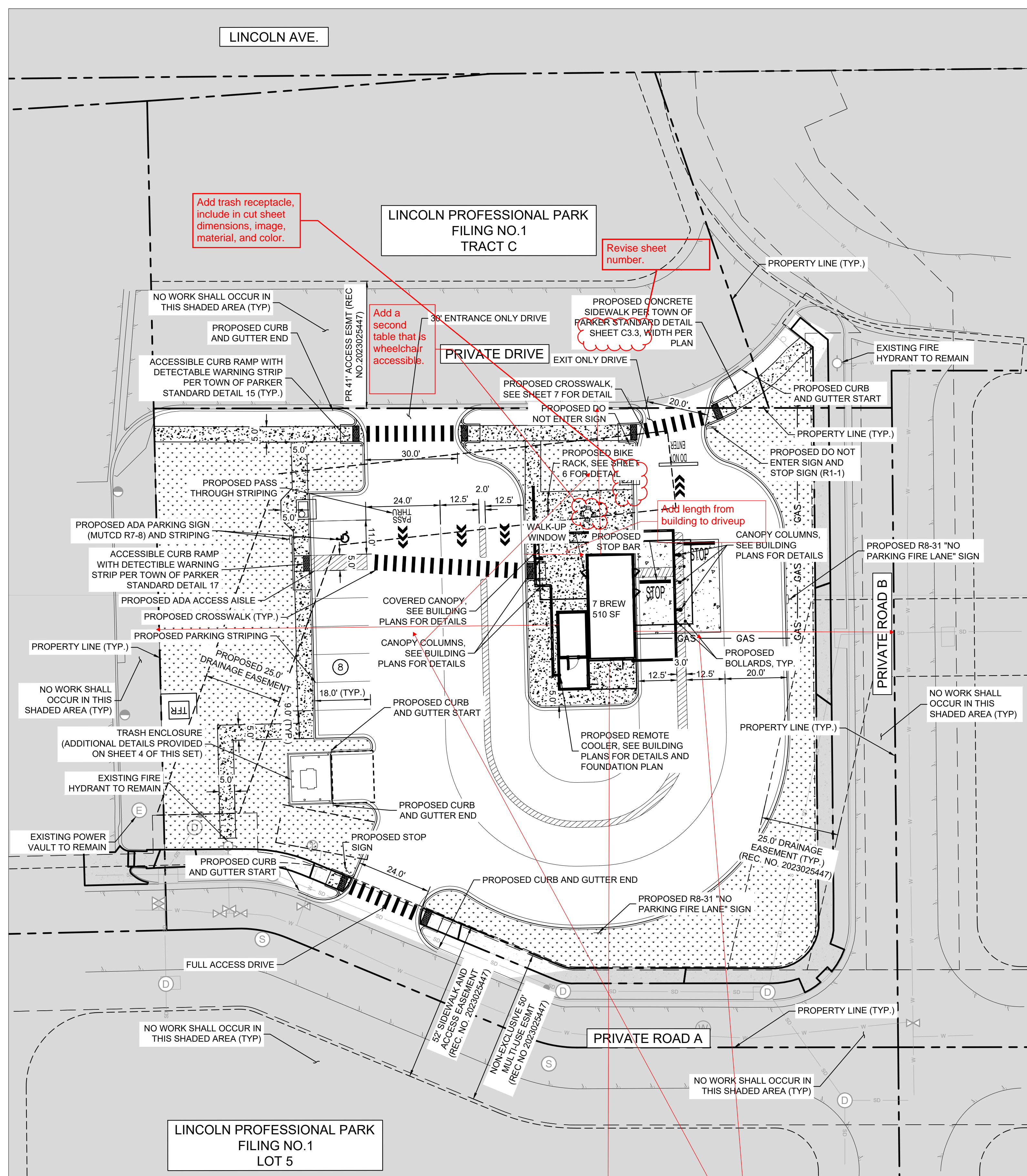
Review Group: SP ADD

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|-----------|-----------|------------|--|---------------|-----------------------|-----------|
| 9/18/2025 | 9/23/2025 | 10/16/2025 | PARKER WATER AND SANITATION DISTRICT 20 | Robert Ramsey | REVISIONS REQUIRED | see notes |
|-----------|-----------|------------|--|---------------|-----------------------|-----------|

Notes:

Please see uploaded red lined plans, review letter, and screenshot of alternative service connection.
Please feel free to reach out with any questions you may have.
Robert

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELEASE OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



Add legend for hardscaped surfaces and materials.

Add trash receptacle, include in cut sheet dimensions, image, material, and color.

Lincoln Professional Park Filing No. 1 Tract C

Revise sheet number.

Add a second table that is wheelchair accessible.

Add length from building to driveup

LEGEND

| | |
|----------------------------------|--|
| PROPERTY LINE | |
| CONCRETE SIDEWALK | |
| CURB AND GUTTER | |
| PROPOSED SIGNAGE | |
| EXISTING SANITARY SEWER MANHOLE | |
| PROPOSED WATER METER | |
| EXISTING FIRE HYDRANT | |
| PROPOSED STOP BAR | |
| PROPOSED TRAFFIC DIRECTION ARROW | |
| PROPOSED CROSSWALK | |

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL PARKING STALL STRIPING IS TO BE 4" SOLID WHITE.
 3. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. BUILDING, MECHANICAL EQUIPMENT, SITE LIGHTING, AND SIGNS ARE SHOWN HEREON FOR REFERENCE ONLY. REFER TO CONSTRUCTION PLANS OF THOSE ITEMS FOR LOCATIONS AND DETAILS.
 5. A SEPARATE SIGN PERMIT TO BE PROVIDED FOR ALL SIGNAGE PROPOSED.
 6. ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND LOCAL CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND LOCAL LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 7. ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY "COLORADO 811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 9. CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER CDOT AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 10. CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING CONDITIONS DO NOT MATCH INFORMATION ON PLANS.
 11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF - SITE GRADING PERMISSION MUST BE CONFIRMED WITH THE SITE SPECIFIC GEOTECHNICAL REPORT PAVEMENT RECOMMENDATIONS.

LOT 2 SITE DATA TABLE

| | | |
|---------------------------|---|----------|
| LOT 2 SITE AREA | 45,833 SQ FT / 1.05 AC | |
| ZONING | MULTI-USE COMMUNITY | |
| BUILDING | SINGLE STORY - 510 SF | |
| LANDSCAPE AREA | REQUIRED | PROVIDED |
| BUILDING SETBACK: | SEE SHEET 10 FOR LANDSCAPE CALCULATIONS | |
| INTERNAL LOT LINE (W) | 5' | 123' |
| PRIVATE DRIVE (N) (FRONT) | 25' | 41' |
| PRIVATE ROAD B (E) | 10' | 68' |
| PRIVATE ROAD A (S) | 8' | 94' |
| BUILDING HEIGHT | 45' MAX | 19.3' |
| PARKING SPACES | 2 | 8 |
| ACCESSIBLE SPACES | 1 | 1 |
| BICYCLE SPACES | 1* | 6 |

* = BICYCLE SPACES REQUIRED IS CALCULATED AS 10% OF PARKING SPACES. THERE ARE 8 PARKING SPACES

Incorporate this information into Land Use Summary Table on Cover Sheet per LDO Administrative Manual page 25.

Per LDO Administrative Manual, Page 25 indicate # feet from building to property line.

| NO. | REVISION | BY | DATE | APPR |
|-----|----------|----|------|------|
| | | | | |

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 DRAWN BY: KNP
 CHECKED BY: KEW
 DATE: 8/4/25

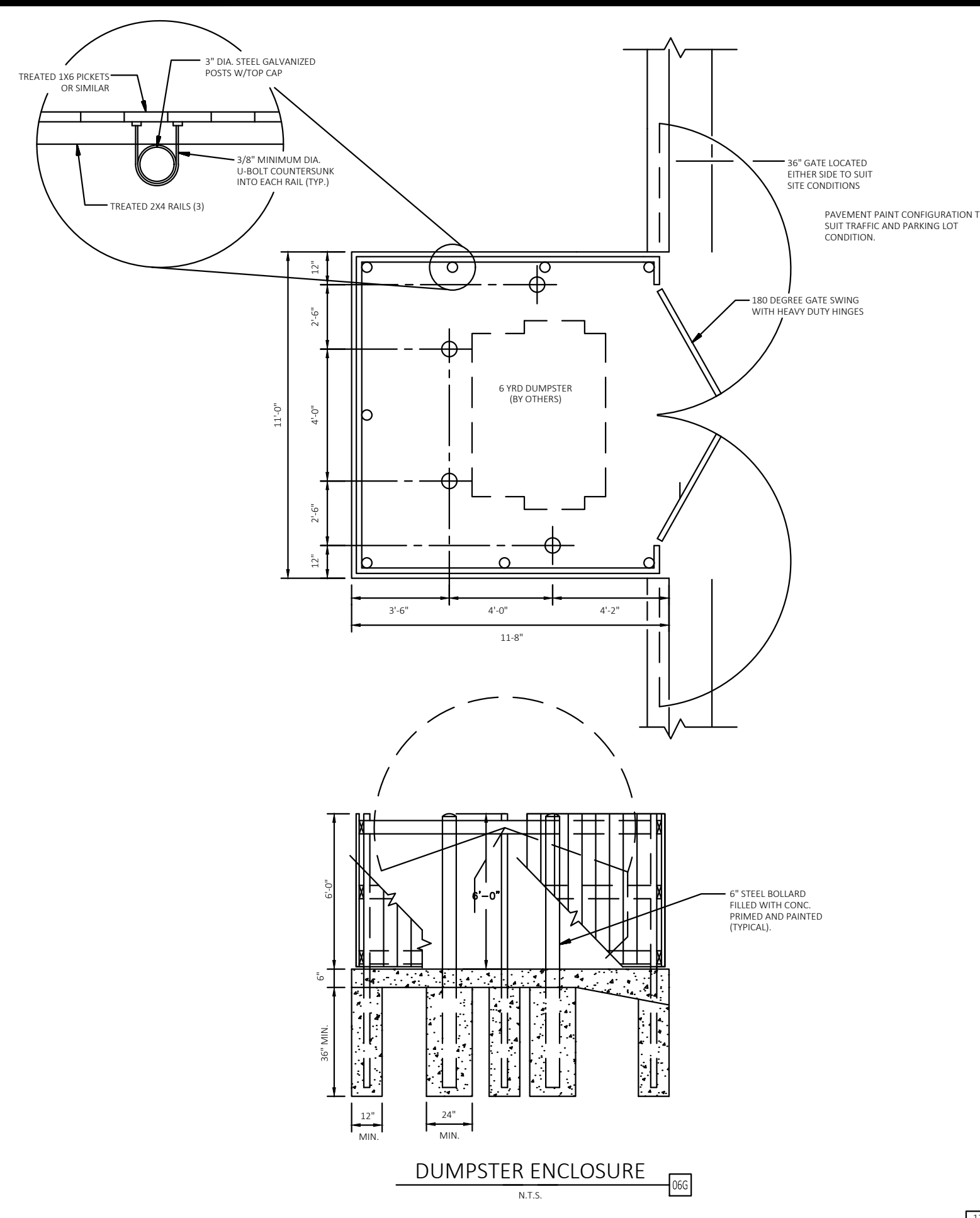
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 LOT 2, PARKER, CO
 7 BREW - SITE PLAN
 SITE PLAN

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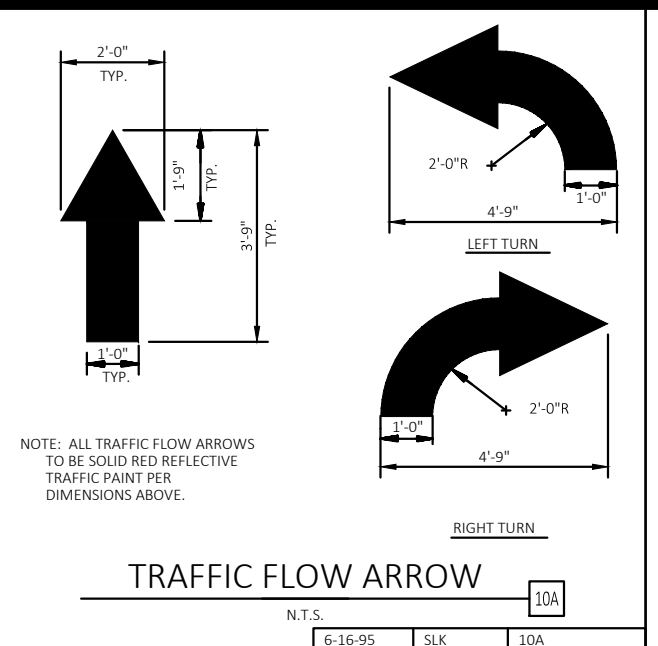
PROJECT NO.
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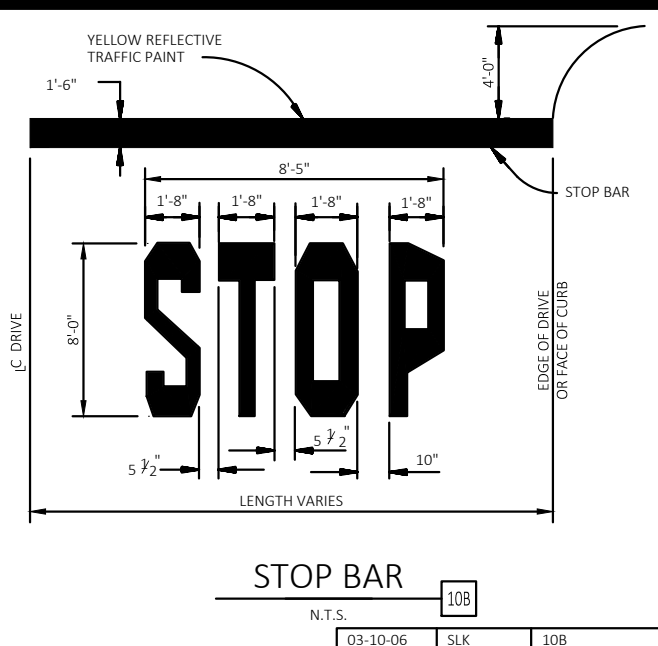
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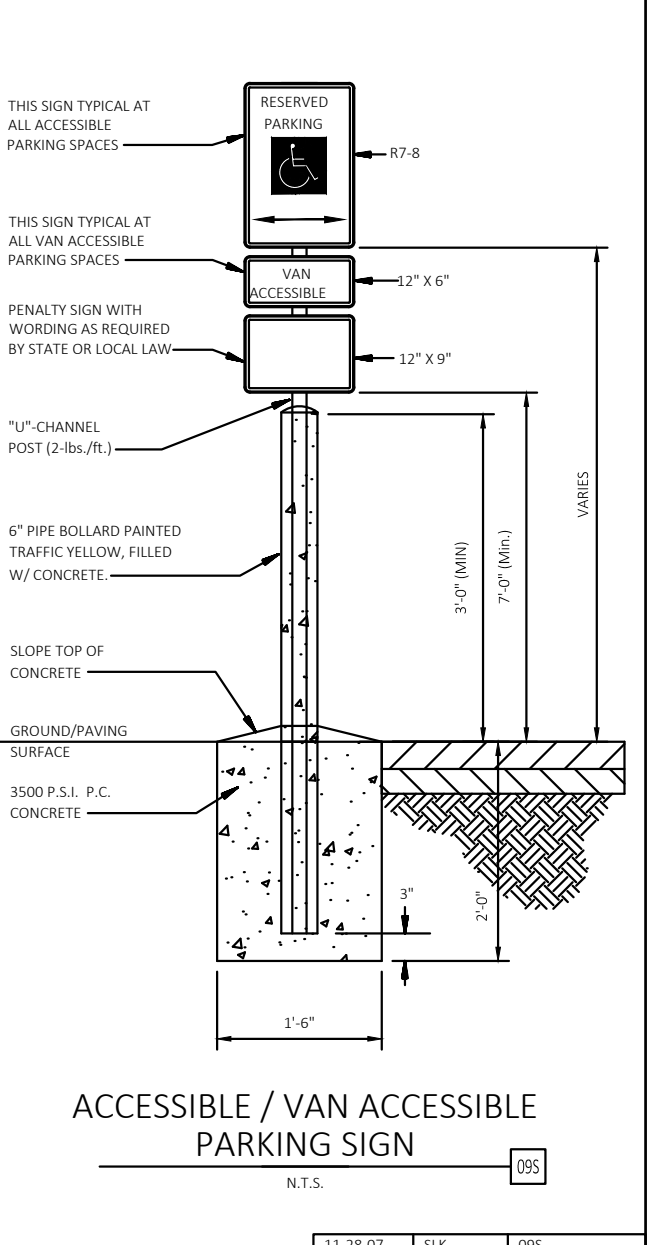
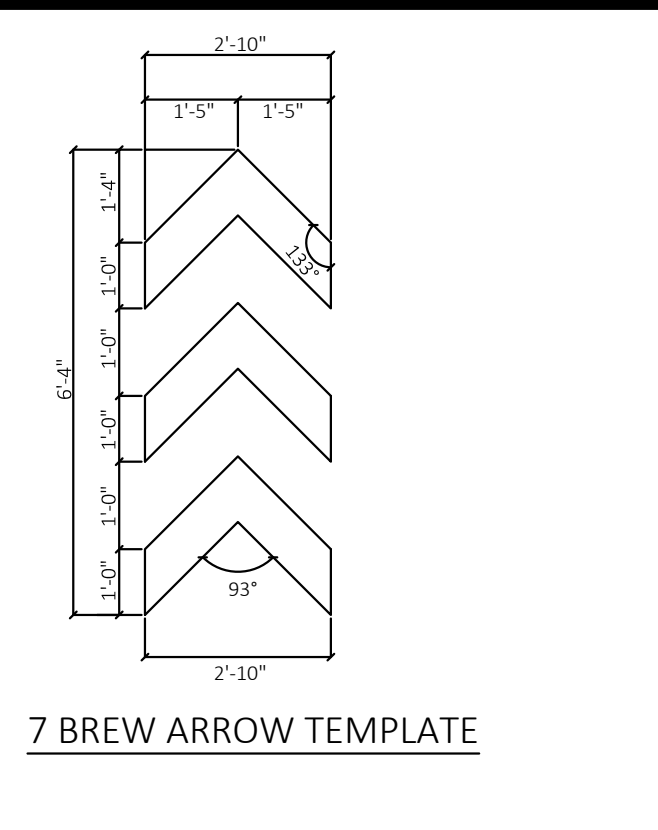
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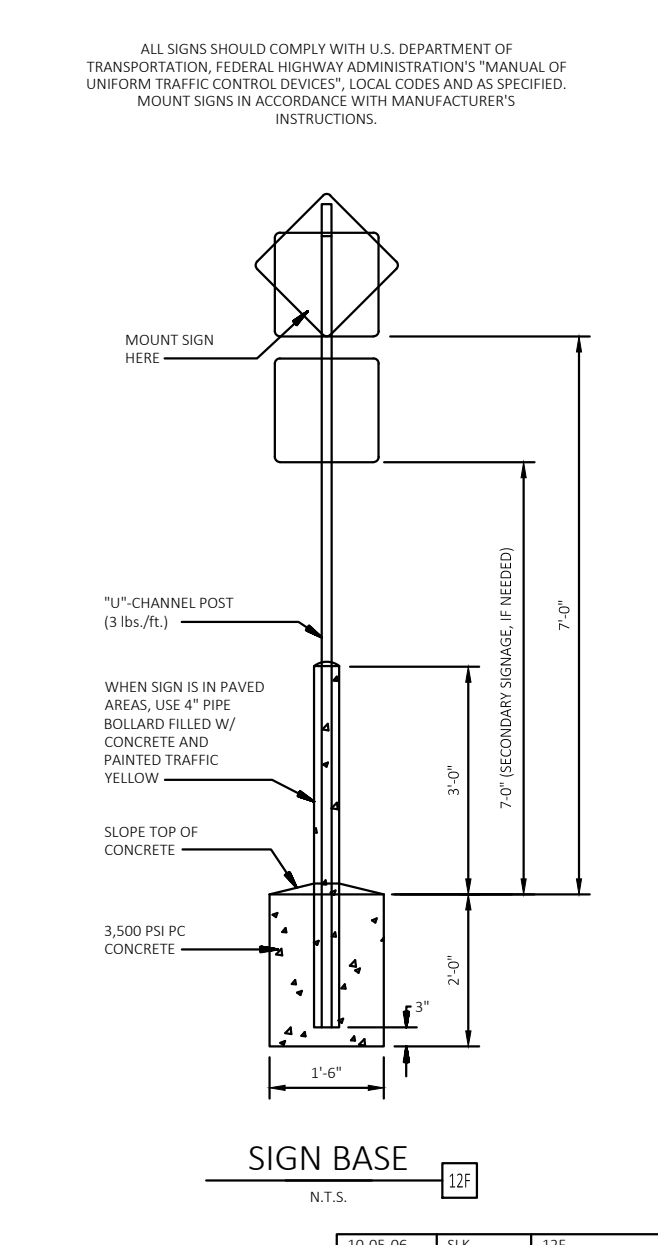
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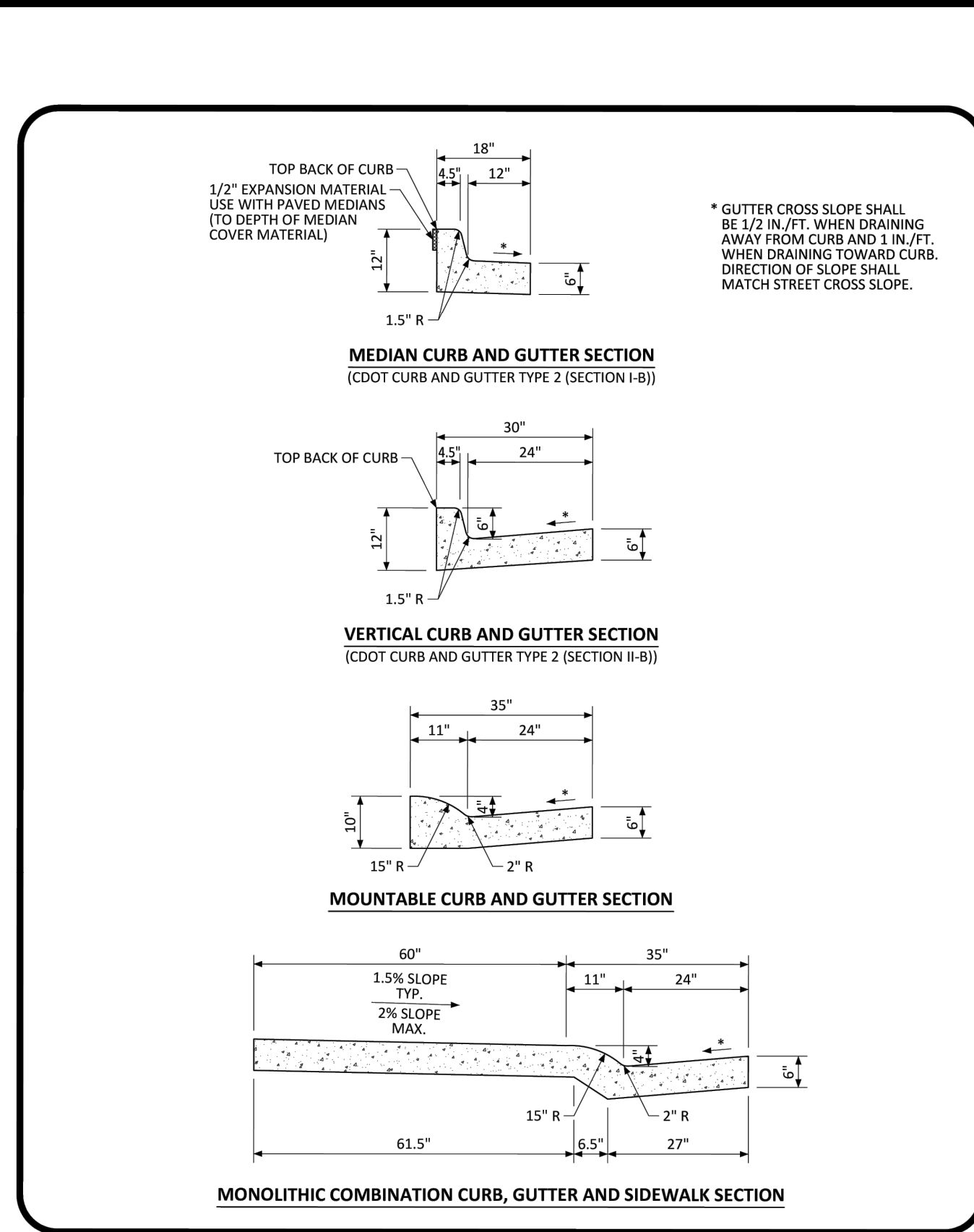
20-10-06 SKL 10B



11-28-07 SKL 095



10-05-06 SKL 12F



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PARKER COLORADO **CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL** DATE NOVEMBER 2020 DETAIL **3** 1 OF 1

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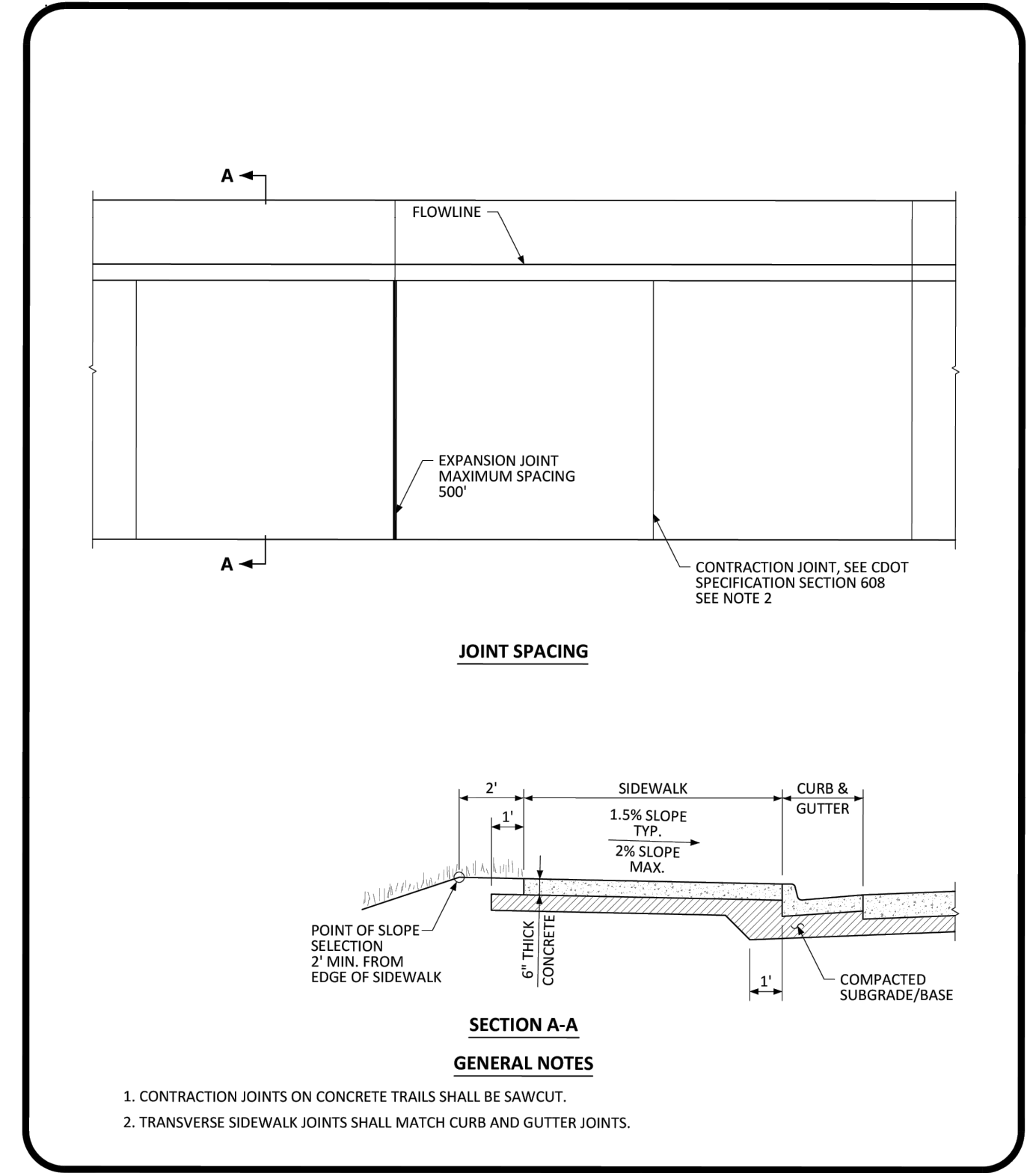
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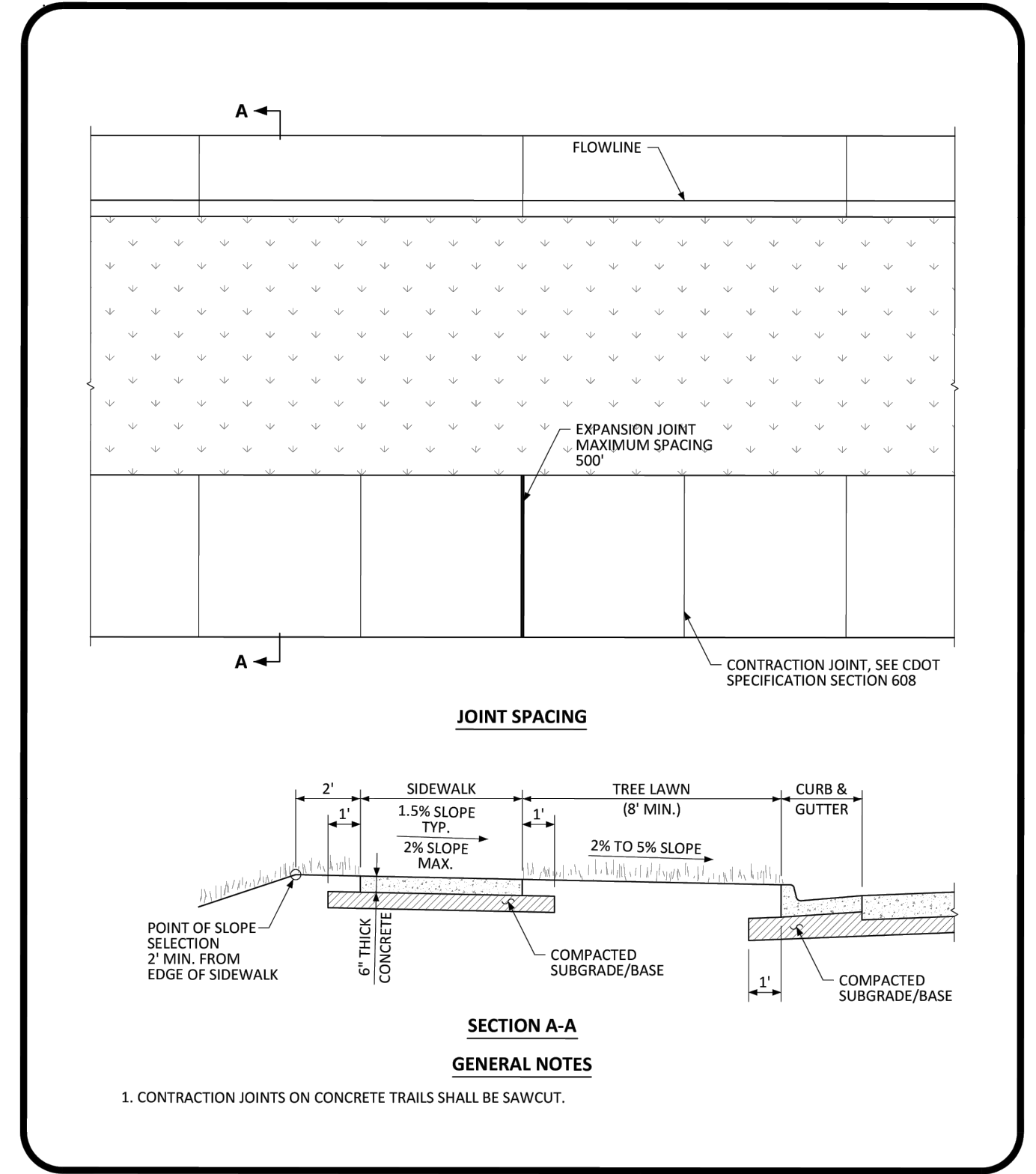
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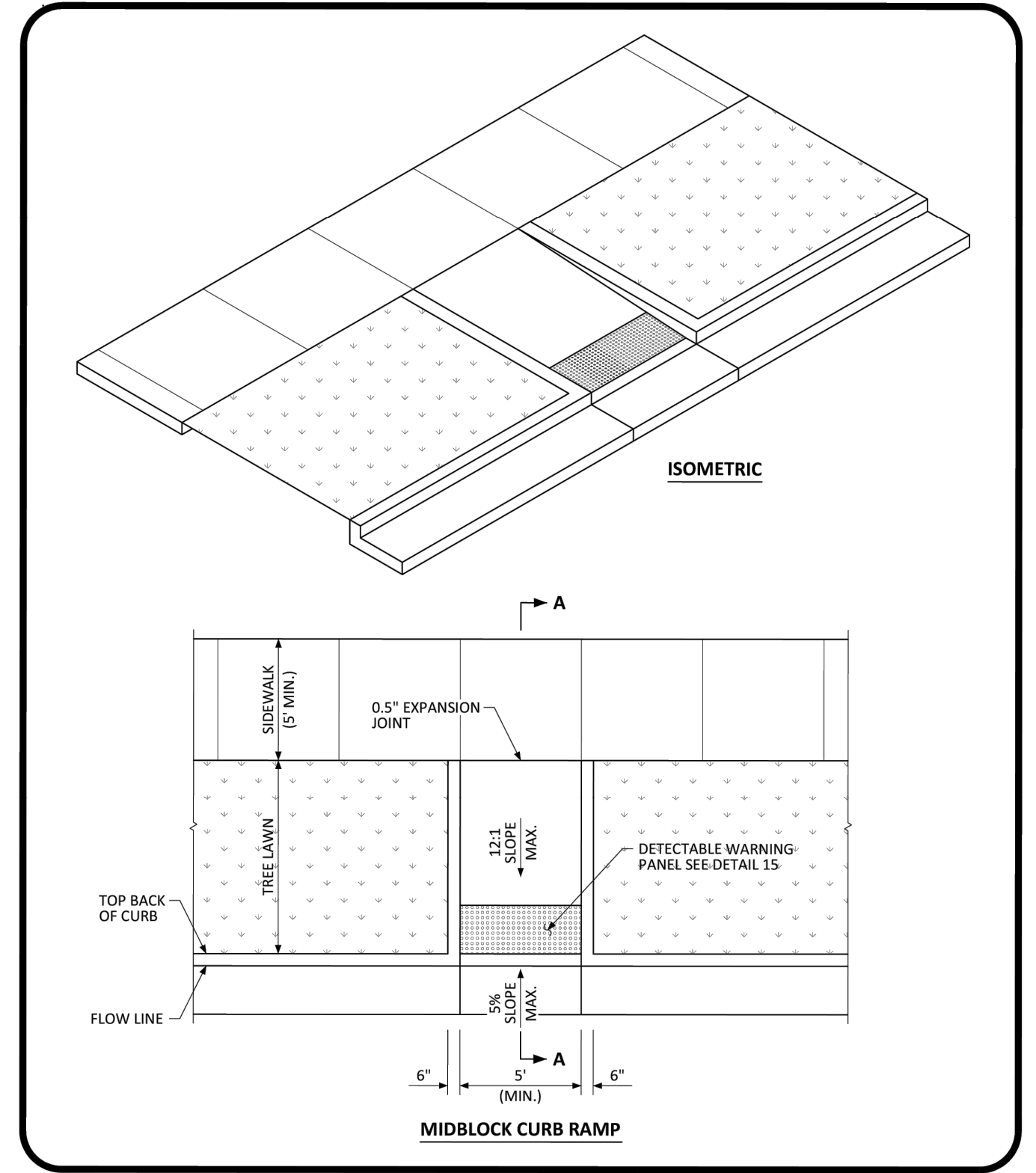
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PARKER COLORADO **ATTACHED SIDEWALK STANDARD DETAIL** DATE NOVEMBER 2020 DETAIL **4** 2 OF 2



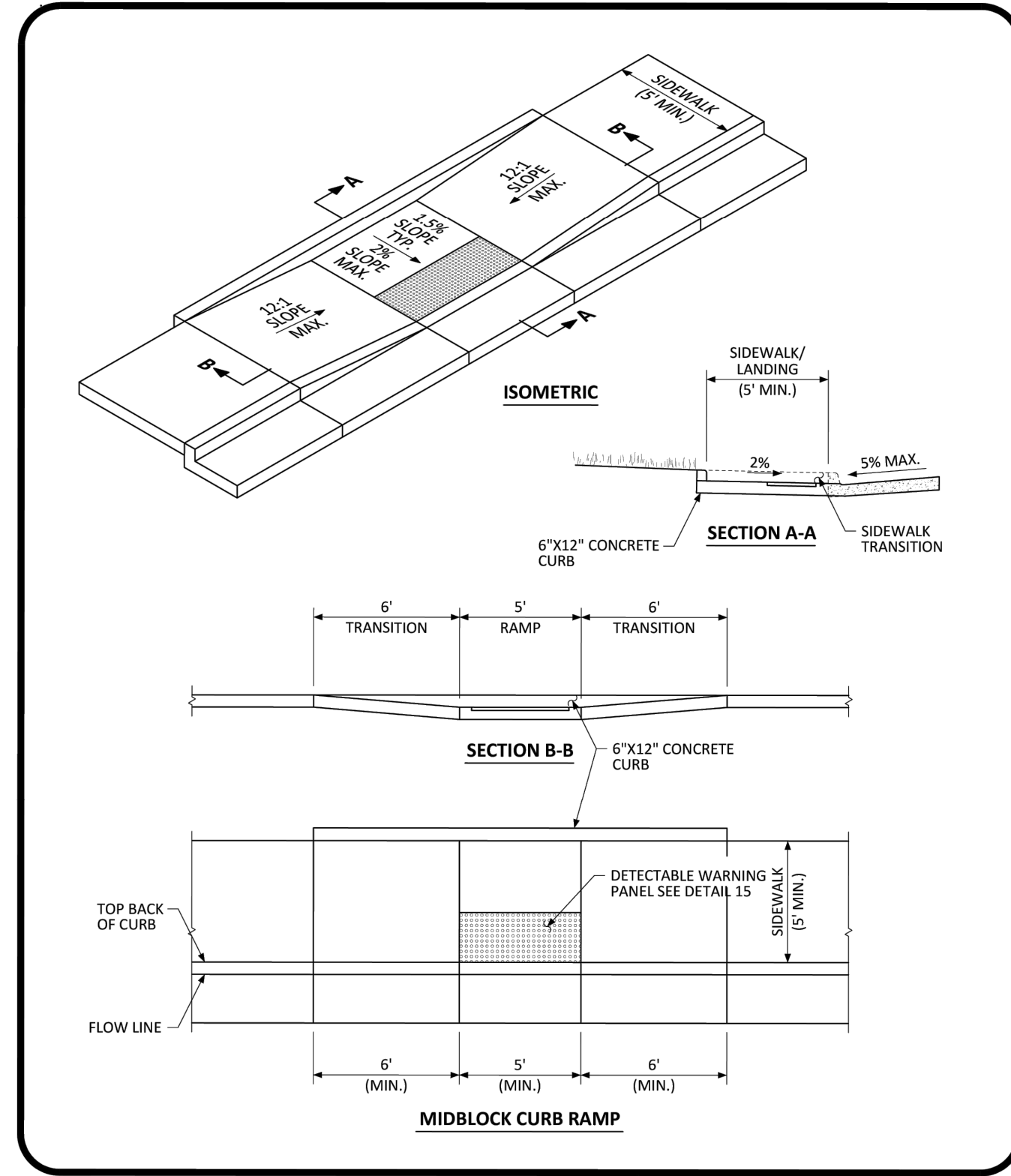
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PARKER COLORADO **DETACHED SIDEWALK STANDARD DETAIL** DATE NOVEMBER 2020 DETAIL **4** 1 OF 2



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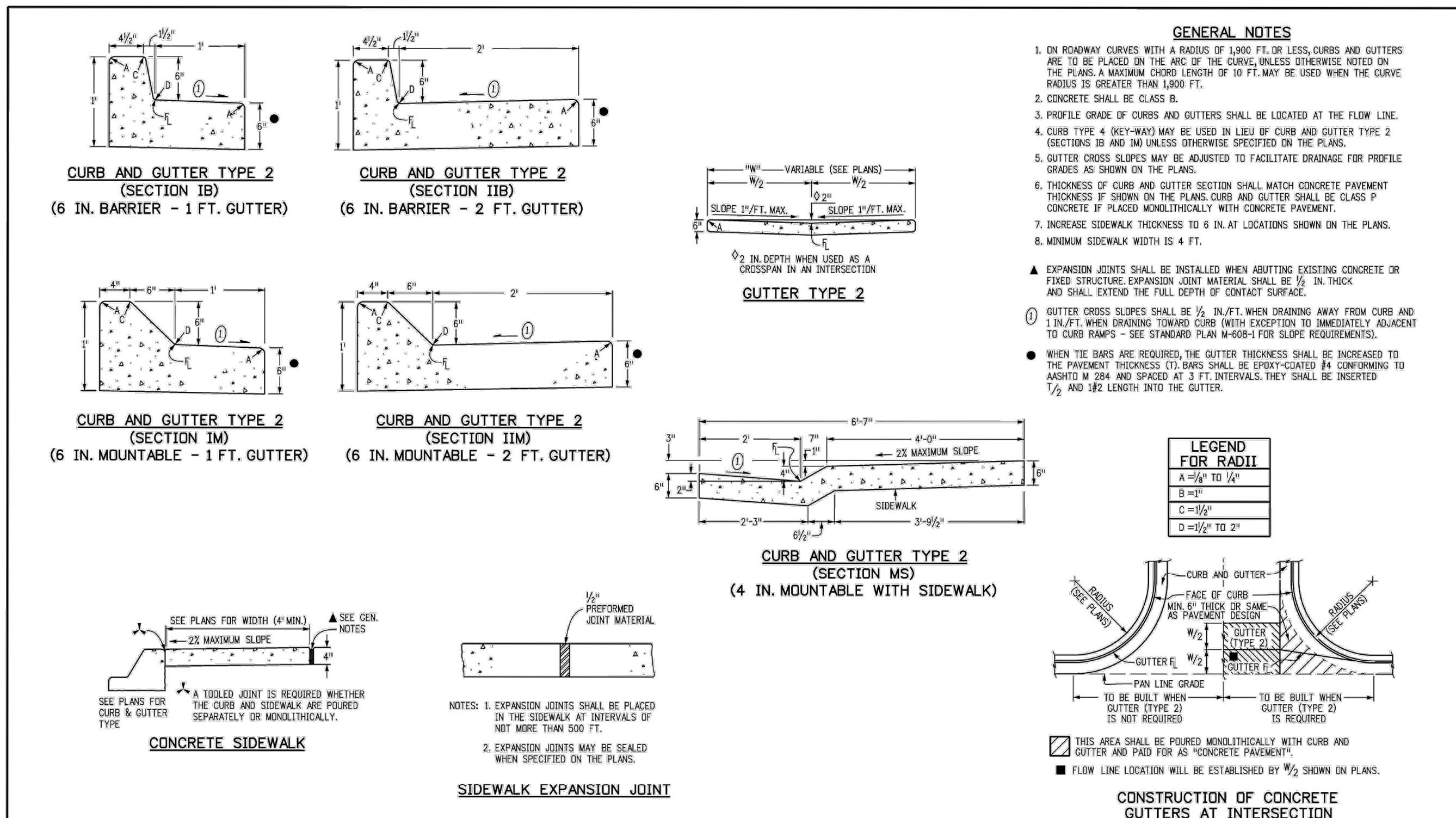
PARKER COLORADO **MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL** DATE NOVEMBER 2020 DETAIL **17** 1 OF 2



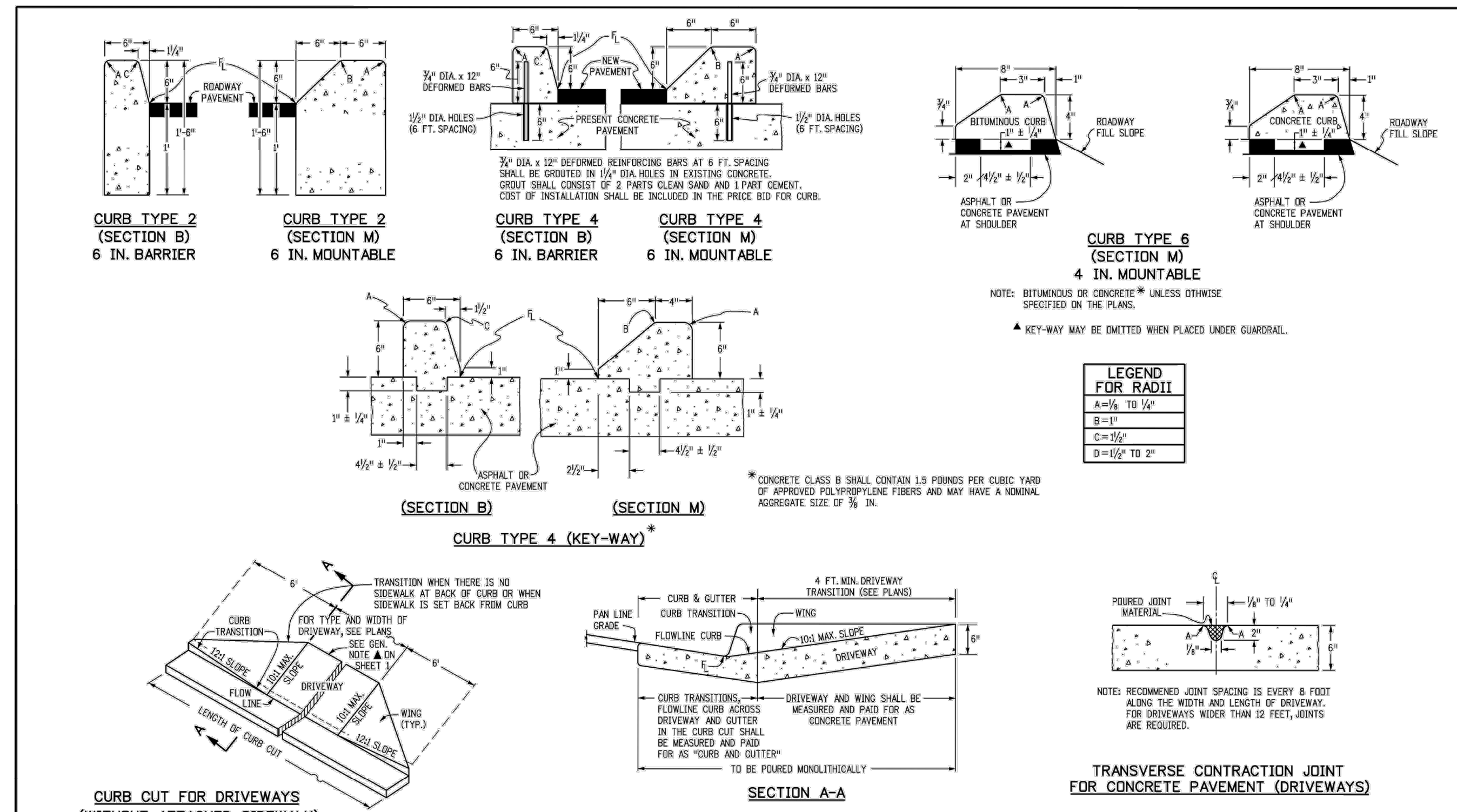
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PARKER COLORADO **MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL** DATE NOVEMBER 2020 DETAIL **17** 2 OF 2

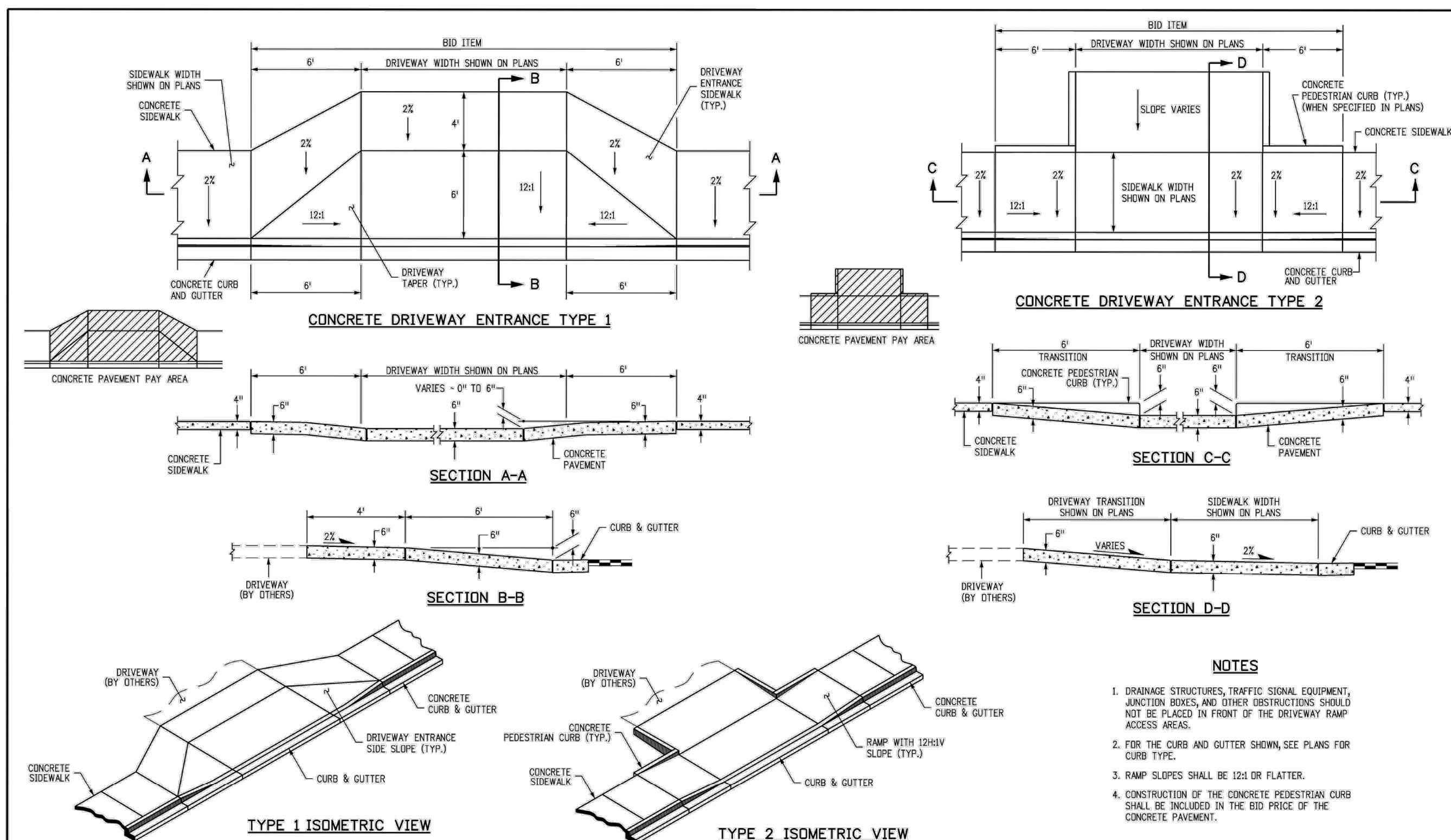
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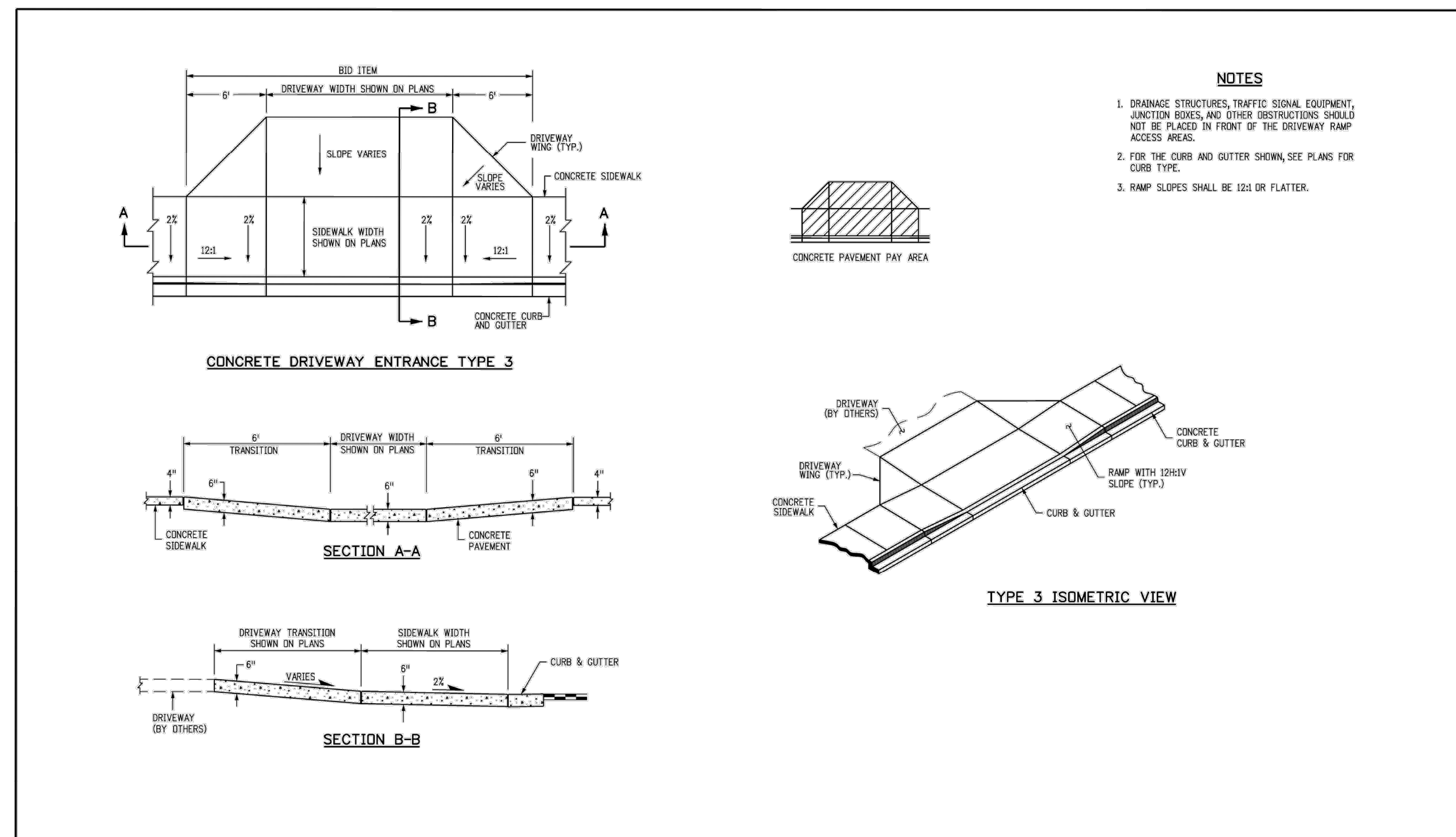
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| Creation Date: 07/31/19 | Designer: JBK | 1 | | 2829 West Howard Place | 3007 1/2, 3rd Floor | Denver, CO 80204 | Phone: 303-757-9021 | FAX: 303-757-9868 | Project Development Branch |
| Last Modification Date: 07/31/19 | Detailer: LTA | 2 | | 2829 West Howard Place | 3007 1/2, 3rd Floor | Denver, CO 80204 | Phone: 303-757-9021 | FAX: 303-757-9868 | Project Development Branch |
| CAD Ver: MicroStation V8 | Scale: Not to Scale | 3 | | 2829 West Howard Place | 3007 1/2, 3rd Floor | Denver, CO 80204 | Phone: 303-757-9021 | FAX: 303-757-9868 | Project Development Branch |



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 DATE: 12/2/25

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 7 BREW - CONSTRUCTION DOCUMENTS
 SITE DETAILS (2)

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GENERAL NOTES

- SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
- THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE, THE ECCENTRIC CONE MAY BE USED WHEN THE MANHOLE "H" HEIGHT IS AT LEAST 6 FT.
- THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SUPERIMPOSED WITH A CEMENT GROUT IN UNPAVED AREA, OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
- DESIGN OF BOX BASE IS BASED ON STRAIGHT RUNS OF PIPE OR CHANGE IN DIRECTION OF LESS THAN 45°. SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
- PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 199 (ASTM C 478).
- CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
- STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT. - 6 IN. AND SHALL CONFORM TO AASHTO M 199.
- ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTRINE OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
- ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, SLOPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION. FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
- FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
- STUB-OUTS SHALL EXTEND 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
- THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
- WHEN FINAL GRADE IS PAVEMENT SURFACE, RECESS MANHOLE RING AND COVER 1/2" MIN. TO 1/2" MAX.

QUANTITIES FOR CONCRETE MANHOLE BOX BASE

| MARK | SIZE | TYPE | WT. #/FT. | NO. REOD. (LENGTH) | NO. REOD. (WEIGHT) | 54" | 60" | 66" | 72" | 78" | 84" | 90" | FORMULAS |
|------|------|------|-----------|--------------------|--------------------|-----|-----|-----|-----|-----|-----|--|----------------------------------|
| 401 | 4 | I | 0.668 | 18 | 18 | 18 | 18 | 18 | 18 | 18 | 18 | 18 | 401 BAR LENGTH = 32" + 2W + I.D. |
| 402 | 4 | III | 0.668 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 402 BAR LENGTH = I.D. + 2W | |
| 501 | 5 | I | 1.043 | 17 | 17 | 17 | 17 | 17 | 17 | 17 | 17 | 501 BAR LENGTH = 24" + I.D. + 2W | |
| 502 | 5 | I | 1.043 | 22 | 22 | 22 | 22 | 22 | 22 | 22 | 22 | 502 NUMBER BARS REQ. = 3 + (24+I.D.+2W+I) / 5" | |
| 503 | 5 | II | 1.043 | 19 | 19 | 19 | 19 | 19 | 19 | 19 | 19 | 503 NUMBER BARS REQ. = 2 + (34+I.D.+2W+I) / 5" | |
| 504 | 5 | I | 1.043 | 12 | 12 | 12 | 12 | 12 | 12 | 12 | 12 | 504 NUMBER BARS REQ. = 2 + (24+I.D.+2W+I) / 5" | |
| 1101 | 11 | I | 5.313 | 12 | 12 | 12 | 12 | 12 | 12 | 12 | 12 | 1101 BAR LENGTH = 21" + I.D. + 2W | |
| 1102 | 11 | I | 5.313 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 1102 TYPE I | |
| 1103 | 11 | I | 5.313 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 1103 TYPE II | |

Computer File Information

Creation Date: 07/31/19
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 Last Modification Date: 07/31/19
 Detailer Initials: LTA
 CAD Ver: MicroStation V8 Scale: Not to Scale Units: English

Sheet Revisions

| Date | Comments |
|------|----------|
| | |

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 Project Development Branch JBK

MANHOLES
 STANDARD PLAN NO. M-604-20
 Standard Sheet No. 1 of 3
 Issued by the Project Development Branch July 31, 2019 Project Sheet Number:

PRECAST MANHOLE BASES NOTES:

- THE BASE SLAB SHALL BE POURED MONOLITHICALLY WITH BOTTOM RISER SECTION.
- PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATIONS INDICED WILL BE REJECTED BY THE ENGINEER AND REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE DEPARTMENT.
- PRECAST MANHOLE BASES SHALL BE BEDDED ON AN APPROVED GRANULAR BEDDING MATERIAL AS SHOWN ABOVE.

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MANHOLES
 STANDARD PLAN NO. M-604-20
 Standard Sheet No. 2 of 3
 Issued by the Project Development Branch July 31, 2019 Project Sheet Number:

T-BASE MANHOLES NOTES

- THE T-BASE SECTION SHALL BE SHOP-FABRICATED FOR DELIVERY TO THE CONSTRUCTION SITE AS A COMPLETE UNIT.
- THESE DETAILS SHOW ONLY THE CONFIGURATION AND STANDARD DIMENSIONAL REQUIREMENTS FOR TYPE T-BASE MANHOLES. THE CONTRACTOR SHALL FURNISH DETAILED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. THE DETAILS SHOWN HEREIN APPLY ONLY TO 48 IN. AND GREATER DIAMETER PIPES.
- EXCEPT FOR CLASS OF PIPE, SPECIFICATIONS FOR THE MANHOLE SHALL BE THE SAME AS THOSE REQUIRED FOR THE ADJOINING PIPE.
- THE T-BASE SECTION SHALL MAINTAIN ITS INTERNAL SHAPE AND FLOW AREA OUTLET OR FILLING SHALL BE APPLIED SO AS TO NOT DISTURB THE NORMAL FLOW OR REDUCE THE AREA.

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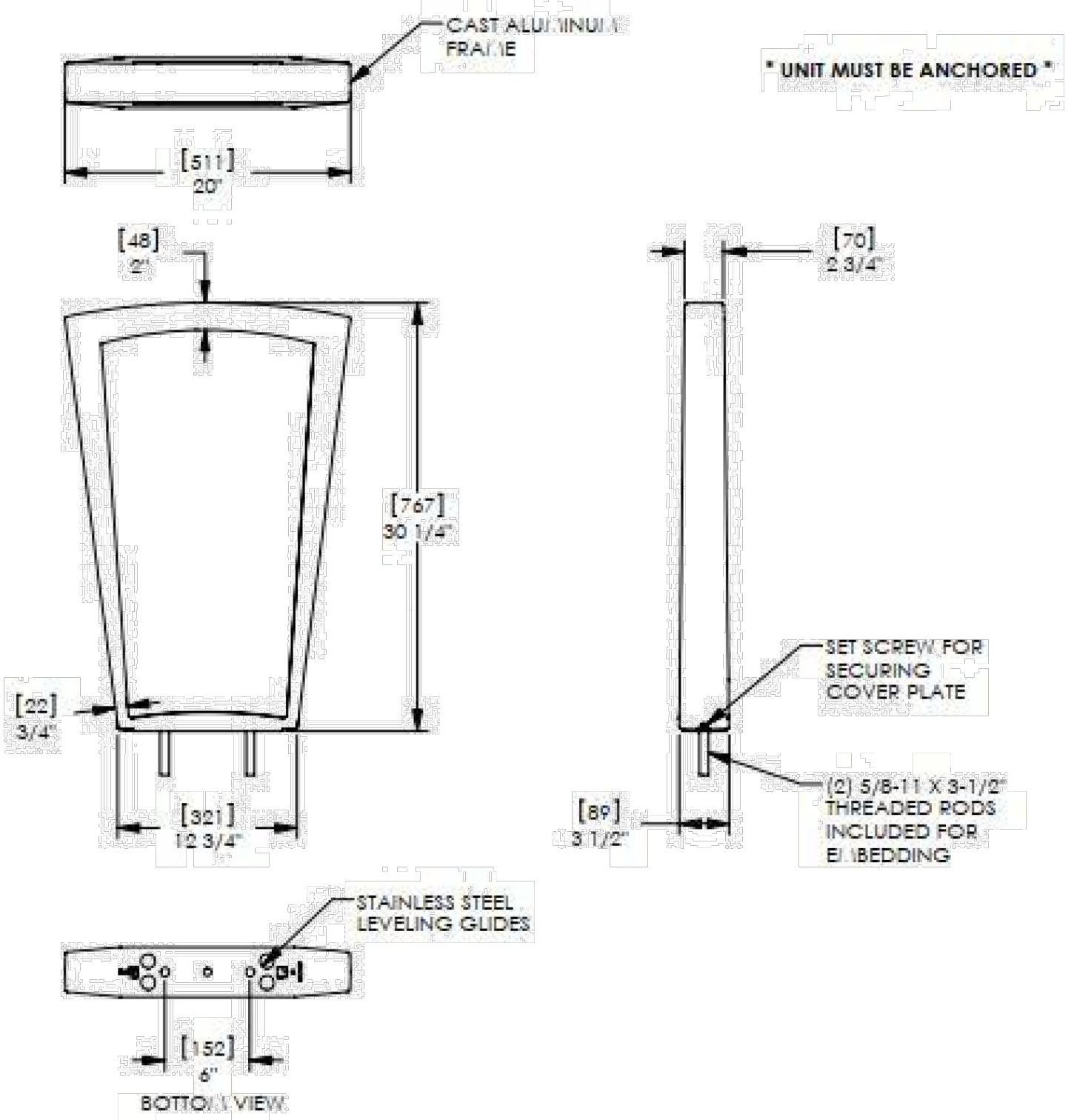
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MANHOLES
 STANDARD PLAN NO. M-604-20
 Standard Sheet No. 3 of 3
 Issued by the Project Development Branch July 31, 2019 Project Sheet Number:

Emerson Bike Rack Embedded Product Drawing



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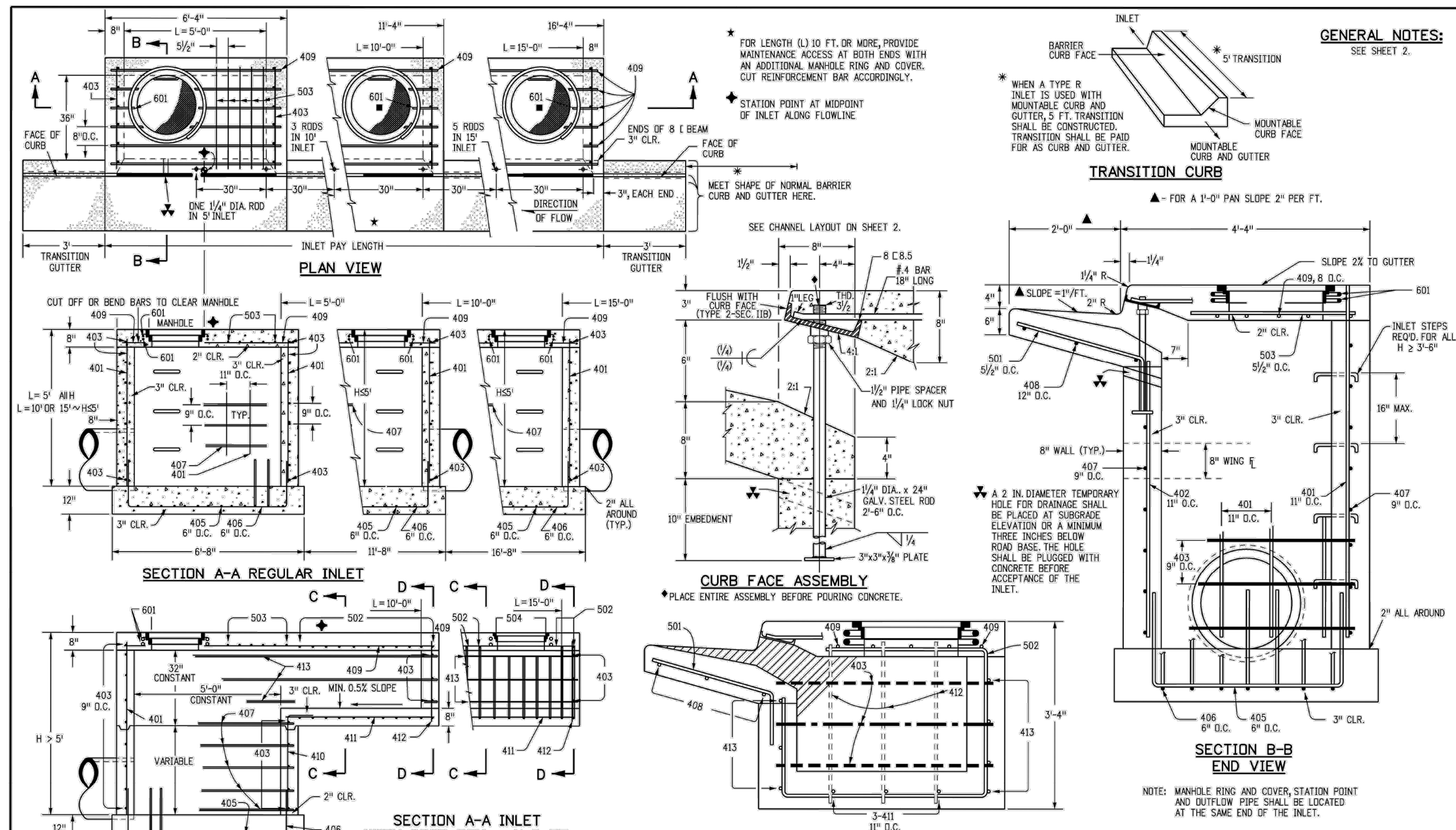
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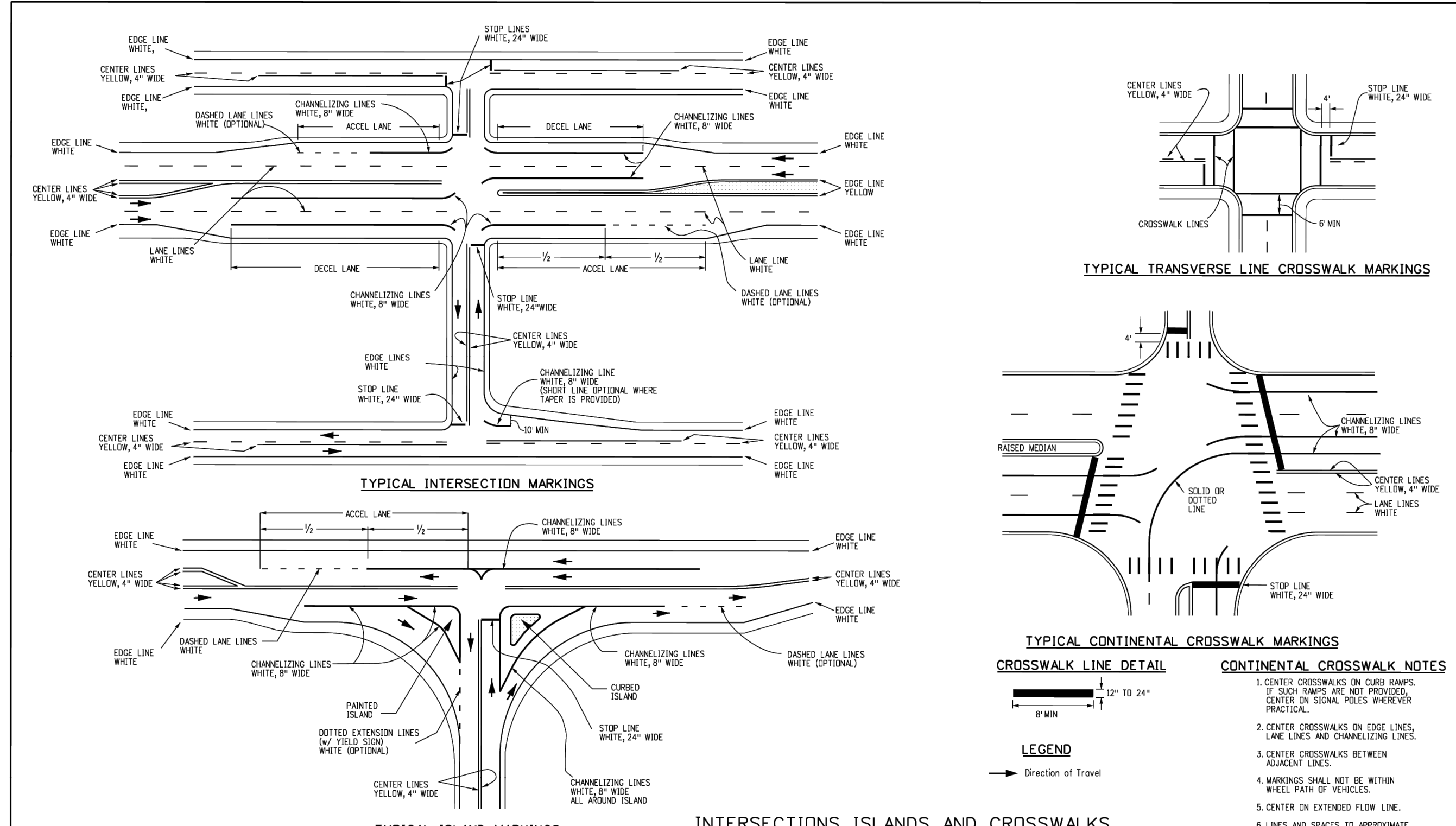
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| Designer Initials: JBC | | COOT 110, 3rd Floor | | Standard Sheet No. 1 of 2 |
| Last Modification Date: 07/31/19 | | Denver, CO 80204 | | Project Sheet Number: |
| Detailer Initials: LTA | | Phone: 303-757-9654 | | |
| CAD Ver: MicroStation V8 | | Fax: 303-757-9021 | | |

| MARK | BAR # OR SIZE | D.C. SPACING | TYPE | ALL INLETS | | INLETS: H ≤ 5 FT. | | INLETS: H > 5 FT. | |
|------|---------------|--------------|------|------------|------------|-------------------|------------|-------------------|------------|
| | | | | L = 5 FT. | L = 10 FT. | L = 10 FT. | L = 15 FT. | L = 10 FT. | L = 15 FT. |
| 401 | 4 | 11" | II | 15 | 21 | 21 | 26 | 26 | 31 |
| 402 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 403 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 404 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 405 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 406 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 407 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 408 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 409 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 410 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 411 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 412 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 413 | 4 | 11" | II | 7 | 13 | 13 | 18 | 18 | 23 |
| 501 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 502 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 503 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 504 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 505 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 506 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 507 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 508 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 509 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 510 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 511 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 512 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 513 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 514 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 515 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 516 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 517 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 518 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 519 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |
| 520 | 5 | 5/8" | IV | 11 | 17 | 17 | 22 | 22 | 27 |

| | | | | |
|----------------------------------|------------------------|--|--------------------------|---------------------------|
| Computer File Information | Sheet Revisions | Colorado Department of Transportation | CURB INLET TYPE R | STANDARD PLAN NO. |
| Creation Date: 07/23/19 | | 2829 West Howard Place | | M-604-12 |
| Designer Initials: JBC | | COOT 110, 3rd Floor | | Standard Sheet No. 2 of 2 |
| Last Modification Date: 07/31/19 | | Denver, CO 80204 | | Project Sheet Number: |
| Detailer Initials: LTA | | Phone: 303-757-9654 | | |
| CAD Ver: MicroStation V8 | | Fax: 303-757-9021 | | |



| | | | | |
|----------------------------------|------------------------|--|--------------------------|----------------------------|
| Computer File Information | Sheet Revisions | Colorado Department of Transportation | PAVEMENT MARKINGS | STANDARD PLAN NO. |
| Creation Date: 07/04/12 | | 2829 W. Howard Pl. | | S-627-1 |
| Created By: JWB | | Denver, CO 80204 | | Standard Sheet No. 3 of 11 |
| Last Modification Date: 12/20/24 | | Phone: 303-757-9654 | | Project Sheet Number: |
| Last Modified By: NRI/VERA | | Fax: 303-757-9021 | | |
| CAD Ver: MicroStation V8 | | | | |

WORD AND SYMBOL NOTES

- IF HEIGHT IS INCREASED OR DECREASED THEN ALL MEASUREMENTS CHANGE PROPORTIONATELY. CHANGE "H" MEASUREMENT FOR STOP SIGN TO 4 FT. FROM 8 FT. THEN SQUARE FEET = 5.75 (X 10³) 23.0 SQ.FT.
- PAVEMENT MARKING AND SYMBOL MARKINGS, TRANSVERSE AND LONGITUDINAL (CONTINENTAL) CROSSWALK LINES, AND STOP LINES SHALL BE PAID FOR IN SQUARE FEET USING THEIR SPECIFIC BID ITEMS.
- LETTER SPACING SHALL BE 8 IN. EXCEPT FOR THE LETTER "A" WHICH IS 6 IN.
- USE THE MARKING WORD "YIELD" IF 6 FT. TO 8 FT. BIKE LANE IS INSTALLED.

TAPERING NOTES

- ALL PAVEMENT MARKING APPROACH EDGES FROM THE VEHICLE DIRECTION OF TRAVEL SHALL BE TAPERED USING A PUTTY KNIFE OR SIMILAR TOOL.

DESIGNATED PAYMENT AREAS

FOR THE FOLLOWING H, W, AND S DIMENSIONS PAY:

H = 4' WORDS

BIKE - 5.5 SQ.FT. LANE - 6.0 SQ.FT.
ONLY - 6.0 SQ.FT. XING - 5.0 SQ.FT.

H = 8' WORDS

STOP - 23.0 SQ.FT. XING - 20.0 SQ.FT.
ONLY - 22.5 SQ.FT. LANE - 22.5 SQ.FT.
AHEAD - 29.0 SQ.FT. BIKE - 21.0 SQ.FT.
BUS - 18.5 SQ.FT. HWY - 18.5 SQ.FT.
SCHOOL(1) - 33.0 SQ.FT. THRU - 22.0 SQ.FT.
SCHOOL(2) - 85.0 SQ.FT. PED - 17.5 SQ.FT.
NORTH - 30.6 SQ.FT. SOUTH - 28.5 SQ.FT.
EAST - 22.1 SQ.FT. WEST - 23.7 SQ.FT.
X with RR - 69 SQ.FT. EXPRESS - 41 SQ.FT.
YIELD - 23 SQ.FT.

TYPICAL LETTER MEASUREMENTS

H = HEIGHT H = B H = 4'
W = WIDTH W = 1'-3 1/4" TO 1'-4" W = XX TO XX

| | | | | |
|----------------------------------|------------------------|--|--------------------------|----------------------------|
| Computer File Information | Sheet Revisions | Colorado Department of Transportation | PAVEMENT MARKINGS | STANDARD PLAN NO. |
| Creation Date: 07/04/12 | | 2829 W. Howard Pl. | | S-627-1 |
| Created By: JWB | | Denver, CO 80204 | | Standard Sheet No. 9 of 11 |
| Last Modification Date: 12/20/24 | | Phone: 303-757-9654 | | Project Sheet Number: |
| Last Modified By: NRI/VERA | | Fax: 303-757-9021 | | |
| CAD Ver: MicroStation V8 | | | | |

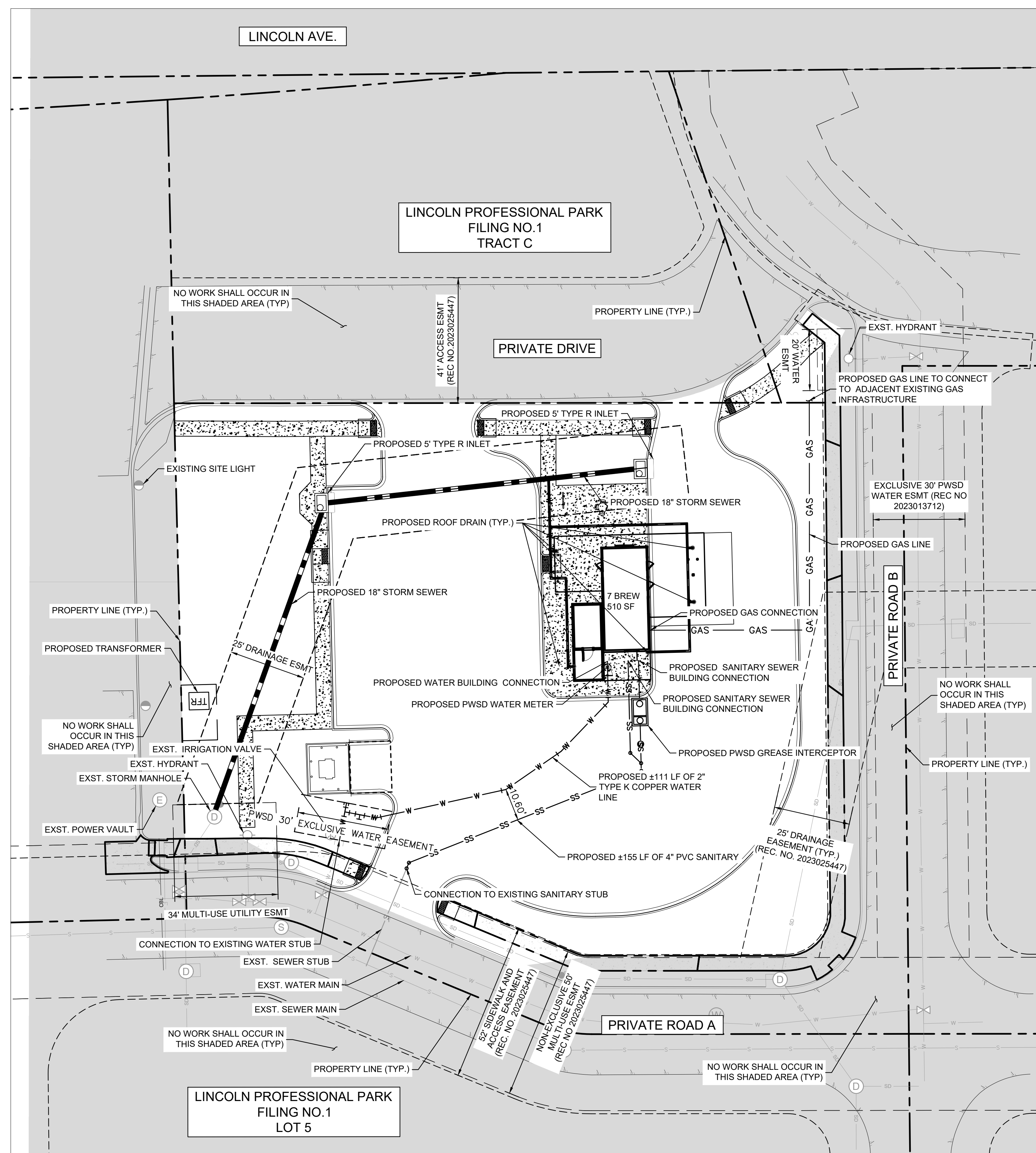
Kimley-Horn
 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR
 DRAWN BY: KNP
 CHECKED BY: KEW
 DATE: 12/2/25

LINCOLN PROFESSIONAL PARK FILING NO. 1
 LOT 2, PARKER, CO
 7 BREW - CONSTRUCTION DOCUMENTS
 SITE DETAILS (4)

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 Kimley-Horn and Associates, Inc.
 PROJECT NO. 296237001
 SHEET 296237001_SP
 7

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

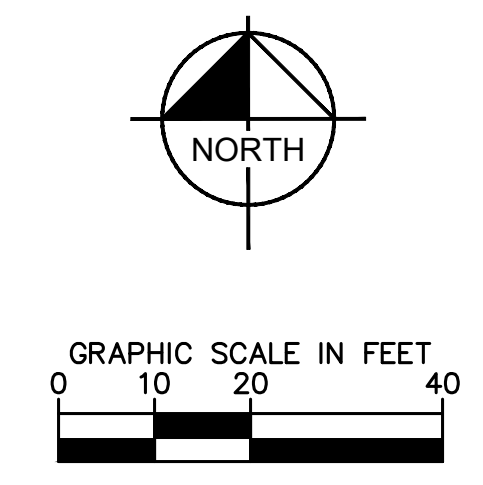


LEGEND

| | |
|----------------------------------|---------------|
| PROPERTY LINE | --- |
| EASEMENT | --- |
| BUILDING OUTLINE | --- |
| PROPOSED GAS LINE | — GAS — GAS — |
| PROPOSED SANITARY SEWER LINE | — S — S — |
| PROPOSED WATER LINE | — W — W — |
| PROPOSED STORM LINE | — SD — SD — |
| EXISTING GAS LINE | — GAS — GAS — |
| EXISTING SANITARY SEWER LINE | — S — S — |
| EXISTING WATER LINE | — W — W — |
| EXISTING STORM LINE | — SD — SD — |
| PROPOSED CONTOUR | — 100 — 99 — |
| EXISTING CONTOUR | — 100 — |
| EXISTING SANITARY SEWER MANHOLE | ⊙ |
| EXISTING STORM MANHOLE | ⊙ |
| EXISTING FIRE HYDRANT | ⊙ |
| EXISTING SEWER CLEANOUT | ⊙ |
| EXISTING WATER VALVE | ⊙ |
| EXISTING STORM DRAIN STRUCTURE | ⊙ |
| PROPOSED WATER BENDS | ⌒ |
| PROPOSED STORM CURB INLET | ⊕ |
| PROPOSED WATER METER | ⊕ |
| PROPOSED SANITARY SEWER CLEANOUT | ⊕ |

NOTES:

- UTILITY CONNECTIONS TERMINATE 5' FROM BUILDING ENVELOPE. SEE ARCHITECT AND MEP PLANS FOR CONTINUATION.
- ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.
- CONTRACTOR TO CONFIRM ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICES LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.



| NO. | REVISION | BY | DATE | APPR |
|-----|----------|----|------|------|
| | | | | |

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 6200 South Syracuse Way, Suite 300
 Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR
 DRAWN BY: KNP
 CHECKED BY: KEW
 DATE: 8/4/25

LINCOLN PROFESSIONAL PARK FILING NO. 1
 LOT 2, PARKER, CO
 7 BREW - SITE PLAN
 OVERALL UTILITY PLAN

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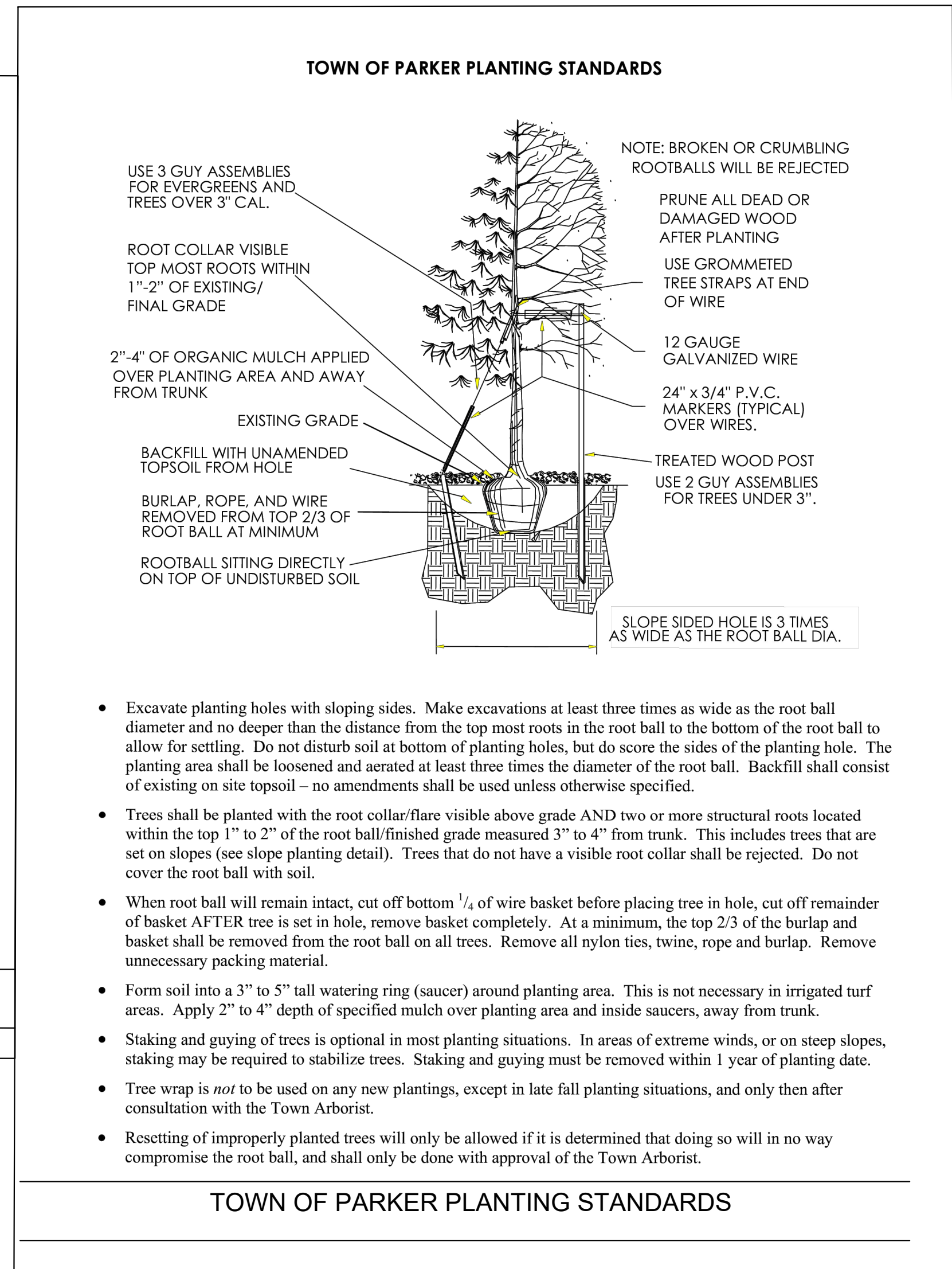
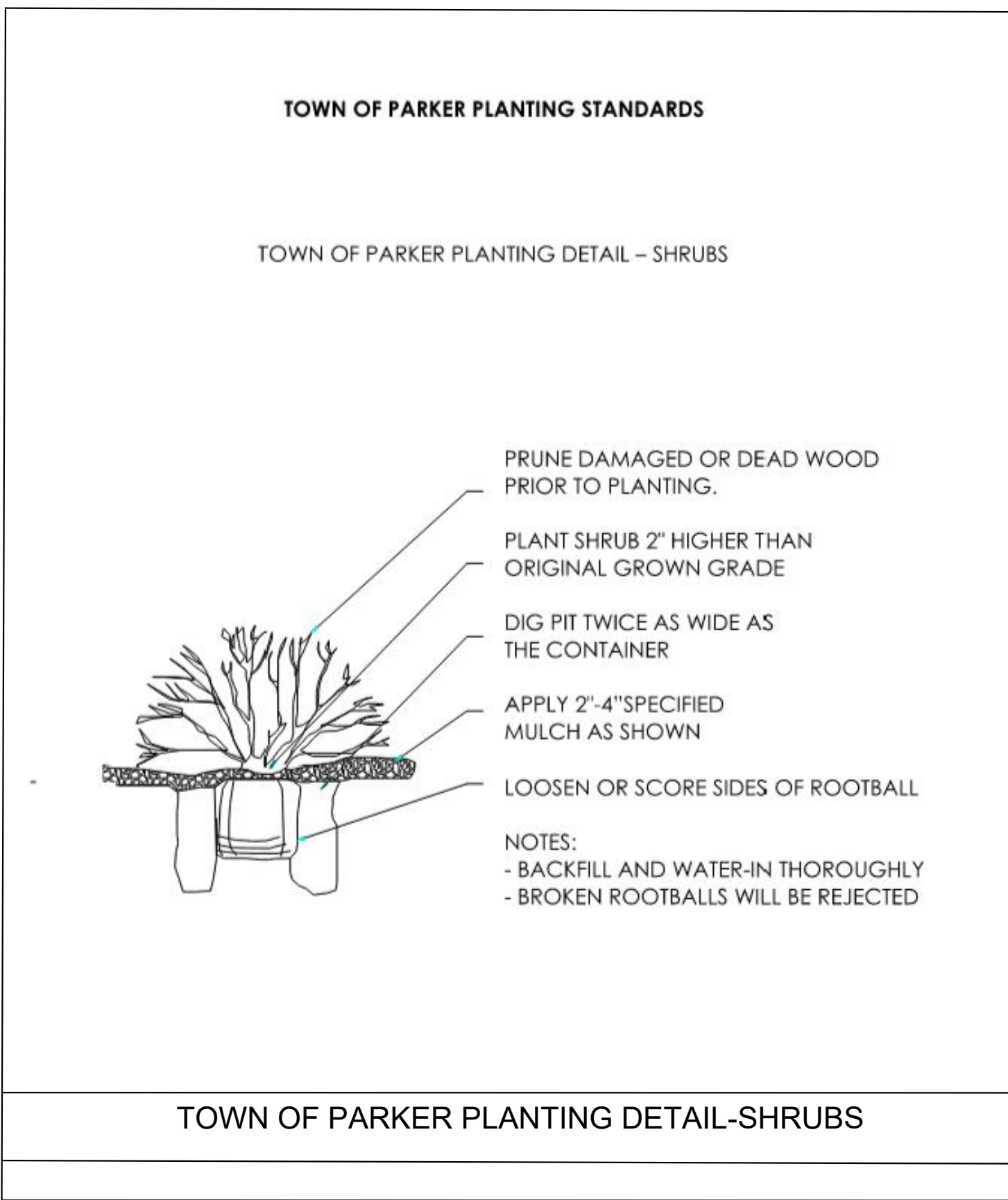
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TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES

- ALL PLANTING SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNER'S ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATER, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OR THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.



| LANDSCAPE REQUIREMENTS | | | |
|---|---------------|-----------------------|---|
| PROPERTY ACERAGE: 1.052 ACRES (42,826 SF) | | | |
| 13.08.090 OVERALL LANDSCAPE REQUIREMENTS | AMOUNT | REQUIRED | PROVIDED |
| PERCENTAGE OF LANDSCAPING | 42,826 SF | 6,878 SF (15%) | 11,652 SF (27%) |
| PERCENTAGE OF LIVING MATERIAL | 11,652 SF | 8,739 SF (75%) | 8,740 (75%) |
| TREES AND SHRUBS PER 1,500 SF | 6,878 SF | 5 TREES & 23 SHRUBS | 26 TREES & 170 SHRUBS |
| 13.08.090 (F) PARKING LOT INTERIOR LANDSCAPING | AMOUNT | REQUIRED | PROVIDED |
| 10% SHALL BE ALLOCATED TO PARKING ISLANDS | 2,843 SF | 285 SF (10%) | 392 SF (13%) |
| 1 TREE & 5 SHRUBS PER 162 SF | | | |
| PARKING ISLAND 1 | 291 SF | 1 TREE & 13 SHUBS | 1 TREE & 13 SHRUBS |
| PARKING ISLAND 2 | 101 SF | 1 TREE & 5 SHRUBS | 1 TREE & 5 SHRUBS |
| 13.08.090 (G) SITE PERIMETER REQUIREMENTS | AMOUNT | REQUIRED | PROVIDED |
| 1 TREE & 5 SHRUBS PER 30 LF | | | |
| NORTH SIDE | 212 LF | 7 TREES & 35 SHRUBS | 7 TREES & 58 SHRUBS & 12 ORNAMENTAL GRASSES |
| EAST SIDE | 197 LF | 7 TREES & 33 SHRUBS | 7 TREES & 35 SHRUBS |
| SOUTH SIDE | 213 LF | 7 TREES & 36 SHRUBS | 7 TREES & 54 SHRUBS |
| WEST SIDE | 133 LF | 5 TREES & 23 SHRUBS | 5 TREES & 23 SHRUBS |
| 13.08.090 (E) STREET TREE REQUIREMENTS | AMOUNT | REQUIRED | PROVIDED |
| 1 TREE PER 35 LF | | | |
| 75% LIVE COVERAGE | | | |
| NORTH: PRIVATE DRIVE | 164 LF | 5 TREES | 5 TREES |
| TOTAL | | REQUIRED | PROVIDED |
| TOTAL TREES AND SHRUBS: | | 33 TREES & 145 SHRUBS | 33 TREES & 188 SHRUBS & 12 ORNAMENTAL GRASSES |

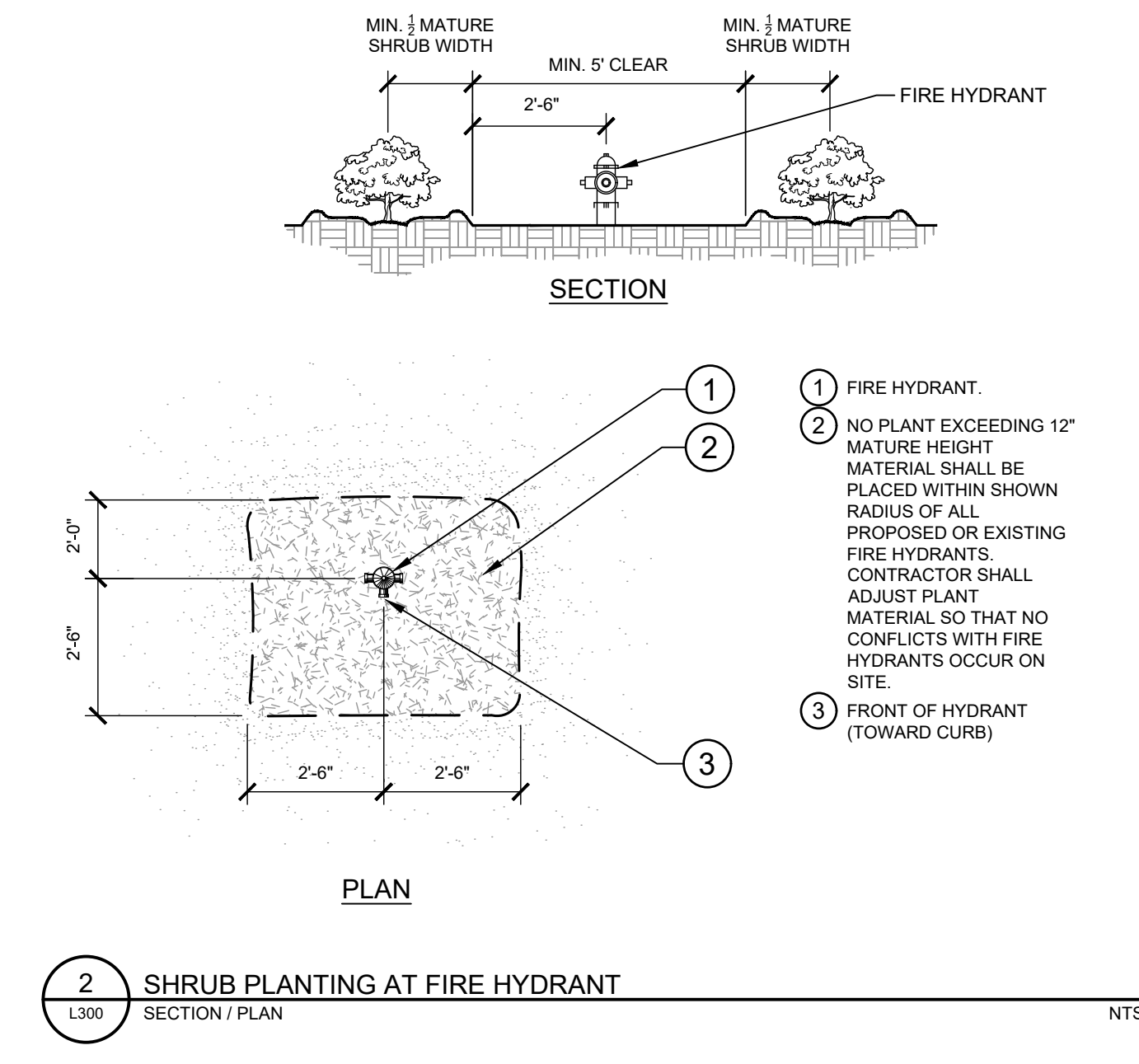
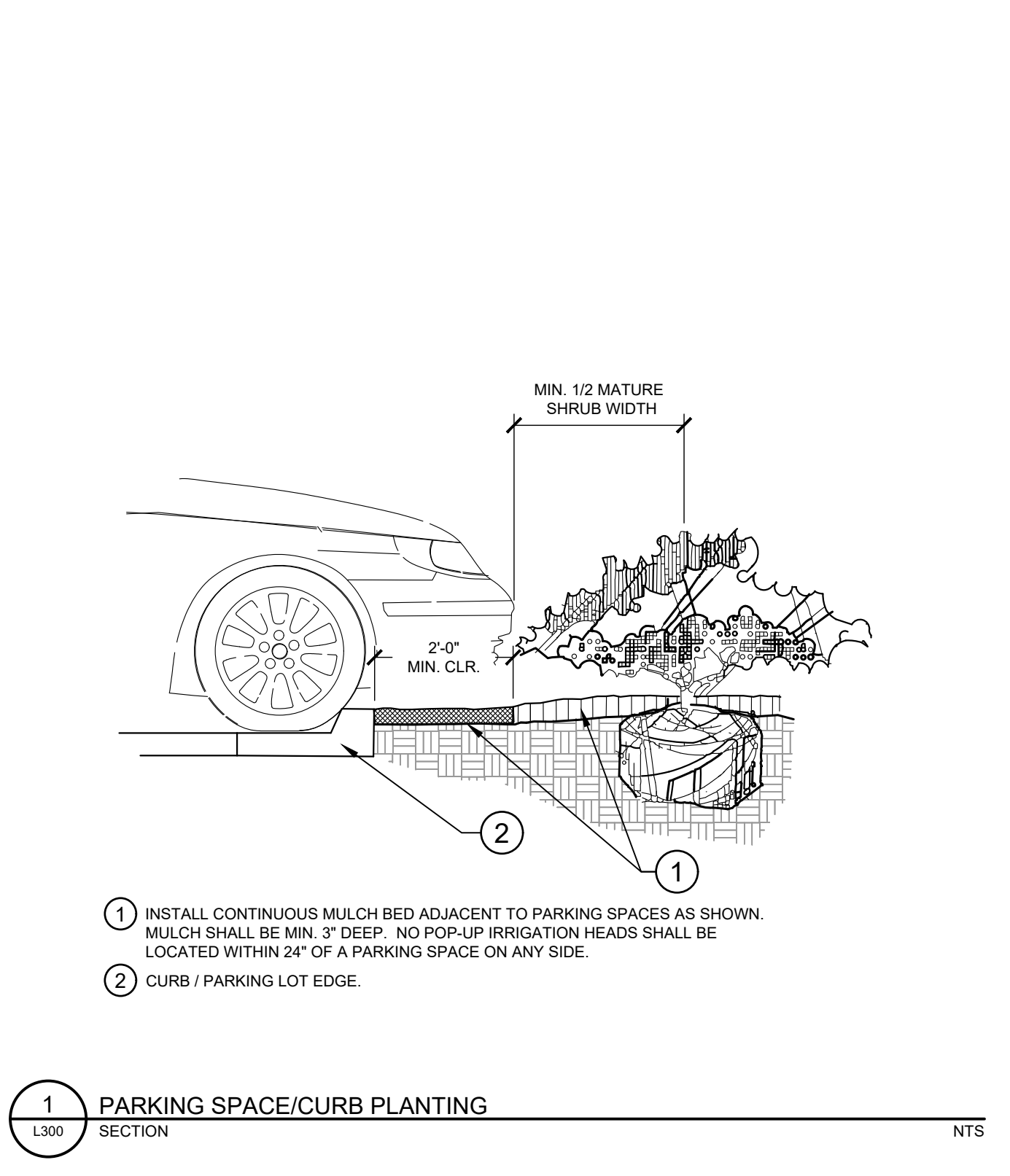
These are not correct. Recalculate.

Add: P1 (this is a min. six foot area per LDO 13.08.090(g)(4).

Revise - in Mixed Use Community - 1 tree per 40 linear feet.

Revise

Per LDO 13.08.090(h) Add Site Interior Landscaping category if parking lot and perimeter landscaping do not collectively meet min. landscaping requirement.



Kimley»Horn
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 6200 South Syracuse Way, Suite 500
 Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR
 DRAWN BY: KNP
 CHECKED BY: KEW
 DATE: 12/2/25

LINCOLN PROFESSIONAL PARK FILING NO. 1
 LOT 2, PARKER, CO
 7 BREW - CONSTRUCTION DOCUMENTS
 LANDSCAPE NOTES

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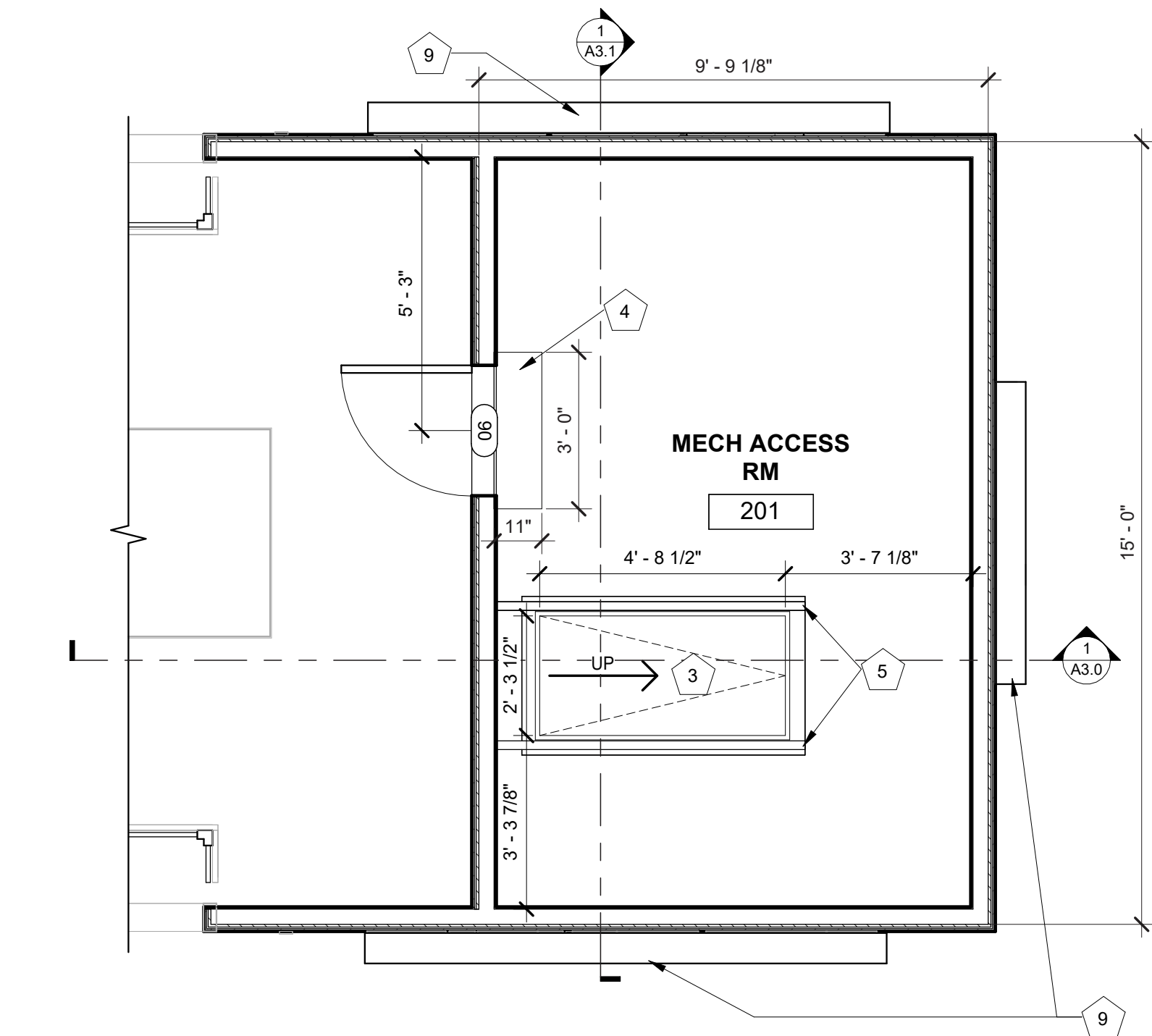
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sheet issue date:
09/29/2025
project no.:
22.51.09

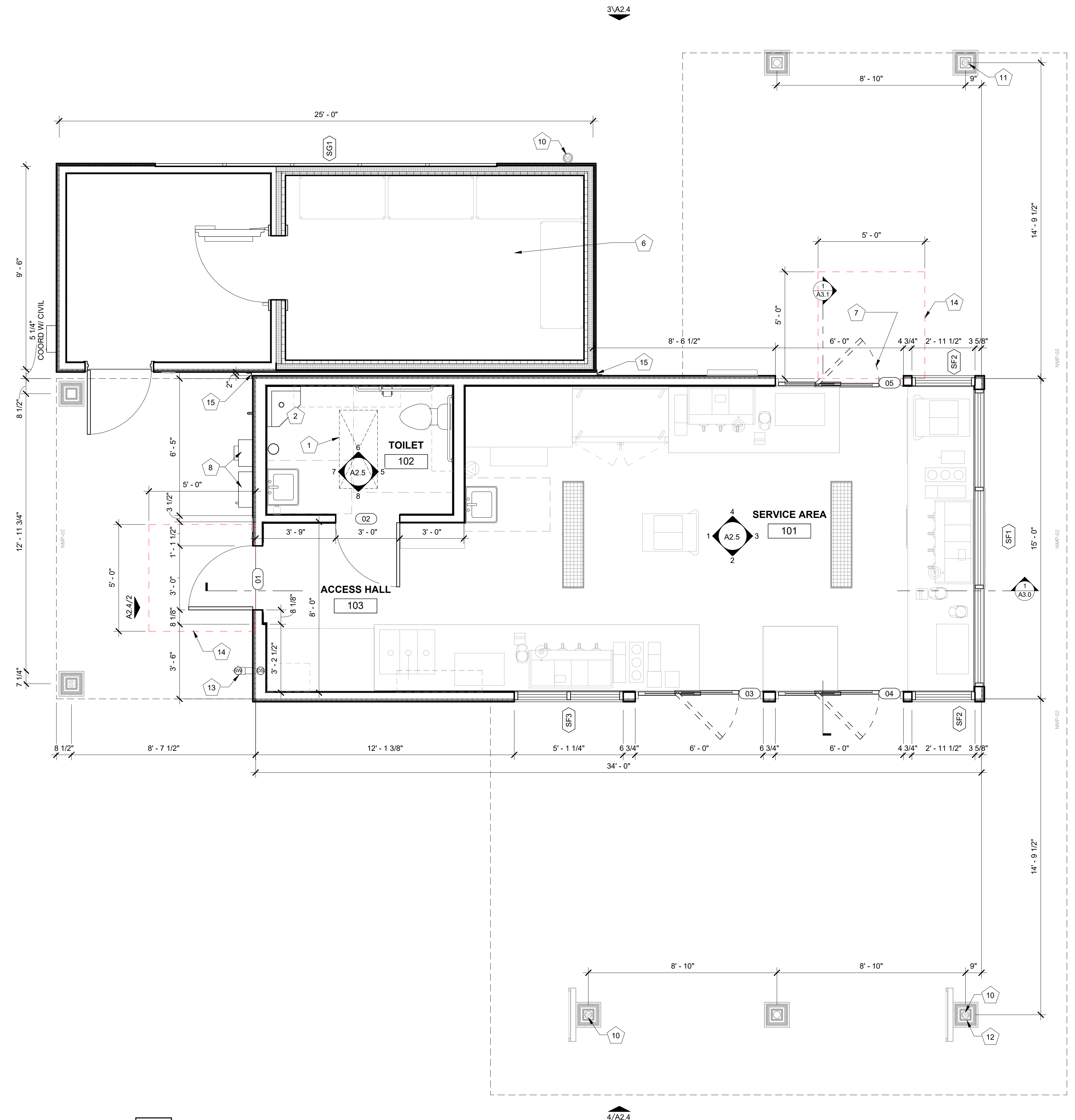
sheet contents:
FLOOR PLAN

sheet no.:
A1.2

| MARK | DESCRIPTION |
|------|--|
| 1 | ACCESS DOOR FOR CRAWL SPACE ACCESS |
| 2 | MOP SINK; REF PLUMBING |
| 3 | MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER |
| 4 | STEP, CENTER ON DOOR |
| 5 | PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE |
| 6 | PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT |
| 7 | ADA AUTO/MANUAL EGRESS CAPABLE |
| 8 | ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL |
| 9 | STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR |
| 10 | DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL |
| 11 | DOWNSPOUT SCUPPER TO GRADE; REF CIVIL |
| 12 | SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP. |
| 13 | DOWNSPOUT OUTLET - STORMWATER CONNECTION; COORD W/ CIVIL |
| 14 | FROST-PROTECTED EGRESS FOUNDATION PAD |
| 15 | METAL TRIM BETWEEN BUILDING AND COOLER |



2 MECH ACCESS RM
3/8" = 1'-0"



1 FLOOR PLAN
3/8" = 1'-0"

11/18/2025 3:21:38 PM C:\Users\sam\Documents\22.51.09_7 Brew - Parker CO - Lincoln & Dresden - Entitlement_R22_sam6QWCY.rvt
 7 Brew Template V3.0
 2022-11-20_LAYOUT V04
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| No. | Description | Date |
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sheet issue date:
09/29/2025
project no.:
22.51.09

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:
A2.0

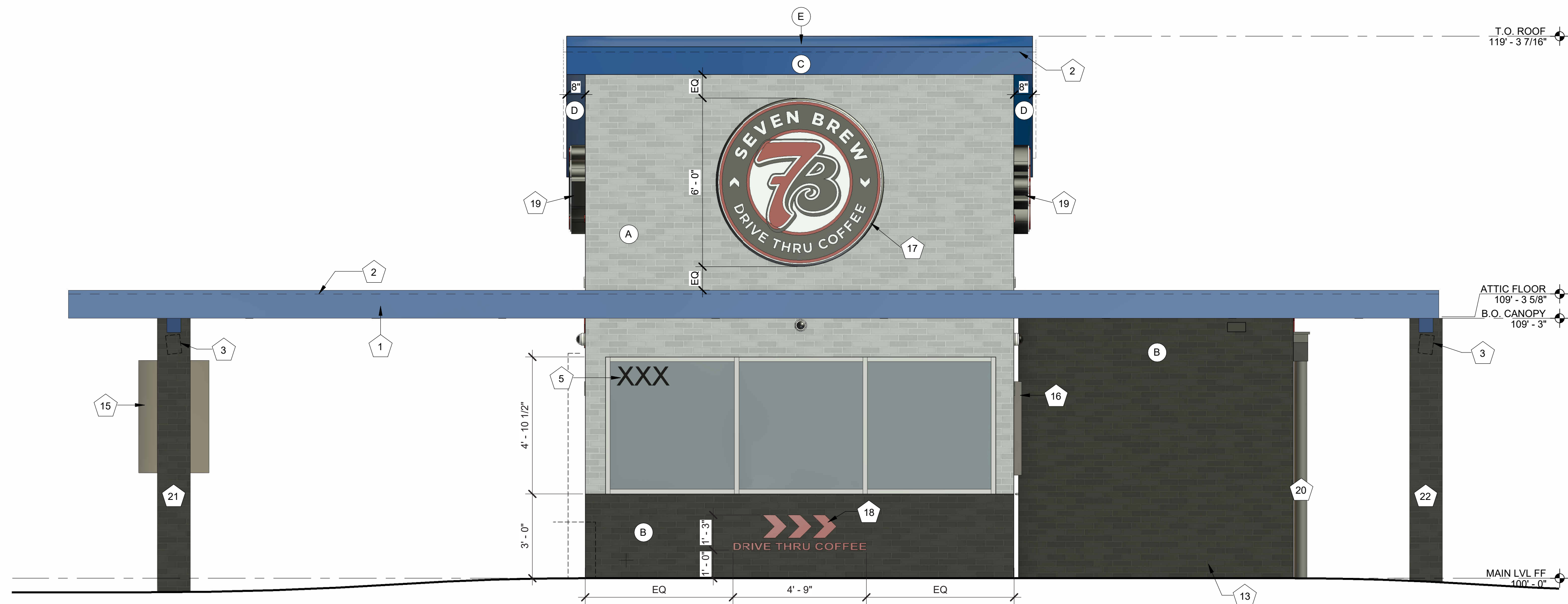
| EXTERIOR ELEVATION MATERIALS LEGEND | |
|-------------------------------------|----------------------------------|
| MARK | DESCRIPTION |
| A | THIN BRICK (BRK-2) |
| B | THIN BRICK (BRK-1) |
| C | BRAKE METAL FASCIA (MP-2) |
| D | SOFFIT PANELS (MP-2) |
| E | STANDING SEAM ROOF PANELS (MP-2) |
| F | METAL BRAKE CAP (MP-3) |
| G | MURAL AREA |
| H | Glass - note type of glass |

| EXTERIOR ELEVATION KEYNOTES | |
|-----------------------------|--|
| MARK | DESCRIPTION |
| 1 | PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL |
| 2 | SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL |
| 3 | MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN |
| 4 | THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP |
| 5 | ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE |
| 6 | ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL |
| 7 | FROST-PROOF FLUSH HOSE BIB |
| 8 | EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL |
| 9 | GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR |
| 10 | KNOX BOX |
| 11 | HVAC EQUIPMENT |
| 12 | OUTLINE OF MECHANICAL UNIT BEYOND |
| 13 | PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT |
| 14 | 36" COOLER DOOR |
| 15 | SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY |
| 16 | SURFACE-MOUNTED LIGHTED SIGN BOX |
| 17 | ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR |
| 18 | 1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE |
| 19 | ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR |
| 20 | EXPOSED DOWNSPOUT, GALVANIZED, PAINTED TO MATCH SURROUNDING MATERIAL; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL |
| 21 | PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL |
| 22 | PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL |
| 23 | PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL |
| 24 | DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL |
| 25 | METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL |

Add percent of each material.

Add Glass to Legend

| EXTERIOR ELEVATION MATERIALS SUMMARY | | |
|---|--------------------|---------------------------|
| NORTH ELEVATION - 91.635F TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-0" AND 8'-0" (100%) | | |
| MATERIAL | MAX % / SF | PROPOSED % / SF |
| GLASS | MIN 60 % / 54.985F | PROPOSED 74.03% / 67.845F |
| BRICK | MIN 40 % / 36.655F | PROPOSED 25.96% / 23.795F |

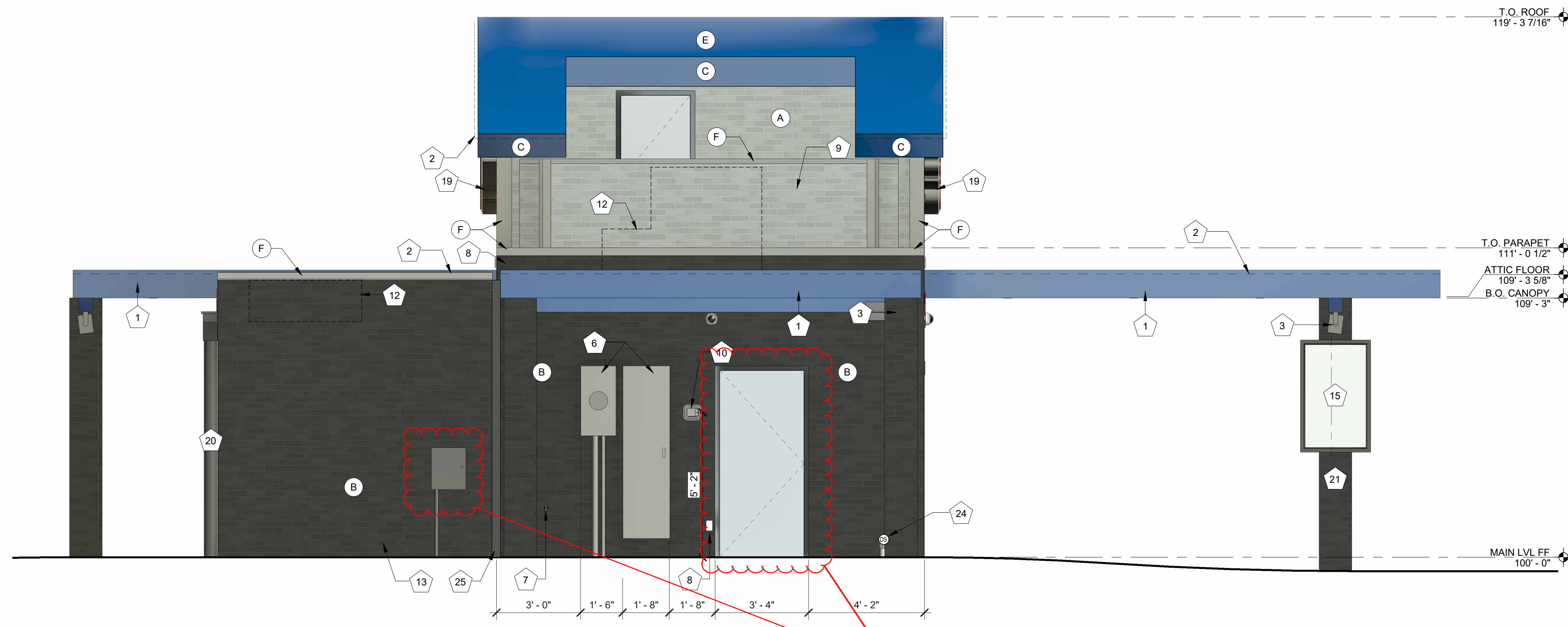


1 EXTERIOR ELEVATION - NORTH
3/8" = 1'-0"

NOTE:
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.

| EXTERIOR ELEVATION MATERIALS LEGEND | |
|-------------------------------------|----------------------------------|
| MARK | DESCRIPTION |
| A | THIN BRICK (BRK-2) |
| B | THIN BRICK (BRK-1) |
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| 15 | SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY |
| 16 | SURFACE-MOUNTED LIGHTED SIGN BOX |
| 17 | ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR |
| 18 | 1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE |
| 19 | ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR |
| 20 | EXPOSED DOWNSPOUT, GALVANIZED, PAINTED TO MATCH SURROUNDING MATERIAL; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL |
| 21 | PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL |
| 22 | PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL |
| 23 | PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL |
| 24 | DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL |
| 25 | METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL |



1 EXTERIOR ELEVATION - SOUTH
3/8" = 1'-0"

NOTE:
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.

| REVISIONS | | |
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sheet issue date:
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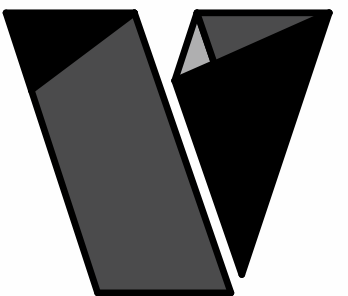
project no.:
22.51.09

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:

A2.1

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project no.:
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EXTERIOR ELEVATIONS

sheet no.:

A2.2

EXTERIOR ELEVATION MATERIALS LEGEND

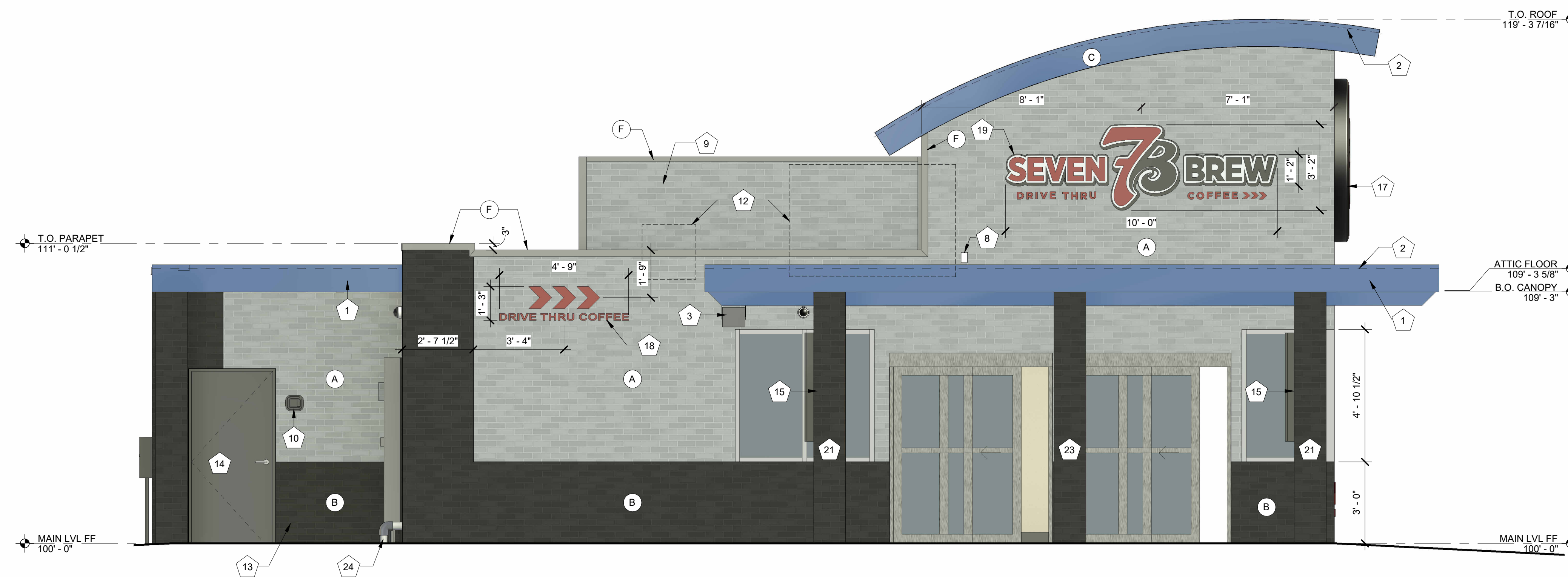
| MARK | DESCRIPTION |
|------|----------------------------------|
| A | THIN BRICK (BRK-2) |
| B | THIN BRICK (BRK-1) |
| C | BRAKE METAL FASCIA (MP-2) |
| D | SOFFIT PANELS (MP-2) |
| E | STANDING SEAM ROOF PANELS (MP-2) |
| F | METAL BRAKE CAP (MP-3) |
| G | MURAL AREA |

EXTERIOR ELEVATION KEYNOTES

| MARK | DESCRIPTION |
|------|--|
| 1 | PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL |
| 2 | SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL |
| 3 | MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN |
| 4 | THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP |
| 5 | ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE |
| 6 | ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL |
| 7 | FROST-PROOF FLUSH HOSE BIB |
| 8 | EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL |
| 9 | GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR |
| 10 | KNOX BOX |
| 11 | HVAC EQUIPMENT |
| 12 | OUTLINE OF MECHANICAL UNIT BEYOND |
| 13 | PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT |
| 14 | 36" COOLER DOOR |
| 15 | SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY |
| 16 | SURFACE-MOUNTED LIGHTED SIGN BOX |
| 17 | ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR |
| 18 | 1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE |
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| 21 | PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL |
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| 23 | PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL |
| 24 | DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL |
| 25 | METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL |

EXTERIOR ELEVATION MATERIALS SUMMARY

| EAST ELEVATION - 260.01SF TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-0" AND 8'-0" (100%) | | |
|---|--------------------|----------------------------|
| MATERIAL | MAX % / SF | PROPOSED % / SF |
| GLASS | MIN 40 % / 104.05F | PROPOSED 49.72% / 129.275F |
| BRICK | MIN 60 % / 156.05F | PROPOSED 50.28% / 130.745F |

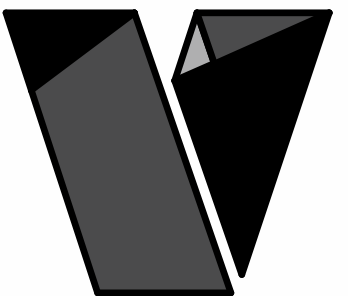


1 EXTERIOR ELEVATION - EAST
3/8" = 1'-0"

NOTE:
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.

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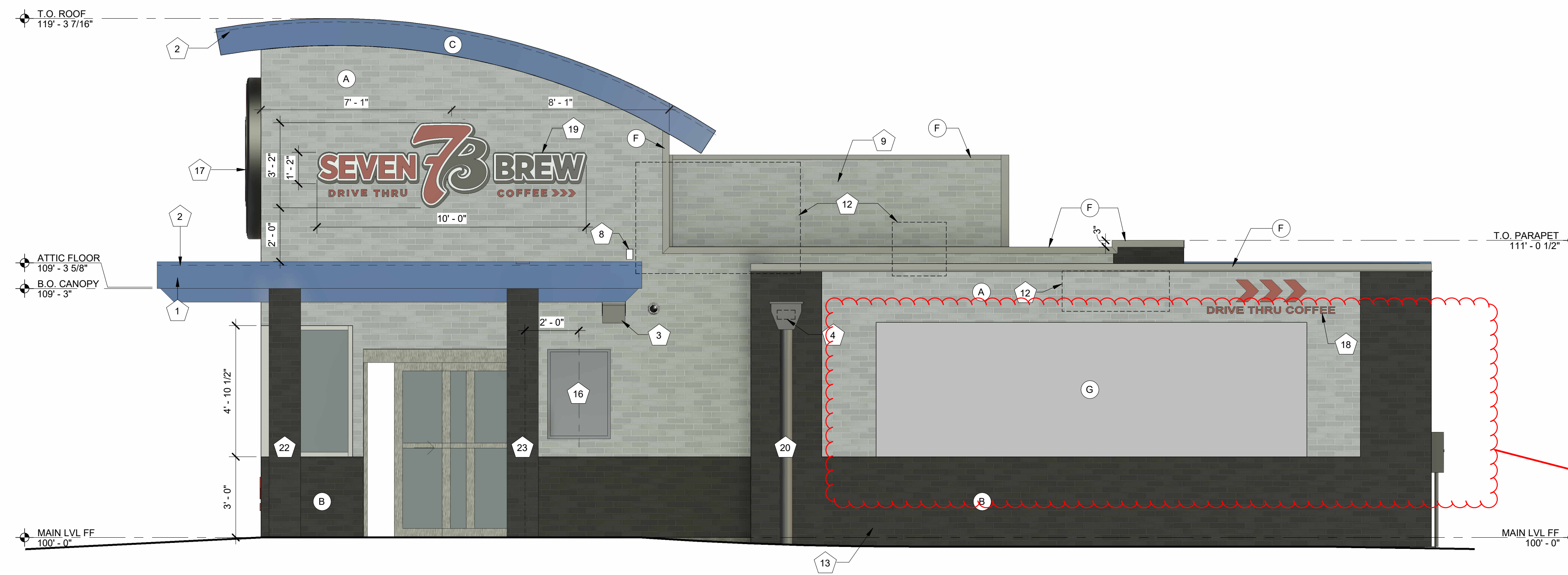
sheet contents:
EXTERIOR ELEVATIONS

sheet no:
A2.3

| EXTERIOR ELEVATION MATERIALS LEGEND | |
|-------------------------------------|----------------------------------|
| MARK | DESCRIPTION |
| A | THIN BRICK (BRK-2) |
| B | THIN BRICK (BRK-1) |
| C | BRAKE METAL FASCIA (MP-2) |
| D | SOFFIT PANELS (MP-2) |
| E | STANDING SEAM ROOF PANELS (MP-2) |
| F | METAL BRAKE CAP (MP-3) |
| G | MURAL AREA |

| EXTERIOR ELEVATION KEYNOTES | |
|-----------------------------|--|
| MARK | DESCRIPTION |
| 1 | PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL |
| 2 | SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL |
| 3 | MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN |
| 4 | THROUGH-WALL ROOF SCUPPER; PAINT TO MATCH SURROUNDING MATERIALS; TYP |
| 5 | ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE |
| 6 | ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL |
| 7 | FROST-PROOF FLUSH HOSE BIB |
| 8 | EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL |
| 9 | GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR |
| 10 | KNOX BOX |
| 11 | HVAC EQUIPMENT |
| 12 | OUTLINE OF MECHANICAL UNIT BEYOND |
| 13 | PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT |
| 14 | 36" COOLER DOOR |
| 15 | SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY |
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| 24 | DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL |
| 25 | METAL TRIM BETWEEN COOLER AND BUILDING; PAINTED TO MATCH SURROUNDING MATERIAL |

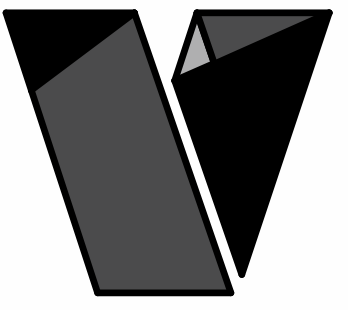
| EXTERIOR ELEVATION MATERIALS SUMMARY | | |
|---|--------------------|----------------------------|
| WEST ELEVATION - 269.01SF TOTAL MAIN LEVEL FACADE AREA BETWEEN 2'-8" AND 8'-0" (100%) | | |
| MATERIAL | MAX % / SF | PROPOSED % / SF |
| GLASS | MIN 40 % / 104.05F | PROPOSED 53.32% / 138.64SF |
| BRICK | MIN 60 % / 156.05F | PROPOSED 46.80% / 121.37SF |



2 EXTERIOR ELEVATION - WEST W/ COOLER
3/8" = 1'-0"

NOTE:
ALL SIGNAGE WILL BE PERMITTED UNDER A SEPARATE PERMIT.

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LINCOLN & DRESDEN, PARKER, CO 80134

REVISIONS
No. Description Date

sheet issue date:
09/29/2025

project no.:
22.51.09

sheet contents:
TRASH ENCLOSURE

sheet no.:

A5.0

TRASH ENCLOSURE GENERAL NOTES

1. PRE-PAINT ALL BARE METAL WITH POR-15 PRIMER PRIOR TO INSTALLATION.
2. PAINT DOOR FRAMES, HINGES, AND BOLLARDS TO MATCH THE CANOPY OF THE PREFABRICATED BUILDING - MORIN REGAL BLUE.

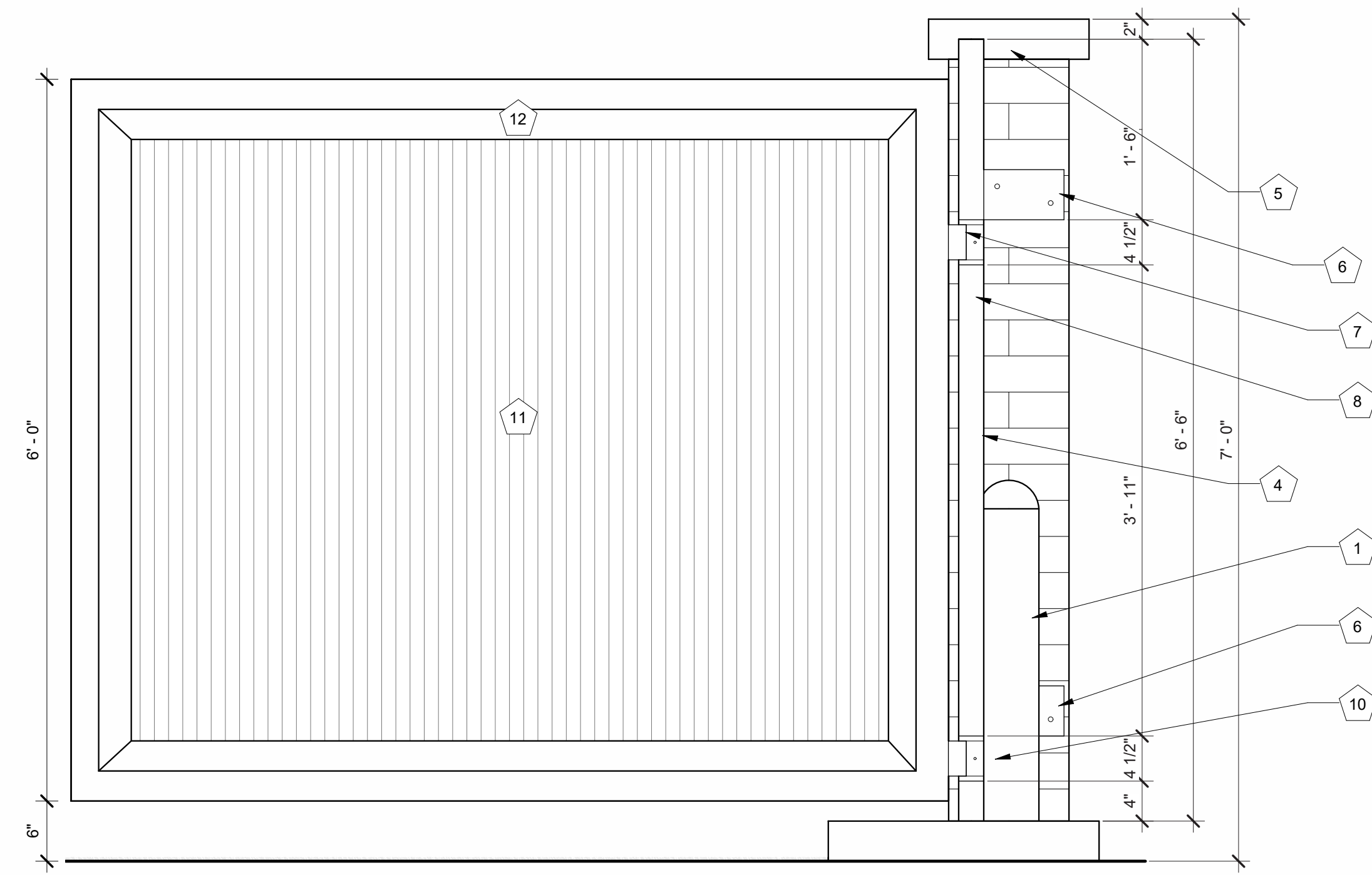
TRASH ENCLOSURE KEYNOTES

| NOTE NO. | NOTE TEXT |
|----------|---|
| 1 | Ø6" CONCRETE FILLED BOLLARD - TYP. OF (7); REF CIVIL |
| 2 | CUSTOM GATES: SEE 6/A5.0 |
| 3 | TRASH DUMPSTER ON WHEELS; SUPPLIED BY OWNER |
| 4 | BRICK OVER 8" CMU BLOCK |
| 5 | 4" MASONRY CAP ON TOP OF CMU WALL |
| 6 | 5" PLATE STEEL BRACE WELDED TO CENTER OF 2" POST; SEE 6/A5.0 FOR HEIGHT |
| 7 | 3" STEEL BRACE AT EACH HINGE |
| 8 | Ø2" STEEL POST |
| 9 | 2 1/2" BOLT |
| 10 | HINGE WITH GREASE FITTING - TYP. OF 2 PER DOOR |
| 11 | 1x8 STAINED CEDAR PLANKS |
| 12 | 3" x 3" TUBE STEEL FRAME ROTATED 45 DEGREES |
| 13 | REF STRUCTURAL FOR FOUNDATION DESIGN |
| 14 | REF CIVIL FOR BOLLARD & BOLLARD FOUNDATION DESIGN |

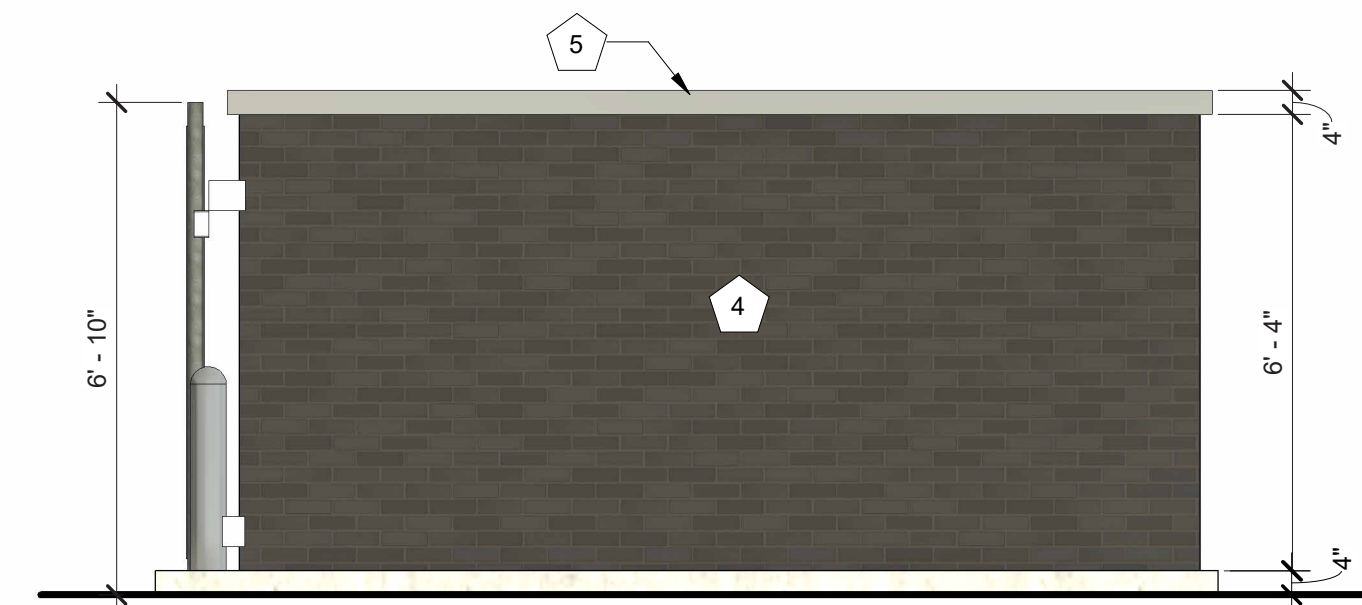
MODULAR BRICK

BRAND: SIOUX CITY BRICK
 COLOR: GRANITE RED
 FINISH: VELOUR

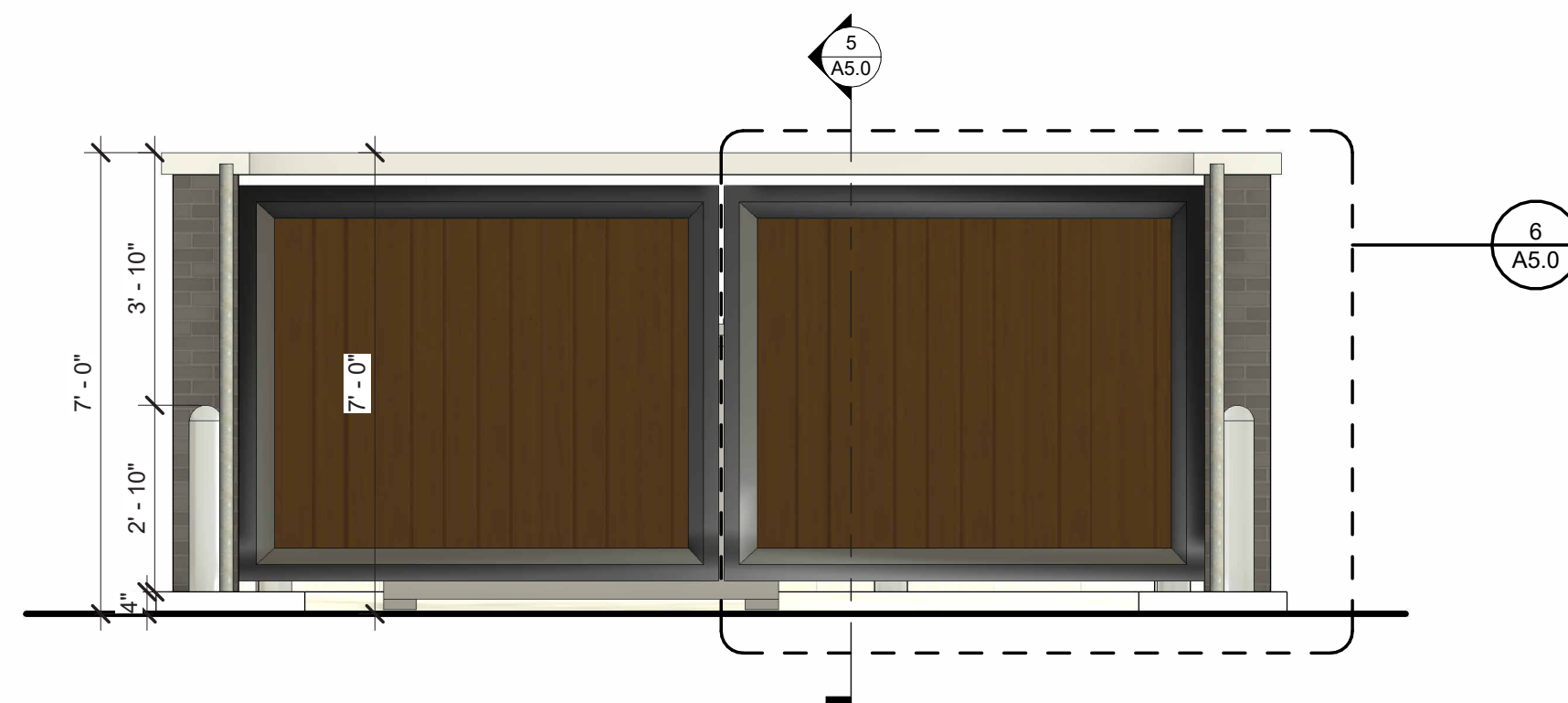
Revise trash enclosure doors to steel painted to match primary structure. For maintenance and durability, these doors will wear easily.



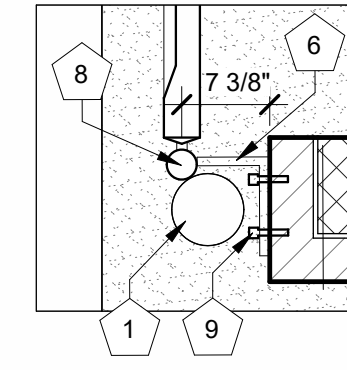
6 DOOR / HINGE DETAIL
1" = 1'-0"



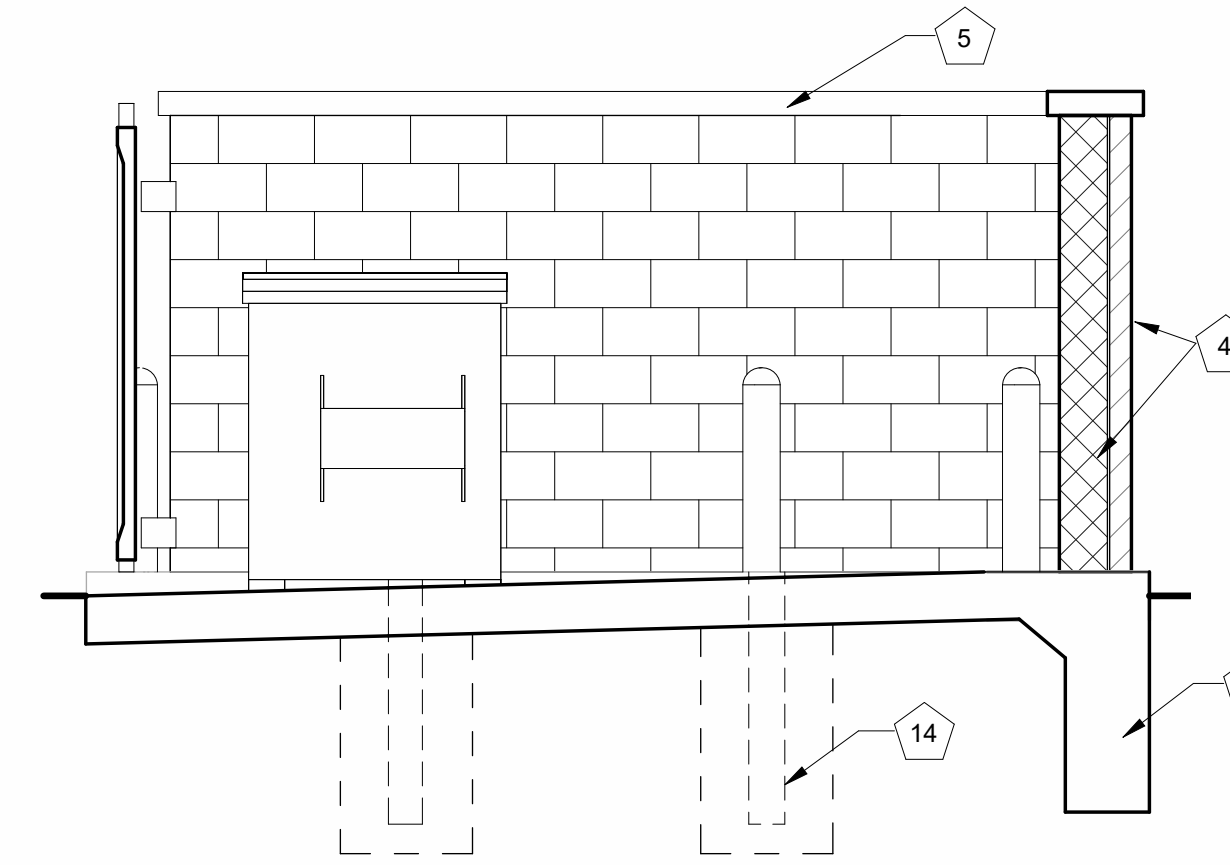
4 TRASH ENCLOSURE - SIDE ELEVATION
3/8" = 1'-0"



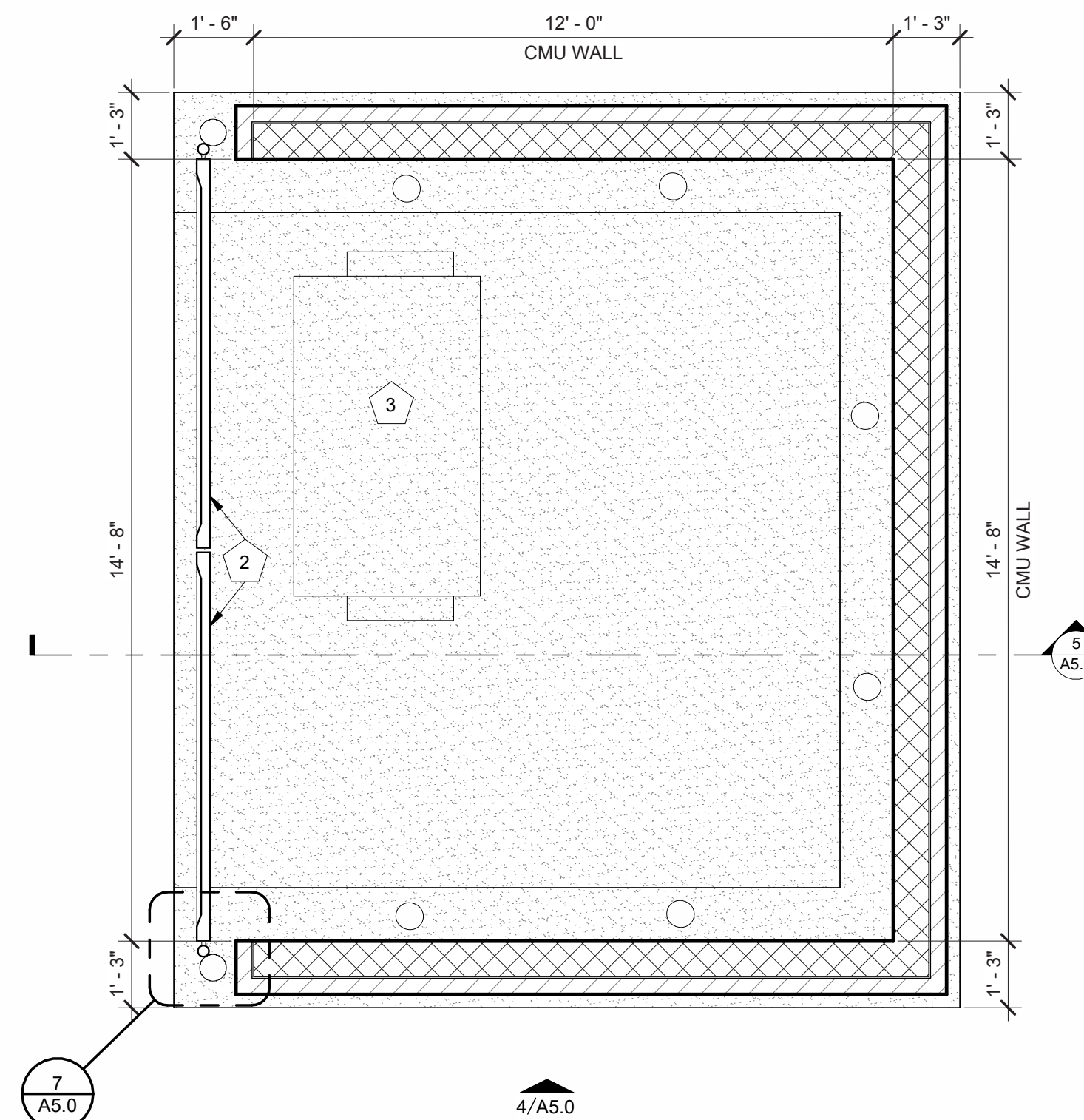
3 TRASH ENCLOSURE - FRONT ELEVATION
3/8" = 1'-0"



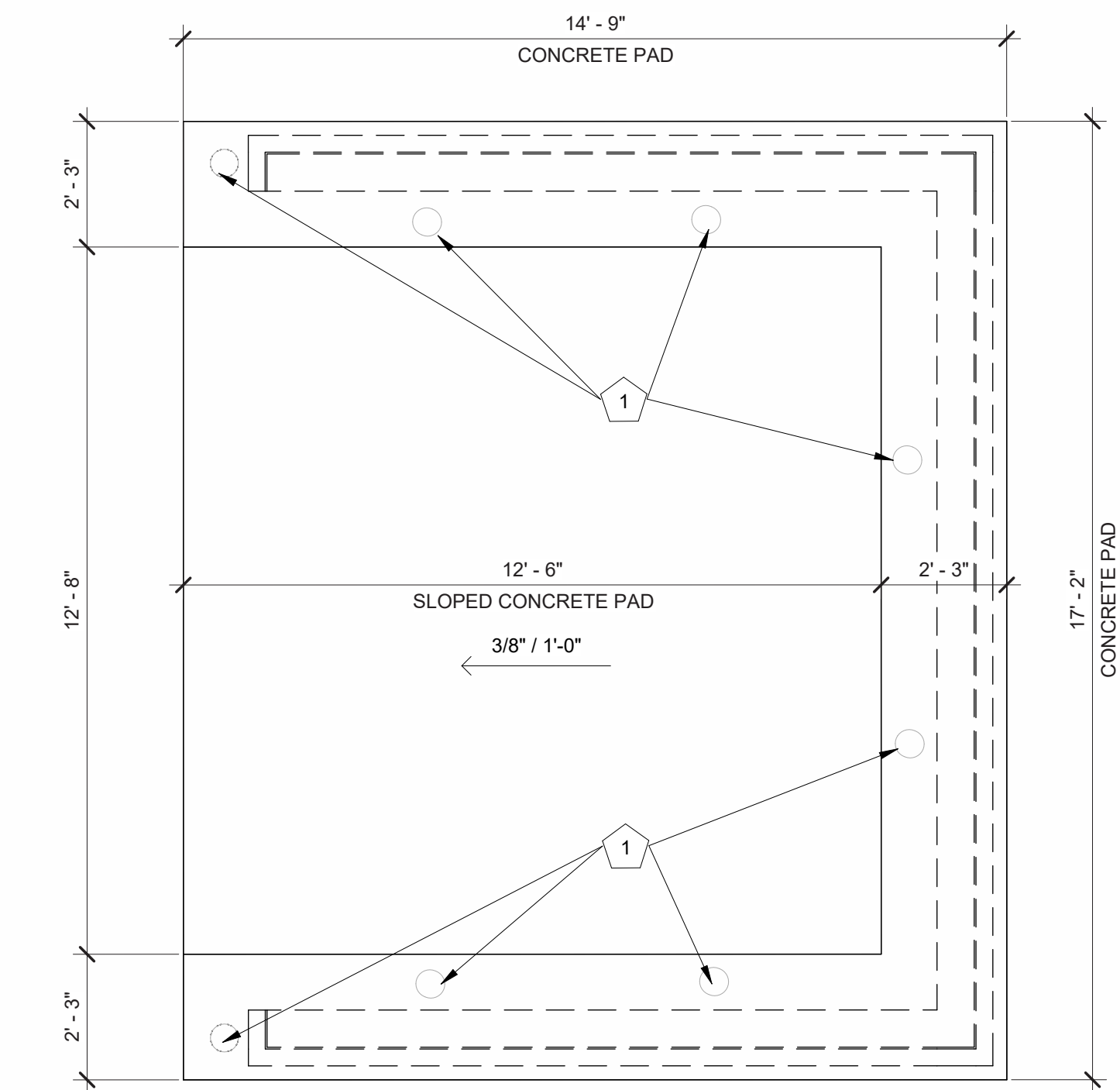
7 TRASH ENCLOSURE PLAN DETAIL
3/4" = 1'-0"



5 SECTION THRU TRASH ENCLOSURE
3/8" = 1'-0"



2 TRASH ENCLOSURE PLAN
3/8" = 1'-0"

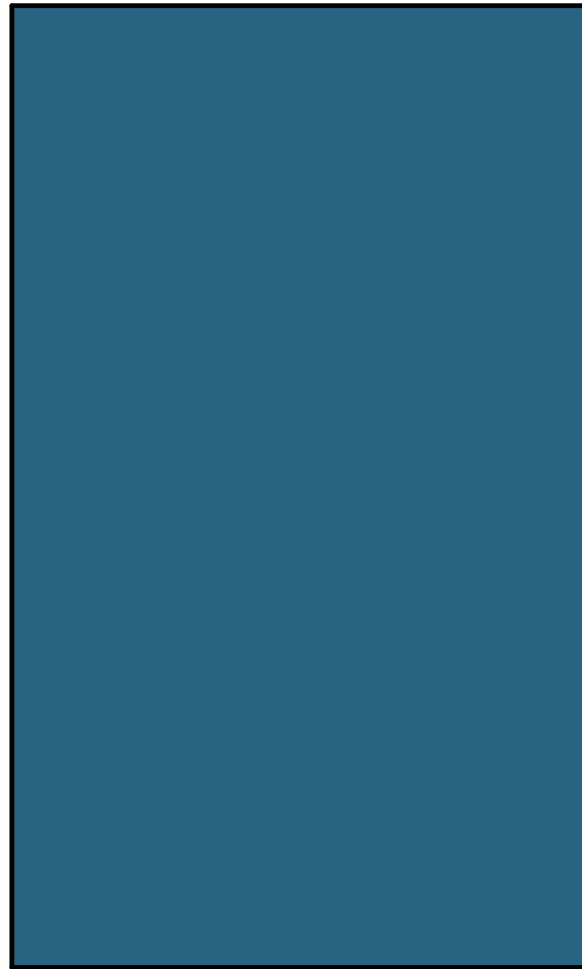


1 TRASH ENCLOSURE - CONCRETE PLAN
3/8" = 1'-0"

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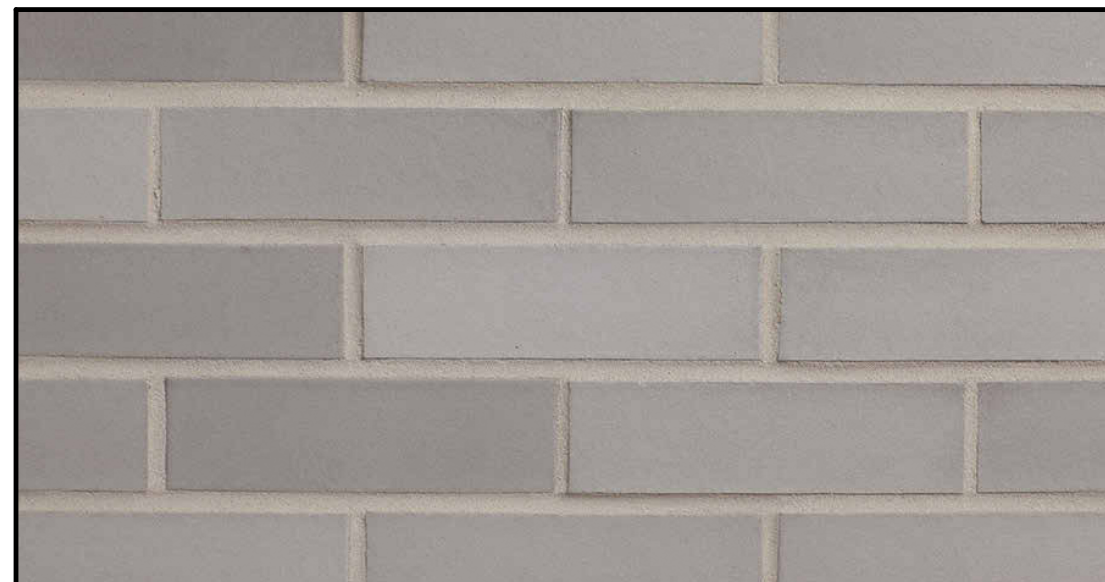
7 Brew Template V3.0



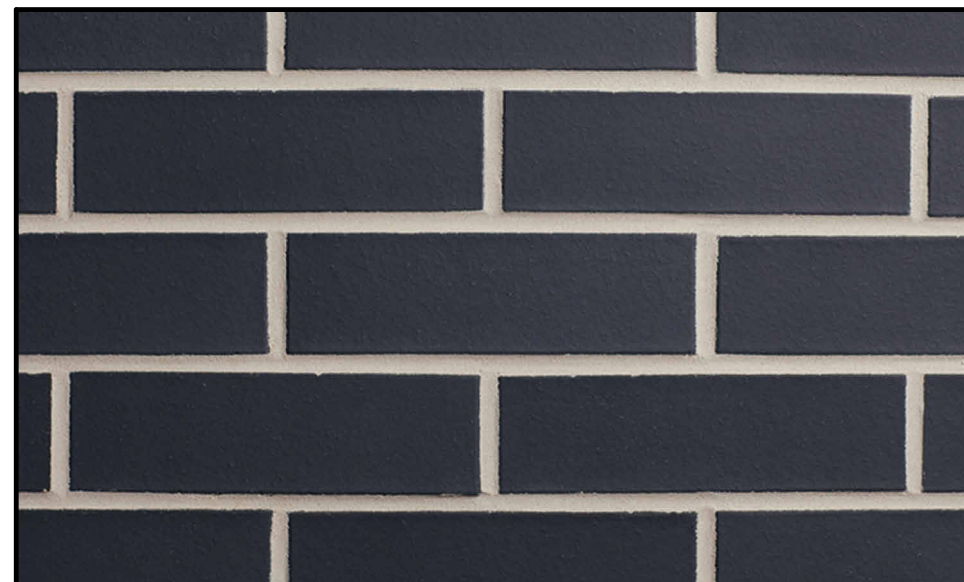
BLUE METAL PANEL MP-2
BRAND: BERRIDGE
COLOR: ROYAL BLUE
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



COPING TRIM METAL MP-3
BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



THIN BRICK - BRK-2
BRAND: GLEN GERY
COLOR: STONE GRAY
FINISH: KLAYCOAT SMOOTH



THIN BRICK - BRK-1
BRAND: GLEN GERY
COLOR: CHARCOAL
FINISH: KLAYCOAT SMOOTH

22.51.09
7 BREW DRIVE THRU -
PARKER CO - LINCOLN
& DRESDEN
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MATERIAL COLOR
BOARD



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7 BREW DRIVE THRU -
PARKER CO - LINCOLN
& DRESDEN
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RENDERINGS

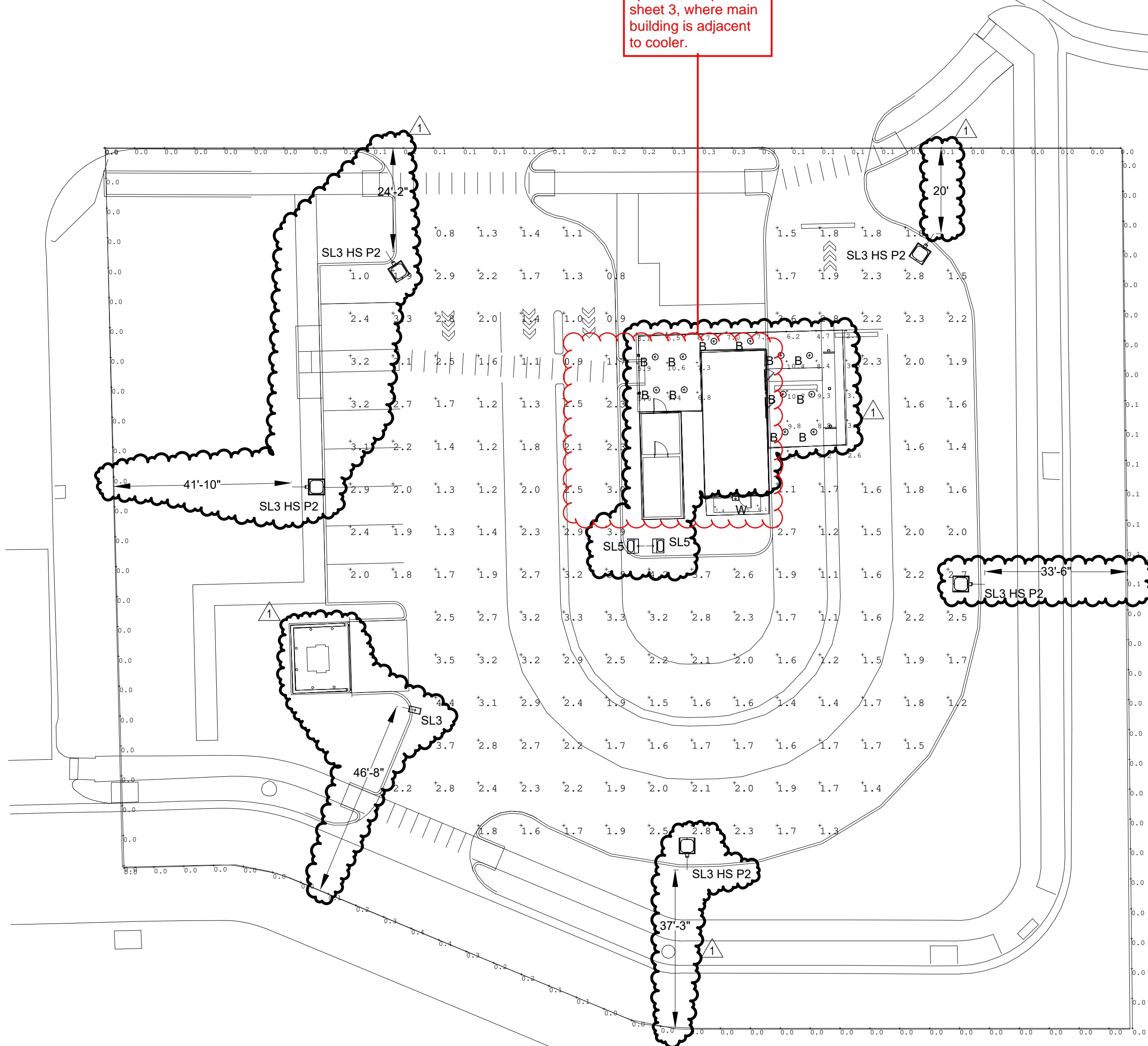
| Symbol | Tag | Qty | Description | LLF | Mounting Height | Luminaire Lumens | Luminaire Watts | Total Watts | BUG Rating |
|--------|-----------|-----|---|-------|-----------------|------------------|-----------------|-------------|------------|
| ○ | B | 12 | BRLD G4 TOLM 27K 90CRI 120 FRPC WWH M6 LED IC AT | 0.880 | 10 | 1043 | 11.7 | 140.4 | N.A. |
| □ | SL3 HS P2 | 5 | RSX1 LED P2 30K R3 HS 70 GRI MVOLT SPA (POLE MOUNTED) | 0.880 | 20 | 6287 | 72.96 | 364.78 | B1-U2-G2 |
| □ | SL5 | 2 | RSX1 LED P2 30K R3 HS 70 GRI MVOLT SPA (POLE MOUNTED) | 0.970 | 20 | 6607 | 51.34 | 102.68 | B3-U2-G1 |
| □ | SL3 | 1 | RSX1 LED P2 30K R3 MVOLT EGS - POLE MOUNTED | 0.970 | 20 | 7673 | 72.9467 | 72.947 | B1-U2-G2 |
| □ | W | 1 | MOUSE LED P1 30K 90CRI WW | 0.910 | 7 | 1164 | 10.0022 | 10 | B1-U2-G2 |

| Label | Units | Avg | Max | Min | Avg/Min | Max/Min |
|-----------------------|-------|------|------|-----|---------|---------|
| Canopy - Main | Fc | 6.54 | 10.7 | 2.6 | 2.52 | 4.12 |
| Canopy - Rear | Fc | 6.67 | 12.5 | 6.1 | 1.42 | 2.05 |
| Drive and sidewalks | Fc | 2.06 | 4.4 | 0.8 | 2.60 | 5.50 |
| Property Line - East | Fc | 0.02 | 0.1 | 0.0 | N.A. | N.A. |
| Property Line - North | Fc | 0.09 | 0.3 | 0.0 | N.A. | N.A. |
| Property Line - South | Fc | 0.07 | 0.4 | 0.0 | N.A. | N.A. |
| Property Line - West | Fc | 0.00 | 0.0 | 0.0 | N.A. | N.A. |

Add correlated color temperature of each fixture per LDO 13.08.110(e)(2)a. must be below 5001 degrees Kelvin.

Add color of each fixture. Unless on ceiling of canopy need to be black or bronze.

Revise to match updated site plan sheet 3, where main building is adjacent to cooler.



RSX1 LED Area Luminaire

Specifications

- CPA: 0.57 (0.034 ft²)
- Length: 21.67 (0.54 m)
- Width: 13.37 (0.34 m)
- Height: 3.97 (0.10 m)
- Weight: 7.2 (1.59 lbs)
- WPA: 23.0 (0.51 sq ft)

Design Select

Ordering Information

EXAMPLE: RSX1 LED P2 40K R3 MVOLT SPA DOBBD

| Item | Part | Qty | Notes |
|------|------------------------------------|-----|-------|
| RSX1 | RSX1 LED P2 40K R3 MVOLT SPA DOBBD | 1 | |
| W | MOUSE LED P1 30K 90CRI WW | 1 | |

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTRODUCTION

DESCRIPTION

DESIGN SELECT

Ordering Information

EXAMPLE: RSX1 LED P2 40K R3 MVOLT SPA DOBBD

| Item | Part | Qty | Notes |
|------|------------------------------------|-----|-------|
| RSX1 | RSX1 LED P2 40K R3 MVOLT SPA DOBBD | 1 | |
| W | MOUSE LED P1 30K 90CRI WW | 1 | |

Juno RD Series LED Downlight Retrofit

6RID G4 Series

Product Features

- Retrofitting existing downlights allows for energy savings and improved lighting quality.
- Available in multiple beam spreads and color temperatures.
- Compact design allows for easy installation in existing downlight housings.

Applications

- Retail and commercial lighting.
- Office and industrial lighting.
- Warehouse and high bay lighting.

Performance

Specifications

Ordering Information

EXAMPLE: JUNO RD P2 40K R3 MVOLT SRM PE DOBBD

| Item | Part | Qty | Notes |
|------|--------------------------------------|-----|-------|
| JUNO | JUNO RD P2 40K R3 MVOLT SRM PE DOBBD | 1 | |
| W | MOUSE LED P1 30K 90CRI WW | 1 | |

WEDGE1 LED Architectural Wall Sconce

EXTERIOR WALL PACK - (W)

Introduction

Specifications

- Depth: 2.10"
- Height: 9"
- Width: 3.5"

Applications

- Retail and commercial lighting.
- Office and industrial lighting.
- Warehouse and high bay lighting.

Performance

Specifications

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K R3 MVOLT SRM PE DOBBD

| Item | Part | Qty | Notes |
|--------|---|-----|-------|
| WEDGE1 | WEDGE1 LED P2 40K R3 MVOLT SRM PE DOBBD | 1 | |
| W | MOUSE LED P1 30K 90CRI WW | 1 | |

ELECTRICAL NOTES

THIS PLAN IS BASED ON INFORMATION PROVIDED, ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.

THIS PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS.

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING PLAN, AND INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT-CANDLES. THIS STUDY DOES NOT TAKE INTO ACCOUNT A CHANGE IN GRADE ELEVATION.

THE USE OF SENSOR TECHNOLOGIES, TIMERS OR OTHER MEANS TO ACTIVATE LIGHTING DURING TIMES WHEN IT WILL BE NEEDED IS ENCOURAGED TO CONSERVE ENERGY, PROVIDE SAFETY AND PROMOTE COMPATIBILITY BETWEEN DIFFERENT LAND USES. LOWER LIGHTING LEVELS AT OFF-PEAK TIMES ARE ENCOURAGED AS A SAFETY MEASURE.

Aaron M. Fiegel
PE
SUITE 3642
1805 N 2ND ST
ROGERS, AR 72756
DESIGNED BY: TFS

478-636-5004
JOB NO.: 04022194
195



| NO | DATE | REVISION |
|----|------------|----------|
| 1 | 12/05/2025 | REV 1 |

PROJECT NAME:
7 BREW COFFEE

Lincoln Professional Park
Lot 2
Parker, CO

DRAWING TITLE:
PHOTOMETRIC SITE PLAN

FILE: XXX
DRAWN BY: TFS
CHECKED BY: AMF
PROJ. NO.: 04022194
DRAWING NO.: **SE1.1**